

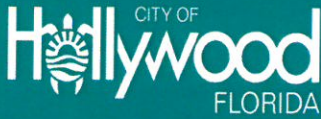
PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 7-1-23

Location Address: 2543 POLK STREET, HOLLYWOOD FL 33020

Lot(s): 14 Block(s): 17 Subdivision: HOLLYWOOD LITTLE RANCHE

Folio Number(s): 5142 16 01 6570

Zoning Classification: MC-1 (RAC) Land Use Classification: Residential

Existing Property Use: RESIDENTIAL INCOME Sq Ft/Number of Units: 2

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO, PRE TAC 23-DP-61

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: 33 UNIT RESIDENTIAL MULTIFAMILY RENTAL APARTMENT BUILDING WITH GROUND FLOOR COVERED PARKING.

Number of units/rooms: 33 RENTAL APT UNITS Sq Ft: 30,576 SQ FT (FAR)

Value of Improvement: \$6,000,000 Estimated Date of Completion: 2025

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: 2543 POLK STREET LLC

Address of Property Owner: 215 CONGERS RD STE 204 NEW CITY NY 10956

Telephone: 954-920-5746 Fax: _____ Email Address: menachem@capitalgroup.com

Name of Consultant/Representative/Tenant (circle one): JOSEPH B KALLER, AIA, LEED BD+C

Address: 2417 HOLLYWOOD BLVD, HOLLYWOOD FL 33020 Telephone: 954-920-5746

Fax: _____ Email Address: JOSEPH@KALLERARCHITECTS.COM

4/21/2023 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: MENACHEM TRIETEL

Address: _____

Email Address: _____

menachem@capitalgroup.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: Menachem Triet

Date: _____

Signature of Consultant/Representative: _____

Date: 7-3-23

PRINT NAME: JOSEPH B. KALLER

Date: 7-3-23

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Preliminary TAC Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Preliminary TAC (Board and/or Committee) relative to all matters concerning this application.

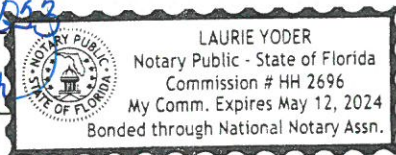
Sworn to and subscribed before me

this 3 day of July 2023

Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Print Name



TECHNICAL ADVISORY COMMITTEE REPORT

July 17, 2023

2543 Polk Street LLC
2417 Hollywood Blvd
Hollywood Blvd, Florida 33020

FILE NUMBER: 23-DP-61

SUBJECT: Preliminary Site Plan review for a 30-unit residential development

SITE DATA

Owner/Applicant:	2543 Polk Street LLC
Address/Location:	2543 Polk Street
Net Size of Property:	20,500 sq. ft. (0.47 acres)
Land Use:	Regional Activity Center (RAC)
Zoning:	Multi-Family Residential Core Development (MC-1)
Present Use of Land:	Single Family Residence
Year Built:	1948

ADJACENT LAND USE

North:	Regional Activity Center (RAC)
South:	Regional Activity Center (RAC)
East:	Regional Activity Center (RAC)
West:	Regional Activity Center (RAC)

ADJACENT ZONING

North:	Multi-Family Residential Core Development (MC-1)
South:	Transitional Core (TC-1)
East:	Multi-Family Residential Core Development (MC-1)
West:	Transitional Core (TC-1)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED)

A. APPLICATION SUBMITTAL

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

1. Ownership & Encumbrance Report (O&E):

- a. The O&E for 2543 Polk Street needs to be dated prior ALTA Survey.
Please see the attached revised O&E report which shows the date prior to the Survey.
- b. The square footage on the Alta survey and the O&E report should match.
Please see the attached revised Alta Survey and O&E report matching and the survey referring to the O&E.
- c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
Understood.
- d. Ensure O&E addresses the requirements on the TAC submittal checklist:
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>
Understood.

2. Alta Survey:

- a. Alta survey shall be based on and dated after O&E. It shall make reference of the O&E report.
Please see the attached revised O&E report which shows the date prior to the Survey.
 - b. Easements and/or dedications with O.R. or plat books and page numbers.
Please see the attached revised Alta Survey and O&E report matching and the survey referring to the O&E. Also please see the attached plat book and page numbers on all easements.
 - c. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
Understood.
3. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Plat determination letter shall be for all properties in this project.
Please see the plat determination letter for the subject project.
4. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.
Please see the revised plans showing the Cover Sheet with the requested dates and on the title block as well.
5. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s),

location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

- a. North Central Hollywood Civic Association
- b. Downtown Parkside Royal Poinciana Civic Association
- c. Highland Gardens Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

We are scheduling the public participation meeting now to occur after the Final TAC meeting. It will meet all the requirements as always.

- 6. Additional comments may be forthcoming.

Understood.

- 7. Provide written responses to all comments with next submittal.

Understood.

B. ZONING

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

- 1. Indicate past, current, and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Please see the revised plans showing the Cover Sheet with the requested dates and on the title block as well.

- 2. Drawings shall be signed and seal.

Understood. Please see attached signed and sealed plans.

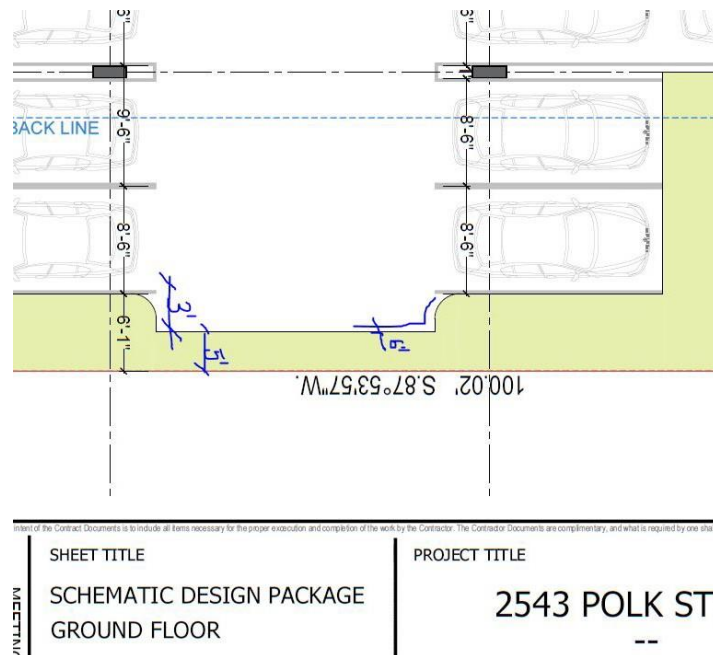
- 3. Provide a location map on the cover sheet and an index of drawing sheets A-0.0.

Understood. Please see attached revised plans with the location map on the cover sheet and the index of drawings.

- 4. Site Plan:

- a. The required rear landscape buffer for at-grade parking is 5 ft. setback, then 3-5 ft. backout. Also provide curbing around the perimeter of the parking where it is not adjacent to a wall.

Please see attached revised Site Plan Sheet A-3.0 showing the dimensions of the required 5'-0" setback and 3' minimum backup for the automobiles. Also please see the attached curbing around the perimeter where the parking is not adjacent to the wall.



- b. Provide a north arrow on the ground floor of drawing sheets A-1.1
Please see attached revised plans showing the North arrow on all sheets.
- c. Provide screening on A/C units. A-1.3
Please refer to the elevations shown on Sheet A-4.0 and A-4.1 which show the parapet which is 3'-6" in height to screen the A/C units. The AC units are being screened by the parapet walls.
- d. Provide building line and dimensions for building setbacks.
Please see attached revised Site Plan Sheet A-3.0 showing the building line and dimensions from the building setbacks.
- e. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.
Please see attached revised Site Plan Sheet A-3.0 showing the requested note.
- f. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.B.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback.
Please see attached revised Floor Plan Sheets A-3.1 and A-3.2 showing the dimensions of the balconies. The required side setback is 10'-0" and the balconies are set to 0 from the side setback.

Also the required front setback is 20'-0" and the proposed front balconies are set at 4 feet (20%) from the front setback.

We are meeting the encroachment requirements.
- g. All walkways and green areas shall be labeled.
Please see attached revised Site Plan Sheet A-3.0 and Roof Plan Sheet A-3.3 showing the walkways and green areas labeled clearly.
- h. Label the guest parking spaces, handicap and electric vehicle charging stations.
Please see attached revised Site Plan Sheet A-3.0 showing the required guest parking spaces,

handicap and electrical vehicle charging stations as requested with labels.

- i. How much of the roof area will be covered, only 10% of the ground floor is allowed.
Please see attached revised Site Plan Sheet A-3.0 showing the required guest parking spaces, handicap and electrical vehicle charging stations as requested with labels.

5. Site calculations:

1. Per Sec. 4.6.B.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages. Provide a breakdown of all units per floor, including balcony area.
Please see attached revised Floor plans Sheets showing the table of minimum proposed dwelling unit sizes and cumulative. Please note the table with the breakdown of all units per floor including balcony area (Non-AC) as well.
2. On the parking calculation, indicate how many single spaces and how many tandem spaces are provided.
Please see attached revised Site Plan Sheet A-3.0 with the center showing the parking calculation and the Site Data Sheet A-1.0 which shows the mention of the number of tandem spaces.

6. Work with the City's Landscape Architect to ensure that all landscape requirements are met.
Understood.

C. ARCHITECTURE AND URBAN DESIGN

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

1. Provide diagram of FAR calculation.
Please see attached Sheet A-1.4 showing the FAR calculation.
2. Provide a diagram of VUA calculation.
Please see attached Sheet A-1.2 showing the VUA calculation which exceeds the requirements.
3. Provide a diagram of the landscape area
Please see attached Sheet A-1.3 showing the landscaped open areas on the ground floor and roof areas as well.
4. Any propose gate for the garage entrance.
No, we have revised the plans to remove gates for the garage. There is no gate being proposed for this project.
5. Covered rooftop area shouldn't exceed 10% of ground area.
Please see the attached calculation shown on Sheet A-3.3 which shows that the covered rooftop areas do not exceed 10% of the ground floor area.
6. Any planters on the balconies shall be accessible and shall have irrigation.
Understood.
7. Provide a rendering of the all the sides.
Please see the renderings shown on sheets R-1 and R-2.
8. Provide a note: All changes to the design will require Planning review and may be subject to Board approval.

Understood.

9. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on the Site Plan and elevations.

Understood. Please see attached plans which show all plumbing, mechanical and electrical fixtures on the Site Plan and elevations.

- D. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

Understood. The garage is screened (louvered) on 2 sides and the 2 entrance/exits are open for ventilation.

E. SIGNAGE

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

1. Provide the following note: "All signage shall be in compliance with the Zoning and Land Development regulations".

Please see the attached note shown on revised Sheet A-1.0.

2. Provide note on Site Plan: "All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign."

Please see the attached note shown on revised Sheet A-3.0.

F. LIGHTING

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

1. Provide note on Site Plan: "Maximum foot candle level at all property lines maximum 0.5 if adjacent to residential".

Please see the attached note shown on revised Sheet A-3.0.

G. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

Understood. The project will obtain Green Certification and has been submitted to be registered with the 3rd Party Green Building Program.

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations on the visitor parking spaces.

Please see the attached revised Site Plan Sheet A-3.0 showing the electric vehicle charger symbol locations which the guest parking spaces.

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

Understood. The project will obtain Green Certification and has been submitted to be registered with the 3rd Party Green Building Program. Please see note on the revised Sheet _____ showing the request note

that the project will obtain Green Building Certification.

H. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Provide plat determination letter from the Broward County Planning Council.
Please see attached plat determination letter.
2. ALTA survey is not signed and sealed by a licensed Florida land surveyor, please provide signed and sealed ALTA survey.
Please see attached signed and sealed revised ALTA survey by a licensed surveyor.
3. Provide/show the 5' dedication as Right-of-Way Dedication on plans. Clearly label the current property line as existing and the property line after the dedication on plans. All features of the proposed development shall begin from the proposed property line after the right-of-way dedication.
Please see attached revised Dedication Plan Sheet A-1.1 and other site plan sheets showing the 5'-0" ROW dedication on the street. The plan shows the required dedication along with the location of the new property line after the dedication. The setbacks and requirements are being met from the new property line after dedication.
4. Please provide an overall site plan for the project to show all elements adjacent to the site, such as abutting properties, features of City streets and full City right-of-way shown from property line to adjacent property lines. (Swales, sidewalks, gutters along entire property frontage, edge of pavement and existing driveway openings etc. for both sides of the street on Polk Street).
Please see attached Sheet A-2.0 showing the elements adjacent to the site including the neighboring property, Polk Street and right of way dedication along with sidewalks, swales, etc.
5. Provide north arrow for all plan sheets.
Please see attached revised plans with the North arrow shown on all sheets.
6. Please identify the dimensions of the visibility triangles, please note these triangles shall be measured from the property line after the right-of-way dedication. The visibility triangles shall meet Code Chapter 155.12.
Please see attached revised Site Plan Sheet A-3.0 which shows the visibility triangles at 12'-0" from the new property line after the 5'-0" ROW dedication.
7. Please provide dimension to identify the width of all proposed curb cuts at the property line.
Please see attached revised Site Plan Sheet A-3.0 showing the width dimension of the proposed curb cut at the property line. The curb cut is 22'-0" wide.
8. Please identify on plans that the existing 4' sidewalk within the rights-of-way along Polk Street will be replaced and widen to a minimum of 5 feet. Please include the thickness of the proposed sidewalk
Please see attached revised Site Plan Sheet A-3.0 showing the width dimension of the new sidewalk to replace the existing sidewalk at 5'-0" wide. The thickness of the sidewalk is shown on the Civil Engineering plans.
9. Please identify the apron radius flares proposed.
Please see attached revised Site Plan Sheet A-3.0 showing the apron radius flares proposed at the curb cut.

10. Please provide detectable warnings at the driveway entrance in compliance with FDOT. Provide FDOT standard detectable warning detail in plans.
Please see attached Civil Engineering plans providing the detectable warnings at the driveway entrance in compliance with FDOT.
11. Please identify the material proposed for the apron within the ROW and the parking area on private property. Please show on plans for the concrete sidewalk in the right-of-way shall be continuous through the driveway.
Please see attached Civil Engineering plans providing the detectable warnings at the driveway entrance in compliance with FDOT.
12. Applicant shows a walkway from the Lobby and along the west side of the building connecting to the sidewalk in the right-of-way, please fully dimension all walkways proposed. (i.e. front, side and adjacent to electrical room.) Provide dimension, slope and details for the ramp to and from the Lobby to show that it is ADA compliant. The ramp must have handrails on both sides with a clear interior width of 36". The ramp must meet a slope ratio of 1:12 (1:16 is recommended).
Please see attached Site Plan Sheet A-3.0 showing the walkway from the Lobby to the right of way which shows the dimensions of width, length and slope/details. The proposed ramp is 5'-7" minimum which will provide for the minimum required ramp width of 36". Also the slope is proposing at 1:12 as shown on the plan.
13. Please identify the setback of all walkways.
Please see attached Site Plan Sheet A-3.0 showing the 5'-0" dimension from the walkway at the West side of the property to the property line.
14. Please identify the separation between the front walkway and the driveway.
Please see attached Site Plan Sheet A-3.0 showing the dimension separation from the front walkway and the driveway to the parking area.
15. Please fully dimension all rooms on Sheet A-1.1 (i.e. Trash Room, Pump Room, Elevator area). In addition, please show location and type of access for each room.
Please see attached Ground Floor Sheet A-3.0 showing the dimensions for all rooms including but not limited to the Trash Room, Pump Room, Elevator area, etc. Also please see the location of the doors with access to each room. --- Trash room and stair #1. Please make this match will all site plan sheets such as VUA calc, dedication plan, etc.
16. Label trash chute on Sheet A-1.1.
Please see attached Sheet A-3.0 showing the trash chute labeled. Please make this match will all site plan sheets such as VUA calc, dedication plan, etc.
17. Label and number the second set of stairs on Sheet A-1.1.
Please see attached Sheet A-3.0 (A-1.1 BEFORE) showing the stairs labeled and numbered. Please make this match will all site plan sheets such as VUA calc, dedication plan, etc.
18. A minimum 5-foot setback shall be provided for the parking lot. This 5-foot setback is measured from the property line to the back of the curb or wall. (i.e., North setback needs 5-foot setback from the property line to the back of the curb.)
Please see attached Site Plan Sheet A-3.0 showing the 5'-0" setback from the property line to the turnaround space and parking area which is shown as a landscaped area.
19. Provide curbing around the perimeter of the parking where it is not adjacent to a wall.

Please see attached Site Plan Sheet A-3.0 showing the curbing around the perimeter of the parking where it is adjacent to the wall.

20. Please provide the depth of the proposed bump out. Must be a minimum of 3 feet measuring from the face of curb.

Understood but which bump out are you referring to? All bump outs are 3'-0" minimum.

21. Please consecutively number all parking stalls.

Please see the revised Site Plan Sheet A-3.0 showing the parking stall numbering on all parking spaces. Please make this match will all site plan sheets such as VUA calc, dedication plan, etc.

22. It appears applicant is proposing a garage door/gate please identify how this gate is to operate and if a key pad/fod, or scanning system will be in place to allow entrance and exit from the parking garage. In addition identify how the garage/gate will open (sliding, roll up etc.)

Please see the revised plans. We are not proposing a garage door any longer. There will be no garage door on this project.

23. Parking Requirement table differs from the table provided on A-0.0. Applicant states 11 Tandem when only 10 are presented on the plans.

Please see the revised Site Plan Sheet A-3.0 and Site Data Sheet A-1.0 showing the parking calculations. The proposed parking has been revised to show 7 tandem spaces and 34 regular spaces.

24. Please identify the total number of guest spaces and label in plans. Update Parking spaces table on Sheet A1.1.

Please see the revised Site Plan Sheet A-3.0 showing the parking calculation in the center and Site Data Sheet A-1.0 showing the parking calculations. Also see the guest spaces called out on the Site Plan Sheet A-3.0 at spaces #17, #18 and #19.

25. On the site plan, provide building column dimensions and show building columns are setback a minimum of 3' from the entrance of all parking stall.

Please see the revised Site Plan Sheet A-3.0 showing the column dimensions at 3'-0" from the parking stall edge.

26. Please identify the ceiling height of the garage at the entrance on the site plan.

Please see the revised Site Plan Sheet A-4.0 which has South Elevation showing the clear height provided for the parking garage entrance at 14'-0" minimum.

27. Please provide stripping to delineate between vehicle areas and pedestrian areas, this stripping shall be different than the ADA standard stripping. (i.e., bike area.)

Please see the attached revised Site Plan Sheet A-3.0 showing the pedestrian and vehicular areas clearly labeled and with striping in a different shade/color.

28. Please identify how the dumpster/recycling is to be removed and collected for sanitation.

The dumpster will be removed from the West side of the building where we are proposing a roll up door. The dumpster will be pulled out and brought out on the walkway which is a 5'-0" walkway. The anticipated dumpster size will be 6' X 3'-10" so it can be accommodated on the walkway.

29. There are 10 tandem parking spaces while there are nine units (6 two-bedroom units and 2 one-bedroom plus den) that requires more than one parking space.

Please see the revised Site Plan Sheet A-3.0 and Site Data Sheet A-1.0 showing the parking calculations. The proposed parking has been revised to show 7 tandem spaces and 34 regular spaces. With the revised floor plans, we are proposing studios and one-bedroom apartments only. The tandem spaces will get allocated individually to specific units. In other words, a one-bedroom unit will receive an entire tandem

space (2 spaces).

30. Update lot width on all sheets to match survey, 100.03' vs 100.00'.
Please see attached revised Sheets showing the width of the lot at 100.03' as per the survey.
31. Show any change in elevation along the route on the plan if the transition is flush identify the transition as flush on the plans, provide ramp slopes as applicable. Please add a note on the site plan and Civil plans stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.
Please see the revised Site Plan Sheet A-3.0 and Site Data Sheet A-1.0 showing the parking calculations. The proposed parking has been revised to show 7 tandem spaces and 34 regular spaces.
32. Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall.
Please see the revised Site Plan Sheet A-3.0 showing the location of the wall mounted ADA signage in front of the ADA parking spaces which will not encroach into the clear required space.
33. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.
<https://hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>
Please see the attached Civil Engineering plans.
34. Please provide a pavement marking plan for both on-site and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. All off-site pavement marking within public right-of-way requires review and approval from Broward County Traffic Engineering.
Please see the attached Civil Engineering plans.
35. All roads and alleys adjacent to the property are to be milled and resurfaced. Please make a note on the Site plan and Civil plans, provide hatching to show limitations.
Please see the attached Civil Engineering plans.
36. Please include all applicable Standard City of Hollywood details:
<https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>
Please see the attached Civil Engineering plans.
37. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the Regional Activity Center area. Continued coordination will be required.
Understood.
38. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.
Understood.
39. MOT plans required at the time of City Building Permit review.
Understood.
40. All outside agency permits are required at the time of City building permit review.
Understood.

41. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

Understood.

42. 5A 5-foot dedication will need to be recorded with Broward County at time of permitting.

Understood. Will be provided at the time of permitting.

I. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

No landscape plan submitted on set.

1. Survey shows existing trees/palms.
Please see the attached Landscape Architecture plans.
2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.
Please see the attached Landscape Architecture plans.
3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.
Please see the attached Landscape Architecture plans meeting the requirements.
4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)
Please see the attached Landscape Architecture and Architecture plans showing the sight triangles.
5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.
Please see the attached Landscape Architecture plans meeting the requirements.
6. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.
Please see the attached Landscape Architecture plans with labeling.
7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'
Please see the attached Landscape Architecture plans with the requested note.
8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.
Understood.
9. All landscaping shall be warranted for 1 year after final inspection.
Understood.
10. Provide site requirements as per RAC zoning.
Please see the attached Landscape Architecture plans with site requirements per RAC zoning.

11. Provide note indicating: 100% irrigation coverage shall be provided.

Please see the attached Landscape Architecture plans showing the irrigation note.

Additional comments may follow upon further review of requested items and information provided.

We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-921-3900.

J. UTILITIES

Alicia Vereia-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, fire, sewer services and drainage for initial review.

Please see the attached Civil Engineering plans addressing the comment.

2. Show Water and Sewer demand calculations on proposed utilities plans.

Please see the attached Civil Engineering plans and demand calculations addressing the comment.

3. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

Please see the attached Civil Engineering plans with the applicable standard water and sewer details.

4. This site resides currently within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) shall comply with the greatest of the following three (3) conditions, as applicable.

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link: <https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380> = 13.5' NAVD88

Understood. The FFE is being set at 13.75' NAVD. Please see attached Revised Site Plan Sheet A-3.0 showing the FFE.

5. Indicate FFE for all enclosed areas on the ground floor.

Understood. The FFE is being set at 13.75' NAVD for the lobby on the ground floor.

6. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

Please see the attached Civil Engineering plans with cross sections across the property limits.

7. Ensure all stormwater is retained onsite.

Please see the attached Civil Engineering plans and calculations addressing the comment.

8. Indicate how roof drainage will be collected and connected to the on-site drainage system.

The roof drainage will occur as an internal roof drain which will be coordinated during construction documents to be placed inside the building and to be coordinated with the Civil Engineering plans.

9. Provide preliminary drainage calculations.

Please see the attached Civil Engineering plans and calculations as requested.

10. Submit Erosion Control Plan.

Please see the attached Erosion Control plan as requested.

11. Permit approval from outside agencies will be required.

Understood.

12. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

Understood. Please see the attached coordinated Civil and Landscape plans.

13. Additional comments may follow upon further review of requested items.

Understood.

K. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments received.

Understood.

L. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

Understood.

2. Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

Please see the attached Civil Engineering plans and calculations.

3. Provide civil drawings for the underground fire main. Provide such including the location of the fire department connection, DDCV, and size and type of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire. --- Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections.

Please see the attached Civil Engineering plans and calculations as requested.

4. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

Please see the attached Civil Engineering plans with note as requested.

5. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1.

Please see the attached Civil Engineering plans and calculations as requested.

6. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop

systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. - -- Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. --- Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

Please see the attached Civil Engineering plans and calculations as requested.

7. The BBQ grills noted on plan page A-1.3 shall comply with the following:

NFPA 1 (2018 Ed.) Section 10.10.6.1 --- For other than one- and two-family dwellings, no hibachi, grill, or other similar devices used for cooking, heating, or any other purpose shall be used or kindled on any balcony, under any overhanging portion, or within 10 ft (3 m) of any structure.

NFPA 1 (2018 Ed.) Section 10.10.6.2 --- For other than one-and two-family dwellings, no hibachi, grill, or other similar devices used for cooking shall be stored on a balcony.

NFPA 1 (2018 Ed.) Section 10.10.6.3 --- Listed equipment permanently installed in accordance with its listing, applicable codes, and manufacturer's instructions shall be permitted.

Understood. The grills will meet the Code requirements as mentioned when submitting for permitting.

M. PUBLIC WORKS

Annalie Holmes, Public Works Director (aholmes@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4207

1. Application is substantially compliant.

Understood.

N. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application required.

Please see the attached park impact application.

O. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Manager (RCoote@hollywoodfl.org) 954-924-2958

Liliana Beltran, Housing inspector (lbltran@hollywoodfl.org) 954-921-2923

1. No comments received.

Understood.

P. ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

Understood.

Q. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. No comments received.

Understood.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not applicable.

Understood.

S. PARKING

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

Understood.

T. ADDITIONAL COMMENTS

Laura Gomez, Associate Planner (lgomez@hollywoodfl.org) 954-921-3471

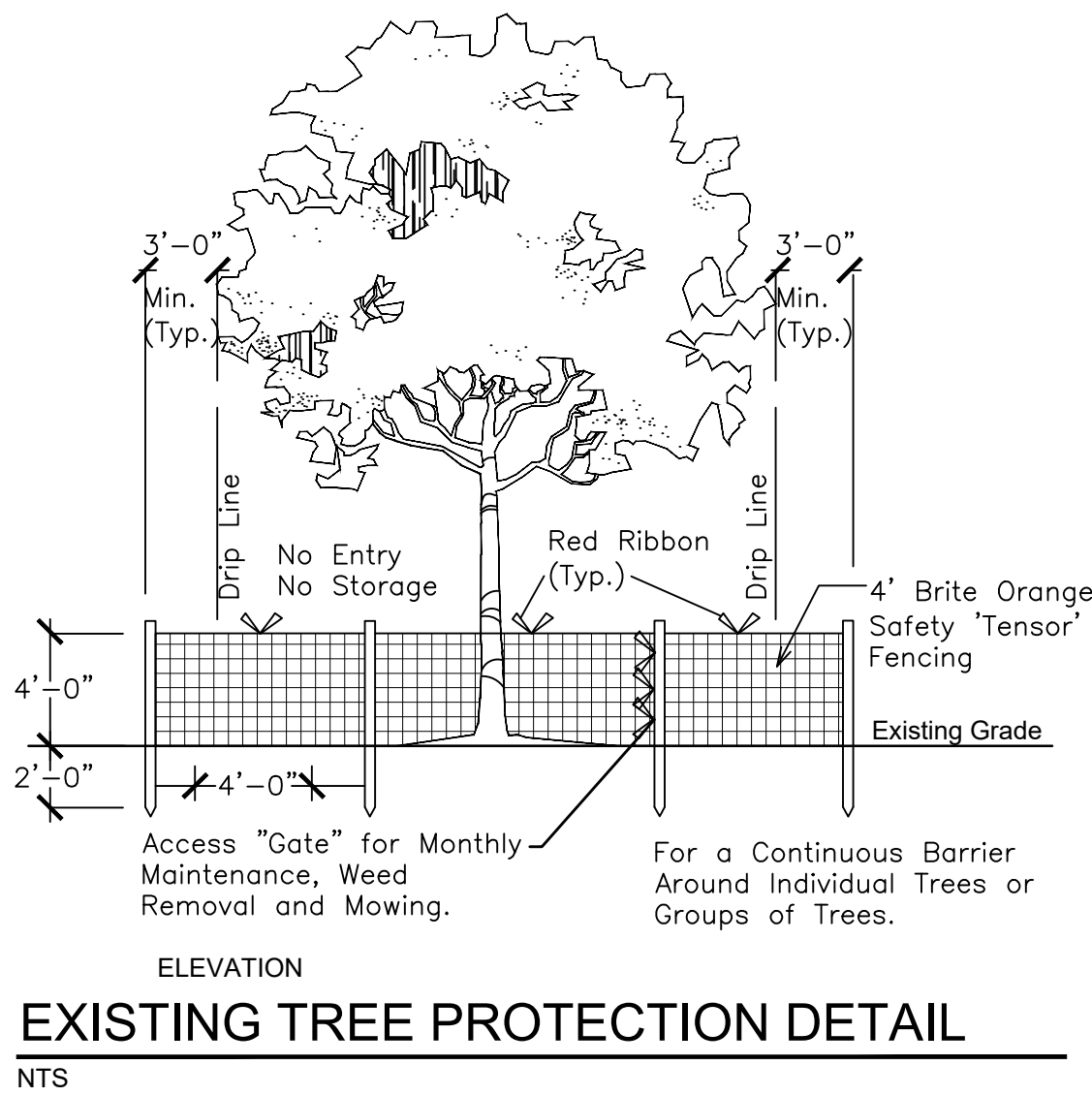
1. Additional comments may be forthcoming.

Understood.

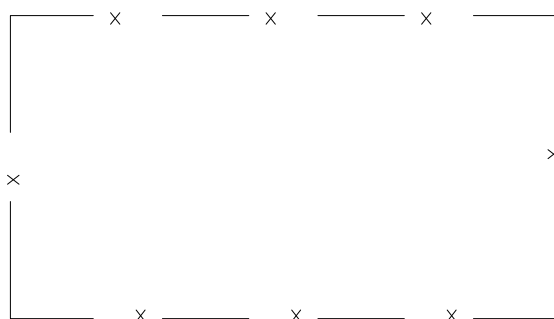
Sincerely,

Rocky Kaller
Vice President
Kaller Architecture

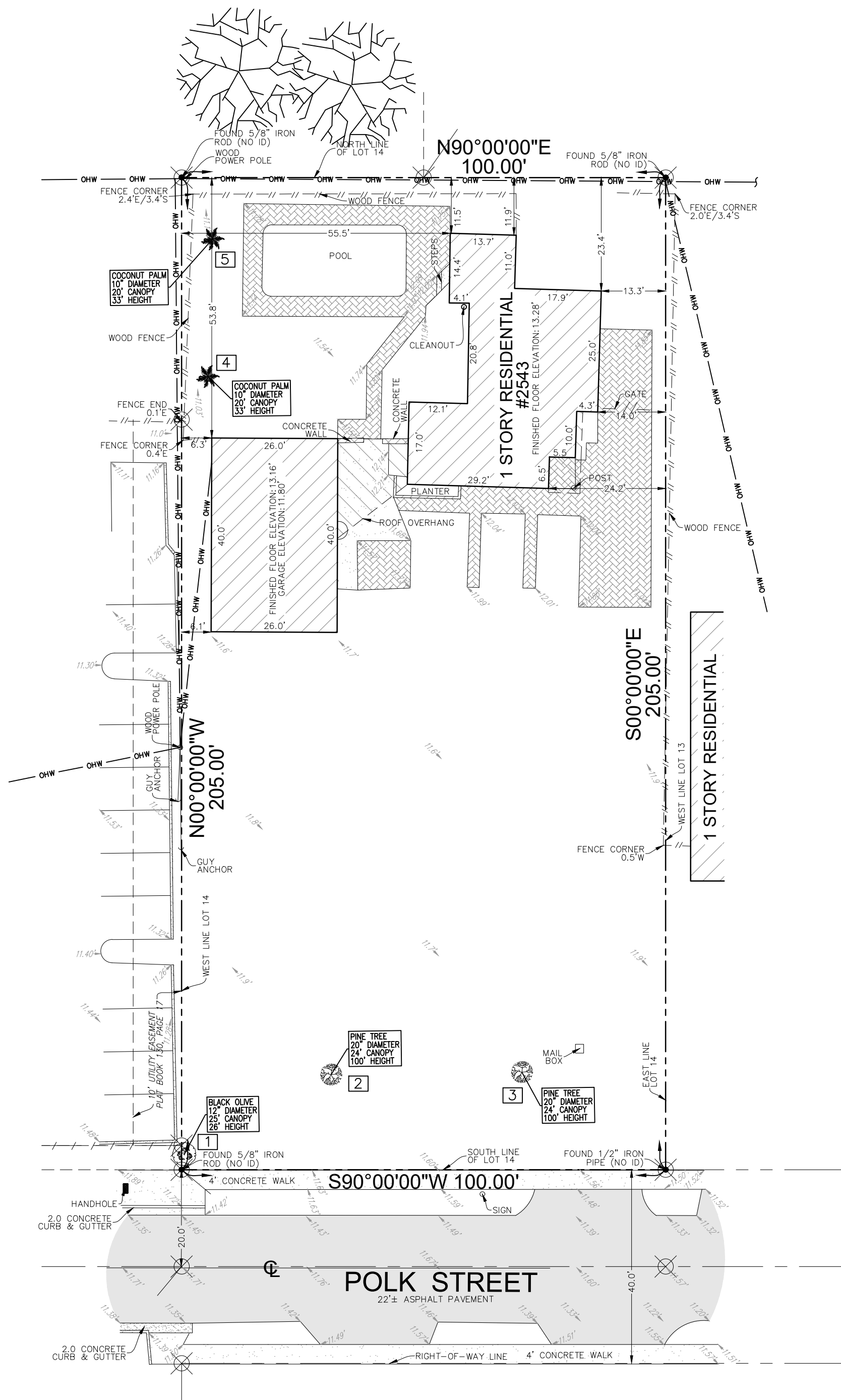
C: Joseph Kaller; [Joseph Kaller <joseph@kallerarchitects.com>](mailto:Joseph.Kaller@kallerarchitects.com)



Before Construction Begins,
Contractor to Install and Maintain
Tree Protection Fencing Around
Existing Trees As Shown. See Existing
Tree Protection Detail This Sheet



2543 Polk Street Existing Tree / Palm List							
Case/Location: 2543 Polk Street, Hollywood, FL							
Date: 8/19/2023							
Appraiser: Thomas White, ASLA-ISA, Arborist FL-5248A							
Landscape Architect #FL1100							
ISA Cert. Arborist #FL-5248A							
Existing Tree List							
Section 4.5 City of Hollywood Landscape Manual; No permit required to removed the Norfolk Island Pines.							
Tree #	Species	Ht. (Feet)	Spr. (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	Disposition
1	Bucida buceras / Black Olive	25	25	12	Fair-Poor	0	Remain
2	Araucaria heterophylla / Norfolk Island Pine	75	15	20	Poor	20	Remove
3	Araucaria heterophylla / Norfolk Island Pine	75	15	20	Poor	20	Remove
DBH Removed						40	
Existing Palm List							
Palm #	Species	Ht. (Feet)	CT (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
4	Cocos nucifera / Coconut Palm	35	20	10	Good	1	Remove
5	Cocos nucifera / Coconut Palm	35	20	10	Good	1	Remove
Replacement Palms Required						2	



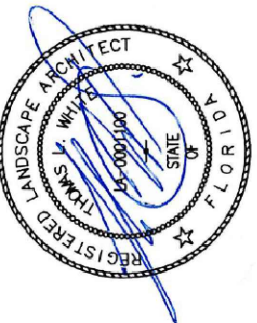
THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcwhite@bellsouth.net
954-253-2265

REVISIONS

2543 Polk Street Apartments

Tree Survey / Disposition Plan

2543 Polk Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
8-25-2023
SCALE: 1"=20'

Sheet No.
L-1
Sheet 1 Of 3



Call 811 or www.sunshine811.com two full
business days before digging to have utilities
located and marked.

Check positive response codes before you dig!

GENERAL LANDSCAPE NOTES

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General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

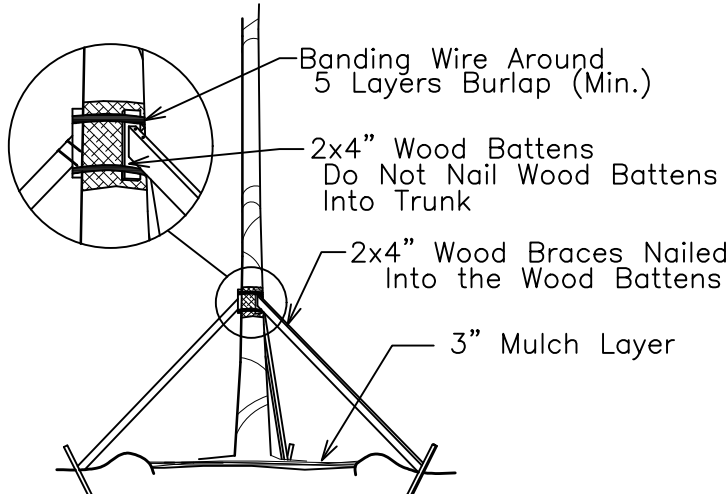
No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes.

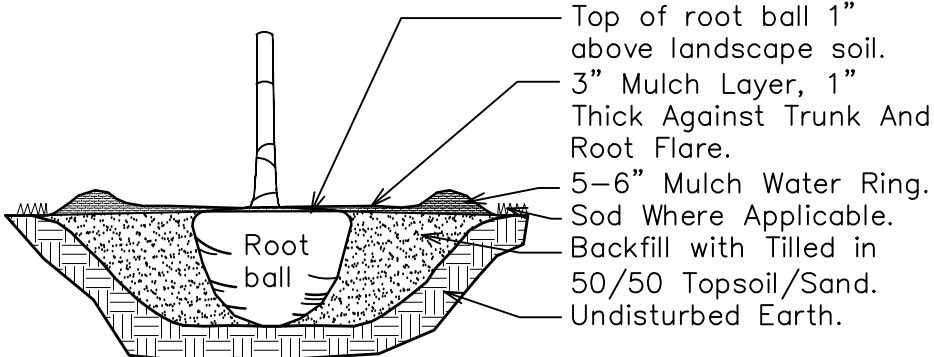
All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.

Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.



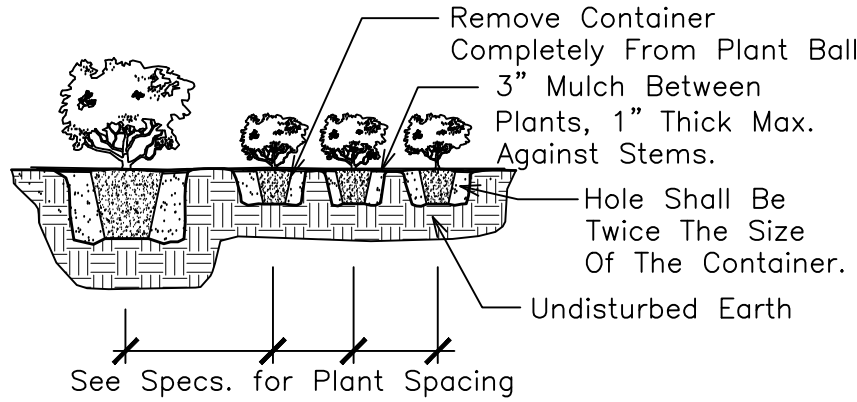
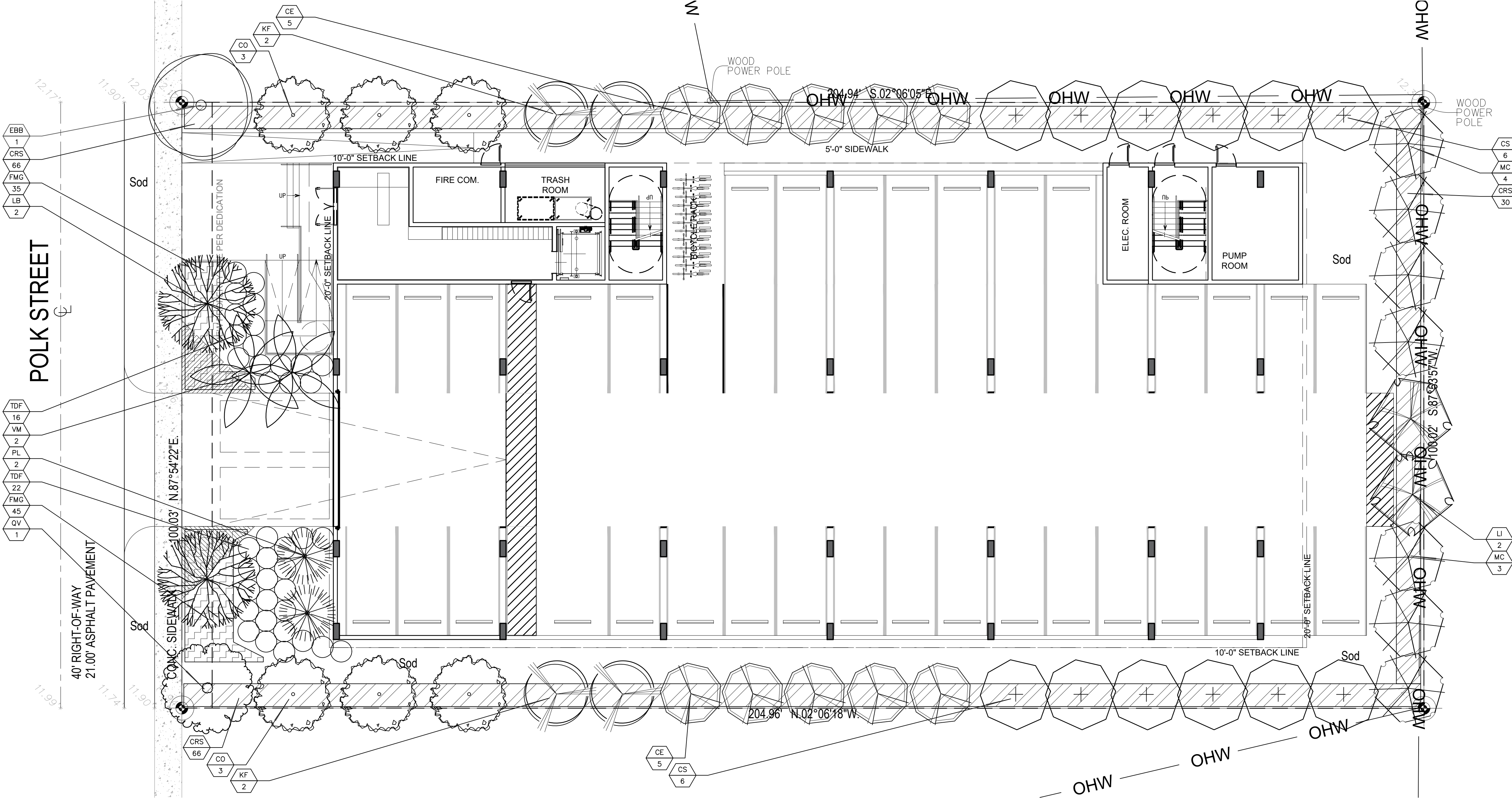
TREE/PALM BRACING DETAIL

NTS



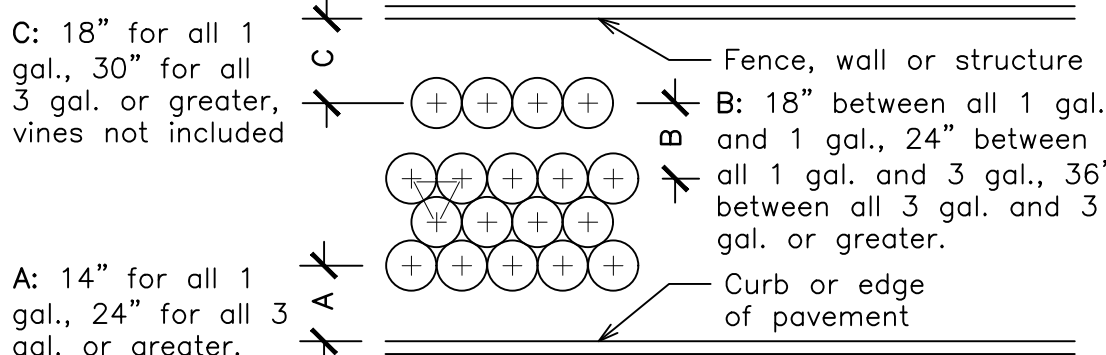
TREE/PALM PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS



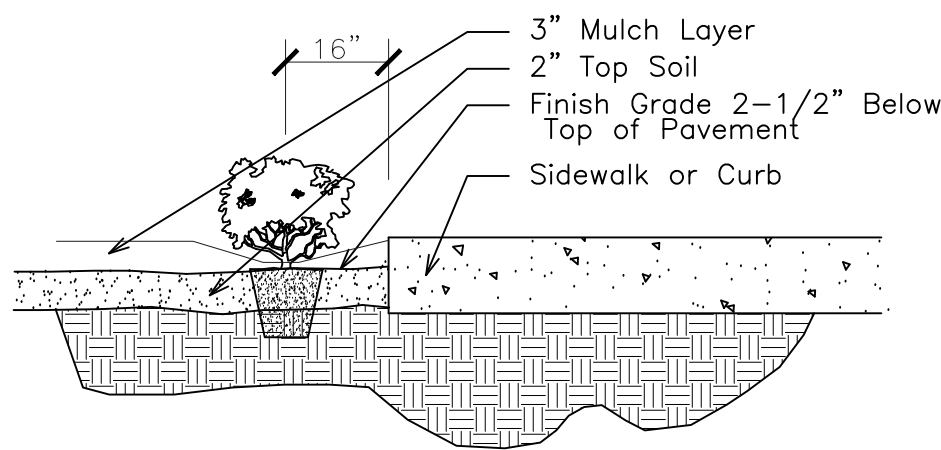
TYPICAL SHRUB SPACING DETAIL

NTS

CITY OF HOLLYWOOD PLANTING CALCULATIONS					
4.6 RAC					
4.d.(3)1	Street Trees: One Per 30 LF of Street Frontage	Required	Provided		
	100' LF Feet of Polk Street	4	4		
4.d.(3)2	5' Landscape Buffer Required and Provided. One Tree per 20 LF				
	510' LF Perimeter of North, East, West Boundaries	26	26		
4.d.(3)5	5' Landscape Buffer Required and Provided. 42" Landscape Element				
	510' LF Perimeter of North, East, West Boundaries	42" Hedge	42" Hedge	CRS 42"	
4.d.(3)9	One Tree per every 1,000 square feet of Pervious Area				
	7,219 Square Feet of Pervious (Net Lot) Area.	8	8		
4.d.(3)12	20% Landscape Open Space	4,103	20%	7,219	26%
Total Trees:		38	38		

GROUND FLOOR PLANT LIST

Code	Drought QTY.	Botanical Name / Common Name	Specifications		
CODE REQUIRED TREES					
CE	(N) V	10	Conocarpus erectus sericeus / Silver Buttonwood	12x5-6', 2' DBH, Sng. Trunk	
CO	(N) V	6	Chrysophyllum oliviforme / Satin Leaf	12x5-6', 2' DBH, Sng. Trunk	
CS	(N) V	12	Cordia sebestena / Orange Geiger	12x5-6', 12' DBH, Sng. Trunk	
EBB	(N) V	1	Existing Bucida buceras / Black Olive	25x25', 12' DBH, Sng. Trunk	
KF	(N) V	4	Krugiodendron ferreum / Black Ironwood	12x5-6', 2' DBH, Sng. Trunk	
LB	(N) V	2	Lysiloma bahamensis / Wild Tamarind	12x5-6', 2' DBH, Sng. Trunk	
LI	(N) V	2	Lagerstroemia indica / Crape Myrtle	12x5-6', 2' DBH, Sng. Trunk	
QV	(N) V	1	Quercus virginiana / Live Oak	12x5-6', 2' DBH, Sng. Trunk	
		38	Total Site Trees		
		35	Native Trees		
		92%	Native Trees		
PROPOSED MITIGATION TREES					
Code	Drought QTY.	Botanical Name / Common Name	Specifications	DBH (Inches)	Total (Inches)
MC	(N) V	7	Myrica cerifera / Wax Myrtle	12' Ht., 4" DBH	28
PL	(N) V	2	Polyalthia longitolia Pendula / Mast Tree	12' Ht., 4" DBH	8
			Total DBH Added	4	36
			Total DBH Removed		40
			DBH Deficiency		4
			Payment Into the Tree Trust Fund @ \$350 per ea. 2" =		\$700
PROPOSED MITIGATION PALMS					
VM	(N) V	2	Veitchia montgomeryana / Montgomery Palm, Sng.	8' CT Min.	
		2	Total Site Palms		2
			Total Palms Added		2
			Total Palms Removed		2
			Palm Deficiency		0
GROUND FLOOR SHRUBS					
CRS	(N) V	162	Clusia rosea / Small Leaf Clusia	42-48"x 24", 36" OC	
TDF	(N) V	38	Tripsacum dactyloides / Fakahatchee Grass	24"x 24", 42" OC	
		200	Total Shrubs		
		200	Native Shrubs		
		100%	Native Shrubs		
GROUND FLOOR GROUND COVERS / SOD					
FMG	(N) V	80	Ficus microcarpa / Green Island Ficus	18" Spr., 20-24" OC	
Sod	(N) M	2,500	S.F. Stenotaphrum secundatum / St. Augustine Palmmetto	Solid application - no gaps between seams	



SHRUB INSTALLATION DETAIL

NTS

CITY OF HOLLYWOOD					
SITE PLAN INFORMATION					
Future Land Use: Regional Activity Center					
Future Property Zoning: RAC					
Gross Site Area:	20,514.0 Sq. Feet	=	0.47	Acres	
Building Footprint:	12,609.0 Sq. Feet	=	61.47%		
Driveway, Walks, Outdoor Parking:	686.0 Sq. Feet	=	3.34%		
Total Impervious Areas:	13,295.0 Sq. Feet	=	64.81%		
Landscape Area:	7,219.0 Sq. Feet	=	35.19%		
Total Pervious Areas:	7,219.0 Sq. Feet				



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcawhite@celisouth.net
954-253-2265

REVISIONS

2543 Polk Street Apartments

Landscape Permit Plan

2543 Polk Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
8-25-2023
SCALE: 1"=10'

Sheet No.

L-2
Sheet 2 Of 3

GENERAL LANDSCAPE NOTES

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General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

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All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms; the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

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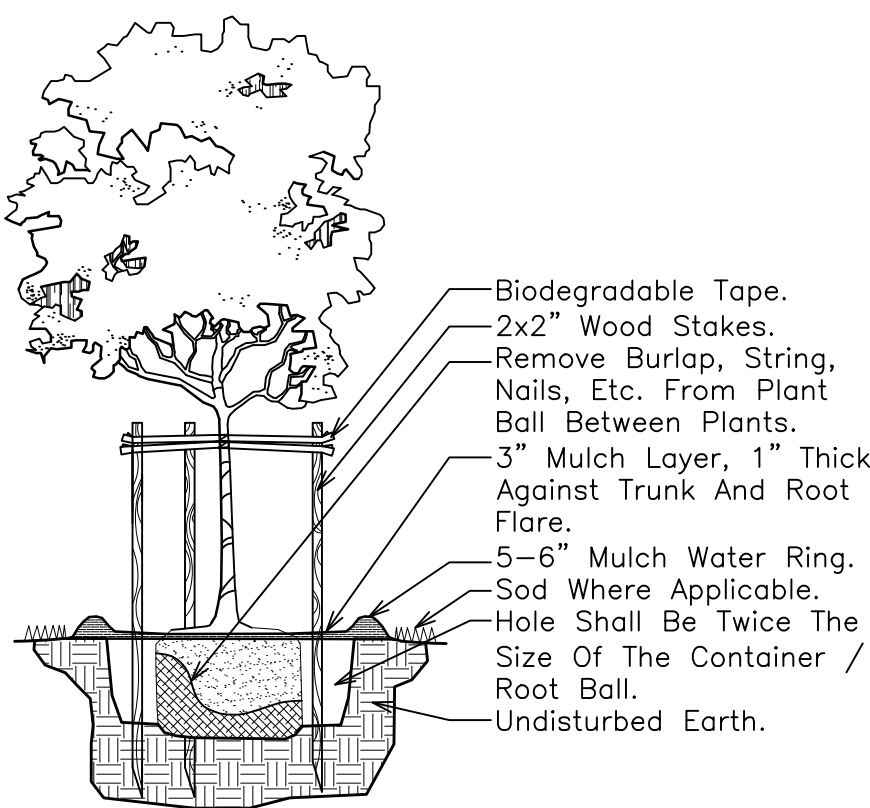
No fertilizers are required.

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Please refer to the planting details for a graphic representation of the above notes.

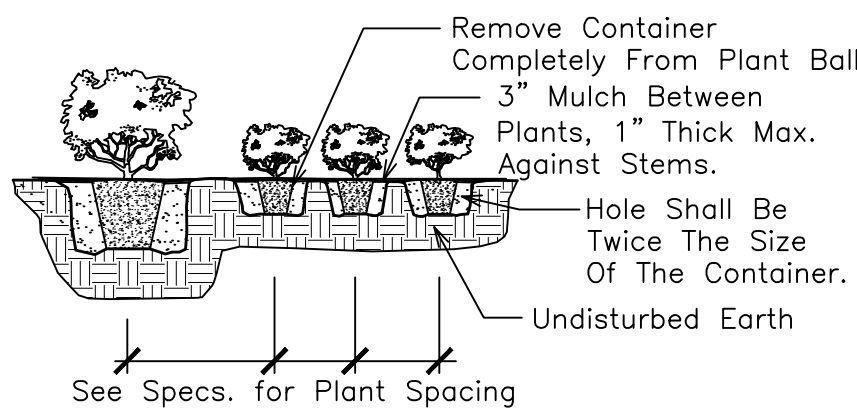
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Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.



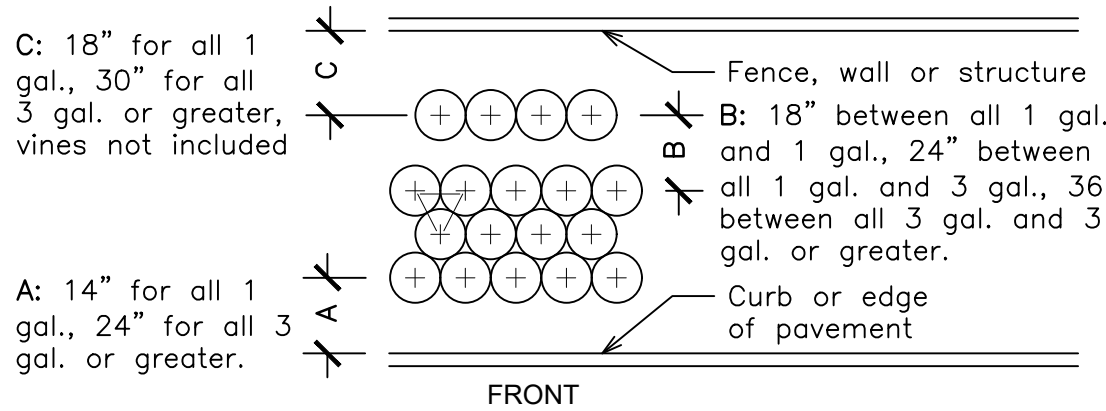
SMALL TREE PLANTING DETAIL

NTS



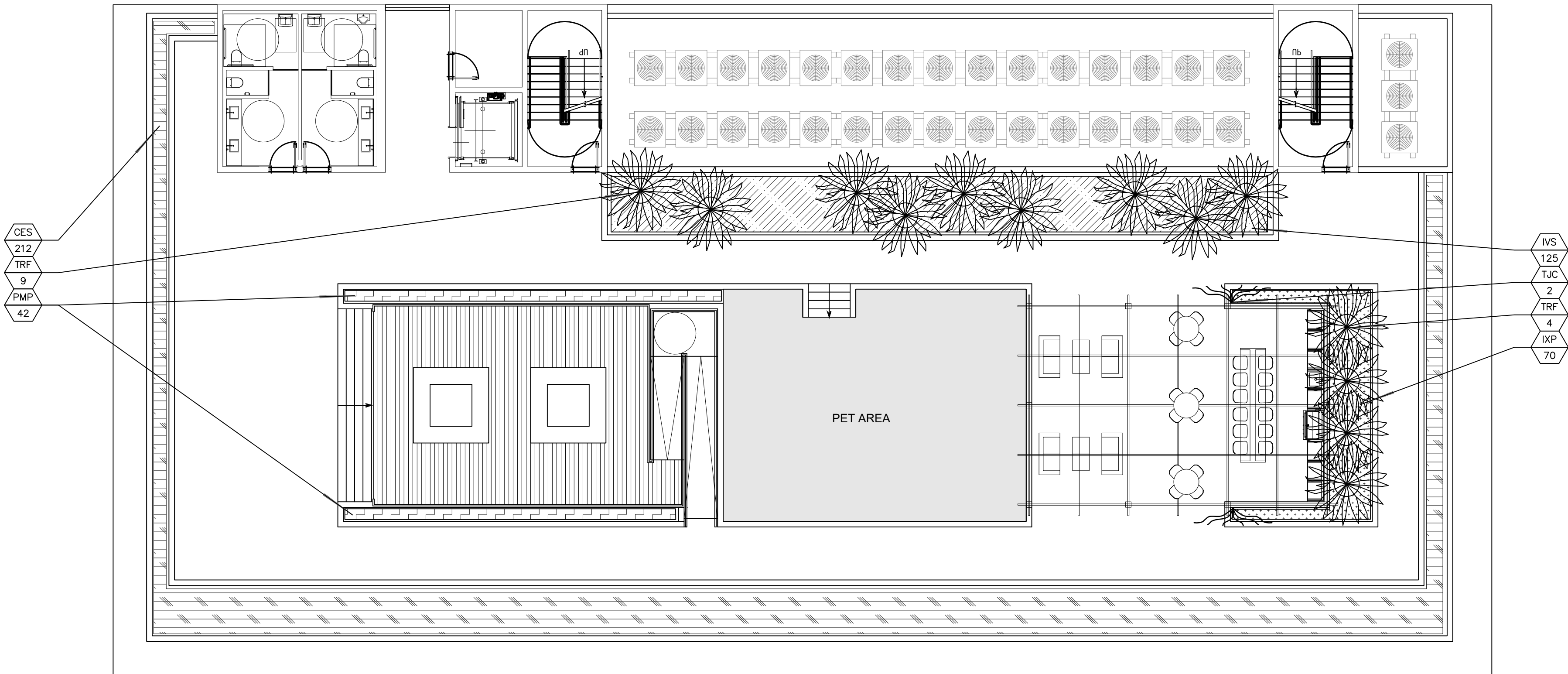
SHRUB PLANTING DETAIL

NTS



TYPICAL SHRUB SPACING DETAIL

NTS



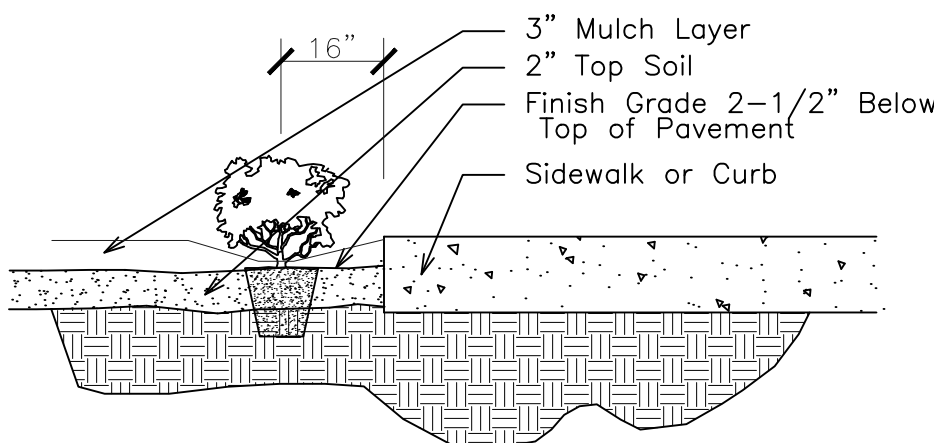
ROOFTOP PLANT LIST

ROOFTOP SHRUBS

CES	(N)	V	212	Conocarpus erectus sericeus / Silver Buttonwood	24"x 18", 24" OC
PMP		V	42	Podocarpus macrophyllus / Podocarpus	30"x 18", 24" OC
TJC		V	2	Trachelospermum jasminoides / Confederate Jasmine Vine	3' OA Ht., Trellis
TRF	(N)	V	13	Thrinax radiata / Florida Thatch Palm	6' OA Ht., Sng. Trunks
			269	Total Shrubs	
			225	Native Shrubs	
			84%	Native Shrubs	

ROOFTOP GROUND COVERS

IVS	(N)	V	125	Ilex vomitoria 'Stokes Dwarf' / Dwarf Ilex Holly	12"x 12", 24" OC
IXP		V	70	Ixora 'Petite' / Red Taiwan Dwarf	12"x 12", 24" OC



SHRUB INSTALLATION DETAIL

NTS

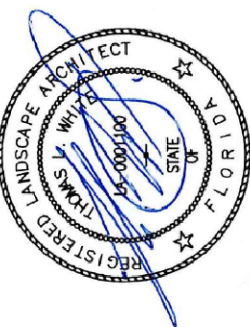
THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
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2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcwhite@bellsouth.net
954-253-2265

REVISIONS

2543 Polk Street Apartments

Landscape Permit Plan - Rooftop

2543 Polk Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
8-25-2023
SCALE: 1"=10'

Sheet No.

L-3
Sheet 3 Of 4



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!



A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

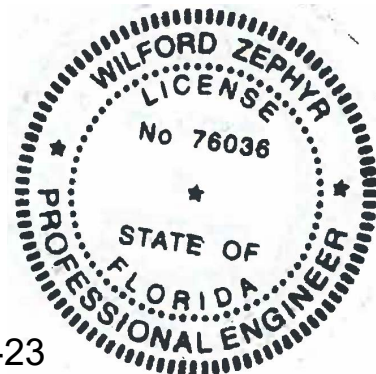
August 31, 2023

Drainage Calculations for **Polk Street Apartments** **Hollywood, FL 33020**

PEAK STAGES

STORM EVENT	PRE-DEVELOPMENT	POST-DEVELOPMENT
5 Year - 1 Hour	N/A	9.50' NAVD88
25 YEAR - 3 DAY	12.83' NAVD88	12.55' NAVD88
100 YEAR - 3 DAY	13.18' NAVD88	12.86' NAVD88

Prepared by:



9-1-23

Wilford Zephyr, P.E., LEED AP, CFM

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Project Name: Polk Street Apartments
Project Address: 2543 Polk Street
Hollywood, FL 33020
ZE Project #: 23-40

Date: 08/31/23
Designed by:
Wilford Zephyr, P.E.

Post Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.47 AC	
Pavement Area:	0.31 AC	
Building Area:	0.04 AC	
Grass Area (Pervious):	0.12 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.12 AC	25.53%
Total Impervious Area:	0.35 AC	74.47%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	11.76 ft
Average Finished Grades:	11.77 ft
Prop. Finished Floor Elev.:	13.50 ft

C Factor

Pervious:	0.6
Impervious:	0.9

$$\text{C Factor (weighted)} = \frac{0.12 (0.60) + 0.31 (.90)}{0.43} = 0.82$$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Finished Floor Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 11.77 ft

Average Depth to Water Table (DWT) = 10.27 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = \text{CWS} \times (\text{percentage of total pervious area}) =$

1.72

Curve Number (CN)

$\text{CN} = 1000 / (S + 10) =$ 85.30

Water Quality Retention/Detention & Pretreatment Calculations

- A. For a wet detention system, size system for highest of first inch of runoff over the entire site or 2.5" times the % impervious area
- B. For a dry detention system, size system for 75% of the volume required for a wet detention system.
- C. For a retention system, size system for 50% of the volume required for a wet detention system.

1/2" Pretreatment

0.5" X 0.47 acres = 0.24 acre-inches (0.020 acre-ft)

1 IN Over Entire Site

1" X 0.47 acres = 0.47 acre-inches (0.039 acre-ft)

2.5 INCHES Times Percent Impervious

Total project area - roof area = 0.47 acres - 0.04 acres = 0.43 acres

0.43 acres - 0.12 acres (pervious area) = 0.31 acres

0.31 acres / 0.43 acres X 100% = 72.09% impervious

2.5" X 0.7209 = 1.80" to be treated

1.80" X 0.47 acres = 0.85 acre-inches (0.071 acre-feet)

0.071 acre-ft of storage required for water quality.

Water quality storage provided in existing dry retention area and proposed exfiltration trench system.

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 1.72 (inches)

A = 0.47 (acre)

Q = 15.75 (inches)

V = 0.62 (ac-ft)

Corresponding Stage = 12.86 ft

Set minimum finished floor elevation at 13.50' NAVD88.

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 1.72 (inches) (see "Soil Storage" sheet

A = 0.47 (acre) for calculating "S")

Q = 12.39 (inches)

V = 0.49 (ac-ft)

Corresponding Stage = 12.55 ft

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S)$$

$$V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

5 Year - 1 Hour (Lowest Catch Basin Elevation)

P= 5 year, 1 hour event:	3.28 (inches)
S=	1.72 (inches)
A=	0.47 (acre)

Q = 1.85 (inches)

V = 0.07 (ac-ft)

Corresponding Stage = 9.50 ft

Set minimum lowest catch basin at elevation at 11.00' NAVD88.

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.42 AC

(0.11 AC) (0.31 AC)
 (Lin. 10.50'-11.50') (Lin. from 11.35'-12.50')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
10.50 '	0.00 AC-FT	0.00 AC-FT	0.129 AC-FT	0.13 AC-FT
11.00 '	0.03 AC-FT	0.00 AC-FT	0.129 AC-FT	0.16 AC-FT
11.50 '	0.06 AC-FT	0.02 AC-FT	0.129 AC-FT	0.21 AC-FT
12.00 '	0.11 AC-FT	0.10 AC-FT	0.129 AC-FT	0.34 AC-FT
12.50 '	0.17 AC-FT	0.18 AC-FT	0.129 AC-FT	0.47 AC-FT
13.00 '	0.22 AC-FT	0.33 AC-FT	0.129 AC-FT	0.68 AC-FT

*total landscape area=0.12 AC. 10% reduction applied (-0.012 AC) due to loss of stormwater storage from tree trunks.

Exfiltration Trench Length Calculation

All elevations are referenced to NAVD88 vertical datum.

Calculating H_2

Design Water Table (WT) = 1.50 ft
 Lowest Catch Basin Elevation = 11.00 ft
 Bottom of Exfiltration Trench = 4.50 ft
 Top of Exfiltration Trench = 9.50 ft
 $EL_{inv.} = N/A$

$H_2 = 6.50$ ft

Calculating Exfiltration Trench Length

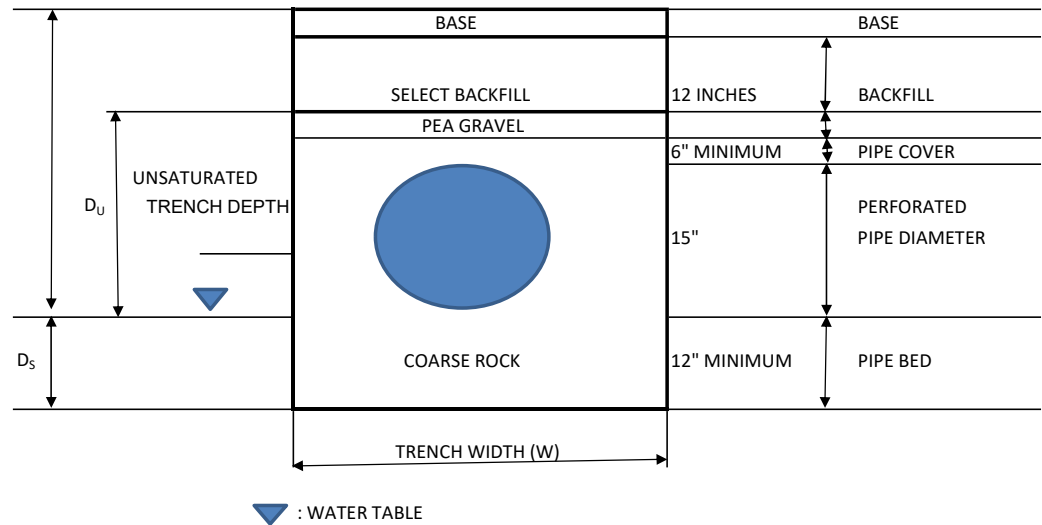
$EL_{inv.}$ = invert elevation of lowest weir/bleeder allowing discharge from trench
 L_R = length of trench required (ft)
 L_P = length of trench provided (ft)
 $V_{ext.}$ = volume in exfiltration trench (ac-in)
 FS = factor of safety
 K = hydraulic conductivity (cfs/ft² - ft head)
 H_2 = head on saturated surface (ft)
 W = trench width (ft)
 D_U = unsaturated trench depth (ft)
 D_S = saturated trench depth

$$L_R = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K[H_2W + 2H_2D_U - D_U^2 + 2H_2D_S] + (1.39 \times 10^{-4})(WD_U)}$$

$V_{wq} = 0.85$ (0.071 ac-ft)
 $V_{add} = 0.69$ (0.058 ac-ft)
 $\%WQ = 0.5$
 $FS = 2$
 $K = 0.0001$
 $H_2 = 6.5$
 $W = 10$
 $D_U = 5$
 $D_S = 0$

$L_R = 127.79'$ of exfiltration trench required.

$L_P = 160.00'$ of exfiltration trench provided.



Project Name: Polk Street Apartments
Project Address: 2543 Polk Street
Hollywood, FL 33020
ZE Project #: 23-40

Date: 08/31/23
Designed by:
Wilford Zephyr, P.E.

Pre Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.47 AC	
Pavement Area:	0.05 AC	
Building Area:	0.06 AC	
Grass Area (Pervious):	0.36 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.36 AC	76.60%
Total Impervious Area:	0.11 AC	23.40%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	11.76 ft
Average Finished Grades:	11.60 ft
Prop. Finished Floor Elev.:	13.28 ft

C Factor

Pervious:	0.6
Impervious:	0.9

C Factor (weighted) = $\frac{0.36 (0.60) + 0.05 (.90)}{0.41} = 0.64$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Finished Floor Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 11.60 ft

Average Depth to Water Table (DWT) = 10.10 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = CWS \times (\text{percentage of total pervious area}) =$

5.17

Curve Number (CN)

$CN = 1000 / (S + 10) =$ 65.92

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 5.17 (inches)

A = 0.47 (acre)

Q = 12.69 (inches)

V = 0.50 (ac-ft)

Corresponding Stage = 13.18 ft

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 5.17 (inches) (see "Soil Storage" sheet

A = 0.47 (acre) for calculating "S")

Q = 9.52 (inches)

V = 0.37 (ac-ft)

Corresponding Stage = 12.83 ft

Stage Storage

All Elevations are referenced to NAVD88

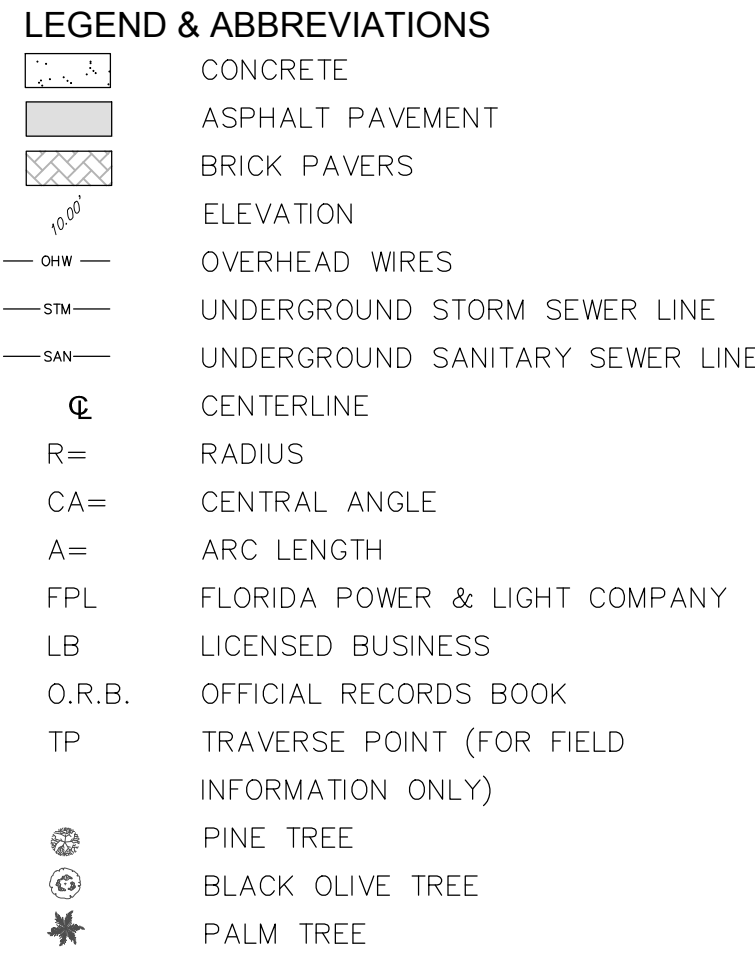
Total Surface Storage Area = 0.37 AC

(0.32 AC)
(Lin. 11.65'-12.00')

(0.05 AC)
(Lin. from 11.65'-12.00')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
11.50 '	0.00 AC-FT	0.00 AC-FT	0.000 AC-FT	0.00 AC-FT
12.00 '	0.06 AC-FT	0.01 AC-FT	0.000 AC-FT	0.06 AC-FT
12.50 '	0.22 AC-FT	0.03 AC-FT	0.000 AC-FT	0.25 AC-FT
13.00 '	0.38 AC-FT	0.06 AC-FT	0.000 AC-FT	0.43 AC-FT
13.50 '	0.54 AC-FT	0.08 AC-FT	0.000 AC-FT	0.62 AC-FT

*total landscape area=0.36 AC. 10% reduction applied (-0.036 AC) due to loss of stormwater storage from tree trunks.



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2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1944, ELEVATION: 13.458 FEET.
3. FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0568H; COMMUNITY #125113; MAP DATE: 8/18/14.
4. THIS SITE LIES IN SECTION 16, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
5. BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE SOUTH LINE OF BLOCK 17 BEING S90°00'00"W.
6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$.
8. THIS SURVEY WAS PREPARED WITH BENEFIT OF OWNERSHIP & ENCUMBRANCE REPORT, TITLE NUMBER MTAFL-187421ST, PREPARED BY MADISON TITLE AGENCY, DATED JULY 03, 2023. THE FOLLOWING ITEMS ARE SPECIAL EXCEPTIONS OF SAID REPORT
 - A. ALL CONDITIONS, MATTERS, EASEMENTS AND SETBACK LINES IN PLAT BOOK 1, PAGE 26 APPLY TO THIS SITE. THERE ARE NO PLATTED EASEMENTS.
 - B. EASEMENT IN O.R.B. 38247, PAGE 425 DOES NOT APPLY TO THIS SITE
 - C. EASEMENT IN O.R.B. 40244, PAGE 1465 DOES NOT APPLY TO THIS SITE.
 - D. TERMS AND CONDITIONS OF AGREEMENT IN O.R.B. 14863, PAGE 321 APPLY TO THIS SITE BUT CANNOT BE PLOTTED
 - E. ORDINANCE INCLUDING TERMS AND CONDITIONS IN O.R.B. 9256, PAGE 217 DOES NOT APPLY TO THIS SITE
 - F. ORDINANCE NO. 2005-18 IN O.R.B. 40082, PAGE 1783 DOES NOT APPLY TO THIS SITE
 - G. ORDINANCE NO. 2005-19 IN O.R.B. 40082, PAGE 1789 DOES NOT APPLY TO THIS SITE
 - H. CERTIFICATE IN O.R.B. 41397, PAGE 1179 DOES NOT APPLY TO THIS SITE
 - I. ORDINANCE NO. 76 IN O.R.B. 8136, PAGE 244 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED
 - J. ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED
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 - L. NOT ADDRESSED.
9. THIS SITE CONTAINS 1 TOTAL CLEARLY IDENTIFIABLE PARKING SPACE.
10. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.

TO 2217-2231 JACKSON LLC; STEWART TITLE GUARANTY COMPANY; CAPITAL GROUP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, & 9 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 06/05/22.

DATE OF PLAT OR MAP: 06/05/23

☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
☐ DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290
 STATE OF FLORIDA

RESIDENTIAL SITE
2543 POLK STREET
HOLLYWOOD, FLORIDA 33020
(CITY OF HOLLYWOOD, BROWARD COUNTY)

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: J.S.	SCALE: 1" = 20'	CLIENT: CAPITAL GROUP
CHECKED BY: J.F.P.	SURVEY DATE: 6/5/23	ORDER NO.: 71349

