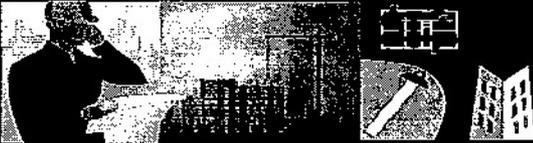


ATTACHMENT I
November 26th, 2019
Application Package

ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 7/31/2019

Location Address: 913 WASHINGTON ST

Lot(s): 12 Block(s): 57 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 5142 14 02 1450

Zoning Classification: R6 Land Use Classification: _____

Existing Property Use: VACANT LOT Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: NEW HOUSE (SFR)

Number of units/rooms: 1 UNIT 4 ROOMS Sq Ft: 2400

Value of Improvement: \$245,000 Estimated Date of Completion: MID 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: TATIANA CHIPILOVA

Address of Property Owner: 1550 VAN BUREN ST HOLLYWOOD FL 33020

Telephone: 305-926-4113 Fax: _____ Email Address: ACHIPILOV@HOTMAIL.COM

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: 9/18/2018 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: ANATOLY CHIPILOV

Address: 1550 VAN BUREN ST HOLLYWOOD

Email Address: ACHIPILOV@HOTMAIL.COM

This instrument was prepared
by:

Michelle N. Gonzalez, Esq.
Akerman LLP
Three Brickell City Centre
98 Southeast Seventh Street, Suite 1100
Miami, Florida 33131

Return to:

Ashley Title Company
16375 NE 18 Avenue, Suite 225
North Miami Beach, Florida 33162

Consideration: \$225,000.00

SPECIAL WARRANTY DEED

THIS WARRANTY DEED made and executed this 18th day of September, 2018, by PETER EVANS AND ANDREA FISHER EVANS, husband and wife, hereinafter referred to as the "GRANTOR", to TATIANA CHIPILOVA, a married woman, whose address is 1550 Van Buren Street, Hollywood, Florida 33020, hereinafter called the "GRANTEE" (wherever used herein the terms "GRANTOR" and "GRANTEE" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations).

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable consideration, the receipt whereof is hereby acknowledged, by these presents has granted, bargained, and sold to the GRANTEE, all that certain land and improvements thereto situated in Broward County, Florida, viz:

Lot 12, Block 57, HOLLYWOOD LAKES SECTION, according to the Plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

Folio No.: 514214-02-1450

Also known as: 913 Washington Street, Hollywood, Florida 33019

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

SUBJECT TO, taxes and assessments for the year 2018 and subsequent years, and all easements, zoning restrictions, rights of way, reservations of record, covenants, restrictions and any other matters of record, none of which are reimposed by this reference (the "Permitted Exceptions");

AND Grantor does hereby covenant with and warrant to Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and that Grantor specially warrants the title to the Property and will defend the same, subject to the Permitted Exceptions, against the lawful claims of all persons claiming by, through or under Grantor, but not otherwise.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:


Print Name: Joanne Critasi

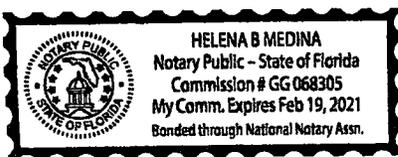

PETER EVANS


Print Name: Helena B Medina

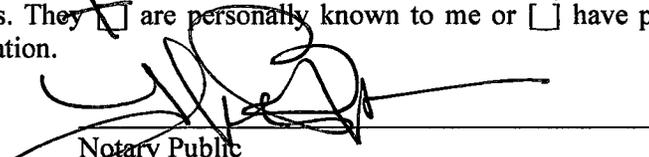

ANDREA FISHER EVANS

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 13th day of September 2018, by Peter Evans and Andrea Fisher Evans. They are personally known to me or have produced _____ as identification.



(NOTARY SEAL)


Notary Public
Print Name: _____
My Commission Expires: _____

**CITY OF HOLLYWOOD
HISTORIC PRESERVATION BOARD**

RESOLUTION NO. 18-V-10

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA APPROVING VARIANCE FOR A UNDEVELOPED LOT LOCATED AT 913 WASHINGTON STREET IN THE LAKES AREAS MULTIPLE RESOURCE LISTING DISTRICT AS MORE SPECIFICALLY DESCRIBED IN THE ATTACHED EXHIBIT "A" PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Historic Preservation Board (the Board) is charged with the responsibility of preserving and conserving properties of historical, architectural and archeological merit in the City of Hollywood; and

WHEREAS, Andrea Fisher Evans and Peter Evans, collectively the "Applicant", (File Number 18-V-10), requested a Variance to reduce the minimum lot width of an undeveloped lot located at 913 Washington Street, as more particularly described in the attached Exhibit "A" incorporated herein by reference; and

WHEREAS, the Board held an advertised public hearing on April 24, 2018 to consider the Applicant's request; and

WHEREAS, the Board reviewed the application for the Variance to reduce the minimum lot width requirement from 60 feet to allow for 50 feet, in accordance with the criteria set forth in Section 5.3. F.1. of the Zoning and Land Development Regulations and made the following findings:

- (a) That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as its affects the stability and appearance of the City; and
- (b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- (c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City; and

- (d) That the need for the requested Variance is not economically based or self-imposed; and
- (e) Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.

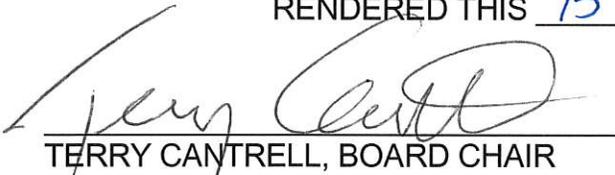
NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the Board, after hearing all evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the Applicant's request for a Variance to reduce the minimum lot width requirement from 60 feet to allow for 50 feet, based on the plans submitted by the Applicant and reviewed by the Board.

Section 3: That the Department of Development Services Planning Division is hereby directed to forward a copy of this Resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 24 DAY OF APRIL, 2018.

RENDERED THIS 15 DAY OF May, 2018.


TERRY CANTRELL, BOARD CHAIR


GEORGE CHILLAG, VICE CHAIR

APPROVED AS TO FORM & LEGALITY
For the use and reliance of the Historic
Preservation Board of the City of
Hollywood, Florida only

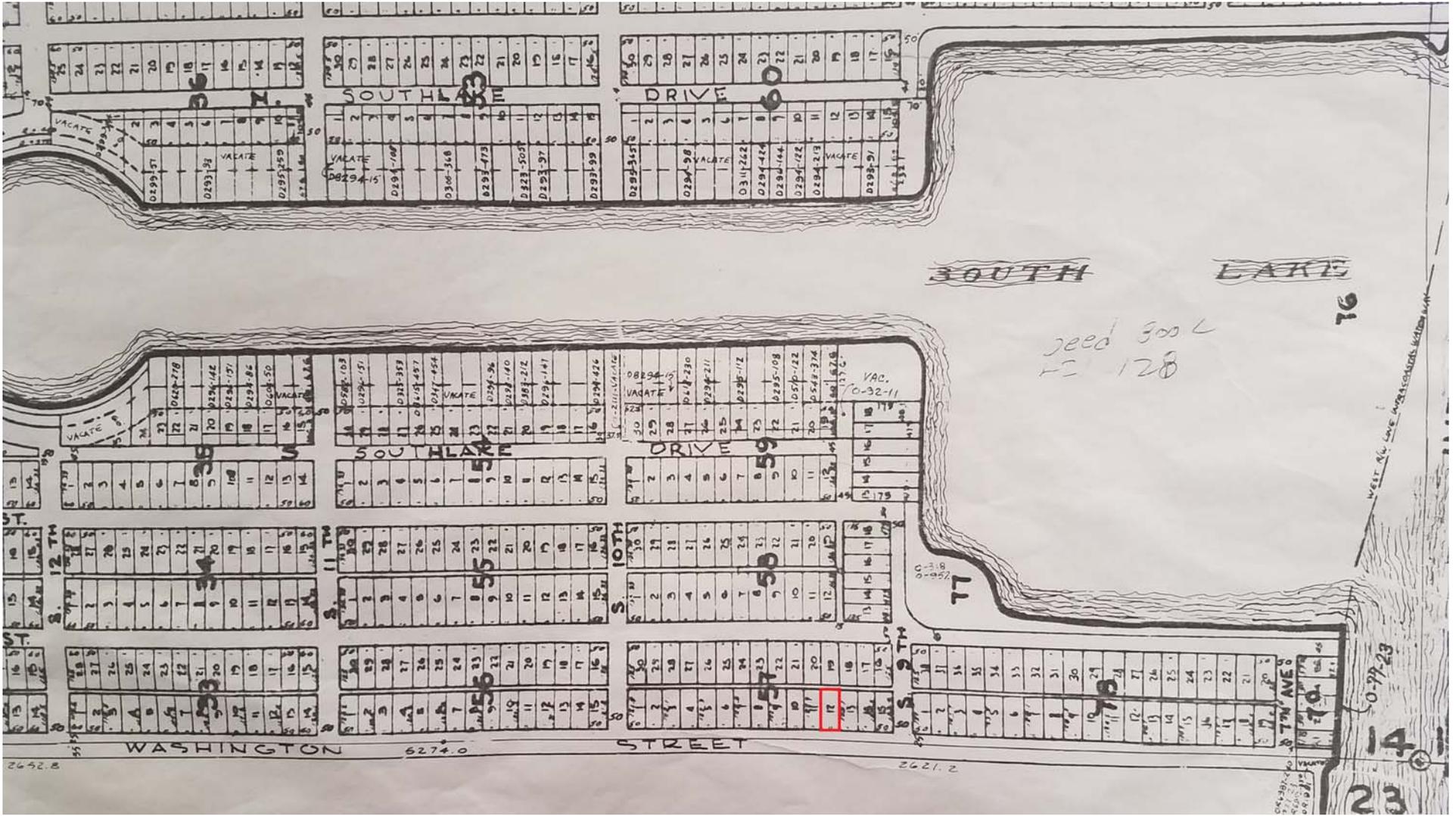

DENISE MANOS,
BOARD ATTORNEY

(HISTORIC PRESERVATION BOARD RESOLUTION 18-V-10)

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 12, HOLLYWOOD LAKES SECTION, BLOCK 57 ACCORDING TO THE PLAT
THEREOF, RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA



SOUTH LAKES

seed 300 L
128

76

WEST 1/2 LANE APPROXIMATE WATER BANK

77

00-318
0-952

0-97-23

8 TW AVE

79

20

2652.8

2621.2

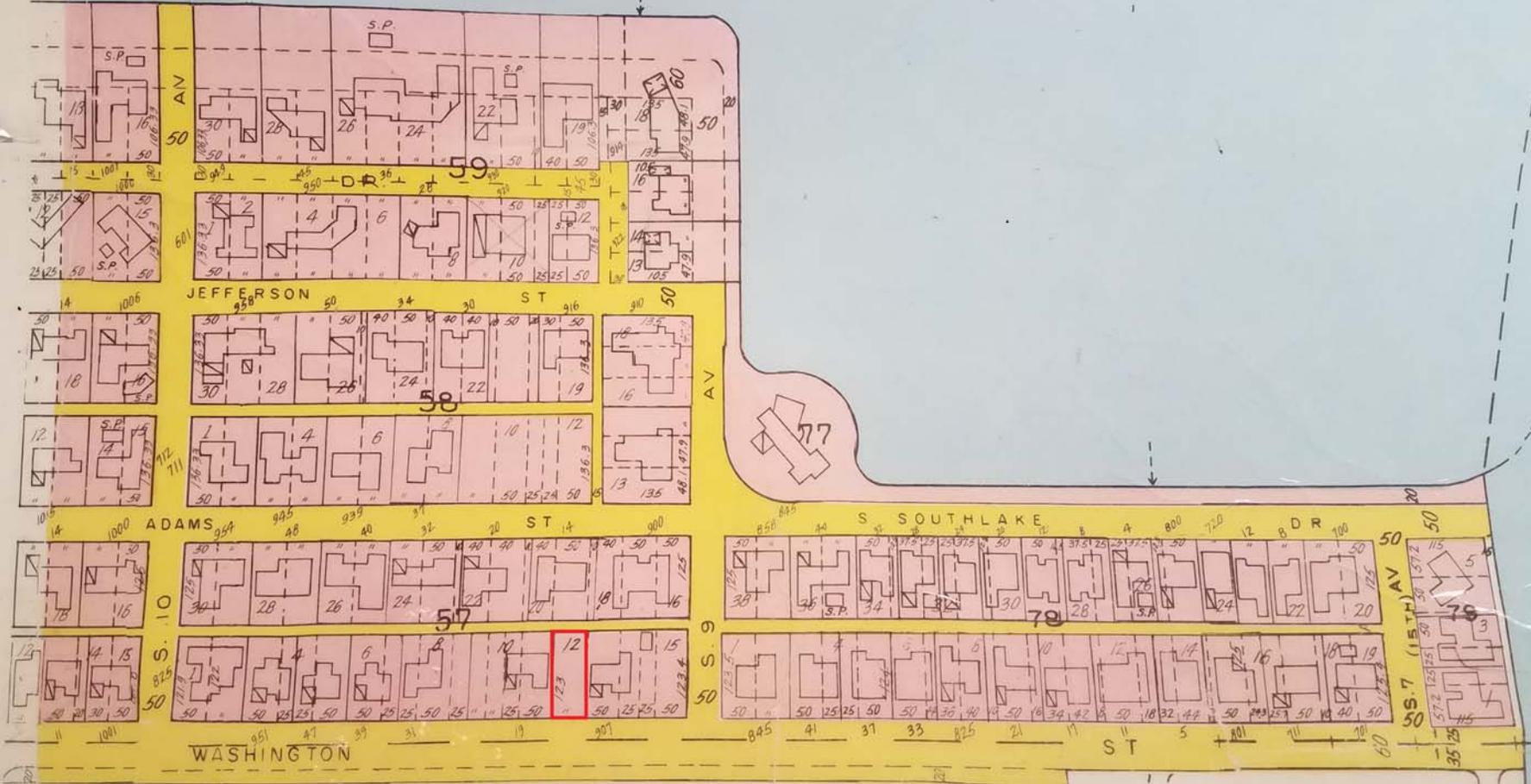
SOUTH LAKE

470



--1600--

76



92

4

Carmen Diaz

To: Anatoly Chipilov
Subject: RE: [EXT]FW: Public Records Request (W012581-103019)

From: Anatoly Chipilov [mailto:achipilov@hotmail.com]
Sent: Thursday, October 31, 2019 4:48 PM
To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: [EXT]FW: Public Records Request (W012581-103019)

Hi Carmen, please see response from records dep bellow. Do you need me yo print and bring a copy of this email to you for the file? Thank you

From: Edgar Cristo <ECristo@hollywoodfl.org>
Sent: Thursday, October 31, 2019 4:10:05 PM
To: achipilov@hotmail.com <achipilov@hotmail.com>
Subject: Public Records Request (W012581-103019)

Good Afternoon,

Let this email serve as proof that the City of Hollywood Records and Archives does not have any historical records on 913 Washington St. Attached is the sequence of addresses in the microfilm. You can see that 913 Washington St is not available jumping to 919 Washington St. If you have any questions feel free to contact me. Thanks

Edgar Cristo
Records Analyst
City of Hollywood
Records & Archives Division
2600 Hollywood Blvd
P.O Box 229045
Hollywood, FL 33022-9045
ECristo@hollywoodfl.org
(954)921-3545



You can submit a records request by visiting [Submit/View Records Requests | Hollywood, FL - Official Website](#)

Edgar Cristo
Records Analyst
City of Hollywood
Office of the City Clerk

P.O. Box 229045
Hollywood, FL 33022-9045
Office: 954-921-3545
E-mail: ECristo@hollywoodfl.org

913 Washington ST
Property legal description

Lot 12, Block 57, HOLLYWOOD LAKES SECTION, according to the Plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

Folio No.: 514214-02-1450

PROJECT INFORMATION

New Mediterranean style single family residence consisted of 3 bedrooms 3 full bath.



919 Washington St. – West property



907 Washington St. – East property



910 Washington St. – South property



913 Washington St. – Subject property

Tatiana Chipilova
1550 Van Buren St
Hollywood FL 33020

City of Hollywood
2600 Hollywood BLVD
Hollywood FL 33020

Criteria of appropriateness for design 913 Washington ST

CRITERION: INTEGRITY OF LOCATION

ANALISIS: This vacant lot located in a historic district of Hollywood Lakes at 913 Washington St. Site made of one single lot 50x 125.

CRITERION: SETTING

ANALISIS: The setting of this proposed residence is typical to most of homes in the area.

CRITERION: MATERIALS

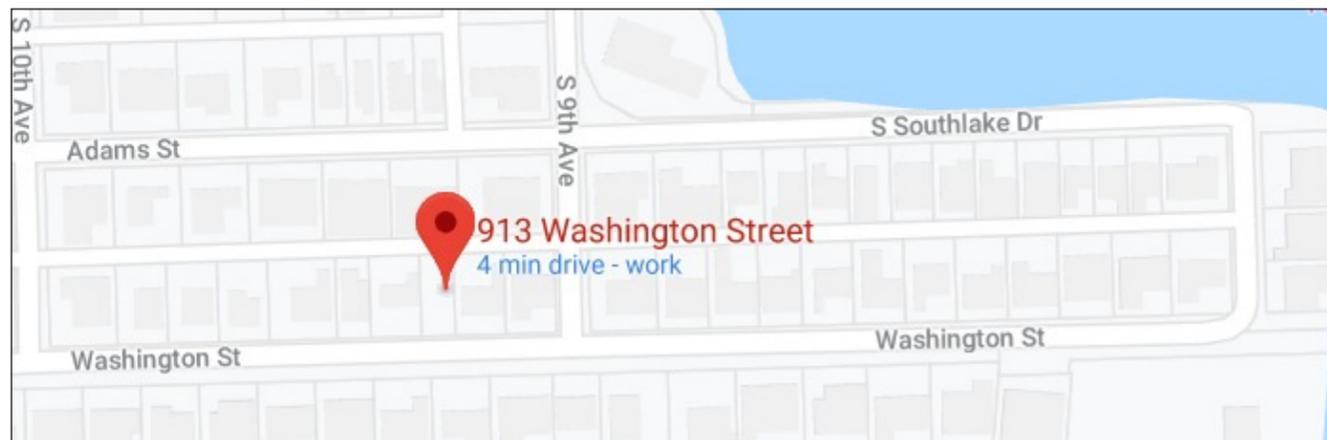
ANALISIS: Home will be constructed using concrete block and cement with metal rebar reinforcement. All building products and workmanship will comply with latest Florida building code

Tatiana Chipilova
1550 Van Buren St
Hollywood FL 33020

913 Washington St



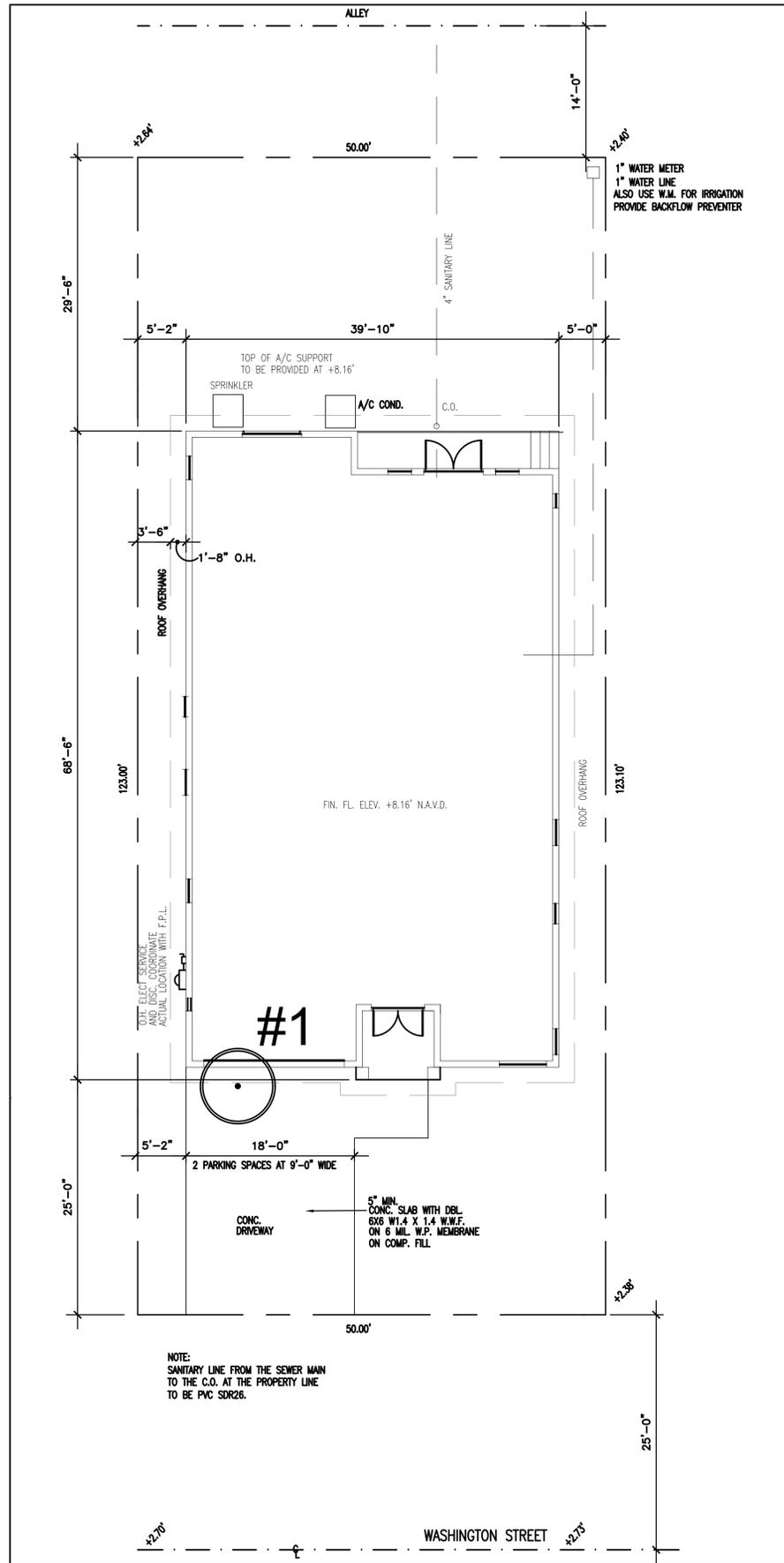
MAP LOCATION



FRONT ELEVATION

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR 13378

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 EMAIL. DEDIEGOARCH@AOL.COM



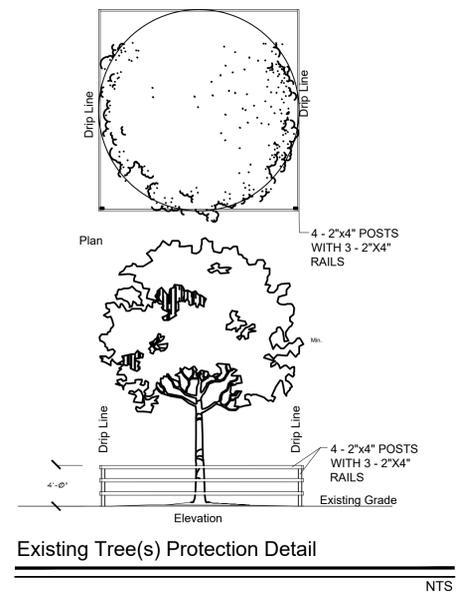
EXISTING TREE SURVEY CHART

Tree Number	Botanical Name	Common Name	DBH (inches)	Canopy (feet)	Height (feet)	Condition	Disposition	Notes
1	<i>Roystonia elata</i>	Florida Royal Palm	18"	16'	18'	Average	Relocate	Height is in Clear Trunk, good candidate to relocate

ROOT PRUNING FOR TREE RELOCATION

- 1) ROOT PREPARATION
 - A. Trees to be root pruned with clean, sharp equipment 6-8 weeks prior to relocation to a depth of at least 24 inches by ISA certified arborist.
 1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.
 2. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth.
 3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize temperature fluctuation.
 - B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees, Florida Department of Agriculture.
 1. Trees-Minimum Ball Sizes: DBH Minimum Ball Diameter
 - 3-1/2" to 4": 28"
 - 4" to 4-1/2": 30"
 - 4-1/2" to 5": 32"
 - 5" to 5-1/2": 34"
 Larger sizes increase proportionally.
 - C. Two to three weeks after root pruning and before lifting, tree canopies shall be pruned to remove any dead, decayed, broken branches, low hanging branches, or branches which would otherwise restrict strapping/lifting activities.

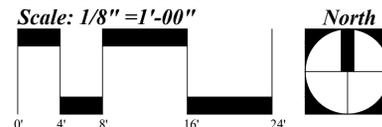
- 1) TREE RELOCATION
 - A. Trees shall be lifted using fiber rope lifting straps, with their rootballs cradled with fiber rope tree slings or other appropriate materials, such that the bulk of the trees' weight rests upon the rootball. Trunk straps may be used for balancing and maneuvering the trees into position, but shall not be used to lift or hold 100% of the trees' weight.
 1. Once lifting begins, any uncut roots which become apparent around or under the rootballs shall be immediately severed with the appropriate pruning tools so as to minimize tearing.
 2. After lifting, trees shall not be set down again until reaching the final site of relocation.
 - B. Trees are to be set in pre-dug pits, and properly braced in accordance with tree planting details shown on landscape plan.
 - C. Daily irrigation at high volume (15-25 gallons per tree, as per size) shall be provided for the first month after relocation. After that time, irrigation shall be provided 3 times per week, continuing at high rates, for at least 2 more months. After establishment, standard irrigation practices shall be implemented.



- NOTES:
1. SOD AND IRRIGATE TO EDGE OF ROAD.
 2. TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE.
 3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE SHRUB MATERIAL.



TREE DISPOSITION PLAN



ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND IS TO BE USED FOR THE PROJECT AND SITE ONLY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER PROJECTS. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION

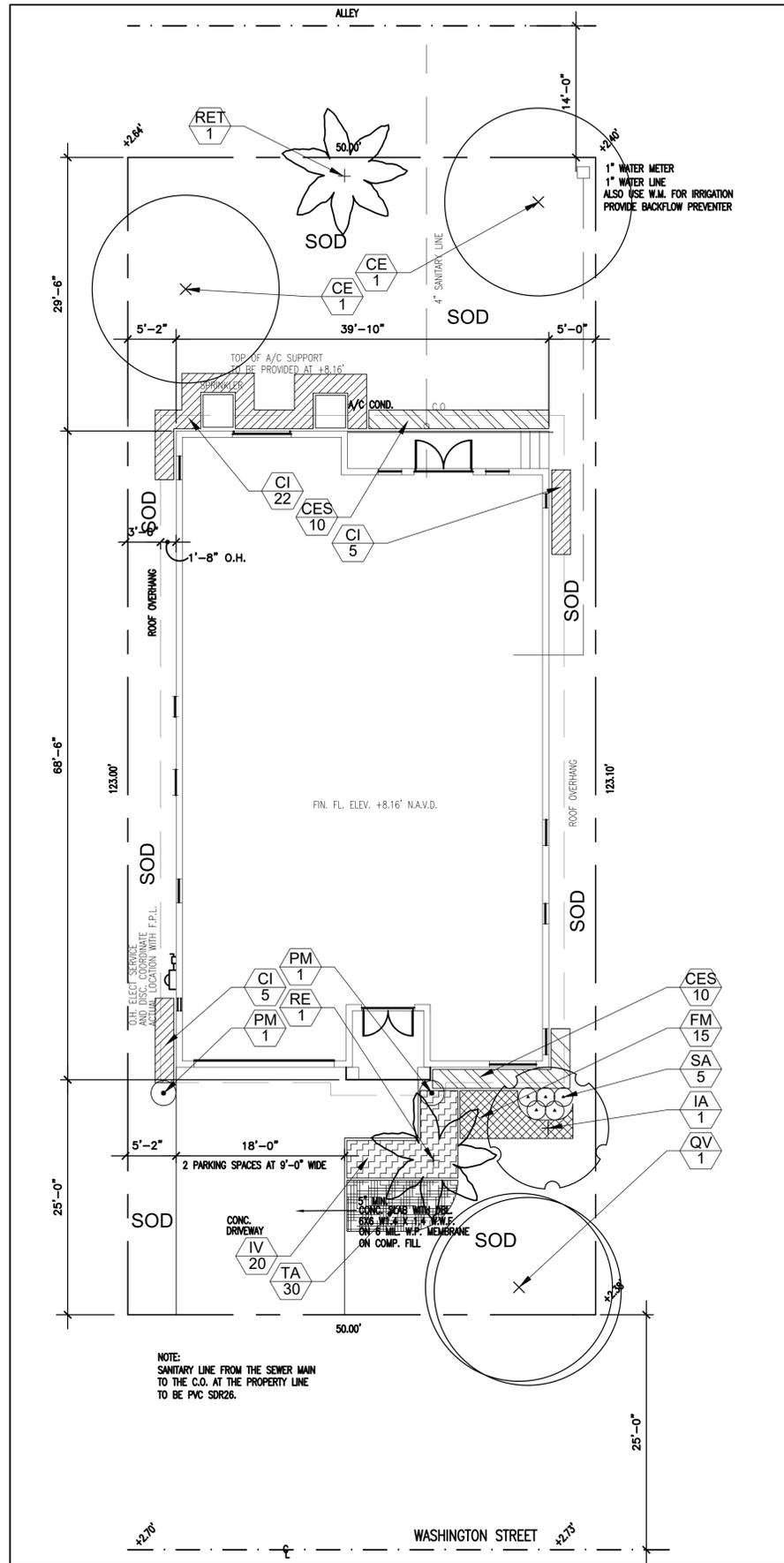
NEW RESIDENCE FOR
913 WASHINGTON STREET
HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR 13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 EMAIL: DEDIEGOARCH@AOL.COM

CHECKED _____
DRAWN _____
DATE 9-30-2019
COMM. NO. 18-207

James Brian Euell, PLA
Landscape Architecture
(954) 205-1721
Lic. No. #LA666897





Plant List

Sym	Qty	Botanical / Common Name	Size	Native
CE	2	Conocarpus erectus/ Green Buttonwood	12' Ht. x 5' Spr., 2.5" DBH	Yes
IA	1	Ilex attenuata / East Palatka Holly	12' Ht x 5' Spr, 2" DBH	Yes
RE	1	Roystonea elata / Florida Royal Palm	8' GW Min.	Yes
QV	1	Quercus virginiana / Live Oak	14' Ht. x 6' Spr., 3" DBH	Yes
RET	1	Quercus elata / Florida Royal Palm	Existing to be Relocated	Yes

Shrubs/Groundcovers				
Sym	Qty	Botanical / Common Name	Size	Native
CES	20	Conocarpus erectus series/ Silver Buttonwood	24" x 24", 24" O.C.	Yes
CI	32	Chrysobalanus icaco / Cocoplum	24" x 24", 24" O.C.	Yes
FM	15	Ficus microcarpa 'Green Island' / Green Island Ficus	14" x 14", 24" O.C.	No
IV	20	Ilex vomitoria 'Stokes Dwarf' / Dwarf Ilex	10" x 10", 18" O.C.	Yes
PM	2	Podocarpus macrophyllus / Podocarpus	36" x 30"	No
SA	5	Schefflera arboricola 'Trinette' / Var. Arboricola	24" x 24", 24" O.C.	No
TA	30	Trachelospermum asiaticum/ Asiatic Jasmine	6" x 12", 18" O.C.	No

Sod	St. Augustine		
Mulch	Shredded Melaleuca or Eucalyptus		

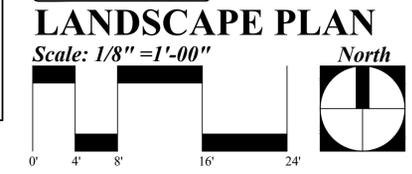
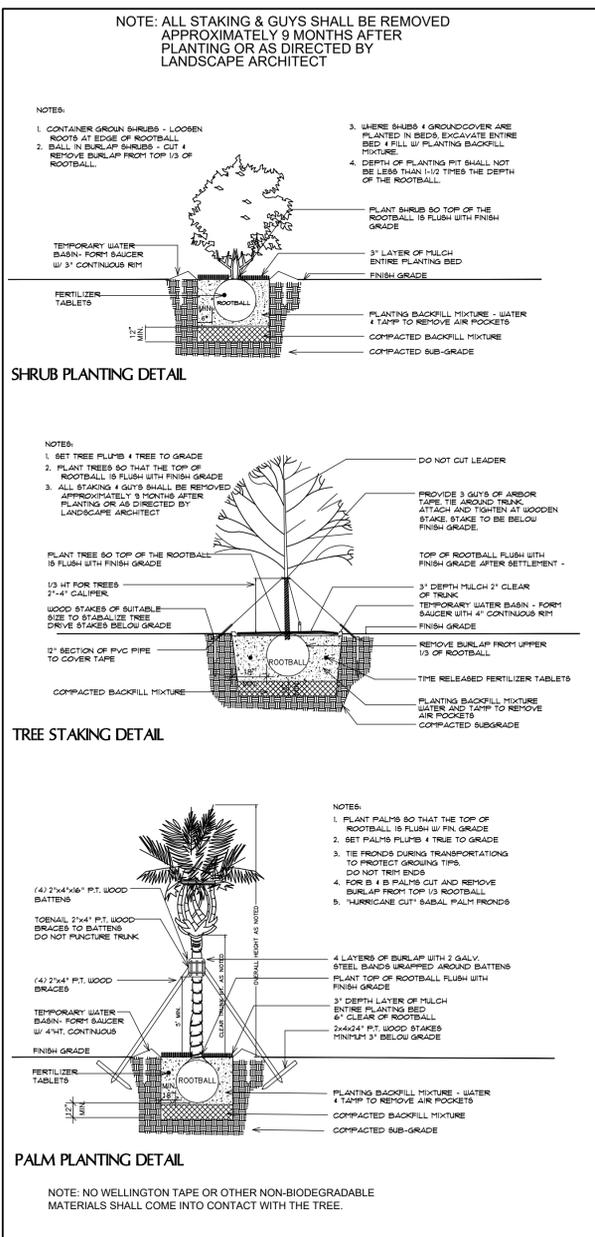
LANDSCAPE CALCULATIONS

ZONING: RS-6

REQUIRED	PROVIDED
GROSS SITE AREA	
6,150 SQUARE FEET	
SECTION 2.1	
SINGLE FAMILY DISTRICTS	
PERIMETER LANDSCAPE	
(1) 2" CALIPER X 12' H TREE PER 50 LINEAR FEET OR PORTION THEREOF STREET FRONTAGE OF PROPERTY WHEREIN IMPROVEMENTS ARE PROPOSED	1
(1) TREE PER 1,250 SQ. FT. (INCLUDING ANY FRACTION) OF FRONT YARD AREA. 781 SQ. FT. / 1,250=1	1
1 TREE AND 10 SHRUBS IN REAR HALF OF PLOT	2
TOTAL TREES	
TOTAL TREES REQUIRED	3 TREES
MIN. 60% NATIVE (4 TOTAL TREES REQUIRED, 4 NATIVE TREES PROV.)	60%
PERCENT OF PALMS-NO MORE THAN 50%	>50%
PERCENT OF NATIVE SHRUBS 50%	50%

NOTE: ALL PALMS SHALL BE COUNTED AS 3:1 EXCEPT ROYAL PALMS AND DATE PALMS

- General Notes:**
- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
 - All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
 - All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
 - All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
 - Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
 - Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
 - Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
 - All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
 - All sodded areas to have a minimum of 2" of planting soil as described in note #8.
 - All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
 - All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
 - All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
 - All trees and palms shall be planted with the top of their rootballs 1'-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
 - In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
 - All planting shall be installed with fertilizer at time of planting.
 - All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
 - All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
 - All landscape and irrigation shall be installed in compliance with all local codes. The plan shall take precedence over the plant list, should there be any discrepancy between the two.



James Brian Euell, PLA
Landscape Architecture
(954) 205-1721
Lic. No. #LA666899

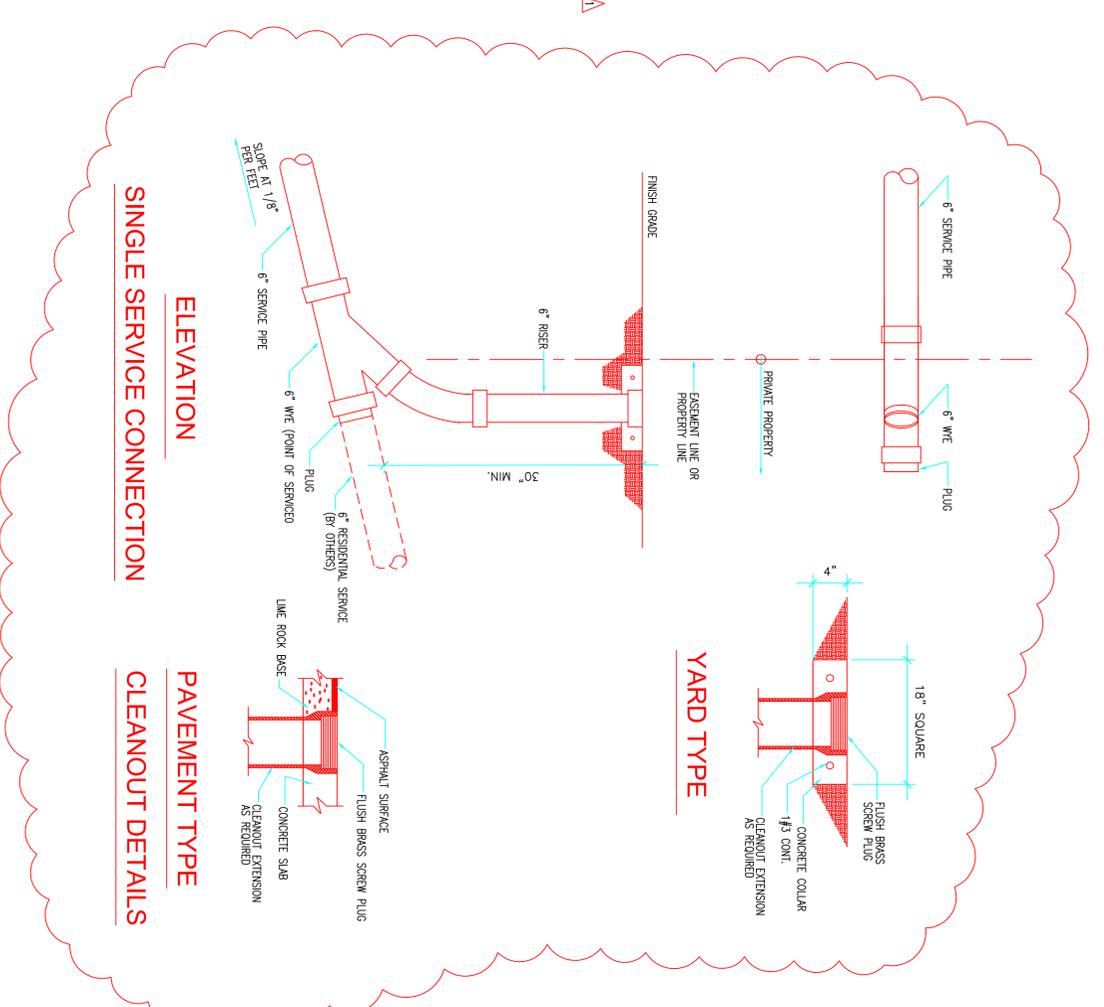
ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS ARE THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED, ALTERED IN WHOLE OR IN PART, IT IS ONLY TO BE USED FOR THE PROJECT AND SITE NOT TO BE USED ON ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS AND SHALL BE RESPONSIBLE FOR ANY WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR 13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 EMAIL: DEDIEGOARCH@AOL.COM

NEW RESIDENCE FOR 913 WASHINGTON STREET HOLLYWOOD, FLORIDA

CHECKED _____
DRAWN _____
DATE 9-30-2019
COMM. NO. 18-207

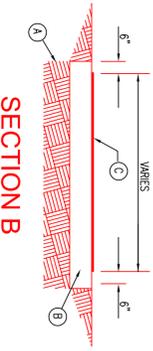
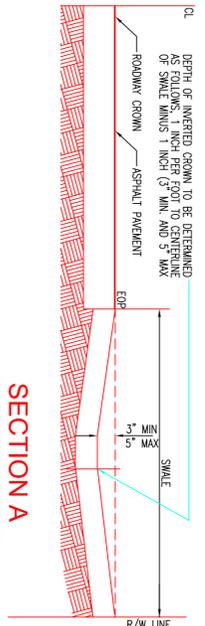
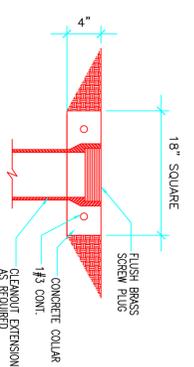
L-1



ELEVATION
SINGLE SERVICE CONNECTION

PAVEMENT TYPE
CLEANOUT DETAILS

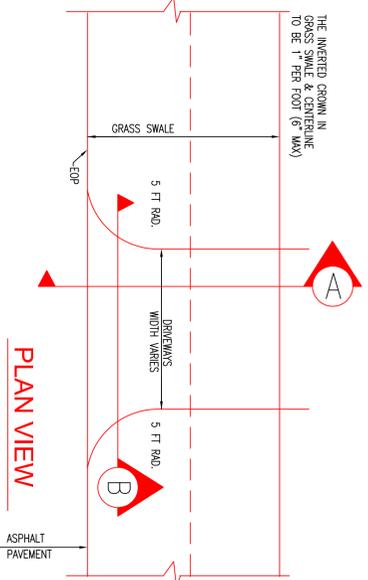
YARD TYPE



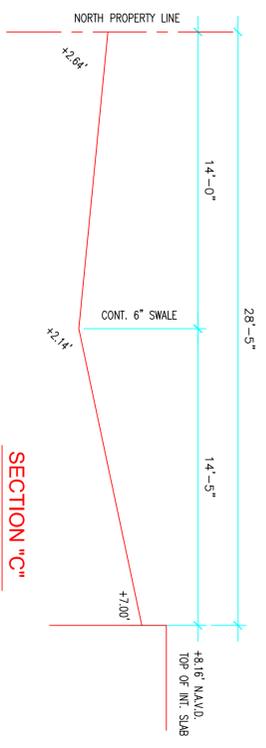
SECTION B

NOTE:
SLOPE AND PREPARATION OF SURFACE
BASE COURSE SHALL BE APPROVED BY THE
ENGINEERING DEPT. PRIOR TO APPLICATION
PAVEMENT SURFACE MATERIALS

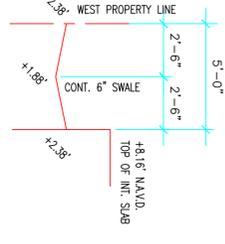
- (A) 1/2" CLEAN SURFACE COMPACTED TO 98%
PER ASSHD TM 1-1180
- (B) ASPHALT AND PAVER DRENCHERS
6" MIN. LIME ROCK BASE COMPACTED
TO 98% PER ASSHD TM 1-1180, METHOD D.
- (C) ASPHALTIC SURFACE COURSE
FLOT TYPE S-111 OR TYPE S-B-C MODIFIED
1 1/2" THICK MIN. (COMMERCIAL & INDUSTRIAL)



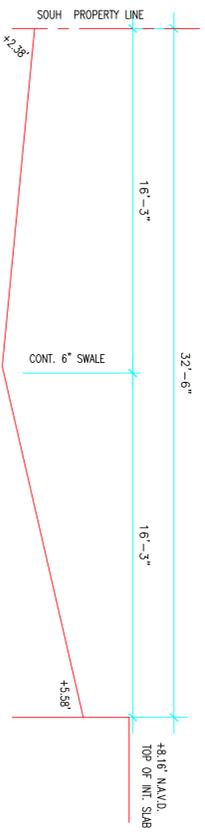
PLAN VIEW



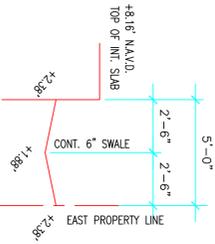
SECTION 'C'
SCALE: 1/4"=1'-0"



SECTION 'A'
SCALE: 1/4"=1'-0"



SECTION 'D'
SCALE: 1/4"=1'-0"

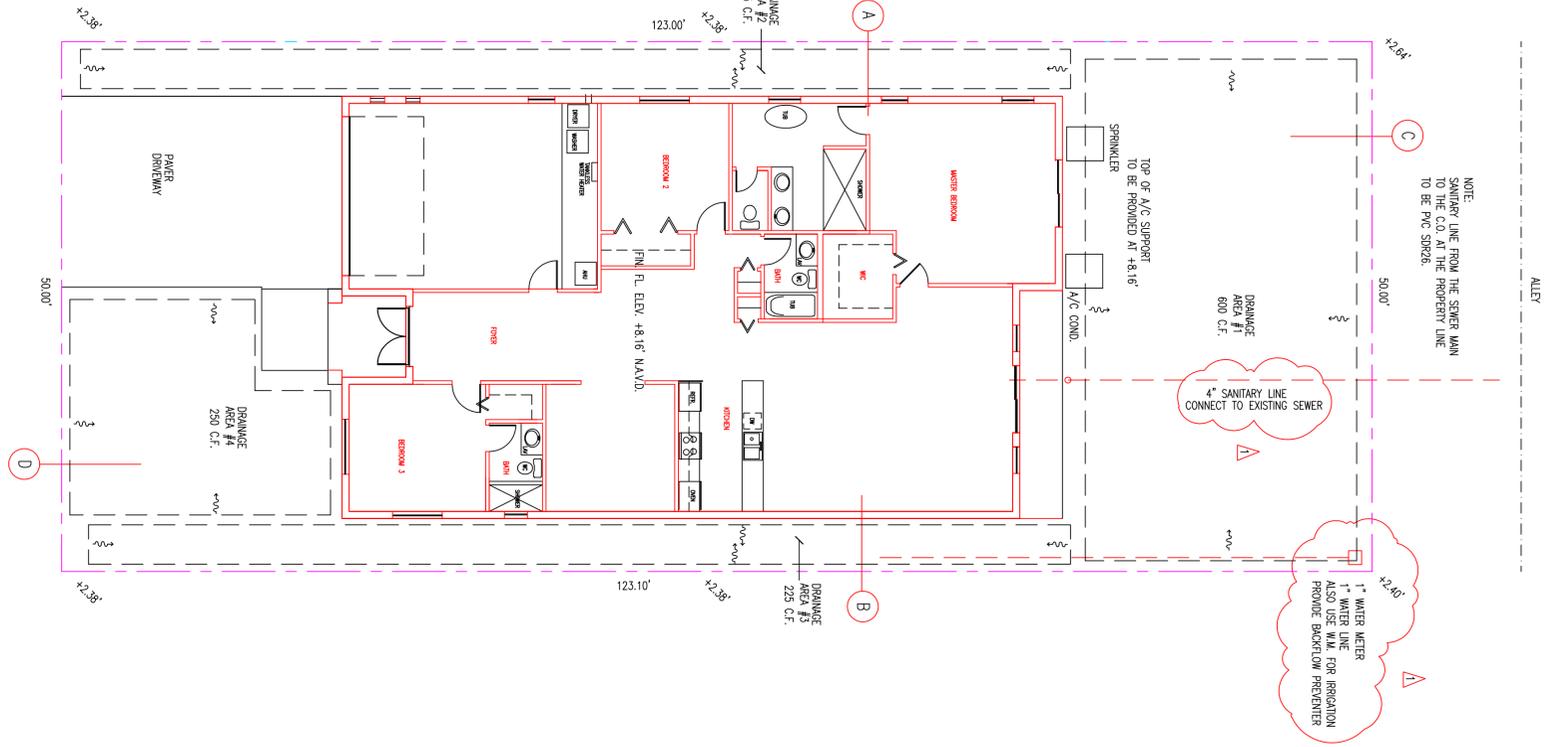
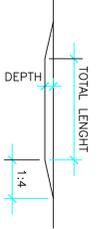


SECTION 'B'
SCALE: 1/4"=1'-0"

SITE DRAINAGE CALCULATIONS
1" OVER THE ENTIRE SITE:
1" X 6,155 = 6,155 / 12 = 513 C.F. REQUIRED

AREA #1 = 1200 S.F. X .50 = 600 C.F.
AREA #2 = 450 S.F. X .50 = 225 C.F.
AREA #3 = 450 S.F. X .50 = 225 C.F.
AREA #4 = 500 S.F. X .50 = 250 C.F.

TOTAL AREA PROVIDED = 1,300 C.F.



DRAINAGE PLAN
SCALE: 1/8"=1'-0"

NO.	DATE	REVISION
1	10-14-2019	BLDG DEPT COMMENTS

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NEW RESIDENCE FOR
913 WASHINGTON STREET
HOLLYWOOD, FLORIDA

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AA-26001641 AR 13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
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CHECKED	
DRAWN	
DATE	5-20-2019
COMA. NO.	18-207

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

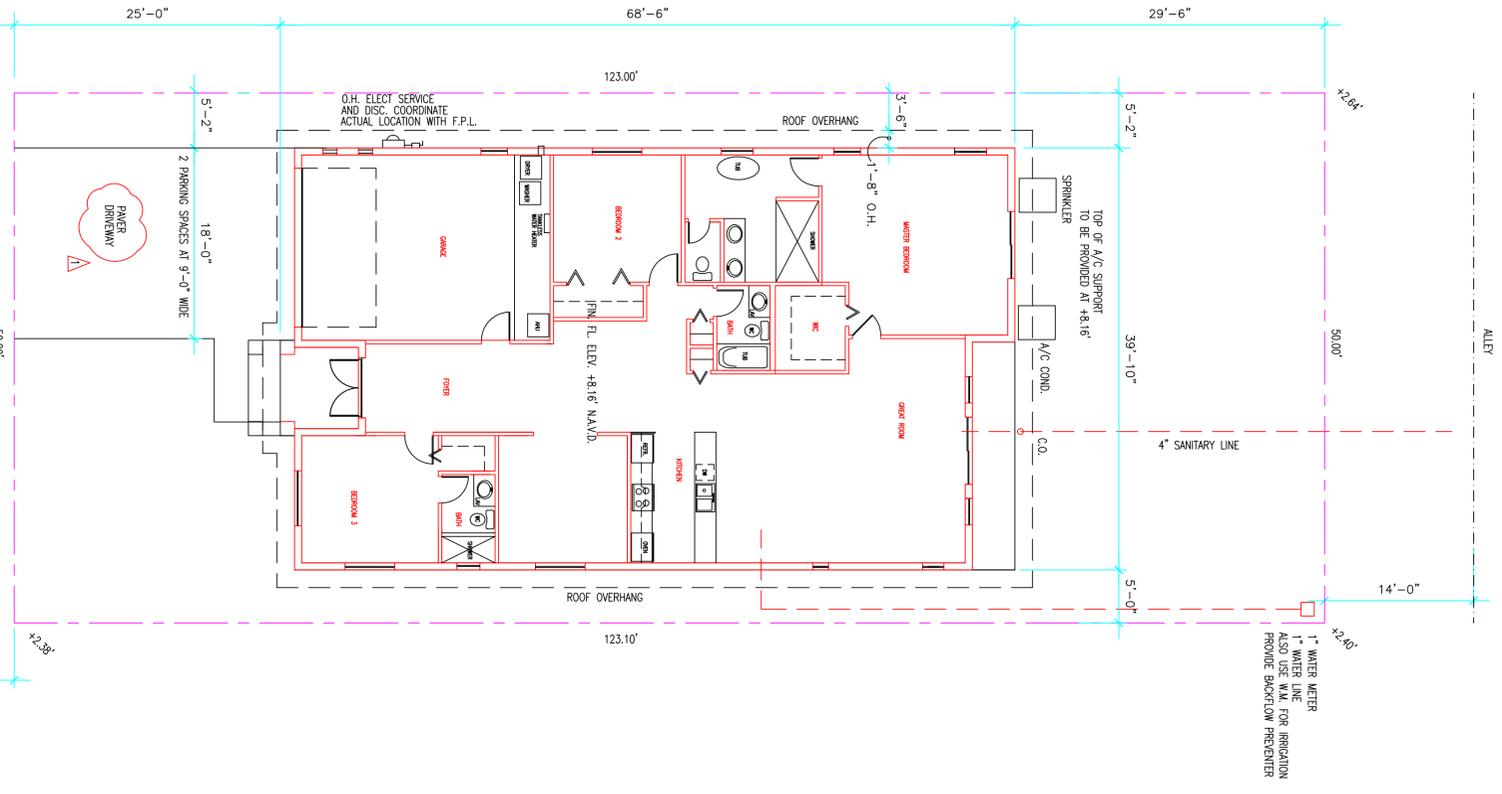
C-1
1

FRONT YARD CALC
 25' X 50' = 1250.00 SF.
 DRIVEWAY AND WALK = 500 SF. = 40 %
 FERROUS AREA = 750 SF. = 60 %

SITE CALCULATIONS

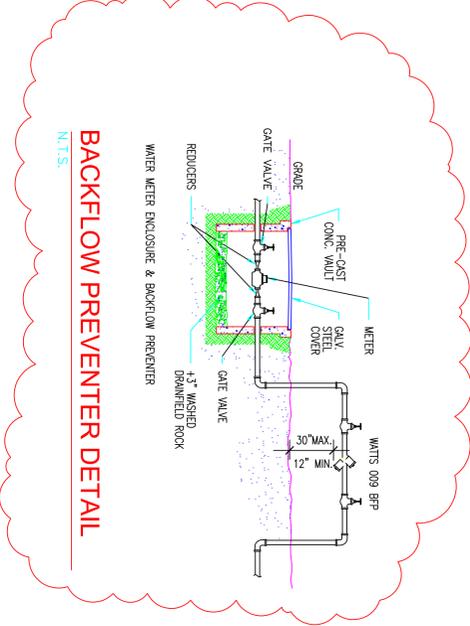
LOT	6,193.00 SF.	
BUILDING	2,564.00 SF.	41.6% %
REAR TERRACE	86.00 SF.	1.39 %
FRONT ENTRY	56.00 SF.	0.90 %
DRIVEWAY	450.00 SF.	7.21 %
WALKWAY	50.00 SF.	0.81 %
LANDSCAPE	2,949.00 SF.	47.91 %
A/C AREA	2,128.00 SF.	
GARAGE	4,860.00 SF.	

NOTE:
 SANITARY LINE FROM THE SEWER MAIN TO THE G.O. AT THE PROPERTY LINE TO BE PVC SDR26.



SITE PLAN
 SCALE: 1/8"=1'-0"
 FLOOD ZONE AE 7

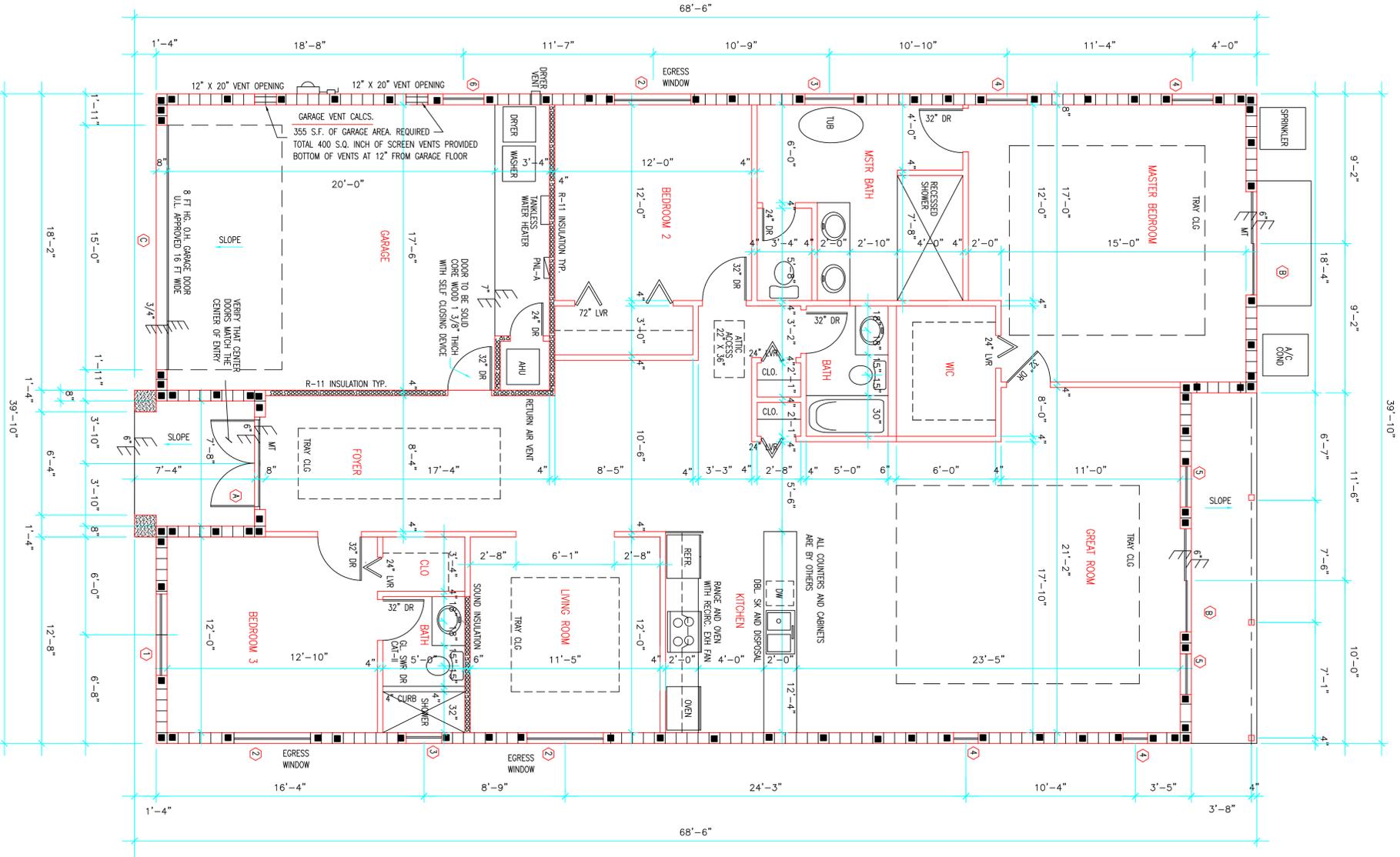
LEGAL DESCRIPTION:
 LOT 12, BLOCK 57 OF HOLLYWOOD LAKES SECTION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.



BACKFLOW PREVENTER DETAIL
 NOTES

- GREEN BUILDING REQUIREMENTS (151.153)**
1. ALL ROOFS SHALL CONFORM TO THE ENERGY STAR RAINING CRITERIA FOR SOUTH FLORIDA.
 2. PROVIDE PROGRAMMABLE THERMOSTATS.
 3. PROVIDE DUAL FLUSH TOILETS VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
 4. PROVIDE MEN OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 4" MINIMUM EFFICIENCY. ALL FILTERS SHALL BE TESTED BY THE MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION.
 5. ALL OUTDOOR LIGHTS INCLUDING FLUORESCENT BULBS AND FIXTURES WITH ELECTRONIC BALLAST SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.

NOTE:
 PROVIDE AN EMPTY 3/4" COND. IN EACH GARAGE TO A TWO GANG JUNCTION BOX WITH BLANK PLATE



FLOOR PLAN
 SCALE: 1/4"=1'-0"
 GROUP R-3
 TYPE VA
 F.B.C. (2017 SIXTH EDITION)

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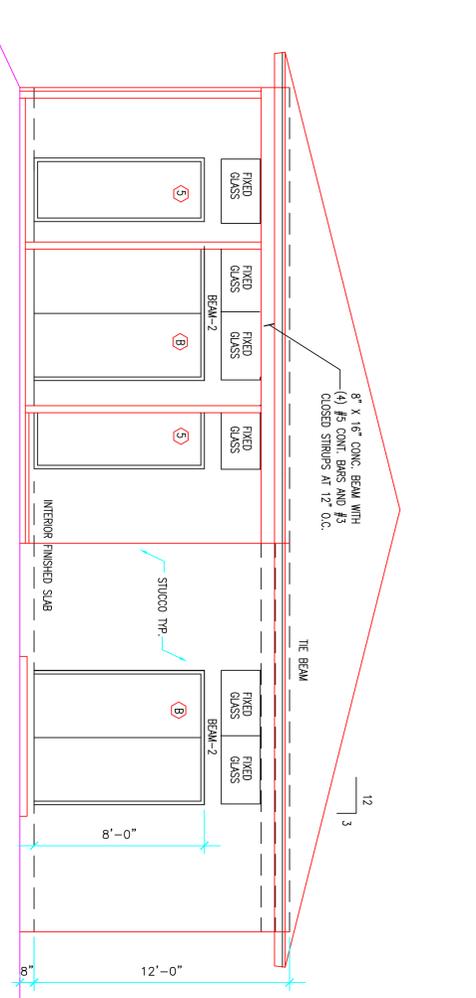
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NO.	DATE	REVISION
1	10-14-2019	BLDG DEPT COMMENTS

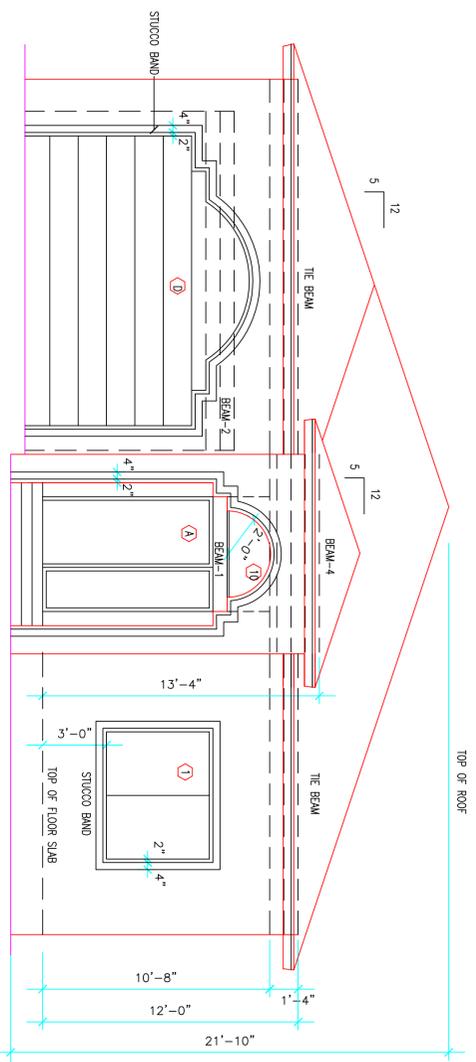
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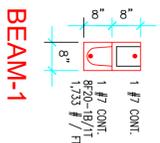
1
 5



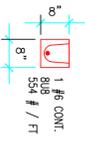
REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0" SOUTH

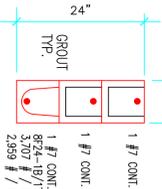


BEAM-1



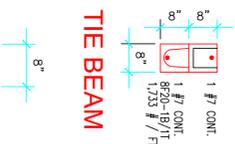
BEAM-2

ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END

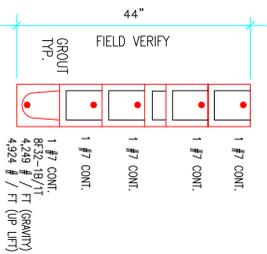


BEAM-3

ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END



TIE BEAM



BEAM-4

ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END

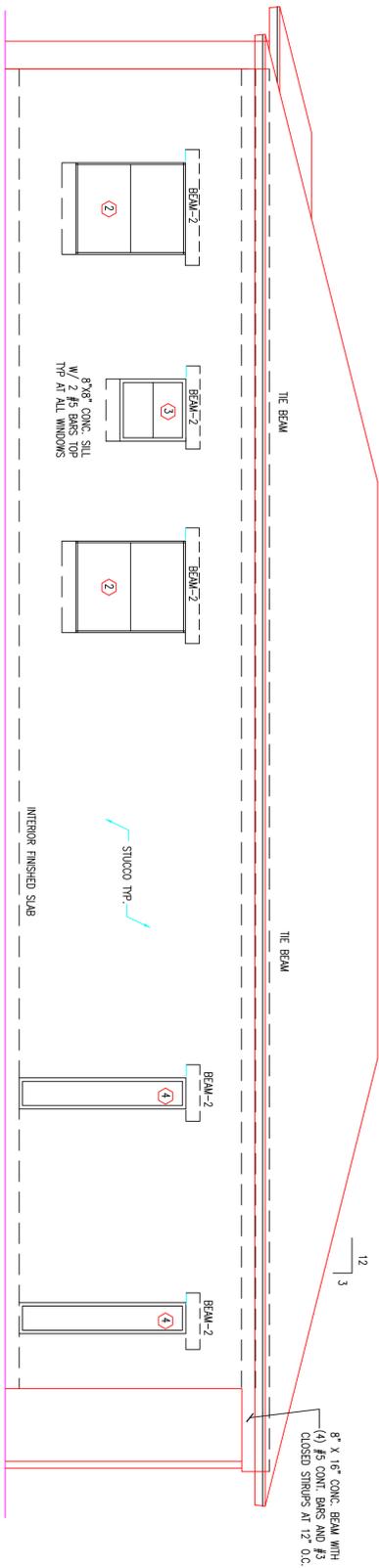
EXTERIOR DOOR SCHEDULE CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH THE MANUFACTURER. COORDINATE STYLE WITH THE OWNER.

MARK	SIZE	MASONRY OPENING WIDTH X HEIGHT	PRESS. RATING REQ. FOR SPECIFIC OPENING (+) PSF (-) PSF	SHUTTERS REQ. YES OR NO	EGRESS REQ. YES OR NO	ZONE	EGRESS REQ.
A	ENTRY DOORS	64" X 96"	+34.18	-37.39	NO	4	YES
B	SLIDING GLASS DOORS	72" X 96"	+33.89	-37.10	IMPACT	4	NO
C	GARAGE OIL DOOR	15'-0" X 8'-0"	+31.89	-34.89	IMPACT	4	NO

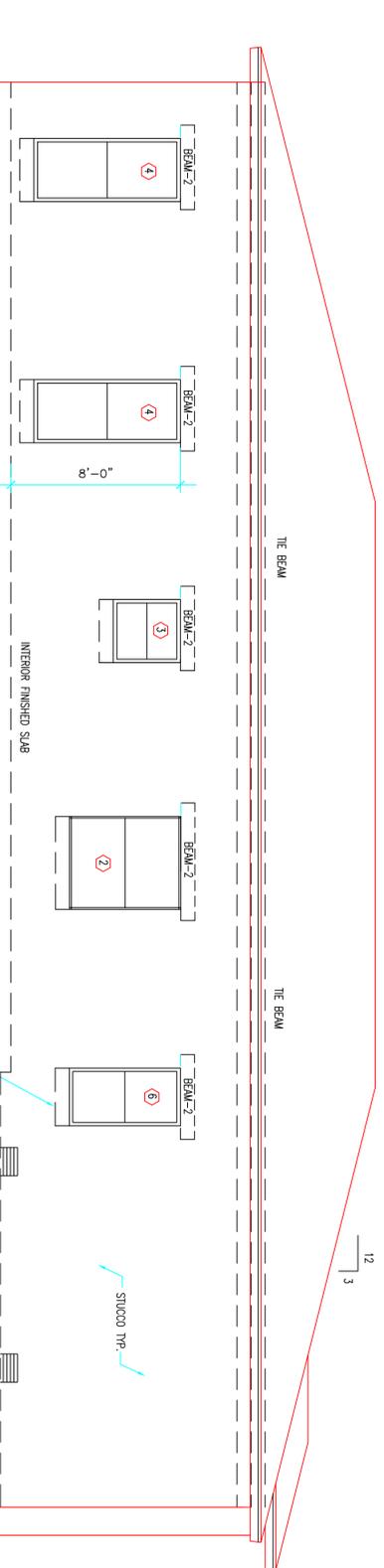
WINDOW SCHEDULE CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH THE MANUFACTURER. PROVIDE U-FACTOR 1.02. COORDINATE STYLE WITH THE OWNER. PROVIDE SHGC 0.40.

MARK	SIZE	MASONRY OPENING WIDTH X HEIGHT	SHUTTERS YES OR NO	EGRESS REQ. YES OR NO	PRESS. RATING REQ. FOR SPECIFIC OPENING (+) PSF (-) PSF	ZONE
1	FIXED WINDOW	60" X 60" FIXED	IMPACT	NO	+34.75	4
2	3S. SH WINDOW	53 1/8" X 63"	IMPACT	YES	+36.65	4
3	SH WINDOW	26 1/2" X 38 3/8"	IMPACT	NO	+27.80	4
4	FIXED WINDOW	18" X 96" FIXED	IMPACT	NO	+35.84	4
5	FIXED WINDOW	30" X 96" FIXED	IMPACT	NO	+35.84	4
6	FIXED WINDOW	37" X 63" FIXED	IMPACT	NO	+36.61	4
7	FIXED WINDOW	5'-4" X 2'-6" FIXED	IMPACT	NO	+37.09	4

NOTE: WINDOW #1 IN BEDROOM-3 MUST COMPLY WITH THE EGRESS CODE



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

NO.	DATE	REVISION

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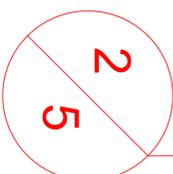
NEW RESIDENCE FOR
913 WASHINGTON STREET
HOLLYWOOD, FLORIDA

Miguel de Diego
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1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
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CHECKED	
DRAWN	
DATE	5-20-2019
COMA. NO.	18-207

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MAIN
TRIM

EXTERIOR MAIN COLOR

"Greek Villa"

MODEL: SW 7551

ACCENTS & TRIM COLOR

"Natural Choice"

MODEL: SW 7011

SHERWIN-WILLIAMS



STUCCO MAIN: TEXTURED
ALL TRIMS: SMOOTH



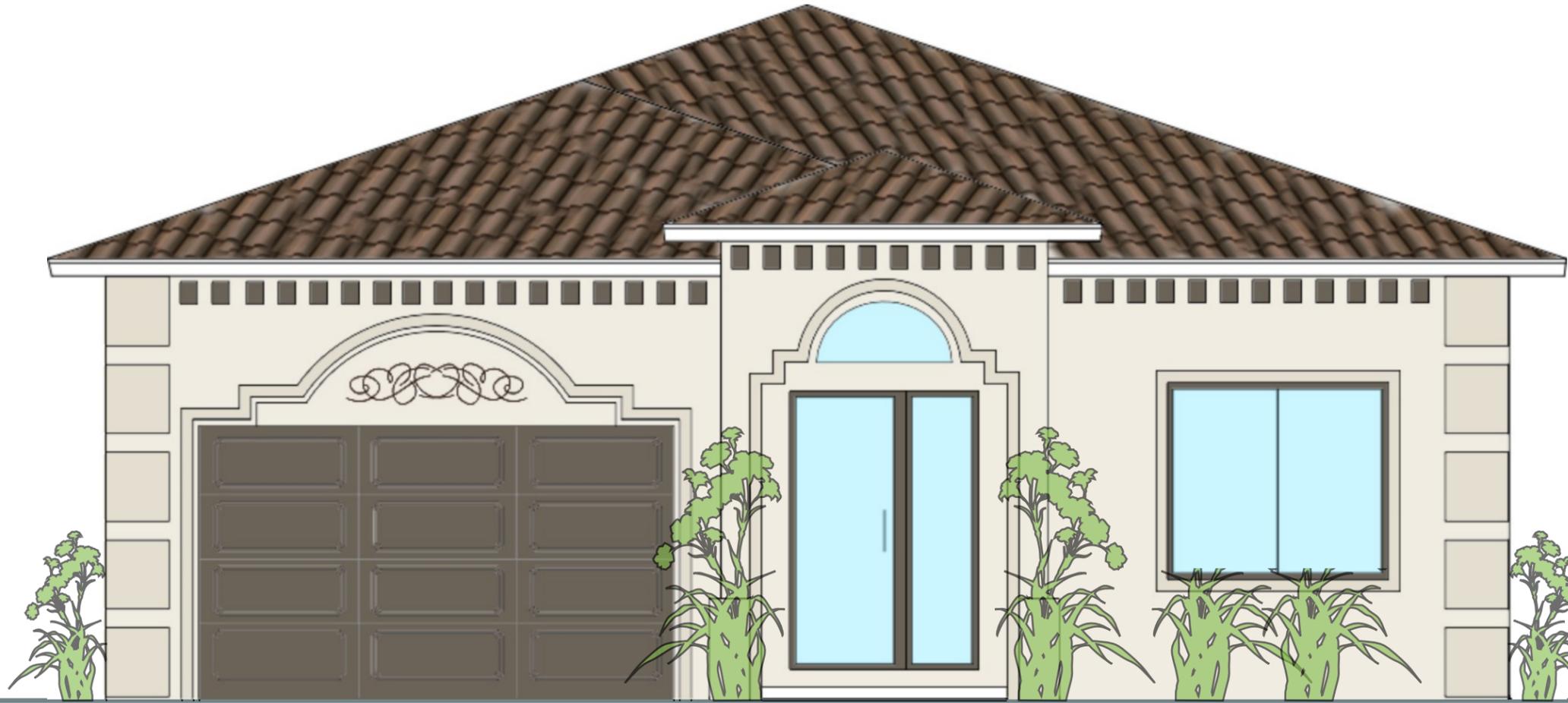
ROOF TILE
BARCELONA 900 SERIES
COLOR: Chestnut Burnt



WINDOWS & DOORS
FRAME: BRONZE
GLASS TINT: BRONZE
MODEL - Windguard PGT



DRIVEWAY PAVERS
COLOR: CLASSIC
MODEL - OLD MIAMI



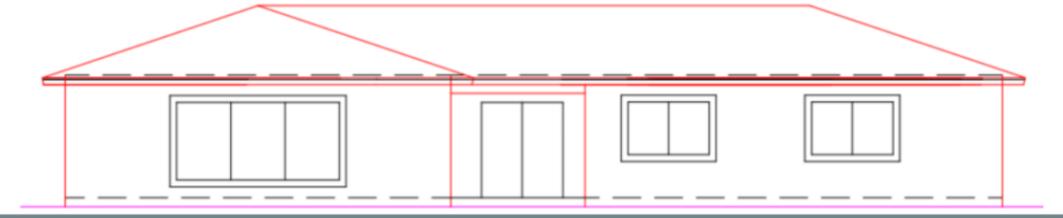
COLOR: Trinar® Bronze

GARAGE DOOR
Sculptured Raised Panel
600 SERIES INSULATED

PROPOSED EXTERNAL FINISHES

Miguel de Diego
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919 Washington St



913 Washington St



907 Washington St

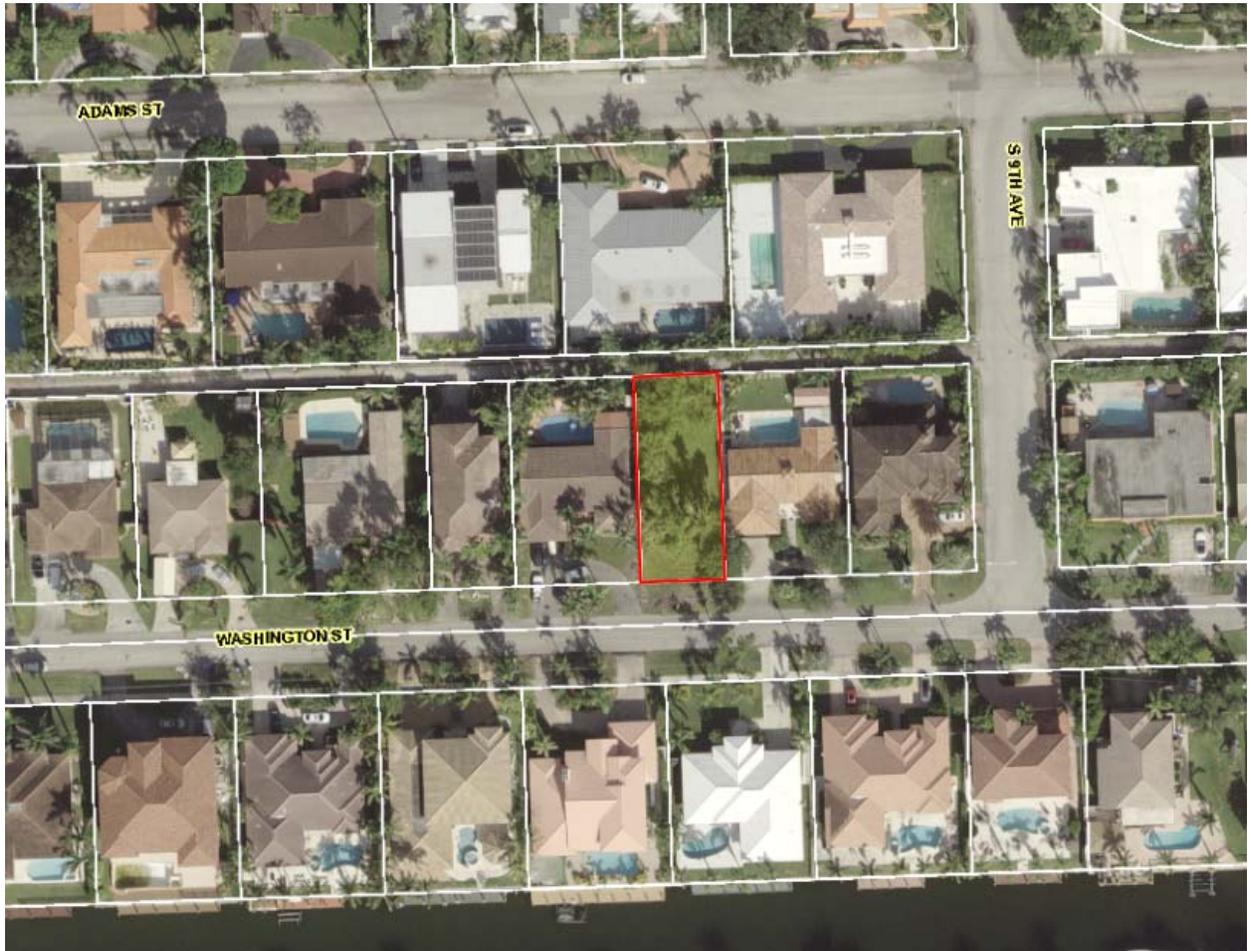
WASHINGTON STREET PROFILE

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ATTACHMENT B
Aerial Photograph

AERIAL PHOTOGRAPH



913 Washington Street