

ATTACHMENT B
Application Package for 23-CM-54

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

☐ Technical Advisory Committee

☒ Historic Preservation Board

☐ City Commission

☐ Planning and Development Board

Date of Application: 06-02-2023

Location Address: 1313 Harrison St Hollywood FL

Lot(s): Lot 11 Block(s): Blk 8 Subdivision: Hollywood Lakes

Folio Number(s): 514214011581

Zoning Classification: RS-6 Land Use Classification: SINGLE FAMILY DISTRICT

Existing Property Use: VACANT PROPERTY

Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

☐ Economic Roundtable

☐ Technical Advisory Committee

☐ Historic Preservation Board

☐ City Commission

☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: 1,000,000.00 Estimated Date of Completion: 2024

Will Project be Phased? (✓) Yes () No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Tiram Real Estate Enterprises LLC

Address of Property Owner: 1317 Harrison St Hollywood FL

Telephone: 773-732-4800 Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): SKLARchitecture

Address: 2310 Hollywood Blvd. Hollywood, FL 33020 Telephone: _____

Fax: _____ Email Address: Ari@Sklarchitect.com

Date of Purchase: 10-11-2021 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE LAWS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <http://www.ci.milwaukee.wi.us/planning>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

2

LEGAL DESCRIPTION & PROJECT INFORMATION

Project Owner: Tiram Real Estate Enterprises LLC.

Project Address: 1313 Harrison St., Hollywood FL 33019
Folio: 514214011581

Legal Description: Lots 10, west 1/2 of Lot 11 in Block 8 of Hollywood Lakes Section, according to the plat thereof, as recorded in Plat Book 1 at Page 32 of the Public Records of Broward County, Florida.

Zoning Classification: RS-6 Single Family District

Land Use: Low Residential (LRES).

Site Square Footage: 9,080 Sq.ft.

Design Concept

The design intent for this new home is to create custom architecture indicative of its time and place that is comparable in massing and height to the recent homes constructed in the immediate area of Hollywood Lakes. This design is more modern, yet we are keeping a portion of the original home that will feel has some significance. The new design is using expressive materials including:

- Wood finishes on the facade
- White-gray colored paint over smooth stucco, on the facade
- Architectural concrete and other unique architectural features.
- Ample glass for thru property transparency
- Ample landscaping

The total A/C area of the new house is 3,955 square feet and will also have a variety of covered terraces to enjoy the South Florida climate.

The property is located on the North side of Harrison St, just south of Hollywood Blvd

NAME OF OWNER Matt Tomich

ADDRESS 1317 Harrison St.

LEGAL DESCRIPTION Lot 10, 11, 12 B-8 Hard Lakes COST \$12.6

DESCRIPTION OF CONST. Sec

ARCHITECT:

Swimming Pool

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.	3449	7-8-70	Red Pools	
ROOF				
ELECTRICAL	1920	8-24-70	Swanner	
PLUMBING	1490	3-25-71	Peoples Gas	1 gas out 1 gas in
GAS				
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

JOE CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison Street

LEGAL
DESCRIPTION

LOT NUMBER

10, 11, 12

BLOCK

8

SUBDIVISION OR ADDITION

Hollywood Lakes

MICROFILM NO.

ARCHITECT

FEE

VALUATION

78-0337

\$ 19.20

\$ 2469.00

DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 192	24538	2/27/75	Wally Bjork	SEPTIC/SEWER			
ROOF 200				AIR/CONDITION			
ELECTRIC-BASIC	8610	2-28-75	Anderson	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX. 3	6338	2/28/75	MGR Corp	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

FORM 1144-13

JOB CARD

OWNER Johns		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 45.00	VALUATION \$5820.00

DESCRIPTION OF CONSTRUCTION remove & replace 40 windows	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	77313	9-1-82	Windowrama	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
C-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County surcharge: \$2.04

JOB CARD

OWNER Melina Tomich		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 15.00	VALUATION \$ 500.

DESCRIPTION OF CONSTRUCTION Replace wall unit	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	15756	5/10/84	Holden A/C
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County Surcharge: .20

JOB CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 1400.00

DESCRIPTION OF CONSTRUCTION

Re-roof - T & G

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 1000	53975	5/1/79	White Seal	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

County Surcharge \$.49

JOB CARD

OWNER

THOMICH

JOB ADDRESS

1317 Harrison St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 6.00

VALUATION

\$ 400

DESCRIPTION OF CONSTRUCTION

1-2 ton Window Unit

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	9518	9/15/78	H E Holden
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER

TOMICH

JOB ADDRESS

1317 Harrison St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 450

DESCRIPTION OF CONSTRUCTION

Re Roof Tar & Gravel

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 300	46263	3/10/78	White Seal	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER THOMICH	JOB ADDRESS 1317 Harrison St.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 2.50	VALUATION \$ 300
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DESCRIPTION OF CONSTRUCTION 1-1 Window Unit	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	4261	5/14/74	United App.
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
I-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	FORM 1144-13
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JOB CARD 691

OWNER Tomick		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 6.30	VALUATION \$ 500.00

DESCRIPTION OF CONSTRUCTION Re-Roof	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 800 Ø	3229	11/5/72	Alpha	AIR/CONDITION			
ELECTRIC-BASIC	1148	4-13-72	Minim	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES;

FORM 0860-13

JOB CARD

OWNER

JOB ADDRESS

Tomich

1317 Harrison St.

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

VALUATION

\$ 11.30

\$ 1800.00

DESCRIPTION OF CONSTRUCTION

Re-ROOF 1600#

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	<i>550</i>	<i>12/15/71</i>	<i>Alpha</i>	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

Permit Search Results

[Search](#) > Properties located at/on/near '...1317...'

4 permits were found for
1317 HARRISON ST

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details	86845	B0501094	RE-ROOF FLAT	2/23/2005	2/28/2005
	NO PLANS	B9706636	REPAIRS- STRUCTURAL		9/18/1997
	GARAGE DOOR	B9605475	ALTERATIONS- EXTERIOR		7/30/1996
Details		B9206659	RE-ROOF-FLAT		10/7/1992

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM

802 = =

1009 = =

(FORMER) Edwin R. Closs Residence Site No. 830 = =
Site Name 830 = = Survey Date 8008 820 = =
Address of Site: 1317 Harrison Street Hollywood, Florida 905 = =
Instruction for locating on the N. side of Harrison St. between 13th and 14th Ave. 813 = =
Location: Hollywood Lakes Section 1-32 B 8 10,11,12 868 = =
subdivision name block no. lot no.
County: Broward 808 = =
Owner of Site: Name: Helina Tomich
Address: 1317 Harrison Street
Hollywood, Florida 33020 902 = =
Type of Ownership Private 848 = = Recording Date 832 = =
Recorder:
Name & Title: Marlyn Kemper, Director
Address: Historic Broward County Preservation Board
1900 Tyler Street Hollywood, Florida 33020 818 = =
Condition of Site: Integrity of Site: Original Use Residence 838 = =
Check One Check One or More
☐ Excellent 863 = = ☐ Altered 858 = =
☒ Good 863 = = ☐ Unaltered 858 = =
☐ Fair 863 = = ☒ Original Site 858 = =
☐ Deteriorated 863 = = ☐ Restored () (Date: X) 858 = =
☐ Moved () (Date: X) 858 = =
Present Use Residence 850 = =
Dates: Beginning c1925 844 = =
Culture/Phase American 840 = =
Period Twentieth Century 845 = =

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More
☐ Zoning (X) 878 = = ☐ Transportation (X) 878 = =
☐ Development (X) 878 = = ☐ Fill (X) 878 = =
☐ Deterioration (X) 878 = = ☐ Dredge (X) 878 = =
☐ Borrowing (X) 878 = =
☒ Other (See Remarks Below): Unknown 878 = =

Areas of Significance: Historical, Streetscape, Other 910 = =

Significance:

HISTORICAL: c1925: As indicated on "Building Cards, Broward County Property Appraiser's Office."

STREETSCAPE: One of a series of residences on Harrison St. between 8th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.

OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.

Additional Statement of Significance attached.

911 = =

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Mediterranean Revival 964 ==
 PLAN TYPE Irregular: unknown 966 ==
 EXTERIOR FABRIC(S) Stucco: unknown 854 ==
 STRUCTURAL SYSTEM(S) Masonry: concrete block 856 ==
 PORCHES Unknown

942 ==

FOUNDATION: Piers: concrete block, unknown 942 ==

ROOF TYPE: Flat, built-up 942 ==

SECONDARY ROOF STRUCTURE(S): Gable 942 ==

CHIMNEY LOCATION: NA 942 ==

WINDOW TYPE: Jalousie, metal, paired 942 ==

CHIMNEY: NA 882 ==

ROOF SURFACING: Built-up 882 ==

ORNAMENT EXTERIOR: 882 ==

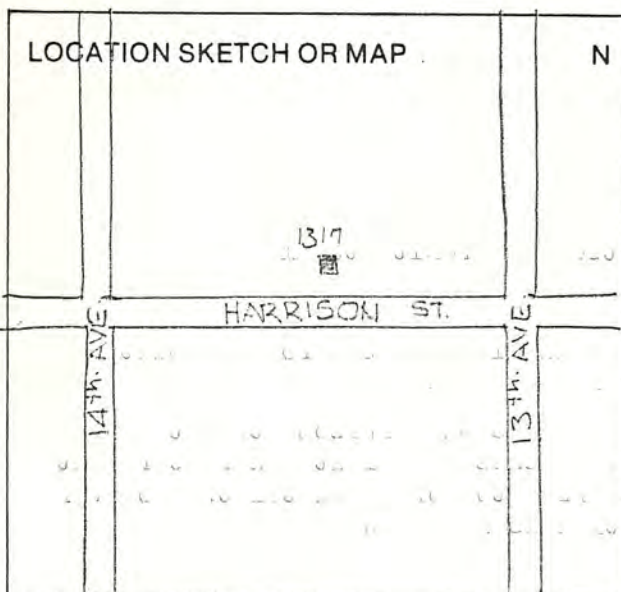
NO. OF CHIMNEYS 952 == NO. OF STORIES 1 950 ==

NO. OF DORMERS 954 ==

Map Reference (incl. scale & date) USGS Ft. Lauderdale South, Fla.
7.5 Min. 1962 (1969) 809 ==

Latitude and Longitude: " " " " " " 800 ==

Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
51S	42E	14

812 ==

UTM Coordinates:

17 586640 2876980 890 ==
 Zone Easting Northing

Photographic Records Numbers R18/F25 860 ==

Contact Print

Statement of Significance:

HOLLYWOOD, CITY OF
1317 Harrison Street

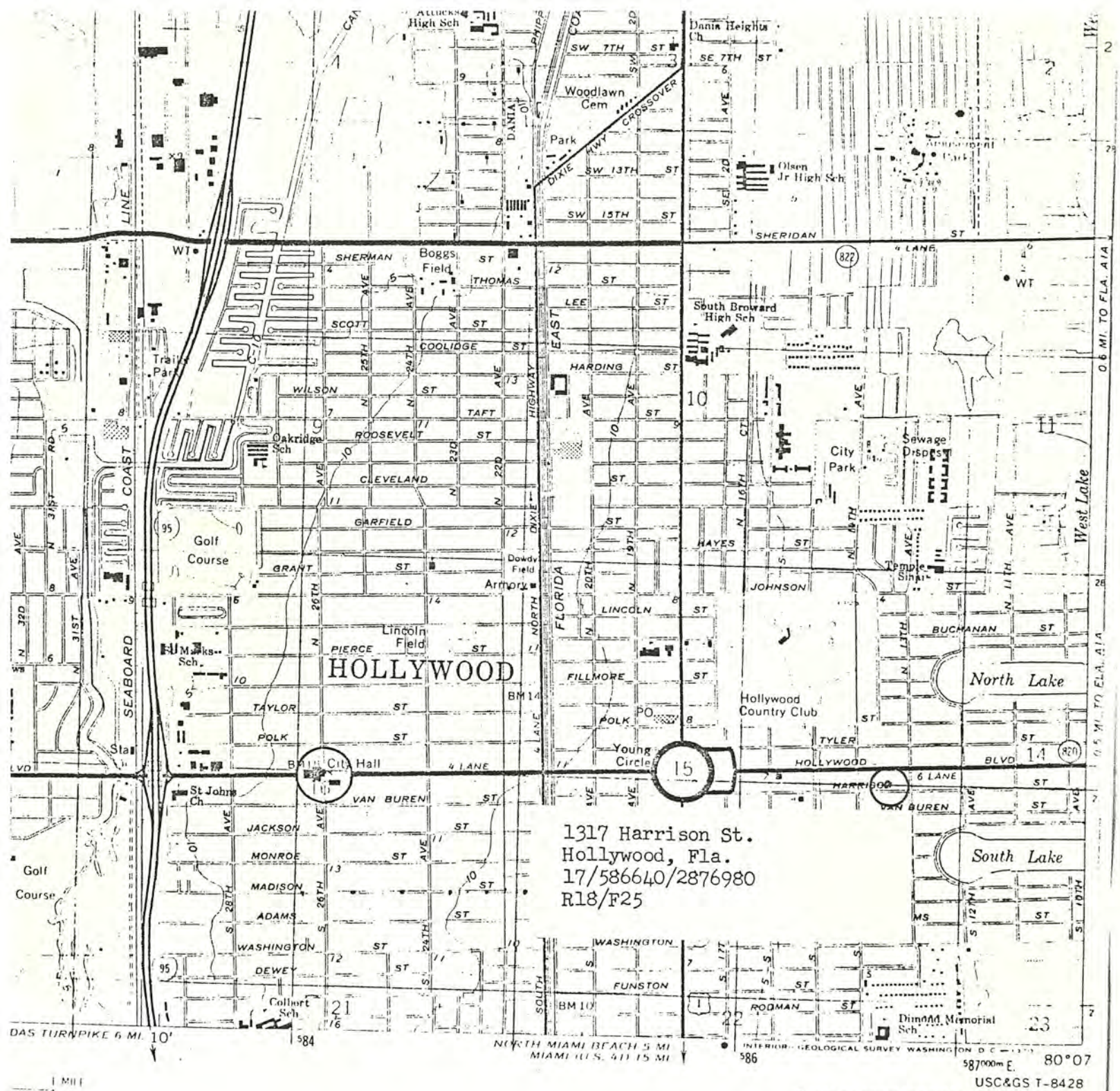
HOLLYWOOD HERALD, April 1, 1932

"Coffee King Is Purchaser of a Hollywood Home"

Sales this week included a lot in the Lakes section and also the beautiful home of Spanish architecture at 1317 Harrison Street owned by Edwin R. Closs. This property was sold for cash to William T. Rich of Newton, Massachusetts who in former years was a guest at the Beach Hotel after introduction to Hollywood through his friendship with W. J. Cozens of W. J. Cozens Realty. He had prior to that wintered for several years at the Royal Palm Hotel in Miami.

Until recently, Mr. Rich was president of the Chase and Sanborn Coffee Company with headquarters in Boston and Chicago. He is well known throughout the eastern states as one of the outstanding laymen of the Methodist Episcopal Church.

Mr. Rich plans to make Hollywood his future permanent winter home and is having the Harrison Street property and adjacent lot landscaped and redecorated under the supervision of Cozens.



ROAD CLASSIFICATION

Heavy duty ——— Light duty ———
Medium duty - - - - - Unimproved dirt ———
Interstate Route U.S. Route State Route

QUADRANT LOCATION

FORT LAUDERDALE SOUTH, FLA.
N2600-W8007 5/7 5

1962

AMS 4936 II SW-SERIES V847



1317

JOE CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison Street

LEGAL
DESCRIPTION

LOT NUMBER

10, 11, 12

BLOCK

8

SUBDIVISION OR ADDITION

Hollywood Lakes

MICROFILM NO.

ARCHITECT

FEE

\$ 19.20

VALUATION

\$ 2469.00

78-0337

DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING 192

24538

2/27/75

Wally Bjork

SEPTIC/SEWER

ROOF 200

AIR/CONDITION

ELECTRIC-BASIC

8610

2-28-75

Anderson

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING NO. FIX. 3

6338

2/28/75

MGR Corp

POOL

L-P-DRY WALL

DRIVEWAY

FENCE

PATIO or WALK

NOTES:

FORM 1144-13

78-0351

250

Let's issued 2-27-75 Permit No. 24538
Owner M. Tomich
Description Remodel - add new PATIO - Screen
Location 1317 Harrison St
Lot 10-1-12 Block 8 Subdivision HARD LAKES
Contractor or Builder Wally B. Clark & Son
License No. _____
Architect and/or Engineer _____
Cubic Ft. 1728 Valuation \$ 2469⁰⁰
Square Ft. 192 Roof 200
Date Plans Received 2/25/75 3:25 pm
Mono Ftg. & Pads

78-0351
Zoning Single 2-26-75
Engineering-Curb Cuts _____
Sidewalk _____
Drainage _____
Utilities-Water _____
Sewer _____
Traffic Eng. _____
Bldg.-Electric EH 2-26-75
Plumbing EH 2-26-75
A/C-Mech. _____
Structure _____
Fire Bureau _____
Plan Review Ray [Signature]

sub j to field insp.

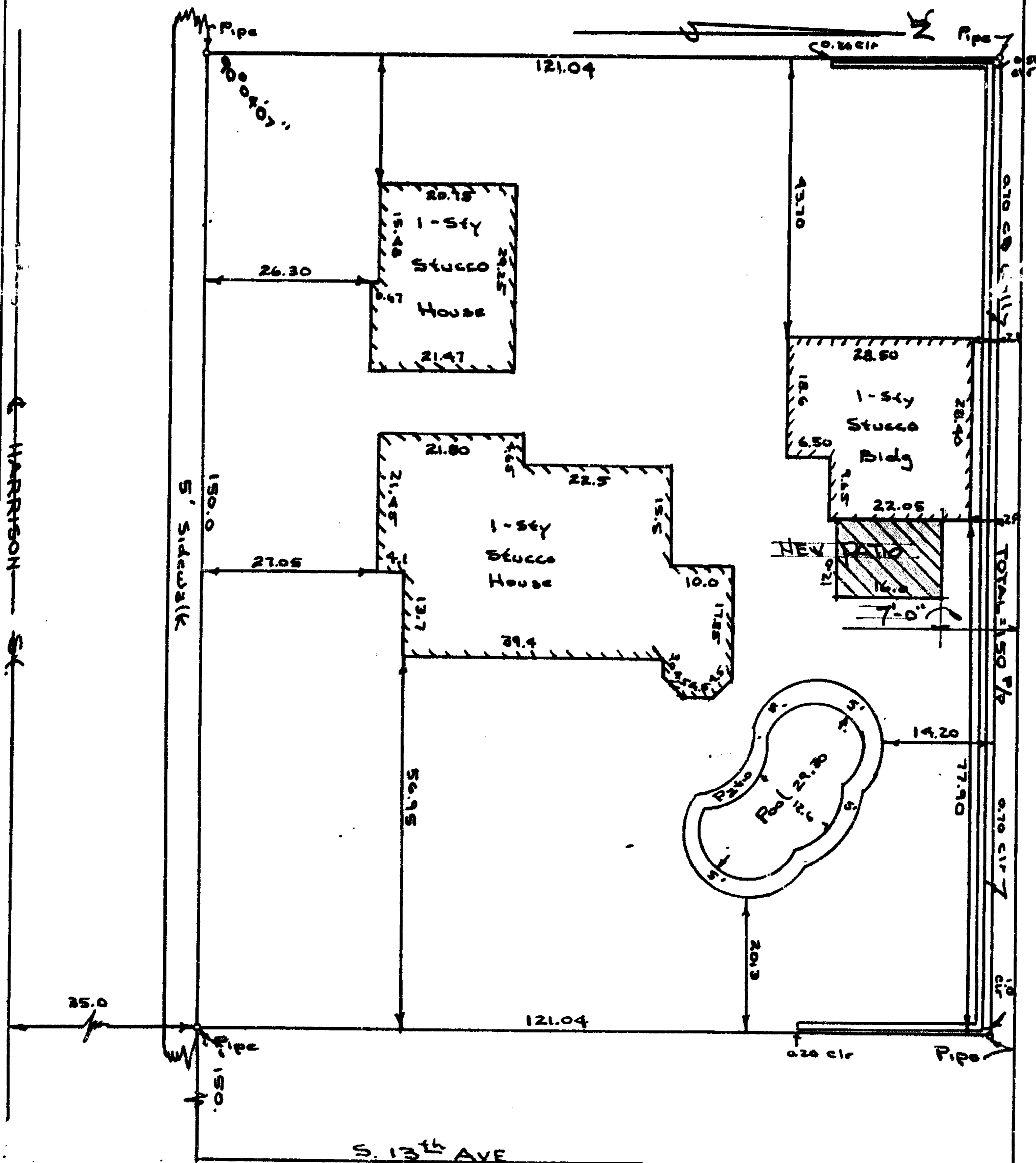
Relocate Laundry
Remove cap w/ 4 feet
(Min. Permit) J. M. Cowell

"SEPARATE PLUMBING PERMIT
AND INSPECTION REQUIRED"

Photostats Land Planning

Scale 1" = 20'

DESCRIPTION: Lots 10, 11, and 12, Block 8 of HOLLYWOOD LAKES SECTION" according to the Plat thereof recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.



I hereby certify that I have made a recent survey of the above described property and it is true and correct to the best of my knowledge and belief. I also certify that there are no above ground encroachments, unless otherwise noted. Dated this 25th day of February, 1975, A.D.

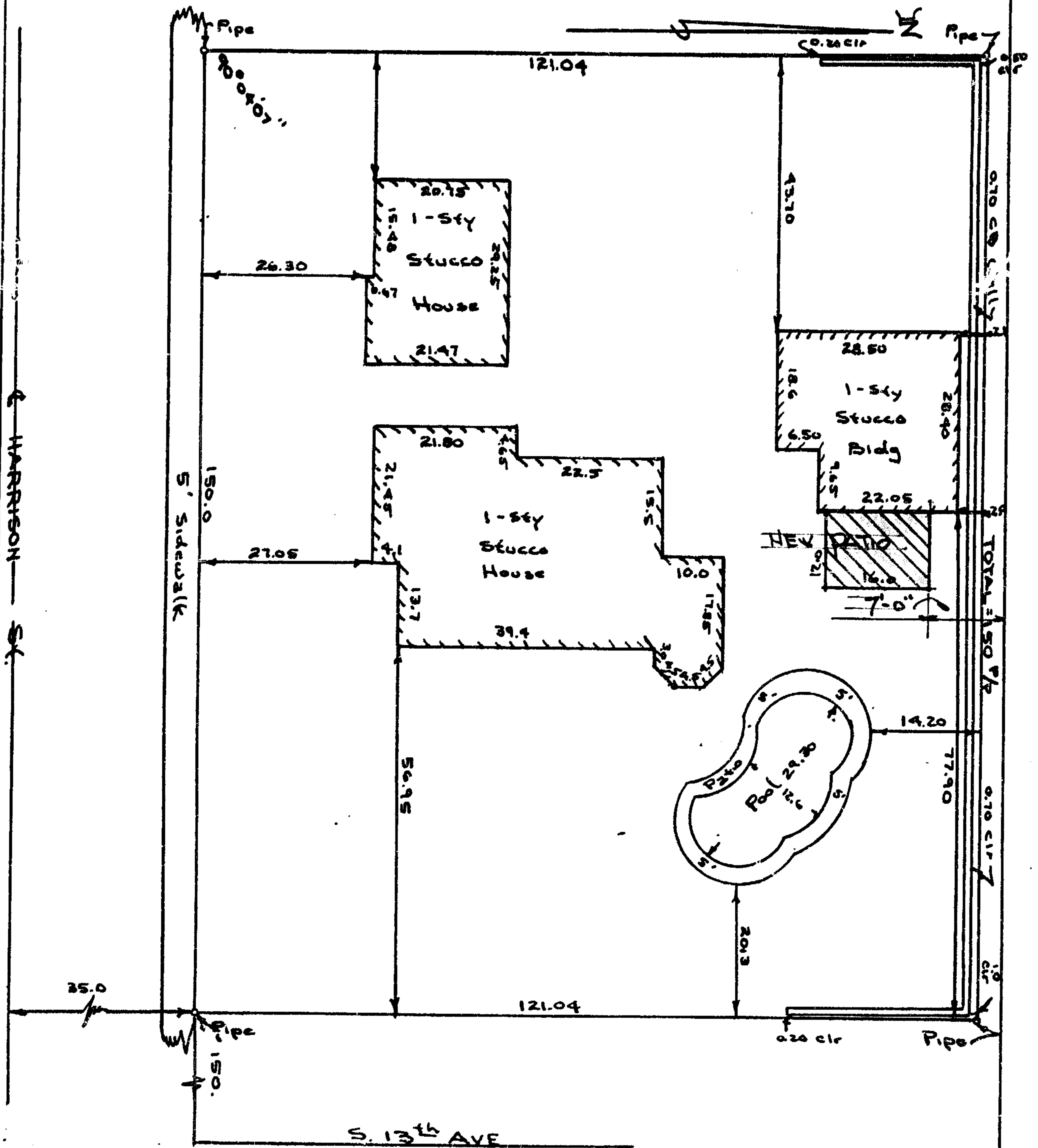
"I further certify that the survey represented hereon meets the minimum requirements adopted by the F.S.P.I.S. and the F.I.T.A."

ARTHUR C. BOGGS
Registered Land Surveyor No. 724
State of Florida

M. TOMICH
E. JOHNS

Scale 1" = 20'

DESCRIPTION: Lots 10, 11, and 12, Block 8 of HOLLYWOOD LAKES SECTION" according to the Plat thereof recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.



I hereby certify that I have made a recent survey of the above described property and it is true and correct to the best of my knowledge and belief. I also certify that there are no above ground encroachments, unless otherwise noted. Dated this 25th day of February, 1975, A.D.

"I further certify that the survey represented hereon meets the minimum requirements adopted by the F.S.P.L.S. and the F.L.T.A."

Arthur C. Boggs
ARTHUR C. BOGGS
Registered Land Surveyor No. 724
State of Florida

EXISTING 2 CAR GARAGE
CONCRETE SLAB

STRUCTURAL NOTES
NEW LAUNDRY AREA

ROOF - 2x4 P/T - 3/4" A/C.
DECKING - 3/4" - TREATED - BOTH SIDES
DRILL WALL - 3/4" - P/C - TAPED JOINTS
PAINTING - 2 COATS - WHITE
FLOOR COVER - VINYL ASBESTOS
ON 15 LB. FELT
REMOVE LOWER STORAGE DIST.
CORRECT PATERS SO THAT
FACE OF D/W = FACE OF CAB.

+1.5'-0"

EXISTING WORK SHOP

EXISTING STORAGE CABINET
8'-0"

NEW LAUNDRY AREA

RAISE FLOOR
DRILL - CEILING
AND WALLS

REMOVE EXISTING
TOILET AND LAV.

EXISTING
W.C. W/IN P.T.E.

TOILET

W.C.

LAUNDRY TRAY

EXISTING WALL

EXISTING
FINISHED
LAUNDRY
ROOM

PAVE
(SEE LATER DETAIL)

EXISTING BATH
NO CHANGE

REMOVE WASHER AND
DRYER - SEE NEW LOCATION

REMOVE EXISTING
TOILET - MEDIAN WALL

TRX HI - BACK TO BACK

20'-0"

1 INCH
SEPARATION

2'-0" 6'-0 3/4"

REMOVE 2 EX. WINDOWS
AND WALL SECTION -
INSTALL - 6'-0" ALUM.
PATIO DOOR - TEMPERED GLASS.

FREE FLOATING PATIO SLAB
SEE DETAIL (1)

EXISTING MASONRY RAIL

16'-0"

4'-5"

PLAN
SCALE - 3/8" = 1'-0"

SEPARATE PLUMBING AND ELECTRICAL PERMITS

EXISTING GARAGE

ALLOW 1' CLEARANCE

2" CONCRETE SLAB
6x6 MESH
TROWEL FINISH
CONCRETE - 3000 PSI

SLOPE 1/8"

#5 @ EW

#5 CONTINUOUS

30"

30"

16'-0"

SLAB AND PADS
SCALE - 1/4" = 1'-0"

(1)

SLAB
RESH
BELL SLAB
BETWEEN PADS
1" @ C
4" @ EW
30"

SECTION
PAD AND SLAB - TYP.
SCALE - 1 1/2" = 1'-0"

4'-4 1/2" 2'-0" 6'-3/4" PATCH STUCCO AT HEADER IF KER.
DBL. 2x6 PT
TRX HI - BACK TO BACK
TREAT WITH
LUPROL
2x6 PT
JAMBS
6'-0" ALUM. PATIO DOOR
TEMPERED GLASS
REMOVE WINDOWS
AND WALL AS KER.
EXISTING
GARAGE
STUCCO OVER
WIRE LATH - BEADED CEILING
2x4 STUDDING
EXISTING
MASONRY RAIL
GRADE

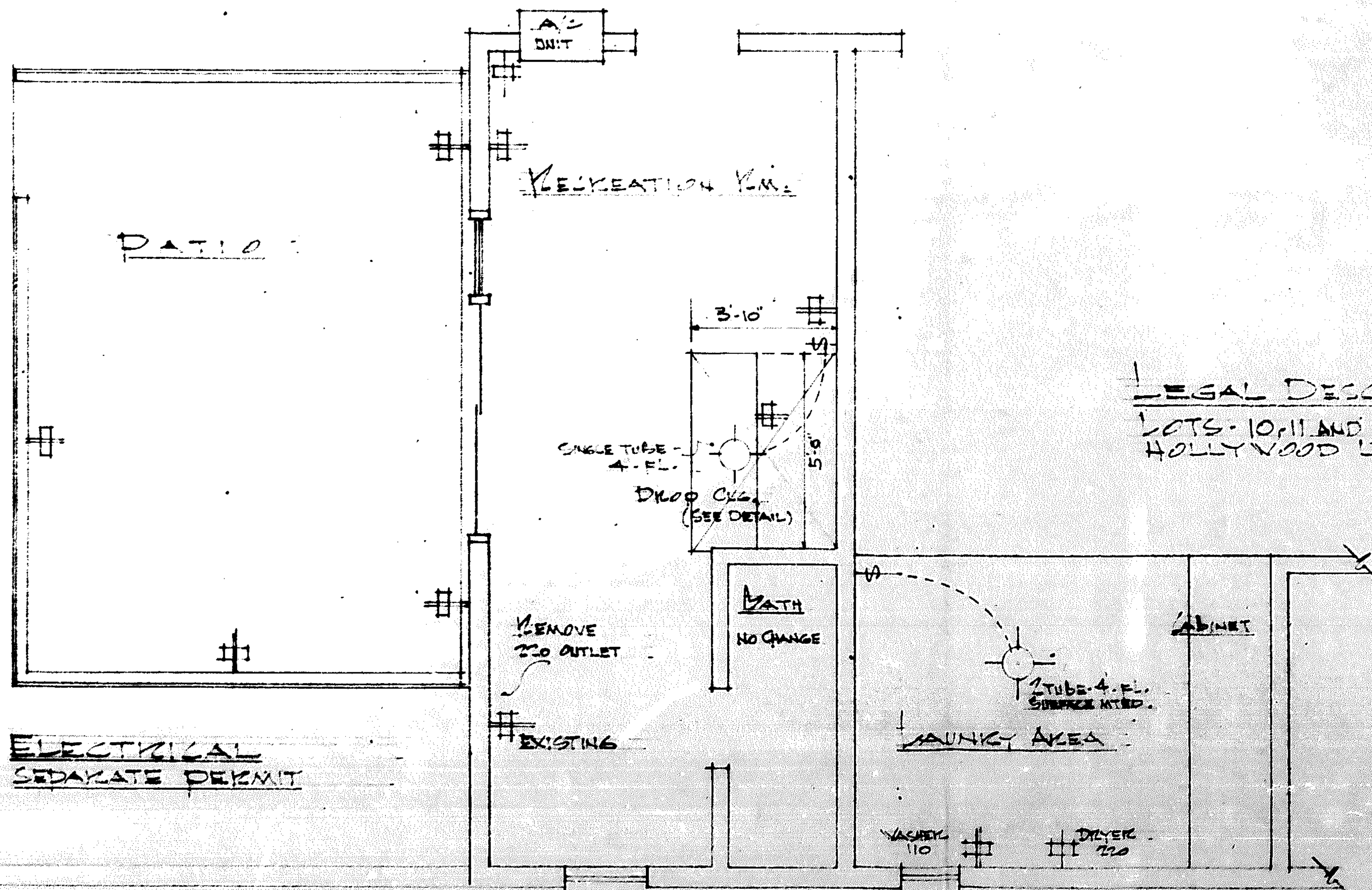
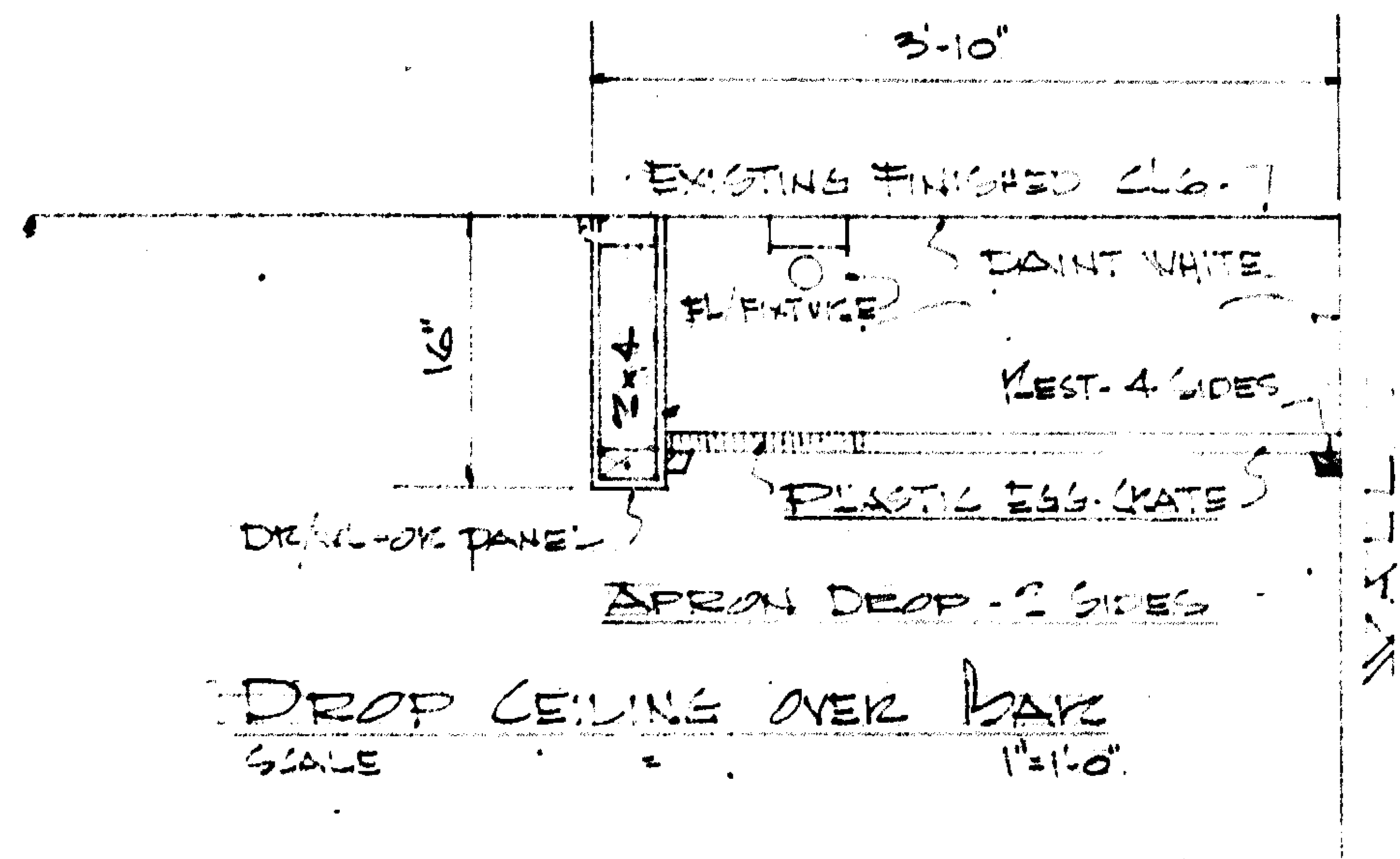
EAST ELEVATION - SHOWING PATIO DOOR

ALUMINUM ROOF
PLASTIC SCREENING
ALUMINUM FRAME
3'-0" SKR. DOOR
AL. SPLASH BOARD

EAST ELEVATION - SHOWING SCREENING
OTHER SIDES - DITTO - NO SCREEN DOOR

RESIDENTIAL ALTERATIONS
FOR MRS. M. TOMICH.....
1317 HARRISON ST, HOLLYWOOD, FLA.
WALLY BJORK AND SON
GENERAL CONTRACTORS
HOLLYWOOD LICENSE # 73-22802

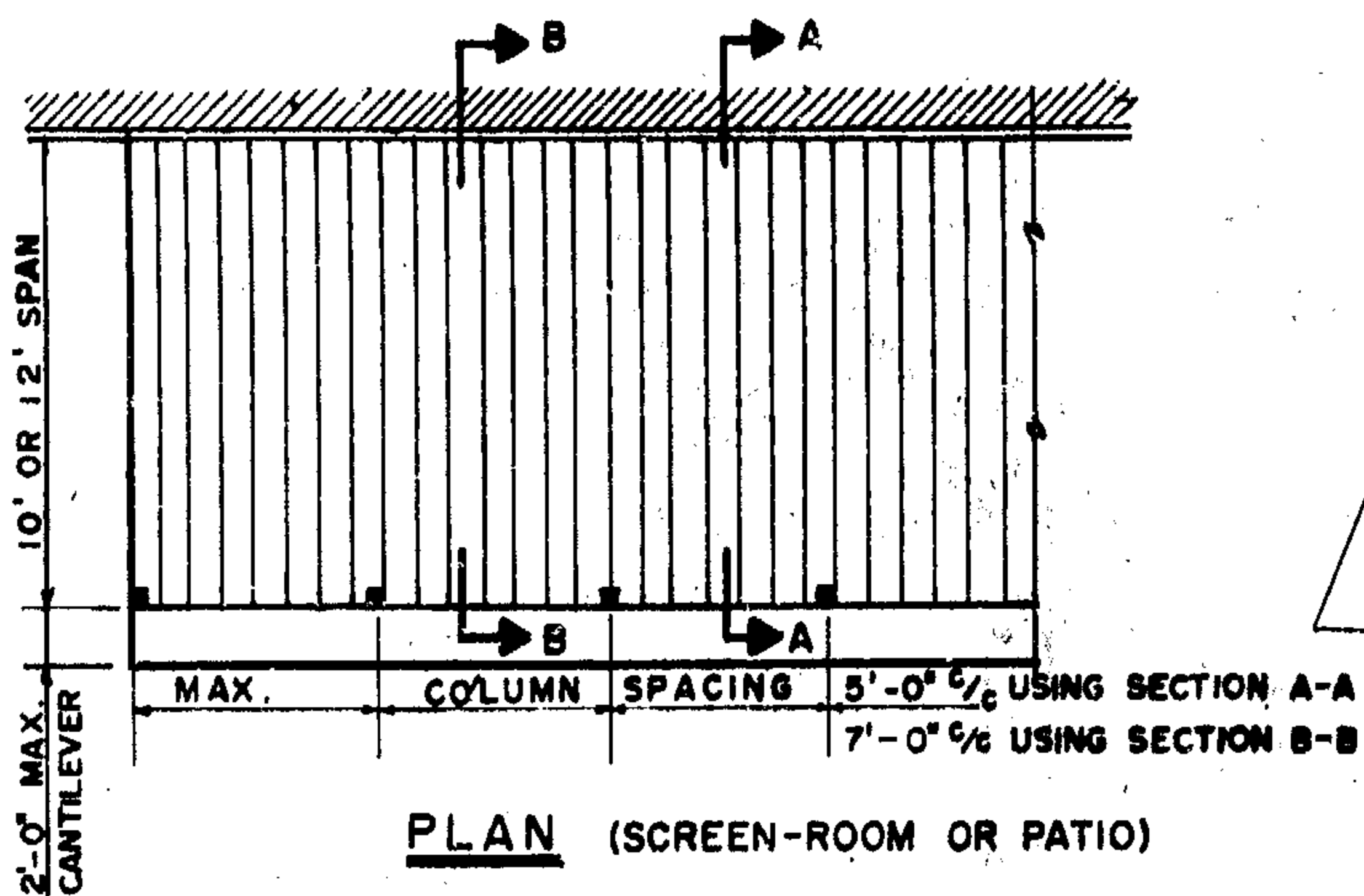
RESIDENTIAL ALTERATIONS
FOR MRS. M. TOMICH.....
1317 HARRISON ST, HOLLYWOOD, FLA.
WALLY BJORK AND SON
GENERAL CONTRACTORS
HOLLYWOOD LICENSE # 73-22802



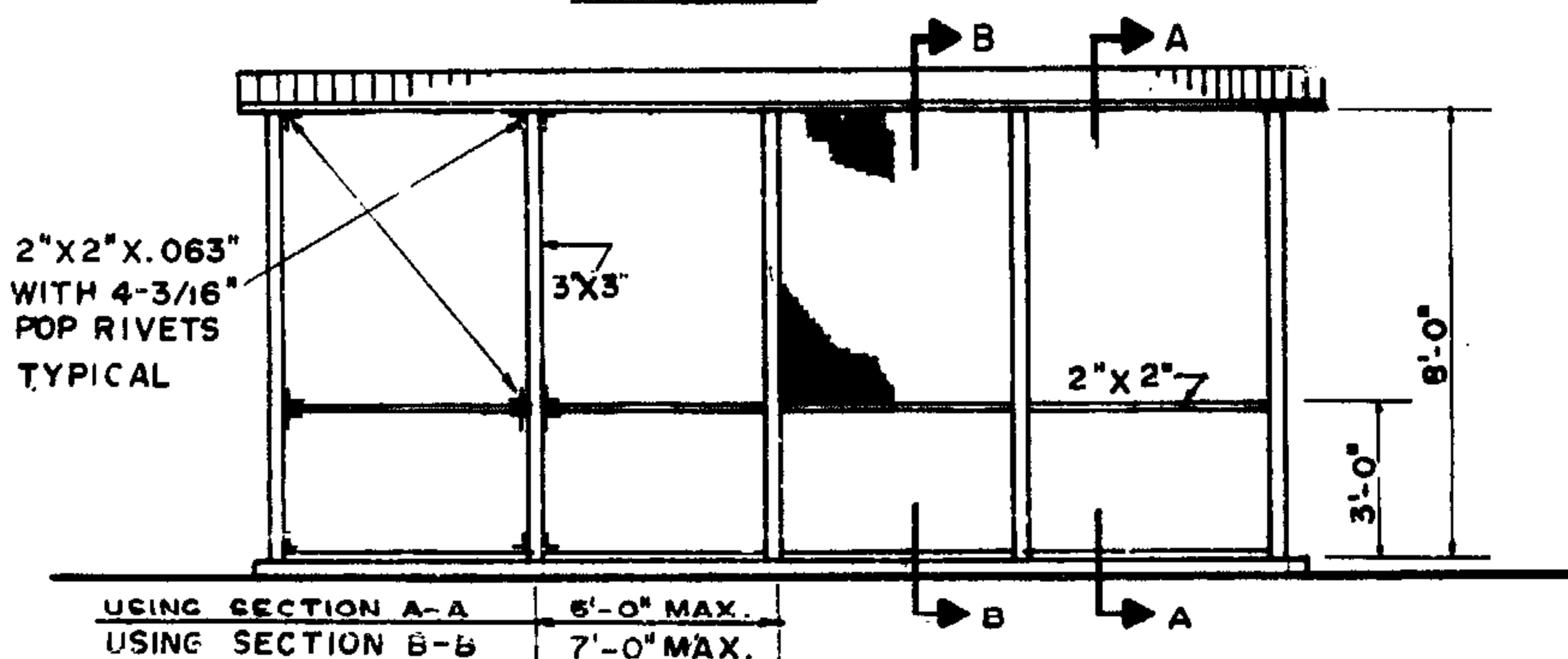
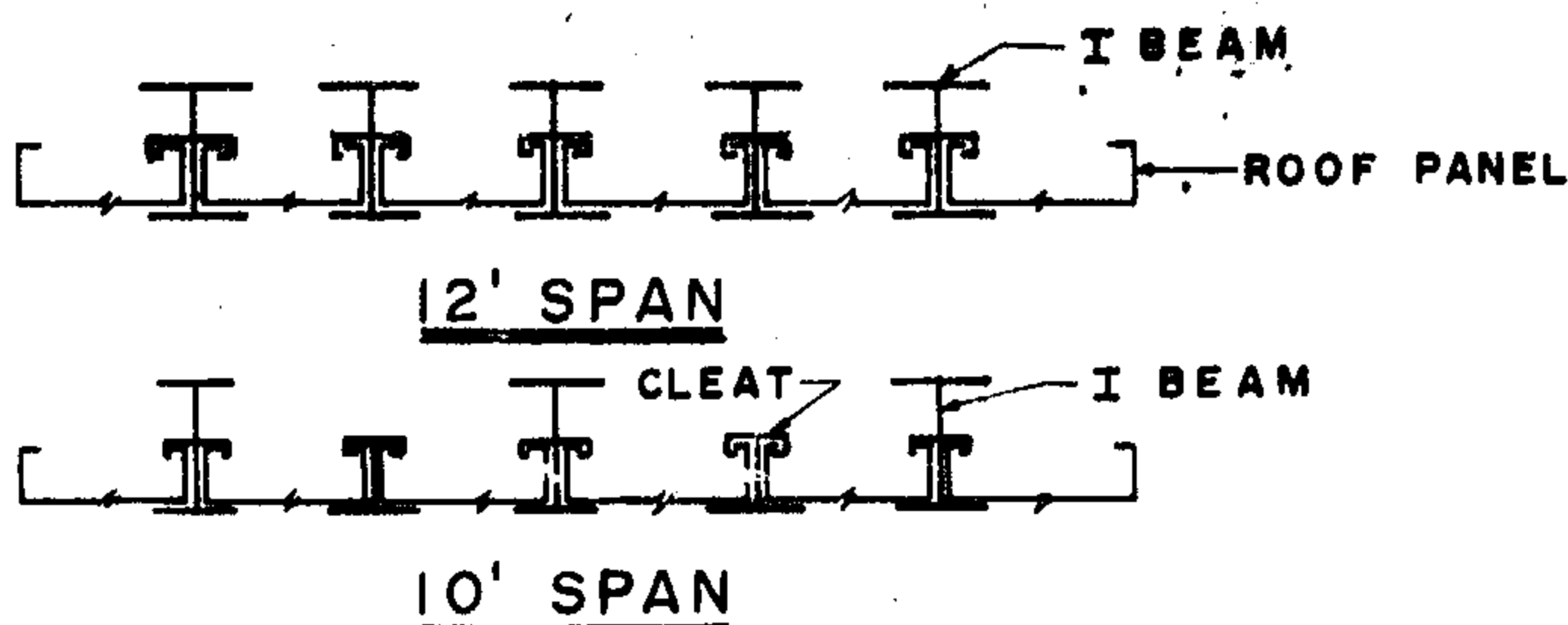
LEGAL DESCRIPTION
 LOTS 10, 11 AND 12 - BLOCK 8,
 HOLLYWOOD LAKES.

ELECTRICAL
 SEPARATE PERMIT

SEPARATE ELECTRICAL
 PERMIT REQUIRED



PLAN (SCREEN-ROOM OR PATIO)



SCREEN ROOM ELEVATION

PATIO ELEVATION, SIMILAR W/ REMOVAL OF SCREEN & COMPONENTS

SPECIFICATIONS

DESIGN CRITERIA

LOADING DESIGN 30 PSF
DEFLECTION: PRIMARY MEMBERS L/180
SECONDARY MEMBERS L/80
RECOVERY FROM WIND LOAD 9%
COLUMNS: L/r not greater than 200
FASTENERS: SAFETY FACTOR EQUALS 3 MINIMUM

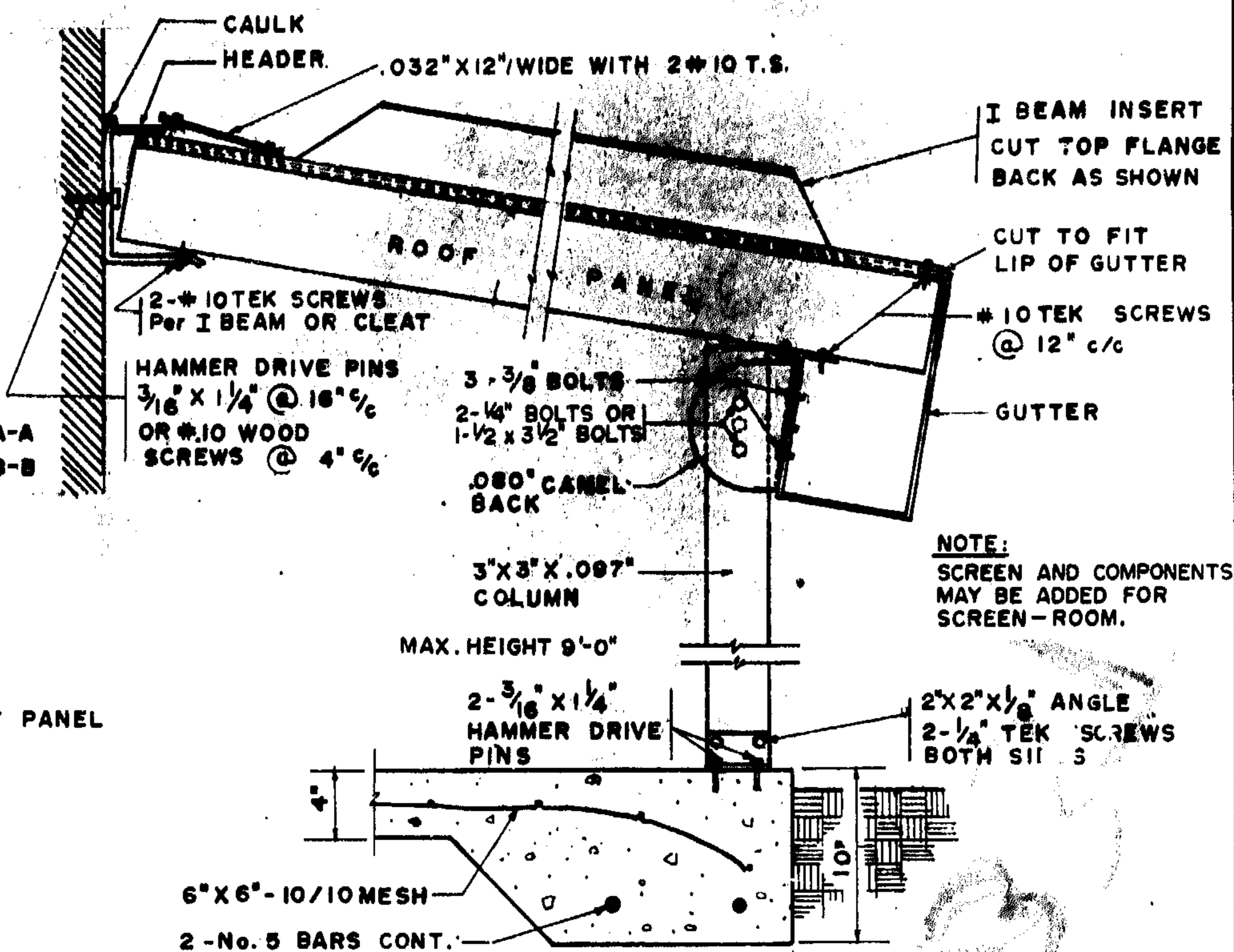
ALL ALUMINUM EXTRUSIONS SHALL BE ALLOY 6063-T5
ALL NUTS, BOLTS AND SCREWS SHALL BE ALUMINUM ALLOY 2024-T4

CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

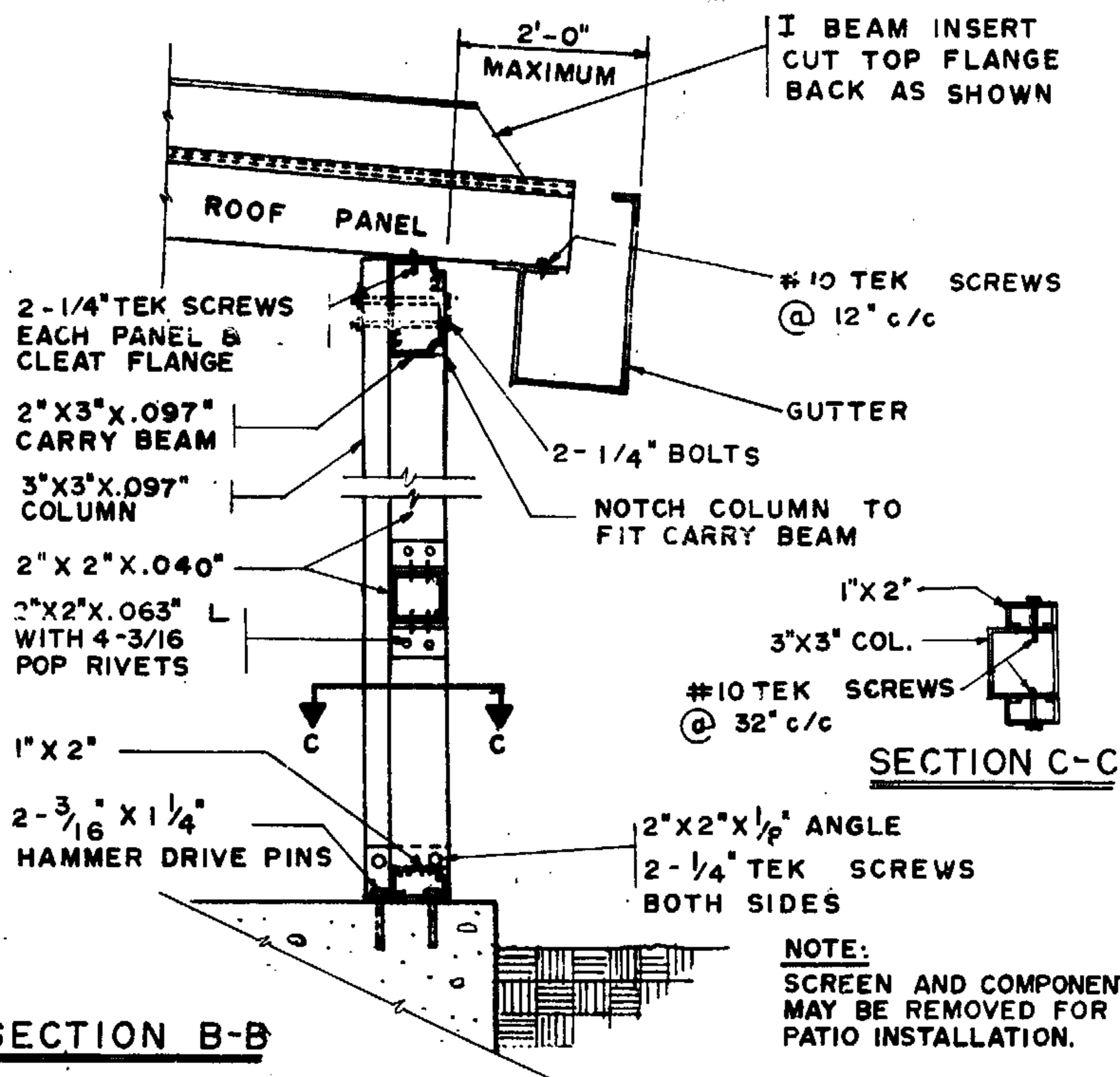
SOIL UNDER SLAB SHALL BE FREE OF ORGANIC MATTER AND HAVE A MINIMUM BEARING VALUE OF 1000 PSF.

PITCH OF ROOF SHALL BE 1/4" Per FOOT MIN.

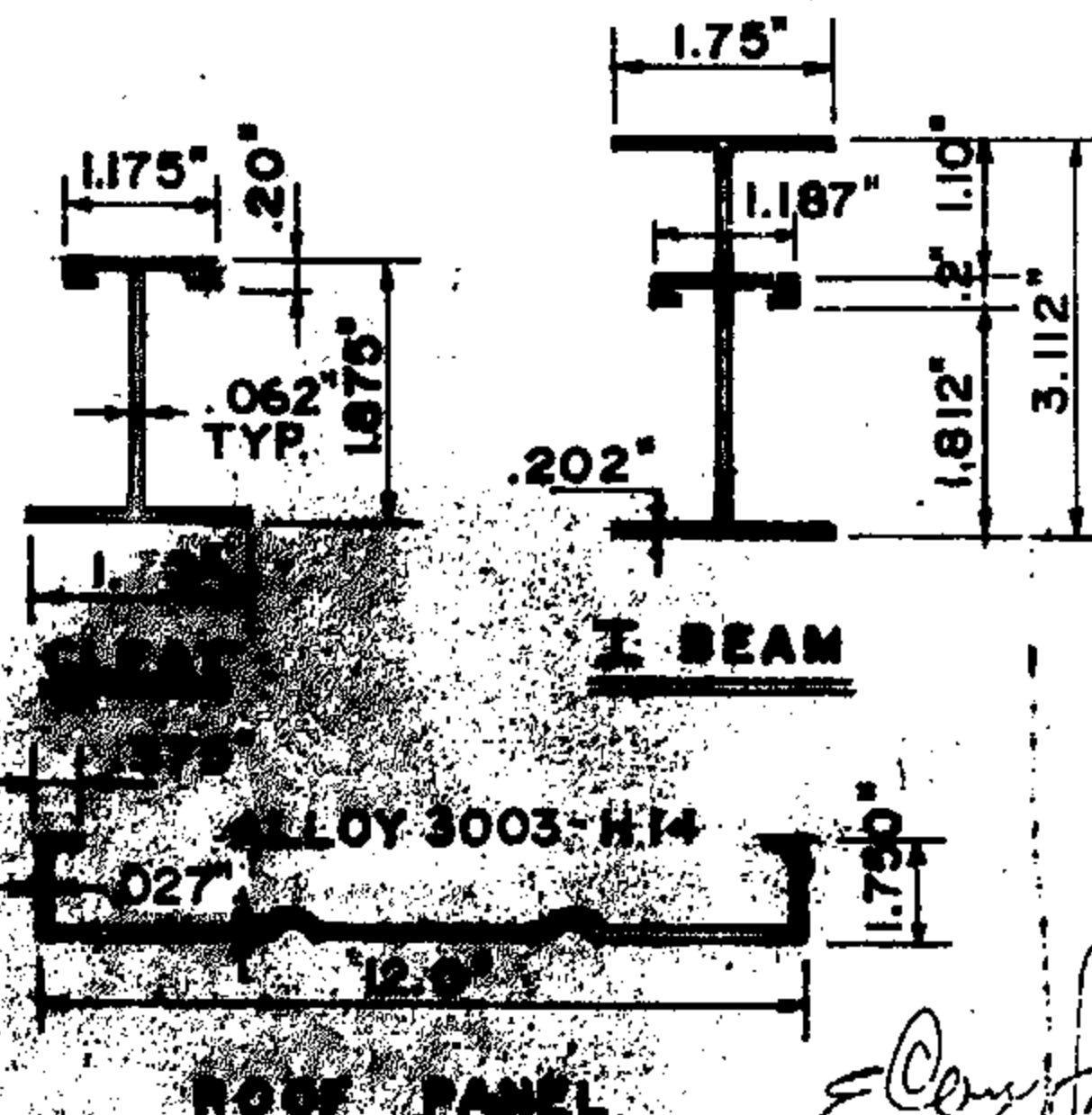
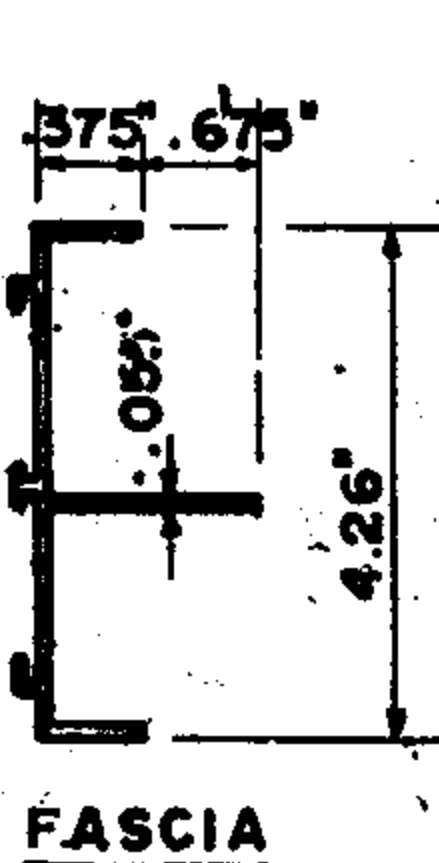
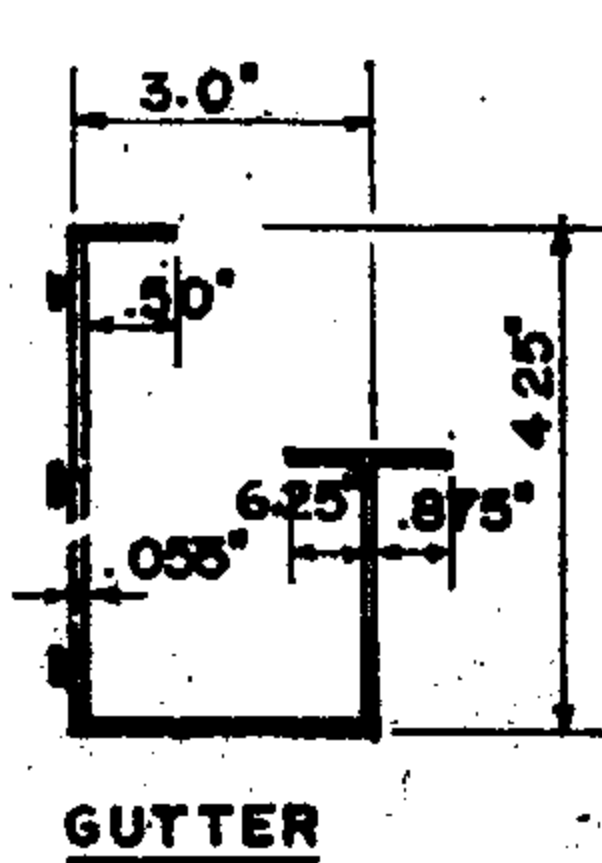
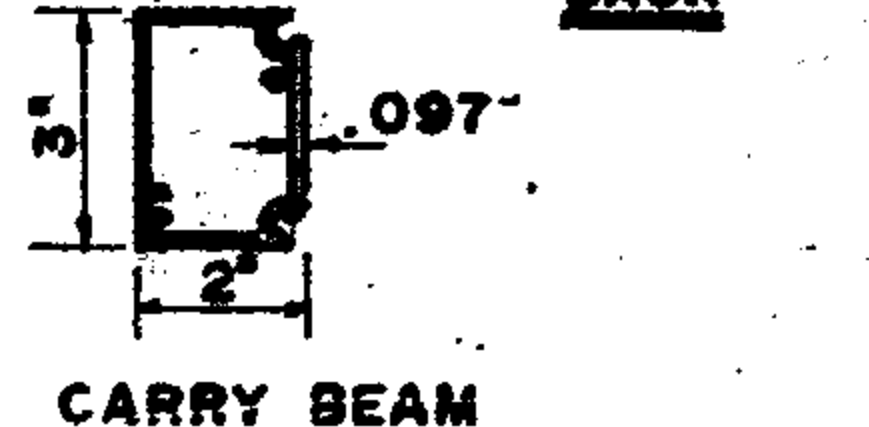
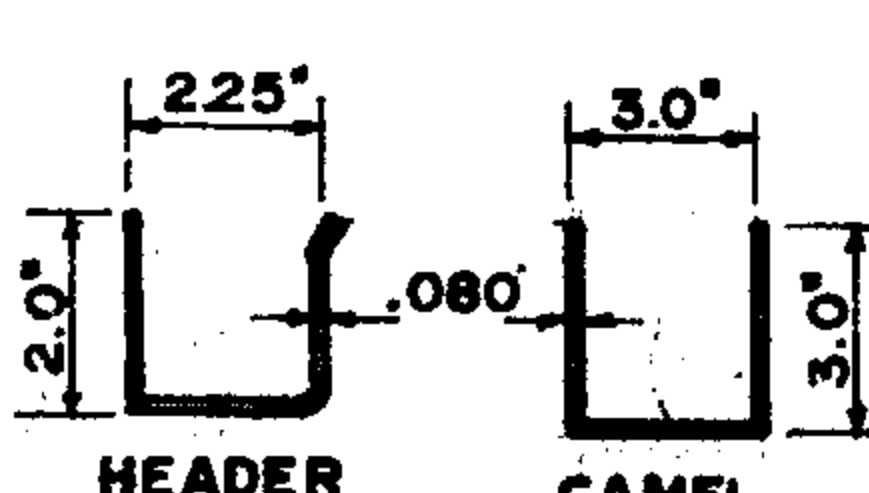
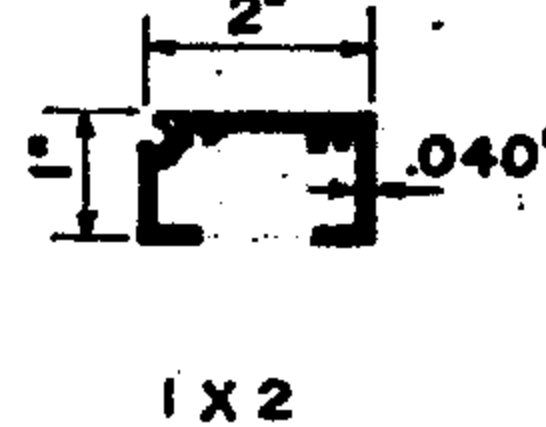
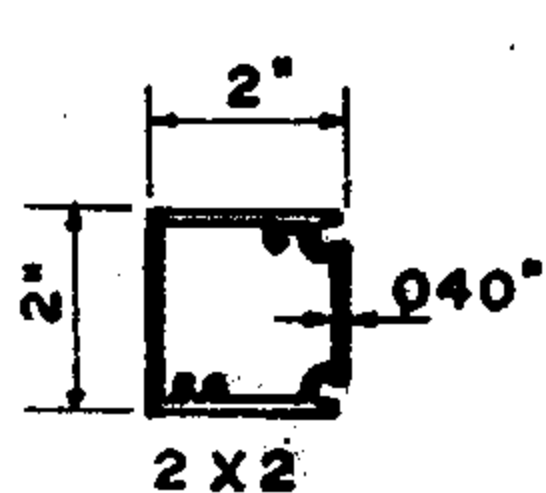
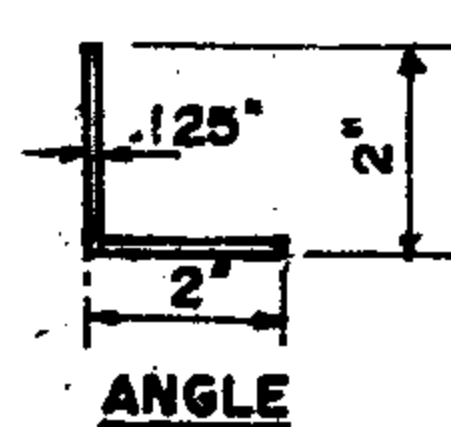
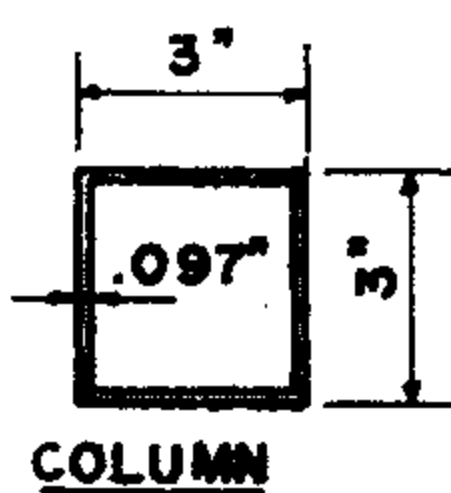
IT SHALL BE DETERMINED THAT THE EXISTING STRUCTURE CAN SAFELY SUPPORT THE LOADS IMPOSED BY THIS PATIO ROOF.



SECTION A-A



SECTION B-B



CARR SMITH & ASSOCIATES, INC.
CONSULTING ENGINEERS
CORAL GABLES, FLORIDA

D & D ALUMINUM INSTALLATION
5970 FUNSTON ST.
HOLLYWOOD, FLA. 33023
989-0692

NO.	DATE	REVISION	FILE NO.	73185
1	6/74	PANEL THICKNESS TO .027	DRAWN G.S.	SHEET NO.
2	6/74	ALTERNATE 1/2" BOLT COL. TO BEAM	DESIGN C.S.	1 OF 1
			CHECK K.N.	
			DATE OCT-73	

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019
Project Number: 224690

ASSESSMENT REPORT

PREPARED BY:

Cory Nelson, PE

DATE OF ASSESSMENT:

January 17th, 2023

DATE SUBMITTED:

January 27th, 2023



GREEN COASTAL ENGINEERING

11900 Biscayne Blvd, Suite 308
Miami, FL 33181

info@greencoastalengineering.com

(786) 583-5545 (office)

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019



Table of Contents

0.	INTRODUCTION	2
1.	BUILDING ONE.....	3
2.	BUILDING TWO.....	6
3.	BUILDING THREE	8
4.	BUILDING FOUR	10
5.	EXECUTIVE SUMMARY.....	13
6.	CONDITIONS AND ASSUMPTIONS	13

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019

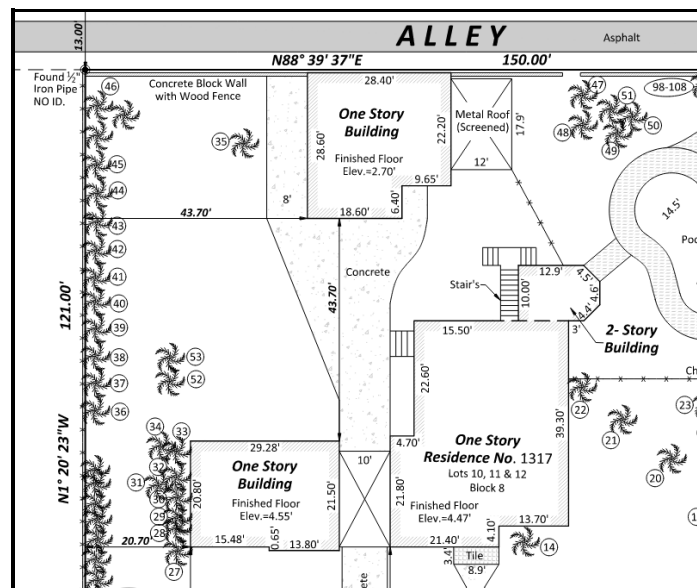


0. INTRODUCTION

Green Coastal Engineering (GCE) is pleased to submit this **Structural Assessment Report** for the structural assessment of the residential structures located at 1317 Harrison Street, Hollywood, FL. This assessment was performed by Cory Nelson, PE on January 17th, 2023. The project site consists of the following four structure types.

1. A one-story residential structure (616-sqft footprint)
2. A one-story residential structure (1,390-sqft footprint)
3. A two-story residential structure (164-sqft footprint)
4. A one-story garage (745-sqft footprint)

Detailed structure descriptions, observations, recommendations, and conclusions derived from our assessment are noted in the sections below.



Site Map

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019




1. BUILDING ONE

Photographs	Building One Description
 The 'Photographs' column contains three images. The top image is an exterior view of a white, one-story house with a tiled roof and a small arched window. The middle image shows the interior of the roof, featuring dark wooden trusses and rafters. The bottom image is a close-up of the foundation, showing a concrete wall with significant cracking and peeling material, revealing the underlying structure.	<p>Building one is a one-story, 616-sqft residential structure. The exterior walls are masonry load bearing walls supported on concrete wall footings and concrete piles. The floor system is a poured in place concrete slab and the roof system consists of timber trusses.</p> <p>Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas.</p>

STRUCTURAL ASSESSMENT


1317 Harrison Street,
Hollywood, FL 33019

Photographs	Observations & Recommendations
	<p><u>Item 1</u></p> <p>Observation: An exposed area of roof near the rear building exterior revealed deteriorated roof structure. Daylight can be seen penetrating through the roof in this area. Additional areas of the concealed roof were not inspected.</p> <p>Recommendation: The rotten and deteriorated portions of roof structure will need to be replaced or reinforced with new roof structure. Additional destructive investigation should be done to verify the extent of rot on the roof trusses at the exterior building edges. Removal and replacement of the roof will likely be required to facilitate repair and replacement of the deteriorated roof structure.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019





Photographs	Observations & Recommendations
	<p><u>Item 2</u></p> <p>Observation: The structure is heavily undermined due to settling of the mucky land around the building structure. Since the structure is constructed on concrete piles, the building has moved very little over time with respect to the surrounding land. This is evident by the large gap below the continuous wall footings which were originally cast directly on top of the earth. This observation is typical for buildings one, two, and three.</p> <p>It is also apparent that mass concrete has previously been placed below some areas of undermined foundations in an effort to restore soil bearing to the undermined foundations. However, the land has continued to settle this completion of this work.</p> <p>Recommendation: We recommend that additional underpinning and additional mass concrete be placed below the undermined areas of load bearing walls to restore structural bearing capacity to the undermined foundations. This type of repair work will likely be required on 10-25 year intervals as the mucky land continues to settle.</p>

STRUCTURAL ASSESSMENT


1317 Harrison Street,
Hollywood, FL 33019

2. BUILDING TWO

Photographs	Building Two Description
  	<p>Building two is a one-story, 616-sqft residential structure. The exterior walls consist of masonry load bearing walls supported by continuous concrete foundations on concrete piles. The floor and roof system consist of timber joist. Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas of foundation.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019

Photographs	Observations & Recommendations
	<p>Item 3</p> <p>Observation: The timber floor joists are adequately supported on the exterior load bearing walls due to the foundations being supported by concrete piles. However, the interior floor joists are improperly supported by masonry blocks and timber shoring. It is evident that shoring of the interior joists has been an ongoing issue, and will continue to be so.</p> <p>Recommendation: A new foundation structure with piles should be designed to adequately support the interior joists.</p>
NO PHOTO	

STRUCTURAL ASSESSMENT



1317 Harrison Street,
Hollywood, FL 33019

3. BUILDING THREE

Photographs	Building Three Description
  	<p>Building three is a two-story, 164-sqft footprint residential structure. The exterior walls consist of masonry load bearing walls supported by continuous concrete foundations on concrete piles. The ground floor is a concrete slab on grade with the second floor and roof consisting of timber joists. Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019

Photographs	Observations & Recommendations
	<p><u>Item 4</u></p> <p>Observation: An exposed area of second floor joist revealed a small amount of rotten timber near an exterior wall.</p> <p>Recommendation: All rotten timber will need to be replaced with new material. Additional destructive investigating should be done to verify the extent of rot in the floor system.</p>
	<p><u>Item 5</u></p> <p>Observation: Auxiliary structures surrounding building three are undermined due to the settlement of the surrounding mucky land. Concrete restoration work has been done below the stairs to restore the bearing on the soil, but the land has continued to settle relative to the pile supported structure.</p> <p>This phenomenon is also evident by the gap observed below the concrete slab surround the pool.</p> <p>Recommendation: The land around all three pile supported structures may continue to settle over the years, requiring foundation restoration work every 10-25 years, or removal and replacement of the mucky soil with compacted structural fill.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019

4. BUILDING FOUR

Photographs	Building Four Description
  	<p>Building four is a one-story garage structure with an attached entertainment area with a total footprint of 745-sqft. The entire structure is constructed with 2x timber framing. The garage floor is a concrete slab on grade and the entertainment areas floor system consist of timber framing constructed directly on grade with no waterproofing or other protective barrier.</p>

STRUCTURAL ASSESSMENT


1317 Harrison Street,
Hollywood, FL 33019

Photographs	Observations & Recommendations
	<p><u>Item 5</u></p> <p>Observation: The floor system in the entertainment area of building four was constructed directly on top of the earth, exposing it to insects and moisture. This has caused the floor system to rot and warp.</p> <p>Recommendation: The entire floor system needs to be removed and replaced with a new structure that is properly waterproofed. This will likely require the demolition and replacement of the entire structure.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019



Photographs	Observations & Recommendations
	<p><u>Item 6</u></p> <p>Observation: The entire garage structure is constructed with 2x timber framing. Timber structures are exceedingly rare in South Florida due to their inability to resist hurricane force winds.</p> <p>Overall, the garage portion of the structure is in good condition with no obvious signs of deterioration.</p> <p>Recommendation: N/A.</p>

STRUCTURAL ASSESSMENT

1317 Harrison Street,
Hollywood, FL 33019



5. EXECUTIVE SUMMARY

5.1. Building One

Building one is undermined and requires foundation restoration work to restore foundation surface bearing area. A minor amount of rot was observed in the roof trusses, requiring additional destructive investigation and roof truss replacement as required.

5.2. Building Two

Building two is undermined and requires foundation restoration work to restore foundation surface bearing area. Inadequate supports for the interior floor joists were observed, requiring installation of new structure capable of resisting land settlement.

5.3. Building Three

Building three and related auxiliary structures are undermined and require foundation restoration work to restore foundation surface bearing area. A minor amount of rot was observed in the second floor framing, requiring additional destructive investigation and joists replacement as required.

5.4. Building Four

The garage area is in good condition. The attached entertainment area floor system is constructed directly on grade without any protective barrier against the elements and should be demolished and replaced with a new structure.

6. CONDITIONS AND ASSUMPTIONS

- 6.1. GCE's findings and report are based on engineering judgment following typical industry standards.
- 6.2. This report is not intended or to be used as a guarantee or warranty.
- 6.3. GCE's observations are based on current conditions and no estimate of deterioration rate could be determined. Therefore, any time frames provided within this report should be adjusted if conditions change.
- 6.4. GCE shall not be held liable for any damage or loss resulting from the failure of inspected structures.
- 6.5. In providing estimates of probable construction cost, the Client understands that GCE has no control over the cost or availability of labor, equipment or materials, or over market conditions or the Contractor's method of pricing, and that GCE's estimates of probable construction costs are made on the basis of professional judgment and experience. GCE makes no warranty, express or implied, that the bids or the negotiated cost of the Project will not vary from GCE's estimate of probable construction cost.

Planning and Zoning Board
City of Hollywood
2600 Hollywood Boulevard,
Hollywood FL, 33022

**RE: CRITERIA STATEMENT(S) FOR APPLICABLE CRITERIA FOR HISTORIC PRESERVATION BOARD
AT 1313 Harrison St.**

Dear Planning and Zoning Board,

This firm represents Tiram Real Estate Enterprises LLC (the “Applicant”), owners of the lots located at 1313 Harrison St., (“Property”). Please consider this letter the applicant’s letter of intent in support of an application seeking a certificate of appropriateness for design for two new proposed residences of such lots mentioned above.

Property: The property is located at 1313 Harrison St. The lot is 9,080 square feet in size and is identified by the Broward County Property Appraiser by ID No. for 1313 Harrison St 514214011583. The property has an existing home constructed in 1925 encompassing both lots. A swimming pool was added in 1970, and a small addition in 1975. The design intent is to create a new modern home on each parcel.

Criteria Statement Analysis:

Certificate of appropriateness for design.

Integrity of Location:

The proposed design for the new residences meticulously adheres to all zoning setbacks and height requirements. As part of the design, we intend to preserve the historical tower portion of the original house. The tower will serve as a cabana/pool bath on the Ground Floor within the rear yard of the new house and as a studio connected to the new part of the residence on the 2nd Floor via a bridge. It is important to note that the tower will be visible from the street through a glass wall, and its presence becomes the central element of the new house design.

Setting:

The design of the proposed residences thoughtfully complements the existing street and neighborhood aesthetics. It represents a modern interpretation of a historic architectural style, incorporating fenestration architectural details facing Harrison St. Considering the presence of several other two-story homes along the street, the new design aligns harmoniously and comparably with the architectural character of the area.

Materials:

The construction of the proposed residences will utilize high-quality concrete blocks as the primary building material. The facade materials predominantly consist of stucco, simulated wood, exposed concrete, and other architectural claddings. The stucco will be painted in appropriate colors, while the steel cladding will boast a bronze finish. In compliance with safety standards, the residences will feature hurricane-impact doors and windows, allowing ample natural light and ventilation. Additionally, the inclusion of a swimming pool and luxurious landscaping will further enhance the property's appeal. It is worth mentioning that all selected materials are carefully chosen to be compatible with the architectural style prevalent in the neighborhood.

Workmanship:

Upon completion, the residences will be occupied by the client. Therefore, the utmost attention will be given to delivering the highest standards of workmanship and construction quality. The construction process will be carried out by licensed construction professionals and specialty craftsmen, ensuring that the workmanship meets or exceeds the established standards in the area.

Association:

Based on our thorough analysis, we firmly believe that this design proposal adheres to the Citywide Master Plan, the Comprehensive Plan, and the Hollywood Lakes Plan. The design aligns with the city's vision and goals, fostering a sense of harmony within the community.

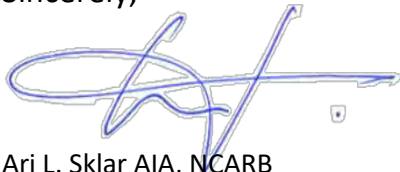
Design:

The proposed design of the residences is meticulously planned, thoughtfully combining modern and historic architectural elements. The resulting structures exhibit a dynamic and proportional appearance, while the interplay of masses, textures, and transparencies creates an aesthetically pleasing home for the neighborhood.

Conclusion.

This application meets all the standards of the City regulations. We look forward to your review and approval. If you have any questions or concerns, please do not hesitate to call us at 954 925-9292

Sincerely,

A handwritten signature in blue ink, appearing to read 'A. Sklar', with a stylized flourish extending to the right.

Ari L. Sklar AIA, NCARB
President

ARON TIRAM RESIDENCE #1

1313 HARRISON ST, HOLLYWOOD, FL

PROJECT PRELIMINARY RENDERING



DRAWING INDEX

ARCHITECTURE

- A0.0 COVER
- A0.1 MICROFILMS
- A0.2 EXISTING HOUSE PHOTOS
- A0.3 EXISTING HOUSE PHOTOS
- A0.4 HARRISON STREET PROFILE
- A0.5 FLOOR AREA PLANS
- A0.6 LOT COVERAGE PLAN
- A1.0 SITE PLAN
- A1.1 B&W SITE PLAN
- A2.0 GROUND FLOOR
- A2.1 2ND FLOOR
- A2.2 ROOF TOP PLAN
- A2.3 ROOF PLAN
- A3.0 SOUTH AND NORTH ELEVATIONS
- A3.1 EAST AND WEST ELEVATIONS
- A4.0 SECTIONS
- A10.0 SW RENDER
- A10.1 SE RENDER
- A10.2 NE RENDER
- A11.0 EXTERIOR FINISHES BOARD

LANDSCAPE

- L-200 TREE DISPOSITION PLAN
- L-210 LANDSCAPE PLAN AND DETAILS

CIVIL

- C1 EROSION & SEDIMENT CONTROL PLAN
- C2 PAVING, GRADING & DRAINAGE PLAN
- C3 FDOT DETAILS
- C4 WATER & SEWAGE PLAN & DETAILS
- C5 WATER & SEWAGE DETAILS

SURVEY

ZONING DATA

GENERAL	REQUIRED	PROPOSED
ZONING:	RS-6	
LAND USE:	LRES - RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE AE BFE 6' NAVD	7' NAVD
HEIGHT:	2 STORIES (30 FT)	2 STORIES + ROOFTOP 30'
LOT SIZE:	9,075 SF	
MIN. LOT WIDTH	60 FT	75 SF
MIN. UNIT SIZE	1,000 SF	4,148 SF
LOT COVERAGE		3,145 SF
LANDSCAPE AREA	40% = 3,698 SF	45% = 3,857 SF
FRONT LANDSCAPE AREA	20% = 375 SF	57% = 1,070SF
PERVIOUS AREA		3,857 SF
IMPERVIOUS AREA		5,218 SF
A/C AREA GROUND FLOOR		1,812 SF
A/C AREA SECOND FLOOR		2,336 SF
SETBACKS		
FRONT	25'-0"	26'-7"
SIDE	SUM OF SIDEYARDS 25% OF LOT WIDTH NO LESS THAN 7.5' LOT WIDTH 75' - 25% REQ SETBACK: 18.75'	WEST 10' - 10" + EAST 8' - 2" = 19'
REAR	15% OF LOT DEPTH 50' MAX. NO LESS THAN 15' 121' X 15% : 18 - 3"	18'-3"
PARKING		
	2 SPACES UP TO 2,000SF + 1 SPACE PER 500 SQ. FT ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT TOTAL A/C AREA : 4,148 SF : 5 SPACES REQUIRED.	5 PARKING SPACES

SCOPE OF WORK

NEW 2 STORY + ROOFTOP RESIDENCE

A/C AREA 4,148 SF

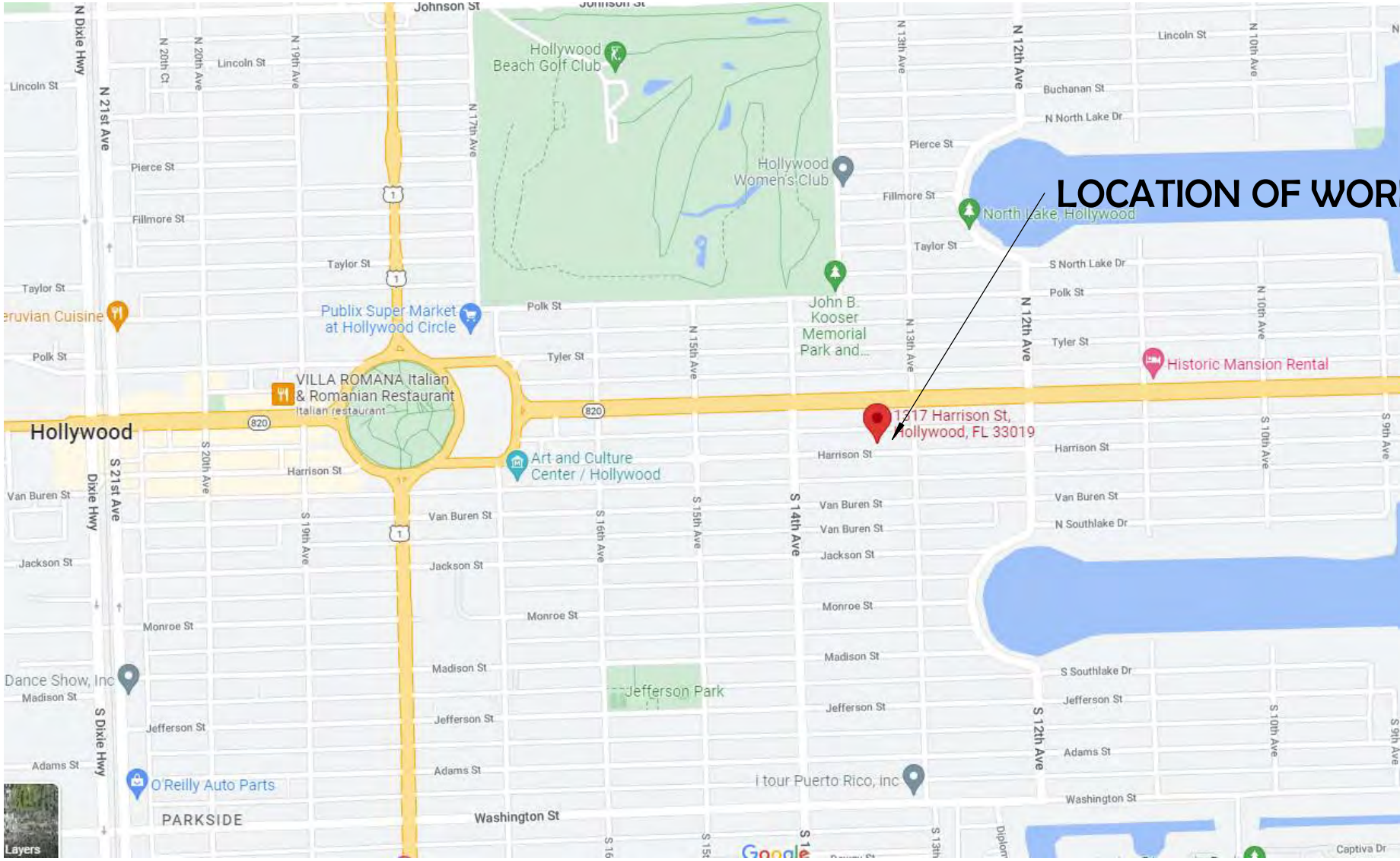
LEGAL DESCRIPTION

FOLIO #: 514214011581

ADDRESS: 1313 HARRISON ST HOLLYWOOD, FL 33019

LOTS 10, WEST OF LOT 11 IN BLOCK 8 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1 AT PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOCATION MAP



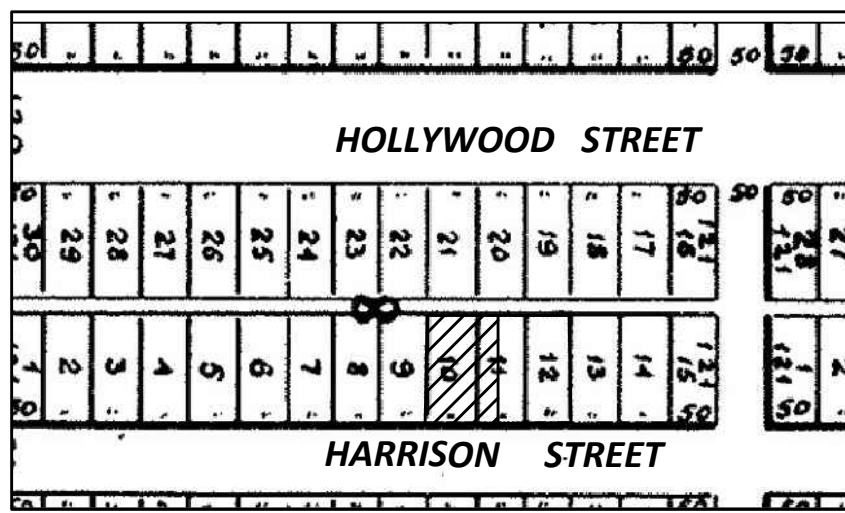
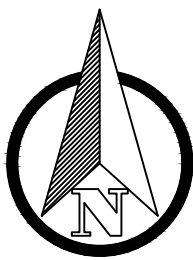
SCALE: N.T.S.



ZONING DATA
1/4" = 1'-0"

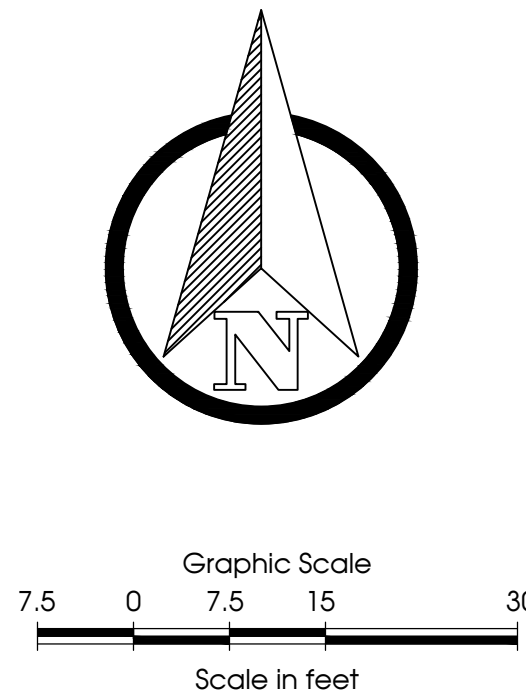
LOCATION MAP

N.T.S.



ALTA/NSPS LAND TITLE SURVEY

Scale: 1" = 15'



LEGAL DESCRIPTION:

LOTS 10, WEST ½ OF LOT 11 IN BLOCK 8 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1 AT PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Properties Address: 1313 HARRISON STREET HOLLYWOOD, FL 33019

Folio No.: 5142 14 01 1580

- This survey has been prepared for the exclusive use of the entities named hereon and the certification hereon does not extend to any unnamed party.
- Record and Measurement calls are in substantial agreement, unless noted otherwise.
- If bearings shown they are based on: **HARRISON STREET**, Being **S89° 39' 37"W**
- The following language (Items 3,6,7 and 8) is provided by Old Republic National Title Insurance Company.
COUNTY-WIDE LAND SURVEYORS INC. has included as requested by Old Republic National Title Insurance Company.
- The expected use of the land, as classified in the Minimum Technical Standards (61G17 - 6 FAC), is "Suburban Class Survey". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 7,500.00 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- The subject property is located within a Flood Hazard Area as defined by a Federal Insurance Administration, Community Panel No. 125113-0569 Suffix "H" Flood Zone "AE", Base Elevation:6.00'. Map Date: August 18, 2014.
- Building Area= 9075 Sq. Ft. at ground level.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, and 7(a),(b) of Table A thereof.

The field work was completed on July 23, 2023.

This Survey conforms to the minimum requirements of the applicable state land title association, including, but not limited to, requirements for the removal of Survey and other applicable exceptions contained within the standard American Land Title Association Mortgage Title Insurance Policy.

This Survey was prepared from dimensions taken upon a physical inspection and measurement of the Property.

Date of Map: 07/26/2023

Joseph L. Martin.
Professional Surveyor & Mapper No. 4368
State of Florida

SURVEYOR'S CERTIFICATE:

We hereby certify to:

- TIRAM REAL ESTATE ENTERPRISES LLC
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

- that the survey represented herein is an accurate survey of all of the real property legally described herein and in Title Commitment issued by the underwriter as Commitment File Number: OF6-8948990 of OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, effective 10/18/2021, as the same may be amended or modified (the "Title Commitment");
- that the within survey properly and accurately indicates and locates all improvements on the real property as of the date of the survey;
- that the within survey was prepared under the direct supervision and control of the undersigned from an actual survey made of the real property legally described herein;
- all utility services shown on the survey either enter the property through the adjoining public streets or, if they pass through or are located on private land, do so in accordance with easements inuring to the owner of the property;
- the property is located in an area designated as a special flood hazardous area by the U.S. Department of Housing and Urban Development, and lies in ZONE "AE", Base Elevation: 6.00'. Map Date: August 18, 2014;
- that the within survey complies with all applicable Florida laws

(g) that the within survey meets the Minimum Technical Standards of the Florida State Board of Land Surveyors set for in Florida Administrative Code, Chapter 5J - 17 and any other requirements of the underwriter. That appear on said Title Commitment.

(h) The following language (Items 6 & 8) is provided by Old Republic National Title Insurance Company. COUNTY-WIDE LAND SURVEYORS INC. has included as requested by Old Republic National Title Insurance Company.

The Survey properly designates and locates all visible or recorded easements, rights-of-way and restricted areas as of the date of the Survey and areas affected by other matters. As per Title Commitment Old Republic National Title Insurance Company, Schedule B, Part II (Exceptions), Items:

6. Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the Land(s) insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands..(Does not Affect/ Not Plotted)

7. All matters contained on the Plat of HOLLYWOOD LAKES SECTION, as recorded in Plat Book 1, Page 32, Public Records of Broward County, Florida..(Affect/ Plotted).

Zone: RS-6 - RESIDENTIAL INCOME (GENERAL/MULTI-FAMILY)

This parcel has a historic designation which may have more restrictive development regulations. Please contact the City of Hollywood directly for more information.

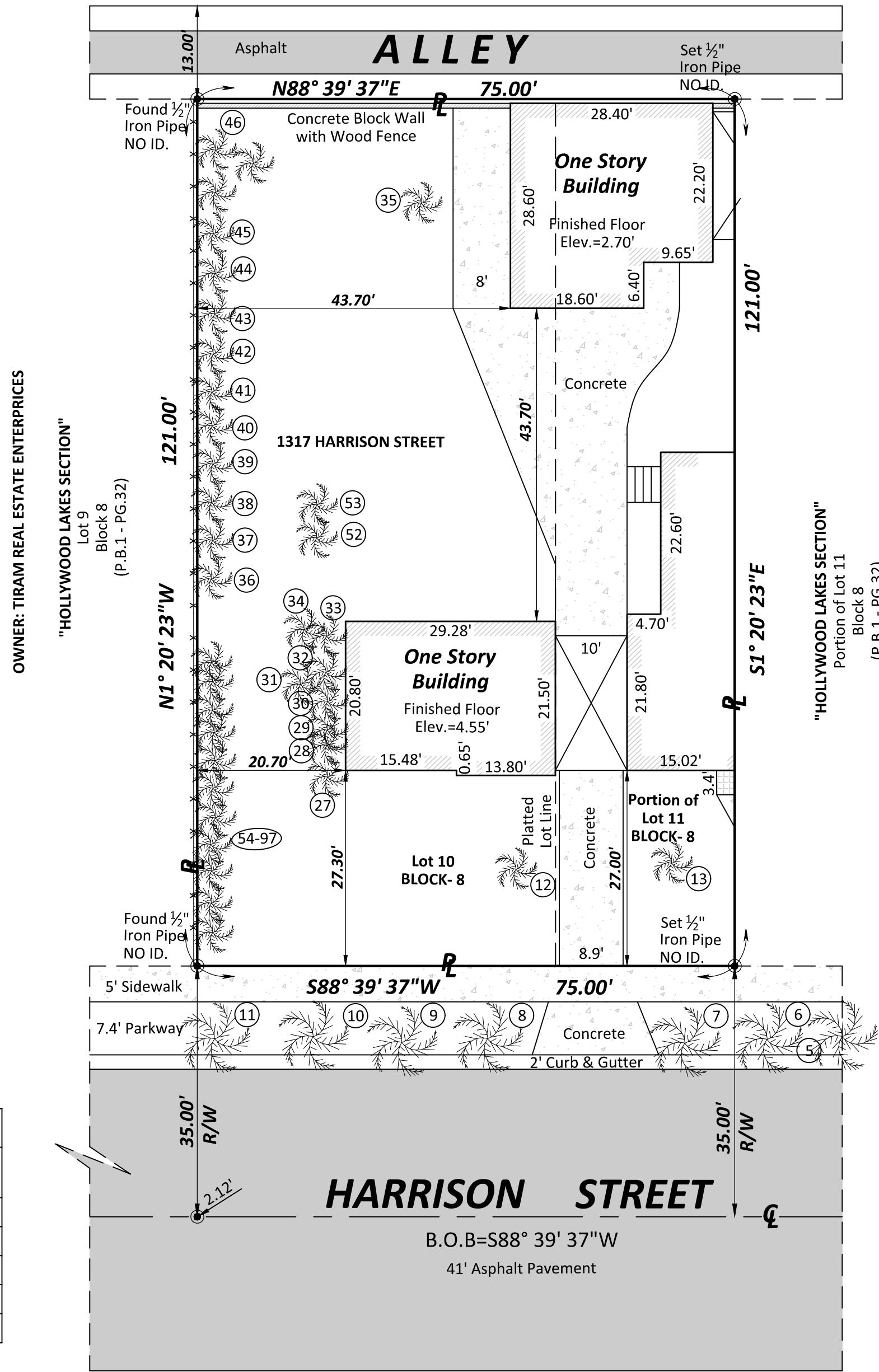
Maximum Building Height: Except for mixed-use development, the maximum height of a building shall be two stories and shall not exceed 30 feet in height

Minimum Building Setbacks:

- Minimum Primary Frontage Setback - 25.00 feet
- Minimum Secondary Frontage Setback -N/A
- Minimum Side Setback:: 20.00 feet
- Minimum Rear Setback: 18.22 feet

All zoning and site restrictions information obtained per Hollywood Zoning Map

TREE TABULATION				
No.	NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT
1-51	Royal Palm	1.3'	20'	45'
52-53	Cabbage Palm	0.8'	20'	30'
54-97	Palm	0.6'	20'	25'
98-108	Christmas Palm	0.6'	20'	25'
109-121	Palm	0.3'	10'	20'



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSEPH L. MARTIN, P.S.M. #4368 ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

2nd BENCHMARK INFORMATION:

BENCHMARK INFORMATION: REED BM 1315: ELEVATION: 3.268'

THIS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL PRESENT

ELEVATION NOTE: (IF REQUESTED AND SHOWN):

1. Elevations are referred to the National Geodetic Vertical Datum 1929.

CERTIFICATION:

COUNTY-WIDE LAND SURVEYORS INC.

LAND SURVEYORS-PLANNER

15358 S.W. 15th STREET, FL 33196

PHONE: (305) 772-0706

BY: JOSEPH L. MARTIN

PROFESSIONAL SURVEYOR #4368

STATE OF FLORIDA

ADDRESS: 1313 HARRISON STREET HOLLYWOOD, FL 33019.

CHECKED BY: Joseph L. Martin

DRAWN BY:

SCALE: 1" = 15'

FLOOD ZONE INFORMATION:

HOLLYWOOD: CITY OF 125113

COMMUNITY MAP 12011C

MAP REVISED 08/18/2014

FLOOD ZONE 0569

FLOOD ZONE AE

BASE FLOOD ELEVATION 6.00'

SUFFIX H

SHEET:

1

OF 1 SHEET(S)

DATE:

07/26/2023

PROJ. No:

230136

FLORIDA MASTER SITE FILE
Site Inventory Form

EDAHM 802 = 1000 =

Site Name: Edwin R. Cross Residence 830 = Site No. 820 =
Address of Site: 1317 Harrison Street, Hollywood, Florida 805 =
Instruction for locating on the N. side of Harrison St. between 13th and 14th Ave. 813 =
Location: Hollywood Lakes Section 1-32 n 8 10, 11, 12 868 =
County: Broward 808 =
Owner of Site: Name: Melina Yonich 810 =
Address: 1317 Harrison Street 810 =
Type of Ownership: Private 848 = Recording Date 832 =
Recorder: Name & Title: Marilyn Kemper, Director 810 =
Address: Historic Broward County Preservation Bureau 1500 Tyler Street, Hollywood, Florida 33020 818 =
Condition of Site: Integrity of Site: Original Use: Residence 838 =
Check one: ☐ Existing 803 = ☐ Altered 806 = Present Use: Residence 850 =
☐ Good 804 = ☐ Unimproved 804 = Date: Beginning 01/25 844 =
☐ Fair 805 = ☐ Original Site 805 = Cultural Phase: American 840 =
☐ Deteriorated 803 = ☐ Restored 809 = ☐ Y 1898 = Period: Twentieth Century 845 =
NR Classification Category: Building 816 =
Threats to Site: Check One or More: ☐ Zoning: Y 1878 = ☐ Transportation: X 1878 =
☐ Development: Y 1878 = ☐ Fire: X 1878 =
☐ Deterioration: Y 1878 = ☐ Damage: X 1878 =
☐ Pollution: X 1878 =
All Other Threats: Unknown 818 =
Area of Significance: Historical, Streetscape, Other 910 =
Significance: HISTORICAL: c1925: As indicated on "Building Cards, Broward County Property Appraiser's Office."
STREETSCAPE: One of a series of residences on Harrison St. between 13th and 14th Ave. Establishes a definite character, but the site is too dispersed to form a district. However, neighborhood conservation is recommended.
OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.
Additional Statement of Significance attached. 911 =

ARCHITECT: Unknown 872 =
BUILDER: Unknown 874 =
STYLE AND/OR PERIOD: Mediterranean Revival 954 =
PLAN TYPE: Irregular; unknown 966 =
EXTERIOR FABRIC(S): Stucco; unknown 854 =
STRUCTURAL SYSTEM(S): Masonry; concrete block 958 =
PORCHES: Unknown
FOUNDATION: Pier; concrete block, unknown 942 =
ROOF TYPE: Flat, built-up 942 =
SECONDARY ROOF STRUCTURE(S): Gable 942 =
CHIMNEY LOCATION: NA 942 =
WINDOW TYPE: Slit, metal, paired 942 =
CHIMNEY: NA 882 =
ROOF SURFACING: Built-up 882 =
ORNAMENT EXTERIOR: 952 = NO. OF STORIES: 1 950 =
NO. OF CHIMNEYS: NO. OF DORMERS: 954 =
Map Reference (incl. scale & date): 8005 Ft. Lauderdale South, Fla. 809 =
Latitude and Longitude: 800 =
Site Size (Approx. Acreage of Property): LT 1 833 =
LOCATION SKETCH OR MAP: Township 53S Range 42S Section 14 812 =
UTM Coordinates: 17 586600 2876980 890 =
Photographic Records Numbers: R18/P25 890 =
Contact Print: 811 =

Statement of Significance:

HOLLYWOOD, CITY OF
1317 Harrison Street
HOLLYWOOD HERALD, April 1, 1932
"Coffee King Is Purchaser of a Hollywood Home"
Sales this week included a lot in the Lakes section and also the beautiful home of Spanish architecture at 1317 Harrison Street owned by Edwin R. Cross. This property was sold for cash to William T. Rich of Weymouth, Massachusetts who in former years was a guest at the Beach Hotel after introduction to Hollywood through his friendship with W. J. Cozens of W. J. Cozens Realty. He had prior to that wintered for several years at the Royal Palm Hotel in Miami.
Until recently, Mr. Rich was president of the Chase and Sanborn Coffee Company with headquarters in Boston and Chicago. He is well known throughout the eastern states as one of the outstanding laymen of the Methodist Episcopal Church.
Mr. Rich plans to make Hollywood his future permanent winter home and is having the Harrison Street property and adjacent lot landscaped and redecorated under the supervision of Cozens.



Page 1 HISTORICAL STRUCTURE FORM
FLORIDA SITE FILE

Site Name: EDWIN R. CROSS RESIDENCE
Recorder # 0
Field Date: 1/1/96
Form Date: 1/5/96
Survey: No Original
Multisite: Yes Update
National Register Category: BUILDING
Survey #: 88D00498
LOCATION AND IDENTIFICATION
Address (include N.E.W. st. ave. etc.): 1317 HARRISON ST
Cross Streets (nearest/between): 13 AND 14 AVE
Nearest City/Town: HOLLYWOOD Within City Limits: Yes
County: BROWARD Tax #: 514214011590
Subdivision Name: HMD LAKES 1-32B Block 9 Lots 10, 11, 12
Ownership: PRIV-INDV
Name of Public Tract (e.g., park):
Route To: N SIDE OF HARRISON ST

MAPPING

USGS Map Name: FT LAUD SOUTH 1982 PR 1989
Township: 51 Range: 42 Sect: 14 1/4 SW 1/4 1/4 NW Irreg. Sect: 7 No
UAT ZONE (18 OR 17): 17 Easting 586640 Northing 2876980
Landmarks:
Plot or Other Map (Map's name, location): HMD LAKES 1-32B

DESCRIPTION

Style: MISSION Exterior Plan: IRREGULAR No. Stories: 1
Structural Systems: MASONRY; CONCRETE BLOCK
Foundation Types: PIERS Materials: CONCRETE BLOCK
Exterior Fabrics: STUCCO
Roof Types: GA FLAT, SHED
Secondary Slopes (dormers etc.): NONE Materials: BARREL TILE
Chimney: No. 1 Materials: STUCCO Locations: WEST, OFFSET, INTERIOR
Windows: Types: AWNING 1; GLASS BLOCK Materials: ANODIZED ALUM
Main Entrance (stylistic details): QUONED STUCCO ENTRYWAY
Open Porches: 0 Closed: 0 Incised: 0 Locations: NONE
Porch Roof Types:
Exterior Ornament: TICI, STUC
Interior Plan: UNKNOWN Condition: FAIR
Surroundings: ARIES
Ancillary Features: GRGE-REAR, PER, WALL, POOL
Archaeological Remains at Site: NONE-NA

NARRATIVE: (eg description of interior, landscape, architecture, etc. 250 character limit).
SCULPTERS AND A ROW OF BARREL TILE ENHANCING THE FLAT ROOF LINE ADD TO THE INTEGRITY OF THIS MISSION STYLE HOUSE. ADDITIONAL FEATURES INCLUDE A RECESSED POOL WINDOW IN A SEGMENTED ARCH; PORTE-COCHERE; DEC STONE SILL; TICI PARAPET; AND ELAB CHIMNEY.

Page 2 HISTORICAL STRUCTURE FORM
HISTORY

Construction Date: 1925
ARCHITECT (Type name first): UNKNOWN CIRCA: Yes
BUILDER (last name first): UNKNOWN
Moves: No Date: Nature: WINDOWS, ROOF
Alterations: Yes Date: Nature:
Additions: Yes Date: Nature:
Original Use (give dates): RESIDENCE From To
Intermediate Uses (give dates): RESIDENCE From To
Present Uses (give dates): RESIDENCE From To
OWNERSHIP HISTORY:
HMD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME". ACCORDING TO THIS PUBLICATION EDWIN GLOSS SOLD THIS PROPERTY TO WILLIAM T. RICH OF CHASE AND SANBORN COFFEE CO ON THIS DATE. STATEMENT ATTACHED.

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

No: Archaeological survey/seeing Yes: Tax records only Yes: Library research-local Yes: Subdivision maps
No: Exposures inspected, informal No: Interior inspection Yes: Library special collection Yes: Sanborn maps
No: Controlled archaeological surf collect Yes: FMSP survey search Yes: Building permits Yes: Paid maps
No: Archaeological form completed Yes: FMSP site search Yes: Demolition permits No: Newspapers
No: Public Lands Survey No: FL Archives (Gray BG) No: Commercial permits No: Occupant interview
No: Tax records/property deeds No: FL Photo Archives No: Occupation permits Yes: Neighbor interview
No: other (Specify):

SURVEYOR'S EVALUATION OF SITE

Potentially eligible for local designation? Yes
Individually eligible for National Register? No Category: HP00-2
Potential contributor to National Register district? No
Historical Associations: ARCHITECTURE
Explanation of Evaluation:
BLDG DATES FROM EARLIEST CONSTRUCTION PERIOD IN HMD AND IS AN EXAMPLE OF MISSION STYLE WHICH FEATURES INCLUDE FLAT ROOF WITH STRAIGHT OR CURVED PARAPETS, EDGED WHITE OR RAISED MOLDING, AND USE OF SCULPTERS, STUCCO AND ARCHES.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use continuation sheet, give FSP Manuscript # if relevant):
C1925: AS INDICATED ON "BUILDING CARDS, BROWARD COUNTY PROPERTY APPRAISER'S OFFICE", HMD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME". STATEMENT ATTACHED.
Location of negatives + negative numbers: 88D0498/FRAME 51
NOTE: For computer entry on "Structure" please refer to the REPOSITORY section to input information on photographs.

RECORDER

Recorder Name: NPE, FRANCES
Recorder Address: 2600 HMD BLVD, HMD, FL 33020-9045
Recorder Phone: 954-923-2471
Attention: COM PLAN DIV, CITY OF HMD

Page 3 HISTORICAL STRUCTURE FORM
ADDITIONAL INFORMATION

OWNERSHIP HISTORY: HOLLYWOOD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME". SALES THIS WEEK INCLUDED A LOT IN THE LAKES SECTION AND ALSO THE BEAUTIFUL HOME OF SPANISH ARCHITECTURE AT 1317 HARRISON STREET OWNED BY EDWIN R. GLOSS. THIS PROPERTY WAS SOLD FOR CASH TO WILLIAM T. RICH OF NEWTON, MASSACHUSETTS WHO IN FORMER YEARS WAS A GUEST AT THE BEACH HOTEL AFTER INTRODUCTION TO HOLLYWOOD THROUGH HIS FRIENDSHIP WITH W. J. COZENS OF W. J. COZENS REALTY. HE HAD PRIOR TO THAT WINTERED FOR SEVERAL YEARS AT THE ROYAL PALM HOTEL IN MIAMI. — UNTIL RECENTLY, MR. RICH WAS PRESIDENT OF THE CHASE AND SANBORN COFFEE COMPANY WITH HEADQUARTERS IN BOSTON AND CHICAGO. HE IS WELL KNOWN THROUGHOUT THE EASTERN STATES AS ONE OF THE OUTSTANDING LAYMEN OF THE METHODIST EPISCOPAL CHURCH. — MR. RICH PLANS TO MAKE HOLLYWOOD HIS FUTURE PERMANENT WINTER HOME AND IS HAVING THE HARRISON STREET PROPERTY AND ADJACENT LOT LANDSCAPED AND REDECORATED UNDER THE SUPERVISION OF COZENS.

BIBLIOGRAPHIC REFERENCES: "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME", HOLLYWOOD HERALD, APRIL 1, 1932.

Historic Properties: Harrison Street

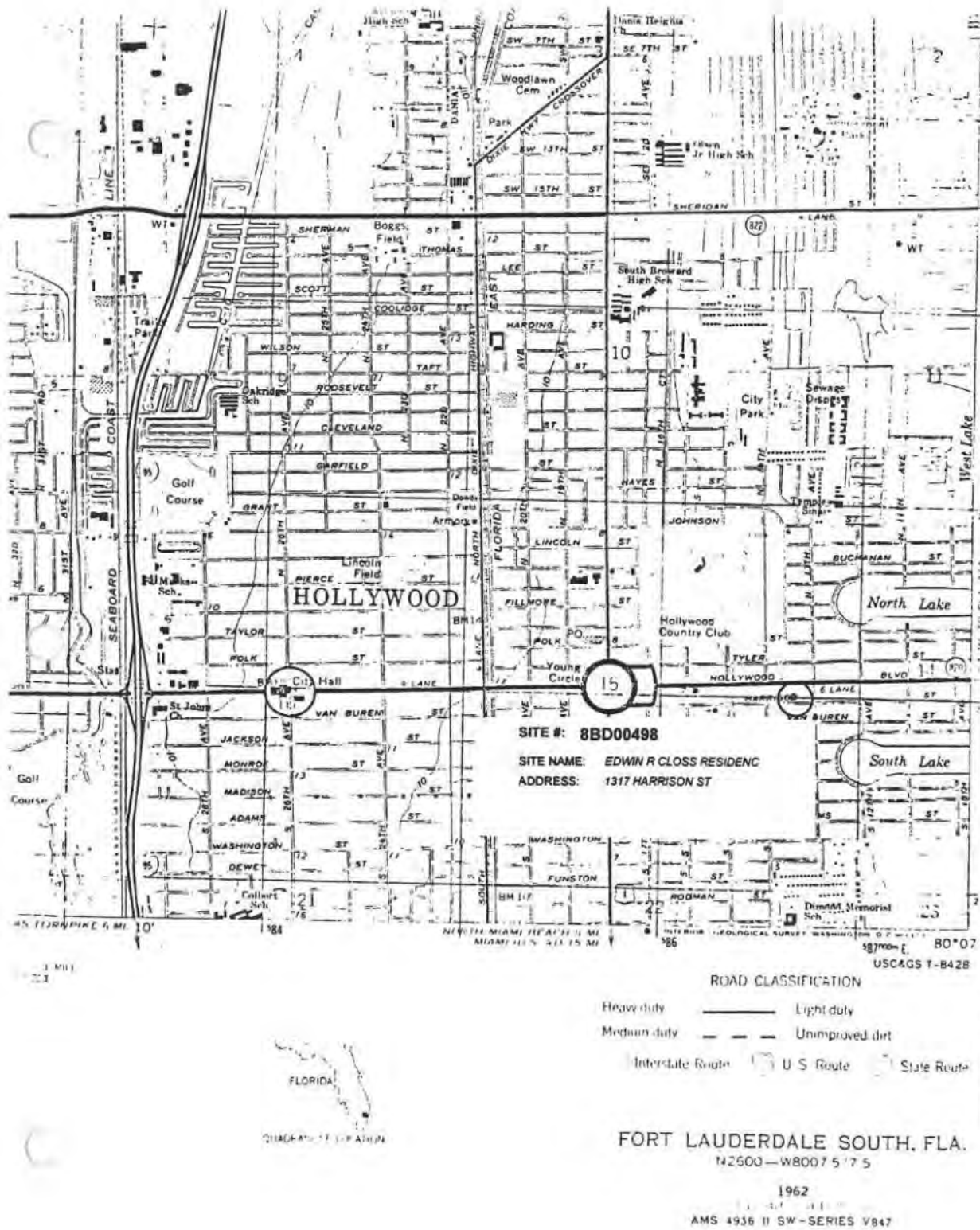


1317 Harrison Street Mission Style c. 1925
A porte cochere adds integrity to this Mission Style house. The windows have been altered.

Historic Properties: Harrison Street



1317 Harrison Street Mission Style c. 1925
A porte cochere adds integrity to this Mission Style house. The windows have been altered.





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EXISTING HOUSE

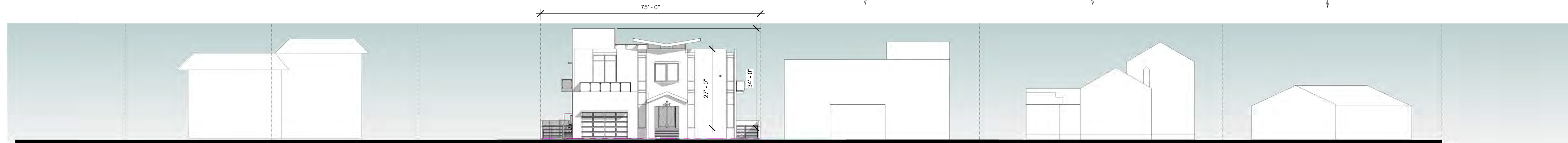
1329-25 HARRISON ST

1313 HARRISON ST
PROP. HOUSE 1

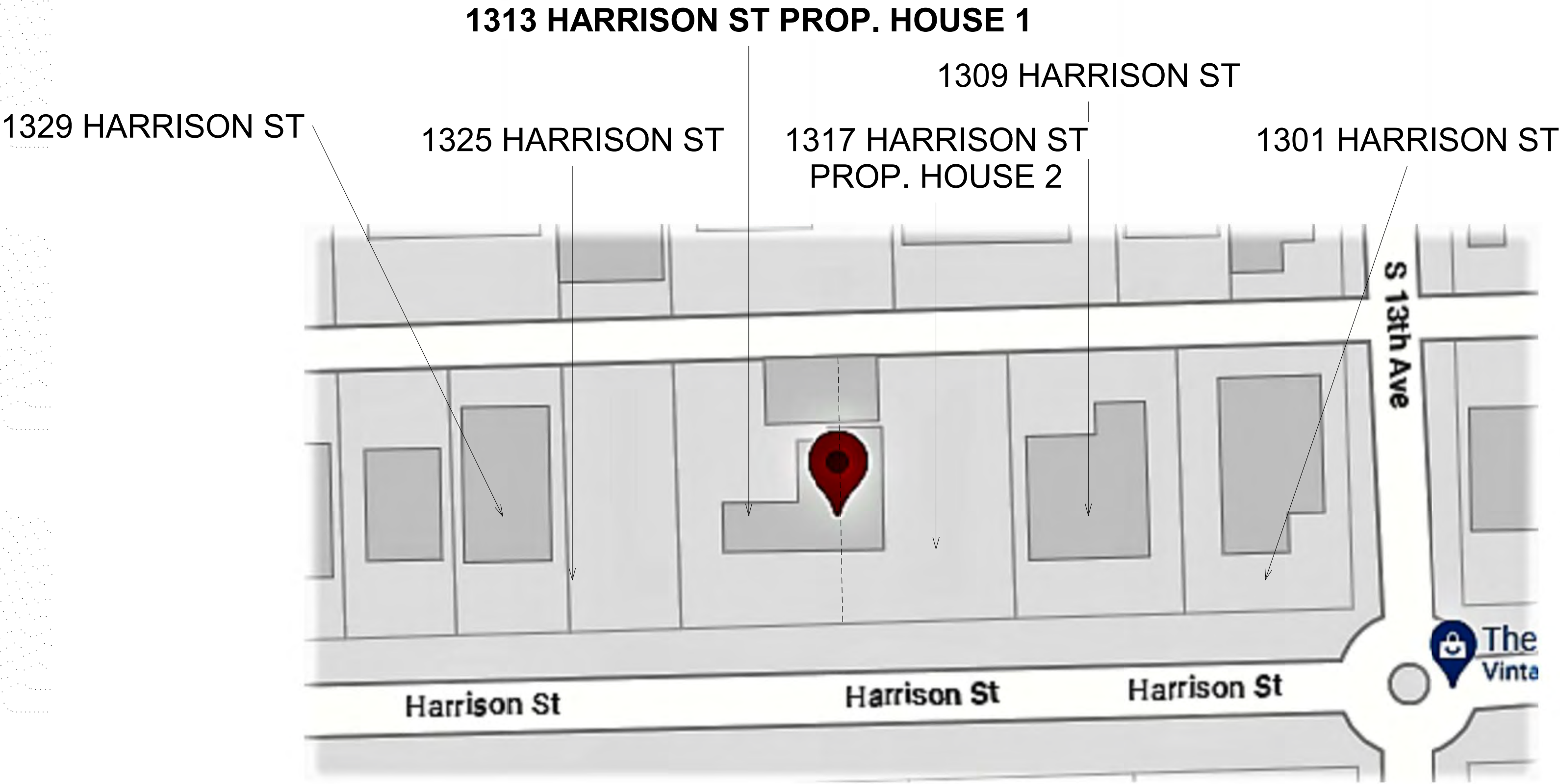
1317 HARRISON ST
PROP. HOUSE 2

1309 HARRISON ST

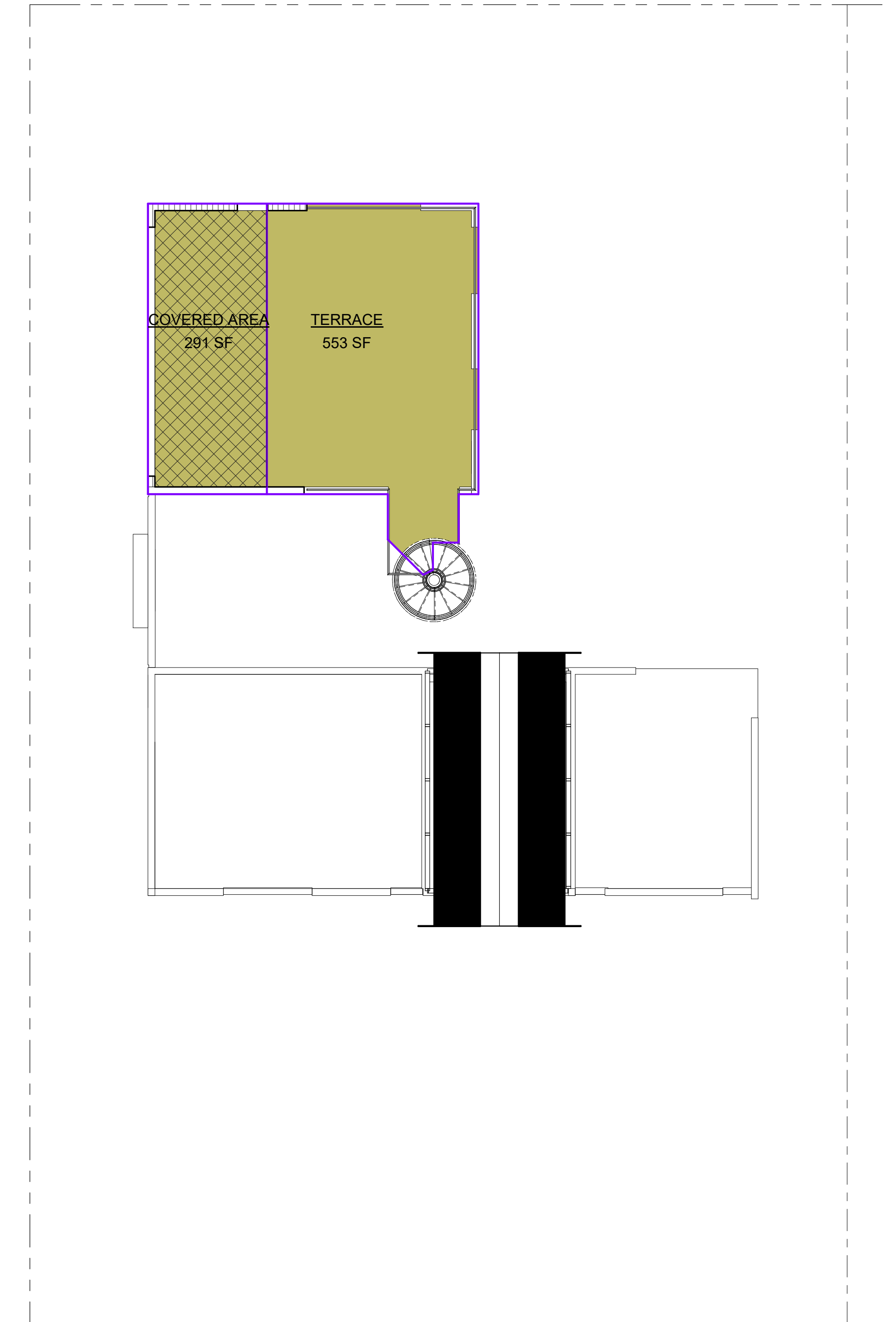
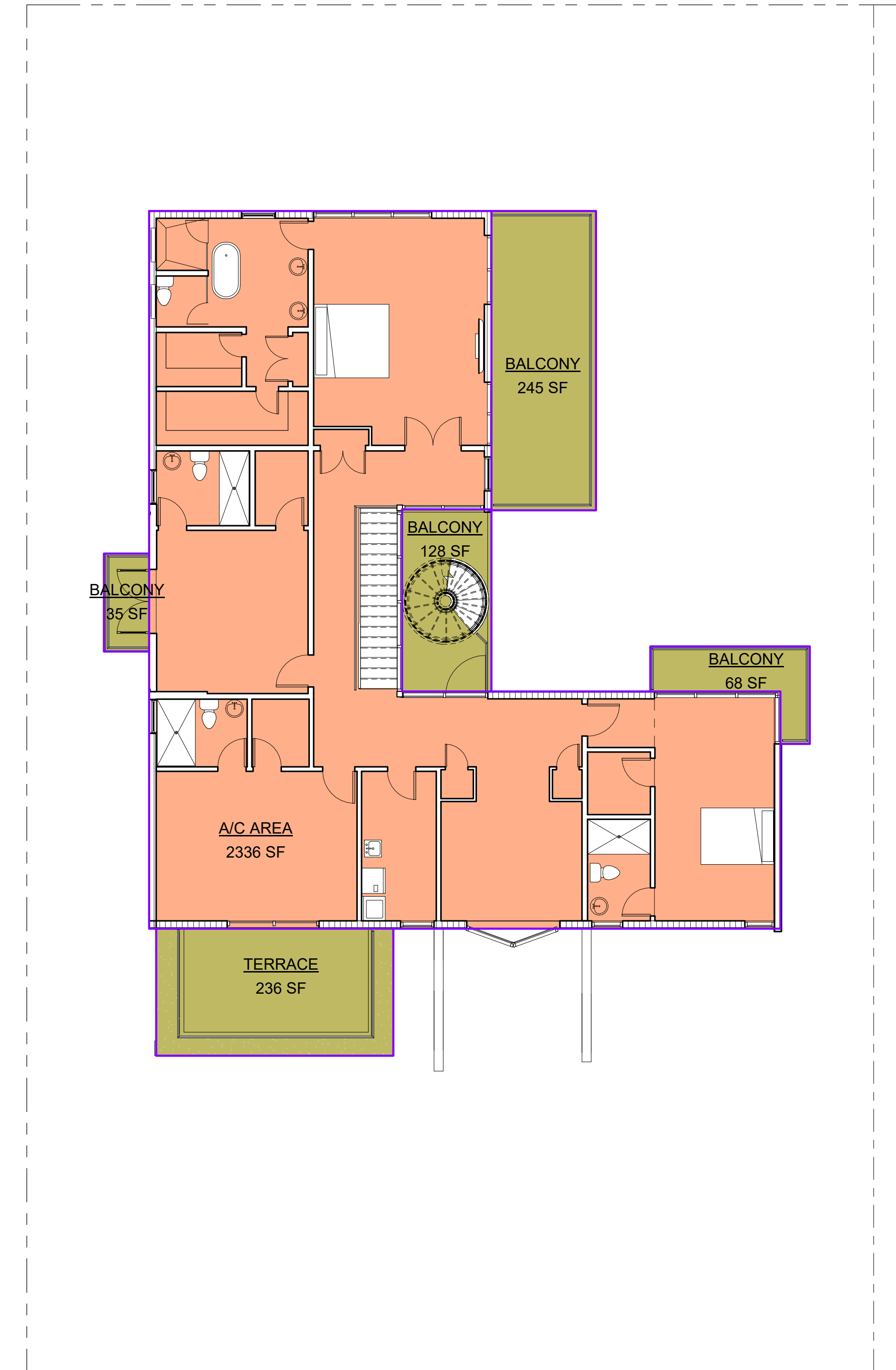
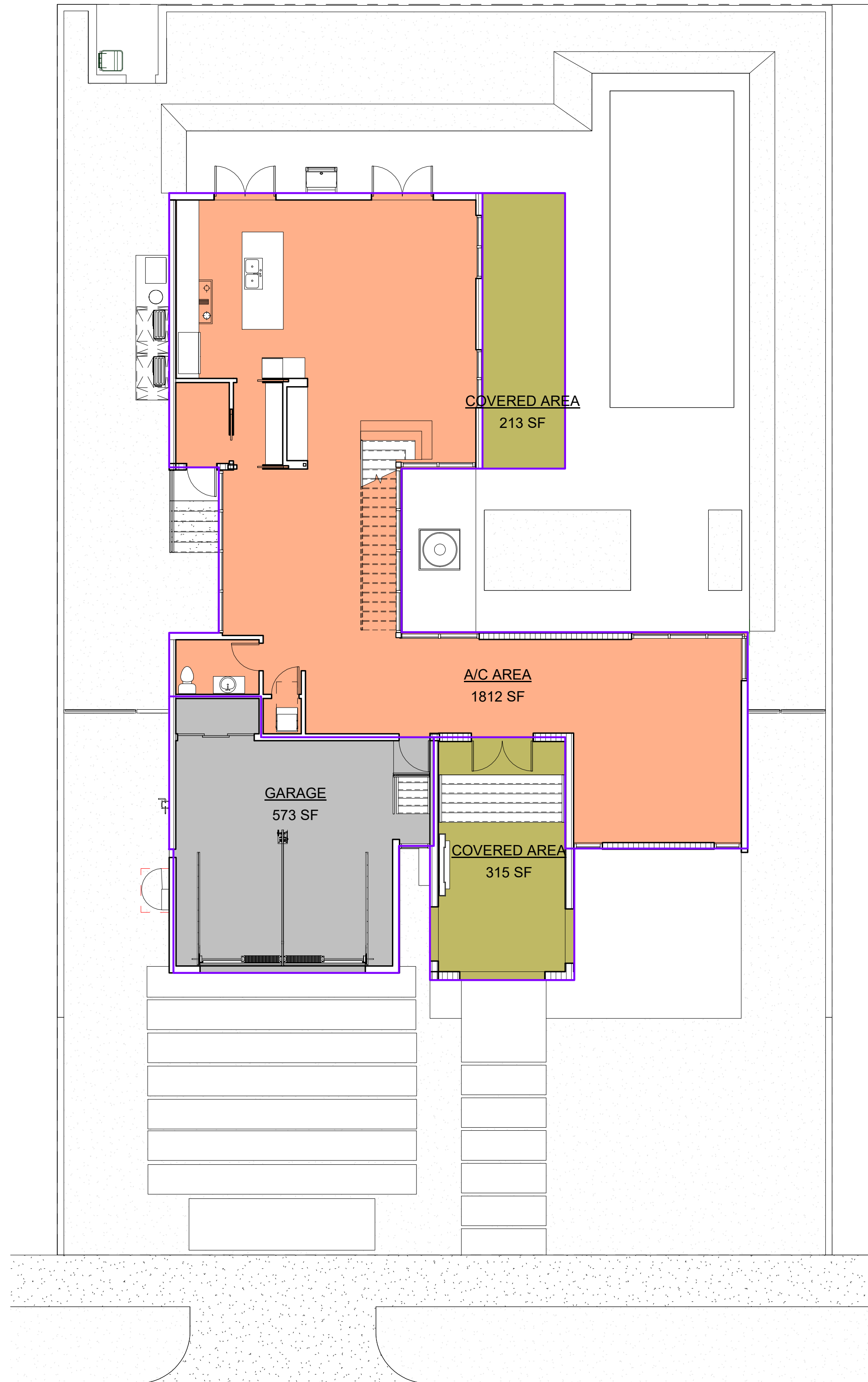
1301 HARRISON ST



① HARRISON STREET PROFILE
1/16" = 1'-0"



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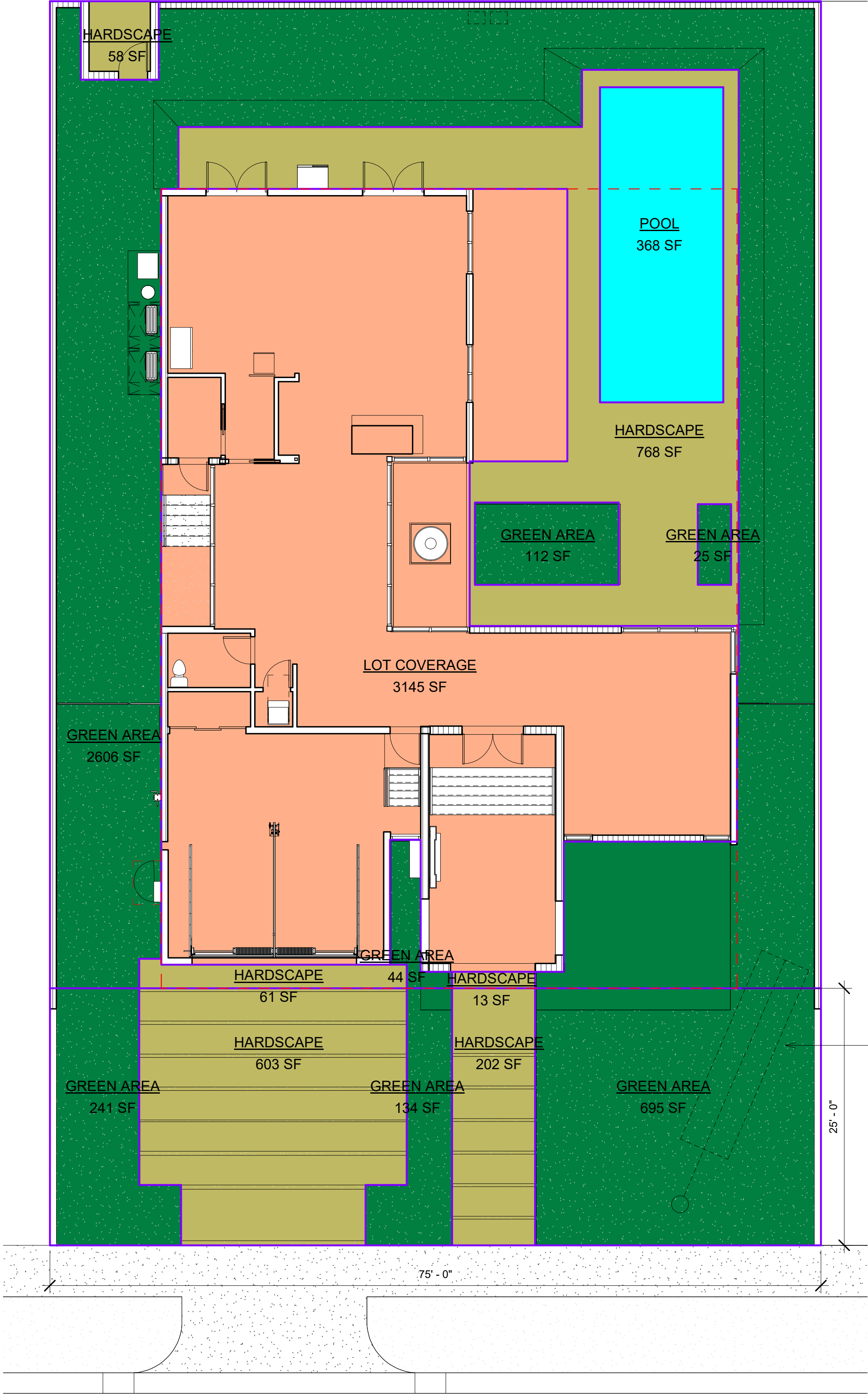


TIRAM RESIDENCE 1
1313 HARRISON ST HOLLYWOOD FL.

FLOOR AREA PLANS

Project #22-018

A0.5



PERVIOUS AREA	3,857 SF
IMPERVIOUS AREA	5,218 SF
LOT COVERAGE	3,145 SF

FRONT YARD 20% REQUIRED LANDSCAPE

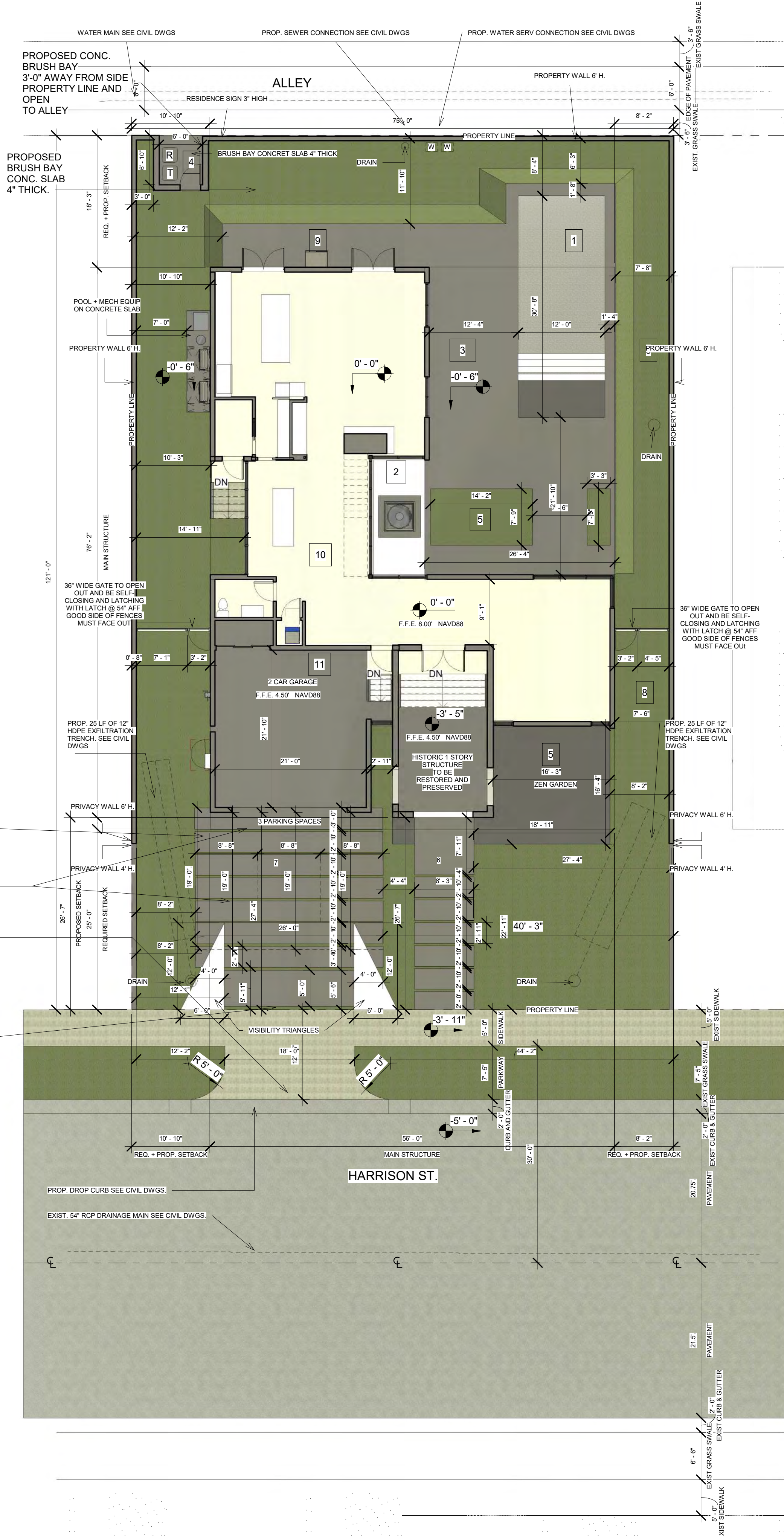
FRONT YARD AREA 75' X 25' = 1,875 SF

1,875 SF X 20%= 375 SF REQUIRED LANDSCAPE

57% 1,070 SF PROPOSED LANDSCAPE

1 SITE PLAN
1/8" = 1'-0"

1 SITE PLAN
1" = 10'-0"



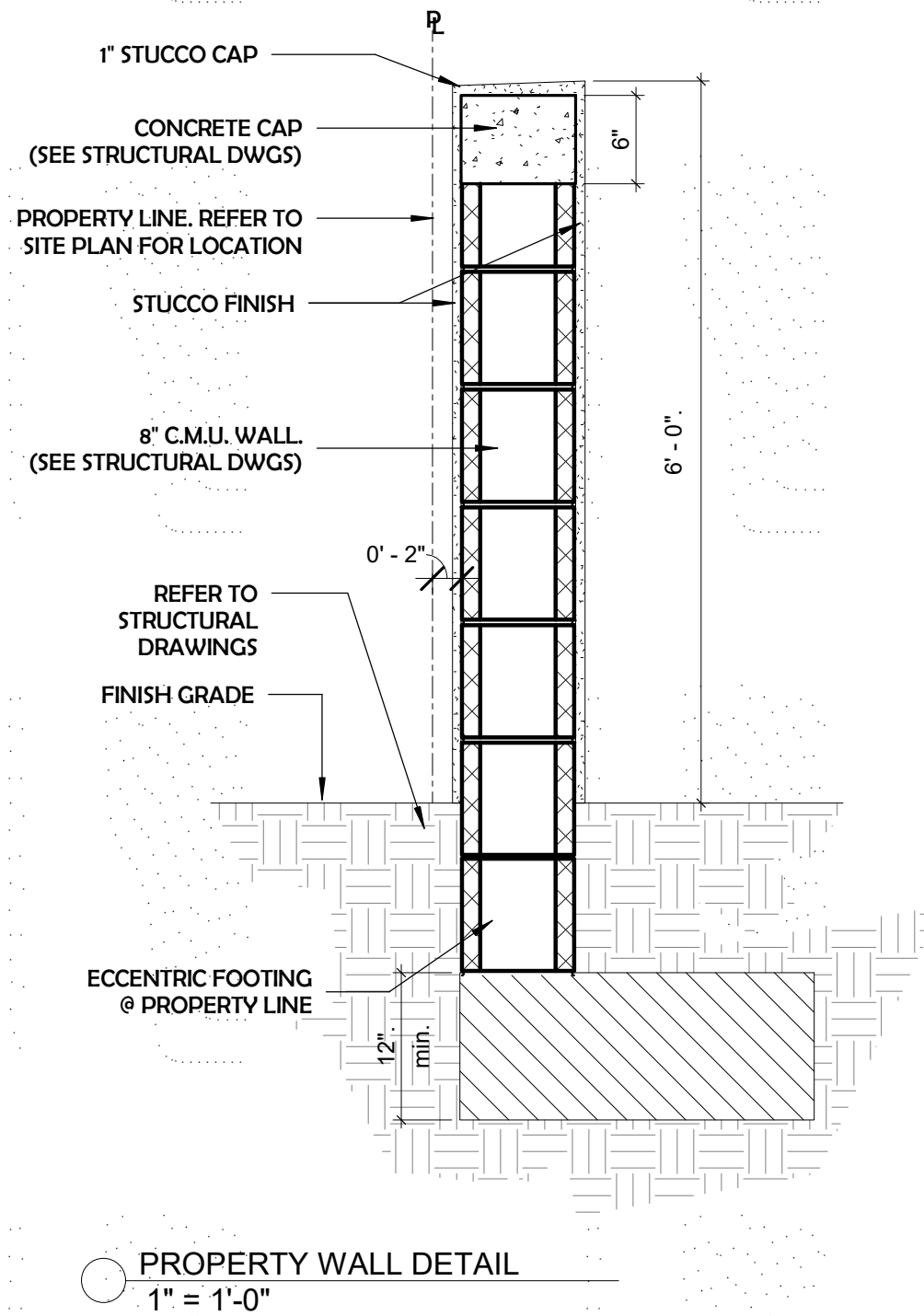
LEGEND

1	POOL
2	FOUNTAIN FIRE PIT
3	COVERED TERRACE
4	BRUSH BAY
5	ZEN GARDEN
6	WALKWAY
7	DRIVEWAY
8	SOD
9	OUTDOOR KITCHEN
10	A/C LIVING AREA
11	GARAGE

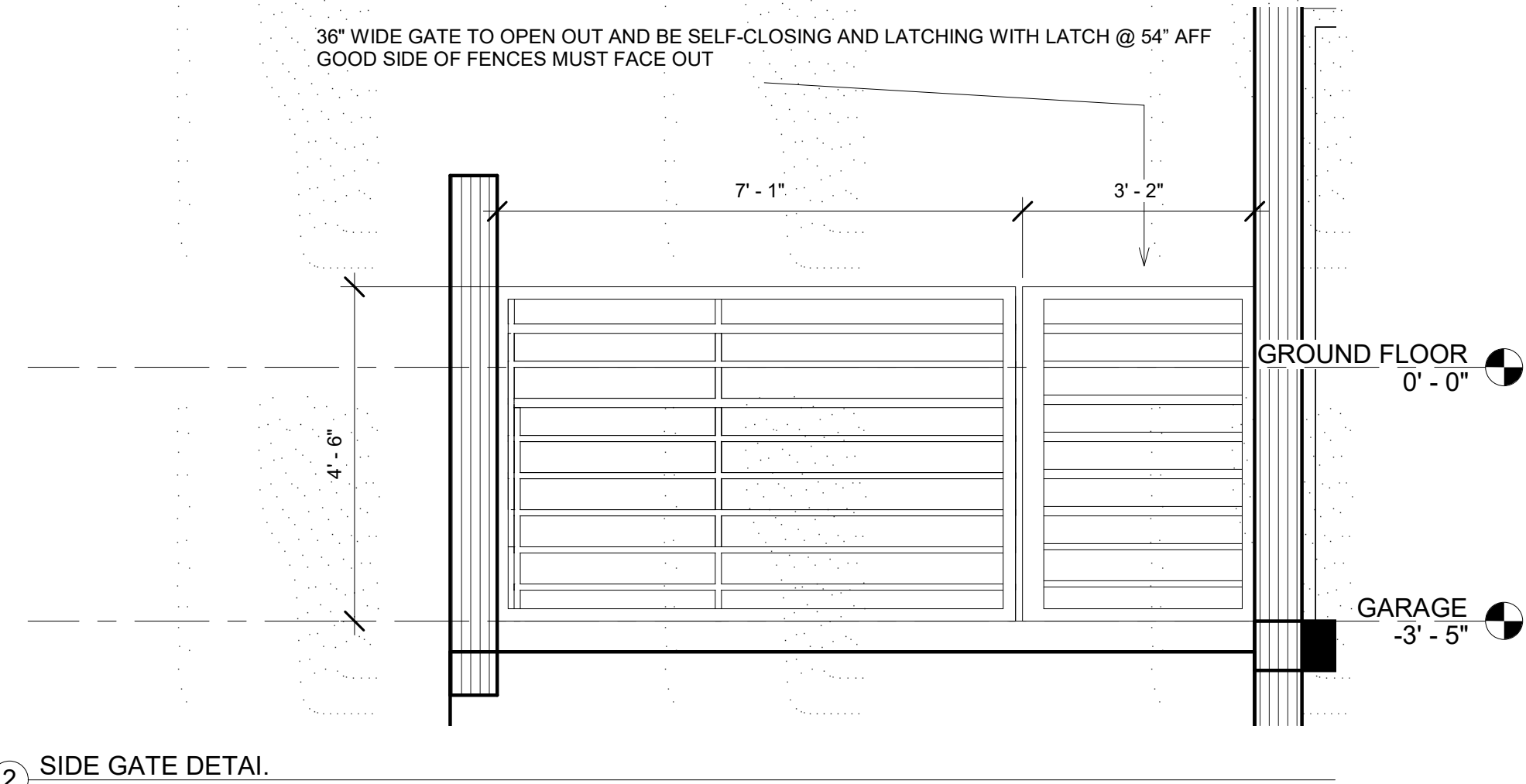
NOTE:
FOR LANDSCAPE REFER TO LANDSCAPE PLANS

GENERAL	REQUIRED	PROPOSED
ZONING:	RS-6	
LAND USE:	LRES - RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE AE BFE 6' NAVD	7' NAVD
HEIGHT:	2 STORIES (30 FT)	2 STORIES + ROOFTOP 30'
LOT SIZE:	9,075 SF	
MIN. LOT WIDTH	60 FT	75 SF
MIN. UNIT SIZE	1,000 SF	4,148 SF
LOT COVERAGE		3,145 SF
LANDSCAPE AREA	40% = 3,698 SF	45% = 3,857 SF
FRONT LANDSCAPE AREA	20% = 375 SF	57% = 1,070SF
PERVIOUS AREA		3,857 SF
IMPERVIOUS AREA		5,218 SF
A/C AREA GROUND FLOOR		1,812 SF
A/C AREA SECOND FLOOR		2,336 SF
4,148 SF		
SETBACKS		
FRONT	25'-0"	26'-7"
SIDE	SUM OF SIDEYARDS 25% OF LOT WIDTH NO LESS THAN 7.5' LOT WIDTH 75' - 25% REQ SETBACK: 18.75'	WEST 10' - 10" + EAST 8' - 2" = 19'
REAR	15% OF LOT DEPTH 50' MAX. NO LESS THAN 15' 121' X 15% : 18 - 3"	18'-3"
PARKING		
	2 SPACES UP TO 2,000SF + 1 SPACE PER 500 SQ. FT ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT TOTAL A/C AREA : 4,148 SF : 5 SPACES REQUIRED.	5 PARKING SPACES

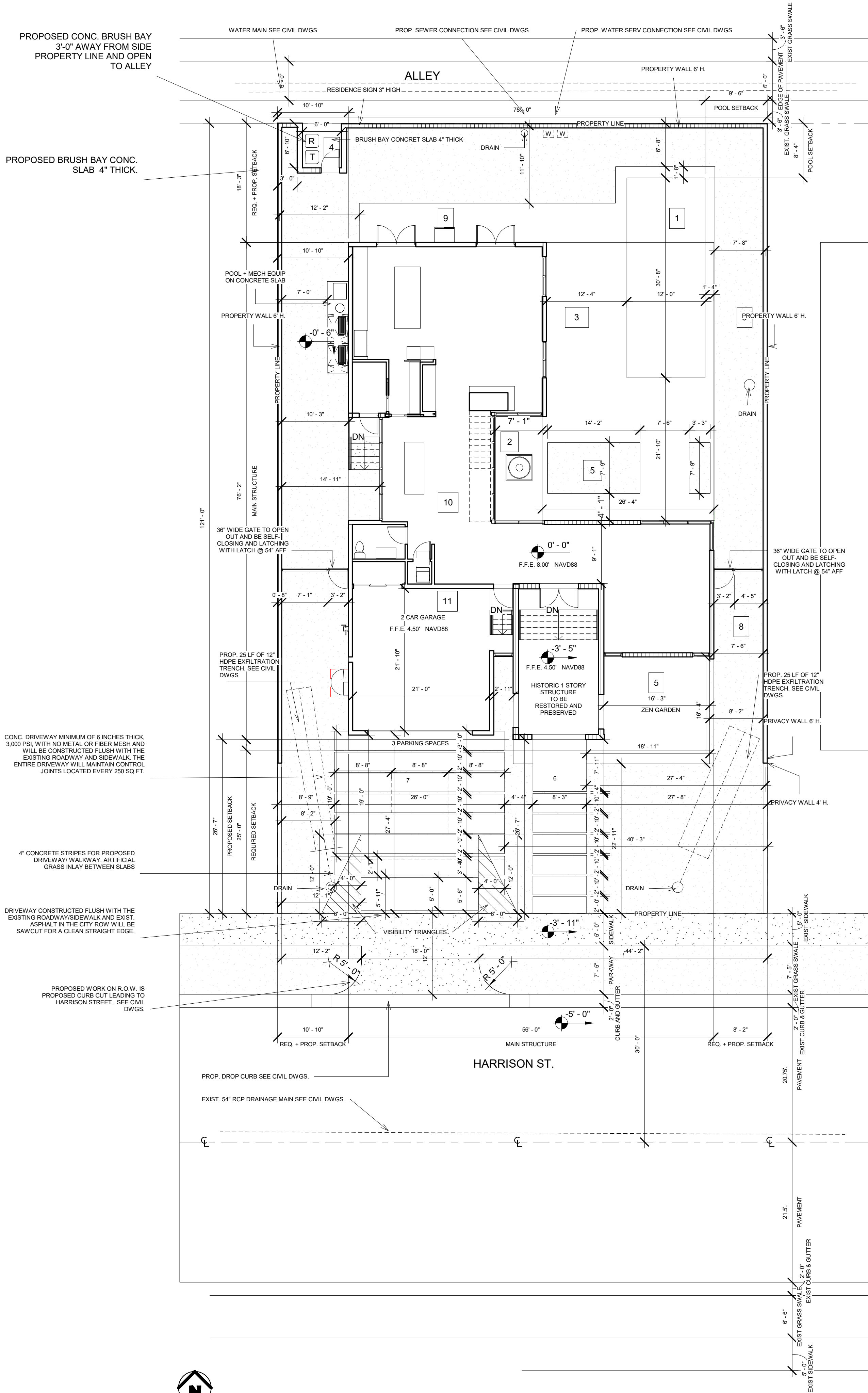
ZONING DATA
1/4" = 1'-0"



PROPERTY WALL DETAIL
1" = 1'-0"



SIDE GATE DETAIL
1/2" = 1'-0"

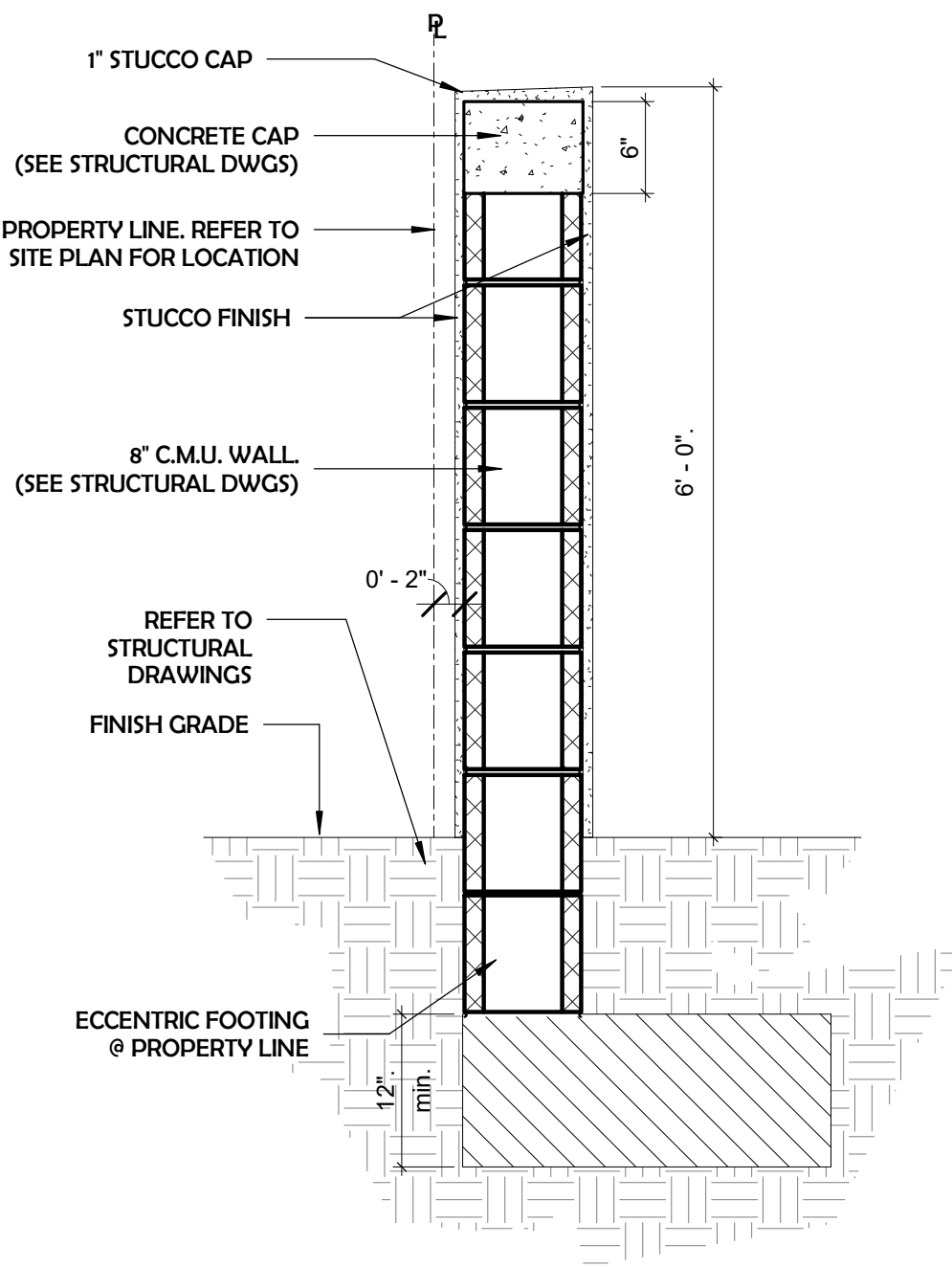


LEGEND

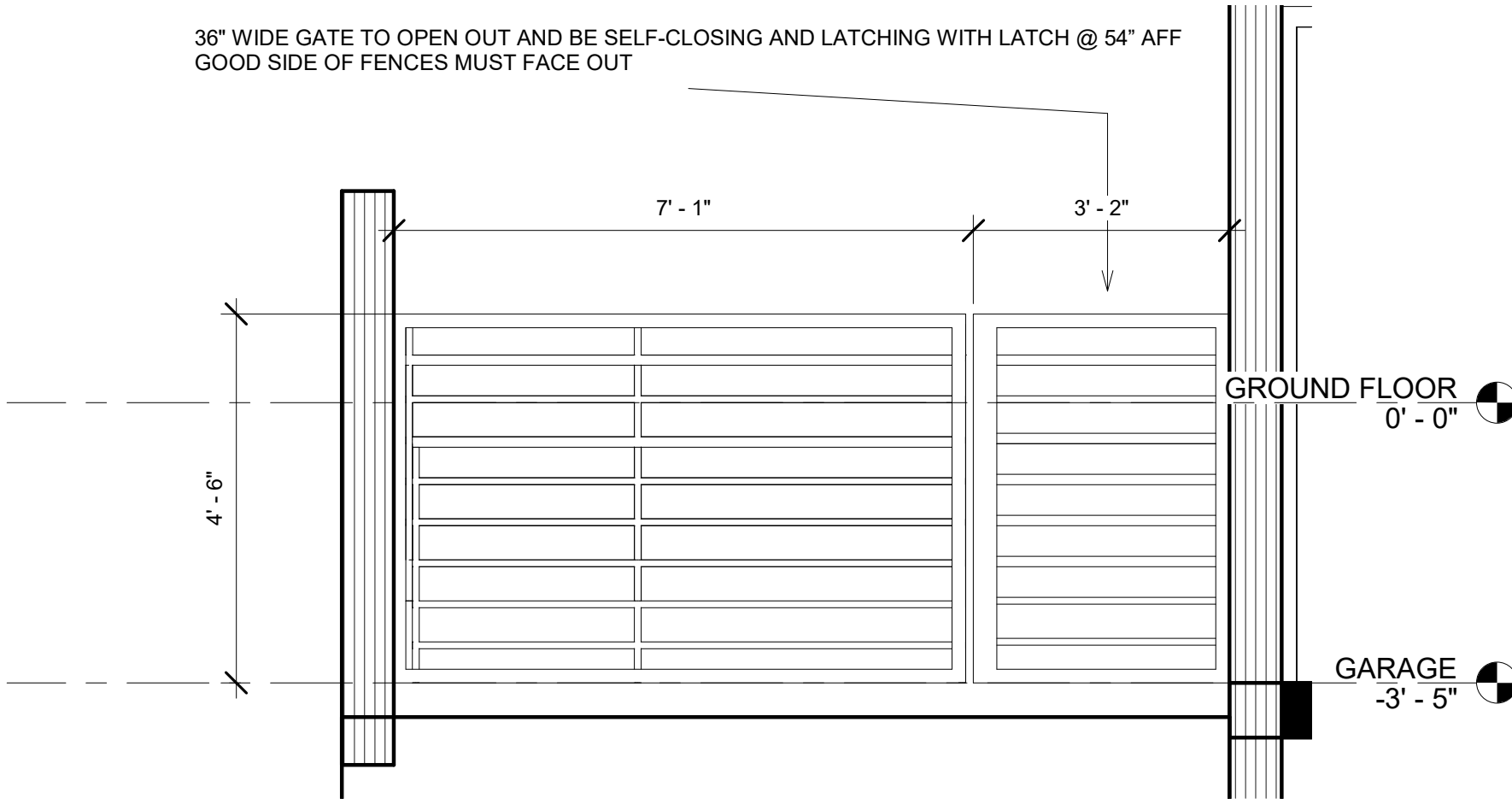
1	POOL
2	FOUNTAIN FIRE PIT
3	COVERED TERRACE
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5	ZEN GARDEN
6	WALKWAY
7	DRIVEWAY
8	SOD
9	OUTDOOR KITCHEN
10	A/C LIVING AREA
11	GARAGE
NOTE: FOR LANDSCAPE REFER TO LANDSCAPE PLANS	

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	2 SPACES UP TO 2,000SF + 1 SPACE PER 500 SQ. FT ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT TOTAL A/C AREA : 4,148 SF : 5 SPACES REQUIRED.	5 PARKING SPACES

ZONING DATA
1/4" = 1'-0"



PROPERTY WALL DETAIL
1" = 1'-0"

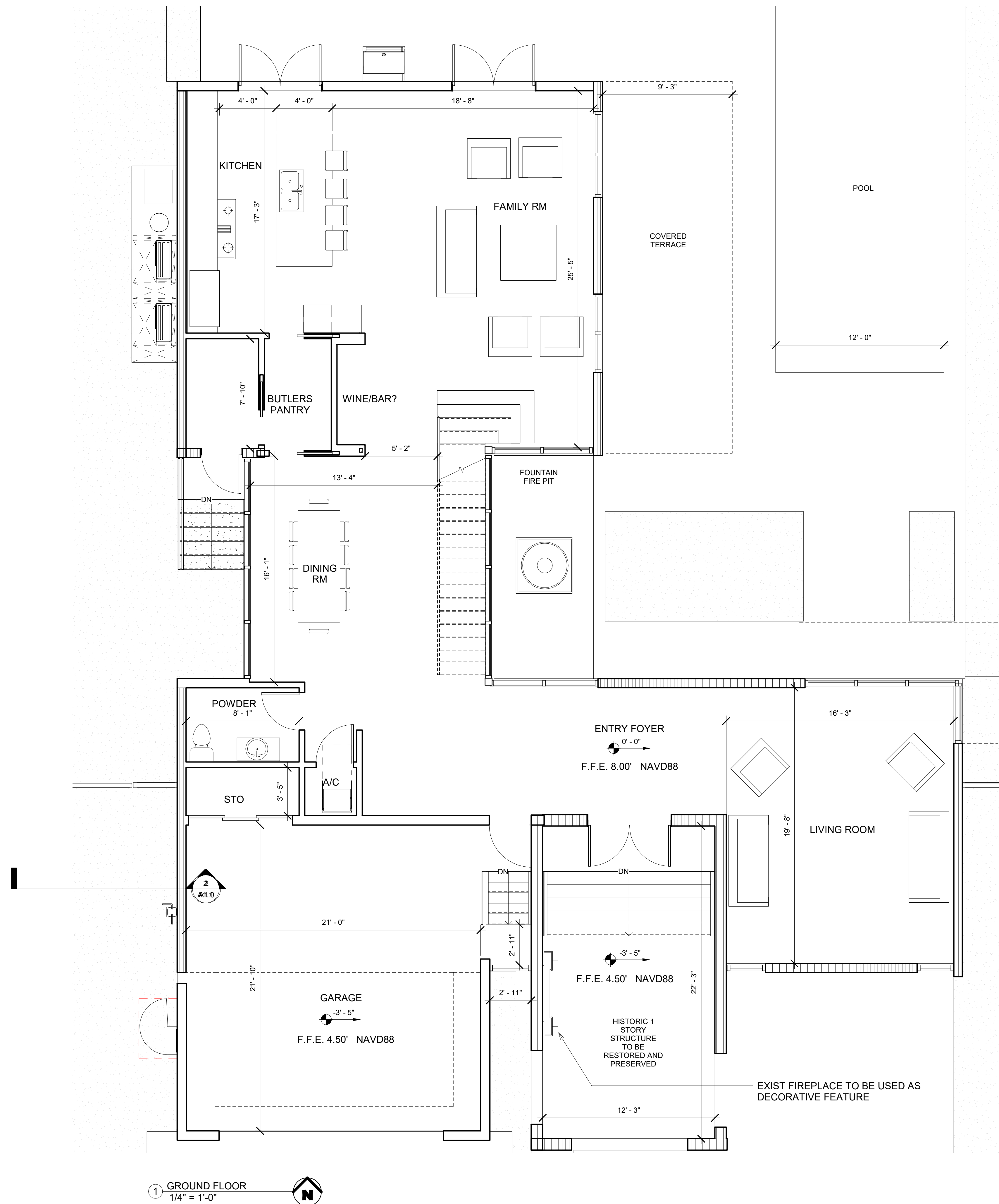


SIDE GATE DETAIL
1/2" = 1'-0"



SITE PLAN B&W
1/2" = 1'-0"

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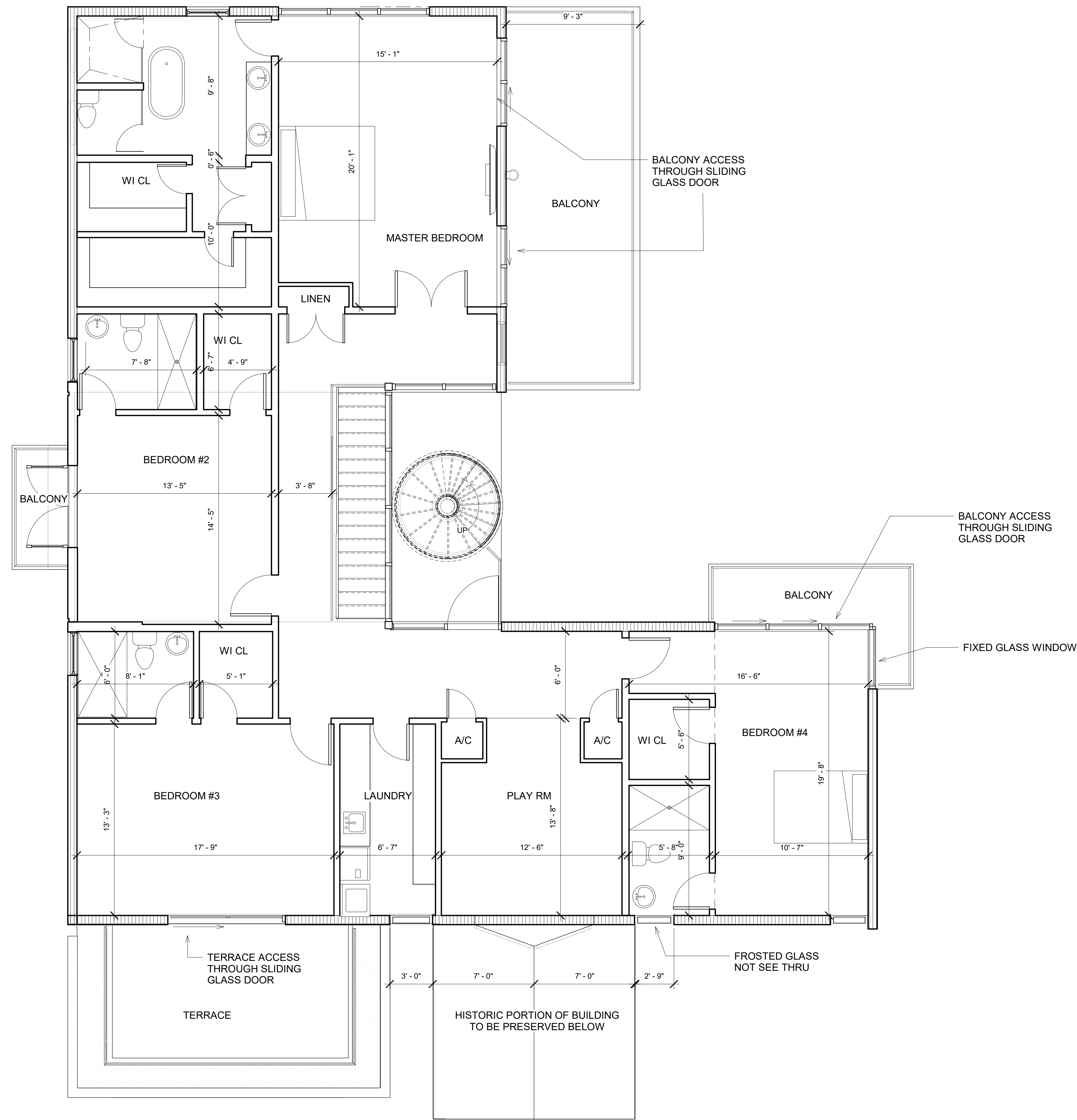
1 GROUND FLOOR
1/4" = 1'-0"

TIRAM RESIDENCE 1
1313 HARRISON ST HOLLYWOOD FL.

GROUND FLOOR

Project #22-018

A2.0



1 2ND FLOOR
1/4" = 1'-0"

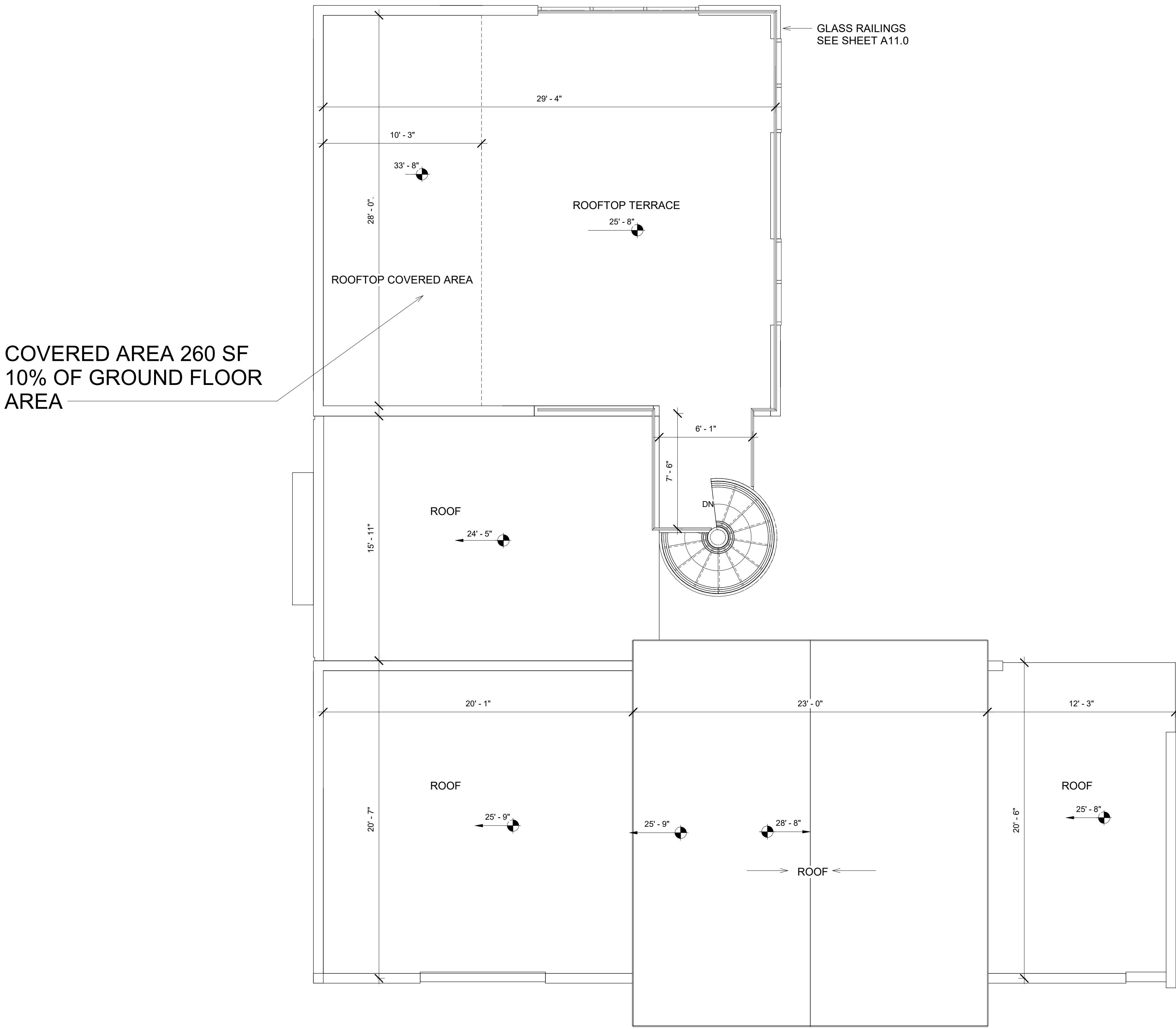
TIRAM RESIDENCE 1
1313 HARRISON ST HOLLYWOOD FL.

2ND FLOOR

Project #22-018

A2.1

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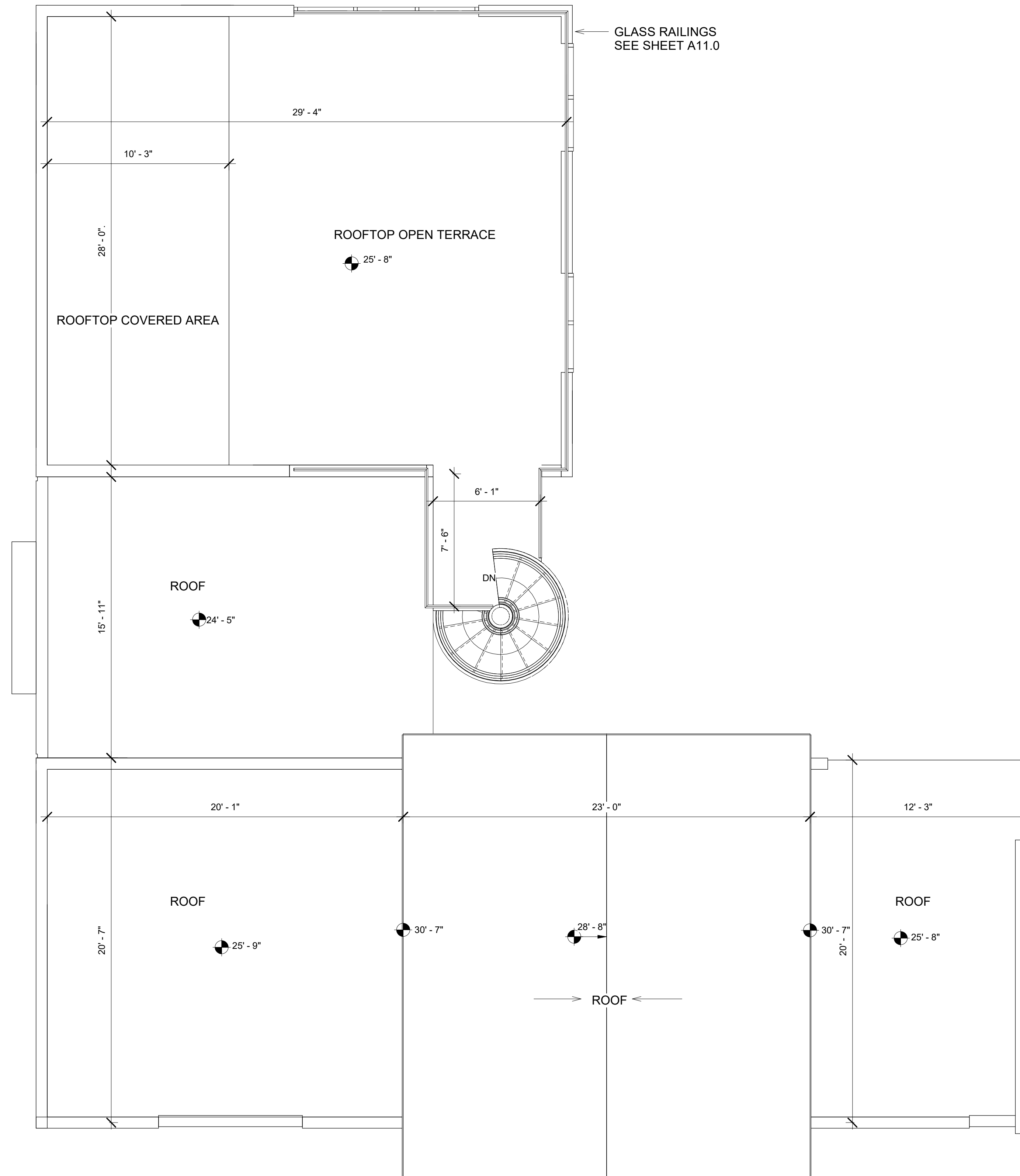


COVERED AREA 260 SF
10% OF GROUND FLOOR
AREA

1 ROOFTOP
1/4" = 1'-0"



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① ROOF
1/4" = 1'-0"



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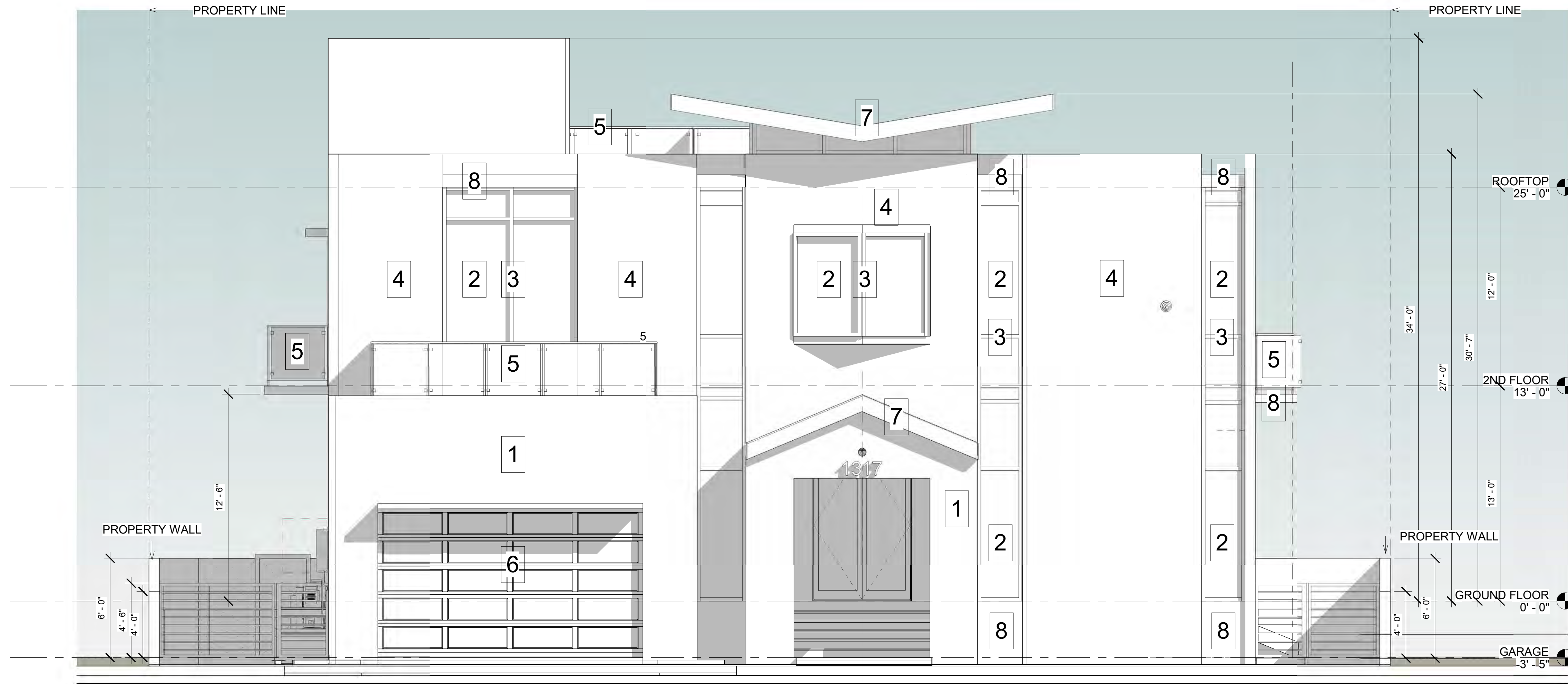
SKLARchitecture
Commercial & Residential Architecture
P : 954 925 9292
www.sklarchitect.com

TIRAM RESIDENCE 1
1313 HARRISON ST HOLLYWOOD FL.

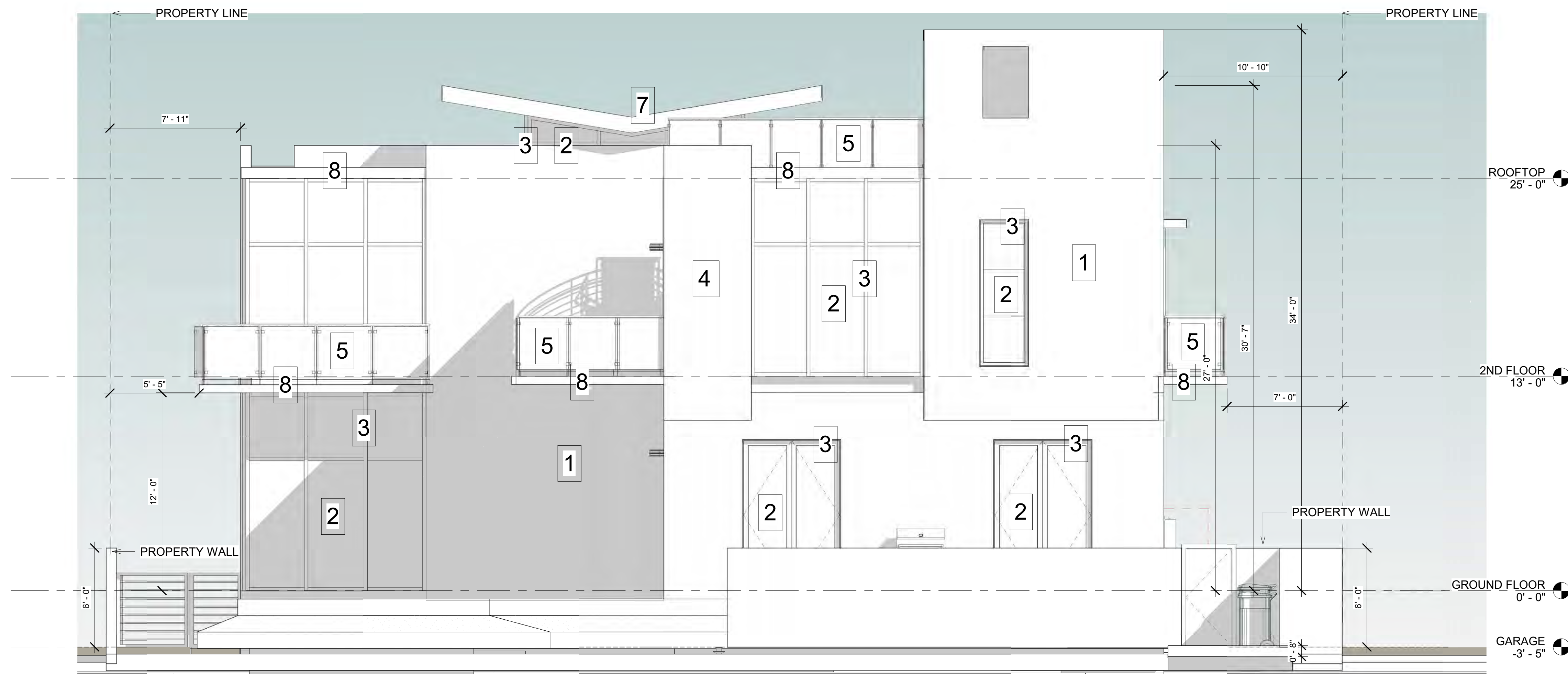
ROOF PLAN

Project #22-018

A2.3

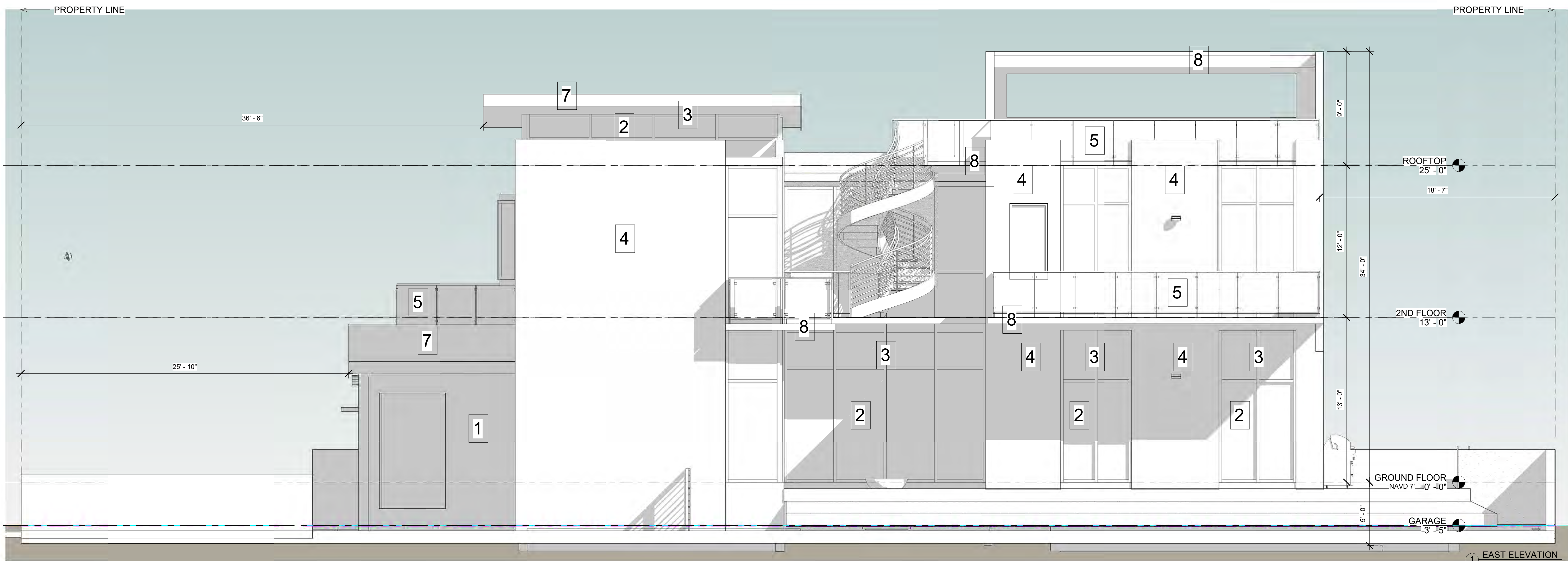


① SOUTH ELEVATION
1/4" = 1'-0"



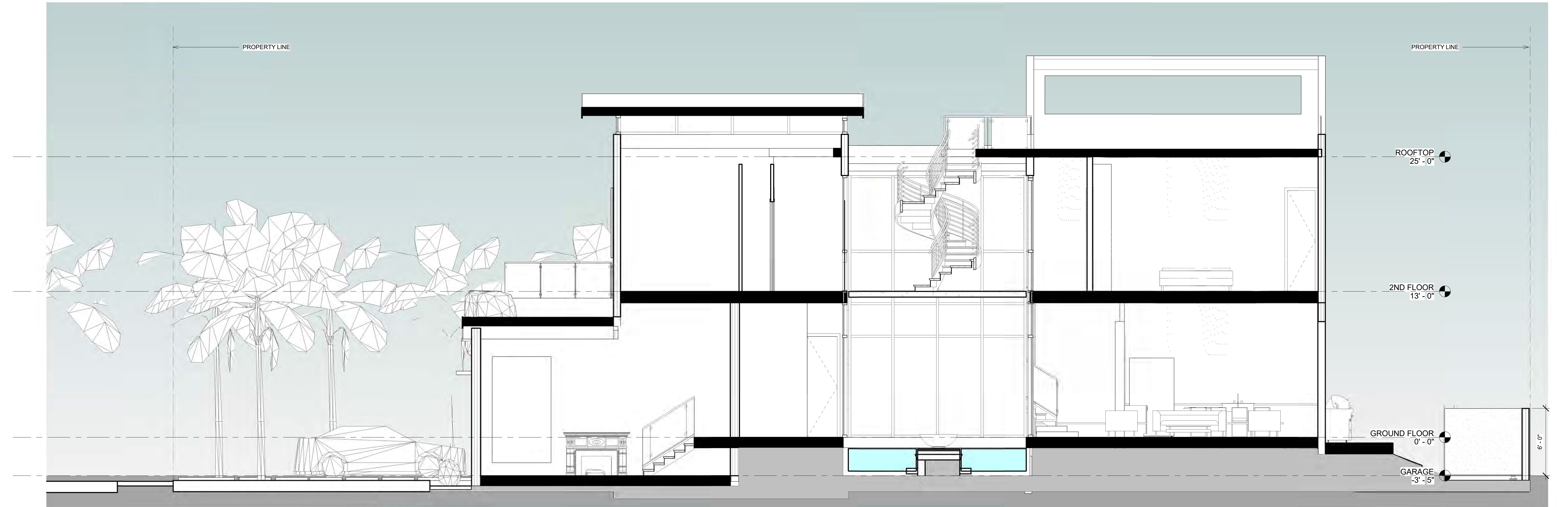
② NORTH ELEVATION
1/4" = 1'-0"

- 1 WHITE PAINT ON STUCCO
OXFORD WHITE
BENJAMIN MOORE 869
- 2 WINDOW AND RAILINGS
GREY GLASS
PPG SOLARGRAY FLOAT
GLASS
- 3 ALUMINUM WINDOW
FRAMING DARK BRONZE
- 4 ARCHITECTURAL
CONCRETE STUCCO W
REVEALS
- 5 GLASS RAILINGS /
STAINLESS STEEL
- 6 GARAGE DOOR
- 7 ROOFING STANDING
SEAM
METAL DARK TAUPE
- 8 BLACK PAINT ON STUCCO
BLACK IRON
BENJAMIN MOORE 2120-20



- 1 WHITE PAINT ON STUCCO
OXFORD WHITE
BENJAMIN MOORE 869
 - 2 WINDOW AND RAILINGS
GREY GLASS
PPG SOLARGRAY FLOAT GLASS
 - 3 ALUMINUM WINDOW
FRAMING DARK BRONZE
 - 4 ARCHITECTURAL
CONCRETE STUCCO W
REVEALS
 - 5 GLASS RAILINGS /
STAINLESS STEEL
 - 6 GARAGE DOOR
 - 7 ROOFING STANDING
SEAM
METAL DARK TAUPE
 - 8 BLACK PAINT ON STUCCO
BLACK IRON
BENJAMIN MOORE 2120-20
- Black Iron
2120-20

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① Section 1
1/4" = 1'-0"



② Section 2
1/4" = 1'-0"

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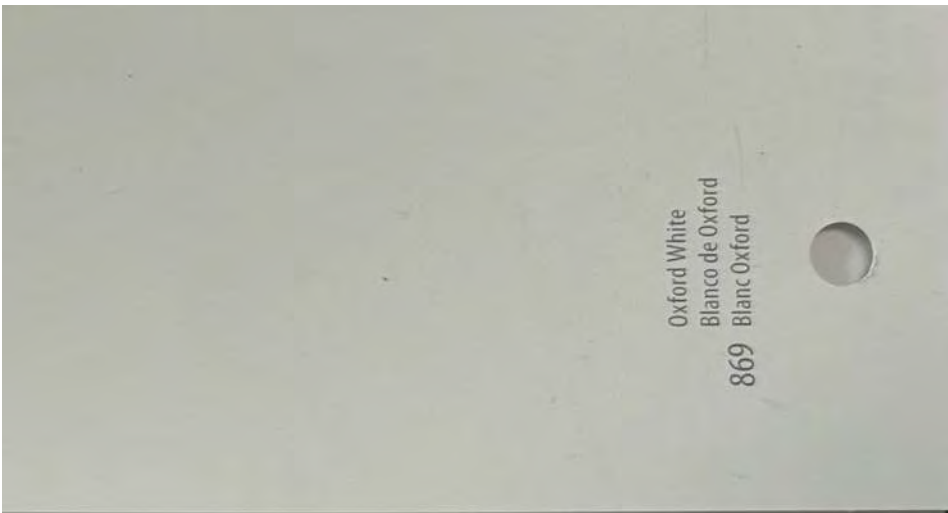


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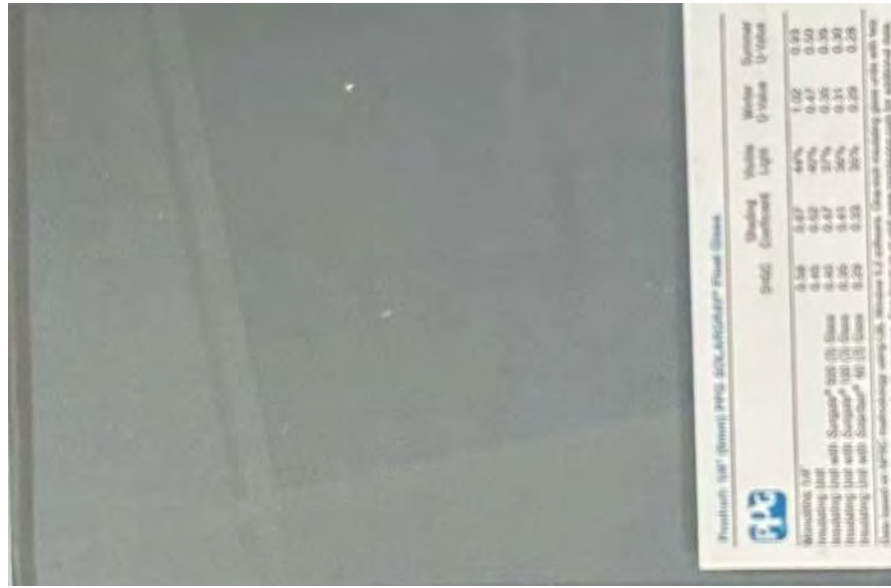


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1 WHITE PAINT ON STUCCO
OXFORD WHITE
BENJAMIN MOORE 869



2 WINDOW AND RAILINGS
GREY GLASS
PPG SOLARGRAY FLOAT GLASS



3 ALUMINUM WINDOW FRAMING
DARK BRONZE



4 ARCHITECTURAL
CONCRETE STUCCO
W REVEALS



5 GLASS RAILINGS /
STAINLESS STEEL



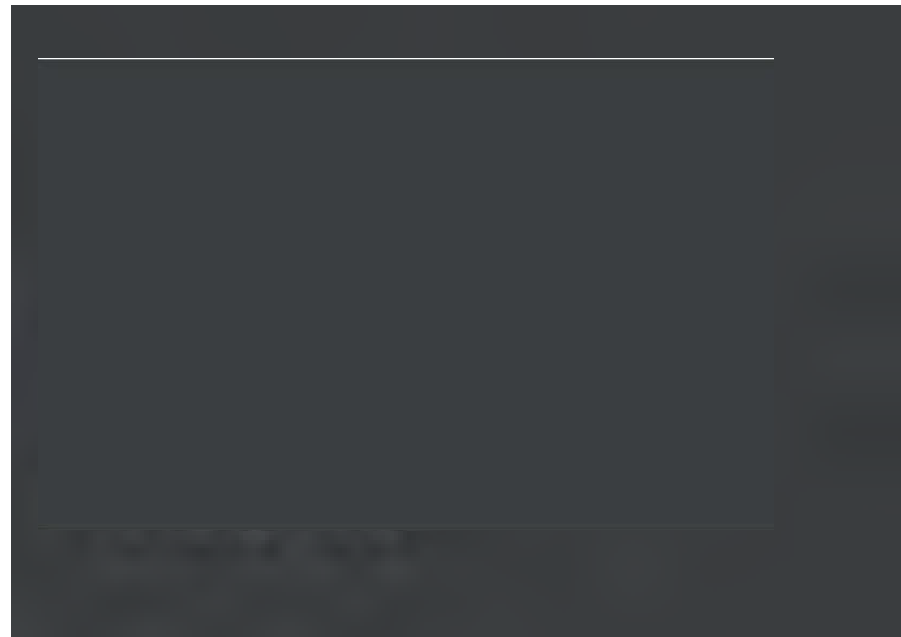
6 GARAGE DOOR
ALUMINUM FRAMING AND GLASS



7 ROOFING STANDING SEAM
METAL DARK TAUPE

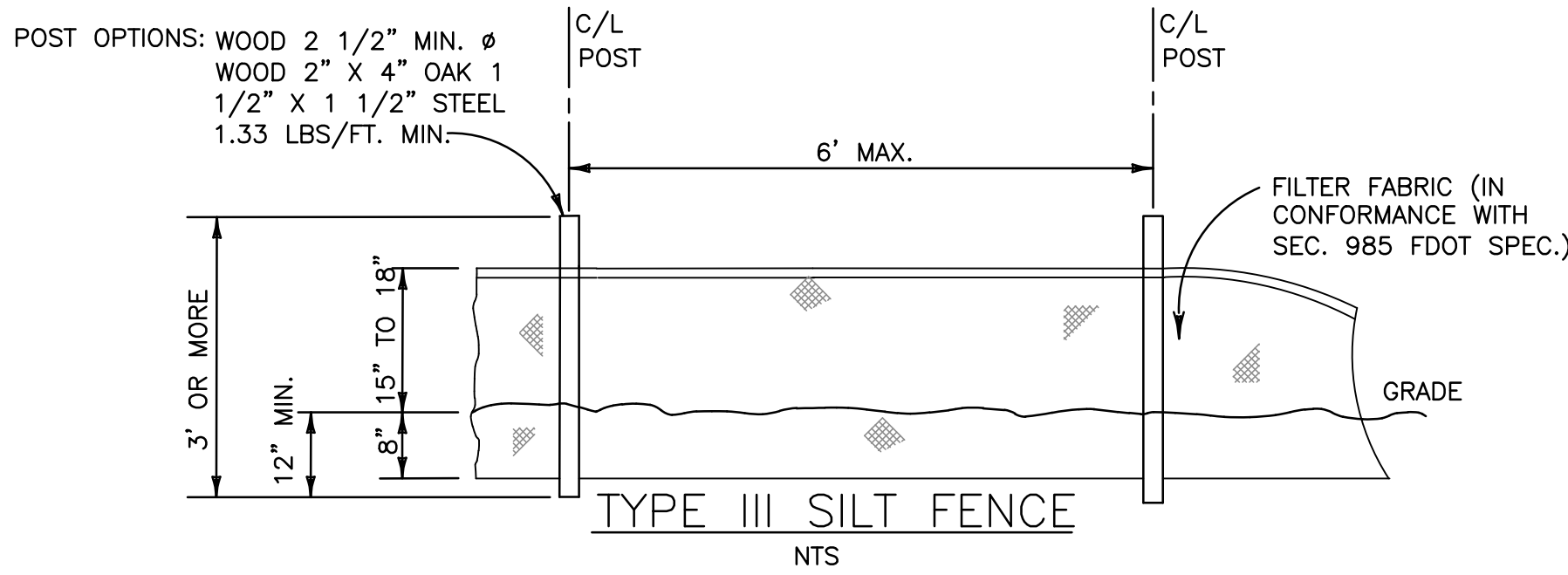
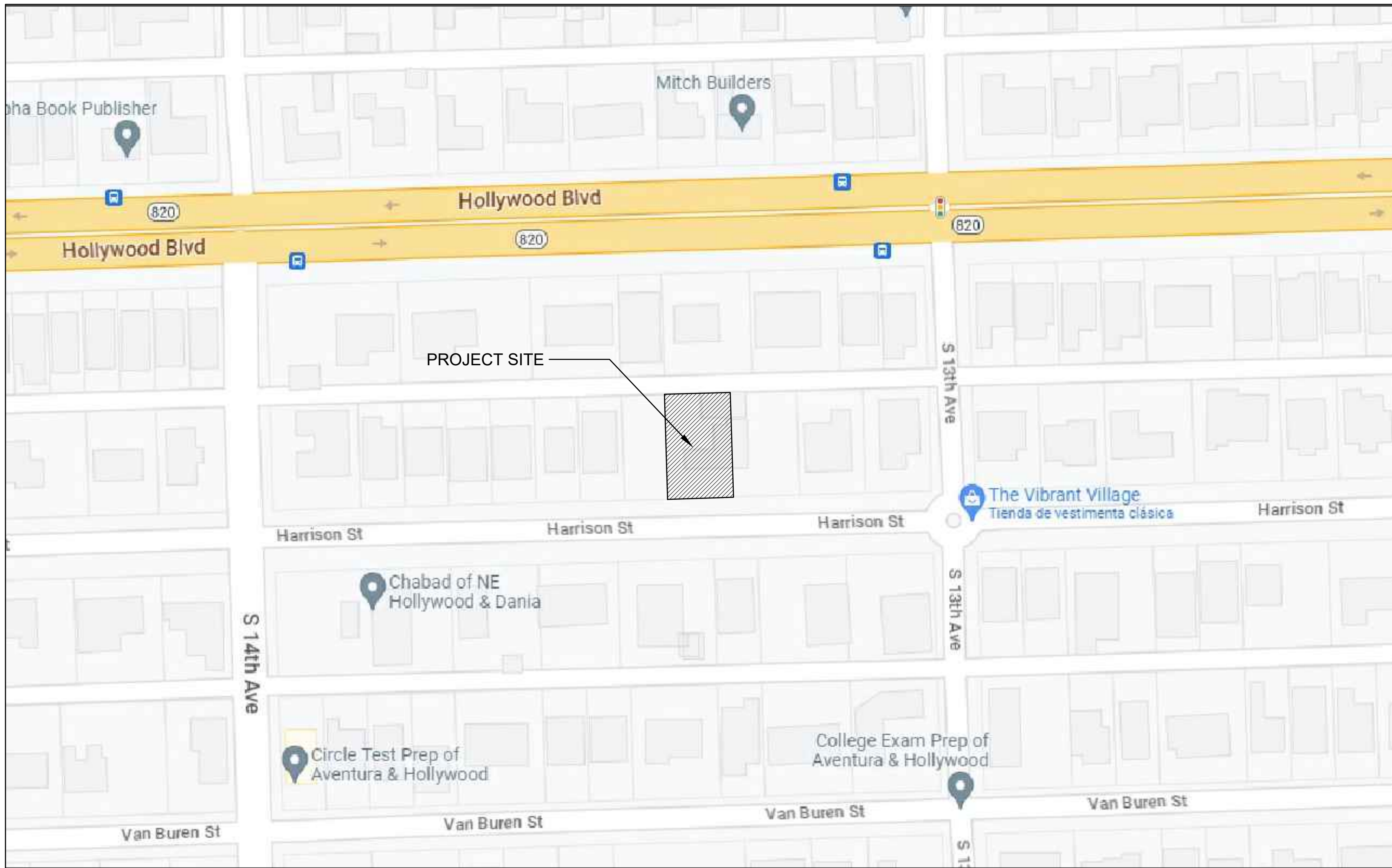
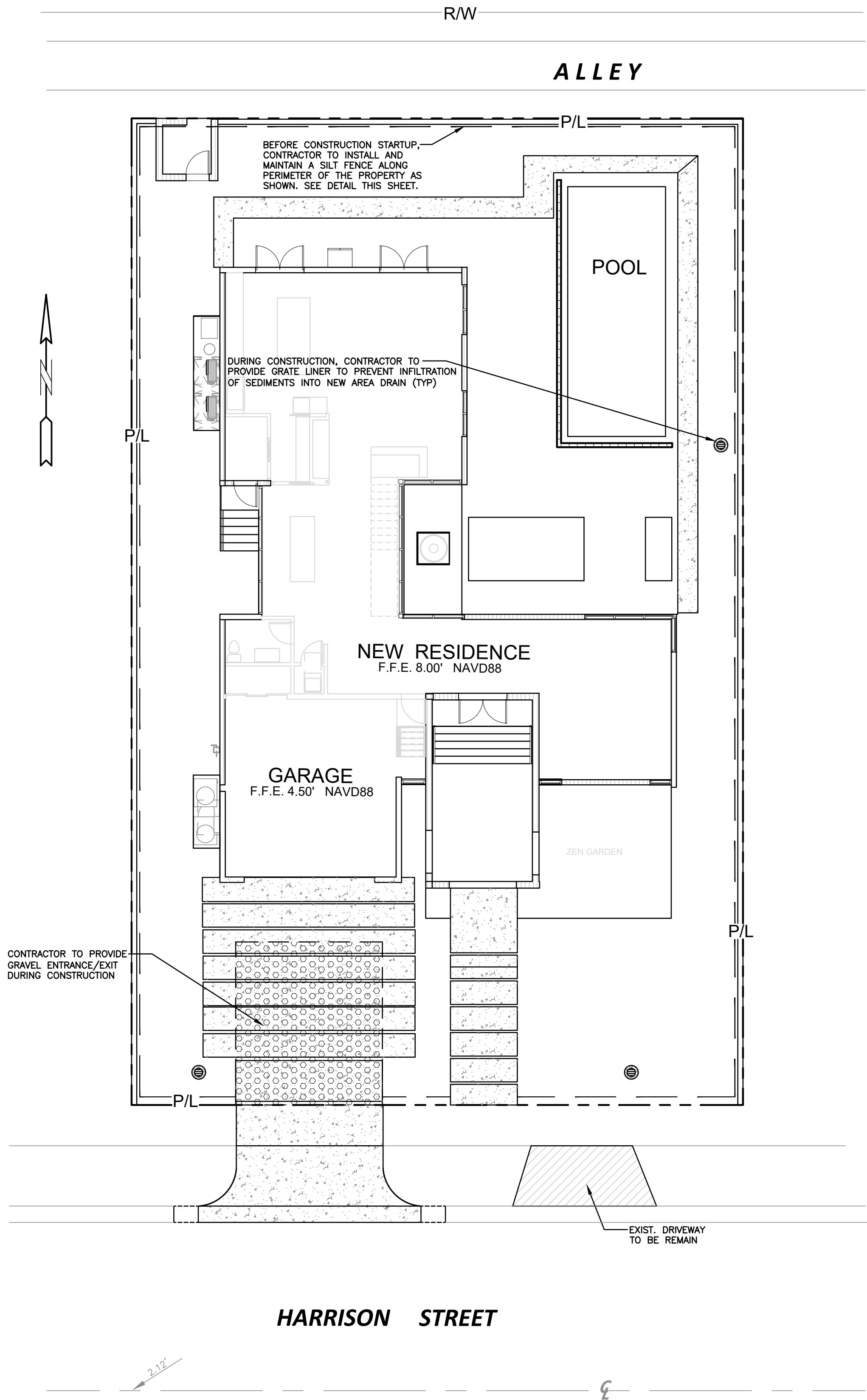


8 BLACK PAINT ON STUCCO
BLACK IRON
BENJAMIN MOORE 2120-20



9 EXTERIOR WOODEN SOFFIT





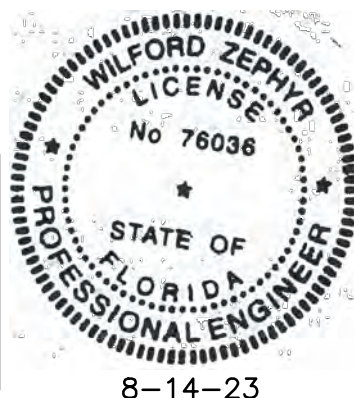
- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED WATER METER
 - PROPOSED BFP DEVICE

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

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EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

REVISIONS	
NO.	DATE

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

ZE

TIRAM RESIDENCE I
1313 HARRISON ST.
HOLLYWOOD, FLORIDA

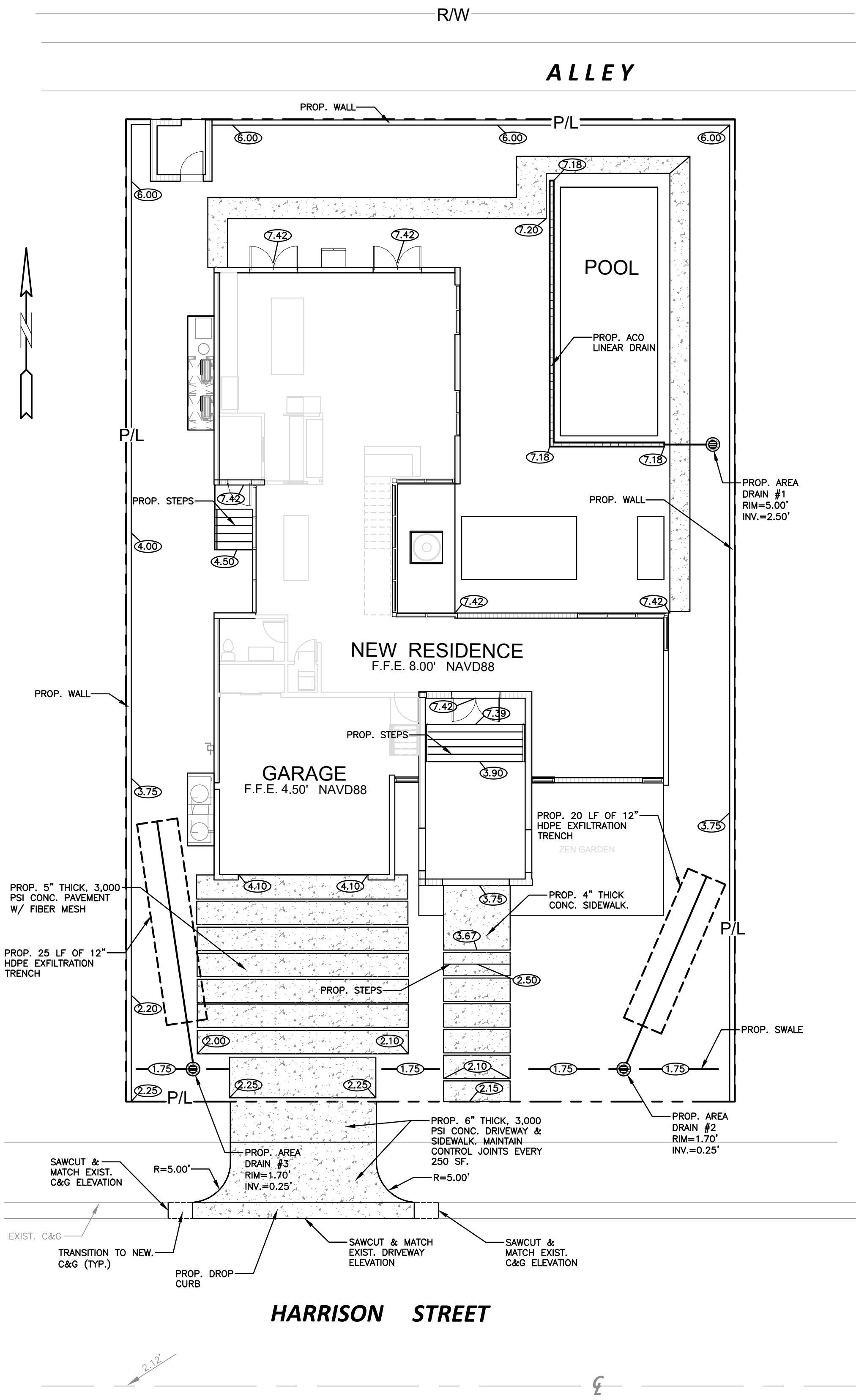
P.E.#: 76036

DATE: 5/4/23

SCALE: 1"=10'

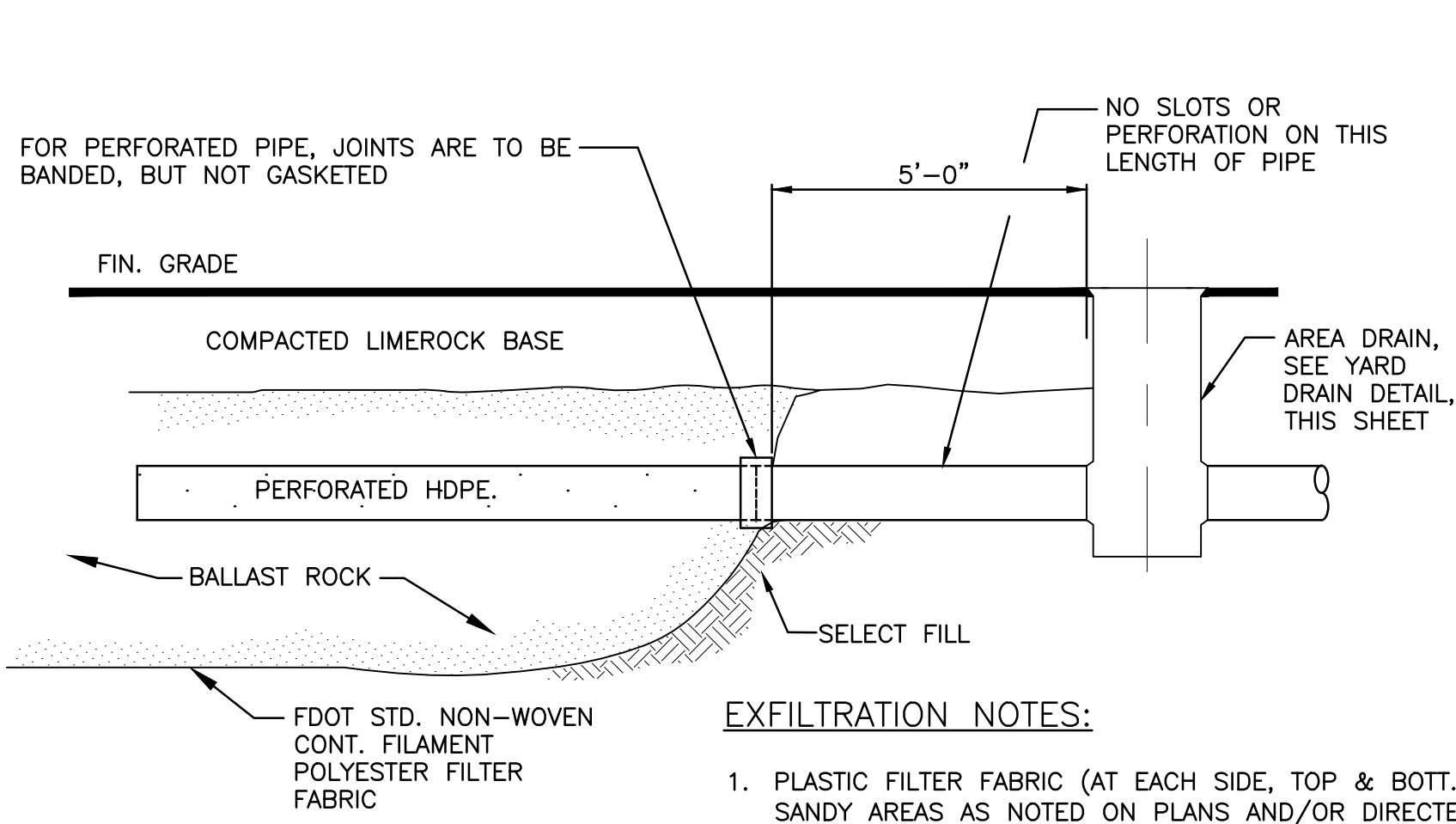
SHEET NO.: **C1**
1 OF 5

PROJECT NO.: 23-13



LEGEND

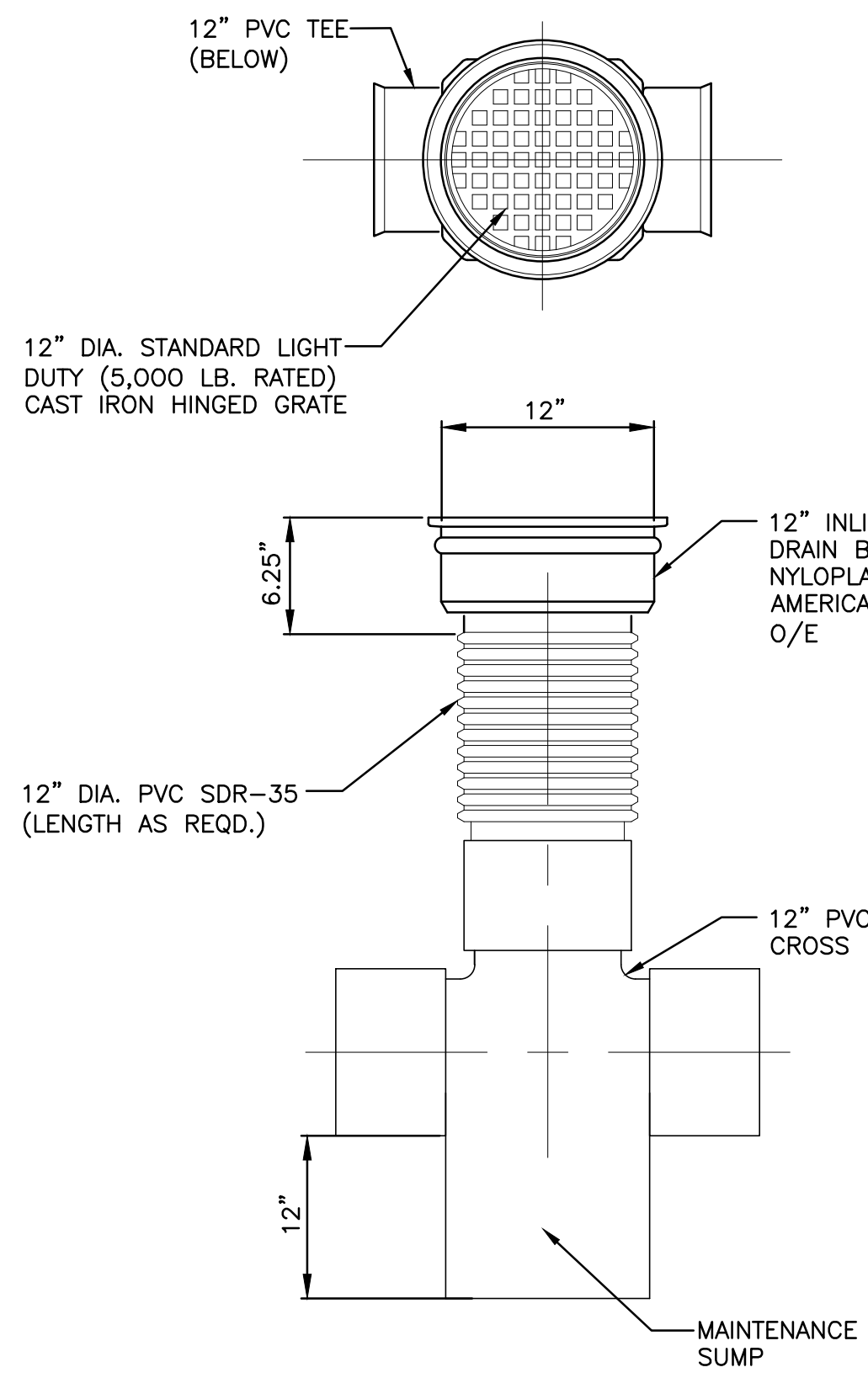
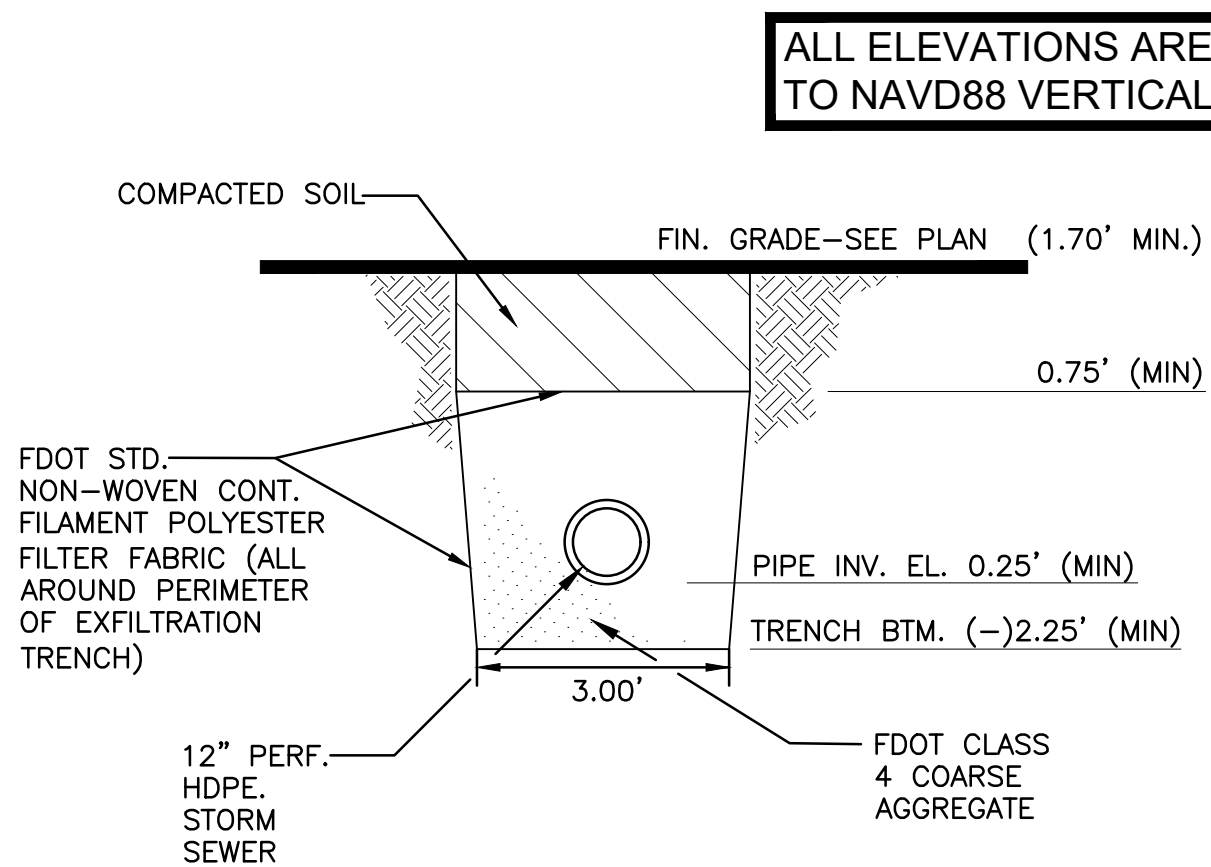
- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED WATER METER
- PROPOSED BFP DEVICE



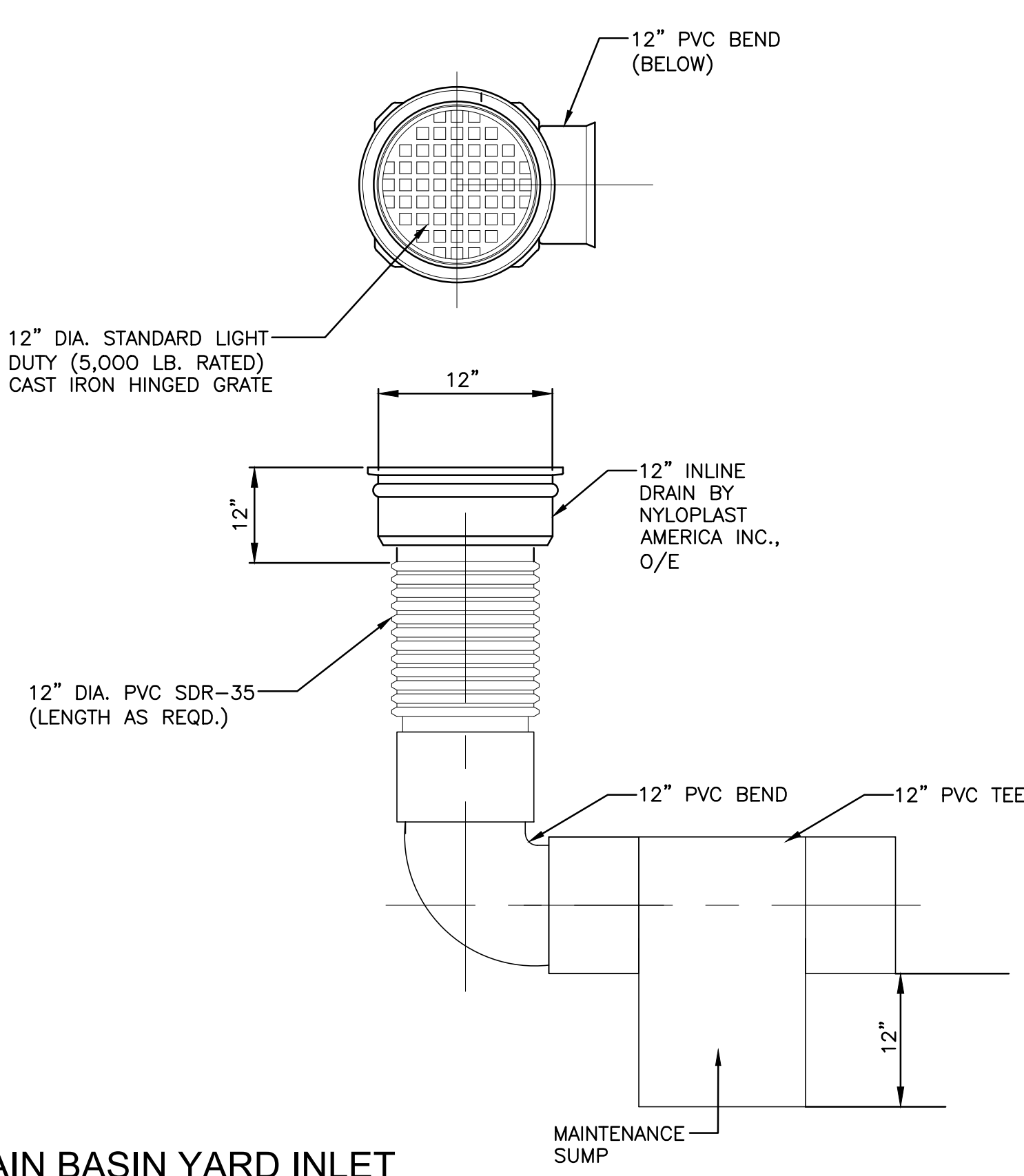
EXFILTRATION NOTES:

1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP & BOT.) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER.

EXFILTRATION TRENCH DETAIL
NTS



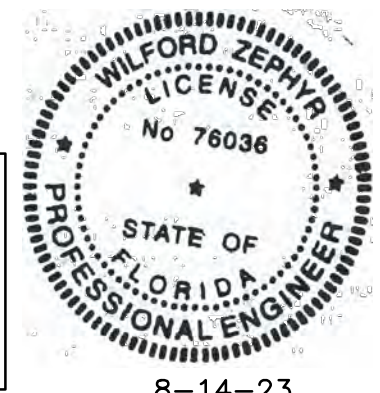
12" DRAIN BASIN YARD INLET
NTS



- NOTES:**
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

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PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=10'

REVISIONS	
NO.	DATE

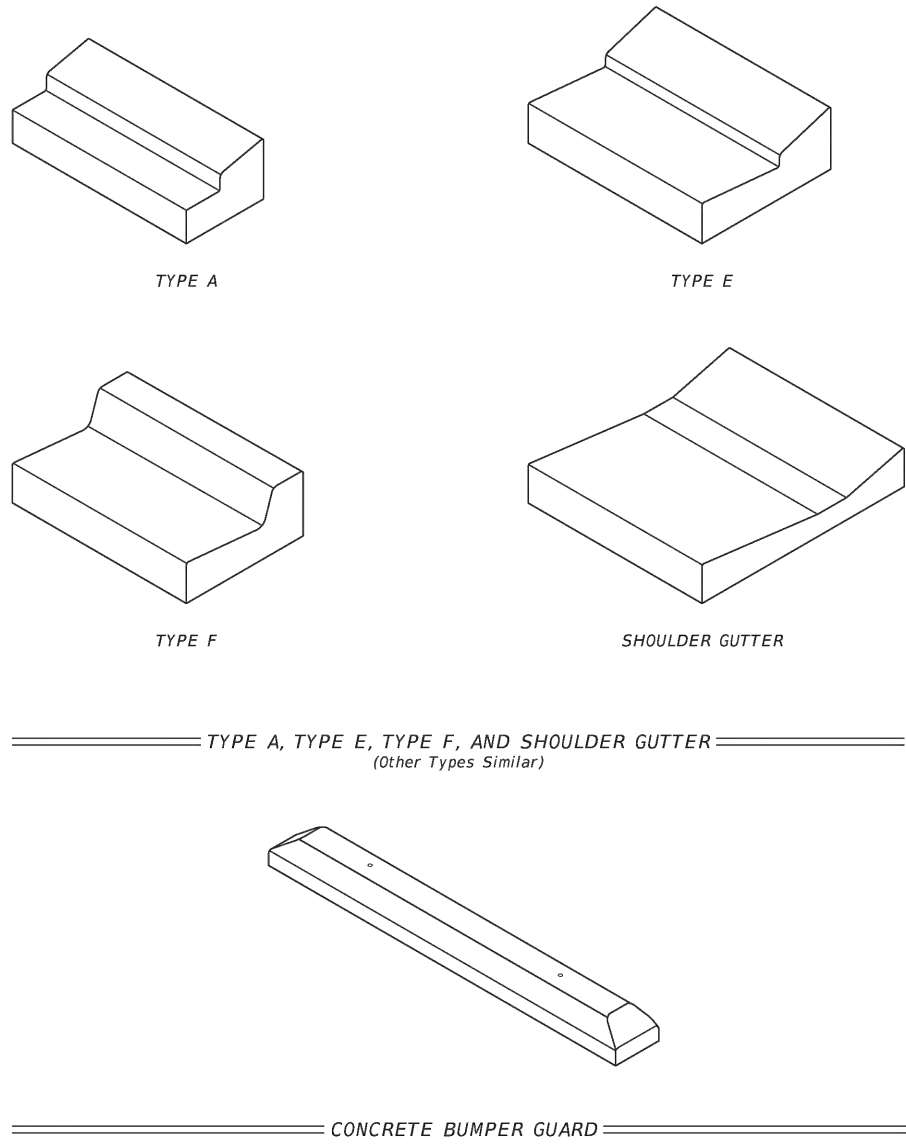
ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

TIRAM RESIDENCE I
1313 HARRISON ST.
HOLLYWOOD, FLORIDA

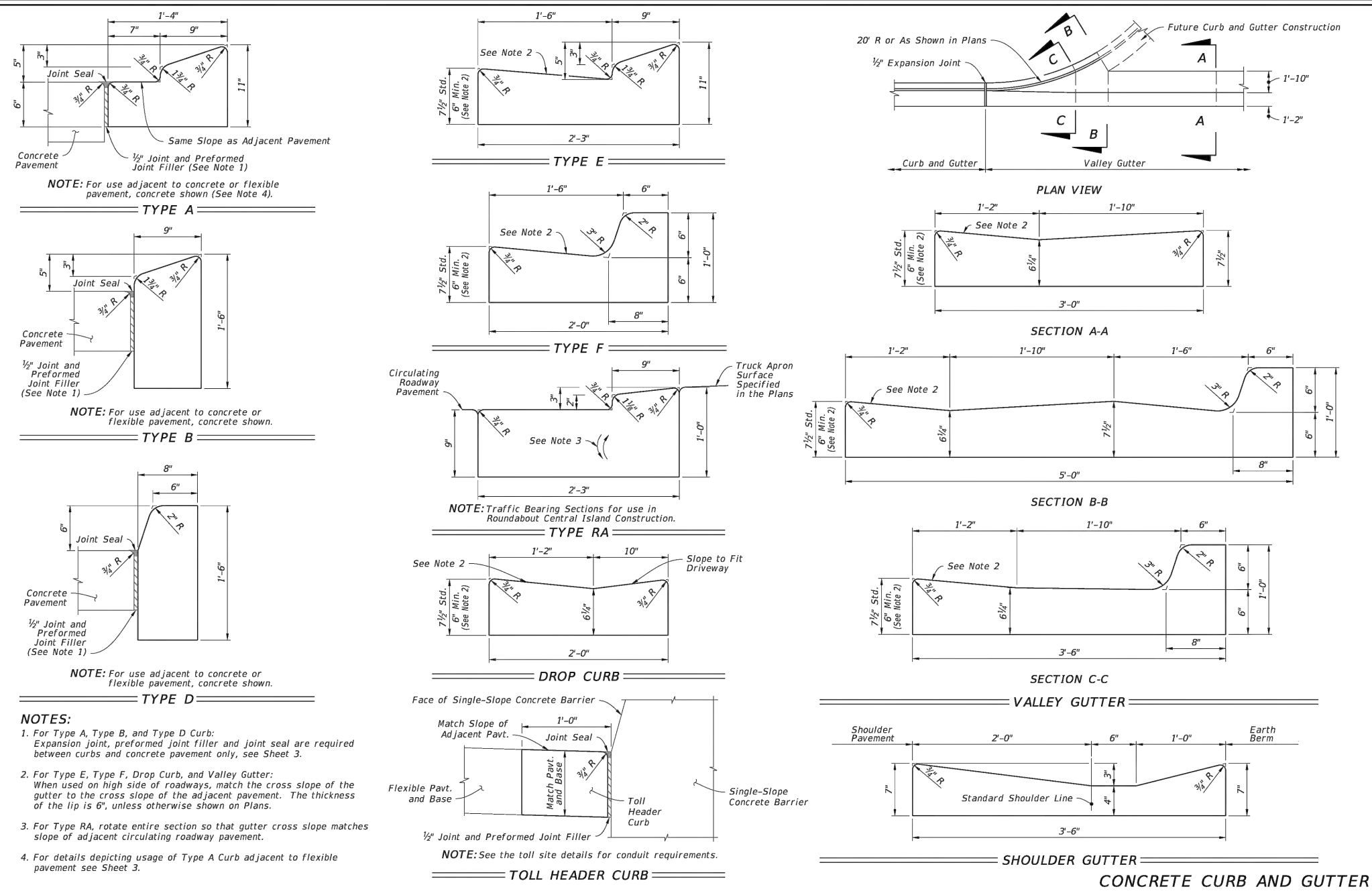
P.E.#: 76036
DATE: 5/4/23
SCALE: 1"=10'
SHEET NO.: C2
2 OF 5
PROJECT NO.: 23-13

GENERAL NOTES:
1. For curb, gutter and curb & gutter provide 1/2" - 1/4" contraction joints at 10' centers (max). Contraction joints adjacent to concrete pavement on targets and flat curves are to match the pavement joints, with intermediate joints not to exceed 10' centers.
2. Locate expansion joints for curb, gutter and curb & gutter in accordance with Specification 520.

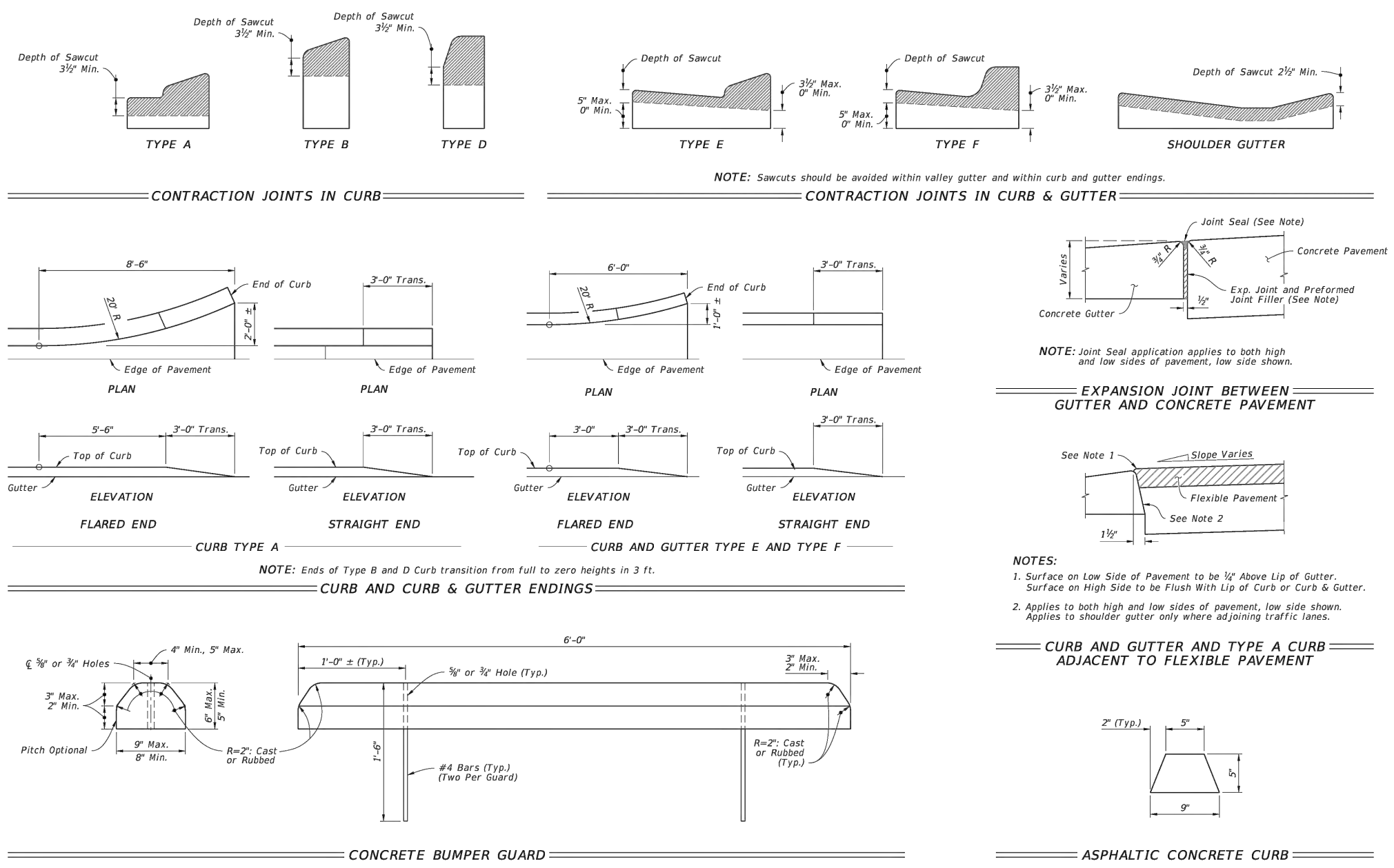
TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Concrete Curb and Gutter
3	Curb and Gutter Joints and Endings, Concrete Bumper Guard, and Asphaltic Concrete Curb



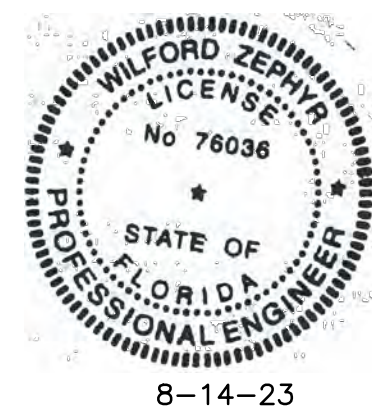
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11/01/21	REVISED				520-001	1 of 3



LAST REVISION	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	CURB AND GUTTER	INDEX	SHEET
11/01/21	REVISED				520-001	2 of 3



LAST REVISION	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	CURB AND GUTTER	INDEX	SHEET
11/01/21	REVISED				520-001	3 of 3



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8-14-23

FDOT DETAILS

SCALE: N.T.S.

REVISIONS	
NO.	DATE

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(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

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TIRAM RESIDENCE I
1313 HARRISON ST.
HOLLYWOOD, FLORIDA

P.E.#:76036

DATE: 5/4/23

SCALE: N.T.S.

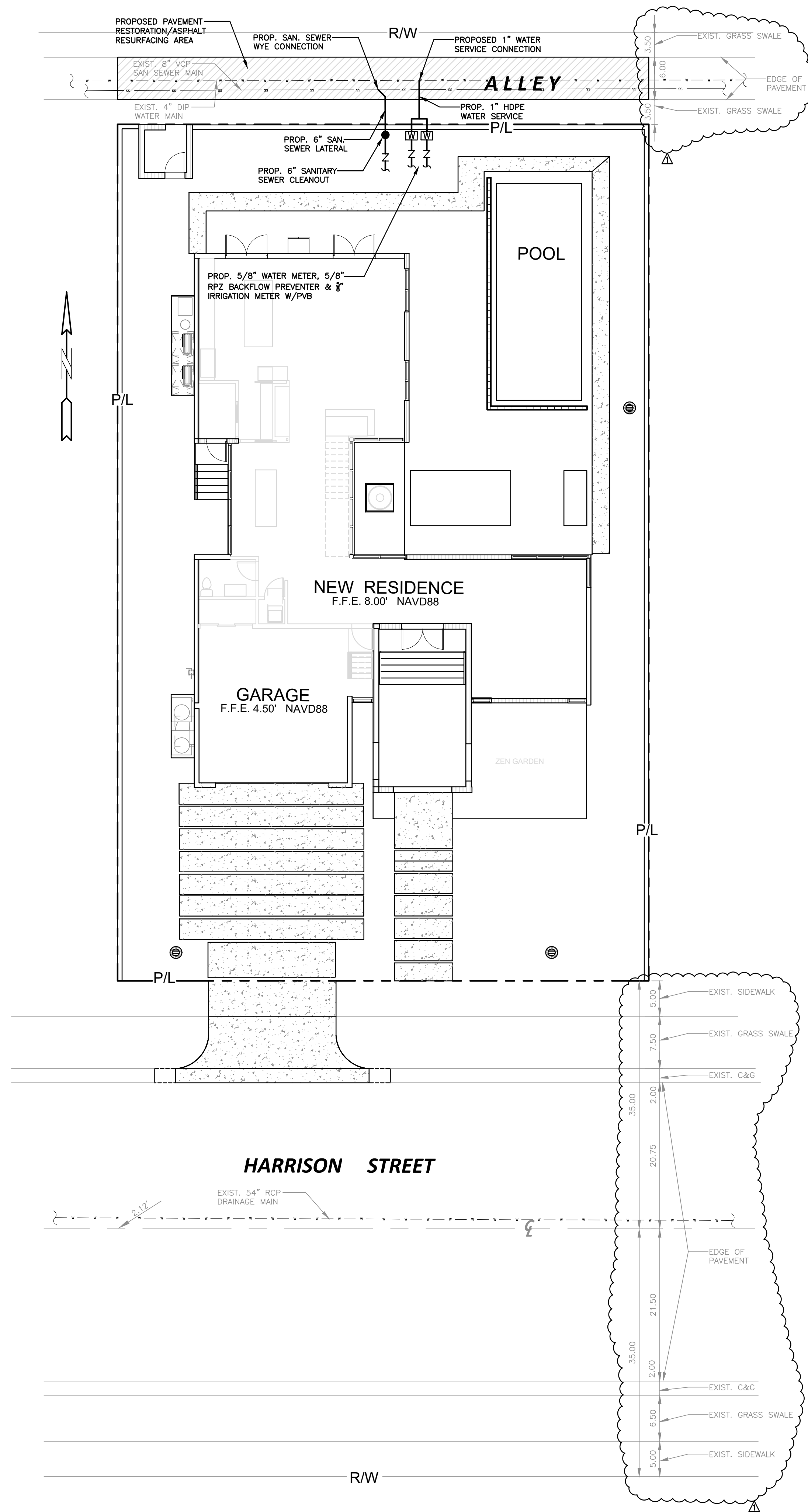
SHEET NO.:

C3

3 OF 5

PROJECT NO.: 23-13

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED WATER METER
 - PROPOSED BFP DEVICE



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WATER & SEWER PLAN & DETAILS

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	8/14/23	CITY REVIEW COMMENTS

ZEPHYR ENGINEERING

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1313 HARRISON ST.
HOLLYWOOD, FLORIDA

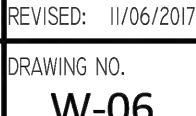
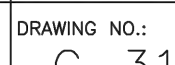
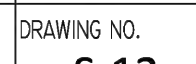
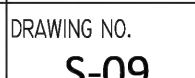
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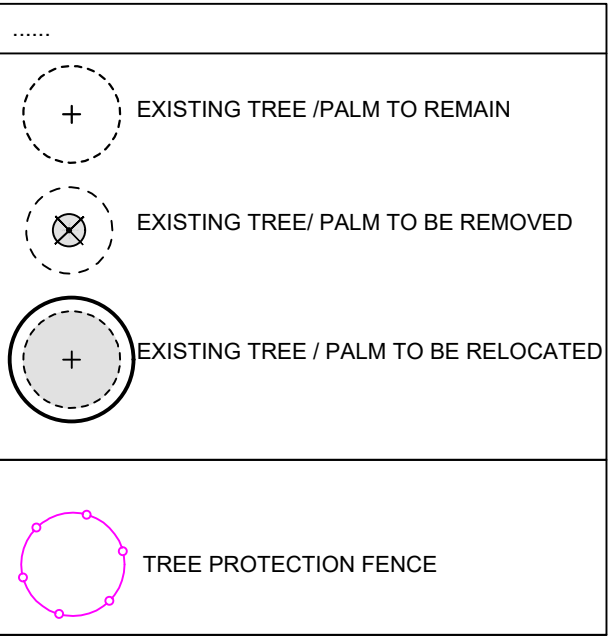
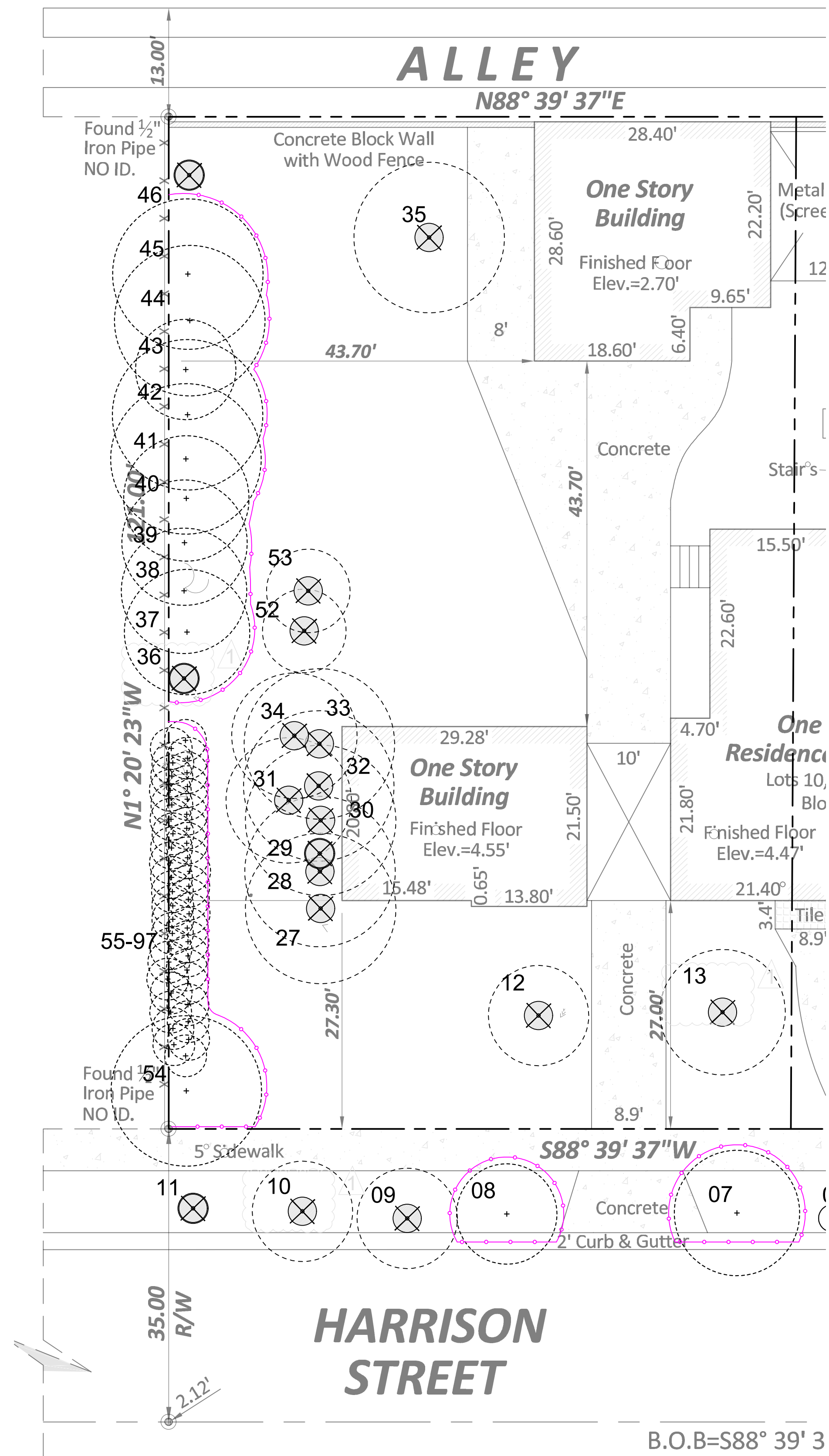
SHEET NO.: **C4**
4 OF 5

PROJECT NO.: 23-13



DATE: 5/4/23
SCALE: N.T.S.
SHEET NO.:
C5
5 OF 5
PROJECT NO.: 23-13

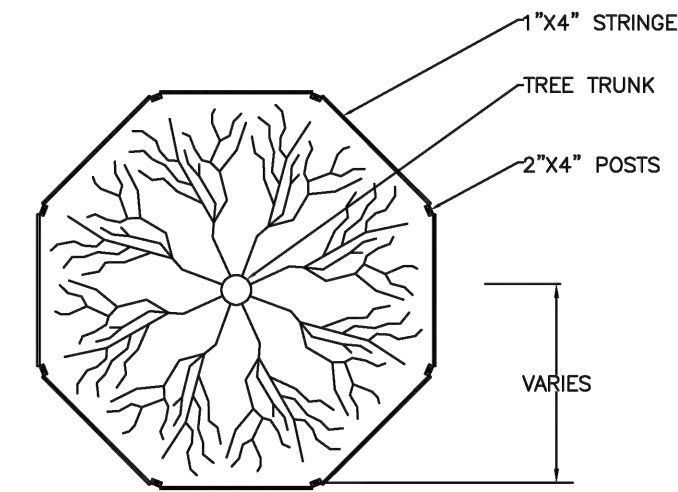
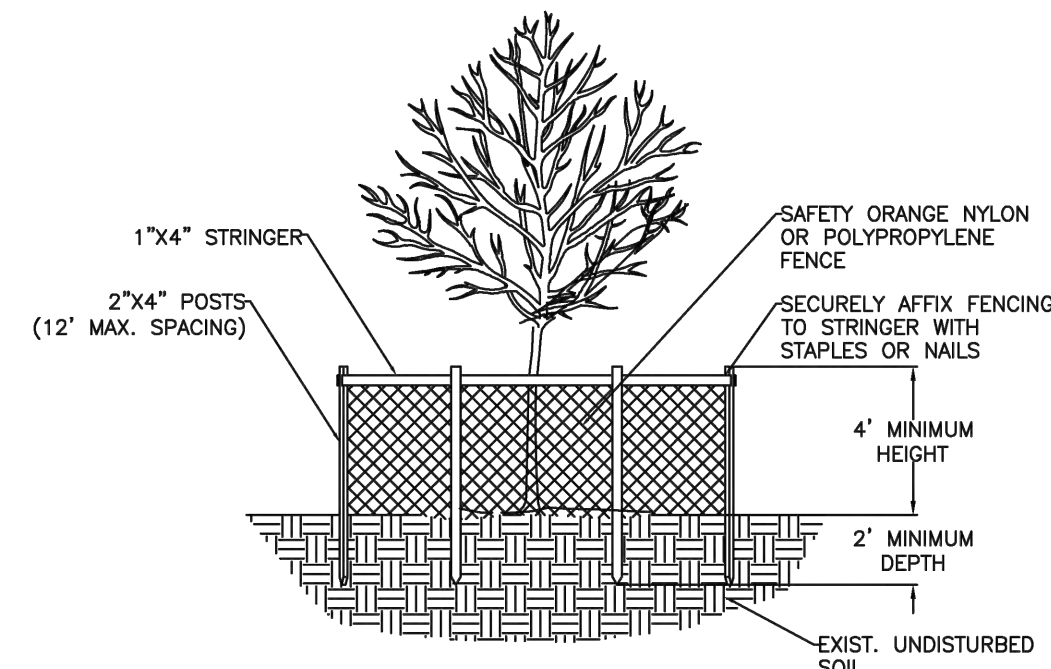




NUMBER	BOTANICAL NAME	COMMON NAME	DBH (inch)	HEIGHT (ft)	SPREAD (ft)	Condition	DISPOSITION
7	Roystonea regia	Royal Palm	23	50	15	Good	Remain
8	Roystonea regia	Royal Palm	19.5	50	12	Moderate	Remain
9	Roystonea regia	Royal Palm	20	55	12	Good	Remove
10	Roystonea regia	Royal Palm	18	50	12	Fair	Remove
11	Roystonea regia	Royal Palm	DEAD				Remove
12	Roystonea regia	Royal Palm	21.2	50	12	Fair	Remove
13	Roystonea regia	Royal Palm	20	55	15	Good	Remove
27	Roystonea regia	Royal Palm	17.6	55	18	Good	Remove
28	Roystonea regia	Royal Palm	14.5	50	18	Good	Remove
29	Roystonea regia	Royal Palm	15.3	40	15	Good	Remove
30	Roystonea regia	Royal Palm	17.5	55	18	Good	Remove
31	Roystonea regia	Royal Palm	13.2	50	15	Fair	Remove
32	Roystonea regia	Royal Palm	17.3	60	18	Good	Remove
33	Roystonea regia	Royal Palm	19	60	18	Good	Remove
34	Roystonea regia	Royal Palm	16.4	55	15	Good	Remove
35	Roystonea regia	Royal Palm	17.2	45	18	Good	Remove
36	Roystonea regia	Royal Palm	DEAD				Remove
37	Roystonea regia	Royal Palm	12	45	15	Good	Remain
38	Roystonea regia	Royal Palm	~14	50	15	Good	Remain
39	Roystonea regia	Royal Palm	~20	55	15	Good	Remain
40	Roystonea regia	Royal Palm	~16	55	15	Good	Remain
41	Roystonea regia	Royal Palm	~16	60	18	Good	Remain
42	Roystonea regia	Royal Palm	~16	55	18	Good	Remain
43	Roystonea regia	Royal Palm	14	45	12	Fair	Remain
44	Roystonea regia	Royal Palm	~20	60	18	Good	Remain
45	Roystonea regia	Royal Palm	~15	55	18	Good	Remain
46	Roystonea regia	Royal Palm	~18	50	15	Good	Remove
52	Washingtonia robusta	Mexican Fan Palm	9.8	30	10	Fair	Remove
53	Washingtonia robusta	Mexican Fan Palm	10.8	35	10	Fair	Remove
54	Roystonea regia	Royal Palm	~12	35	18	Good	Remain
55-97	Adonia memilii	Christmas Palm	2-6 ea	30	5	Fair-Good	Remain

TREE SYMBOLS ARE SHOWN TO SCALE

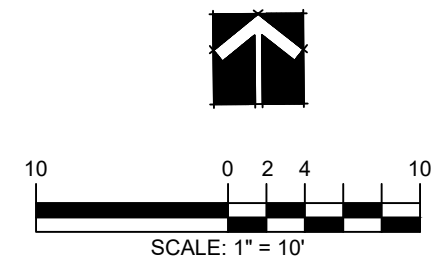
TREE MITIGATION		
16 PALMS WILL BE REMOVED. THE PROPOSED LANDSCAPE PLAN INCLUDES 3 ADDITIONAL TREES AND 7 NEW PALMS TO PROVIDE MITIGATION AS FOLLOWS:		
3 JAPANESE BLUEBERRY TREES	4" EACH (Palms 3=1)	9 PALMS
6 SOLITAIRE PALMS		6 PALMS
2 ROYAL PALMS		2 PALMS
TOTAL PALMS MITIGATED		17 PALMS



- NOTES:
1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
 2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TREE PROTECTION DETAIL	DRAWING NO.: L-08
APPROVED: JG		



FOLIAGE EXPRESSIONS
8801 SW 192nd Terrace,
Cutler Bay, FL 33157

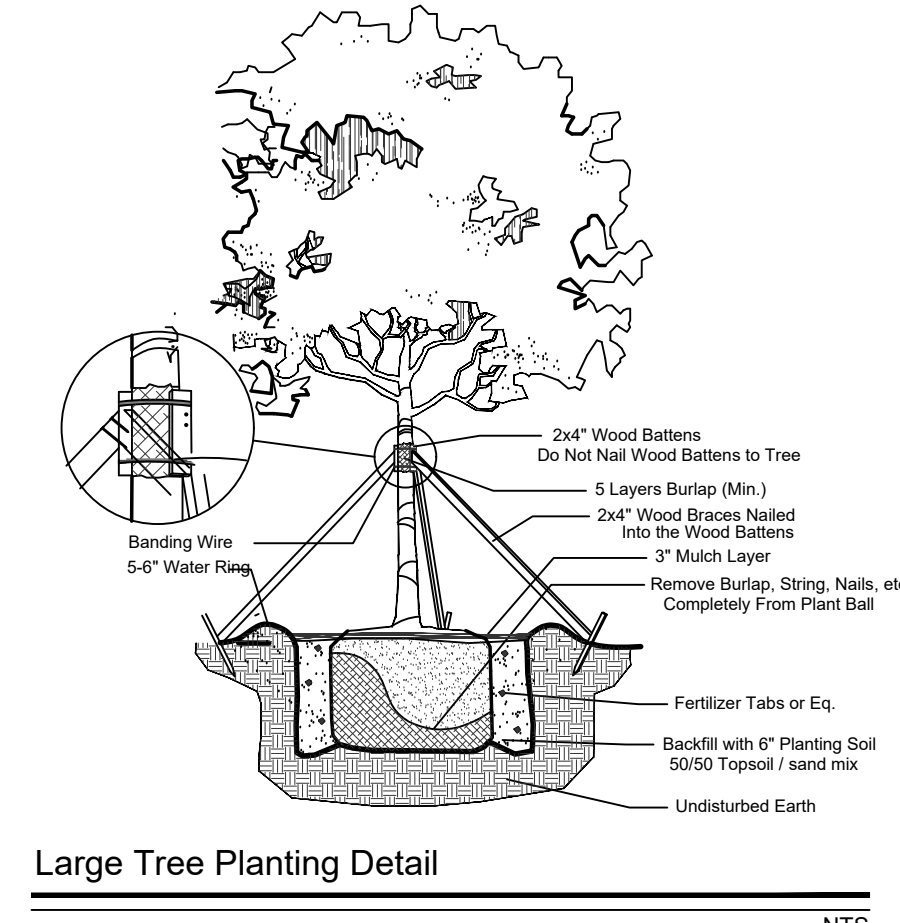
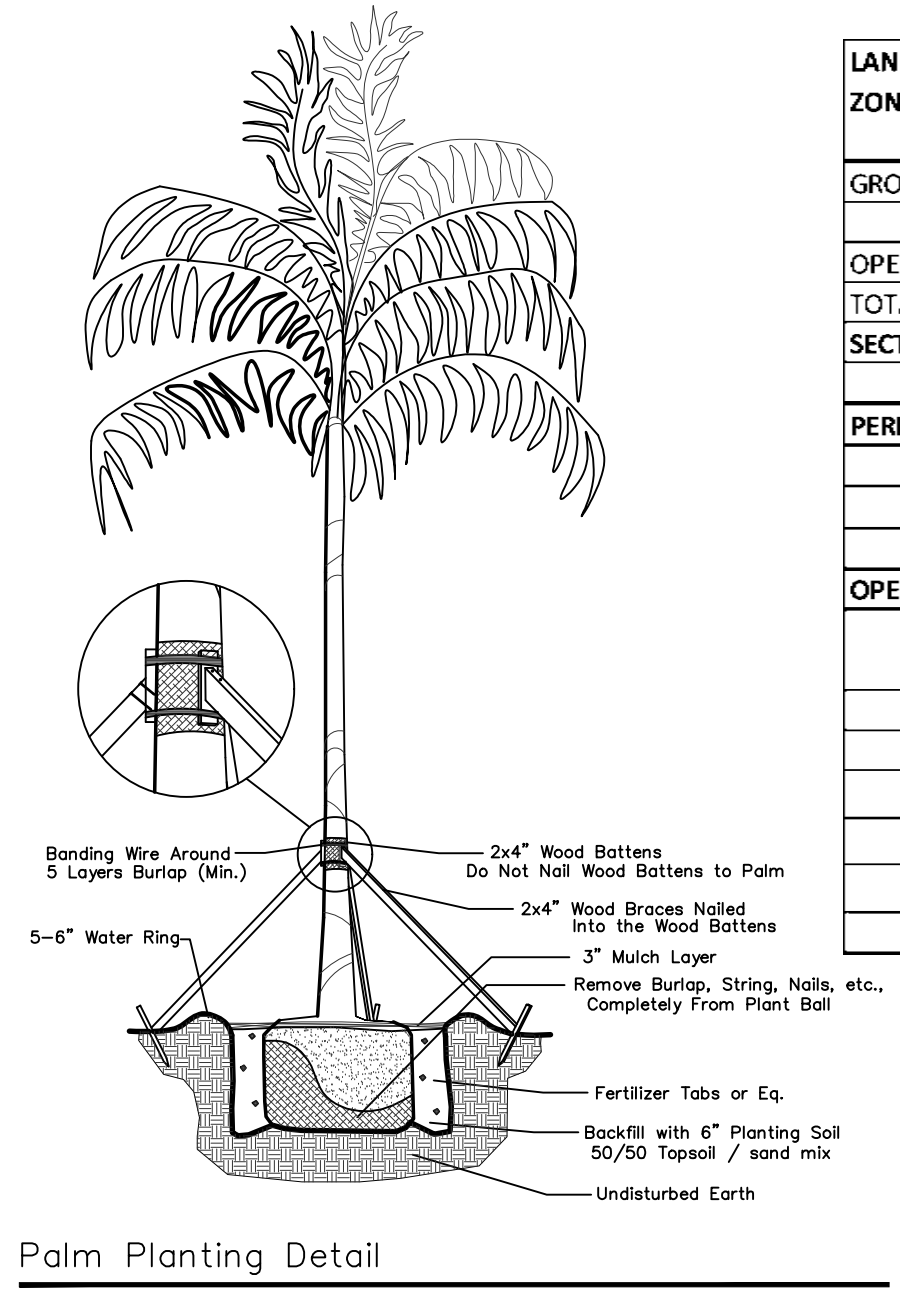
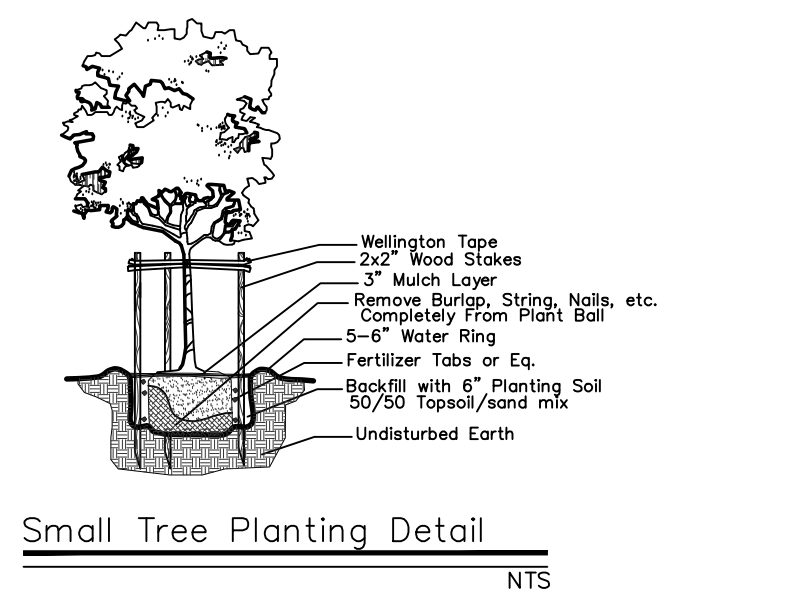
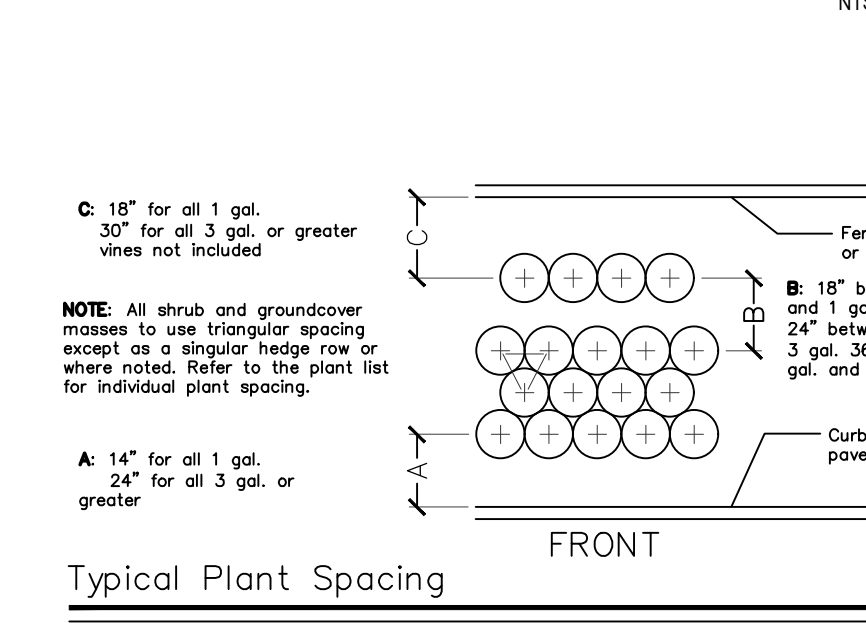
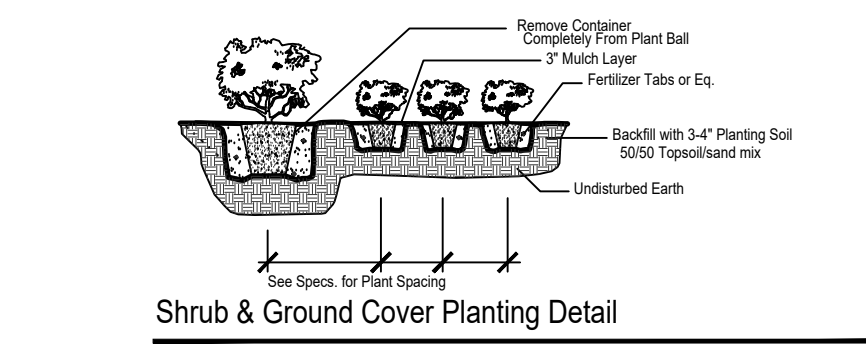
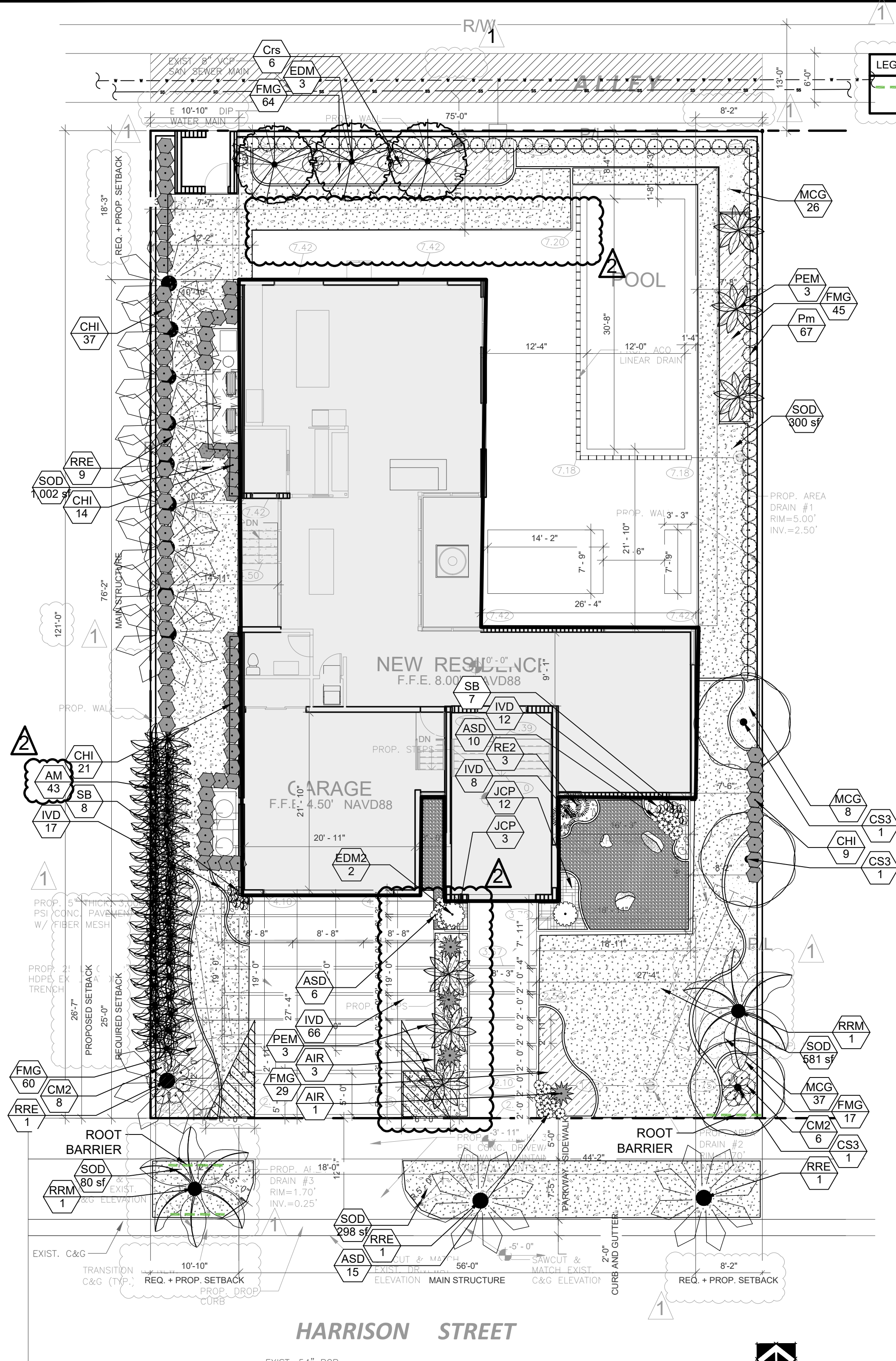


PROJECT NAME & LOCATION:
TIRAM RESIDENCE 1
1313 HARRISON STREET
HOLLYWOOD, FLORIDA

DISTRIBUTION:	DATE:
1 CITY COMMENTS	07-05-23
2 CITY COMMENTS	08-09-23

DRAWING NAME:
TREE
DISPOSITION
PLAN

DRAWING NUMBER:
L-200



PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE		
CS3	3	Conocarpus erectus sericeus	Silver Button Wood	FG/B&B	2" DBH	Yes	High		
EXISTING PALMS									
AM	43	Adonidia merrillii	Manila Palm	EXISTING		No	High		
RRE	12	Roystonea regia	Royal Palm	EXISTING		Yes	High		
MITIGATION PALMS									
PEM	6	Ptychosperma elegans	Alexander Palm	FG/B&B	12'-14" HT. X 6" SPR.	No	High		
RRM	2	Roystonea regia	Royal Palm	FG/B&B	14" GW. FLORIDA #1	Yes	High		
MITIGATION TREES									
EDM	3	Elaeocarpus decipiens	Japanese Blueberry Tree	FG/B&B	4" DBH	No	High		
SHRUBS									
AIR	4	Alcantarea imperialis 'Rubra'	Rubra Imperial Bromeliad	-	30-36" OA	No	High	36" o.c.	
ASD	31	Asparagus densiflorus 'Myers'	Myers Asparagus	-	18"x18"	No	High	14" o.c.	
CHI	81	Chrysobalanus icaco	Coco Plum	-	42" H. X 24" SPR.	Yes	High	24" o.c.	
CM2	14	Codiaeum variegatum 'Mammy'	Mammy Croton	-	18"x18"	No	High	24" o.c.	
CRS	6	Cordyline fruticosa 'Red Sister'	Red Sister Ti	-	24"H x18" SPREAD	No	Medium	24" o.c.	
EDM2	2	Elaeocarpus decipiens 'MonProud'	Japanese Blueberry Tree Dwarf	-	6" OA.; FULL TO BASE. CONE	No	High	36" o.c.	
Pm	67	Podocarpus macrophyllus	Yew Pine	-	30" HT. X 24" SPD	No	High	24" o.c.	
RE2	3	Rhapis excelsa	Yew Palm	---	36" H. X 24" SPR.	Yes	Medium	36" o.c.	
SB	15	Sansevieria trifasciata 'Black Gold'	Black Gold Sansevieria	-	12"x12" OA.	No	Medium	12" o.c.	
SHRUB AREAS									
IVD	103	Ilex vomitoria 'Stokes dwarf'	Dwarf Yaupon Holly	-	14" HT x 16" SPR	Yes	High	16" o.c.	
GROUND COVERS									
FMG	215	Ficus microcarpa 'Green Island'	Green Island Ficus	-	14" HT x 16" SPR	No	High	18" o.c.	
JCP	15	Juniper chinensis 'Parsonii'	Parsoni Juniper	---	12"H. X12" SPR.	NO	HIGH	18" o.c.	
SOD/SEED									
SOD	2,243 sf	Stenotaphrum secundatum 'Floritam'	'Floritam' St. Augustine Sod	sod		No	High		
TALL GROUND COVERS									
MCG	71	Muhlenbergia capillaris	Pink Muhly Grass	-	Yes	24" HT. x 24" SPR.	Yes	Medium	22" o.c.

LANDSCAPE CALCULATIONS			
ZONING: RS-6			
GROSS SITE AREA	9,075 S.F.		
OPEN SPACE / PERVIOUS AREA	4,085 S.F.	45.00%	
TOTAL IMPERVIOUS AREA	4,990 S.F.	55.00%	
SECTION 4.6			
PERIMETER LANDSCAPE	REQUIRED	PROVIDED	
1 ONE 12' TREE EVERY 50' O.C. OF STREET FRONTAGE			
HARRISON STREET 75LF / 50=1.5	2 TREES	2 TREES	
OPEN SPACE			
3 MINIMUM 1 TREE PER EVERY (1,250) S.F. OF FRONT YARD AREA			
PERVIOUS AREA 2,850 S.F. / 1,250 S.F.=2.2	2 TREES	2+ TREES	
TOTAL TREES	4 TREES	4+ TREES	
MINIMUM 60% NATIVE 6X60%=4	4 (60% MIN.)	4+ 60%	
PERCENT OF PALMS NO MORE THAN 50%	3/9 PALMS	12 PALMS (33%)	
PERCENT OF NATIVE SHRUBS 50% 326 X50%=163	161	187	

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum.

All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material (except SOD) as included herein shall be warranted by the landscape contractor for a minimum period of 12 months,

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

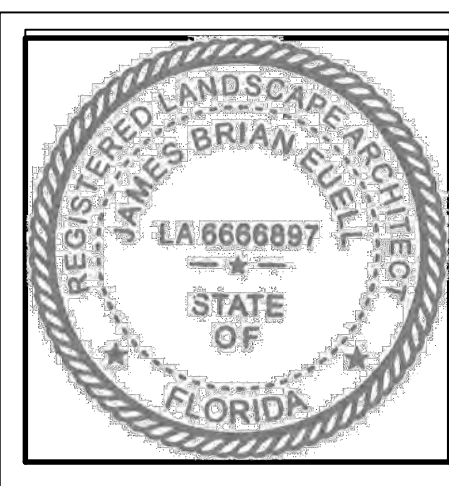
All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

The plan takes precedence over the plant list.

FOLIAGE EXPRESSIONS

8801 SW 192nd Terrace,
Cutler Bay, FL 33157



TIRAM RESIDENCE 1

1313 HARRISON STREET
HOLLYWOOD, FLORIDA

DISTRIBUTION:	DATE:
1 CITY COMMENTS	07-05-23
2 CITY COMMENTS	08-09-23

DRAWING NAME:
LANDSCAPE PLAN AND DETAILS

DRAWING NUMBER:
L-210