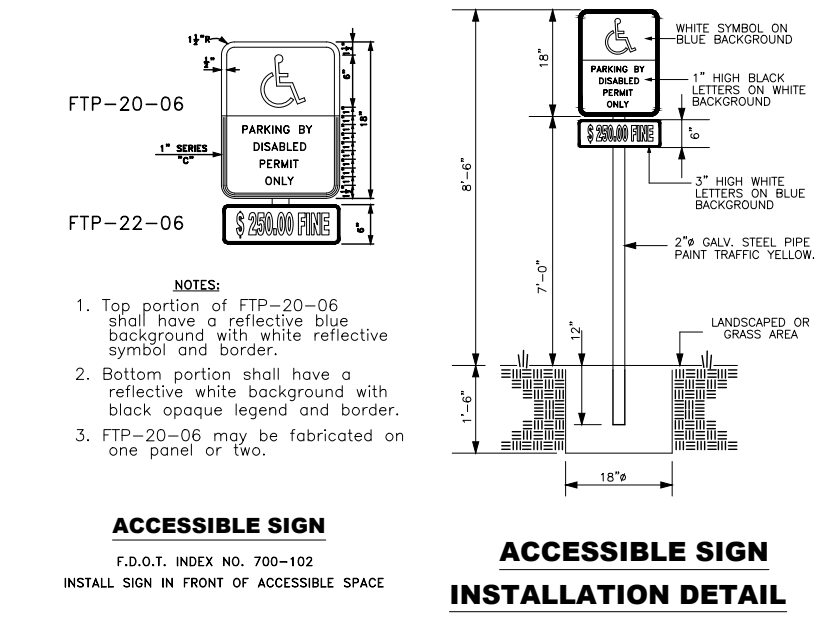
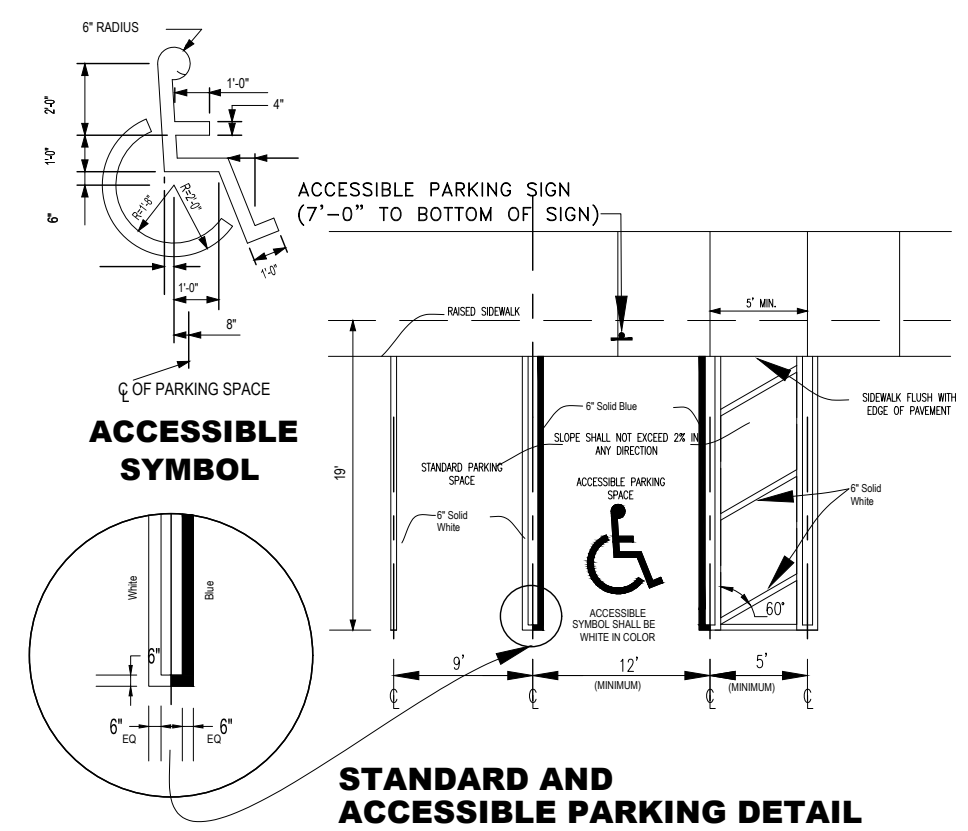
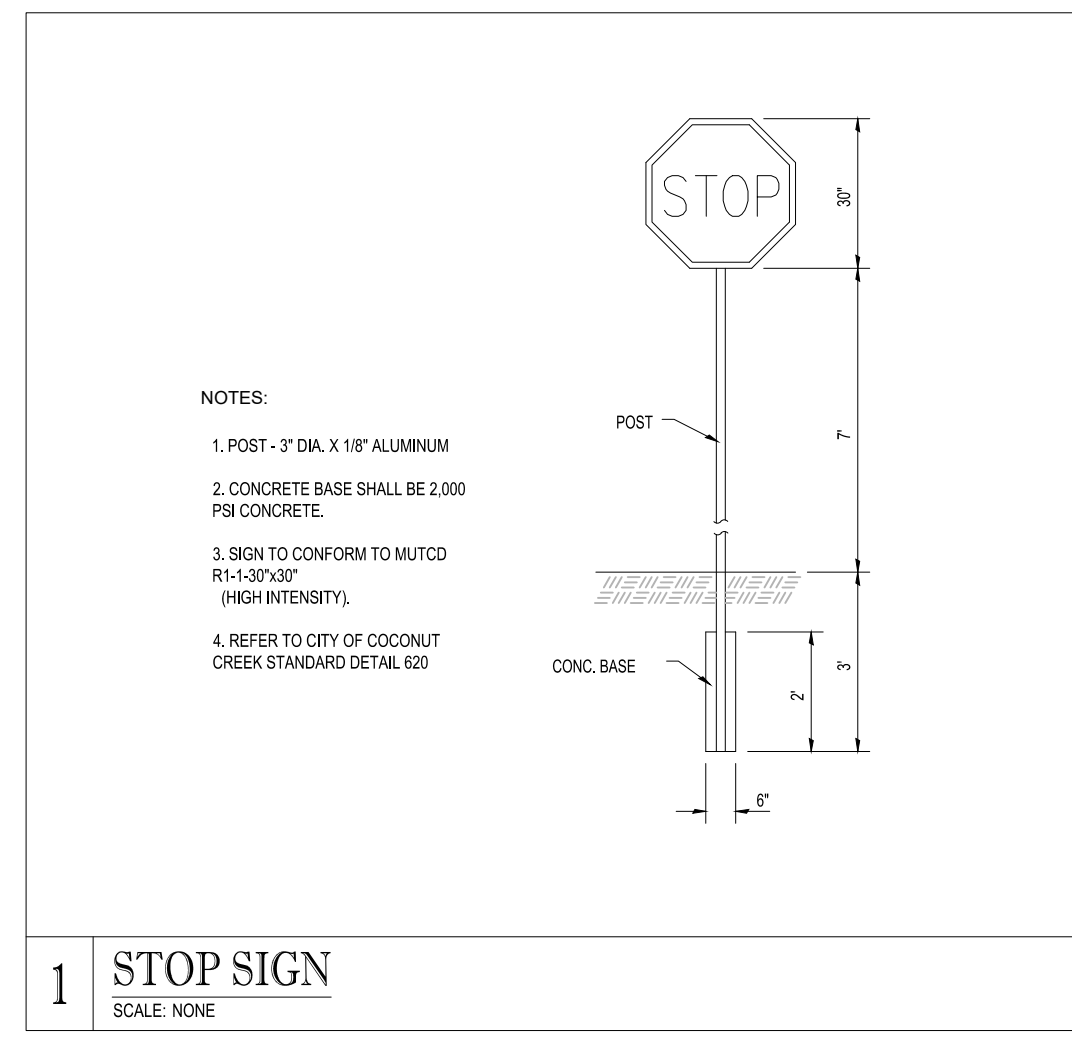


**LEGEND**

R1-1	STOP SIGN (30" x 30")
R5-1	DO NOT ENTER (30" x 30")
R4-21	RIGHT TURN ONLY
FTP 21 06	ADA PARKING SIGN
D.Y.	DOUBLE YELLOW
W	WHITE THERMOPLASTIC
Y	YELLOW THERMOPLASTIC
*	



- NOTES:**
- ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT, AND BCTD STANDARDS.
  - ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND MIN. 4" WIDE UNLESS OTHERWISE NOTE. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
  - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - BCTD APPROVAL WILL BE REQUIRED FOR ALL PAVEMENT MARKINGS WITHIN CITY RIGHTS-OF-WAY.

**THOMAS ENGINEERING GROUP**  
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

1502 W. FLETCHER AVE.  
SUITE 100  
JUPITER, FL 33459  
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125 W. INDIANTOWN RD.  
SUITE 100  
JUPITER, FL 33459  
P: (561) 203-7603  
F: (561) 203-7604

**REVISIONS**

REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CJM

**Sunshine 811**

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

KRISTIN N. DIPERRO, STATE OF FLORIDA  
PROFESSIONAL ENGINEER, LICENSE NO. 34350  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPERRO, P.E. ON 7/15/2024.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.: F230118  
DRAWN BY: JFV  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118 -PMS

**TACO BELL REDEVELOPMENT**

FOR  
**GPD GROUP**

2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

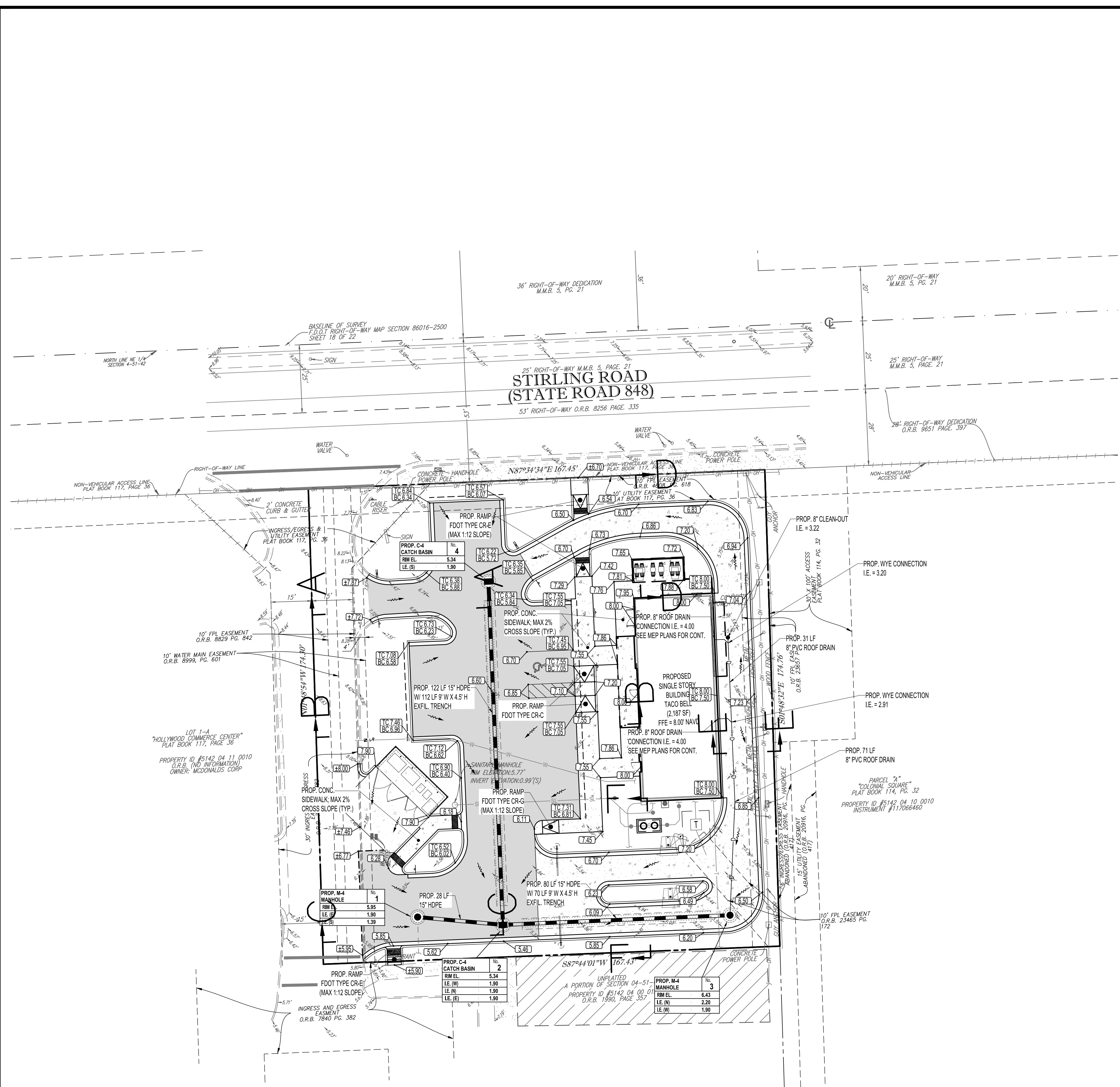
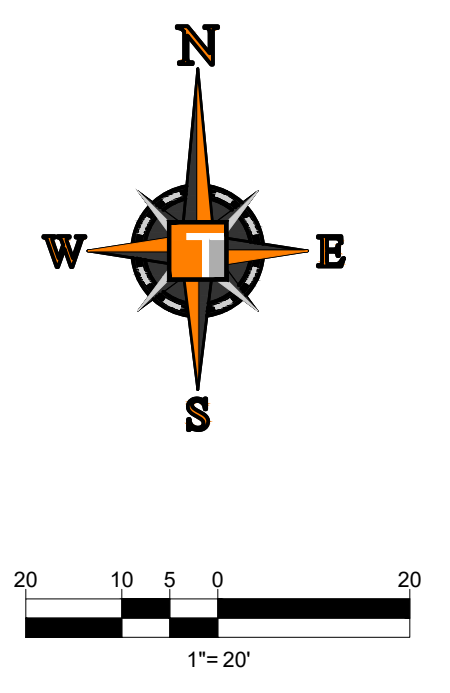
**THOMAS ENGINEERING GROUP**

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com

Professional Engineer Seal for Kristin N. DiPerro, License No. 34350, State of Florida, Mechanical Engineering.

**PAVEMENT MARKING & SIGNAGE PLAN**

SHEET NUMBER:  
**C-08**



**CONSTRUCTION NOTES:**

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCRUCH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
- EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
- DAMAGED SIDEWALK AND/OR CURB AND GUTTER SHALL BE RESTORED WITH FULL FLAGS 4\"/>

REVISIONS			
REV:	DATE:	COMMENT:	BY:
1	7/12/2024	TAC COMMENTS	CJM

**Sunshine**

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PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	7/15/2024
CAD I.D.:	F230118-PGD

PROJECT:

**TACO BELL REDEVELOPMENT**

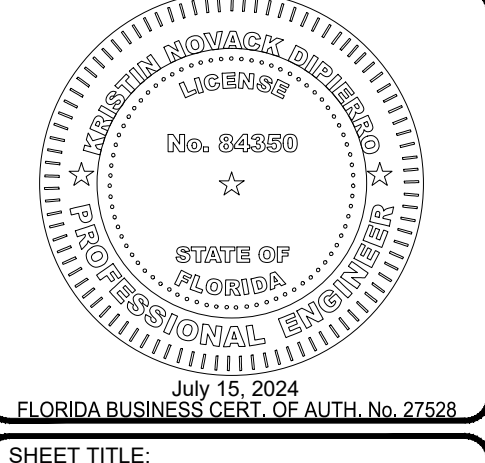
FOR

**GPD GROUP**

2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS**  
ENGINEERING GROUP

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com



SHEET TITLE:

**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:

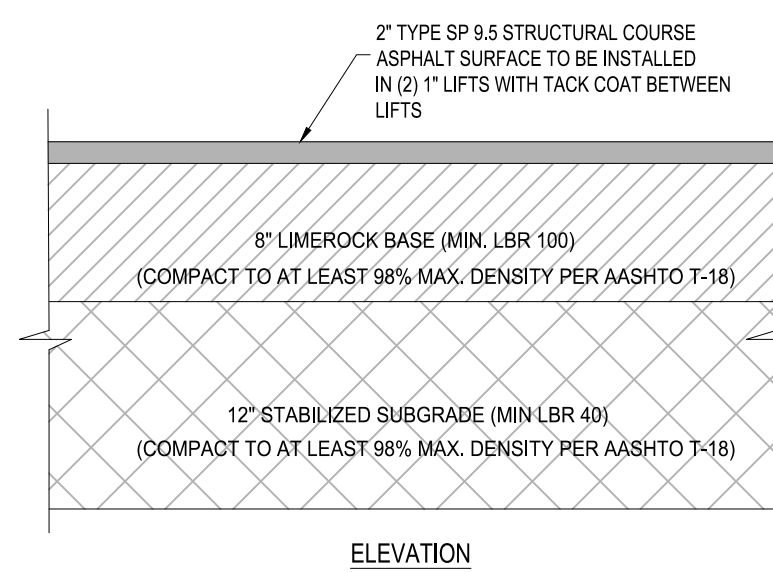
**C-09**

**PAVING, GRADING & DRAINAGE LEGEND**

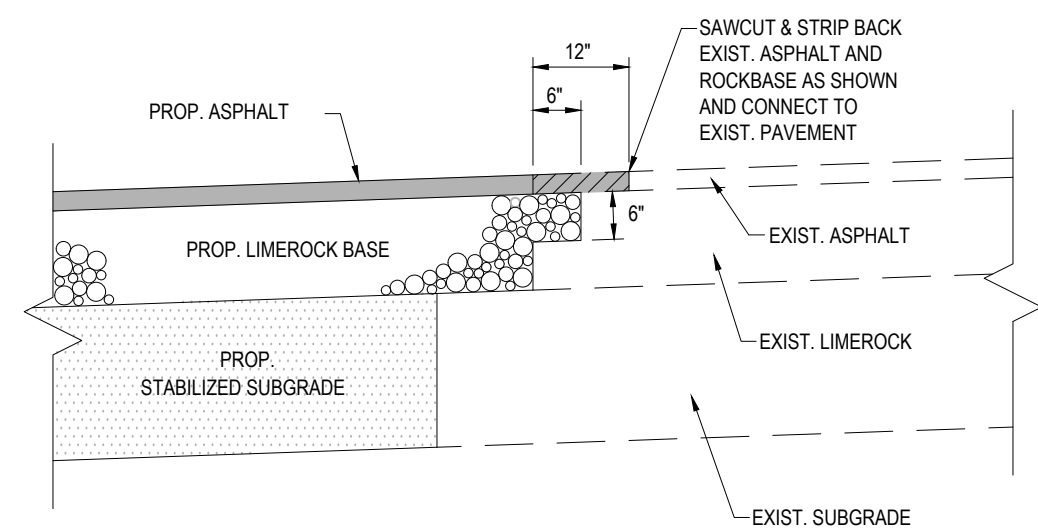
EXISTING	TYPICAL NOTE TEXT	PROPOSED
	UNDERGROUND WATER LINE	
	OVERHEAD ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	ROOF DRAIN	
	SANITARY SEWER	
	SANITARY SEWER LATERAL	
	DRAINAGE LINE	
	CATCH BASIN	
	CLEAN OUT	
	GRADE SPOT SHOT	
	TOP OF CURB (TC)/SIDEWALK (TS)	
	BOTTOM OF CURB (BC)/EDGE PAVEMENT (EP)	
	MATCH EXISTING	
	FLOW ARROW	
	BACKFLOW PREVENTER	
	WATER METER	
	FIRE HYDRANT	
	SANITARY MANHOLE	

**HATCH LEGEND**

	EXISTING CONCRETE		PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT		PROPOSED PAVERS

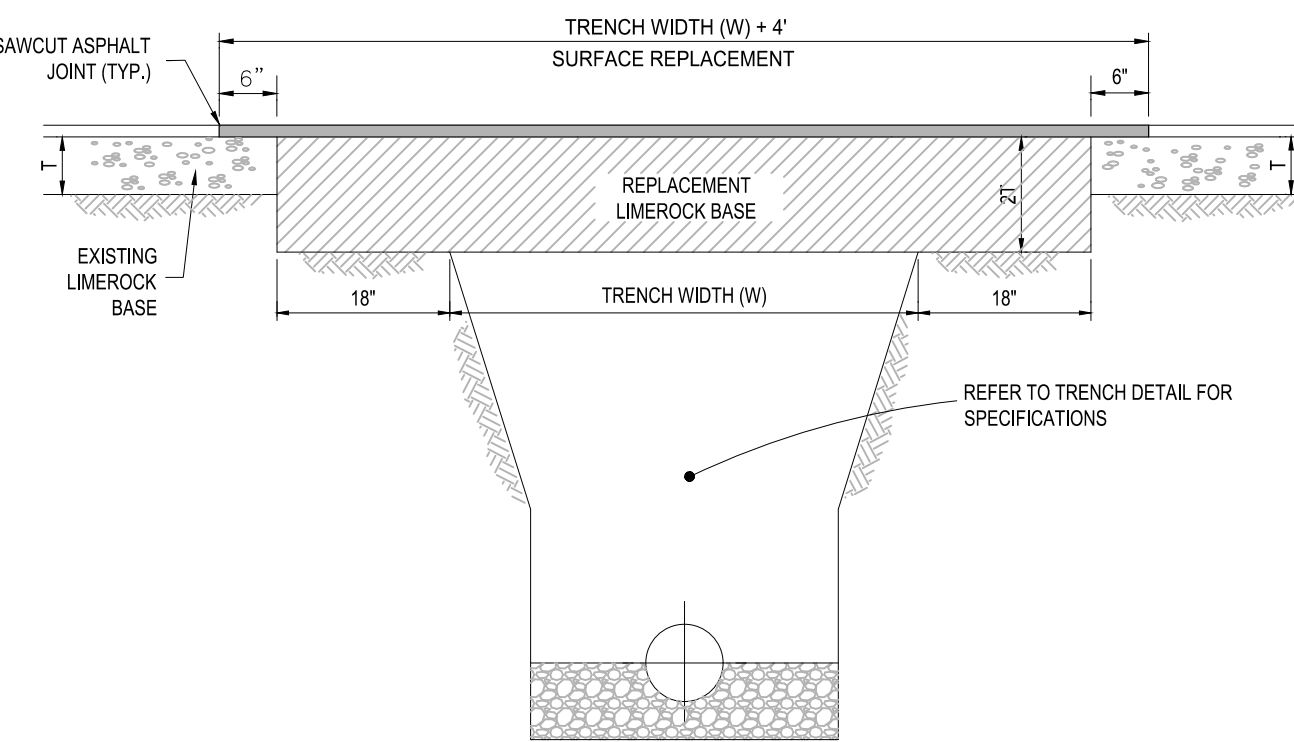


NOTE:  
PAVEMENT SECTION ASSUMES THE COMPLETE  
REMOVAL OF ALL ORGANIC MATERIAL



NOTES:

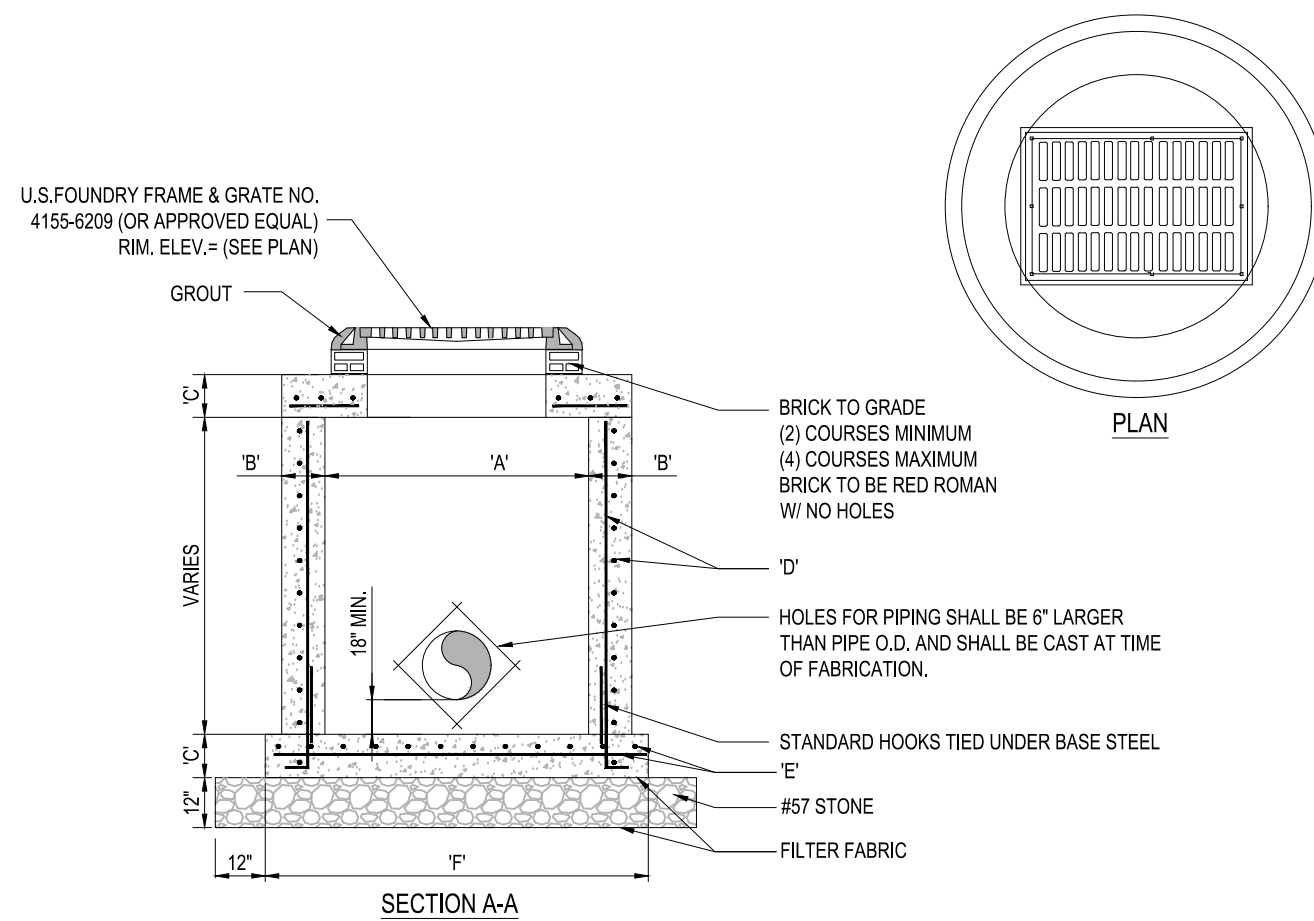
1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 8", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-18.
3. SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR OF 40.
4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED PARALLEL TO OR PERPENDICULAR TO THE ROADWAY.
5. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPEDED.
6. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE (MINIMUM 1" THICKNESS).
7. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70% (60% FOR LOCAL STREETS).
8. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.



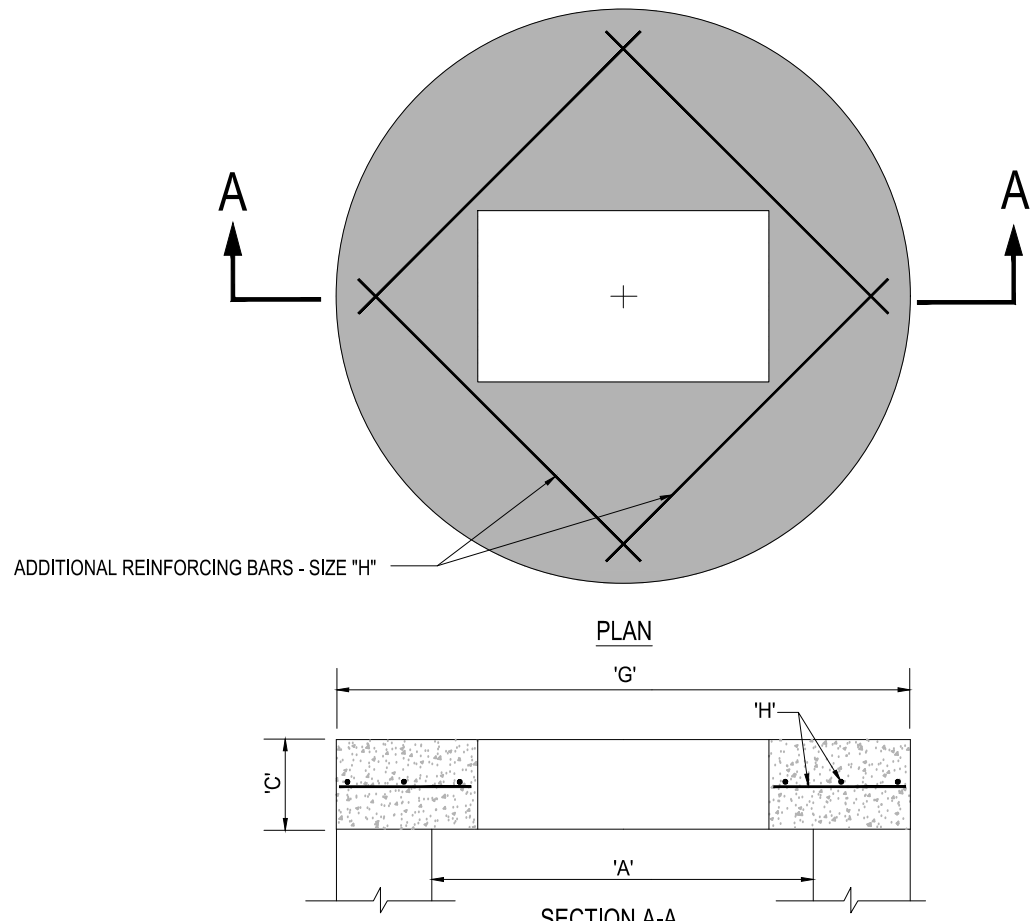
1 ASPHALTIC CONCRETE PAVEMENT DETAIL  
SCALE: NONE

2 CONNECTION TO EXISTING PAVEMENT DETAIL  
SCALE: NONE

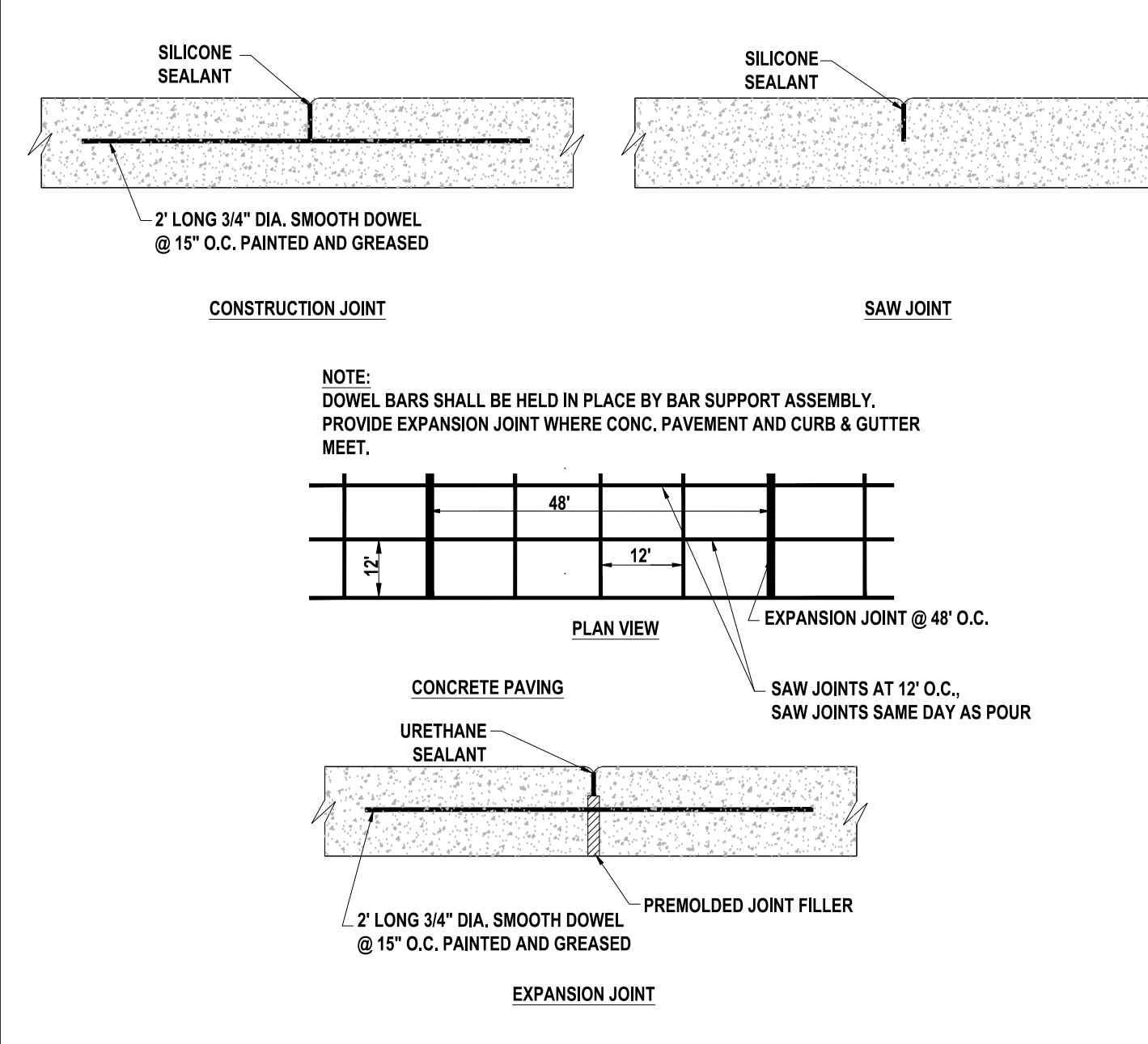
3 PAVEMENT RESTORATION DETAIL  
SCALE: NONE



TYPE	"A"	"B"	"C"	"D"	"E"	"F"
C-4	4'-0" Ø	8"	8"	# 4 @ 12" C.C.E.W.	# 4 @ 12" C.C.E.W.	6'-4" Ø
C-5	5'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 12" C.C.E.W.	7'-4" Ø
C-6	6'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	8'-4" Ø
C-7	7'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" Ø
C-8	8'-0" Ø	10"	10"	2-W.W.M. w/ # 4 @ 12" C.C. VERT	# 5 @ 6" C.C.E.W.	10'-8" Ø



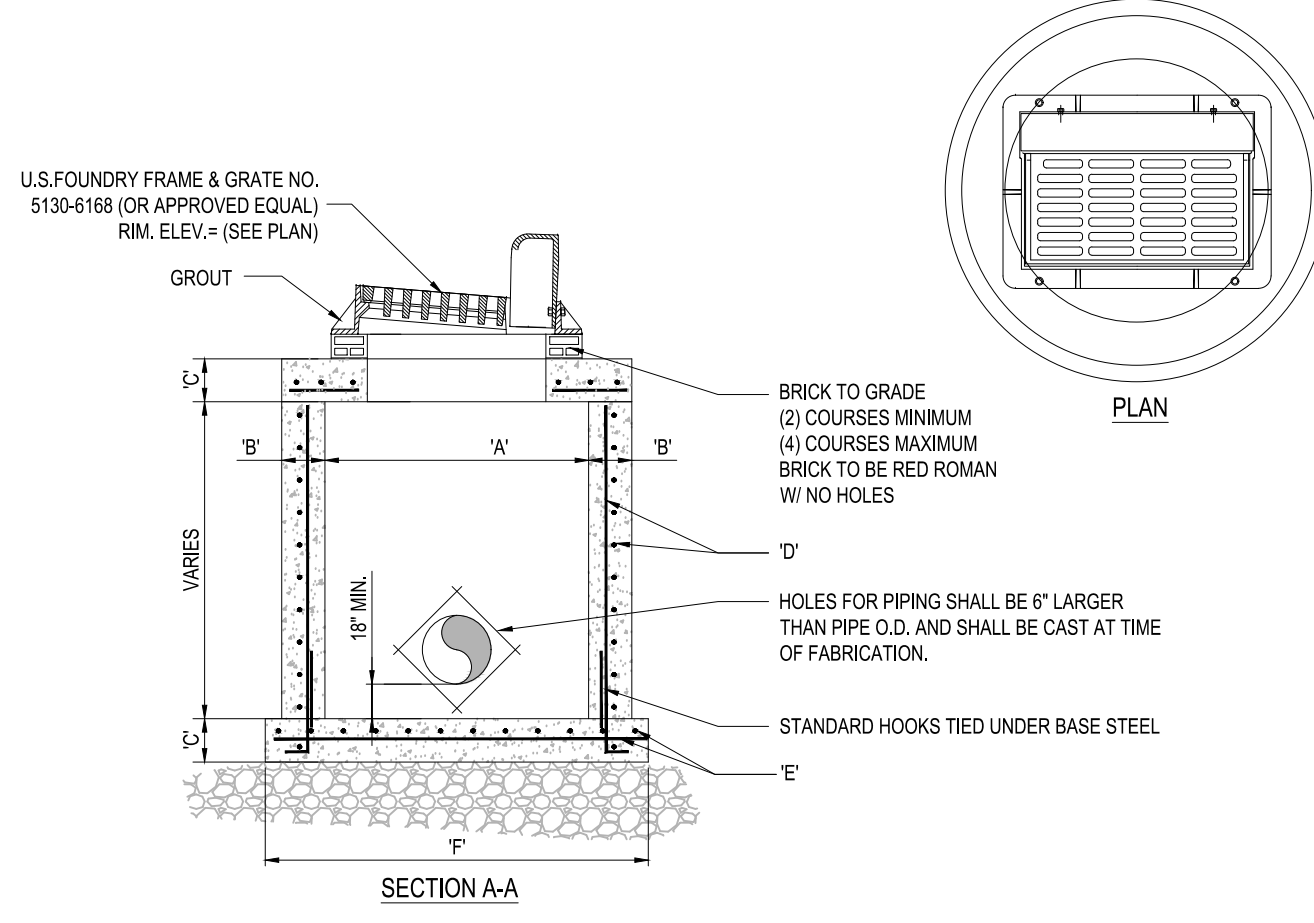
TYPE	"A"	"C"	"G"	"H"
C-4	4'-0" Ø	8"	5'-4" Ø	# 4 @ 6" C.C.E.W.
C-5	5'-0" Ø	8"	6'-4" Ø	# 5 @ 8" C.C.E.W.
C-6	6'-0" Ø	8"	7'-4" Ø	# 5 @ 6" C.C.E.W.
C-7	7'-0" Ø	8"	8'-4" Ø	# 5 @ 6" C.C.E.W.
C-8	8'-0" Ø	10"	9'-8" Ø	# 5 @ 6" C.C.E.W.



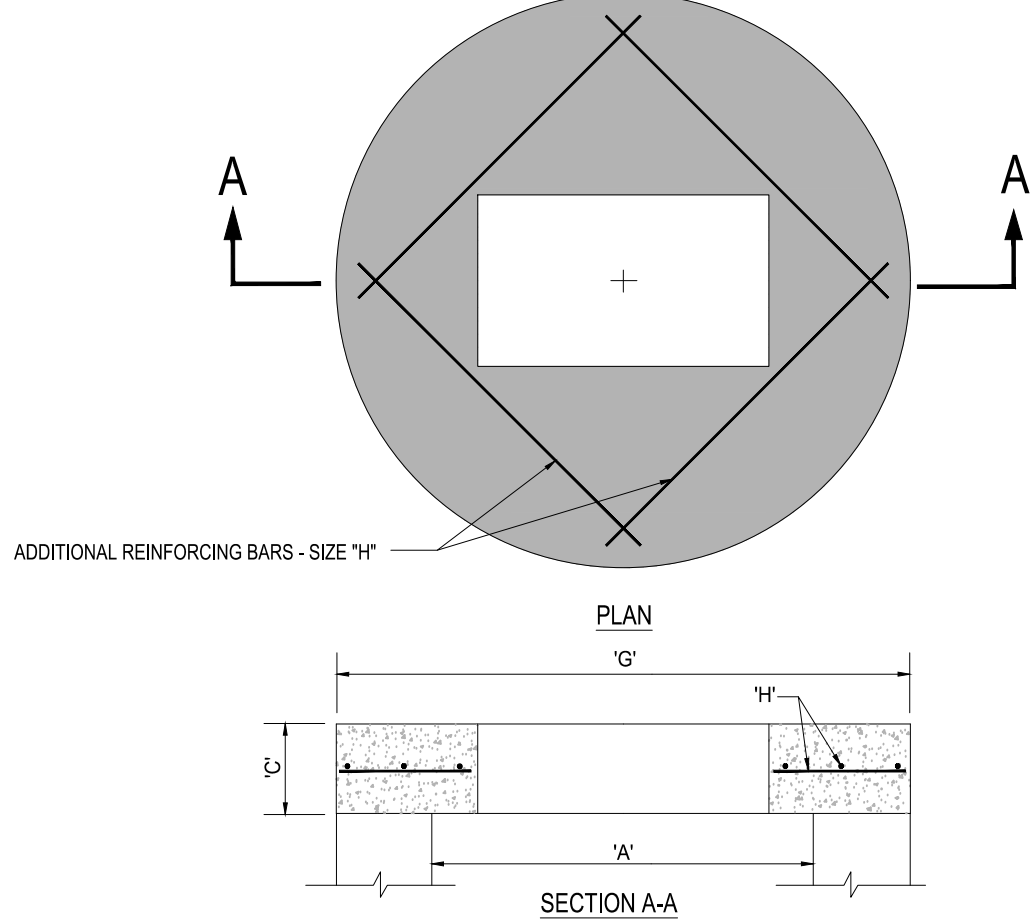
5 PRECAST CIRCULAR CATCH BASIN  
SCALE: NONE

6 PRECAST CONCRETE-TOP SLAB  
SCALE: NONE

7 CONCRETE PAVEMENT JOINT  
SCALE: NONE



TYPE	"A"	"B"	"C"	"D"	"E"	"F"
C-4	4'-0" Ø	8"	8"	# 4 @ 12" C.C.E.W.	# 4 @ 12" C.C.E.W.	6'-4" Ø
C-5	5'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 12" C.C.E.W.	7'-4" Ø
C-6	6'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	8'-4" Ø
C-7	7'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" Ø
C-8	8'-0" Ø	10"	10"	2-W.W.M. w/ # 4 @ 12" C.C. VERT	# 5 @ 6" C.C.E.W.	10'-8" Ø



TYPE	"A"	"C"	"G"	"H"
C-4	4'-0" Ø	8"	5'-4" Ø	# 4 @ 6" C.C.E.W.
C-5	5'-0" Ø	8"	6'-4" Ø	# 5 @ 8" C.C.E.W.
C-6	6'-0" Ø	8"	7'-4" Ø	# 5 @ 6" C.C.E.W.
C-7	7'-0" Ø	8"	8'-4" Ø	# 5 @ 6" C.C.E.W.
C-8	8'-0" Ø	10"	9'-8" Ø	# 5 @ 6" C.C.E.W.

8 PRECAST CIRCULAR CURB INLET  
SCALE: NONE

9 PRECAST CONCRETE-TOP SLAB  
SCALE: NONE

**THOMAS**  
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

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P: (561) 263-7603

1502 W. FLETCHER AVE.  
SUITE 100  
TAMPA, FL 33612  
P: (813) 379-4100

THE INFORMATION, DESIGN AND CONSTRUCTION OF THIS PLAN AND SPECIFICATIONS AND SHALL BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THOMAS ENGINEERING GROUP, LLC.

REVISIONS

REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CJM

**Sunshine** 811

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PROJECT No.: F230118  
DRAWN BY: JFV  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118-PGD DETAILS

PROJECT:  
**TACO BELL REDEVELOPMENT**  
FOR  
**GPD GROUP**

2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS**  
ENGINEERING GROUP

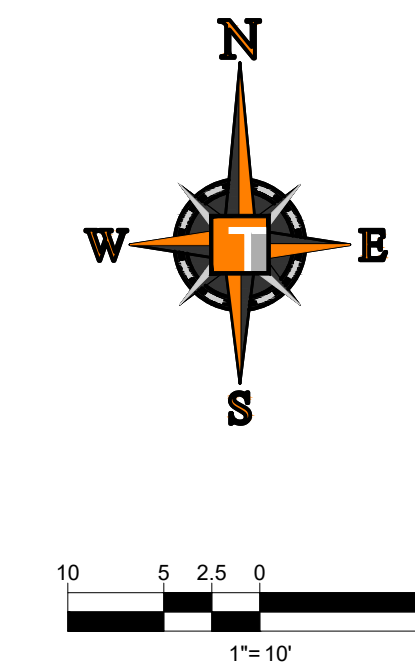
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FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com

Professional Engineer Seal for Kristin N. DiPerro, License No. 34350, State of Florida, Mechanical Engineering.

July 15, 2024  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE DETAILS**

SHEET NUMBER:  
**C-10**



REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CJM

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PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	7/15/2024
CAD I.D.:	F230118 - CROSS SECTIONS

PROJECT:

**TACO BELL REDEVELOPMENT**

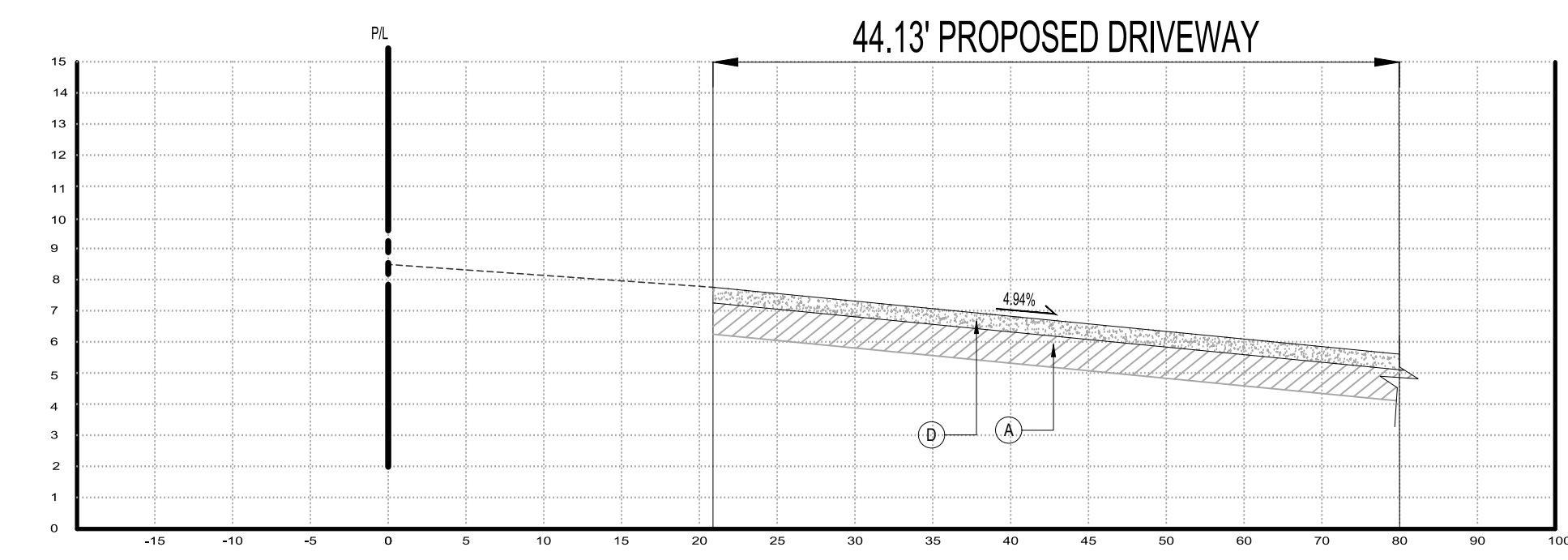
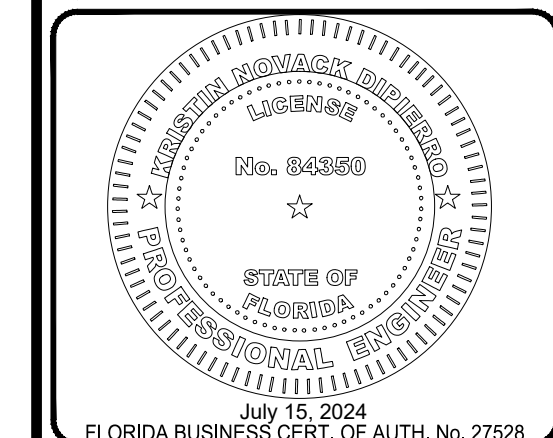
FOR

**GPD GROUP**

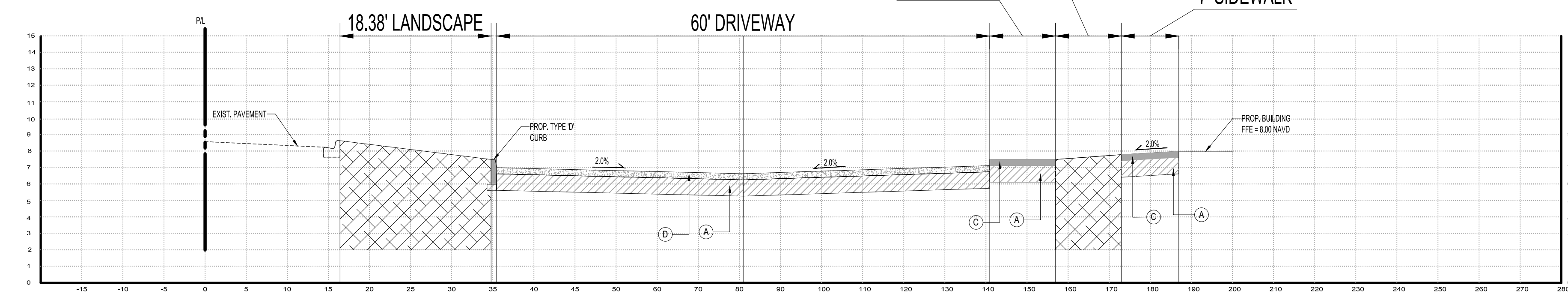
2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS**  
ENGINEERING GROUP

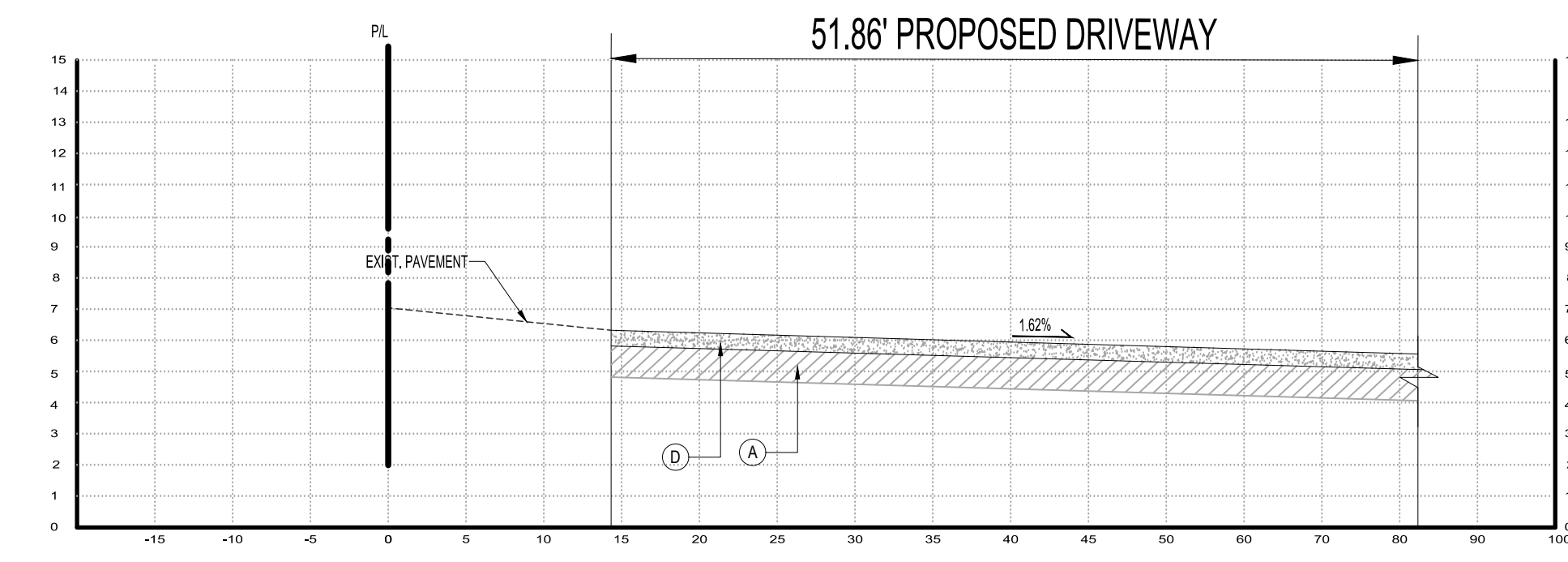
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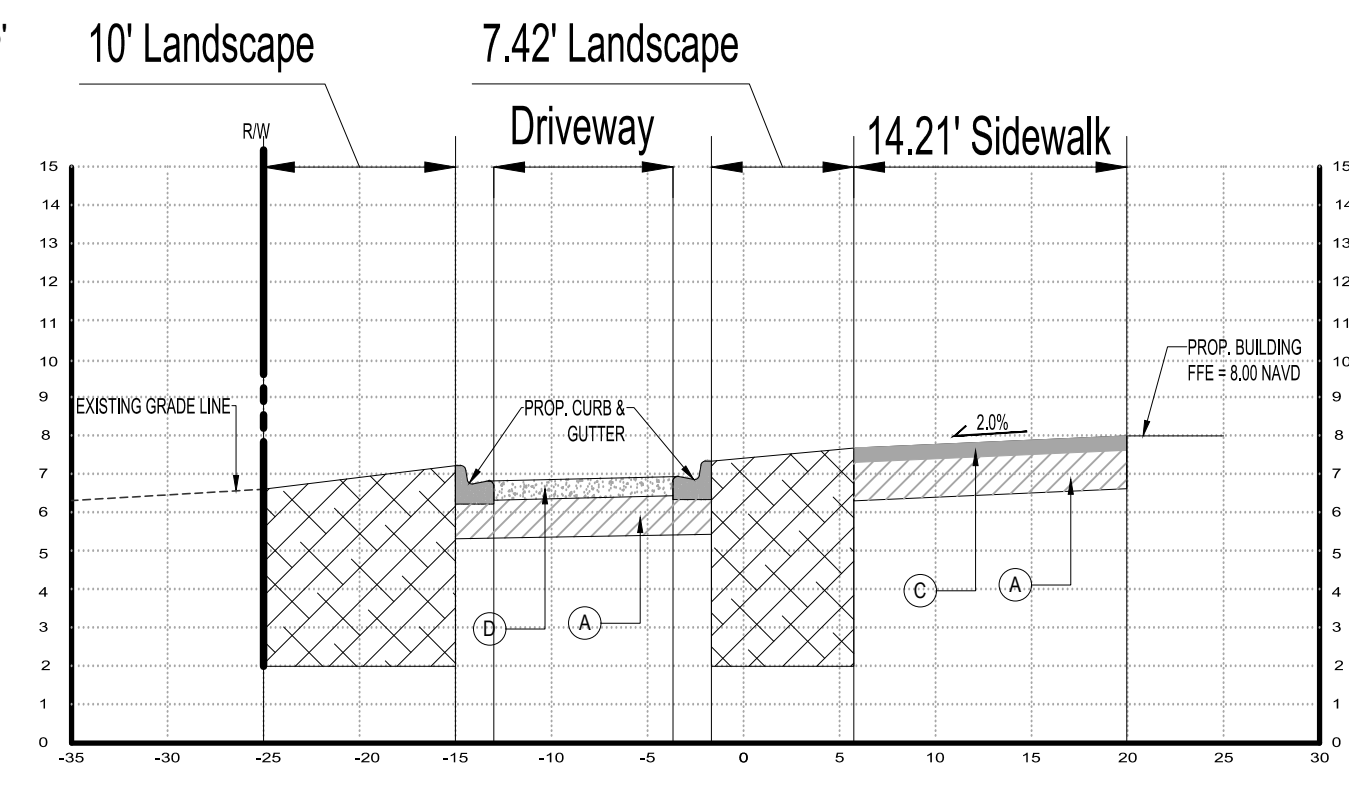
SECTION A-A  
SCALE: H. 1"=10' - V. 1"=5'



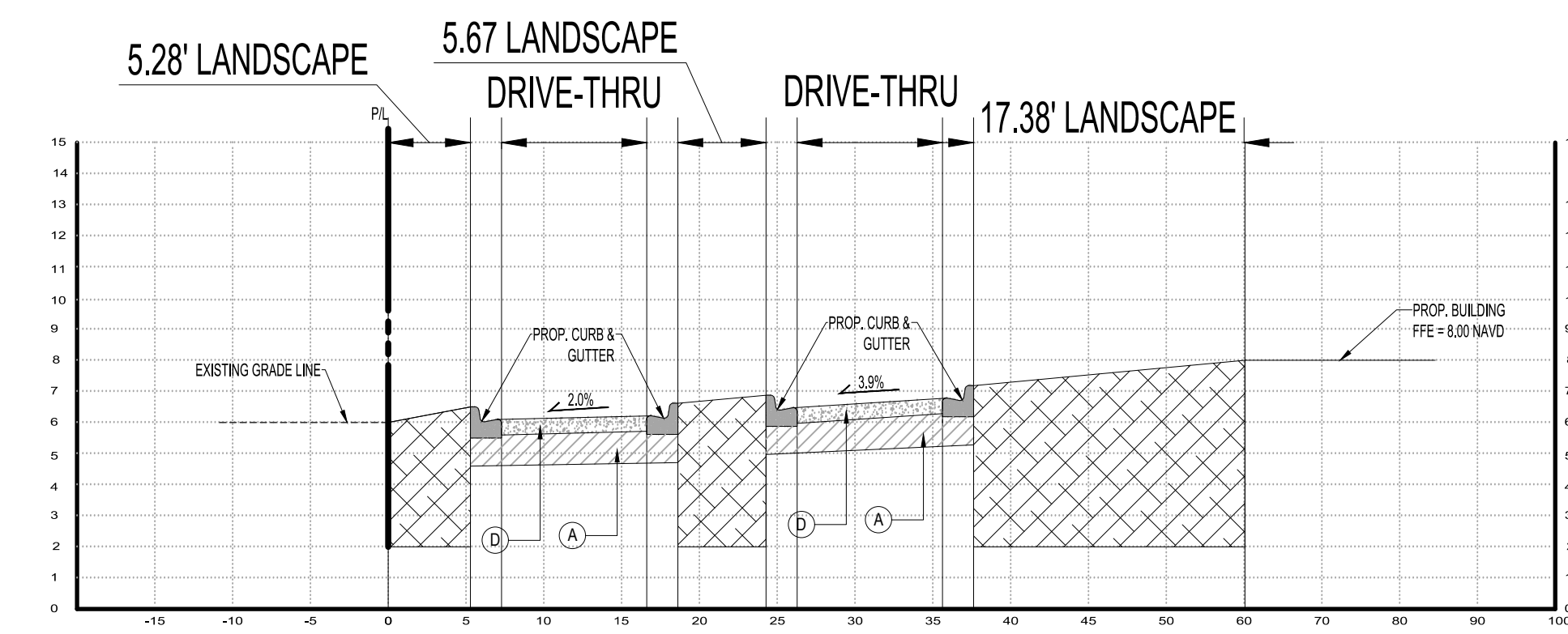
SECTION B-B  
SCALE: H. 1"=10' - V. 1"=5'



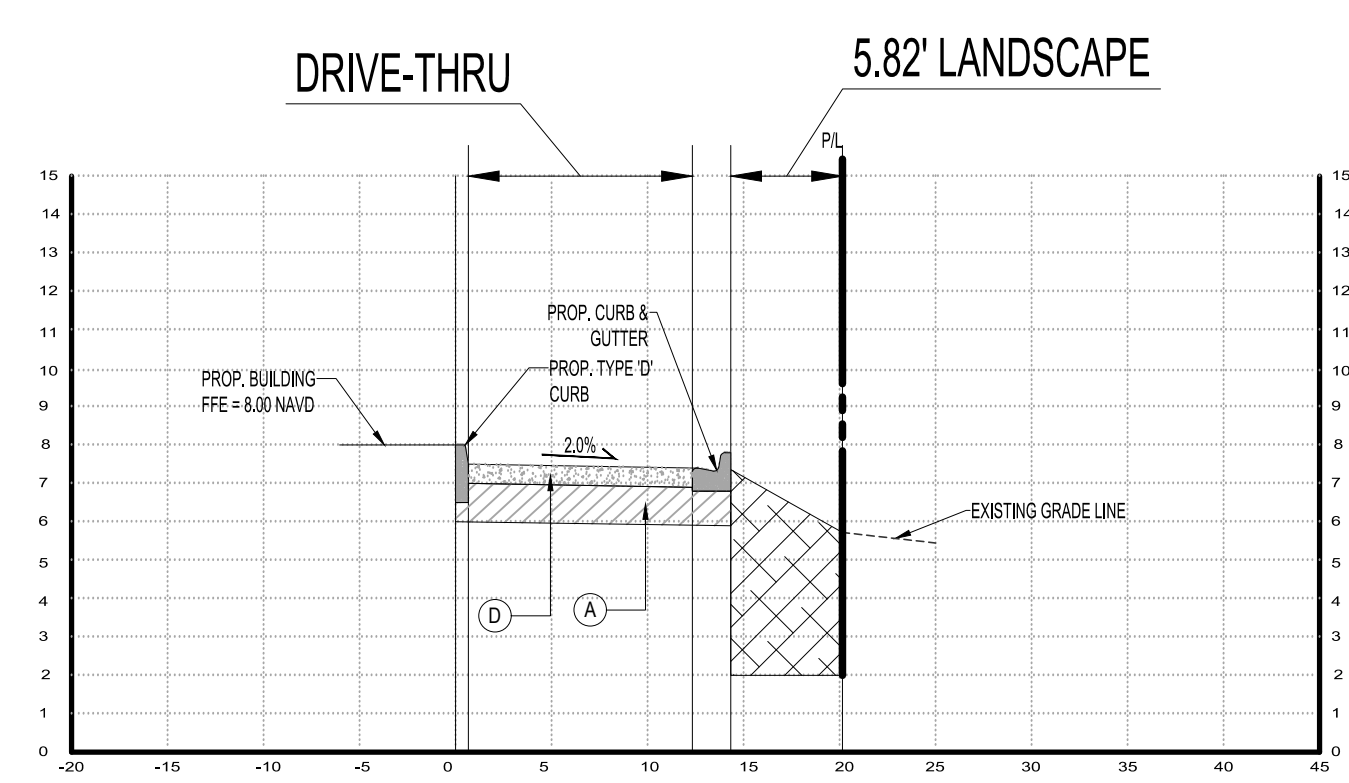
SECTION C-C  
SCALE: H. 1"=10' - V. 1"=5'



SECTION D-D  
SCALE: H. 1"=10' - V. 1"=5'



SECTION F-F  
SCALE: H. 1"=10' - V. 1"=5'

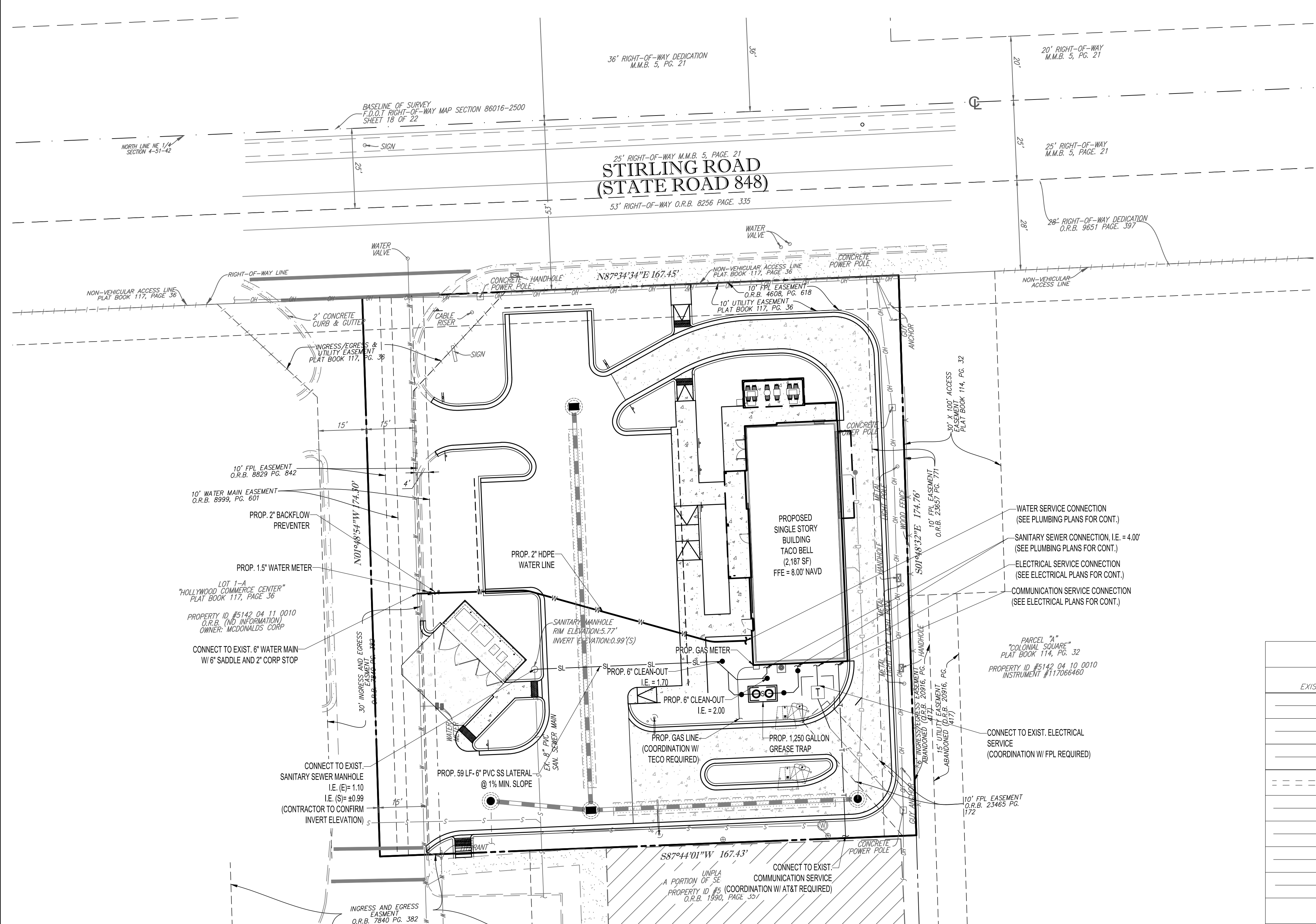
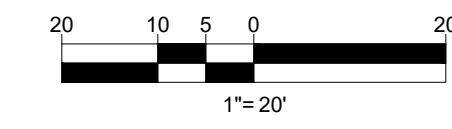
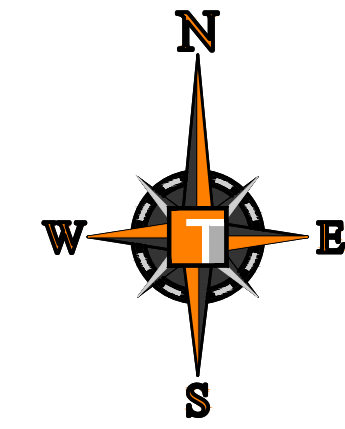


SECTION E-E  
SCALE: H. 1"=10' - V. 1"=5'

**PAVEMENT LEGEND**

- A SUB-BASE: 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- B CONCRETE PAVEMENT (VEHICULAR USE AREAS): 6" THICK 4,500 PSI CONCRETE.
- C CONCRETE SIDEWALK IN NON-VUA AREAS: 4" THICK CONCRETE.
- D WEARING SURFACE - ASPHALT AREAS: INSTALLATION OF 1-1/2" ASPHALTIC CONCRETE SURFACE COURSE FOR LIGHT DUTY AND 2" FOR HEAVY DUTY WHICH SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE SP-9.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED IN TWO (2) LIFTS TACK COAT BETWEEN LIFTS.
- E LIME ROCK BASE - VEHICULAR AREAS (CONCRETE PAVEMENT AREAS ONLY): LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 12" THICKNESS FOR HEAVY DUTY AND A MINIMUM 8" THICKNESS FOR LIGHT DUTY COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100). OTHER SUBSTITUTES SHALL BE PER FDOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER.
- F WEARING SURFACE - ASPHALT AREAS (FDOT RIGHT-OF-WAY): INSTALLATION OF 4.5" ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE FC-12.5 AND SP-12.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED WITH 1.5" TYPE FC-12.5 FRICTION COURSE OVER 3" TYPE SP-12.5 ASPHALT STRUCTURAL COURSE WITH TACK COAT BETWEEN LIFTS.
- G LIME ROCK BASE - VEHICULAR AREAS (FDOT RIGHT-OF-WAY): LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS WITHIN FDOT RIGHT-OF WAYS SHALL BE A MINIMUM 15" THICKNESS AND COMPACTED TO 98% MINIMUM DRY DENSITY PER AASHTO T-180 (LBR 100).
- H MILL & RESURFACE: MILLING OF EXISTING ASPHALT PAVEMENT TO AVERAGE DEPTH OF 1.5" AND OVERLAY WITH 1.5" FC-12.5 ASPHALTIC CONCRETE PAVEMENT WHICH SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE FC-12.5 ASPHALTIC CONCRETE.

Printed on Monday, July 15, 2024, 4:43 PM by Kristin Diperro



**NOTE:**  
CONTRACTOR TO FIELD VERIFY, PRIOR TO CONSTRUCTION, INVERTS, PIPE SIZES, AND MATERIAL FOR ALL EXISTING UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY TO THE ENGINEER OF RECORD ABOUT ANY DISCREPANCIES FOUND.

**WATER & SEWER DEMAND:**  
**Water:**  
FAST FOOD RESTAURANT :  
2,187 SF (@ 473 GPD/1000 SF) = 1,035 GPD  
**Sewer:**  
FAST FOOD RESTAURANT :  
2,187 SF (@ 385 GPD/1000 SF) = 842 GPD  
\*THIS CALCULATION WAS BASED ON BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION "GUIDELINES FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER AND WASTEWATER SERVICE"

**NOTES:**  
1. THE BOTTOM ELEVATION OF THE EXTERIOR ELECTRICAL AND/OR MECHANICAL EQUIPMENTS SHALL BE ELEVATED TO MATCH THE PROPOSED FFE.  
2. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102

**UTILITY NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH BUILDING PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
- SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES. PROVIDE MINIMUM 18" VERTICAL AND 2' HORIZONTAL CLEARANCE OF ELECTRIC CONDUITS TO ANY OTHER UTILITY LINE.

**UTILITY LEGEND**

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
T	UNDERGROUND TELEPHONE LINE	T
---	STORM SEWER	---
S	SANITARY SEWER MAIN	S
SL	SANITARY SEWER LATERAL	SL
G	GAS SERVICE LINE	G
OH	OVERHEAD WIRE	OH
+	HYDRANT	+
⊙	SANITARY MANHOLE	⊙
⊕	STORM MANHOLE	⊕
■	CATCH BASIN	■
□	WATER METER	□
⇄	BACKFLOW PREVENTER	⇄
⊙	CLEAN OUT	⊙

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**REVISIONS**

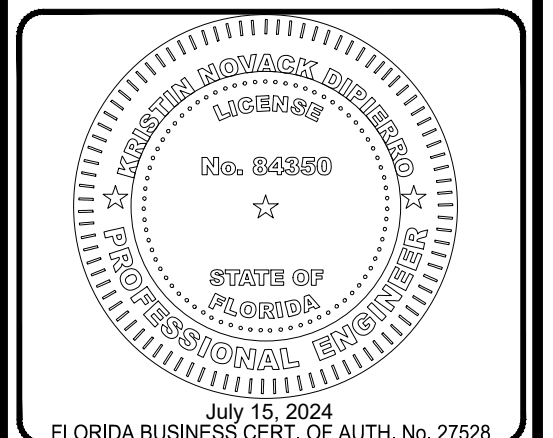
REV.	DATE	COMMENT	BY:
1	7/12/2024	TAC COMMENTS	CJM

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KRISTIN N. DIPERRO, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 34350  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPERRO, PE ON 7/15/2024  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.: F230118  
DRAWN BY: JVF  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118-WSU

**TACO BELL REDEVELOPMENT**  
FOR  
**GPD GROUP**  
2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
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SHEET TITLE:  
**UTILITY PLAN**  
SHEET NUMBER:  
**C-12**

**WATER SYSTEM NOTES:**

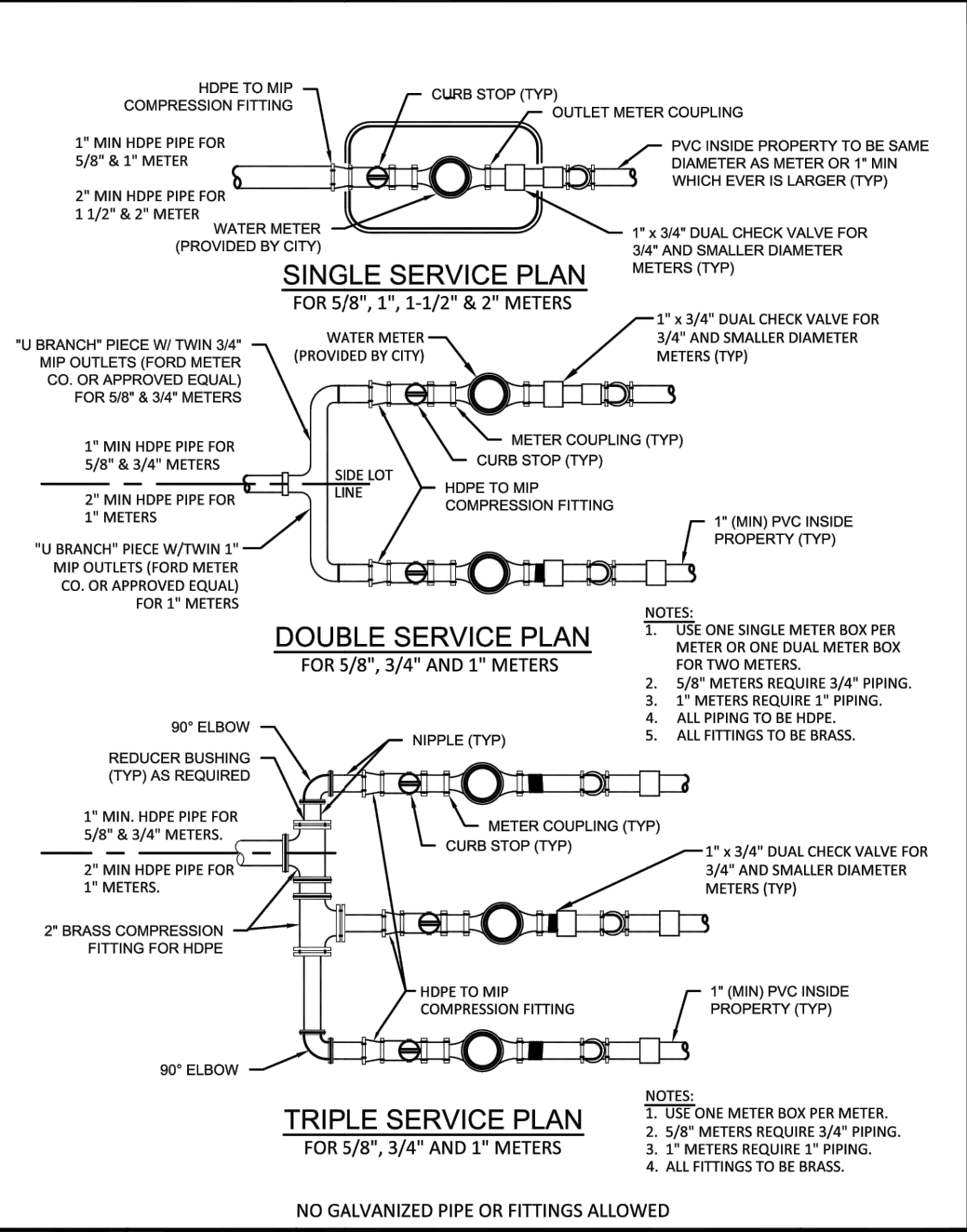
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-530, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-530, F.A.C. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, ROOS, AND APPURTENANCES IN ACCORDANCE WITH ANNA CDS, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATER TIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE. ON THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLELY STANDARD, THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.330 F.A.C.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-01  
APPROVED: XXX

**WATER SYSTEM NOTES (CONTINUED):**

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.330 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PIPE PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANS/AWWA C151/A21.51-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURER'S RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-02  
APPROVED: XXX

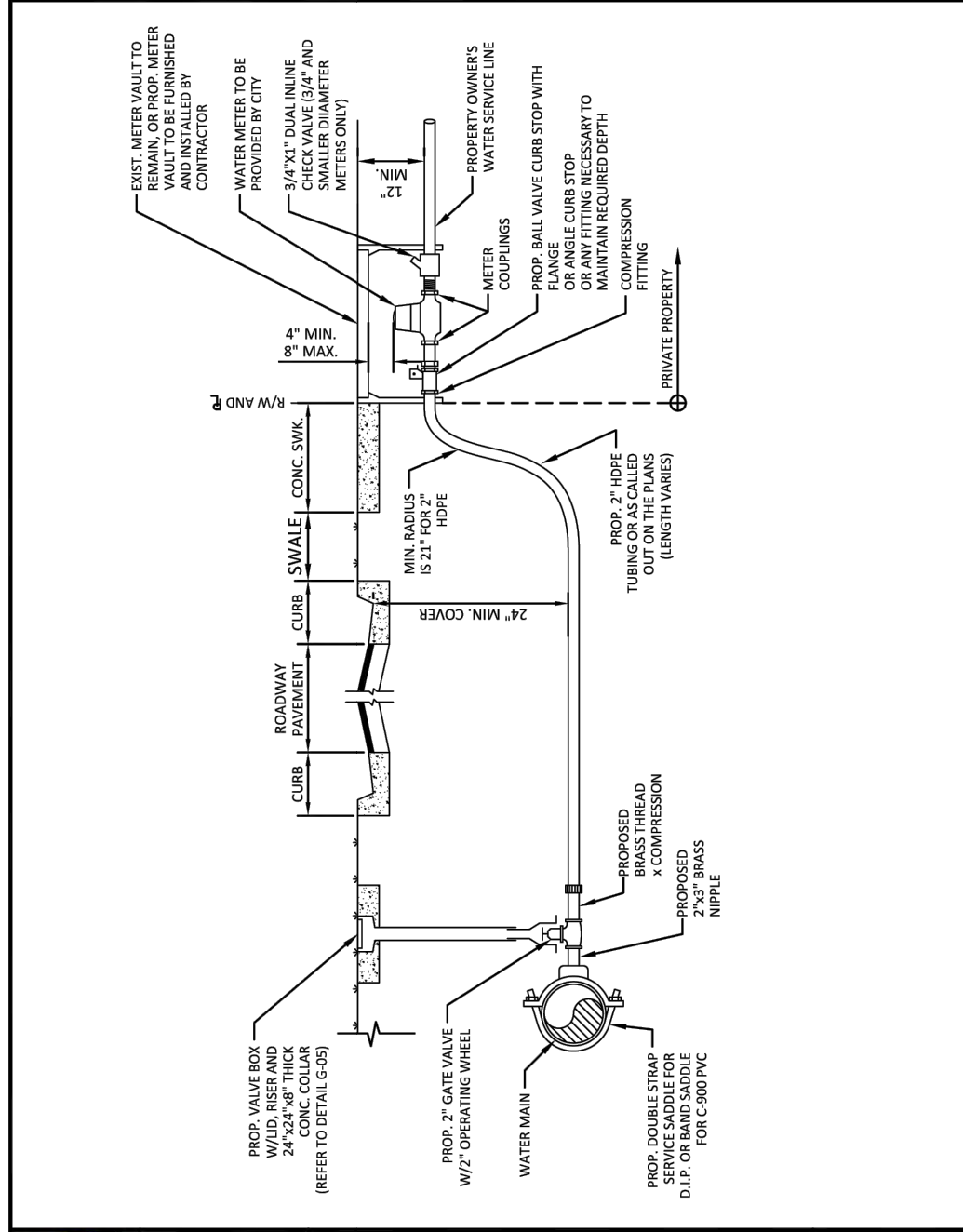


ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 10/06/2017  
DRAWN: EAM TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION DRAWING NO. W-06  
APPROVED: XXX

**WATER METER SERVICE NOTES:**

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANNA STANDARD C001, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm) FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/4" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY THE CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:  
a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.  
b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RIMS, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 10/06/2017  
DRAWN: EAM WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS DRAWING NO. W-07  
APPROVED: XXX



**WATER MAIN TESTING AND DISINFECTION NOTES:**

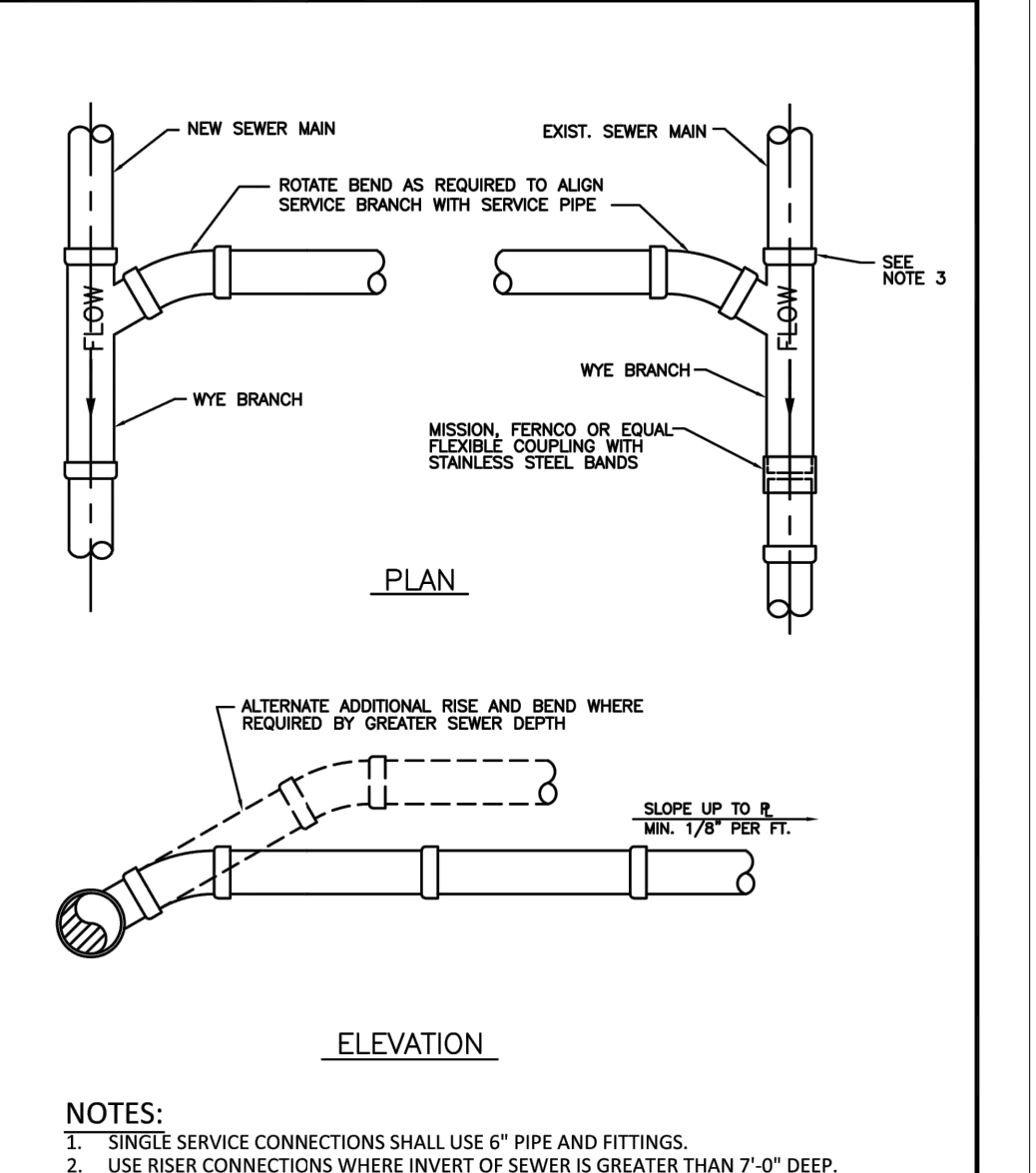
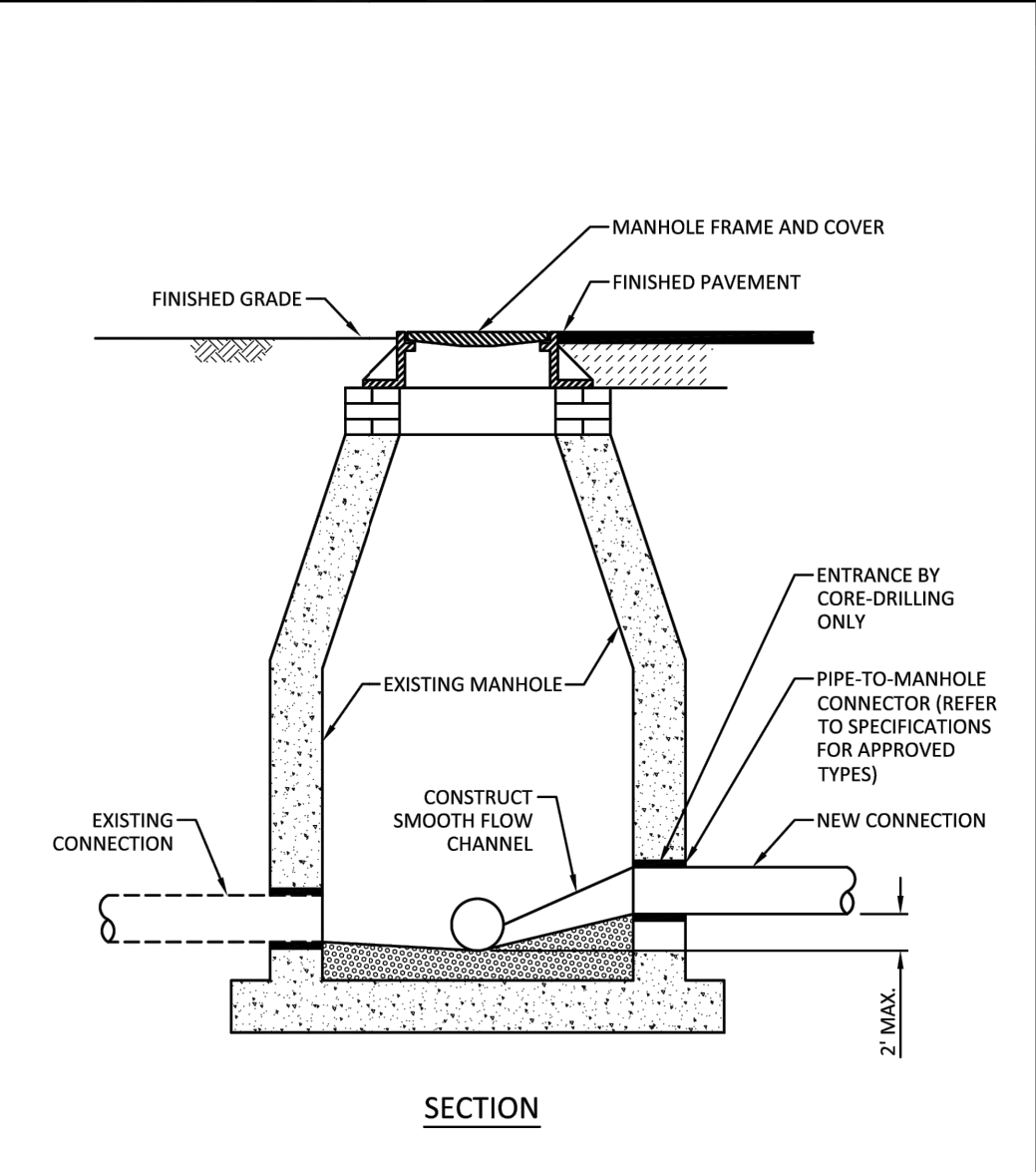
- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
- THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) OF ANNA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:  
$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$
  
L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.  
S = LENGTH OF PIPE BEING TESTED.  
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.  
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
- THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
- PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANS/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
- BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
- THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
DRAWN: EAM WATER MAIN TESTING AND DISINFECTION NOTES DRAWING NO. W-14  
APPROVED: XXX

**SEWER NOTES:**

- THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM. WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES, AN INFILTRATION OR INFLTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
- FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:  
$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$
  
WHERE:  
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR  
D = PIPE DIAMETER IN INCHES  
S = LENGTH OF LINES IN LINEAL FEET  
P = AVERAGE TEST PRESSURE IN PSI
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
DRAWN: EAM SANITARY SEWER MAIN CONSTRUCTION NOTES DRAWING NO. S-01  
APPROVED: XXX



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REV.	DATE	COMMENT	BY:
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Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!  
KRISTIN N. DIPERRO, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 34350  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPERRO, PE ON 7/15/2024. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.: F230118  
DRAWN BY: JFV  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118-WSU DETAILS

PROJECT:  
**TACO BELL REDEVELOPMENT**  
FOR  
**GPD GROUP**  
2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
8300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com

July 15, 2024  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

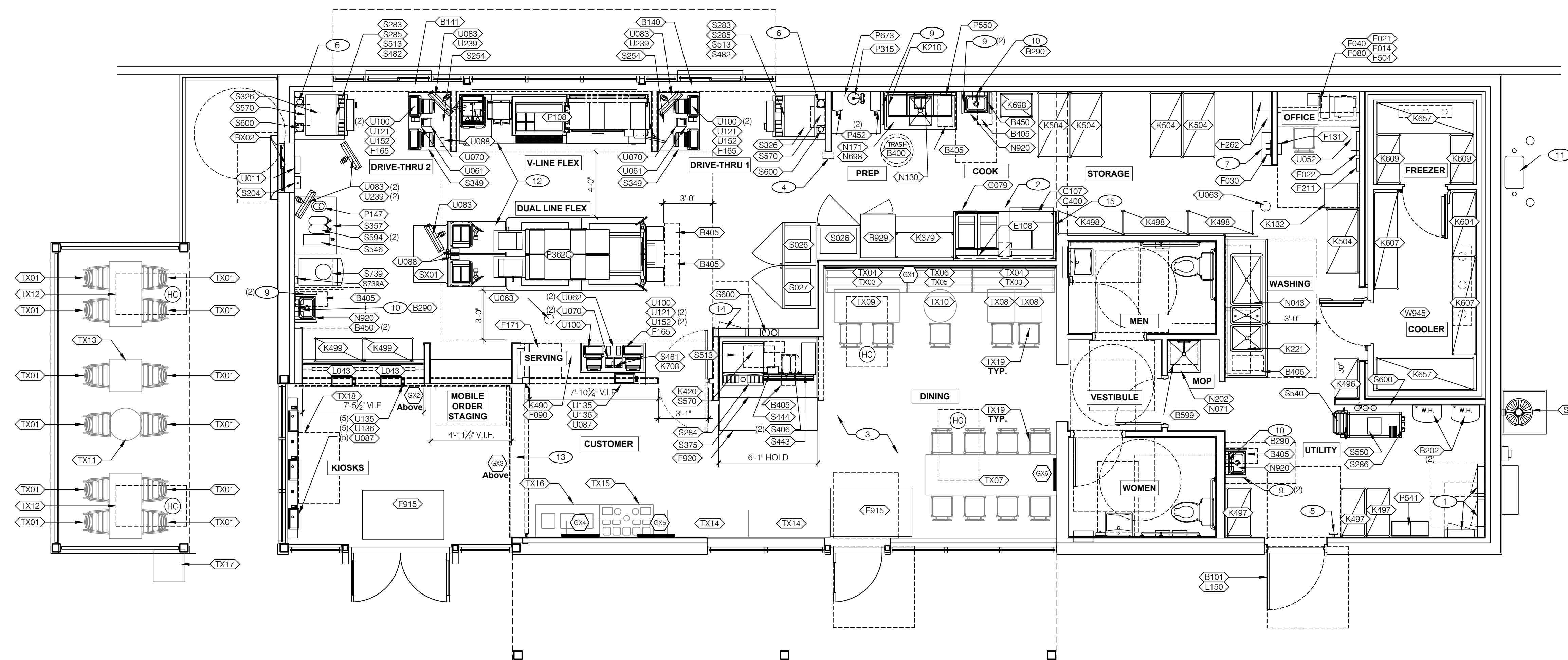
SHEET TITLE:  
**UTILITY DETAILS**  
SHEET NUMBER:  
**C-12**

Printed on Monday, July 15, 2024, 4:43 PM by Kristin Diperro

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Mark S. Salopek, LLC

701 W. Lakeside Ave. Apt. # 505  
Cleveland, OH 44113  
Phone 330.572.2112



**EQUIPMENT AND SEATING PLAN** 1/4"=1'-0" **A**

TAG	QTY	ITEM DESCRIPTION
TX01	12	PATIO CHAIR - 22 X 20 - EXTERIOR
TX03	2	BENCH BACK REST - 48"
TX04	2	BENCH SEAT - 48"
TX05	1	BENCH BACK REST - 60"
TX06	1	BENCH SEAT - 60"
TX07	1	HUB TABLE - 96" - (NOT HIGH TOP)
TX08	2	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
TX09	1	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
TX10	1	SS TABLE - 24 DIA X 30 - 2 TOP
TX11	1	PATIO TABLE - 24 DIA X 30 - 2 TOP - EXTERIOR
TX12	2	PATIO TABLE ADA - 24 X 48 X 30 - 4 TOP - EXTERIOR
TX13	1	PATIO TABLE - 24 X 20 X 30 - 2 TOP - EXTERIOR
TX14	2	COUNTER TOP - 60' X 20' X 30'
TX15	1	CONDIMENT COUNTER - RECTANGLE
TX16	1	WASTE ENCLOSURE - 3 STREAM
TX17	1	WASTE ENCLOSURE - SINGLE - EXTERIOR
TX18	1	KIOSK TABLE W/ (2) CORE DRILLED SUPPORTS, (3) GROMMETS

**FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.** **E**

TAG	QTY	ITEM DESCRIPTION
TX19	14	CHAIR - LAMINATE SEAT

**ARTWORK SCHEDULE** **D**

SYMBOL	QTY	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
(X)						
(GX1)	1	TBD			H 7'-0" x W 15'-0"	SEE A8.0
(GX2)	1	TBD			H 13'-0" x W 10'-0"	SEE A8.0
(GX3)	1	TBD			H 13'-0" x W 14'-0"	SEE A8.0
(GX4)	1	TBD			28x40	SEE A8.0
(GX5)	1	TBD			28x40	SEE A8.0
(GX6)	1	TBD			30'	SEE A8.0

ARTWORK PROVIDED IS FPO (for placement only) REFER TO ARTWORK CATALOG ON TACOBELLPLANS.COM FOR 3 OTHER OPTIONS  
ALL DIMENSIONS ON WALLS TO RECEIVE MURALS SHALL BE FIELD VERIFY PRIOR TO ORDERING AND LARGER THEN ACTUAL WALL FOR EDGE TO EDGE COVERAGE.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	66
COLD STORAGE	22
FROZEN STORAGE	12

**SHELVING QUANTITIES** **C**

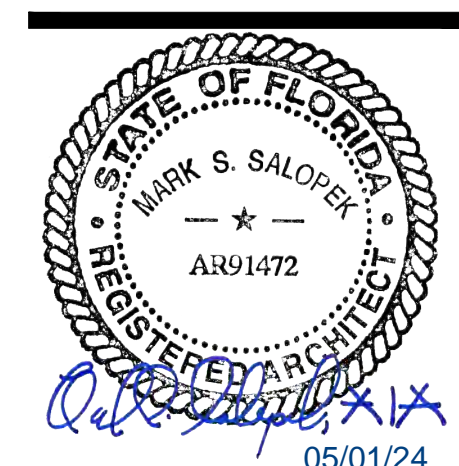
- DECOR**
- REFER TO SC SHEETS FOR SCOPE OF WORK FOR RESPONSIBILITIES.
  - (HC) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

**GENERAL NOTES** **C1**

- ELECTRICAL PANELS.
- HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
- MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).
- ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
- PULL STATION @ 3'-8" A.F.F.
- REFRIGERANT LINES RUN IN SS CHASE MOUNTED TO WALL.
- TBCCB ENERGY MANAGEMENT BOX ABOVE COAT RACK F030.
- NOT USED.
- SPLASH GUARD.
- AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
- GAS METER.
- FOR DUAL-FLEX LINE AND I-LINE FLEX SUB-EQUIPMENT SEE SHEETS A8.2 & A8.3.
- ROLL-UP GRILLE.
- LOCATION OF V-LINE ELECTRIC PANEL.
- HOOD END PANEL.

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**KEY NOTES** **B**



PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24  
BLDG TYPE: KITCHEN-X MED20  
WM UPLOAD DATE:  
BRAND DESIGNER: TS  
SITE NUMBER: 296861  
STORE NUMBER: 461022  
PA/PM: Dowling  
DRAWN BY.: RS  
JOB NO.: 2023088.52

**KITCHEN-X MED20**  
2700 Sterling Rd.  
Hollywood, FL 33020



**EQUIPMENT AND SEATING PLAN**

**A2.0**

PLOT DATE:

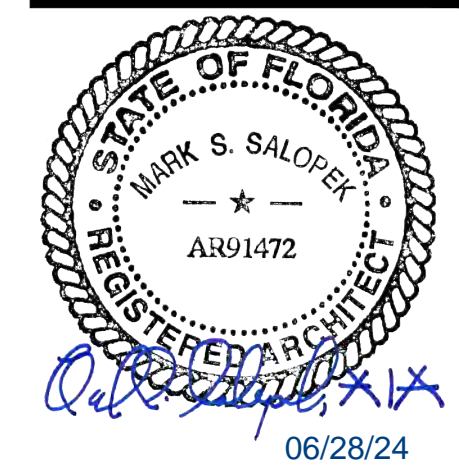
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Mark S. Salopek, LLC

701 W. Lakeside Ave., Apt. # 503  
Cleveland, OH 44113  
Phone 330.572.2112



**COORDINATION NOTE:**  
EGRESS LIGHTING REQUIRED AT ALL DOORS. REFER TO ELECTRICAL LIGHTING PLAN FOR EXTERIOR LIGHTING LOCATIONS



PLAN SET ISSUE / REVISION HISTORY

**WALK-UP ELEVATION 1/4"=1'-0" A**

SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
<b>CLADDING</b>						
1	SIDING, LOWER HALF OF BUILDING	X	CMU STACK BOND	GRAY	X	X
2	SIDING, UPPER HALF OF BUILDING	PAC-CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	SLATE GRAY	1-3/8" DEEP PANELS	X
<b>TRIM</b>						
3a	WALL TRIM: VERTICAL	-	BRAKEMETAL OVER FRT 2X6	MATCH STOREFRONT		X
3b	WALL TRIM: HORIZONTAL	-	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT		X
<b>METAL</b>						
4	PARAPET CAP	X		SW7674 PEPPERCORN	X	X
5	OVERFLOW SCUPPERS	X		SW7674 PEPPERCORN	X	X
6	SERVICE DOOR AND FRAME	X		SW7674 PEPPERCORN	X	X
7	METAL TUBE FRAME - REAR OF BUILDING (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW7674 PEPPERCORN (PREFERRED POWDER COATED)	SEE DETAIL 14/A6.2	X
10	EQUIPMENT SCREEN	LAWRENCE METAL STRUCTURES	ARCHITECTURAL PERFORATED METAL SCREEN SET IN FRAME	PAINTED OR POWDERCOATED TO MATCH PANTONE 2306C	CUSTOM 13' X 14' 3-SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE SHOP DRAWINGS. APPROVAL REQUIRED BY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.	X
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLUMNS (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW7674 PEPPERCORN	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
<b>PAINT</b>						
15	CO2 ENCLOSURE	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINISHED TO MATCH)	SW7674 (PEPPERCORN)	X	X

**COORDINATION NOTE:**  
CONTACT YOUR ALIGNED BRAND DESIGNER FOR ALTERNATIVE FINISHES

**EXTERIOR FINISH SCHEDULE E**

**MISCELLANEOUS:**  
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.  
**SEALERS (REFER TO SPECS):**  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.  
THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.  
**VENDOR SUPPLIED / INSTALLED ELEMENTS:**  
GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

**GENERAL NOTES C**

TAG	QTY	ITEM DESCRIPTION	ELEC
V-1	2	20" WHITE CHANNEL LETTERS VERTICAL	YES
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	YES
V-2	1	13'-0" X 53" WALK-UP WINDOW ARCH ELEMENT	NO
V-3	1	60"W X 36"D X 6" H WALK-UP WINDOW CANOPY	YES
V-4	1	TB CORNER WRAP ELEMENT WITH BELL LOGO	YES
V-5	2	90" X 90" SWINGING BELL LOGO WITH FINISHES	YES
V-6	1	ENTRY ARCH ELEMENT	YES
V-7	1	DIRECTIONAL BLADE SIGN	NO

NOTE: REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION

**EXTERIOR SIGNAGE D**

- 1 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 2 DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 4 ARCHITECTURAL METAL PANELS.
- 5 HORIZONTAL WALL PLANKS.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.
- 7 INDICATES TOP OF ROOF DECK.
- 8 ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.
- 9 BOLLARDS PER CIVIL.
- 10 ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.
- 11 WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.
- 12 CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.
- 13 ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.
- 14 EXTERIOR RAILINGS AT SEATING / WALKUP WINDOW. SEE DETAIL 14/A6.2. SEE SITE PLAN FOR LOCATION.
- 15 METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK).
- 16 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 17 HOSE BIB - REFER TO PLUMBING DRAWINGS AND DETAIL 12/A6.1.
- 18 CO2 ENCLOSURE, FILLER VALVE BEYOND.
- 19 NOT USED.
- 20 SWITCHGEAR. IF ALLOWED BY JURISDICTION, PAINT TO MATCH WALL SURFACE.
- 21 CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.
- 22 OVERFLOW SCUPPER
- 23 GAS METER. DO NOT PAINT METER.
- 24 EMERGENCY LIGHTS, SEE ELECTRICAL SHEETS
- 25 HANDICAP SIGNAGE, MOUNT AT 5'-0" A.F.F.
- 26 SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
- 27 WALK-UP WINDOW.
- 28 PATIO CANOPY BY VENDOR.
- 29 PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BY VENDOR.
- 30 NOT USED.
- 31 ASSUME D/T LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

**KEY NOTES B**

CONTRACT DATE: 04/30/24  
BLDG TYPE: KITCHEN-X MED20  
WM UPLOAD DATE:  
BRAND DESIGNER: TS  
SITE NUMBER: 296861  
STORE NUMBER: 461022  
PA/PM: Dowling  
DRAWN BY: RS  
JOB NO.: 2023088.52

**KITCHEN-X MED20**  
2700 Sterling Rd.  
Hollywood, FL 33020



**EXTERIOR ELEVATIONS**

**A4.0**

PLOT DATE:

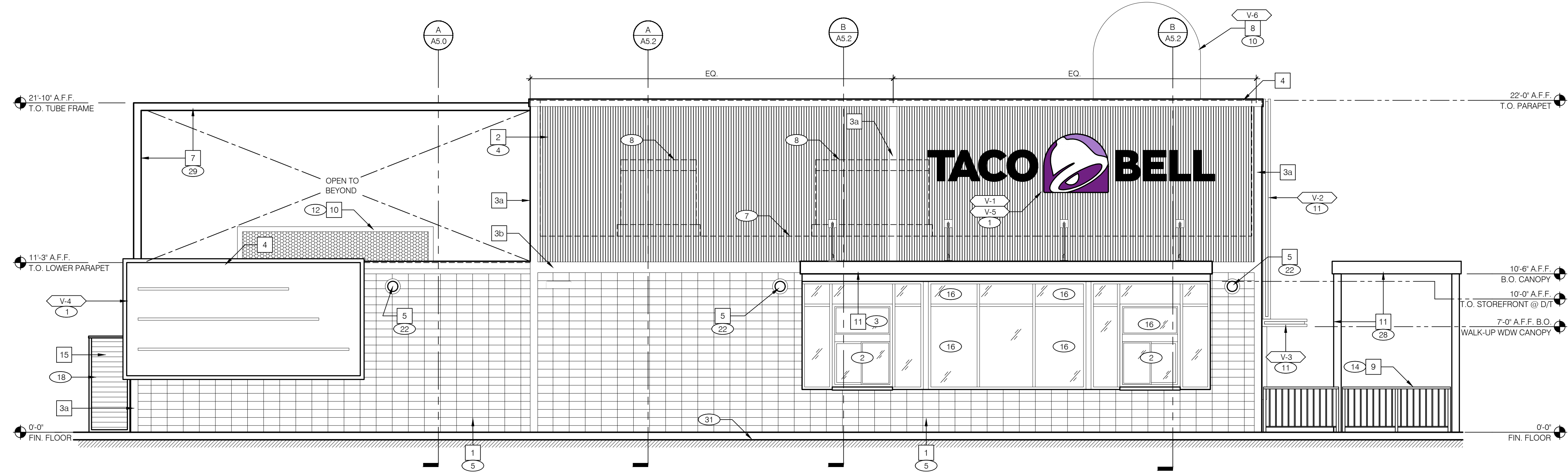


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CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

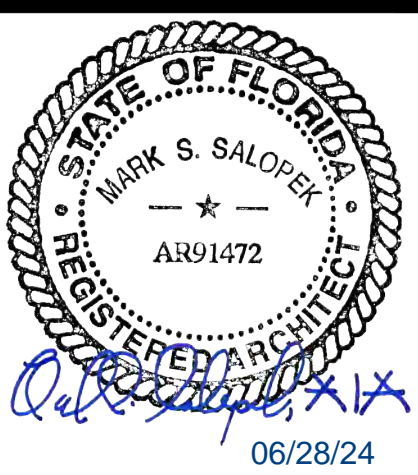
Mark S. Salopek, LLC

701 W. Lakeside Ave., Apt. # 503  
Cleveland, OH 44113  
Phone 330.572.2112

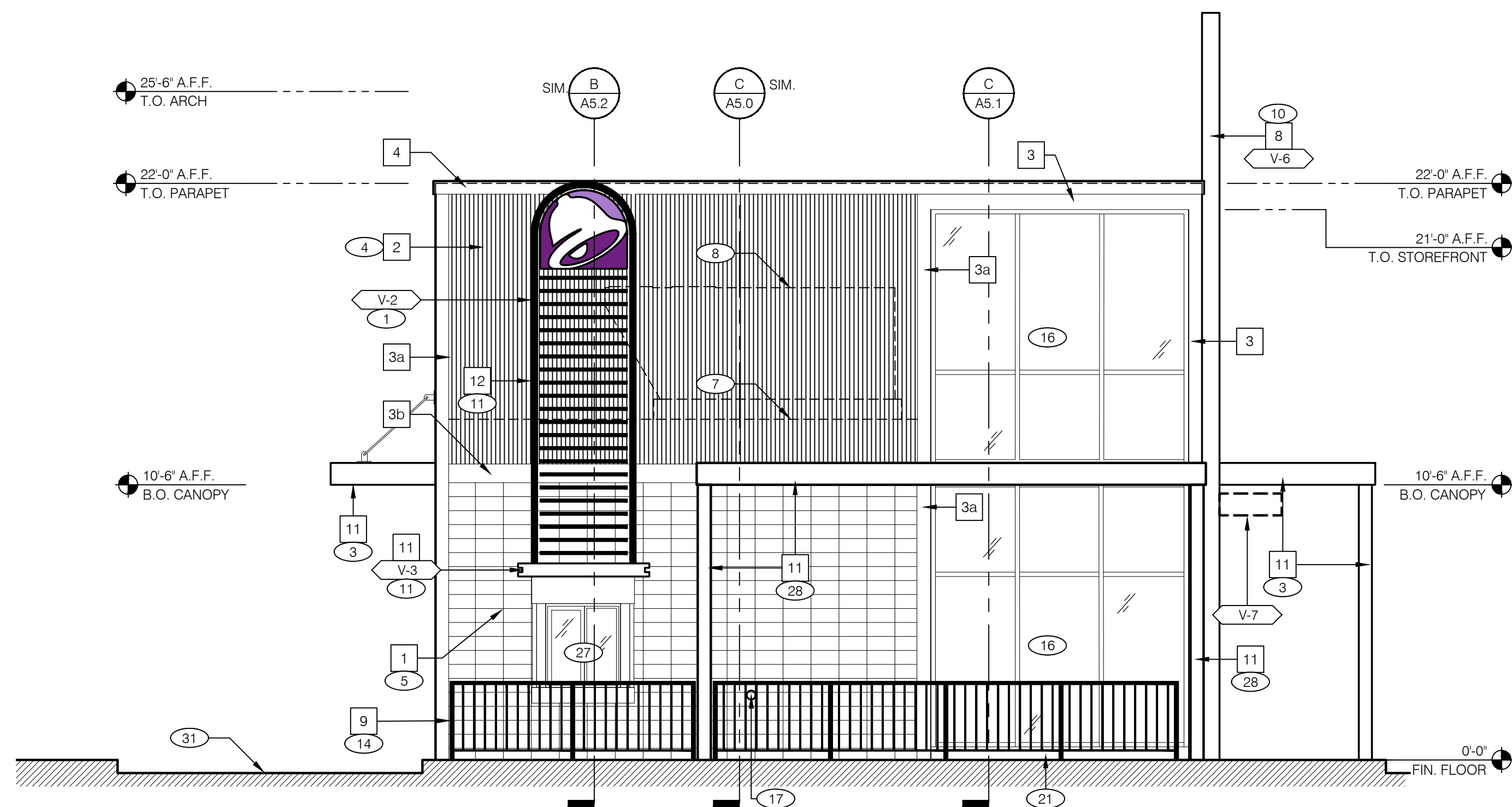


SEE SHEET A4.0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

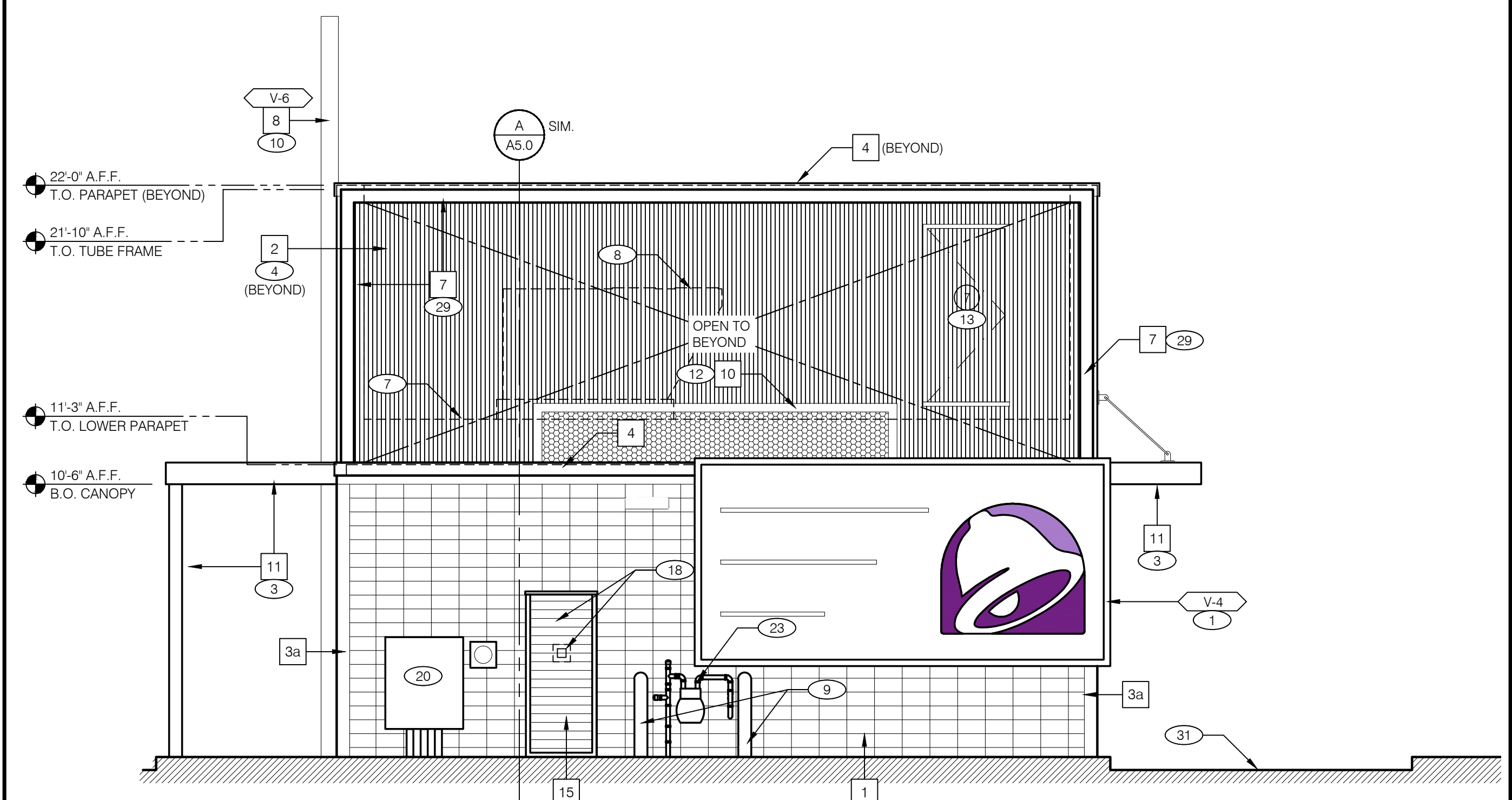
**DRIVE-THRU ELEVATION** 1/4"=1'-0" **B**



PLAN SET ISSUE / REVISION HISTORY



**FRONT ELEVATION** 1/4"=1'-0" **D**



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**REAR ELEVATION** 1/4"=1'-0" **C**

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BRAND DESIGNER: TS  
SITE NUMBER: 296861  
STORE NUMBER: 461022  
PA/PM: Dowling  
DRAWN BY.: RS  
JOB NO.: 2023088.52

**KITCHEN-X MED20**

2700 Sterling Rd.  
Hollywood, FL 33020



**EXTERIOR ELEVATIONS**

**A4.1**

PLOT DATE:



**TACO BELL**  
Hollywood, FL

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TACO BELL

**TACO BELL**  
Hollywood, FL

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**GPD GROUP**  
www.gpdgroup.com  
1.800.955.4731



**TACO BELL**  
Hollywood, FL

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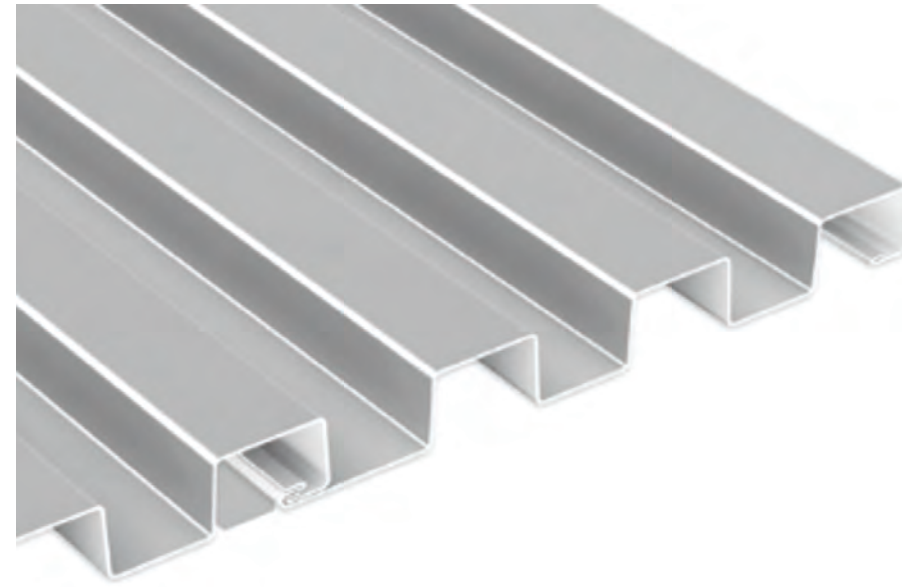


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SW7674 Peppercorn



PAC-CLAD Box Rib 1  
Slate Gray



CMU Stack Bond  
Gray



**TACO BELL**  
Hollywood, FL



2023088.52

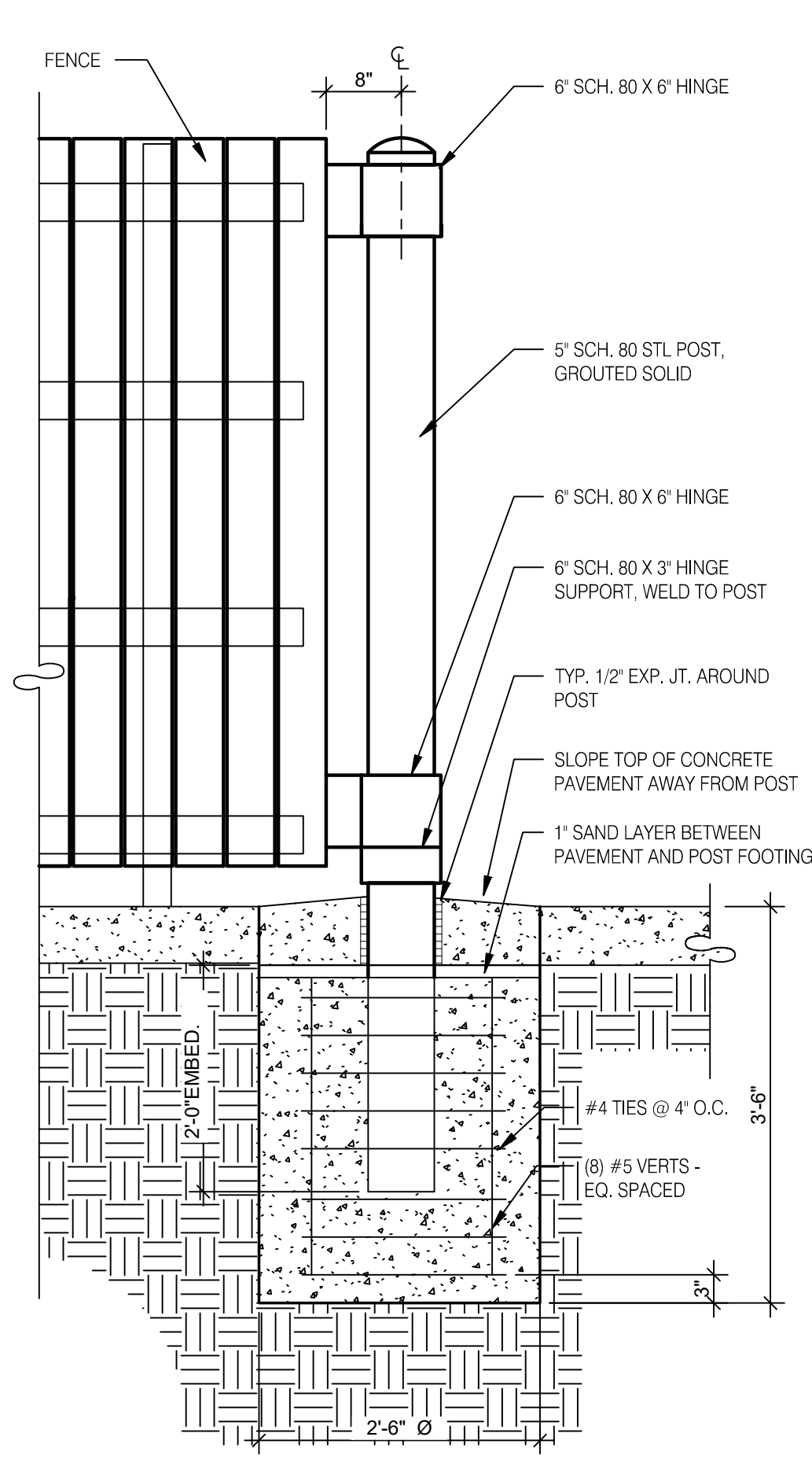
**GPD GROUP**

1.800.955.4731 www.gpdgroup.com

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Mark S. Salopek, LLC

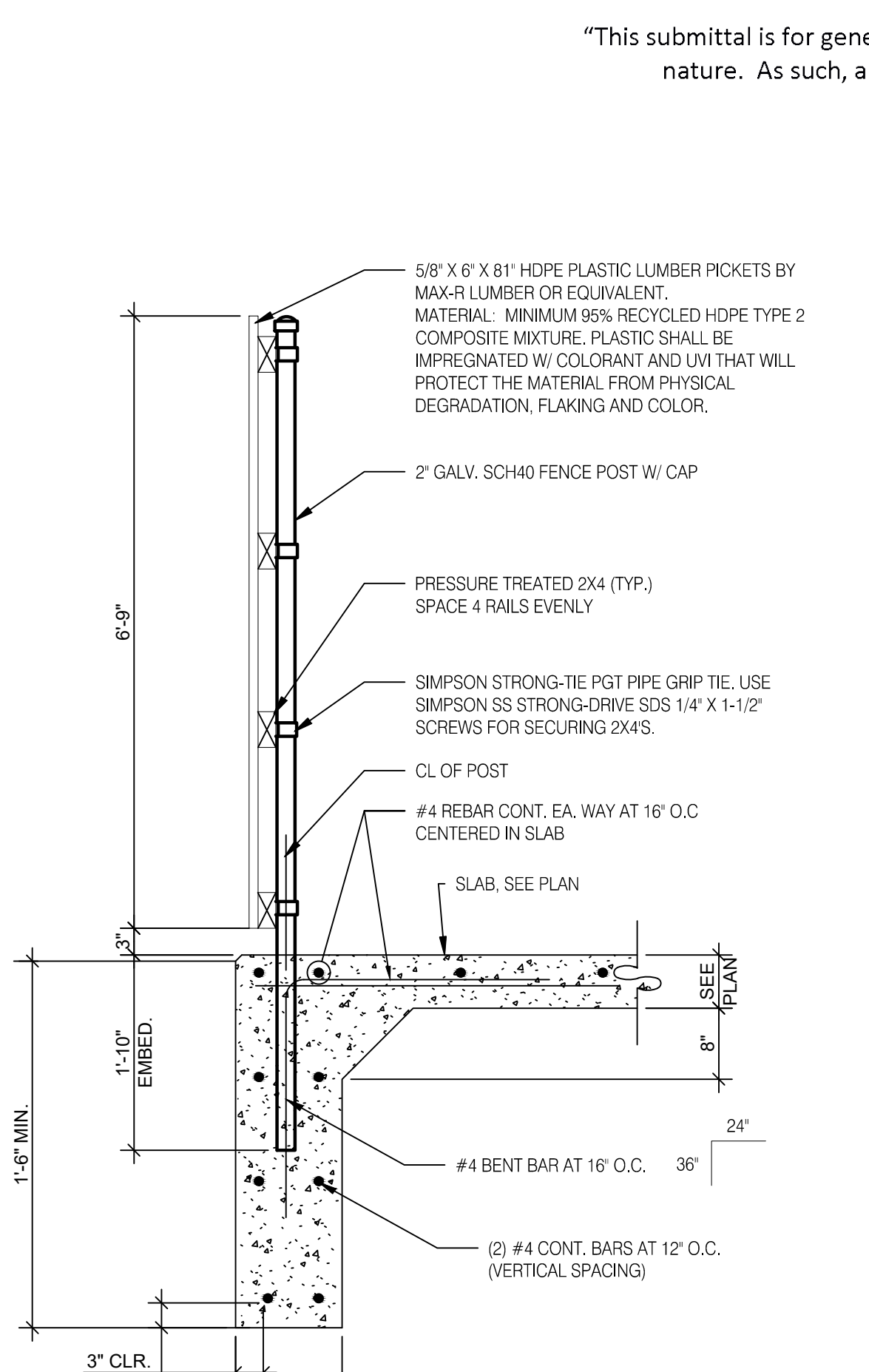
701 W. Lakeside Ave. Apt. # 505  
Cleveland, OH 44115  
Phone 353.572.2112



**GATE POST FOOTING** 3/4" = 1'-0" **H**

**GATE HARDWARE:** ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.  
**GATE STOP:** MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.  
**GATE NOTES:** (4) EQUAL WIDE x 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/T.S., 1 X1 1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

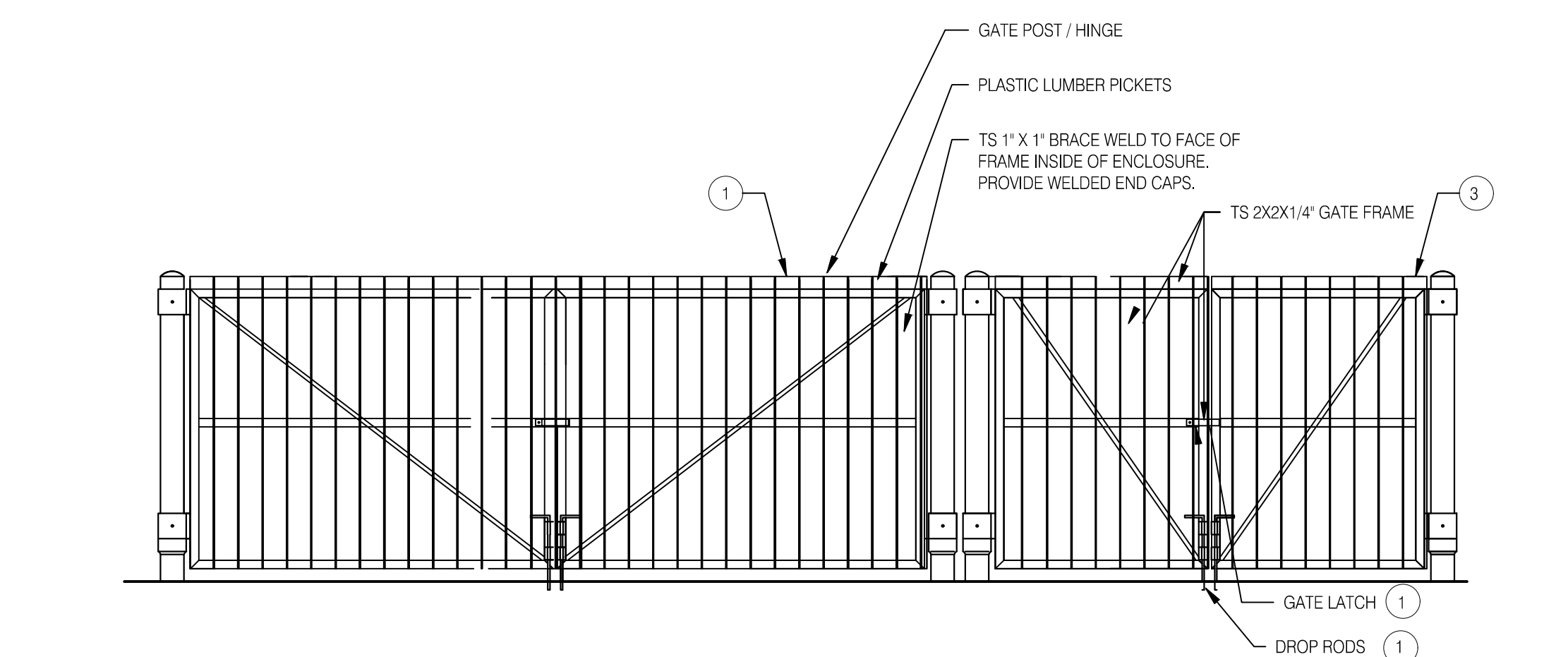
**ENCLOSURE NOTES** N.T.S. **G**



**FENCE SECTION** 3/4" = 1'-0" **F**

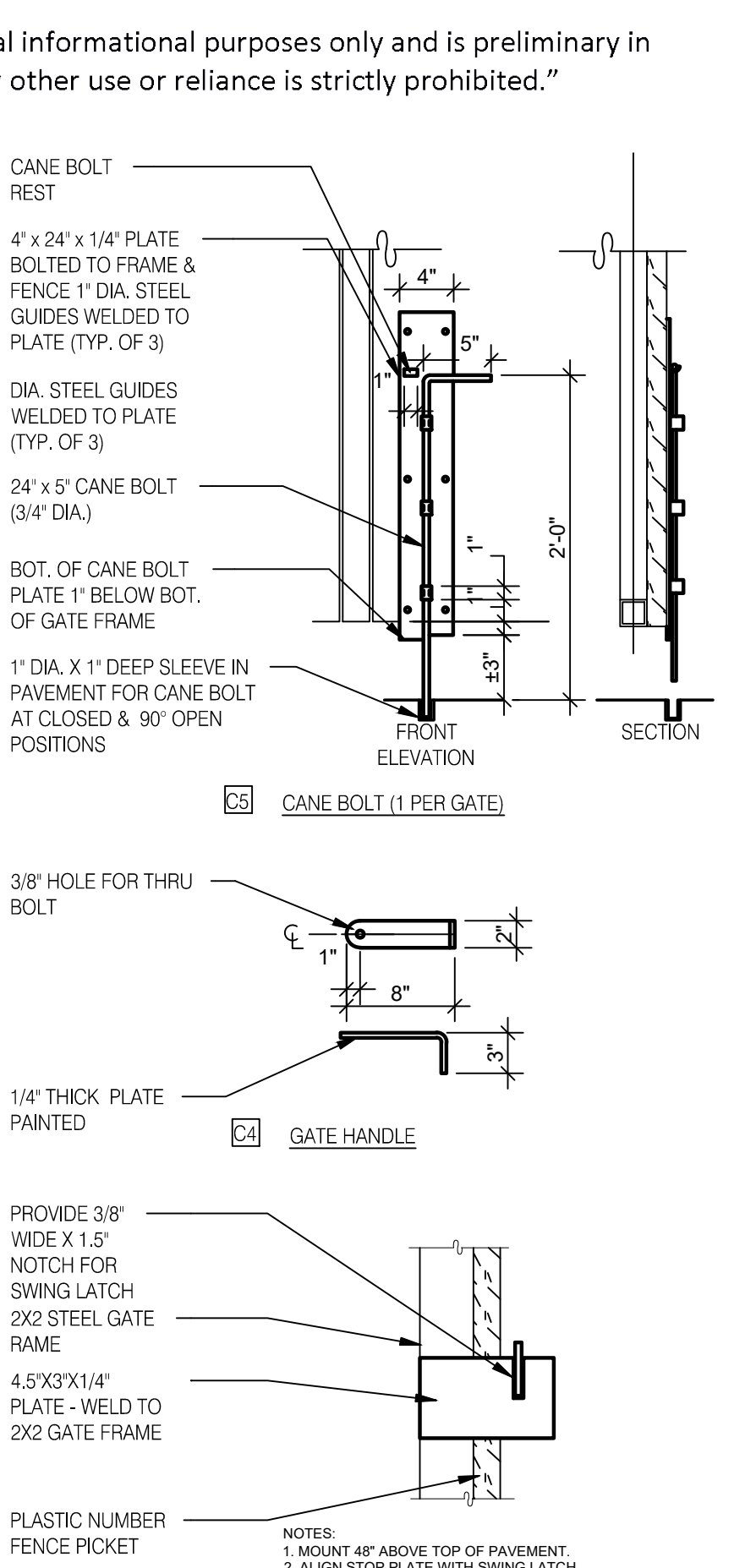
SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME PAINT	SHERWIN WILLIAMS	SW6990 (CAVIAR)
2	PIPE BOLLARD PAINT	BENJAMIN MOORE	CAUTION YELLOW
3	HDPE LUMBER	MAX. R	BLACK TEXTURE

**SCHEDULE** N.T.S. **E**

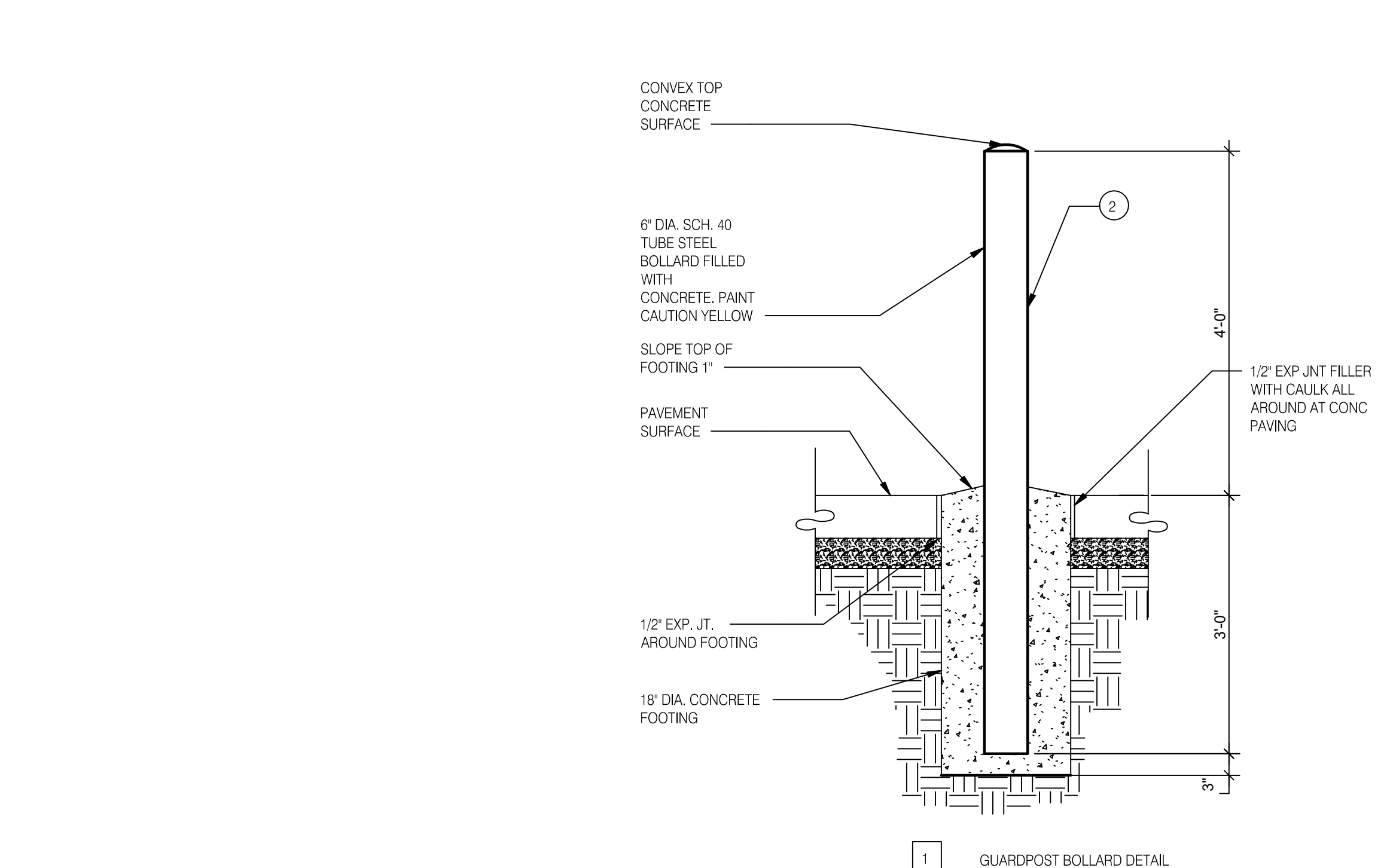


**FRONT ELEVATION** N.T.S. **D**

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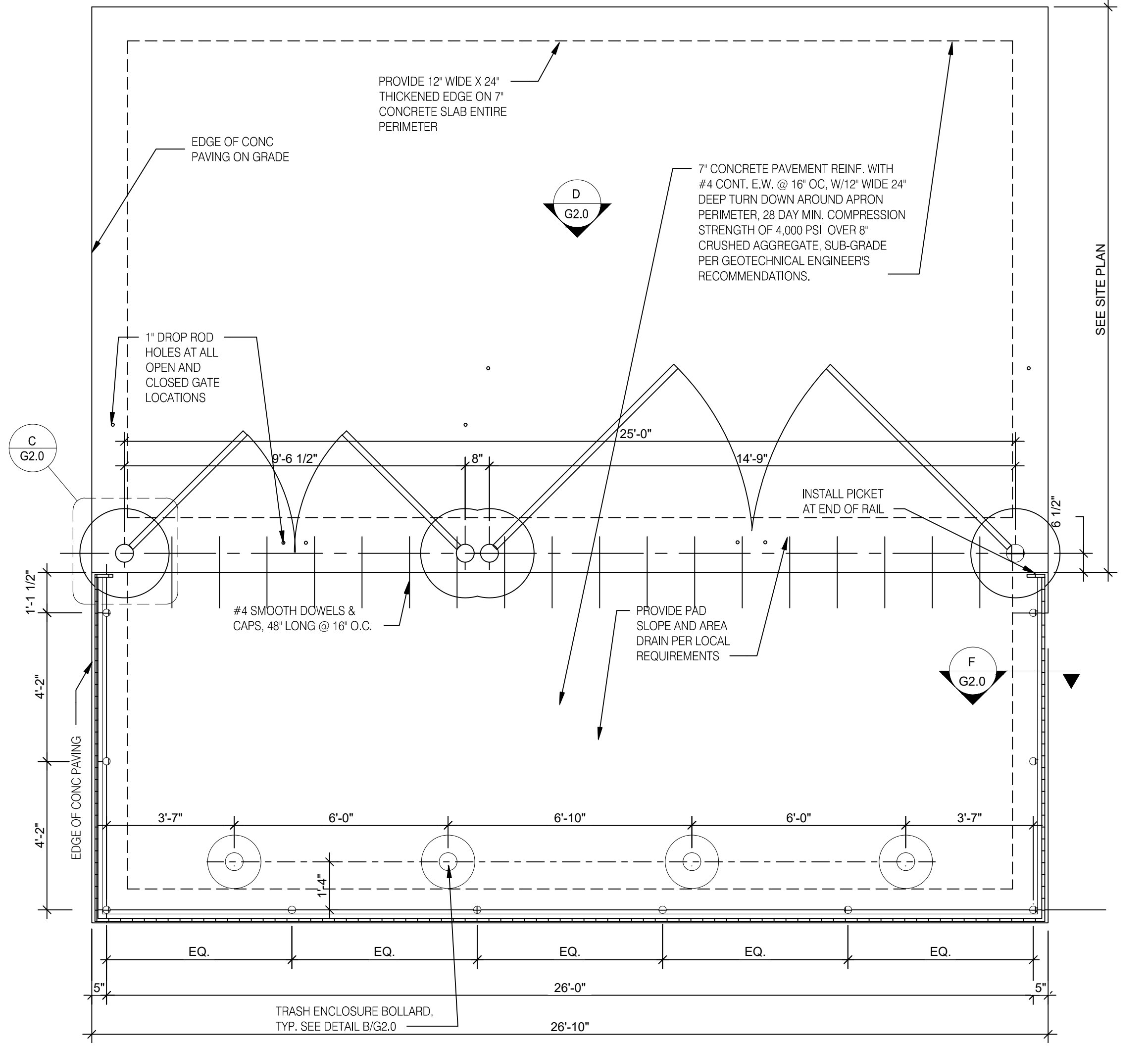
**GATE DETAILS** N.T.S. **C**



**TRASH ENCLOSURE BOLLARD DETAIL** 3/4" = 1'-0" **B**

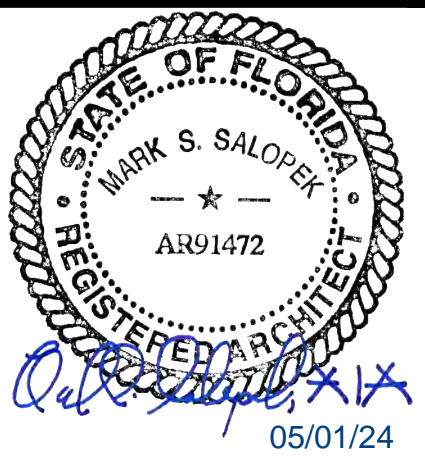
**CONCRETE NOTES:**  
1. INSTALL 1/2" EXP. JT. MATERIAL AND SEALANT BETWEEN CONCRETE SLABS  
2. INSTALL CONTROL JOINTS AT MAX. 10' O.C. IN SLABS.  
3. SEE STRUCTURAL SHEET S0.0 FOR ADDITIONAL NOTES

**NOTE:** ENCLOSURE TO SATISFY LOCAL CODE REQUIREMENTS



**TRASH LAYOUT** 3/8" = 1'-0" **A**

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05/01/24

PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24  
BLDG TYPE: KITCHEN-X MED20  
WM UPLOAD DATE:  
BRAND DESIGNER: TS  
SITE NUMBER: 296861  
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PA/PM: Dowling  
DRAWN BY.: RS  
JOB NO.: 2023088.52

KITCHEN-X MED20

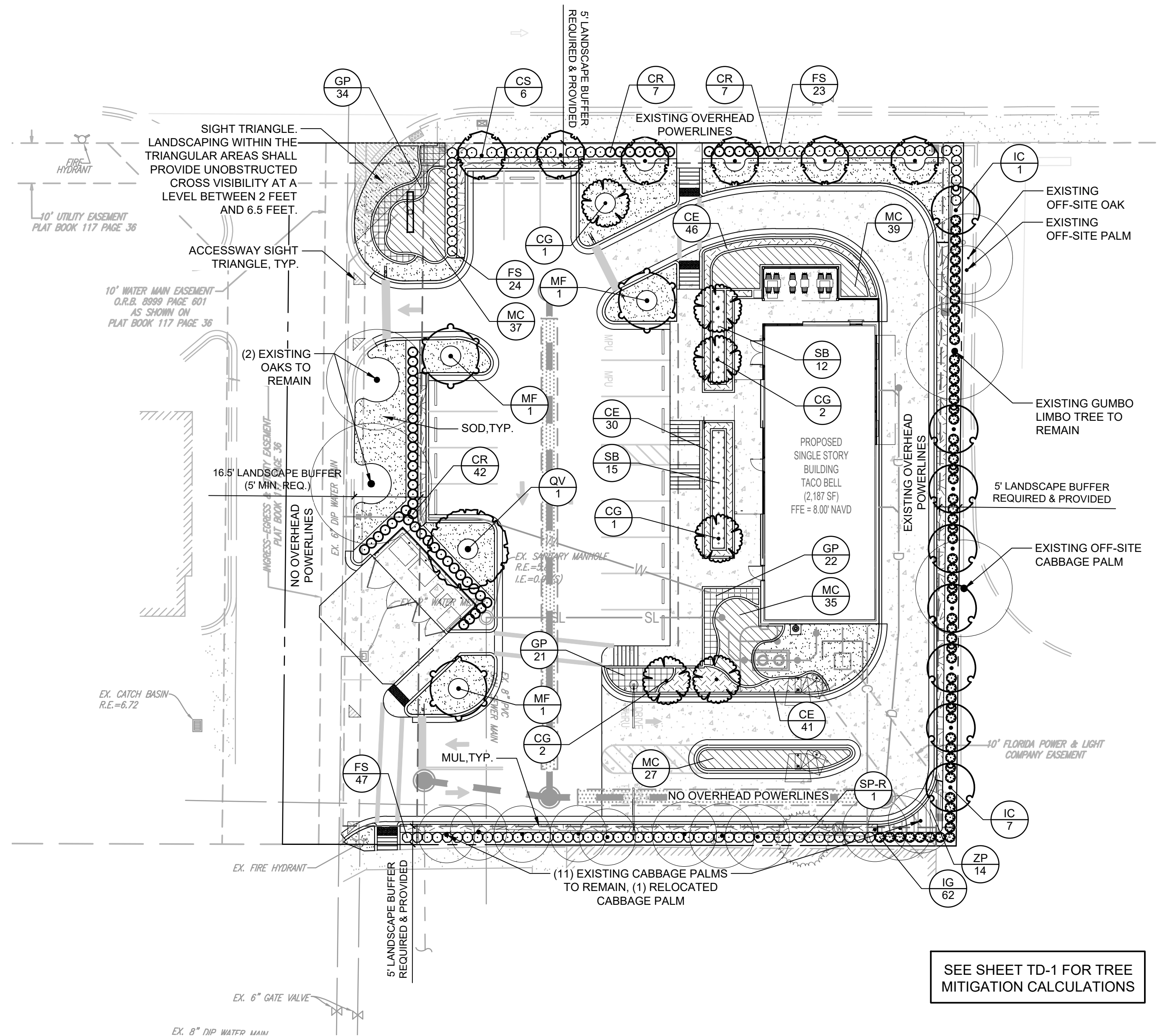
2700 Sterling Rd.  
Hollywood, FL 33020



TRASH ENCLOSURE DETAILS

G2.0

PLOT DATE:



SEE SHEET TD-1 FOR TREE MITIGATION CALCULATIONS

**CITY OF HOLLYWOOD NOTES**

- IRRIGATION PLANS WITH 100% COVERAGE TO BE SUBMITTED AT BUILDING PERMIT.
- CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL, ARE PROHIBITED FOR USE IN LANDSCAPING. PRIOR TO FINAL INSPECTION APPROVAL, PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.
- NO CYPRESS MULCH IS TO BE USED ON SITE. PROVIDE EUCALYPTUS OR MELALEUCA MULCH IN A 3" CONSISTENT LAYER IN ALL PLANTING BEDS.
- NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.
- ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
- REPLACE AND FILL GAPS FOR ANY EXISTING SHRUBS AND GROUND COVER TO REMAIN. ALL SOD AREAS TO BE REPLACED AS NEEDED. PLANTING SOIL TO BE RAISED IN PLANTING AREAS TO REMAIN AS NEEDED.

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER SOURCE AVAILABLE (RECLAIMED OR SHALLOW WELL), AND THE SYSTEM WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE WHERE REQUIRED BY THE JURISDICTIONAL AUTHORITY. POTABLE WATER SHALL NOT BE USED FOR LANDSCAPE IRRIGATION (PW UTILITY STANDARDS MANUAL 1.1.3.B.).
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC
<b>TREES</b>										
CS	6	6	CONOCARPUS ERECTUS F. SERICEUS STD., FOR USE UNDER OVERHEAD POWER LINES	SILVER BUTTONWOOD	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH
CG	6	6	CORDIA SEBESTENA STD., FOR USE UNDER OVERHEAD POWER LINES	ORANGE GEIGER TREE	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	MEDIUM
IC	8	8	ILEX CASSINE FOR USE UNDER OVERHEAD POWER LINES	DAHOON HOLLY	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	MEDIUM
MF	3	3	MYRCIANTHES FRAGRANS STD.	SIMPSON'S STOPPER	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH
QV	1	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH
<b>RELOCATED TREES</b>										
SP-R	1	1	SABAL PALMETTO	CABBAGE PALM	---				YES	HIGH
<b>SHRUBS</b>										
CR	56	56	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCO PLUM	CONT.	30" OC	24" MIN.	FULL	YES	HIGH
FS	94	94	FORESTIERA SEGREGATA	FLORIDA PRIVET	CONT.	30" OC	24" MIN.	FULL	YES	HIGH
IG	62	62	ILEX GLABRA	INKBERRY HOLLY	CONT.	30" OC	24" MIN.	FULL	YES	MODERATE
<b>GROUND COVERS</b>										
CE	117	117	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET NATAL PLUM	CONT.	24" OC	12" MIN	FULL	NO	HIGH
GP	77	77	GAILLARDIA PULCHELLA	YELLOWTOP	CONT.	24" OC	FULL	FULL	YES	MODERATE
MC	138	138	MUHLBERGIA CAPILLARIS	PINK MUHLY GRASS	CONT.	30" OC	FULL	FULL	YES	HIGH
SB	27	27	SPARTINA BAKERI	SAND CORDGRASS	CONT.	30" OC	12" MIN	FULL	YES	HIGH
ZP	14	14	ZAMIA PUMILA	COONTIE CYCAD	CONT.	30" OC	12" MIN	FULL	YES	HIGH
<b>MULCH</b>										
MUL	732 SF	732 SF	SHREDDED MELALEUCA OR EUCALYPTUS MULCH (CYPRESS MULCH IS PROHIBITED)			3" DEPTH				
<b>SOD/SEED</b>										
SOD	2,480 SF	2,480 SF	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIGRASS	SOLID SOD					

**LANDSCAPE CALCULATIONS**

<b>JURISDICTION:</b>	CITY OF HOLLYWOOD, FLORIDA	<b>GENERAL TREE REQUIREMENT</b>	7,661 SF
<b>ZONING:</b>	PD (OAKWOOD PLAZA)	<b>TOTAL PERVIOUS SITE AREA:</b>	8 TREES (1 TREE PER 1,000 SF OF PERVIOUS AREA)
<b>FLU:</b>	COMMERCIAL	<b>TREES REQUIRED:</b>	8 TREES
<b>CURRENT AND PROPOSED USE:</b>	RESTAURANT WITH DRIVE THRU	<b>TREES PROVIDED:</b>	8 TREES
<b>INTERIOR LANDSCAPE FOR VEHICLE USE AREA</b>		<b>NATIVE PLANT REQUIREMENT</b>	
<b>TOTAL AREA:</b>	16,192 SF	<b>TOTAL TREES REQUIRED:</b>	39 TREES
<b>PLANTING AREA REQUIRED:</b>	4,048 SF (25% OF VUA, % CALCULATION EXCLUDES REQ. PERIMETER LANDSCAPED SETBACK AREA)	<b>NATIVE TREES REQUIRED:</b>	24 TREES (60%)
<b>PLANTING AREA PROVIDED:</b>	4,156 SF	<b>NATIVE TREES PROVIDED:</b>	39 TREES (100%)
<b>TREES REQUIRED:</b>	5 TREES (1 TREE PER ISLAND)	<b>TOTAL SHRUBS REQUIRED:</b>	541 SHRUBS
<b>TREES PROVIDED:</b>	5 TREES	<b>NATIVE SHRUBS REQUIRED:</b>	271 SHRUBS (50%)
		<b>NATIVE SHRUBS PROVIDED:</b>	541 SHRUBS (100%)
<b>PERIMETER LANDSCAPE</b>		<b>TREE SPECIES REQUIREMENT</b>	
<b>NORTH LENGTH (STIRLING ROAD):</b>	152 LF, 5' WIDE MIN.	<b>TOTAL TREES REQUIRED:</b>	39 TREES
<b>TREES REQUIRED:</b>	3 STREET TREES (1 STREET TREE PER 50 LF)	<b>TREES SPECIES REQUIRED:</b>	4 SPECIES (4 MINIMUM SPECIES FOR 21-40 REQUIRED TREES)
<b>TREES PROVIDED:</b>	3 STREET TREES (OVERHEAD POWER LINES)	<b>TREES SPECIES PROVIDED:</b>	6 SPECIES
<b>HEDGE REQUIRED AND PROVIDED:</b>	PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM		
<b>EAST LENGTH (ADJ. COMMERCIAL):</b>	175 LF, 5' WIDE MIN.	<b>MAXIMUM ALLOWED PALM TREES</b>	
<b>TREES REQUIRED:</b>	9 TREES (1 TREE PER 20 LF)	<b>TOTAL TREES REQUIRED:</b>	39 TREES
<b>TREES PROVIDED:</b>	1 EXISTING GUMBO LIMBO TREE & 8 PROPOSED TREES (OVERHEAD POWER LINES)	<b>PALM TREES MAXIMUM:</b>	19 PALMS (50% OF REQUIRED TREES MAXIMUM)
<b>HEDGE REQUIRED AND PROVIDED:</b>	PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM	<b>PALM TREES PROPOSED:</b>	12 EXISTING CABBAGE PALMS TO REMAIN
<b>SOUTH LENGTH (ADJ. COMMERCIAL):</b>	152 LF, 5' WIDE MIN.	<b>IF MORE THAN 20% OF REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE NATIVE SHADE TREES: PROVIDED</b>	
<b>TREES REQUIRED:</b>	7 TREES (1 TREE PER 20 LF)		
<b>TREES PROVIDED:</b>	12 EXISTING CABBAGE PALMS		
<b>HEDGE REQUIRED AND PROVIDED:</b>	PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM		
<b>WEST LENGTH (ACCESS DRIVEWAY):</b>	132 LF, 5' WIDE MIN.		
<b>TREES REQUIRED:</b>	7 TREES (1 TREE PER 20 LF)		
<b>TREES PROVIDED:</b>	2 EXISTING OAK TREES (SIGN, DUMPSTER ENCLOSURE)		
<b>HEDGE REQUIRED AND PROVIDED:</b>	PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM		

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**THOMAS ENGINEERING GROUP**  
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REVISIONS

REV.	DATE	COMMENT	BY:

**Sunshine 811**  
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

PROJECT No.: F230118  
 DRAWN BY: JNM  
 CHECKED BY: MMB  
 DATE: 07/05/2024  
 CAD I.D.: TACO BELL - HOLLYWOOD FL - STIRLING RD - CT

**TACO BELL REDEVELOPMENT**  
 FOR  
**GPD GROUP**  
 2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
 6300 NW 31ST AVENUE  
 FORT LAUDERDALE, FL 33309  
 PH: (954) 202-7000  
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 www.ThomasEngineeringGroup.com

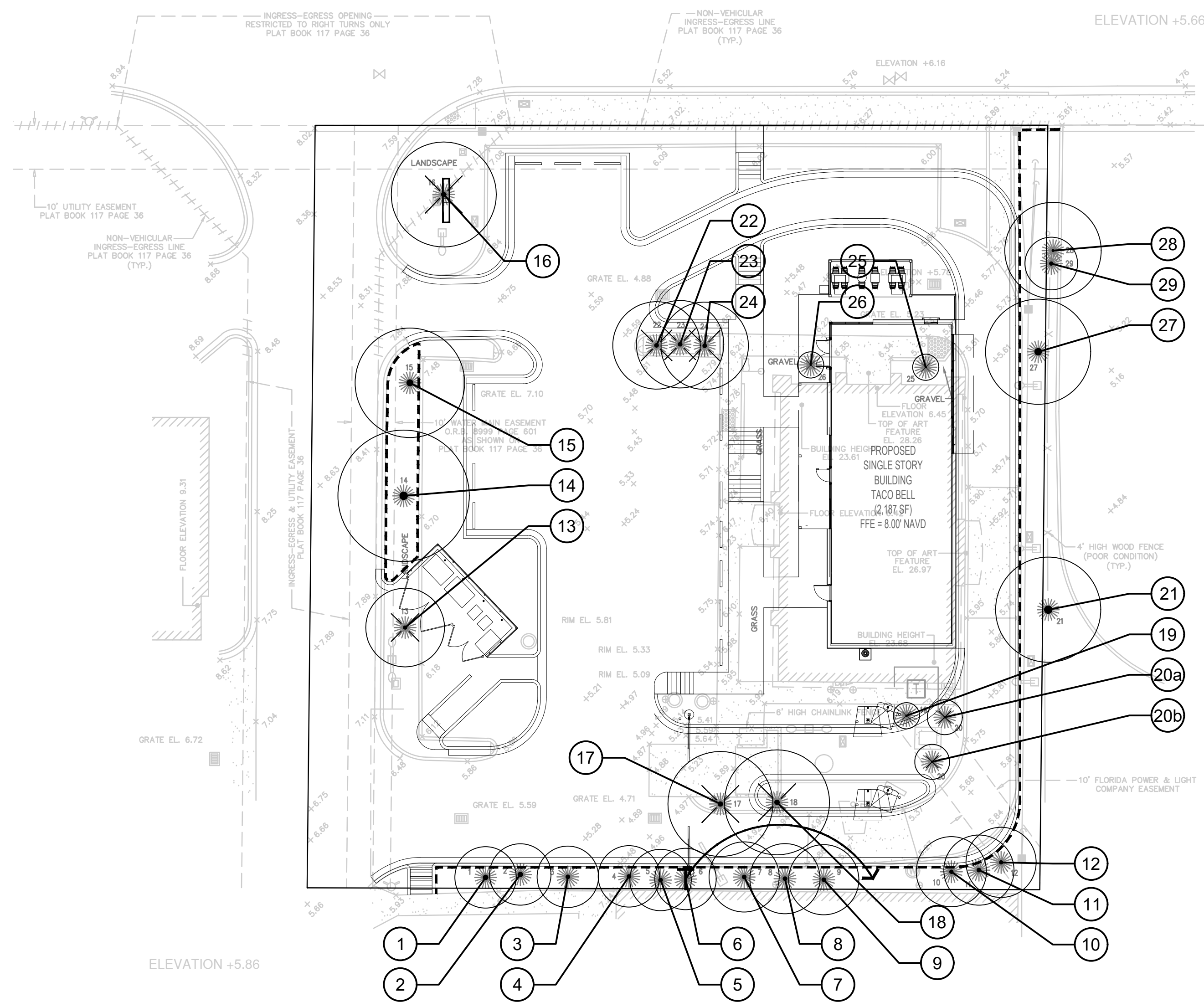
REGISTERED LANDSCAPE ARCHITECT  
 JENNIFER N. MILLER  
 LA 6667079  
 STATE OF FLORIDA

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SHEET TITLE:  
**LANDSCAPE PLANTING PLAN**  
 SHEET NUMBER:  
**LP-1**







Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

LEGEND

- (28) INDICATES TREE OR PALM NUMBER
- EXISTING TREE OR PALM TO BE PROTECTED IN PLACE
- TREE PROTECTION FENCE
- (28) INDICATES TREE OR PALM NUMBER
- EXISTING TREE OR PALM TO BE REMOVED
- T EXISTING TREE OR PALM TO BE TRANSPLANTED (SEE PLANTING PLAN FOR PROPOSED LOCATIONS)

SEE SHEET LP-1 FOR PROPOSED TREES

CITY OF HOLLYWOOD NOTES

1. ARBORIST TO PROVIDE ROOT PRUNING BY HAND AND MITIGATE IF FAILURE IS EXPECTED DUE TO CONSTRUCTION.
2. NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED, WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE COUNTY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREE RELOCATION GUIDELINES

1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
4. TREES SHALL BE ROOT AND CANOPY PRUNED IN ACCORDANCE WITH SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPLANTING.
5. DURING AND FOLLOWING TRANSPLANTING, THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
6. TRANSPLANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR.
7. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
8. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300, TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES" AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN, RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.

TREE INVENTORY

TREE NO.	COMMON NAME	D.B.H. (INCHES)	HEIGHT (FEET)	SPREAD (FEET)	COMMENTS	DISPOSITION	REPLACEMENT REQUIRED (INCHES)
1	CABBAGE PALM	12	24	14		REMAIN	
2	CABBAGE PALM	12	24	14		REMAIN	
3	CABBAGE PALM	10	20	14		REMAIN	
4	CABBAGE PALM	10	25	14		REMAIN	
5	CABBAGE PALM	10	20	14		REMAIN	
6	CABBAGE PALM	10	18	14		RELOCATE	
7	CABBAGE PALM	10	24	16		REMAIN	
8	CABBAGE PALM	10	24	16		REMAIN	
9	CABBAGE PALM	10	24	16		REMAIN	
10	CABBAGE PALM	9	24	16		REMAIN	
11	CABBAGE PALM	10	27	16		REMAIN	
12	CABBAGE PALM	9	24	16		REMAIN	
13	OAK	9	20	24		REMOVE	9
14	OAK	20	26	30		REMAIN	
15	OAK	16	25	25		REMAIN	
16	OAK	12	24	24		REMOVE	12
17	PALM	12	16	12		REMOVE	12
18	PALM	12	16	12		REMOVE	12
19	ROBELLINI PALM	3	16	10	TRIFLE	REMOVE	3
20a	ROBELLINI PALM	4	16	10		REMOVE	4
20b	ROBELLINI PALM	4	16	10		REMOVE	4
21	CABBAGE PALM	20	24	24	OFF-SITE	OFF-SITE	
22	PALM	10	20	14		REMOVE	10
23	PALM	10	10	10		REMOVE	10
24	PALM	10	10	8		REMOVE	10
25	PALM	3	24	16		REMOVE	3
26	PALM	3	24	16		REMOVE	3
27	GUMBO LIMBO	18	24	24		REMAIN	
28	OAK	5	22	22	OFF-SITE	OFF-SITE	
29	PALM	9	12	12	OFF-SITE	OFF-SITE	
<b>REQUIRED REPLACEMENT INCHES</b>							<b>92</b>

MITIGATION FOR REMOVAL OF EXISTING TREES

MITIGATION FOR REMOVAL OF 92" OF PROTECTED TREES SHALL BE ACHIEVED AS FOLLOWS:

(24) 2" D.B.H. PROPOSED TREES

PROPOSED TREE MITIGATION PROVIDED: 48"  
SEE PLANTING PLANS FOR PROPOSED TREE LOCATIONS.

REMAINING 44" REQUIRED MITIGATION SHALL BE SATISFIED BY PAYMENT TO THE CITY'S TREE TRUST FUND.

§ 9.9. EXISTING PLANT MATERIAL.

- A. IN INSTANCES WHERE HEALTHY PLANT MATERIAL IS BEING PRESERVED ON A SITE, THE DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES DIRECTOR MAY ADJUST THE APPLICATION OF THESE REGULATIONS TO ALLOW CREDIT FOR SUCH PLANT MATERIAL IF SUCH ADJUSTMENT IS IN KEEPING WITH THE INTENT OF THIS ARTICLE.
- B. WHERE TREES OF A 3 INCH CALIPER OR GREATER ARE REQUIRED TO BE REMOVED FROM A SITE, THE FOLLOWING SHALL APPLY FOR ALL PROPERTIES, EXCLUDING SINGLE FAMILY RESIDENCES:
  1. THE EQUIVALENT CALIPER DIAMETER OF REPLACEMENT TREES SHALL BE PLANTED ON OR OFF SITE WITH LOCATIONS APPROVED BY THE DIRECTOR. THE REPLACEMENT TREES ARE IN ADDITION TO THE NUMBER OF NEW TREES THAT ARE REQUIRED TO BE PLANTED, OR
  2. THE EQUIVALENT VALUE OF THE TREES BEING REMOVED SHALL BE PAID TO THE CITY OF HOLLYWOOD'S TREE TRUST FUND FOR PURCHASE OF REPLACEMENT TREES. FOR PURPOSES OF CALCULATING REPLACEMENT VALUE, THE CITY SHALL UTILIZE THE SAME STANDARDS AS BROWARD COUNTY, AS PROVIDED BY THE BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION;
  3. THE FOLLOWING TREES ARE EXEMPT FROM THE ABOVE PROVISIONS OF THIS SUBSECTION:
    - A. CITRUS SPECIES;
    - B. INVASIVE EXOTIC PEST TREES, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL;
    - C. PALM SPECIES THAT ARE HIGHLY SUSCEPTIBLE TO LETHAL YELLOWING;
    - D. TREES DETERMINED BY THE DIRECTOR TO BE IN SEVERE DECLINE AND/OR DISEASED.

CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL, ARE PROHIBITED FOR USE IN LANDSCAPING, PRIOR TO FINAL INSPECTION APPROVAL. PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



REVISIONS

REV.	DATE	COMMENT	BY

Sunshine 811 logo and contact information: Call 811 or visit sunshine811.com

PROJECT: TACO BELL REDEVELOPMENT FOR GPD GROUP. 2700 STIRLING ROAD, HOLLYWOOD, FLORIDA.

THOMAS ENGINEERING GROUP logo and contact information: 6300 NW 31ST AVENUE, FORT LAUDERDALE, FL 33309.



SHEET TITLE: TREE DISPOSITION PLAN. SHEET NUMBER: TD-1

Printed on Thursday, July 11, 2025, 3:37 PM by Jennifer Miller

**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

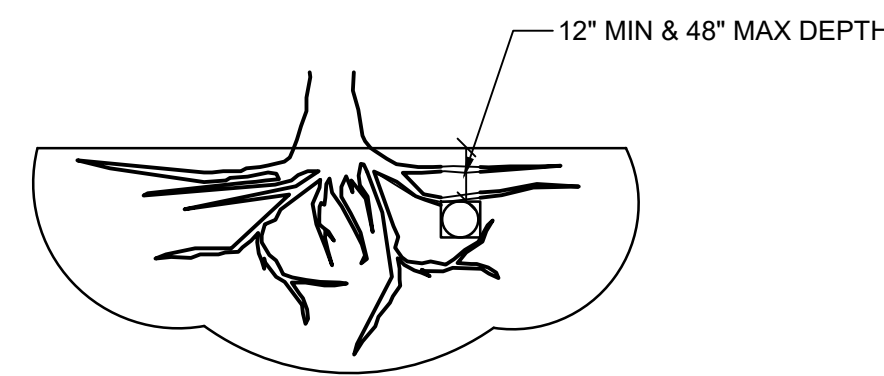
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1" FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

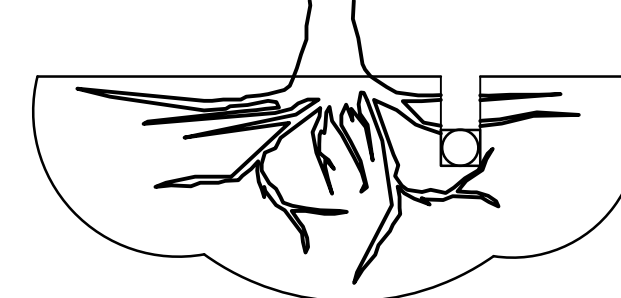
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

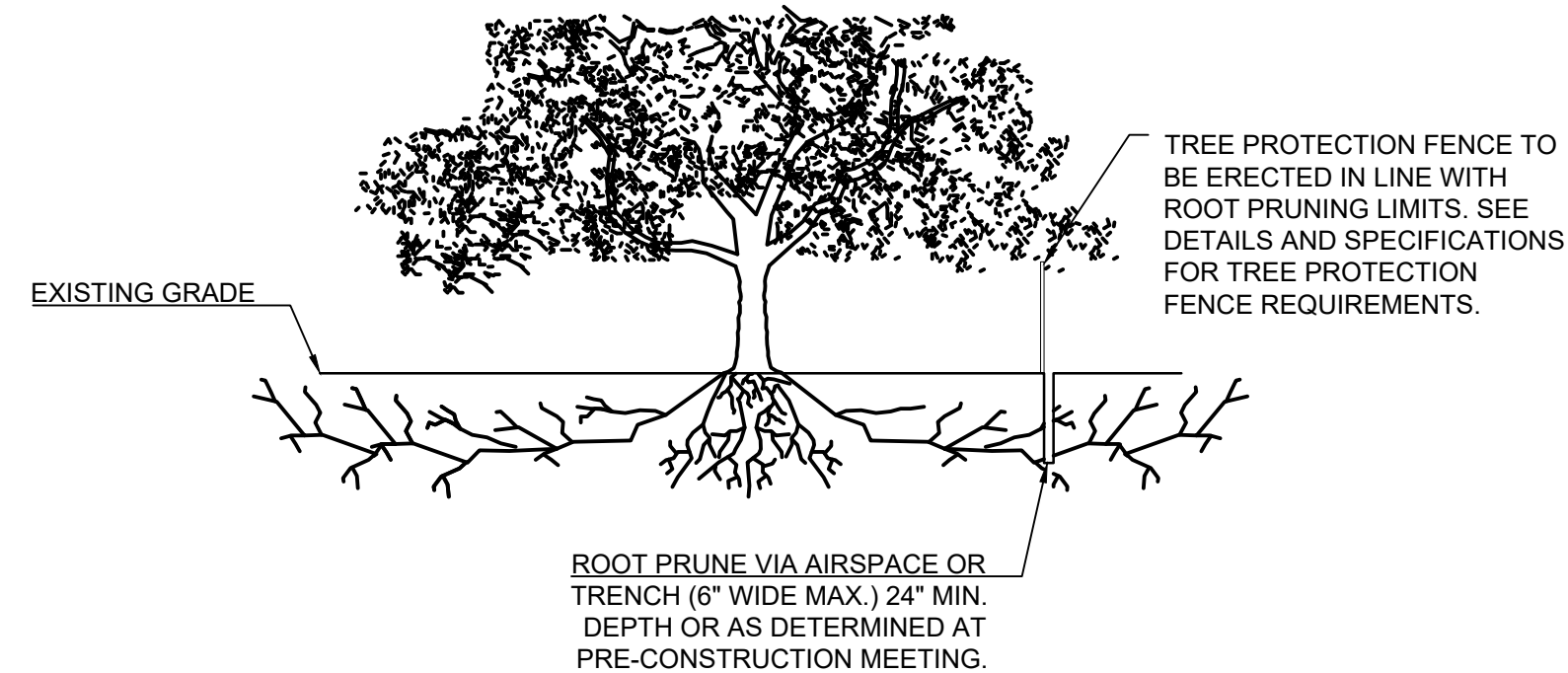


OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

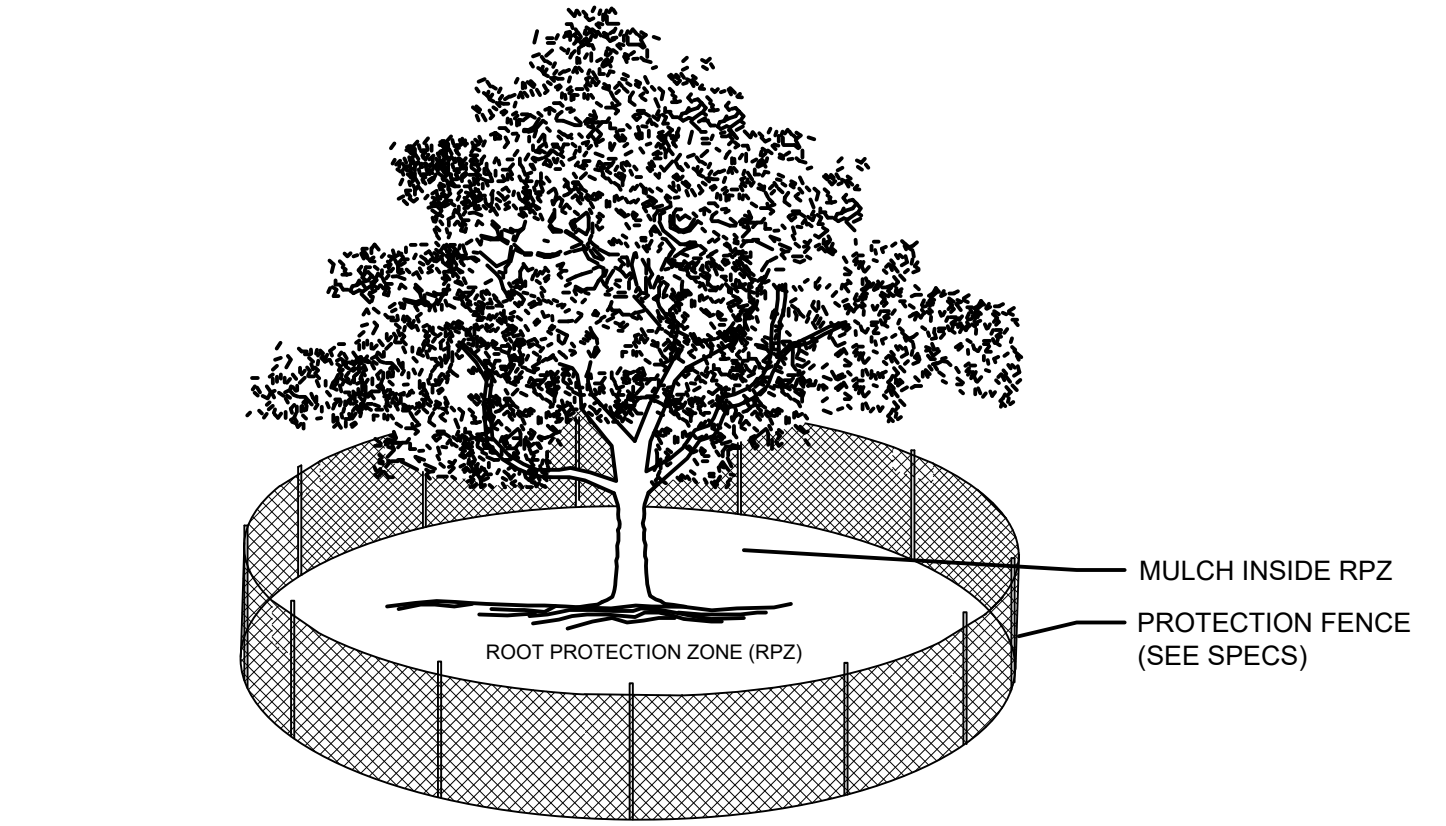
**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



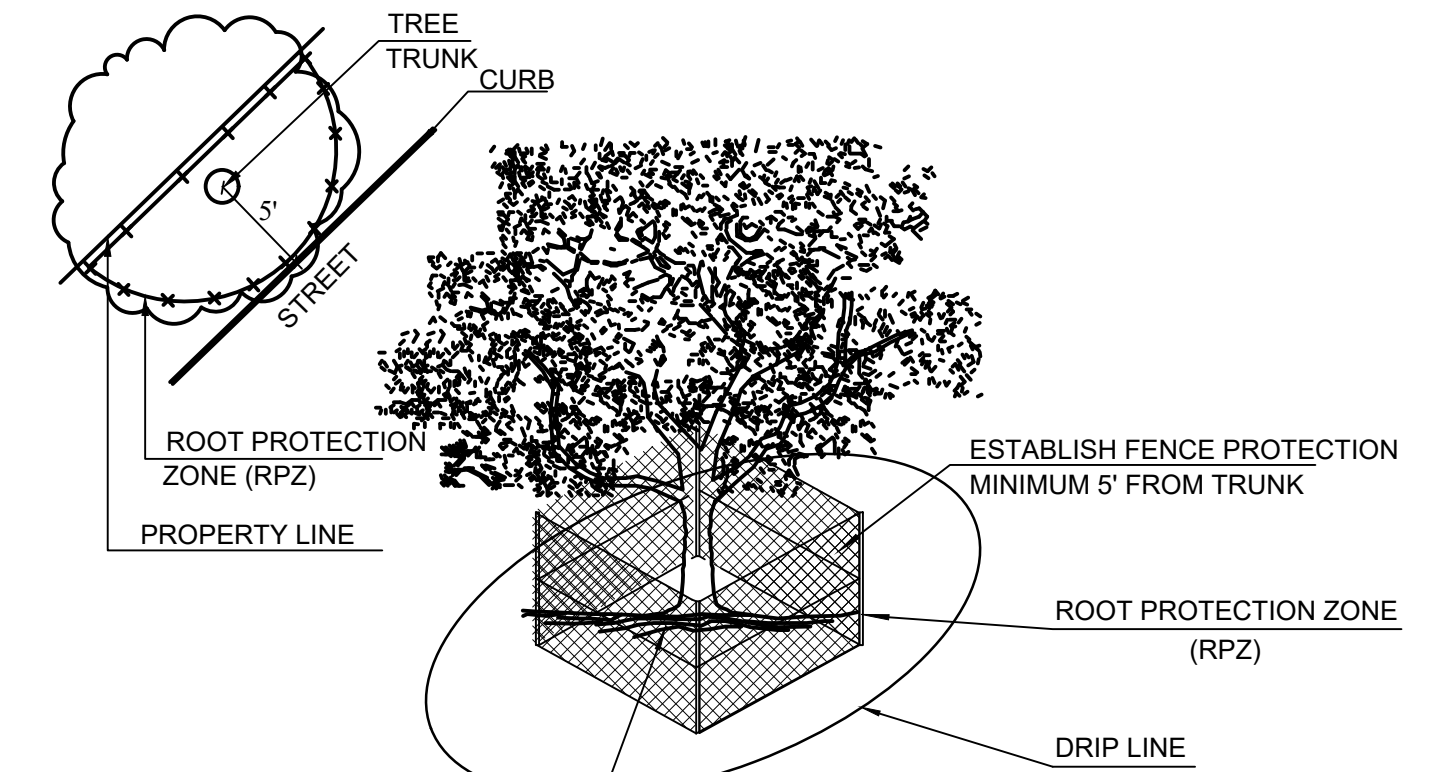
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**THOMAS ENGINEERING GROUP**  
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
 1502 W. FLETCHER AVE.  
 TAMPA, FL 33612  
 P: (813) 379-4100  
 F: (813) 263-7603  
 126 W. INDIANTOWN RD.  
 JUPITER, FL 33458  
 P: (561) 263-7603

REVISIONS			
REV.	DATE	COMMENT	BY

**Sunshine 811**  
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!  
 JENNIFER N. MILLER, STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO. LA6667079. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JENNIFER N. MILLER, RLA ON 6/28/2024. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.:	F230118
DRAWN BY:	JNM
CHECKED BY:	MNB
DATE:	07/05/2024
CAD I.D.:	TACO BELL - HOLLYWOOD FL -

**TACO BELL REDEVELOPMENT**  
 FOR **GPD GROUP**  
 2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
 6300 NW 31ST AVENUE  
 FORT LAUDERDALE, FL 33309  
 PH: (954) 202-7000  
 FX: (954) 202-7070  
 www.ThomasEngineeringGroup.com

REGISTERED LANDSCAPE ARCHITECT  
 JENNIFER N. MILLER  
 LA 6667079  
 STATE OF FLORIDA

SHEET TITLE:  
**TREE DISPOSITION DETAILS & SPECS**  
 SHEET NUMBER:  
**TD-2**

**EVERGREEN DESIGN GROUP**  
 (800) 680-6630  
 2255 Glades Rd., Suite 324A  
 Boca Raton, FL 33431  
 www.EvergreenDesignGroup.com  
 LA #6666710



**Florida Department of Transportation**

**RON DESANTIS**  
GOVERNOR

3400 West Commercial Boulevard  
Fort Lauderdale, FL 33309

**JARED W. PERDUE, P.E.**  
SECRETARY

May 17, 2024

THIS PRE-APPLICATION LETTER IS VALID UNTIL – May 17, 2025  
**THIS LETTER IS NOT A PERMIT APPROVAL**

Kristin DiPierro, P.E.  
Thomas Engineering Group, LLC  
6300 NW 31st Avenue

Dear Kristin DiPierro:

RE: Pre-application Review for **Category C Driveway**, Pre-application Meeting Date: **May 16, 2024**  
Broward County - Hollywood; SR 848; Sec. # 86016000; MP: 5.70; Access Class - 05;  
Posted Speed - 45; SIS - Influence Area; FDOT Ref. Project: FM 446370.1-Hong Benitez-RESURFACING, FM 446370.1-Hong Benitez-RESURFACING

**Request: Maintain existing right-in/right-out driveway on the south side of SR 848, approximately 165 feet east of Oakwood Blvd. (No work is proposed within the FDOT right of way).**

**SITE SPECIFIC INFORMATION**  
Project Name & Address: **Taco Bell Redevelopment - Hollywood – 2700 Stirling Rd, Hollywood, FL 33020**  
Property Owner: **Oakwood Plaza, LP**; Parcel Size: **0.67 Acres**  
Development Size: **2,187 SF Fast-Food Restaurant with DT**

**NO OBJECTION**

This decision is based on your presentation of the facts, site plan and survey - please see the conditions and comments below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

**Comments:**

- All driveways not approved in this letter must be fully removed and the area restored.
- A Drainage Permit is required for any stormwater impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage).
- The applicant shall donate property to the Department if right-of-way dedication is required to implement the improvements.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway System and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department’s personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://osp.fdot.gov>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

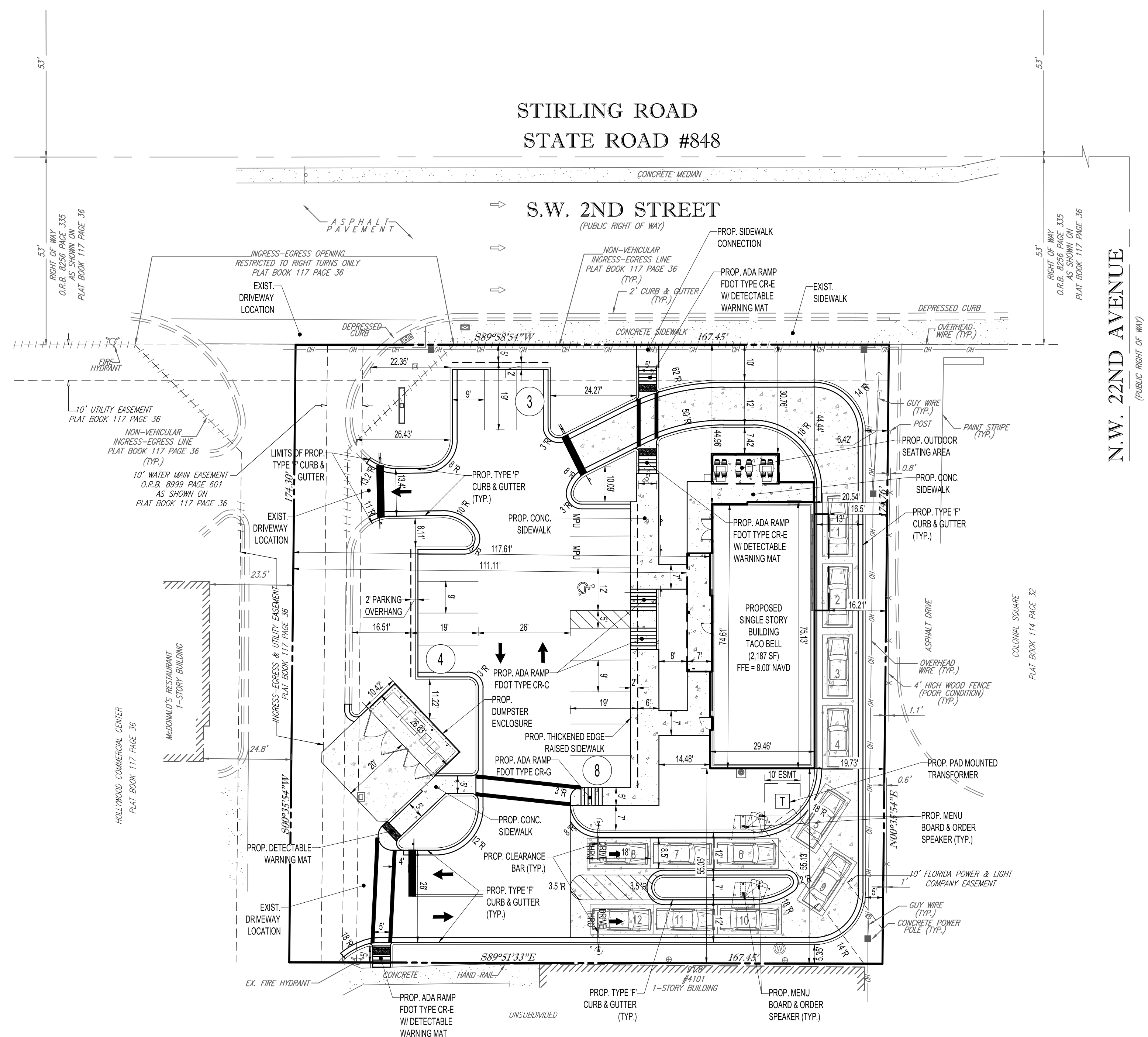
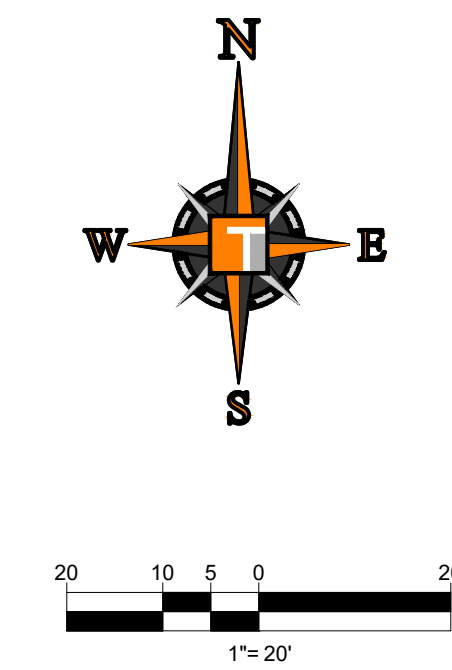
Please contact the Access Management Manager - Tel. # 954-777-4363 or e-mail: [D4AccessManagement@dot.state.fl.us](mailto:D4AccessManagement@dot.state.fl.us) with any questions regarding the Pre-Approval Letter.

Sincerely,

Carina Harvey  
District Access Management Manager

cc: Anthony Beecher; Vikrant Srivastava, PE, PMP, CPM;  
File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2024-05-16\Pre-App 06. 86016000 MP 5.70 SR 848\_Taco Bell Redevelopment - Hollywood\86016000 MP 5.70 SR 848\_Taco Bell Redevelopment - Hollywood.docx

# CONCEPTUAL PLAN



### DISTRICT REQUIREMENTS

THIS PLAN REFERENCES AN ALTA SURVEY BY:  
 FORTIN, LEAVY, SKILES, INC.  
 180 NE 188TH ST.  
 NORTH MIAMI BEACH, FL 33162

SITE ADDRESS: 2700 STIRLING RD., HOLLYWOOD, FL  
 PCN: 5142-04-11-0020  
 CURRENT FEMA FLOOD ZONE: ZONE X  
 PRELIMINARY FEMA FLOOD ZONE: ZONE AE (BASE 6' NAVD)

LAND USE INFORMATION:  
 CURRENT USE: RESTAURANT W/ DRIVE-THRU  
 PROPOSED USE: RESTAURANT W/ DRIVE-THRU  
 FUTURE LAND USE DESIGNATION: COMMERCIAL  
 ZONING DESIGNATION: PD (OAKWOOD PLAZA)

DEVELOPMENT STANDARDS:	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.):	NONE	29,224 S.F.
MIN. SET BACKS:		
FRONT - NORTH (FEET):	25'	44.44' (BUILDING) 30.76' (CANOPY)
SIDE - EAST (FEET):	0'	19.73' (BUILDING) 16.21' (CANOPY)
SIDE - WEST (FEET):	0'	117.61' (BUILDING) 111.11' (CANOPY)
REAR - SOUTH (FEET):	0'	55.05'
MAX. HEIGHT (FEET):	300'	25.54'
MAX. IMPERVIOUS COVERAGE (%):	90%	

LANDSCAPE BUFFERS:	REQUIRED	PROVIDED
FRONT - NORTH:	5'	VARIES 5'-10'
SIDE - EAST:	5'	VARIES 5' - 6.42'
SIDE - WEST:	5'	16.51'
REAR - SOUTH:	0'	VARIES 5' - 5.35'

LAND USE BREAKDOWN:	EXISTING		PROPOSED	
	S.F.	ACRES	S.F.	ACRES
IMPERVIOUS:				
BUILDING	2,834	0.06	2,187	0.05
VUA	18,294	0.42	16,192	0.37
SIDEWALK/CURB	2,240	0.05	3,184	0.07
TOTAL	23,338	0.53	21,563	0.49
PERVIOUS:	5,886	0.14	7,661	0.18
TOTAL	29,224	0.67	29,224	0.67

PARKING DATA:	USE	GFA	RATIO	AMOUNT
REQUIRED:				
RESTAURANT - DRIVE THRU	2,187 SF	3.5 SPACES/1,000 SF		8 SPACES
PROVIDED:				SPACES
STANDARD SPACES (9' X 19')				14
ACCESSIBLE SPACES (12' X 19')				1
TOTAL SPACES PROVIDED				15

DRIVE-THRU STACKING:  
 REQUIRED:  
 PER OAKWOOD PD DESIGN GUIDELINES (SEC 7 PARKING):  
 VEHICLE STACKING SPACES SHALL MEASURE 8.5 FEET WIDE BY 18 FEET LONG AND SHALL BE PROVIDED IN A NUMBER SUFFICIENT FOR THE USE OF THE TENANT. A BYPASS LANE IS NOT REQUIRED.  
 PROVIDED:  
 AFTER THE MENU BOARDS: 6 SPACES

**THOMAS ENGINEERING GROUP**  
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 1502 W. FLETCHER AVE.  
 TAMPA, FL 33612  
 P: (813) 379-4100  
 F: (813) 379-4100  
 WWW.THOMASENGINEERINGGROUP.COM

REVISIONS			
REV.	DATE	COMMENT	BY

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KRISTIN N. DIPERRO, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 84350. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPERRO, PE ON 5/10/2024. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	5/10/2024
CAD I.D.:	F230118-SITE PLAN

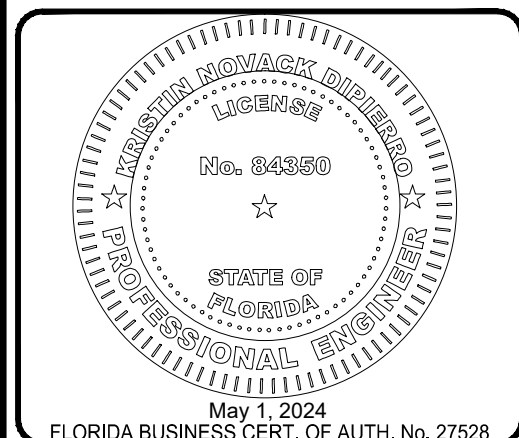
**TACO BELL REDEVELOPMENT**

FOR

**GPD GROUP**

2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
 6300 NW 31ST AVENUE  
 FORT LAUDERDALE, FL 33309  
 PH: (954) 202-7000  
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**LEGAL DESCRIPTION:**  
 LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### HATCH LEGEND

	EXISTING CONCRETE		PROPOSED CONCRETE
--	-------------------	--	-------------------

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**SP-01**



3831 NW 21<sup>st</sup> Ave  
Pompano Beach, FL 33073  
954-974-7500



April 24, 2024

Mr. Chris Martinez  
CO Yum/Taco Bell  
2700 Stirling Rd  
Hollywood, FL 33020

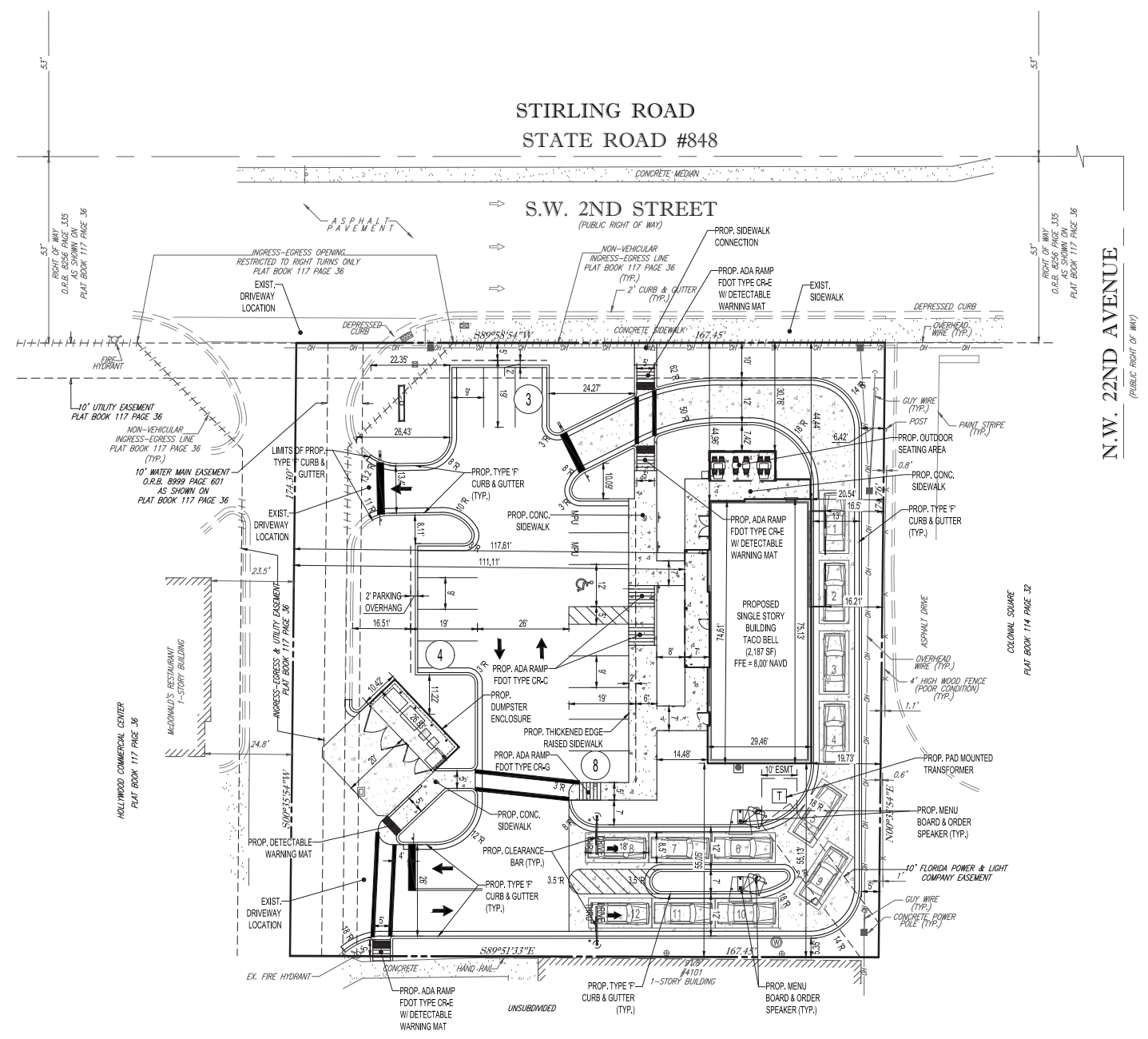
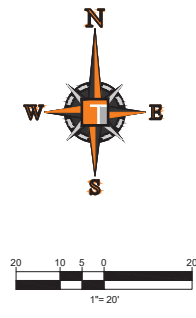
RE: Yum Restaurant/Taco Bell

To Whom It May Concern:

After reviewing, the site plans for the Yum Restaurant, which is currently serviced by Waste Management. There will be no problem relocating the enclosure to the Southwest side of property. Currently there is an 8 yard being serviced and based on the new location the truck will have direct access to continue servicing the 8 yard or customer can convert to 2- 4 yards on wheels if they would like to the ability to move the containers for cleaning purposes. If you have any questions, I can be reached at (954)-439-4214.

Thank you,

Lee Chayet  
Territory Manager  
954-439-4214 cell  
[lchayet@wm.com](mailto:lchayet@wm.com)



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THIS PLAN REFERENCES AN ALTA SURVEY BY:  
 FORTIN, LEAVY, SKILES, INC.  
 180 NE 168TH ST.  
 NORTH MIAMI BEACH, FL 33162

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 PCN: 5142-04-1-0020  
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 PROVIDED:  
 AFTER THE MENU BOARDS SPACES 6

**LEGAL DESCRIPTION:**  
 LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### HATCH LEGEND

	EXISTING CONCRETE
	PROPOSED CONCRETE

**THOMAS ENGINEERING GROUP**  
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

1802 W. FLETCHER AVE.  
 SUITE 200  
 UNIT NO. 101  
 NORTH MIAMI BEACH, FL 33162  
 P: (305) 374-1100  
 F: (305) 374-1101

125 W. INDIANTOWN RD.  
 SUITE 200  
 NORTH MIAMI BEACH, FL 33162  
 P: (305) 374-1100  
 F: (305) 374-1101

REVISIONS:

REV.	DATE	COMMENT	BY

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 Check positive response codes before you dig!

KRISTIN N. DIPERRO, STATE OF FLORIDA  
 PROFESSIONAL ENGINEER LICENSE NO. 84300  
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PROJECT NO.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KMD
DATE:	4/24/2024
CAD I.D.:	F230118-SITE PLAN

**TACO BELL REDEVELOPMENT**

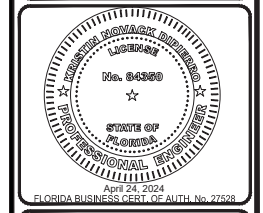
FOR

**GPD GROUP**

2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**

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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**SP-01**



BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN  
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI  
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

July 8, 2024

Reginald White  
Planning Administrator  
Division of Planning and Urban Design  
Development Services Department  
City of Fort Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045

RE: Community Outreach Summary-Taco Bell of America (Application 24-DPV-44)

Dear Mr. White,

On behalf of Taco Bell of America (“Applicant”), please accept this summary of the community outreach efforts regarding the site plan review for the proposed 2,187 square foot Taco Bell restaurant located at 2700 Stirling Road (“Property”).

At 6:30 pm on June 26, 2024, a virtual community meeting was held for the members of the surrounding community regarding the Taco Bell of America application and proposed request. Flyers informing the residents of the meeting were mailed to all property owners within the City’s required notice radius. Dwayne Dickerson, legal representation for the Applicant, opened the meeting at 6:30 pm. As no attendees were present, Dwayne remained and kept the meeting open until 7:00 pm to allow residents to join. As no residents joined, the meeting was ended. A copy of the meeting presentation has been included with this summary.

Please contact me at 954-304-7755 if you have any questions or comments regarding this summary letter of the community outreach meeting.

Sincerely,

A handwritten signature in black ink that reads "Amanda Martinez". The signature is written in a cursive, flowing style.

Amanda Martinez,  
Land Planner





Bonnie Miskel  
Scott Backman  
Eric Coffman  
Hope Calhoun

Dwayne Dickerson  
Ele Zachariades  
Christina Bilenki  
David F. Milledge

Sara Thompson  
Jeffrey Schneider

**Taco Bell of America, LLC  
2700 Stirling Rd.  
Site Plan Narrative**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood (“Property”). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser’s website and is an outparcel located in the Oakwood Plaza Shopping Center (“Shopping Center”). The Property contains a future land use designation of Commercial on the City’s Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines (“PD Guidelines”).

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility (“Project”). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.



May 15, 2024

Amanda Martinez, Land Planner  
Miskel Backman, LLP  
14 Southeast 4 Street, Suite 36  
Boca Raton, Florida 33432

*Via Email Only*

Dear Ms. Martinez:

Re: Platting requirements for a parcel legally described as Lot 1-B, "Hollywood Commercial Center," according to the Plat thereof, as recorded in Plat Book 117, Page 36, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Stirling Road, east of Oakwood Boulevard, in the City of Hollywood.

This letter is in response to your request regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP). Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on September 29, 1983. Land platted after June 4, 1953 may be divided by metes and bounds and developed in accordance with local regulations and the effective land use plan, unless local regulations are more restrictive and would require platting. The City of Hollywood's platting requirements should be investigated.

According to Article 4.5(A)(2) of the *Administrative Rules Document: BrowardNext*, compliance with the Broward County Trafficways Plan is required for all proposed development, but parcels that have been platted subsequent to June 4, 1953, are excepted and are subject to BCLUP Policy 2.17.6, which states:

In order to protect the transportation corridors identified on the Broward County Trafficways Plan, local governments shall require that development is set back from identified rights-of-way when issuing development orders while providing an administrative relief process to ensure such set back does not deny all beneficial use of the property proposed for development.

It is recommended that you contact Broward County's Urban Planning Division at 954-357-6666, to inquire about whether additional County review, such as a plat note modification, may be required.

**Amanda Martinez**  
**May 15, 2024**  
**Page Two**

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Huda Ashwas at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:HHA

cc/email: George R. Keller, Jr., CPPT, City Manager  
City of Hollywood

Andria Wingett, Director, Development Services  
City of Hollywood



**Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:**

Issuing Agent: Chicago Title Insurance Company  
Issuing Office: 2203 North Lois Ave, Suite 450  
Tampa, FL 33607  
Issuing Office's ALTA® Registry ID:  
Loan ID Number:  
Commitment Number: 10973861  
Issuing Office File Number: 230447-NCS/402300116SJ  
Property Address: 2700 Stirling Road  
Hollywood, FL  
Revision Number: Rev. 06/27/2024

**SCHEDULE A**

1. Commitment Date: 06/21/2024 at: 8:00 AM
2. Policy to be issued:
  - A. 2021 ALTA Owner's Policy with Florida Modifications  
Proposed Insured: Purchaser with contractual rights under a purchase agreement with the vested owner identified at item 4 below  
Proposed Amount of Insurance: \$10,000.00  
The estate or interest to be insured: Leasehold Estate
3. The estate or interest in the Land at the Commitment Date is: *(Identify each estate or interest covered, i.e., fee, leasehold, etc.)*  
  
Leasehold Estate
4. The Title is, at the Commitment Date, vested in: *(Identify vesting for each estate or interest identified in Item 3 above)*  
  
[Taco Bell of America, Inc., a Delaware corporation and, as disclosed in the Public Records, has been since April 25, 1995.](#)
5. The Land is described as follows in Exhibit "A" attached hereto and made part hereof.

Countersigned:

By: *Susie Jackson*  
Authorized Officer or Agent

**SCHEDULE B, PART I Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Assignment of Lease by Taco Bell of America, Inc., a Delaware corporation, Assignor, to the proposed insured of that certain lease by and between SFA Atlantis Associates, L.P., lessor and Taco Bell Corp., Lessee, Grantee, recorded in Official Records [Book 23370, Page 50](#).

Together with proof that Taco Bell of America, Inc., a Delaware corporation is currently in good standing under the laws of the State of Delaware. If the current transaction involves: (i) the disposition of substantially all of a corporation's property or assets; (ii) the conveyance of corporate property to an officer, director or agent who is also a signatory; (iii) conveyance of property for minimum consideration; or (iv) the execution of documents incident to the transaction by a person other than the president, chief executive officer or any vice-president with a corporate seal, then a recordable resolution of the corporation's Board of Directors, Shareholders and/or Members must be obtained.

5. Proof of payment of any outstanding assessments in favor of Broward County, Florida, any special taxing district and any municipality. NOTE: If this requirement is not satisfied the following exception will appear on Schedule B:

Any outstanding assessments in favor of Broward County, Florida, any special taxing district and any municipality.

6. Proof of payment of service charges for water, sewer, waste and gas, if any, through the date of closing. NOTE: If this requirement is not met the following exception will appear on Schedule B:

Any lien provided for by Florida Statutes in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer, waste or gas system supplying the insured land or service facilities.

7. Provide the Company with an Estoppel Affidavit from the Lessor of the Lease described in Schedule A or his/her/its successors or assigns, stating that: A. The Lease is still in full force and effect, and there has been no default in the payment of rent; B. There are no defaults under any other terms, covenants or conditions of the Lease; and C. There are no charges which the Lessor, his successors or assigns, claim to be additional liens upon the Leasehold Estate.

8. The search did not disclose any open mortgages of record, therefore the Company reserves the right to require further evidence to confirm that the Land is unencumbered, and further reserves the right to make additional requirements or add additional items or exceptions upon receipt of the requested evidence. To delete this requirement, the title agent must confirm with the owner that the Land is free and clear of mortgages and include such a recitation in the title affidavit.

**SCHEDULE B, PART I Requirements**

9. For each policy to be issued as identified in Schedule A, Item 2, the Company shall not be liable under this Commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this Commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
10. The Proposed Policy Amount(s) must be disclosed to the Company, and subject to approval by the Company, entered as the Proposed Policy Amount. An owner's policy should reflect the purchase price or full value of the Land. A loan policy should reflect the loan amount or value of the property as collateral. Proposed Policy Amount(s) will be revised and premiums charged consistent therewith when the final amounts are approved.
11. An Affidavit in form acceptable to Chicago Title Insurance Company ("Company") and executed by or on behalf of the current record owner(s) of the subject property stating that: (A) there are no parties in possession of the subject property other than said current record owner(s); (B) there are no encumbrances upon the subject property other than as may be set forth in this Commitment; (C) there are no unrecorded assessments which are due and payable and; (D) there have been no improvements made to or upon the subject property within the last ninety (90) day period for which there remain any outstanding and unpaid bills for labor, materials or supplies for which a lien or liens may be claimed must be furnished to the Company, or, in lieu thereof, an exception to those matters set forth in said Affidavit which are inconsistent with or deviate from the foregoing requirements will appear in the policy or policies to be issued pursuant to this Commitment.
12. The Company requires proof of good standing for \_\_\_\_\_ in its state of incorporation or state of organization. (all depends if you have a corp or an llc taking title)
13. This is a preliminary commitment that requires the review and approval by the underwriting department for the company and/or state underwriting counsel. Accordingly, this commitment is not effective to bind the Company until the necessary approval is obtained from the underwriting department and/or state underwriting counsel. The company reserves the right to add additional requirements and/or exceptions as deemed necessary upon said review.
14. Issuing agent must obtain from the Company or perform themselves a title update three (3) business days prior to closing, to verify that no adverse matters or defects appear in the public records.

**SCHEDULE B, PART II Exceptions**

**Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.**

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.
2. Taxes and assessments for the year 2024 and subsequent years, which are not yet due and payable.
3. Standard Exceptions:
  - A. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
  - B. Rights or claims of parties in possession not shown by the public records.
  - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
  - D. Taxes or assessments which are not shown as existing liens in the public records.
4. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land.
5. Subject to any and all matters set forth on the Plat of HOLLYWOOD COMMERCIAL CENTER recorded in [Plat Book 117, Page\(s\) 36](#), as affected by Agreement to Place Notation on Plat, recorded January 22, 1993, in Official Records [Book 20295, Page 340](#).
6. Easement granted to Florida power & Light company, from Joseph Villella and Jennie Villella, recorded September 14, 1971, in Official Records [Book 4608, Page 618](#).
7. Matters shown on Surveyor's Affidavit recorded September 5, 1978, in Official Records [Book 7750, Page 761](#).
8. Grant of Easement granted to Robert L. Grant, individually and as Trustee, his successors, assigns, lessees, mortgagees, invitees, nominees and designees, from Robert L. Grant, individually and as Trustee, recorded in Official Records [Book 7840, Page 382](#).
9. Easement granted to Florida Power & Light Company, from Robert L. Grant and Sidney Shapiro, recorded April 4, 1980, in Official Records [Book 8829, Page 842](#).
10. Utility Easement granted to the city of Hollywood, a Florida municipal corporation, from Robert L. Grant, individually and as Trustee, recorded July 8, 1980, in Official Records [Book 8999, Page 601](#).

**SCHEDULE B, PART II Exceptions**

11. Non-exclusive perpetual easement to McDonald's corporation d/b/a McDonald's Corporation, a Delaware company, as disclosed in Warranty Deed, recorded October 6, 1983, in Official Records [Book 11183, Page 501](#).
12. Terms and conditions of the Agreement between Robert L. Grant, as Trustee and McDonald's corporation, a Delaware company, recorded October 6, 1983, in Official Records [Book 11183, Page 507](#); as re-recorded 10/19/83 in Official Records [Book 11211, Page 287](#); as affected by Limited Waiver, recorded March 21, 1995, in Official Records [Book 23254, Page 345](#).
13. Ordinance No. 90-25, recorded September 7, 1990, in Official Records [Book 17737, Page 179](#).
14. Terms and conditions of the Agreement between Broward County and STS Land Associates, L.P., STS Building Associates, L.P. and SFA Atlantis Associates, L.P., its successors and assigns, whose managing general partner is Hollywood Inc., a Delaware corporation, recorded September 18, 1990, in Official Records [Book 17762, Page 553](#); as affected by Amendment to Agreement, in Official Records [Book 20099, Page 254](#); and Agreement between STS Land Associates, L.P. and Broward County, in Official Records [Book 20099, Page 289](#); and Amendment to Second Concurrency Agreement, in Official Records [Book 20744, Page 757](#); as affected by Third Traffic Concurrency Agreement, in Official Records [Book 23193, Page 441](#), as affected by Fourth Traffic Concurrency Agreement, recorded in Official Records [Book 26083, Page 857](#), and as amended by instrument recorded in Official Records [book 32379, Page 1557](#).
15. Notice of Preliminary Development Agreement between STS Land Associates, L.P., STS Building Associates, L.P. and SPA Atlantis Associates, L.P., recorded May 13, 2092, in Official Records [Book 19477, Page 917](#).
16. Ordinance No. 92-11, recorded May 15, 1992, in Official Records [Book 19486, Page 962](#).
17. Notice of Adoption of a Development Order for the Oakwood Plaza Substantial Deviation to the Oakwood Center Development of Regional Impact in the City of Hollywood, recorded July 15, 1992, in Official Records [Book 19683, Page 124](#); as affected by Amendment recorded August 23, 1993, in Official Records [Book 21017, Page 944](#).
18. Terms, covenants, conditions, rights, duties and obligations contained in that certain Lease between SPA Atlantis Associates, L.P., a Delaware corporation, Lessor, and KMart Corporation, a Michigan corporation, Lessee, as disclosed in Memorandum of Lease recorded January 30, 1993, in Official Records [Book 20319, Page 778](#), as affected by Subordination, Non-disturbance and Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 318](#).
19. Terms, conditions, rights, duties and obligations of that certain Lease between S.F.A. Atlantis Associates, L.P., a Delaware corporation, Lessor, and Ross stores, Inc., a Delaware corporation, Lessee, as disclosed in Memorandum of Lease, recorded March 22, 1993, in Official Records [Book 20470, Page 165](#), as affected by Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 295](#).
20. Terms, conditions, rights, duties and obligations of that certain Lease between S.F.A. Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and PNS Stores, Inc., a California corporation, Lessee, as disclosed in Memorandum of Lease, recorded June 17, 1993, in Official Records [Book 20795, Page 328](#); as affected by Agreement, recorded April 18, 1994, in Official Records [Book 22017, Page 419](#); and Memorandum of Lease, recorded September 6, 1993, in Official Records [Book 21082, Page 290](#); as affected by Subordination, Non-Disturbance, Recognition & Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 302](#).



**SCHEDULE B, PART II Exceptions**

21. Terms, conditions, rights, duties and obligations of that certain Lease between Theater Acquisition, L.P., a Delaware limited partnership, Lessee, and SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, as disclosed in Memorandum of Lease, recorded August 23, 1993, in Official Records [Book 21018, Page 457](#), as affected by Amendment to Lease and Memorandum of Lease, recorded October 13, 1993, in Official Records [Book 21253, Page 299](#); and Subordination, Non-Disturbance & Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 308](#).
22. Terms and conditions of the Agreement for Easements, Covenants and Restrictions Affecting Land between SFA Atlantis Associates, L.P., a Delaware limited partnership, and Tandy Corporation, a Delaware corporation and STS Building Associates, L.P., a Delaware limited partnership, and STS Land Associates, L.P., a Delaware limited partnership, recorded March 13, 1994, in Official Records [Book 21877, Page 304](#).
23. Mortgage and Security Agreement in the amount of \$40,000,000.00 from SPA Atlantis Associates, L.P., to Barnett Bank of Broward County, N.A. and Credit Lyonnais New York Branch, recorded March 23, 1994, in Official Records [Book 21906, Page 228](#); as affected by Spreader Agreement, recorded April 13, 1994, in Official Records [Book 21998, Page 514](#); as assigned in Official Records [Book 25214, Page 366](#); as affected by Assumption Agreement recorded in Official Records [Book 25214, Page 384](#); consolidated, amended and restated in Official Records [Book 25214, Page 411](#); Second Amended and Restated Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing and Notice of Future Advance, recorded in Official Records [Book 4603, Page 740](#); as assigned to JPMorgan Chase Bank, N.A., by instrument recorded as Official Records Instrument Number [113439893](#); Third Amended and Restated Mortgage, Security Agreement, Financing Statement, Fixture Filing and Assignment of Rents, recorded as Official Records Instrument Number [113439894](#).
24. Assignment of Leases and Rents from Oakwood Plaza Limited Partnership, a Delaware limited partnership, to JPMorgan Chase Bank, N.A., recorded January 6, 2016, as Official Records Instrument Number [113439895](#).
25. UCC-1 Financing Statement, recorded as January 6, 2016, Official Records Instrument Number [113439896](#).
26. Terms, conditions, rights, duties and obligations of that certain Lease between The Clothestime, Inc., a Delaware corporation, Lessee, and SPA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, as disclosed in Subordination, No-Disturbance and Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 313](#).
27. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware corporation, Lessor, and Builders Square, Inc., Lessee, as disclosed in Subordination, No-Disturbance and Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 325](#).
28. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Barnes & Noble Superstores, Inc., a Delaware corporation f/k/a Bookstop, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 332](#).
29. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Store #30, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 339](#).
30. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Eagles Fashion Club, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 345](#).

**SCHEDULE B, PART II Exceptions**

31. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Creative Hairdressers, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 351](#).
32. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Jean Nicole, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 359](#).
33. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Linen Supermarket, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 369](#).
34. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates L.P., a Delaware limited partnership, Lessor, and OfficeMax, Inc., Lessee, as disclosed in Subordination, Non-Disturbance and Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 376](#).
35. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates L.P., a Delaware limited partnership, Lessor, and Petstuff, Inc., a Delaware corporation, Lessee, as disclosed in Subordination, Non-Disturbance & Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 381](#).
36. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates L.P., a Delaware limited partnership, Lessor, and The Bag Shop/East Hollywood, Inc., a Florida corporation. Lessee, as disclosed in Subordination, Non-disturbance & Attornment Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 386](#).
37. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and G & G Shops of North Carolina, Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, recorded March 23, 1994, in Official Records [Book 21906, Page 391](#).
38. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and The Shoe Works, Inc., Lessee, as disclosed in Subordination, Attornment and Non-Disturbance Agreement, in Official Records [Book 21906, Page 401](#).
39. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and H. J. Wilson Co., Inc., a Louisiana corporation, Lessee, as evidenced by Memorandum of Lease, recorded April 12, 1993 in Official Records [Book 20543, Page 906](#); as affected by Subordination, Non-Disturbance and Attornment Agreement, recorded in Official Records [Book 21906, Page 407](#); and as further affected by amendment recorded as Official Records Instrument Number [112915935](#).
40. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates L.P., a Delaware limited partnership, Lessor, and Marshalls of Hollywood-Oakwood, FL., Inc., Lessee, as disclosed in Subordination, Non-Disturbance and Attornment Agreement, in Official Records [Book 21933, Page 267](#).

**SCHEDULE B, PART II Exceptions**

41. Terms, conditions, rights, duties and obligations of that certain Lease between SFA Atlantis Associates L.P., a Delaware limited partnership, Lessor, and Tandy Corporation, a Delaware corporation, Lessee, as disclosed in Subordination, Non-Disturbance and Attornment Agreement, recorded in Official Records [Book 21926, Page 310](#).
42. Declaration of Easement by STS Land Associates, L.P., a Delaware limited partnership and SFA Atlantis Associates, L.P., a Delaware limited partnership, in Official Records [Book 22874, Page 952](#).
43. Terms, covenants, conditions, rights, duties and obligations contained in that certain Lease between SFA Atlantis Associates, L.P., a Delaware limited partnership, Lessor, and Taco Bell Corp., a California corporation, Lessee, as disclosed in Short Form Lease, recorded April 25, 1995, in Official Records [Book 23370, Page 50](#), as affected by Subordination, Attornment and Non-Disturbance Agreements, in Official Records [Book 23370, Page 55](#); Official Records [Book 25412, Page 492](#); and Official Records [Book 29177, Page 1408](#); now held by Taco Bell of America, Inc., a Delaware corporation by virtue of Assignment of Lease, recorded in Official Records [Book 28869, Page 1920](#); now held by Taco Bell of America, Inc., a Delaware corporation by virtue of Assignment of Lease, recorded in Official Records [Book 28869, Page 1920](#).
44. Declaration of Restrictive Covenants by SFA Atlantis Associates, L.P., a Delaware limited partnership, recorded April 25, 1995, in Official Records [Book 23370 Page 61](#).
45. Declaration of Restrictions by Oakwood Plaza Limited Partnership, a Delaware limited partnership, recorded May 9, 1997, in Official Records [Book 26400, Page 304](#), and re-recorded in Official Records [Book 29960, Page 1832](#).
46. Notice of Adoption of Development Order by the City of Hollywood, recorded May 12, 1995, in Official Records [Book 23447, Page 317](#), as amended by instrument recorded in Official records [Book 25011, Page 312](#).
47. City of Hollywood Oakwood Plaza Conveyance Agreement recorded October 9, 1996, in Official Records [Book 25505, Page 667](#).
48. Non-Exclusive Deed of Utility easement in favor of Florida Power & Light Company, recorded May 18, 1995, in Official Records [Book 23465, Page 172](#).
49. Non-Exclusive Deed of Utility easement in favor of Florida Power & Light Company, recorded May 18, 1995, in Official Records [Book 23657, Page 771](#).
50. Declaration of Easements and Covenants, Conditions and Restrictions and notice of Lien Rights and Option to Repurchase, recorded February 1, 2002, recorded in Official Records [Book 32715, Page 599](#).
51. Transportation Concurrency Agreement Relating to Plats and Un-platted Land within the Rescinded Oakwood Plaza DRI, recorded December 6, 2012, in Official Records [Book 49303, Page 1500](#).
52. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements.
53. NOTE: Notice by Landlord that Real Property is not Subject to Construction Liens for Improvements made by Lessees, recorded in Official records [Book 47023, Page 1132](#).
54. NOTE: ALTA 13 Leasehold Endorsement will be issued with the Policy(ies).

NOTE: Exception 1 above shall be deemed deleted as of the time the settlement funds or proceeds of the loan to be secured by the insured mortgage, as applicable, are disbursed by the Company or its authorized agent.

C170B09

ALTA Commitment for Title Insurance (7-1-21) w-FL Mod

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## **SCHEDULE B, PART II Exceptions**

Neither the Company nor its agent shall, however, be under any duty to disburse any sum except upon a determination that no such adverse intervening matters have appeared of record or occurred.

### **NOTES ON STANDARD EXCEPTIONS:**

Item 3A will be deleted from the policy(ies) upon receipt of an accurate survey of the Land acceptable to the Company. Exception will be made for any encroachment, setback line violation, overlap, boundary line dispute or other adverse matter disclosed by the survey.

Items 3B, 3C, and 3D will be deleted from the policy(ies) upon receipt of an affidavit acceptable to the Company, affirming that, except as disclosed therein (i) no parties in possession of the Land exist other than the record owner(s); (ii) no improvements have been made to the Land within 90 days prior to closing which have not have been paid for in full; and (iii) no unpaid taxes or assessments are against the Land which are not shown as existing liens in the public records. Exception will be made for matters disclosed in the affidavit.

NOTE: All recording references in this form shall refer to the public records of Broward County, Florida, unless otherwise noted.

NOTE: In accordance with Florida Statutes section 627.4131, please be advised that the insured hereunder may present inquiries, obtain information about coverage, or receive assistance in resolving complaints, by contacting Chicago Title Insurance Company, 13800 NW 14th Street, Sunrise, FL 33323; Telephone 954-217-1744.

**EXHIBIT "A"**

Leasehold Estate created by Lease dated August 9, 1994 and executed by SFA Atlantis Associates, L.P., a Delaware limited partnership, as Lessor, and Taco Bell Corp., a California corporation, as Lessee, recorded April 25, 1995 in Official Records [Book 23370, Page 50](#), now held by Taco Bell of America, Inc., a Delaware corporation by virtue of Assignment of Lease, recorded in Official Records [Book 28869, Page 1920](#), of the Public Records of Broward County, Florida, demising for a term of years, the following property:

**PARCEL I:**

Lot 1-B, HOLLYWOOD COMMERCIAL CENTER, according to the plat thereof, recorded in [Plat Book 117, Page 36](#), Public Records of Broward County, Florida.

**PARCEL II:**

A non-exclusive easement for ingress and egress for vehicular and pedestrian purposes as disclosed in Grant of Easement dated October 26, 1978, recorded in Official Records [Book 7840, Page 382](#), Public Records of Broward County, Florida.