

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 6/6/2023

Location Address: 1807-1809 Madison Street Hollywood, FL 33020

Lot(s): 13, 14, 15 Block(s): 36 Subdivision: _____

Folio Number(s): 514215-01-7100 514215-01-7110

Zoning Classification: FH-2 Land Use Classification: RAC Zone

Existing Property Use: Vacant land Sq Ft/Number of Units: 14,926 SQ FT

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: TAC1 Review

Number of units/rooms: 44 + 1 commercial Sq Ft: _____

Value of Improvement: 15 million Estimated Date of Completion: Sept 2025

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Lloyd Quintana, Las Villas JDL LLC

Address of Property Owner: 17601 SW 87 ave Palmetto Bay, FL 33157

Telephone: 786 413 4951 Fax: _____ Email Address: quintanallloyd69@hotmail.com

Name of Consultant (Representative/Tenant (circle one)): Javier Marin

Address: 7350 SW 89 ST #100 33156 Telephone: 786 602 5097

Fax: _____ Email Address: jrodrigo2@gmail.com

Date of Purchase: 5/2014 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



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2500 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 6/6/23

PRINT NAME: Lloyd Quintana Date: _____

Signature of Consultant/Representative: [Signature] Date: 6/6/23

PRINT NAME: JAVIER MARIN Date: _____

Signature of Tenant: — Date: _____

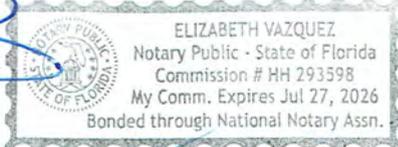
PRINT NAME: — Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Javier Marin to my property, which is hereby made by me or I am hereby authorizing Javier Marin to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 6 day of June 2023

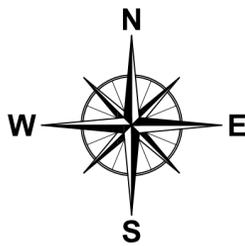
[Signature]
Notary Public



Signature of Current Owner

Print Name

State of Florida
My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



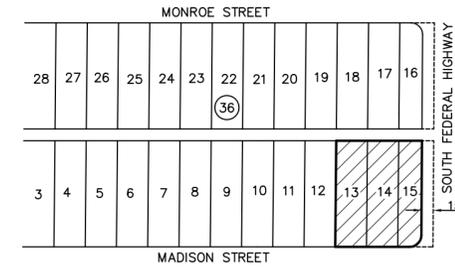
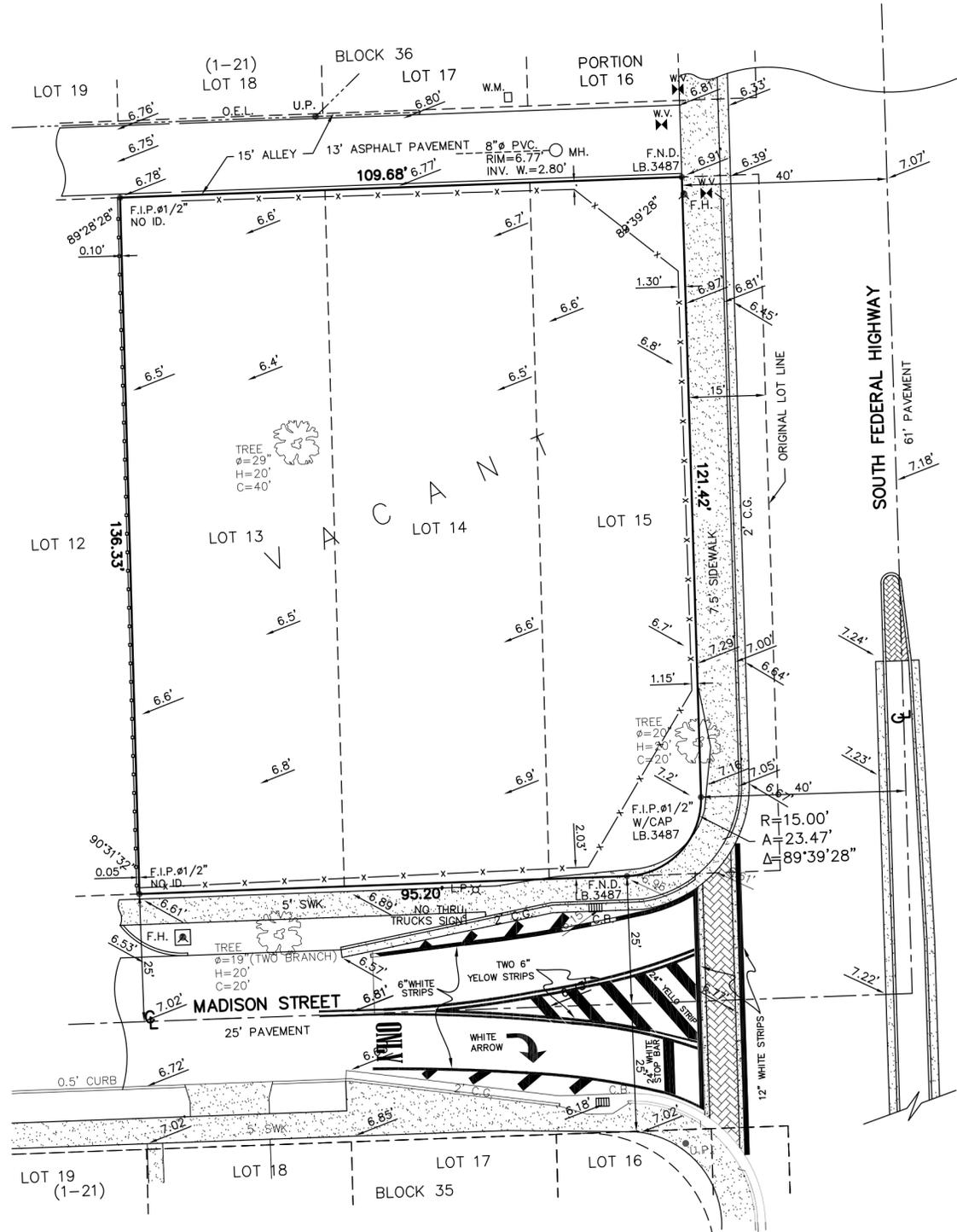
ALTA/ACSM LAND TITLE SURVEY

PROPERTY ADDRESS:
1807-1809 MADISON STREET, HOLLYWOOD, FLORIDA 33020

LEGAL DESCRIPTION

PARCEL 2:
LOT 13, IN BLOCK 36, OF TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND

PARCEL 3:
LOTS 14 AND 15, LESS THE EAST 15 FEET THEREOF, AND ALSO LESS SO MUCH THEREOF INCLUDED IN THE EXTERNAL AREA FORMED BY A 15 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE TO A LINE WHICH IS 15 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, IN BLOCK 36, OF TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION SKETCH
N.T.S.

ALTA/ACSM LAND TITLE SURVEY

TO:
LAS VILLAS JDL, LLC, A FLORIDA LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES 1, 2, 3, 4, 8, 11(a), 14, 16, 17 AND 18, OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON 12-19-22

Alfredo Diaz
ALFREDO DIAZ, PSM
PROFESSIONAL SURVEYOR AND MAPPER No.6903
STATE OF FLORIDA

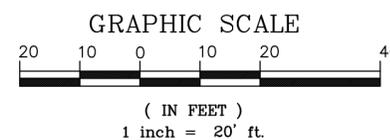
NOTES:

- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (51-17 FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT
- WELL IDENTIFIED FEATURES AS DEPICTED ON THIS SKETCH WERE MEASURED TO AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
- NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FOOTINGS OF ANY STRUCTURE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON IN THE CERTIFICATION AND DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.
- THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO EVIDENCE OF SITE USE AS SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ELEVATIONS ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM (1988)
- CITY OF HOLLYWOOD BENCHMARK; 19th AVENUE AND MADISON STREET
ELEVATION=9.31' (NATIONAL GEODETIC VERTICAL DATUM 1929) OR
ELEVATION=7.75' (N.A.V.D. 1988)
- NET AREA: 14,934 SQUARE FEET.

FLOOD ELEVATION INFORMATION:
DATE OF FIRM: 08-18-14
COMMUNITY No: 125113
PANEL: 0569 SUFFIX: H
ZONE: X BASE FLOOD ELEVATION: N/A

ABBREVIATIONS AND LEGEND

A/C = AIR CONDITIONING PAD	E.T.P. = ELECTRIC TRANSFORMER PAD	MEAS. = MEASURED	PL. = PLANTER	V.G. = VALLEY GUTTER
A = ARC DISTANCE	F.E. = FLOOR ELEVATION	M.S. = METAL SHED ON CONCRETE	R. = RADIUS	C = CENTER LINE
BLDG. = BUILDING	F.H. = FIRE HYDRANT	N.T.S. = NOT TO SCALE	RES. = RESIDENCE	M = MONUMENT LINE
C.B. = CATCH BASIN	F.I.P. = FOUND IRON PIPE	NO ID. = NO IDENTIFICATION NUMBER	S.I.P. = SET IRON PIPE No. LS. 5184	Δ = CENTRAL ANGLE
C.B.S. = CONCRETE BLOCK STRUCTURE	F.N. = FOUND NAIL	O.E.L. = OVERHEAD ELECTRIC LINE	S.R. = SET ROD No. LS. 5184	□ = WOOD FENCE
C.G. = CURB & GUTTER	F.N.D. = FOUND NAIL & DISK	P.B. = PLAT BOOK	STY. = STORY	-X- = CHAIN LINK FENCE
CH. = CHORD DISTANCE	F.R. = FOUND REBAR	PG. = PAGE	SWK. = SIDEWALK	— = C.B.S. WALL
CONC. = CONCRETE	L.P. = LIGHT POLE	P.O.B. = POINT OF BEGINNING	U.E. = UTILITY EASEMENT	0.00 = EXISTING ELEVATION
C.S. = CONCRETE SLAB	M.D.E. = MAINTENANCE & DRAINAGE EASEMENT	P.O.C. = POINT OF COMMENCEMENT	U.P. = UTILITY POLE	∅ = DIAMETER



NOSTER, LLC
LAND SURVEYORS LAND PLANNERS
1842 S.W. 124th Place, Miami, Florida 33175
Phone: (305) 221-3040 Fax: (305) 221-9040
nosterllc@gmail.com

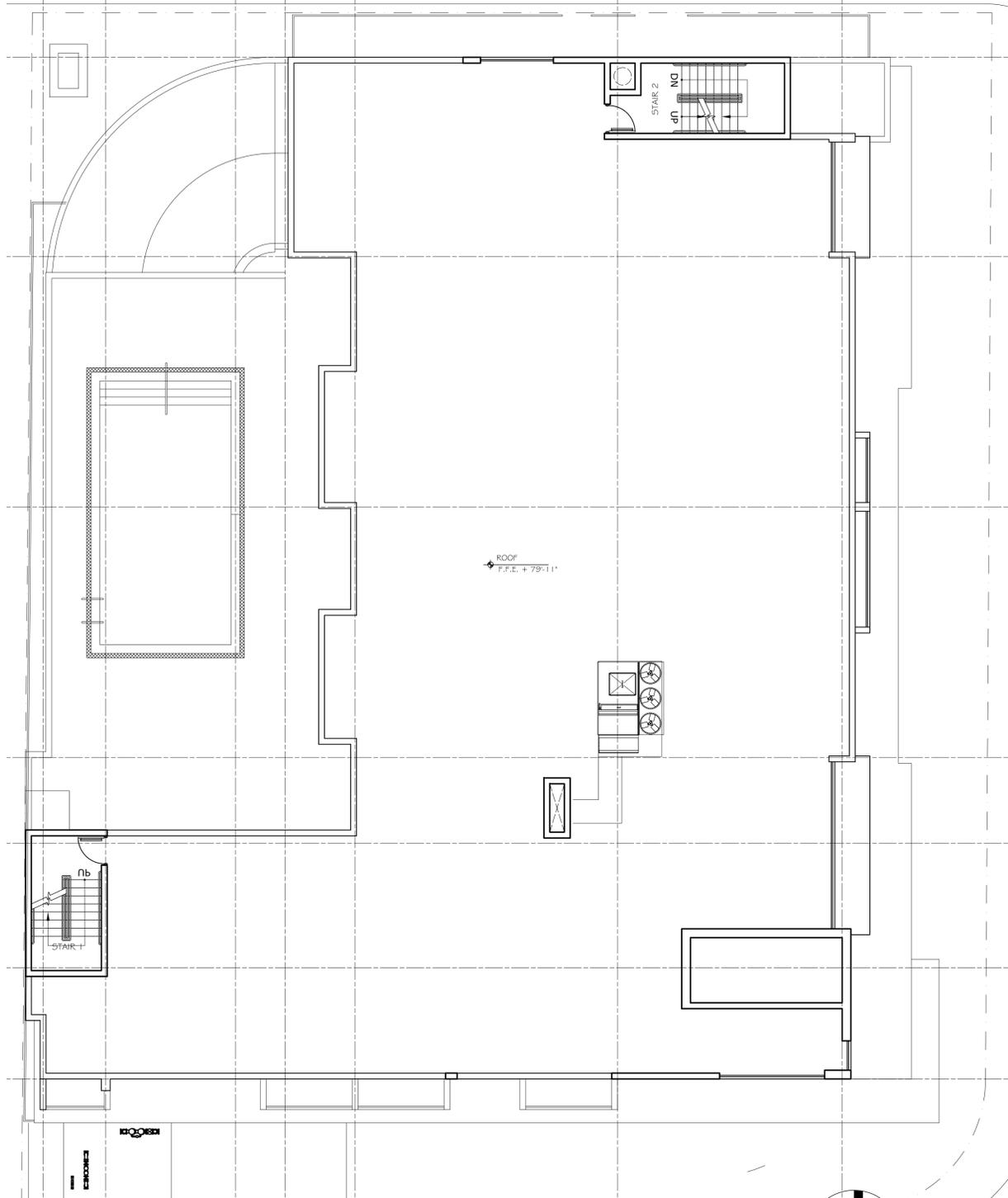
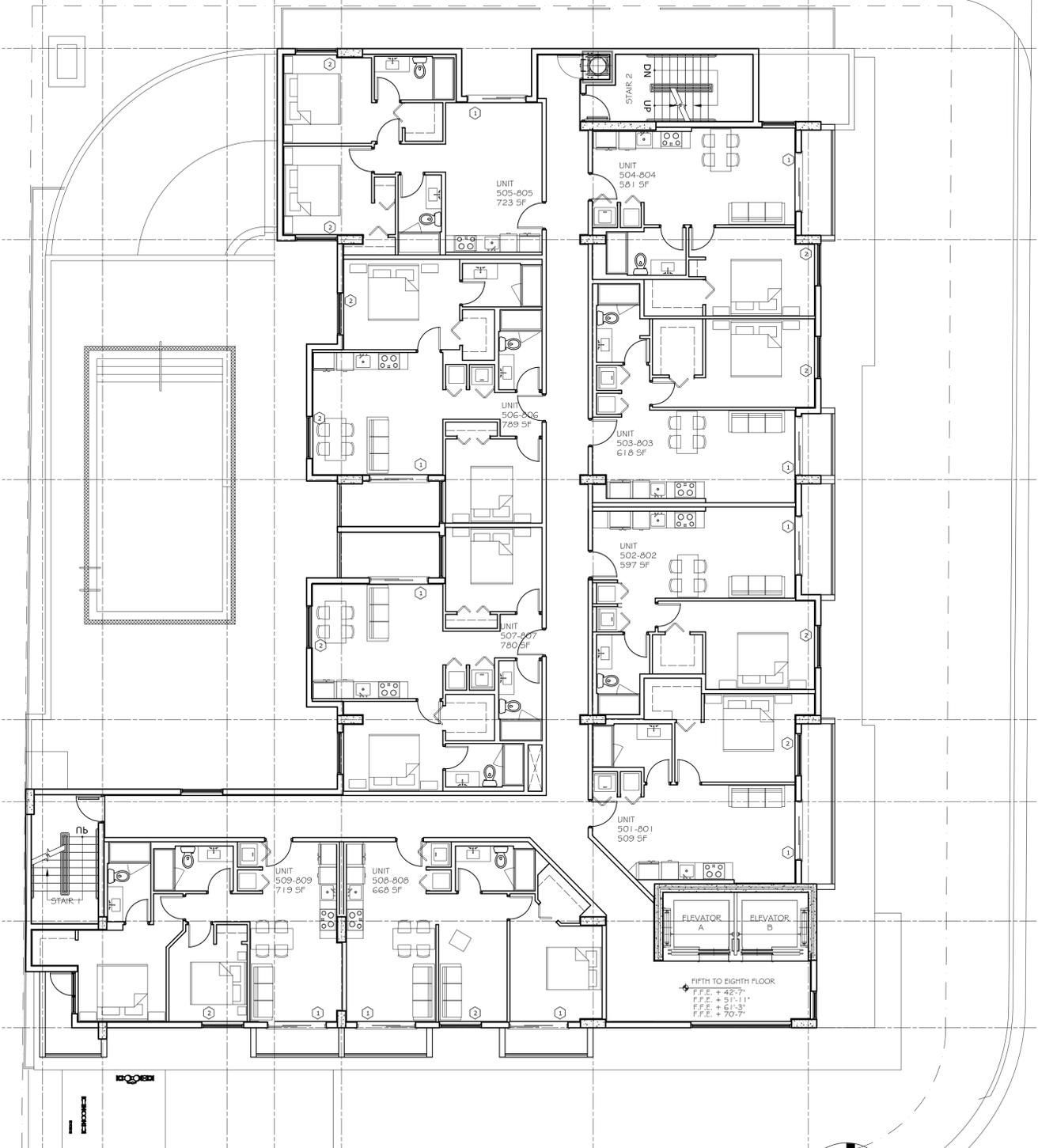
I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY OF THE PROPERTY DESCRIBED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION. THIS SURVEY COMPLES WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 45-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 427.027 FLORIDA STATUTES.

ALFREDO DIAZ, PSM
PROFESSIONAL SURVEYOR AND MAPPER No.6903
STATE OF FLORIDA

VALID COPIES OF THIS SURVEY WILL BEAR THE EXPRESSED SEAL OF THE REGISTERED LAND SURVEYOR

8051
12119-23

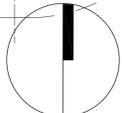
SCALE: 1"=20' DRAWN BY: C.C. FIELD WORK: 12-19-22 FIELD BOOK: 22-0553 DATE: 12-19-23

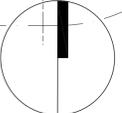


DWELLING UNITS	
TYPE	NO.
DWELLING UNITS	9
TOTAL	9

UNIT NET (NET SQ. FEET)	
501-801 (1 BED)	509 SF
502-802 (1 BED)	597 SF
503-803 (1 BED)	618 SF
504-804 (1 BED)	581 SF
505-805 (2 BED)	723 SF
506-806 (2 BED)	789 SF
507-807 (2 BED)	780 SF
508-808 (1 BED)	688 SF
509-809 (2 BED)	719 SF
TOTAL	6,004 SF
TOTAL	24,016 SF

TOTAL DWELLING UNITS				
DWELLING UNITS	STUDIO	1 BR	2 BR	
FOURTH-FLOOR	8	6	2	5,009 SF
FIFTH-FLOOR	9	5	4	6,004 SF
SIXTH-FLOOR	9	5	4	6,004 SF
SEVENTH-FLOOR	9	5	4	6,004 SF
EIGHTH-FLOOR	9	5	4	6,004 SF
TOTAL UNITS	44	26	18	29,025 SF


N
 FIFTH-FLOOR
 SIXTH-FLOOR
 SEVENTH-FLOOR
 EIGHTH-FLOOR


N
 ROOF



ARCHITECTURAL GROUP
 Josue R. Cruz
 5810 SW 14th Street
 MIAMI Florida 33144
 305-772-5891
 skinarch@bellsouth.net
 AR97047
 DESIGN TEAM:
 JAVIER MARIN PHOTOGRAPHY
 INTL. ASSOC. AIA 786 602 5097
 JEMY DESIGN CORP

NO. #	NAME	DATE

TO THE BEST OF OUR KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS, AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FLORIDA BUILDING CODE SECTION 110.5-4-4 AND 553.79 (a) AND CHAPTER 633, FLORIDA STATUTES.
 This drawing and copies thereof, are instruments of service and are the sole property of the architect and the designer. They are not to be used on other work and are to be returned upon demand at the completion of work. If this drawing or any part thereof is used in any manner without the consent of the architect the user thereof becomes indebted to the architect for full compensation. The builder reserves the right to change, upgrade or alter its plans, specifications and materials without notice or obligation. Contractor shall verify all dimensions at site before proceeding with his work and shall determine location of any and all existing subsurface utilities or construction in area of proposed new work prior to commencement of new work in order to avoid damage to said existing utilities or construction. Drawing scales as indicated are for reference only and are not intended to accurately depict actual or proposed conditions. Written dimensions shall govern.

PROJECT DESCRIPTION:
PARKSIDE VUE
44 DWELLING UNITS
 PROJECT ADDRESS: 1807 MADISON STREET
 HOLLYWOOD, FL 33020
 DEVELOPERS:
 LAS VILLAS JDL, LLC.
 LLOYD QUINTANA PH 786 413 4951

ARCHITECTURE LICENSE
 SEAL:
Josue R Cruz
 Digitally signed by Josue R Cruz
 DN: c=US, o=Skin Architectural Group,
 dnQualifier=A01410D000017D57E99EE700009980,
 cn=Josue R Cruz
 Date: 2023.05.25 16:19:45 -04'00"

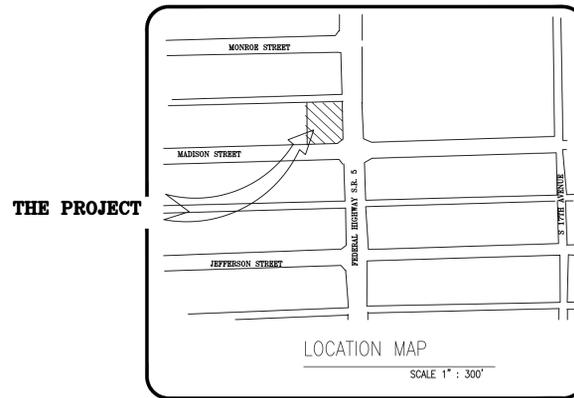
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSUE CRUZ ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SHEET TITLE:
FIFTH FLOOR - EIGHTH FLOOR ROOF
 PROJECT No:
 202205
 Drawing:
 NCP
 DATE: 6-02-2022 SCALE: NOTE
 SHEET:
A-007

PAVING, GRADING & DRAINAGE PLANS FOR PARKSIDE VUE 1807-1809 MADISON ST. HOLLYWOOD, FL

ENGINEERING NOTES:

- IF DISCREPANCIES FOUND ON THESE PLANS ARE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS OR ANY OMISSIONS OR ERRORS THAT MIGHT PRODUCE DAMAGES DERIVED FROM THIS DESIGN, IT SHALL BE BROUGHT TO THE ENGINEER PRIOR TO BIDDING OR START OF ANY CONSTRUCTION.
- CONTRACTOR, PRIOR TO START OF ANY CONSTRUCTION, SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES ON THE FIELD WITH THE APPROPRIATE UTILITY COMPANY. IN THE EVENT THAT ANY ADJUSTMENT BE NECESSARY DUE TO A DISCREPANCY FOR UTILITY LOCATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS BEFORE PROCEEDING. THE CONTRACTOR SHALL EXERT CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING THE COMPLETION OF HIS WORK. IN THE EVENT OF ANY DAMAGE THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY COMPANY. ANY AND ALL COSTS INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FORTY-EIGHT (48) HOURS BEFORE DIGGING CALL SUNSHINE, TOLL FREE 1-800-432-4770.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. THE ENGINEER IS TO REVIEW THEM AND BE PAID.
- ALL INSPECTIONS WILL BE MADE BY THE ENGINEER OF RECORD AND BE PAID. CONTRACTOR SHALL NOTIFY 48 HOURS IN ADVANCE THE ENGINEER OF RECORDS FOR INSPECTION. THE ENGINEER SHOULD BE ABLE TO PROVIDE CERTIFICATION FOR CONSTRUCTION COMPLETION BASED ON VISUAL INSPECTIONS, IF REQUIRED.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- ALL FILL AND LIMEROCK BASE COURSE SHALL BE TESTED WITH DENSITY TESTS ACCORDING TO AASTHO SPECIFICATION T-180. COPIES OF RESULTS SHALL BE PROVIDED TO ENGINEER OF RECORDS PRIOR TO PLACING ASPHALT PAVEMENT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF AS-BUILT CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW AS-BUILT.
- ALL AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
- NO MODIFICATIONS TO THESE PLANS ARE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. NO AGENCY INSPECTOR, CONTRACTOR, NOR THE OWNER ARE AUTHORIZED TO UNILATERALLY MODIFY THESE PLANS.
- IT IS THE INTENT OF THE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL DRIVING SURFACES MUST BE CONSTRUCTED ON AN EIGHT (8) INCH ROCK BASE THAT WILL PRODUCE A C.B.R. VALUE OF NO LESS THAN 25 WHEN COMPACTED TO A MINIMUM FIELD DENSITY OF 98% OF MAX. DENSITY AS DETERMINED BY AASTHO T-180. WITH REINFORCED CONCRETE SLAB. SEE STRUCTURAL PLANS FOR DETAILS.
- ALL DIMENSIONS IN THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- ALL WORK SHALL MEET CITY OF HOLLYWOOD PUBLIC WORK DEPARTMENT STANDARDS.
- WATER TABLE PER BROWARD COUNTY PLATE WC 2.2 IS 1.5 NAVD.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM 1988
- UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT HB 3183, FLORIDA STATUTES.
- ALL MUCK, PEAT, AND/OR CLAY WITH HIGH PERCENTAGE OF ORGANIC MATERIAL AND OR EXISTING UNSUITABLE FILL MATERIAL SHALL BE REMOVED FROM PROPOSED RIGHT OF WAY OR PROPOSED PAVEMENT AREAS IF ANY.
- ALL TOP FINISHED GRADES FOR EXISTING MANHOLES, VALVE LIDS AND SIMILAR UTILITIES STRUCTURES SHALL BE ADJUSTED TO NEW FINISHED GRADES, IF AFFECTED FOR NEW GRADING.
- THESE PLANS WERE PREPARED USING INFORMATION FROM SURVEY DONE BY NOSTER, LLC.
- FLOOD INSURANCE RATE MAP, ZONE 'X' NEW FLOOD PANEL 12011C0569H, MAP 08/18/2014.
- SHOWN INFORMATION FOR EXISTING UTILITIES AS IT WAS RECEIVED BY UTILITIES OWNERS UNDER CHAPTER 556, FLORIDA STATUTES.
- DRAINAGE PIPING HIGH DENSITY POLYETHYLENE SHALL CONFORM ASTM F477, AASTHO M294, M252 REQUIREMENTS.



NOTE:
ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM (1988)

LEGAL DESCRIPTION:

PARCEL 2:
LOT 13, IN BLOCK 36, OF TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND
PARCEL 3:
LOT 14 AND 15, LESS THE EAST 15 FEET THEREOF, AND ALSO LESS SO MUCH THEREOF INCLUDED IN THE EXTERNAL AREA FORMED BY A 15 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE TO ALINE WHICH IS 15 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, IN BLOCK 36, OF TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA



FOLIO # 51-4215-017-110

SEC. 15-51-42

INDEX:

- CS-PD COVER SHEET
- PD-1 PAVING, GRADING & DRAINAGE PLAN
- PD-2 MARKING & SIGNING-DRAINAGE DETAILS
- PD-3 SEDIMENT & EROSION CONTROL PLAN

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MARVIN J. ABARCA, P.E. ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by MARVIN J. ABARCA
DN: c=US, o=AB ENGINEERS INC.,
dnQualifier=JO, email=marvin@abengineers.net,
serial=8530004E22, cn=MARVIN ABARCA
Date: 2023.09.18 17:31:22 -0400



MARVIN J. ABARCA
P.E. No. 49529

5-18-2023

WARNING:
THIS DRAWING IS THE PROPERTY OF
AB ENGINEERS, INC. AND IS NOT TO
BE REPRODUCED IN WHOLE OR IN
PART WITHOUT THE EXPRESS
WRITTEN PERMISSION OF SAME.

REVISIONS

AB ENGINEERS, INC.
ENGINEERING - PLANNING - INSPECTIONS
15315 NW 60th Ave Suite C, MIAMI LAKES, FL 33014
PHONE: (786) 452-7313
marv@abengineers.net



SITE ADDRESS:
1807 MADISON STREET
HOLLYWOOD, FL 33020

DRAWING NAME : COVER SHEET

PROJECT : PARKSIDE VUE

PREPARED FOR : JAVIER MARTIN

DESIGNED : MARVIN ABARCA

DRAWN : DISAICA LLC

SCALE : INDICATED

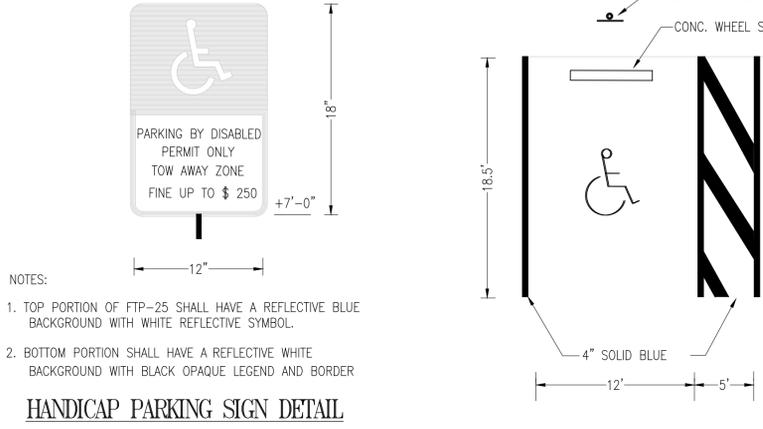
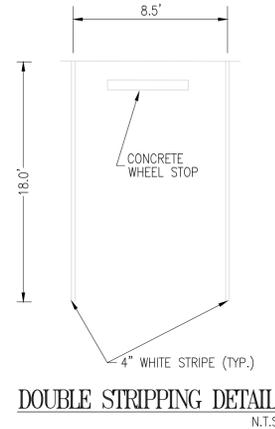
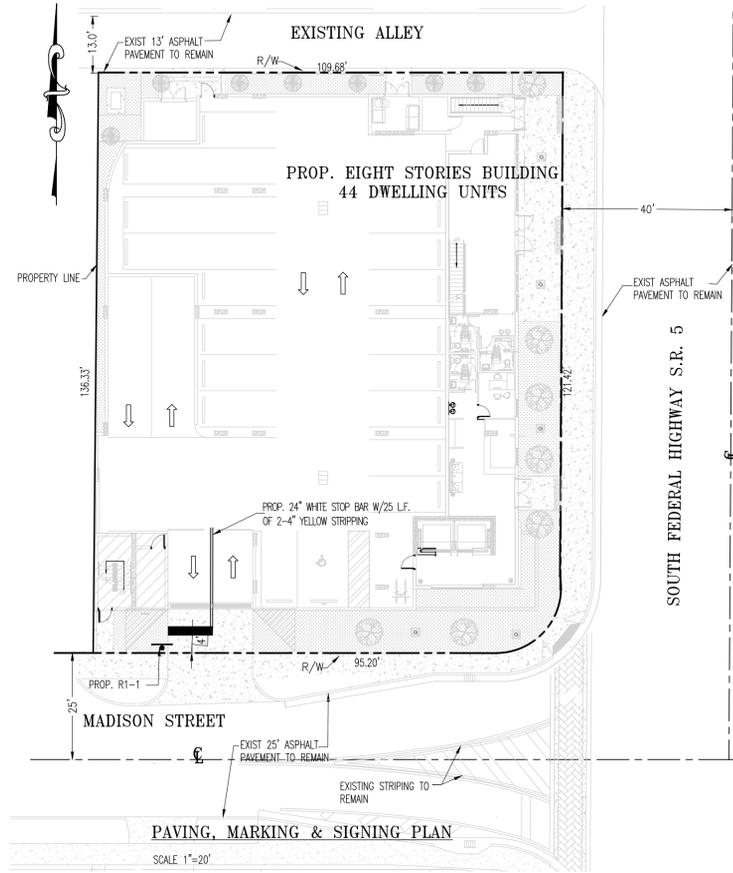
SHEET : 1

CS-PD

OF 4 SHEETS

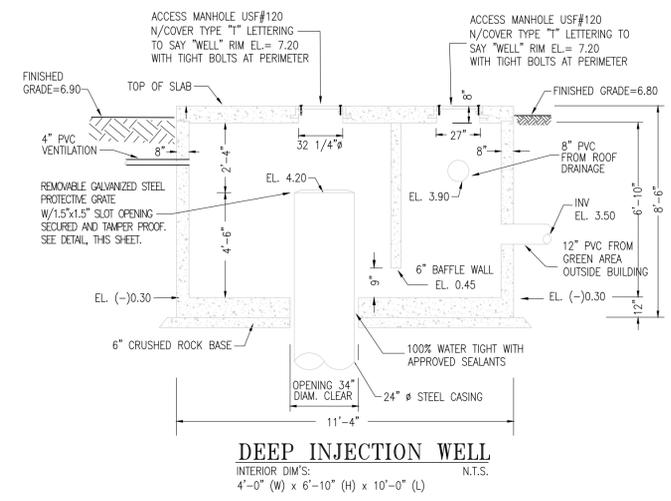
DATE : 03-10-2023

PROJ. : P23-0309-04



NOTES:
 1. TOP PORTION OF FTP-25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER

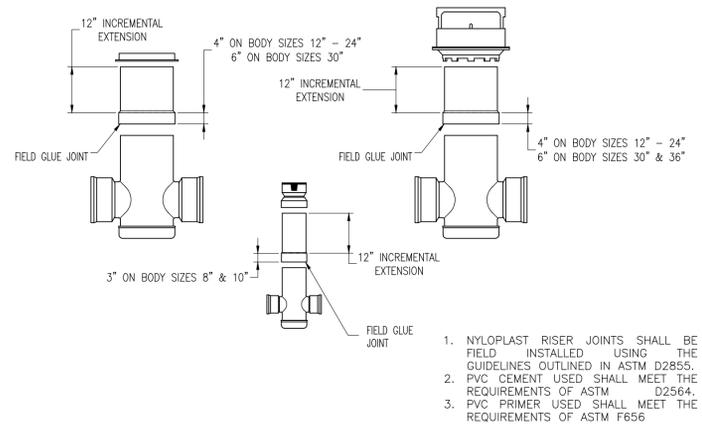
HANDICAP PARKING SIGN DETAIL



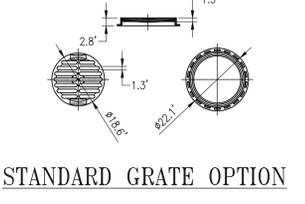
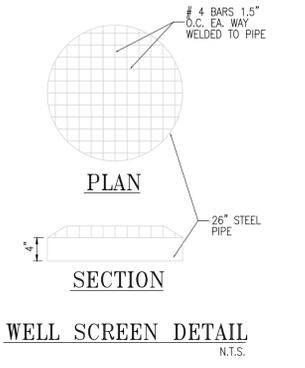
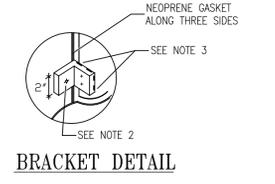
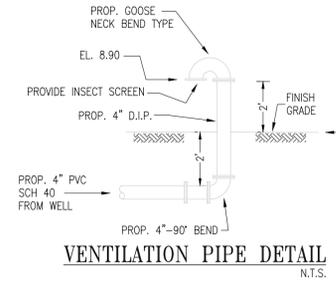
NOTES FOR DRAINAGE WELL:

- DRAINAGE WELL SHOULD BE DRILLED TO A DEPTH WHERE GROUND WATER'S TOTAL DISSOLVED SOLID (TDS) CONCENTRATION EXCEEDS OF 10,000 P.P.M.
- WELL SHALL HAVE AN UPPER CASING OF A MINIMUM OF 24 INCHES IN DIAMETER. BLACK STEEL PIPE WITH A MINIMUM WALL THICKNESS OF 3/8" AND SHALL CONFORM TO ASTM A53, A120.
- WELL SHALL BE AS PLUMB AND TRUE TO LINE AS GOOD WORKMANSHIP PROVIDED.
- COMPLETED WELL SHALL BE THOROUGHLY AGITATED AND DEVELOPED.
- THE COMPLETED WELL SHALL BE PUMPED AT A RATE OF 2,500 G.P.M., AND SHALL MEET DEPARTMENT OF PLANNING AND ENVIRONMENTAL PROTECTION REQUIREMENTS FOR ALLOWABLE DRAWDOWN AND TEST DIRECTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING THE WELL TEST AND SATISFACTORILY DISPOSING OF THE WATER PUMP FROM THE WELL.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE NECESSARY D.P.E. WELL DRILLING PERMITS AND COMPLY WITH ALL THE PROVISIONS THEREOF.
- CONTRACTOR SHALL CONSTRUCT THE WELL TO A WATER BEARING STRATA CAPABLE OF ACCEPTING THE DESIGN DISCHARGE RATE OF 250 G.P.M.

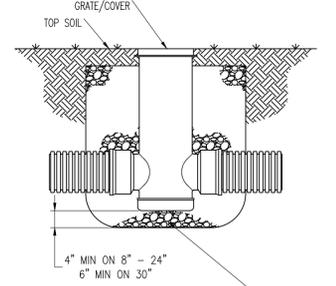
NYLOPLAST RISER EXTENSION:



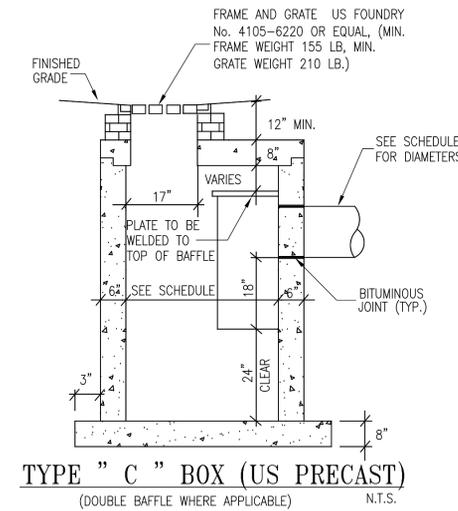
1. NYLOPLAST RISER JOINTS SHALL BE FIELD INSTALLED USING THE GUIDELINES OUTLINED IN ASTM D2855.
 2. PVC CEMENT USED SHALL MEET THE REQUIREMENTS OF ASTM D2564.
 3. PVC PRIMER USED SHALL MEET THE REQUIREMENTS OF ASTM F656



NON TRAFFIC INSTALLATION



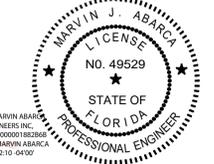
THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.



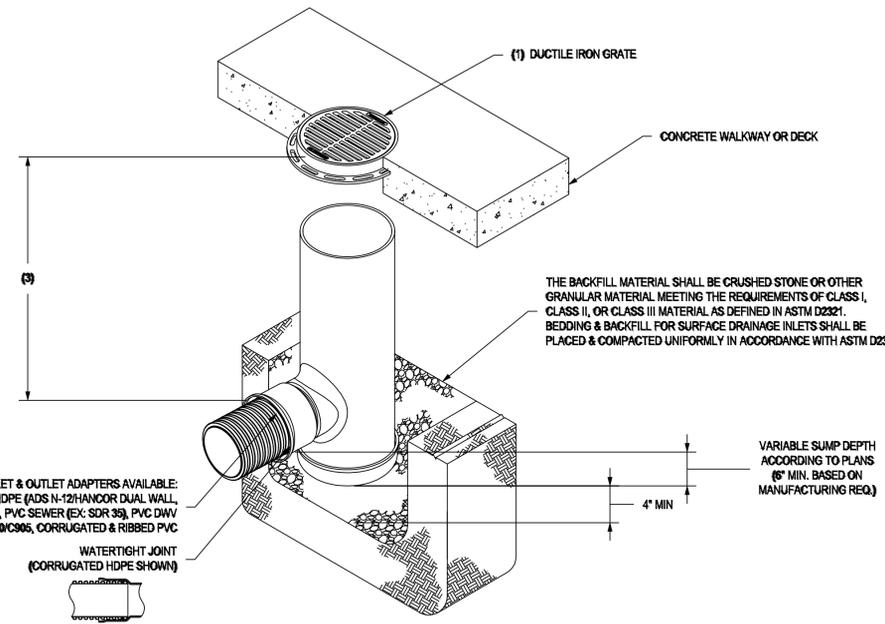
NOTE FOR CATCH BASIN GRATES:
 CONTRACTOR TO PROVIDE ON ALL CATCH BASINS HINGED FRAME GRATES

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NYLOPLAST 10" DRAIN BASIN: 2810AG __ X



- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-072.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE [ADS N-12(H)ANDOR DUAL WALL] & PVC SEWER (4" - 10").

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.		DRAWN BY: NMH	MATERIAL:	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 832-2443 FAX (770) 832-2480 www.nyloplast-us.com
DATE: 6-25-18	DATE: 6-25-18	PROJECT NO. NAME:	TITLE:	
APP'D BY: NMH	DATE: 6-25-18	DWG NO.:	7001-110-273	
DWG SIZE: A	SCALE: 1:12	SHEET: 1 OF 1	REV: F	

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REVISIONS

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 15315 NW 60th Ave Suite C, MIAMI LAKES, FL 33014
 PHONE: (786) 452-7313
 marvin@abengineers.net

DRAWING NAME: MARKING & SIGNING - DRAINAGE DETAILS
 PROJECT: PARKSIDE VUE
 PREPARED FOR: JAVIER MARTIN

DESIGNED: M.A.
 DRAWN: DISACA, LLC
 SCALE: INDICATED
 SHEET: 3
 PD-2
 OF 4 SHEETS
 DATE: 03-16-2023
 PROJ.: P23-0309-04

5-18-2023
 MARVIN J. ABARCA
 P.E. No. 49529

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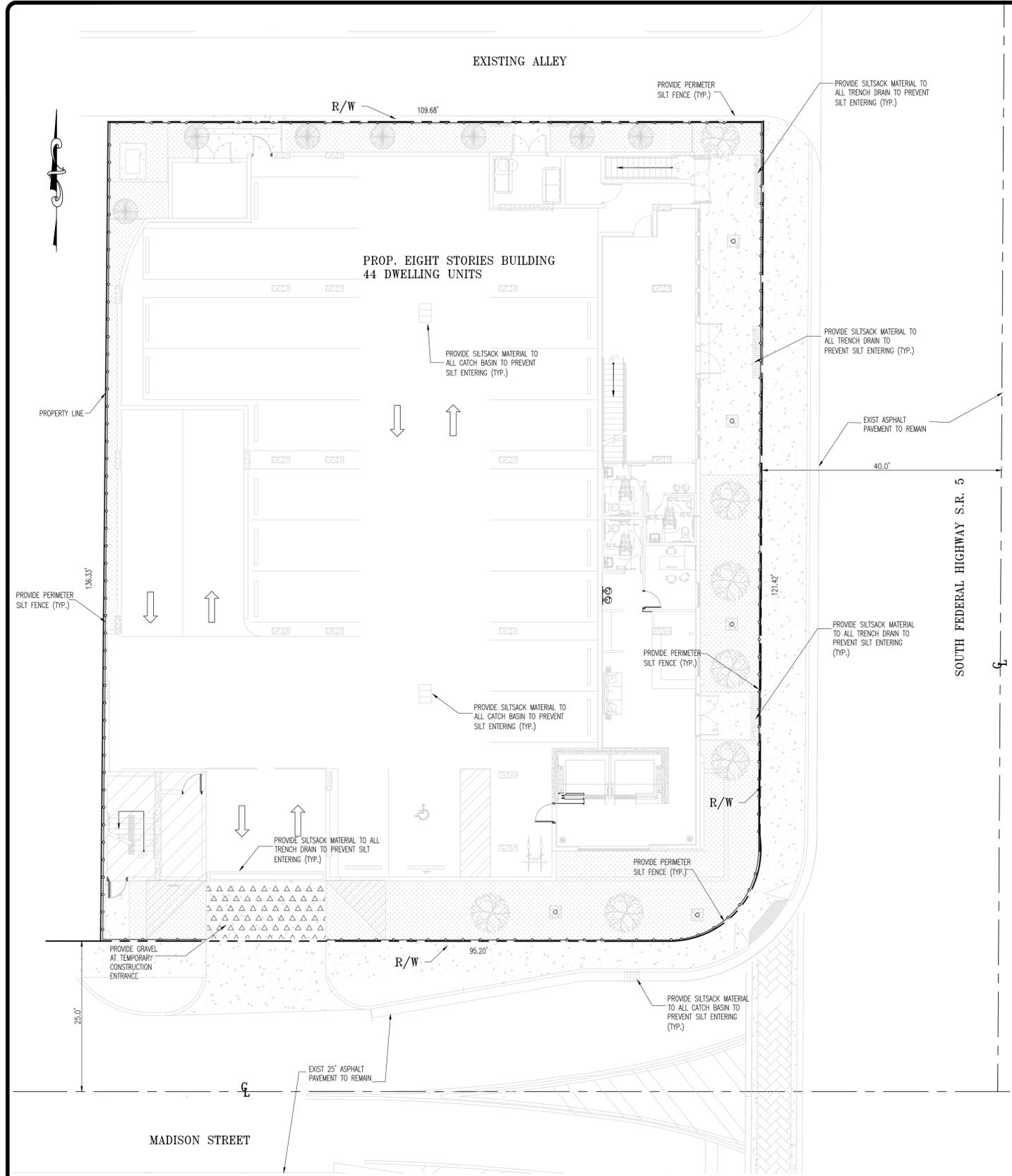
NO.	DESCRIPTION

AB ENGINEERS, INC.
ENGINEERING ARCHITECTURE INSPECTIONS
CORPORATION
18315 NW 60 Ave Suite C, MIAMI LAKES, FL 33014
PHONE: (786) 452 7313
marvin@abengineers.net

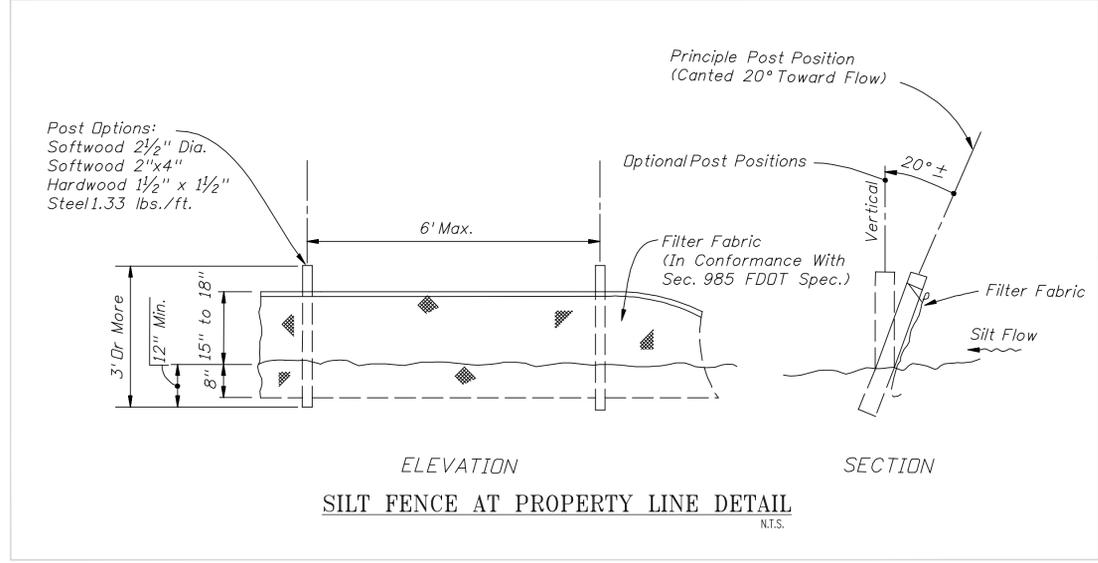
SEDIMENT & EROSION CONTROL PLAN
PROJECT: PARKSIDE VUE
PREPARED FOR: JAVIER MARTIN

DRAWING NAME: SEDIMENT & EROSION CONTROL PLAN
PROJECT: PARKSIDE VUE
PREPARED FOR: JAVIER MARTIN

DESIGNED BY: M.A.
DRAWN BY: DISAICA, LLC
SCALE: INDICATED
SHEET: 4
OF 4 SHEETS
DATE: 05-09-2023
PROJ.: P23-0309-04

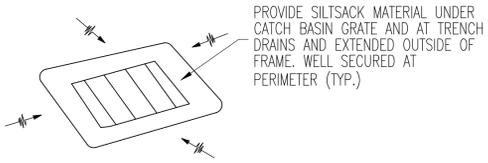


SEDIMENT & EROSION CONTROL PLAN
SCALE 1"=20'



ELEVATION
SECTION
SILT FENCE AT PROPERTY LINE DETAIL
N.T.S.

- NOTES:**
- 1.- WHERE USED, SILT FENCE IS TO BE CONSTRUCTED ON 0% GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
 - 2.- DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 - 3.- FOR GRAVEL 3/4" MAX. SIZE CAN BE USED OR BALLAST ROCK USUALLY CALLED WASHED ROCK MAY SUBSTITUTE THE GRAVEL.
 - 4.- PROTECTION ON CATCH BASINS, USE HEAVY DUTY FILTER FABRIC POLYETHYLENE REMOVABLE.



SILT SACK FOR CATCH BASINS

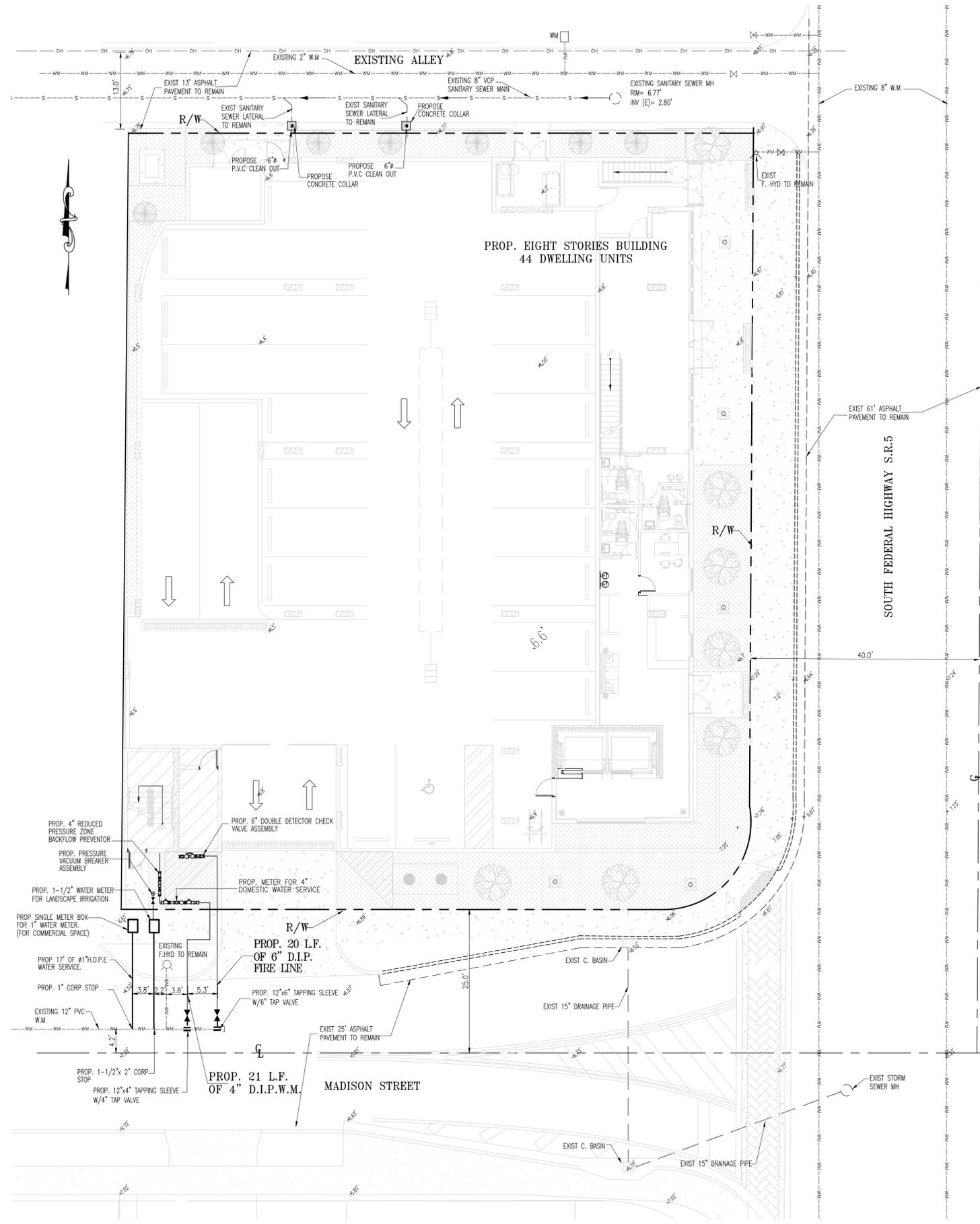
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Date: 2023.05.18 17:23:30 -0400

MARVIN J. ABARCA
P.E. No. 49529

5-18-2023



LEGEND:

- EXISTING ELEVATION
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EDGE OF PAVEMENT LINE
- RIGHT OF WAY LINE
- CENTER LINE OF PAVEMENT
- EXISTING OVERHEAD LINE
- EXIST CATCH BASIN

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PHONE: (786) 452 7313
marvin@abengineers.net

DRAWING NAME: **WATER & SEWER PLAN**

PROJECT: **PARKSIDE VUE**

PREPARED FOR: **JAVIER MARTIN**

SITE ADDRESS:
1807-1809 MADISON STREET
HOLYWOOD, FL 33020

DESIGNED BY: M.A.

DRAWN BY: DISAICA, LLC

SCALE: INDICATED

SHEET: 2

WS-1

OF 4 SHEETS

DATE: 03-10-2023

PROJ.: P23-0309-04



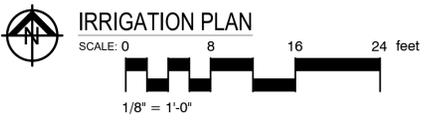
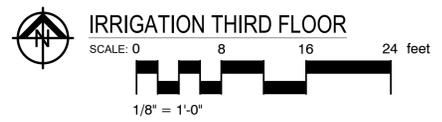
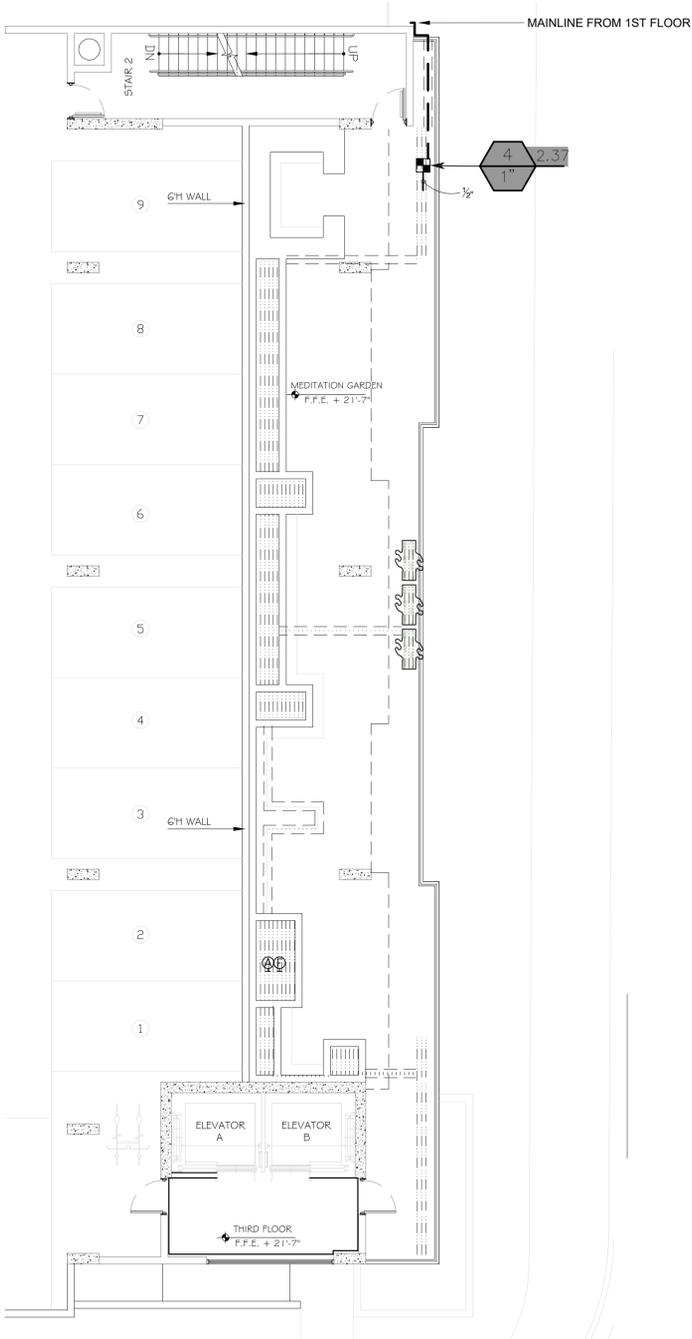
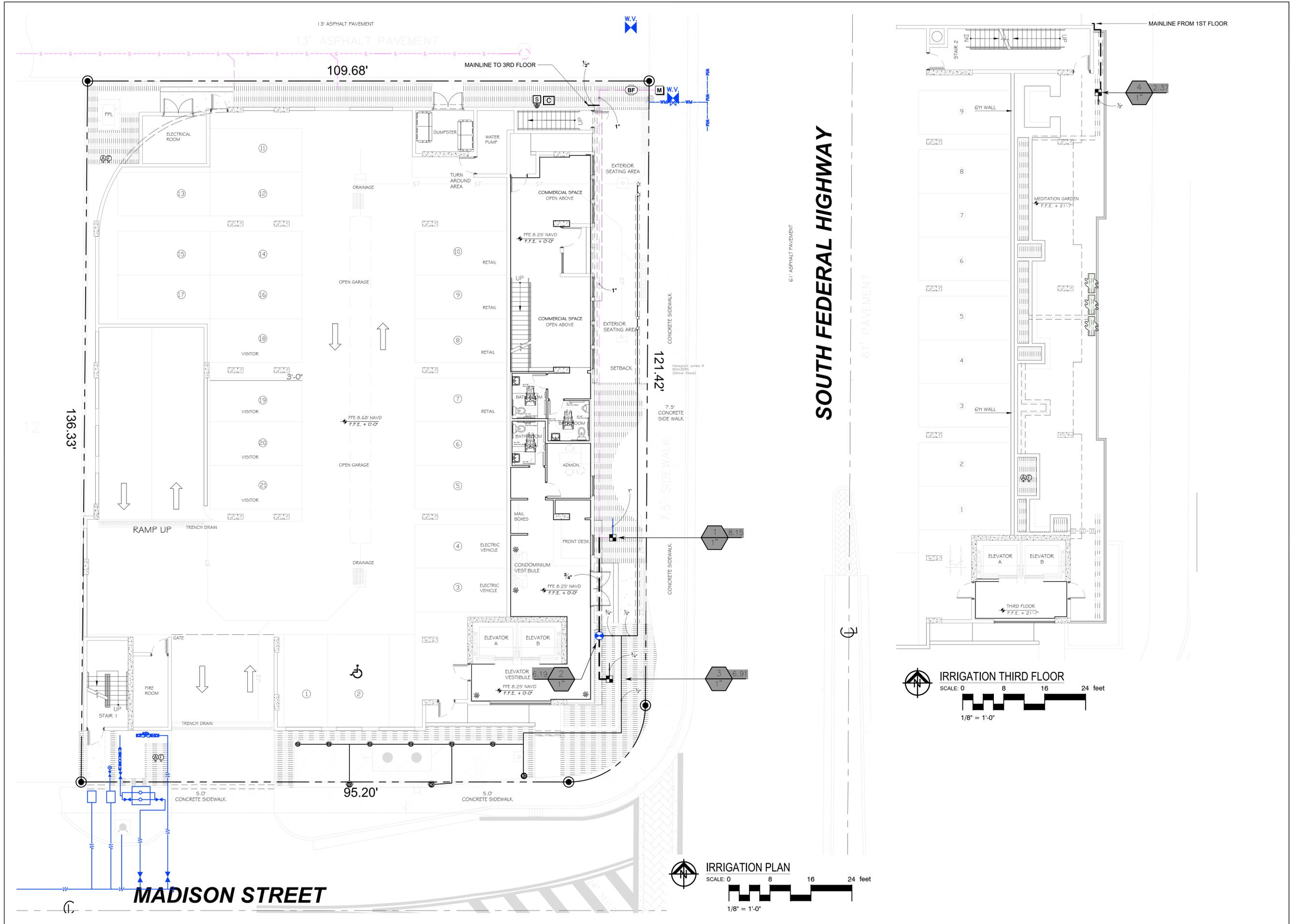
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DN: c=US, o=AB ENGINEERS INC,
dnQualifier=A01410C00001822E
B5A9004E022, cn=MARVIN ABARCA
Date: 2023.05.18 17:33:20 -0400

MARVIN J. ABARCA
P.E. No. 49529



ALL LANDSCAPE DATA INC Landscape (Architecture + Plant Information) (305) 303 7059 / 4459 NW 97 CT. Doral, FL 33178 www.alllandscape.com www.alllandscape.com	Derick Langel <small>Digitally signed by Derick Langel DN: cn=Derick Langel, o=ALL LANDSCAPE DATA INC, email=derick@alllandscape.com, c=US Reason: I am the author of this document Location: your signing location here Date: 2023.05.17 20:42:16-0400 Foxit PhantomPDF Version: 10.1.9</small>
	REVISIONS:
PROJECT NAME PARK SIDE VIEW 1807 MADISON STREET HOLLYWOOD, FL 33020	Drawing Size 24x36 Project #: 2022-12-156 (AAI) Drawn By: ALD Checked By: DL
SHEET INFORMATION: Title: IRRIGATION PLAN Sheet Number: IR-100 Date: - March 15, 2023	

GENERAL
IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND APPENDIX "F" OF THE FLORIDA BUILDING CODE.

IRRIGATION DESIGN BASED ON "PLANTING PLAN". CONTRACTOR SHALL REFER TO THIS PLAN TO COORDINATE SPRINKLER LOCATIONS AND PIPE ROUTING WITH NEW AND EXISTING PLANT LOCATIONS.

THIS PLAN SHALL BE USED AS A GUIDE ONLY. IRRIGATION SHALL BE INSTALLED TO MATCH ON SITE CONDITIONS AND TO OVERCOME THE INHERENT INACCURACIES THAT RESULT WHEN DESIGNING FROM BASE PLANS.

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE USING TORO SPRINKLERS, IN-LINE VALVES AND CONTROL SYSTEM. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

IRRIGATION SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE UNDESIRABLE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND BUILDINGS.

CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH SITE CONDITIONS, AND SHALL REFER TO THE PLANS FOR ADDITIONAL INFORMATION.

TO ENSURE PROPER OPERATION, SOURCE SIZE, VALVE SIZES, ZONE CAPACITIES, AND SPRINKLER, PIPE AND WIRE SIZES, AND INSTALLATION NOTES AND DETAILS SHALL BE FOLLOWED AS SHOWN.

CONTRACTOR IS TO PROVIDE AN AS-BUILT DRAWING OF THE IRRIGATION SYSTEM TO THE OWNER AND LANDSCAPE ARCHITECT.

PIPING
PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS.

PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SECTION "F" OF THE FLORIDA BUILDING CODE, AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDSCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL BE: (1) BURIED TO A MINIMUM DEPTH OF 24", (2) TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTENDED 3' BEYOND HARDSCAPED AREA ON EACH END. CONTRACTOR SHALL REFER TO LOCATION OF EXISTING SLEEVES.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-OD. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

SPRING VALVE SHALL BE INSTALLED FOR ISOLATION. THIS VALVE SHALL BE TO LINE SIZE AND INSTALLED IN A VALVE BOX. SPRING VALVE LOCATIONS SHALL BE SCHEDULED FOR LANDSCAPING, FENCES, SITE LIGHTING, PREVAILING WIND, MOUNDING, ETC., TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. A PRIME OBJECTIVE SHALL BE TO ELIMINATE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND THE RESIDENCE.

POP-UP TYPE LOCATED IN SOD, MULCH, AND GROUND COVERS SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICKWALLED POLY PIPE AND 1/2" INSERT ELBOWS.

EACH SPRINKLER SHALL BE EQUIPPED WITH THE APPROPRIATE PRECISION SPRAY NOZZLE AND SHALL HAVE THE X-FLOW FEATURE.

ADJUSTMENT FEATURES OF SPRINKLERS SPECIFIED SHALL BE UTILIZED TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. LOW ANGLE, FLAT SPRAY, AND ADJUSTABLE ARC NOZZLES SHALL BE USED TO MINIMIZE OVERTHROW.

SPRINKLERS LOCATED ADJACENT TO HARDSCAPED AREAS SHALL BE INSTALLED AWAY FROM HARDSCAPED AREAS TO MINIMIZE OVERTHROW AND THE CHANCE OF DAMAGE BY VEHICLES, PEDESTRIANS, AND LAWN MAINTENANCE PERSONNEL. AS A GENERAL RULE, 6" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 4", SHRUB HEADS AND 12" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 12".

CONTROL SYSTEM
CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. PROPER GROUNDING EQUIPMENT SHALL BE PROVIDED.

CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. A 110 VAC ELECTRIC SOURCE IS REQUIRED.

CONTROL LINES FROM AUTOMATIC CONTROLLER TO IN-LINE AUTOMATIC VALVES SHALL BE #14 AWG DIRECT BURIAL UF TYPE WHICH SHALL BE: (1) INSTALLED IN ACCORDANCE WITH LOCAL CODES, (2) INSTALLED IN SCH 40 PVC WIRE CONDUIT, (3) BURIED TO A MINIMUM DEPTH OF 15", (4) COLORED CODED TO FACILITATE TROUBLESHOOTING, AND (5) SPLICED MOSTLY AT VALVE LOCATIONS. SPLICES SHALL BE MADE WATERPROOF USING APPROVED METHODS. SPARE WIRES SHALL BE ROUTED FROM THE CONTROLLER IN ALL DIRECTIONS TO THE FARTHEST VALVES CONTROLLED.

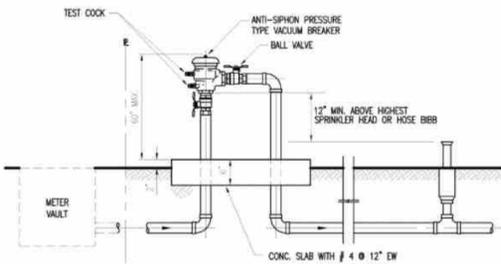
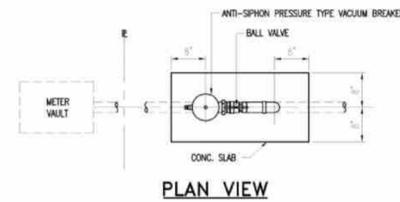
AN INDIVIDUAL CONTROL WIRE SHALL BE ROUTED TO EACH VALVE AND VALVES WHICH OPERATE SIMULTANEOUSLY SHALL BE TIED TOGETHER AT THE CONTROLLER.

AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. A MINIMUM OF ONE CUBIC FOOT OF GRAVEL SHALL BE PROVIDED PER BOX TO PROMOTE DRAINAGE.

THE RAIN SENSOR SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

TIMING AND PRECIPITATION
TIMING OF EACH STATION SHALL BE SET IN THE FIELD TO MATCH LOCAL REQUIREMENTS. REFER TO ZONE SUMMARY CHART FOR RECOMMENDED RUN TIMES TO APPLY 1.0 INCHES/WEEK.

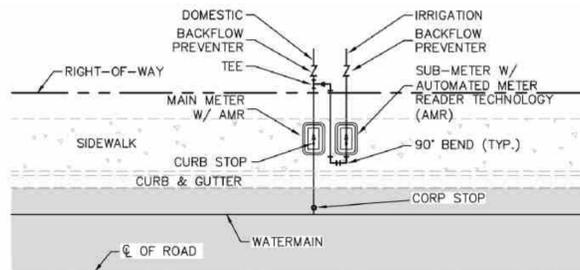
1 IRRIGATION NOTES
SCALE: NTS



2 VACUUM BREAKER
N.T.S.

NOTES:

1. THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30 INCHES FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT.
3. THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT.
4. PIPING SHALL BE SCHEDULE 40 BRASS OR TYPE K COPPER PIPE WITH THREADED FITTINGS IN ACCORDANCE WITH NADCO CONSTRUCTION SPECIFICATIONS FOR DONATION WATER MAINS. PVC PIPING IS NOT ACCEPTED BY NADCO.
5. THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE VACUUM BREAKER ASSEMBLY.
6. SEE SPECIFICATIONS AND CONTACT DEPARTMENT FOR CURRENTLY APPROVED TYPES OF BACKFLOW PREVENTION ASSEMBLIES AND PRESSURE VACUUM BREAKERS (SEE WS 4.18 SHEET 4 OF 4)



NOTES:

1. MUST USE RECTANGULAR BOX TO ACCOMMODATE BOTH THE SUB-METER AND SHUT-OFF VALVE.
2. MUST HAVE SHUT-OFF VALVE ON INLET SIDE BEFORE METER.
3. MUST PLACE SUB-METER BOX WITHIN 5 FEET OF MAIN METER, EASILY ACCESSIBLE TO METER READER.
4. MUST CALL METER SHOP AT 305-673-7681 WHEN INSTALLATION IS COMPLETED FOR FINAL INSPECTION IN ORDER TO OBTAIN SEWER CREDIT.
5. SUB-METER CANNOT BE LARGER THAN THE DOMESTIC METER WATER SERVICE LINE.

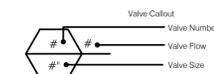
3 SUB-METER INSTALLATION DETAIL
SCALE: N.T.S.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
⊕ ⊙ ⊗ ⊘ ⊙ ⊗ ⊘ ⊙	Toro 570Z-6LP-PC 8' radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
⊕ ⊙ ⊗ ⊘ ⊙ ⊗ ⊘ ⊙	Toro 570Z-6LP-PC 10' radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
⊕ ⊙ ⊗ ⊘ ⊙ ⊗ ⊘ ⊙	Toro 570Z-6LP-PC ADJ Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
⊕ ⊙ ⊗ ⊘ ⊙ ⊗ ⊘ ⊙	Toro 570S-SB-PC Pressure Compensating Shrub Stream Spray Bubbler on Fixed Riser.	4	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	Toro DZK-EZF-1-MF 1" Medium Flow Drip Control Valve Kit. With 1" EZ-Flo Plus Valve, Toro Y-Filter, and Medium-Flow Pressure Regulator and Fittings. 5gpm-20gpm.	3
⊕	Toro T-FCH-H-FIPT Flush Valve, plumbed to flush manifold at low point.	3
⊕	Toro T-YD-500-34 1/2" Air Vent- MIPT Air Release and Vacuum Relief Valve	3
⊕	Area to Receive Dripline Toro RGP-412 Sub-Surface Pressure Compensating Landscape Dripline with ROOTGUARD technology. 1.00 GPH emitters at 12" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern.	1,045 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	Toro 252-26 Globe 1" Electric, 1", 1-1/2", and 2" In-Line Plastic Remote Control Valve. Includes Flow Control, Globe Body Configuration, Debris-Resistant Valve.	1
⊕	Fabco 825Y 1" Reduced Pressure Backflow Preventer	1
⊕	Toro Controller EVO-040D-SC 4 Station Outdoor Controller. With Smart Connect so Controller can communicate wirelessly with a number of add-on devices. Ideal for residential and light-commercial applications.	1
⊕	Toro Rain Sensor TWRS Wireless Rain Sensor Transmitter and Receiver. Mount Sensor Transmitter as noted or approved, mount Sensor Receiver next to Irrigation Controller as noted or approved, use controller power or optional transformer. Adjustable rain shut-off point.	1
⊕	Water Meter 1"	1
---	Irrigation Lateral Line: PVC Schedule 40 1/2"	205.5 l.f.
---	Irrigation Lateral Line: PVC Schedule 40 3/4"	7.4 l.f.
---	Irrigation Lateral Line: PVC Schedule 40 1"	3.8 l.f.
---	Irrigation Mainline: PVC Schedule 40 1/2"	762.9 l.f.
---	Irrigation Mainline: PVC Schedule 40 3/4"	29.5 l.f.
---	Irrigation Mainline: PVC Schedule 40 1"	101.4 l.f.
---	Pipe Sleeve: PVC Class 200 SDR 21	201.7 l.f.



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Toro DZK-EZF-1-MF	1"	Area for Dripline	8.15	842.4	46.8	61.5	1.07 in/h
2	Toro 252-26 Globe	1"	Bubbler	6.19	858.8	37.7	51.9	1.32 in/h
3	Toro DZK-EZF-1-MF	1"	Area for Dripline	6.91	869.2	44.2	59.4	1.07 in/h
4	Toro DZK-EZF-1-MF Common Wire	1"	Area for Dripline	2.37	770.7	39.3	71.2	1.07 in/h

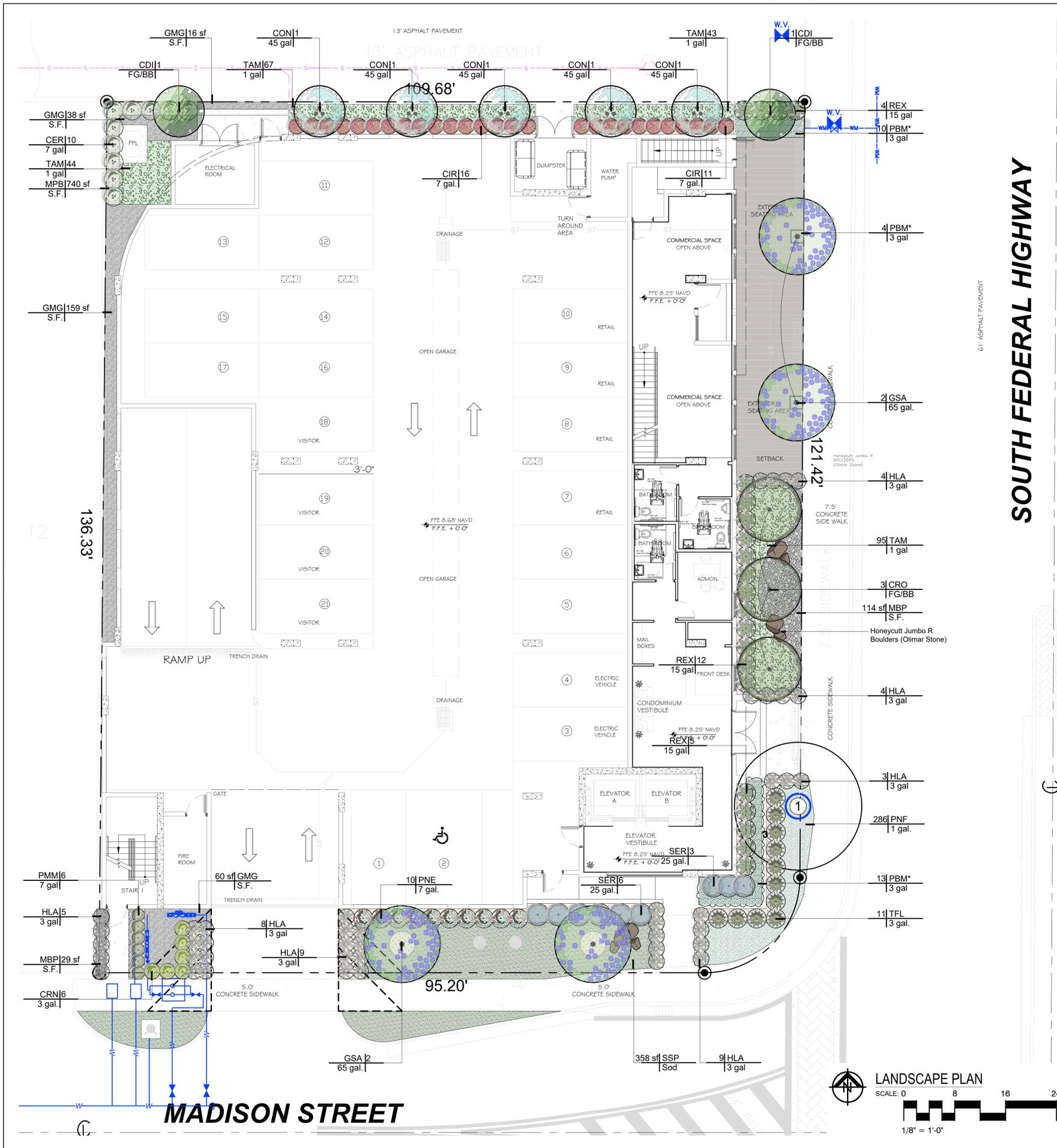
ALL LANDSCAPE DATA INC
 Landscape Architect LA666705
 ISA Certified Arborist FL04539A
DERICK LANGE
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 Reason: I am the author of this document
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 Date: 2023.05.17 20:42:54-0400
 Foxit PhantomPDF Version: 10.1.9

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REVISIONS:
 (Empty table for revisions)

PROJECT NAME
 PARK SIDE VIEW
 1807 MADISON STREET
 HOLLYWOOD, FL 33020

SHEET INFORMATION:
 Drawing Size 24x36
 Project #: 2022-12-156 IAAI
 Drawn By: ALD
 Checked By: DL
 Title: IRRIGATION NOTES & SCHEDULE
 Sheet Number:
IR-101
 Date: - March 15, 2023



CITY OF HOLLYWOOD ZONING: FH-2 GENERAL LANDSCAPING REQUIREMENTS

Lot area: 14,926 S.F.

PERIMETER LANDSCAPE (STREET TREES):
 One street tree (min. 12" ht x 2" DBH) per 50 L.F. of street frontage of property
 121.42' (South Federal Highway) + 95.20' (Madison St.) = 216.62 L.F. / 50 L.F. = 4.33
 REQ.: 5 Trees
 PROV.: 5 Trees (1 Existing + 4 Proposed)

OPEN SPACE:
 A minimum of 0% of the total site area must be landscape open space.
 14,926 S.F. (Lot Area) * 0% = 0 S.F.
 REQ.: 0 S.F.
 PROV.: 2,216 S.F. (3%)

OPEN SPACE (LOT TREES):
 A minimum of one tree per 1,000 S.F. of pervious area of property (2,216 S.F.)
 2,216 S.F. (Pervious Area) / 1,000 S.F. = 2.2
 REQ.: 3 Trees
 PROV.: 10 Trees (0 Existing + 10 Proposed)

TOTAL TREES REQUIRED: 8
TOTAL TREES PROVIDED: 15 (Additional trees for mitigation)

NATIVE TREES:
 A minimum of 60% of required trees shall be native species.
 REQ.: 3 Trees
 PROV.: 14 Trees

SHRUBS:
 10 for each required tree
 REQ.: 80 Shrubs
 PROV.: 142 Shrubs

NATIVE SHRUBS:
 A minimum of 50% of required shrubs shall be native species.
 REQ.: 40 Shrubs
 PROV.: 115 Shrubs

100% irrigation coverage will be provided by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscap principles. (See the City of Hollywood Landscape Manual).

As per City of Hollywood, Green Building Practices, at least 80% of plants, trees and grasses per the South Florida Water Management District recommendations.

PLANT SCHEDULE 1807

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD
CRO	3	Clusia rosea	Pitch Apple	FG/BB	4"	16' OA	6'-8'
CDI	2	Coccoloba diversifolia	Pigeon Plum	FG/BB	4"	16' OA	6'-8'
CON	5	Conocarpus erectus 'Sericeus'	Silver Buttonwood	45 gal	2"	12' OA	4'-6'
GSA	4	Guaicum sanctum	Lignum Vitae	65 gal	3"	12' OA	6'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
CIR	27	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	7 gal	3"	2.5'	
CRN	6	Clusia rosea 'Nana'	Dwarf Pitch Apple	3 gal	2"	2.5'	
HLA	42	Hymenocallis latifolia	Spider Lily	3 gal	2"	2'	
PMM	6	Podocarpus macrophyllus 'Maki'	Shrubby Yew	7 gal	4'-5'	2'	
PNE	10	Psychotria nervosa	Wild Coffee	7 gal	2.5' OA	3.5'	
REX	21	Rhapis excelsa	Lady Palm	15 gal	3'-4'	3'-4'	
SER	9	Serenoa repens 'Cinerea'	Saw Palmetto	25 gal	3"	3'	
TFL	11	Tripsacum floridanum	Florida Gamagrass	3 gal	2"	2'	3'
LARGE SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
CER	10	Conocarpus erectus	Green Buttonwood	7 gal	4' OA	2.5'	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
PBM*	27	Philodendron 'Burle Marx'	Philodendron 'Burle Marx'	3 gal	2"	2'	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
PNF	286	Phylla nodiflora	Frogfruit	1 gal			
TAM	249	Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal			
AGGREGATES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
GMG	273 sf		1/2" Grey Marble Gravel	S.F.			
MBP	143 sf		Black Pebbles	S.F.			
MPB	685 sf		Pine Bark Mini Nuggets Mulch	S.F.			
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING
SSP	358 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Grass	Sod			

EXISTING TREE TO REMAIN

No.	Common Name	Scientific Name
1	Bucida buceras 'Shady Lady'	Black Olive

EXISTING TREE LEGEND

0 The Existing trees and palms that remained in their original location

Tree / Palm

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

ALL LANDSCAPE DATA INC
 Landscape Architect LA666705
 ISA Certified Arborist FL64539A

DERICK LANGEL
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 Date: 2023.05.17 20:43:28-0400
 Foxit PhantomPDF Version: 10.1.9

REVISIONS:

PROJECT NAME
 PARK SIDE VIEW
 1807 MADISON STREET
 HOLLYWOOD, FL 33020

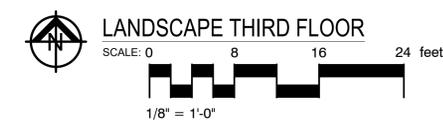
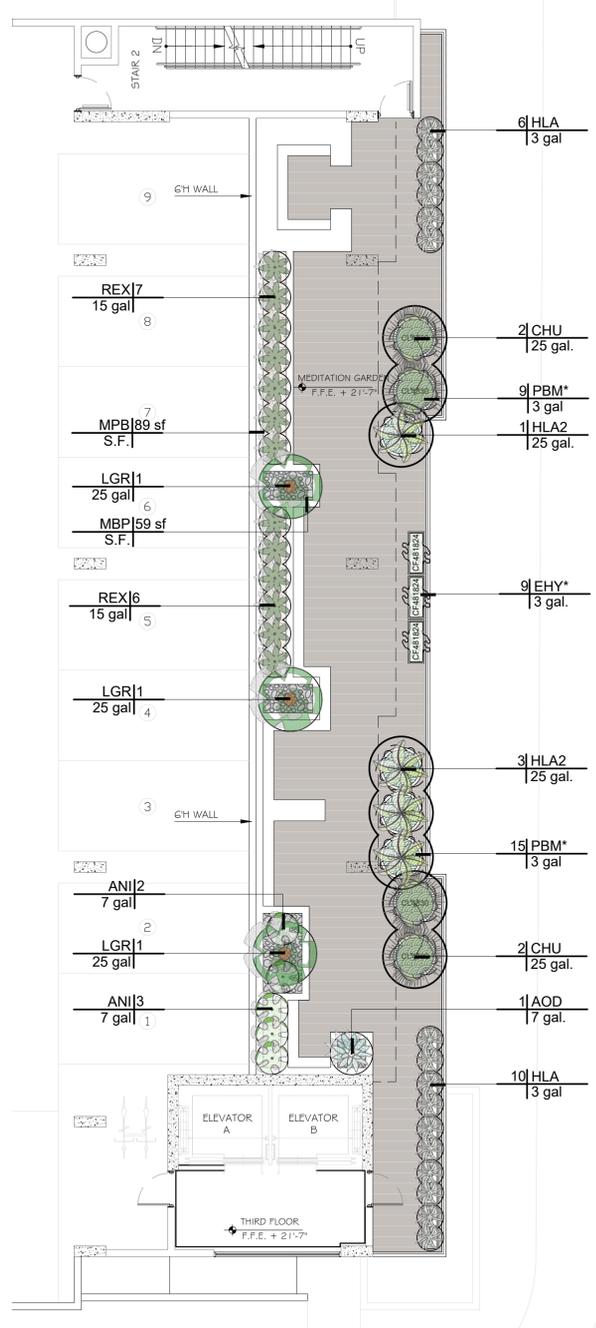
SHEET INFORMATION:
 Drawing Size: 24x36
 Project #: 2022-12-156 IAAI
 Drawn By: ALD
 Checked By: DL
 Title:
 LANDSCAPE PLAN
 Sheet Number:
L-200
 Date: - March 15, 2023

PLANT SCHEDULE GROUND FLOOR

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
CRO	3	Clusia rosea	Pitch Apple	FG/BB	4"	16' OA	6'-8"	Florida Native - Drought Tolerant - Waterwise Listed
CDI	2	Coccoloba diversifolia	Pigeon Plum	FG/BB	4"	16' OA	6'-8"	STD - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
CON	5	Conocarpus erectus 'Sericeus'	Silver Buttonwood	45 gal	2"	12' OA	4'-6"	Drought Tolerant - STD - Florida Native - Miami-Dade Landscape Manual - 4' CT Minimum
GSA	4	Guaiacum sanctum	Lignum Vitae	65 gal	3"	12' OA	6'	Florida Native - Vulnerable Species
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
CIR	27	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	7 gal	3"	2.5'		Florida Native
CRN	6	Clusia rosea 'Nana'	Dwarf Pitch Apple	3 gal	2"	2.5'		Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
HLA	42	Hymenocallis latifolia	Spider Lily	3 gal	2"	2"		
PMM	6	Podocarpus macrophyllus 'Maki'	Shrubby Yew	7 gal	4'-5"	2"		
PNE	10	Psychotria nervosa	Wild Coffee	7 gal	2.5' OA	3.5'		Florida Native - Miami-Dade Landscape Manual
REX	21	Rhapis excelsa	Lady Palm	15 gal	3'-4"	3' - 4'		Shade Grown - Character Plant - Miami-Dade Landscape Manual
SER	9	Serenoa repens 'Cinerea'	Saw Palmetto	25 gal	3"	3"		Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
TFL	11	Tripsacum floridanum	Florida Gamagrass	3 gal	2"	2"	3'	Florida Native
LARGE SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
CER	10	Conocarpus erectus	Green Buttonwood	7 gal	4' OA	2.5'		Florida Native
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
PBM*	27	Philodendron 'Burle Marx'	Philodendron 'Burle Marx'	3 gal	2"	2"	24" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
PNF	286	Phylla nodiflora	Frogfruit	1 gal			9" o.c.	Florida Native
TAM	249	Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal			15" o.c.	
AGGREGATES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
GMG	273 sf	Gray Marble Gravel 1/2"	1/2" Grey Marble Gravel	S.F.				3" Layer - Substitute for Gray Pearock if Desired
MBP	143 sf	Mexican Black Pebbles	Black Pebbles	S.F.				
MPB	684 sf	Mulch Pine Bark	Pine Bark Mini Nuggets Mulch	S.F.				3" Layer
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
SSP	358 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Grass	Sod				Shade tolerant

REFERENCE NOTES SCHEDULE THIRD FLOOR

SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY	DETAIL
	Old Town Fiberglass Planter CL4830 CYLINDER WITH RIM 48" DIA. x 30"H **3" RIM** SUB SAUCER	8	
	Old Town Fiberglass Planter CF481824 CARDIFF TAPERED RECTANGLE 48"L x 18"W x 24"H (42 lbs) SUB SAUCER Built in Perforated Sub-floor. Specify Siphon Tube or Drain Plug with Over Flow Plug	11	



PLANT SCHEDULE THIRD FLOOR

PALMS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
CHU	4	Chamaerops humilis	Mediterranean Fan Palm	25 gal	Multi Stems	5'-6"	4' - 6"	
HLA2	4	Hypophorbe igenicaulis	Bottle Palm	25 gal	4"-6"	6'-8" OA	5'-6"	Single
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
AOD	1	Alcantarea odorata	Giant Silver Bromeliad	7 gal	3"	3'-4'		
ANI	5	Asplenium nidus	Birds Of Paradise - Nest Fern	7 gal	3'-4'	3"		
HLA	16	Hymenocallis latifolia	Spider Lily	3 gal	2"	2"		
REX	13	Rhapis excelsa	Lady Palm	15 gal	3'-4"	3' - 4'		Shade Grown - Character Plant - Miami-Dade Landscape Manual
LARGE SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
LGR	3	Licuala grandis	Licuala Palm	25 gal	3"	6' OA	6'	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
EHY*	9	Equisetum hyemale	Horsetail Reed Grass	3 gal	1"	18" o.c.		Native - Drought Tolerant
PBM*	24	Philodendron 'Burle Marx'	Philodendron 'Burle Marx'	3 gal	2"	2"	24" o.c.	
AGGREGATES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS
MBP	59 sf	Mexican Black Pebbles	Black Pebbles	S.F.				
MPB	89 sf	Mulch Pine Bark	Pine Bark Mini Nuggets Mulch	S.F.				3" Layer



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 Foxit PhantomPDF Version: 10.1.9

REVISIONS:

PROJECT NAME
 PARK SIDE VIEW
 1807 MADISON STREET
 HOLLYWOOD, FL 33020

SHEET INFORMATION:
 Drawing Size: 24x36
 Project #: 2022-12-156 IAAI
 Drawn By: ALD
 Checked By: DL
 Title: LANDSCAPE PLAN, SCHEDULE & IMAGES
 Sheet Number: L-201
 Date: - March 15, 2023

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NOTES:

- All mechanical equipment including, but not limited to Back Flow Preventor, Pumps, Electric, Phone or Cable Boxes, Lift Stations, Etc. shall be screened on 3 sides from view using an approved hedge, fence or wall.
- All light poles if any shown on plan shall be a minimum of 15' from tree locations.
- The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviromulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine 'Floratum' sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floratum' sod.
- St. Augustine 'Floratum' - Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
- Root barrier shall be Vespro Inc. or approved equal.

5 GENERAL PLANTING NOTES
SCALE: N.T.S.

ONE YEAR - TREE MAINTENANCE PLAN

All newly planted trees to be guaranteed for a period of one year and in accordance with the following:

Planting Day:

- Keep roots moist; do not allow the roots to dry out.
- Remove turf from planting area.
- Dig planting hole wide and shallow. The hole should be 2-3 times wider in all directions than the root spread.
- Prune only dead or broken branches.
- Remove all twine or rope from trunk and branches.
- Remove planting container and burlap (any material that would constrict growth of roots; wire, plastic, wooden basket)
- Make sure that root flare is at soil level. (Rule of thumb first root closest to soil should be an inch below soil surface).
- Do not use amendments in the planting hole.
- Water tree at planting to remove air pockets. After backfilling gently firm soil, do not pack soil. Heavy packing will remove air space in -soil.
- Do not mound soil against trunk of tree.
- Mulch over entire rooting area with 2-4" of mulch (wood chips, shredded bark, etc.) Keep mulch 2-4" from trunk of tree since this could create a favorable environment for fungi.
- Fertilizer is not recommended for newly planted trees. (Consider time-released fertilizer, if there is a need to fertilize).

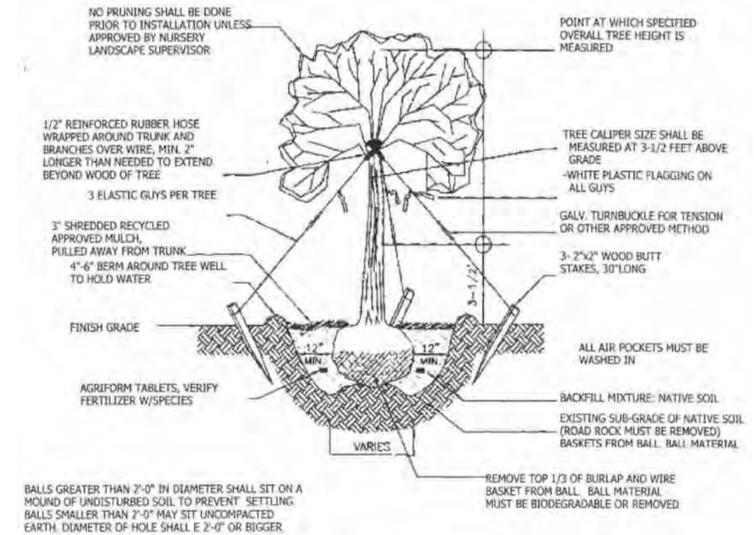
After Planting:

- Plants shall be watered in accordance with specification as provided on the irrigation plans.
- All lawn areas shall be mowed weekly during growing season and bi-weekly in non-growing season.
- Fertilizer shall be applied in the fall or early spring. Although it is not harmful to apply fertilizer at any time during the year.
- Inspect trees for disease or insect problems.
- Monitor health and vigor of trees.
- Pruning of all shrubs shall be done regularly to control shape and form. All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.

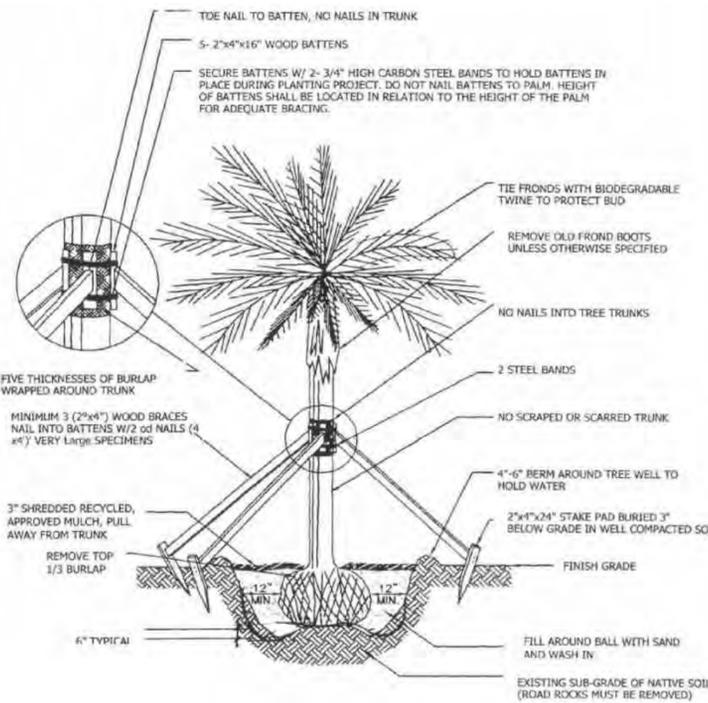
After One Year:

- Continue to monitor trees health and vigor. Inspect for disease and insect problems. Inspect evergreen trees for winter injury and fruit trees for rodent damage.
- Remove tree wrap from thin bark trees in spring.
- Remove stakes from trees planted previous year.
- All plants shall be mulched on a yearly basis or as needed to maintain healthy grown and reduce weed growth.
- Begin corrective pruning trees one year after trees are planted (general rule of thumb is to remove no more than 1/4 of the foliage at one time). All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.
- Continue watering trees when needed.
- Replace dead trees as needed. If trees have died in first year notify nursery that planted trees. They should guarantee trees for at least one year.

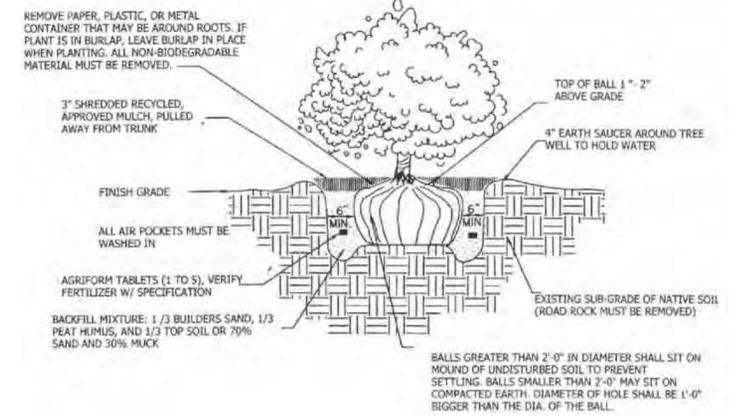
4 ONE YEAR TREE MAINTENANCE PLAN
SCALE: N.T.S.



2 TREE PLANTING DETAIL
SCALE: N.T.S.



1 PALM PLANTING DETAIL
SCALE: N.T.S.



3 SHRUBS PLANTING DETAIL
SCALE: N.T.S.