

Permit Search Results

[Search](#) > Properties located at/on/near '...1317 Harrison...'

6 permits were found for
1317 HARRISON ST

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B25-101511	FOUNDATION-REPAIR	6/10/2025	7/2/2025
Details		P23-101007	DEMOLITION- PLUMBING	7/31/2023	8/31/2023
Details	86845	B0501094	RE-ROOF FLAT	2/23/2005	2/28/2005
Details		B9706636	REPAIRS- STRUCTURAL		9/18/1997
Details		B9605475	ALTERATIONS- EXTERIOR		7/30/1996
Details		B9206659	RE-ROOF-FLAT		10/7/1992

NAME OF OWNER Matt Tomich

ADDRESS 1317 Harrison St.

LEGAL DESCRIPTION Lot 10, 11, 12 B-8 Hard Lakes COST 12.6

DESCRIPTION OF CONST.

Sec

ARCHITECT:

Swimming Pool

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.	3449	7-8-70	Red Pools	
ROOF				
ELECTRICAL	1920	8-24-70	Swanner	
PLUMBING	1490	3-25-71	Peoples Gas	gas out
GAS				gas out
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

JOE CARD

OWNER M. Tomich		JOB ADDRESS 1317 Harrison Street	
LEGAL DESCRIPTION	LOT NUMBER 10, 11, 12	BLOCK 8	SUBDIVISION OR ADDITION Hollywood Lakes
MICROFILM NO. 78-0337	ARCHITECT	FEE \$ 19.20	VALUATION \$ 2469.00

DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

- ☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 192	24538	2/27/75	Wally Bjork	SEPTIC/SEWER			
ROOF 200				AIR/CONDITION			
ELECTRIC-BASIC	8610	2-28-75	Anderson	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX. 3	6338	2/28/75	MGR Corp	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

FORM 1144-13

JOB CARD

OWNER Johns		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 45.00	VALUATION \$5820.00

DESCRIPTION OF CONSTRUCTION remove & replace 40 windows	☐ SEPTIC TANK ☐ SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	77313	9-1-82	Windowrama	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
C-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County surcharge: \$2.04

JOB CARD

OWNER Melina Tomich		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 15.00	VALUATION \$ 500.

DESCRIPTION OF CONSTRUCTION Replace wall unit	☐ SEPTIC TANK ☐ SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	15756	5/10/84	Holden A/C
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County Surcharge: .20

JOB CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 1400.00

DESCRIPTION OF CONSTRUCTION

Re-roof - T & G

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 1000	53975	5/1/79	White Seal	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

County Surcharge \$.49

JOB CARD

OWNER THOMICH	JOB ADDRESS 1317 Harrison St.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 6.00	VALUATION \$ 400
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DESCRIPTION OF CONSTRUCTION 1-2 ton Window Unit	☐ SEPTIC TANK ☐ SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	9518	9/15/78	H E Holden
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER

TOMICH

JOB ADDRESS

1317 Harrison St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 450

DESCRIPTION OF CONSTRUCTION

Re Roof Tar & Gravel

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

ROOF 300

46263

3/10/78

White Seal

SEPTIC/SEWER

AIR/CONDITION

MECHANICAL

SCREEN

POOL

DRIVEWAY

PATIO or WALK

ELECTRIC-BASIC

ELECTRIC-SUPP.

PLUMBING

NO. FIX.

L-P-DRY WALL

FENCE

NOTES:

JOB CARD

OWNER THOMICH	JOB ADDRESS 1317 Harrison St.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 2.50	VALUATION \$ 300
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DESCRIPTION OF CONSTRUCTION 1-1 Window Unit	☐ SEPTIC TANK ☐ SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	4261	5/14/74	United App.
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
I.-P.-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	FORM 1144-13
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JOB CARD 691

OWNER Tomick		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 6.30	VALUATION \$ 500.00

DESCRIPTION OF CONSTRUCTION Re-Roof	☐ SEPTIC TANK ☐ SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 800 Ø	3229	11/5/72	Alpha	AIR/CONDITION			
ELECTRIC-BASIC	1148	4-13-72	Minim	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES;

FORM 0860-13

JOB CARD

OWNER

JOB ADDRESS

Tomich

1317 Harrison St.

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

VALUATION

\$ 11.30

\$ 1800.00

DESCRIPTION OF CONSTRUCTION

Re-Roof 1600#

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	<i>550</i>	<i>12/15/71</i>	<i>Alpha</i>	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOE CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison Street

LEGAL
DESCRIPTION

LOT NUMBER

10, 11, 12

BLOCK

8

SUBDIVISION OR ADDITION

Hollywood Lakes

MICROFILM NO.

ARCHITECT

FEE

\$ 19.20

VALUATION

\$ 2469.00

DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING 192

24538

2/27/75

Wally Bjork

SEPTIC/SEWER

ROOF 200

AIR/CONDITION

ELECTRIC-BASIC

8610

2-28-75

Anderson

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING NO. FIX. 3

6338

2/28/75

MGR Corp

POOL

L-P-DRY WALL

DRIVEWAY

FENCE

PATIO or WALK

NOTES:

FORM 1144-13

78-0351

250

Let's issued 2-27-75 Permit No. 24538
Owner M. Tomich
Description Remodel - add new PATIO - Screen
Location 1317 Harrison St
Lot 10-1-12 Block 8 Subdivision HARD LAKES
Contractor or Builder Wally B. Clark & Son
License No. _____
Architect and/or Engineer _____
Cubic Ft. 1728 Valuation \$ 2469⁰⁰
Square Ft. 192 Roof 200
Date Plans Received 2/25/75 3:25 pm
Mono Ftg. & Pads

78-0351
Zoning Single 2-26-75
Engineering-Curb Cuts _____
Sidewalk _____
Drainage _____
Utilities-Water _____
Sewer _____
Traffic Eng. _____
Bldg.-Electric EH 2-26-75
Plumbing EH 2-26-75
A/C-Mech. _____
Structure _____
Fire Bureau _____
Plan Review Ray [Signature]

sub j to field insp.

Relocate Laundry
Remove cap w/ 4 feet
(Min. Permit) J. M. Cowell

"SEPARATE PLUMBING PERMIT
AND INSPECTION REQUIRED"

Blueprints
Subdivisions

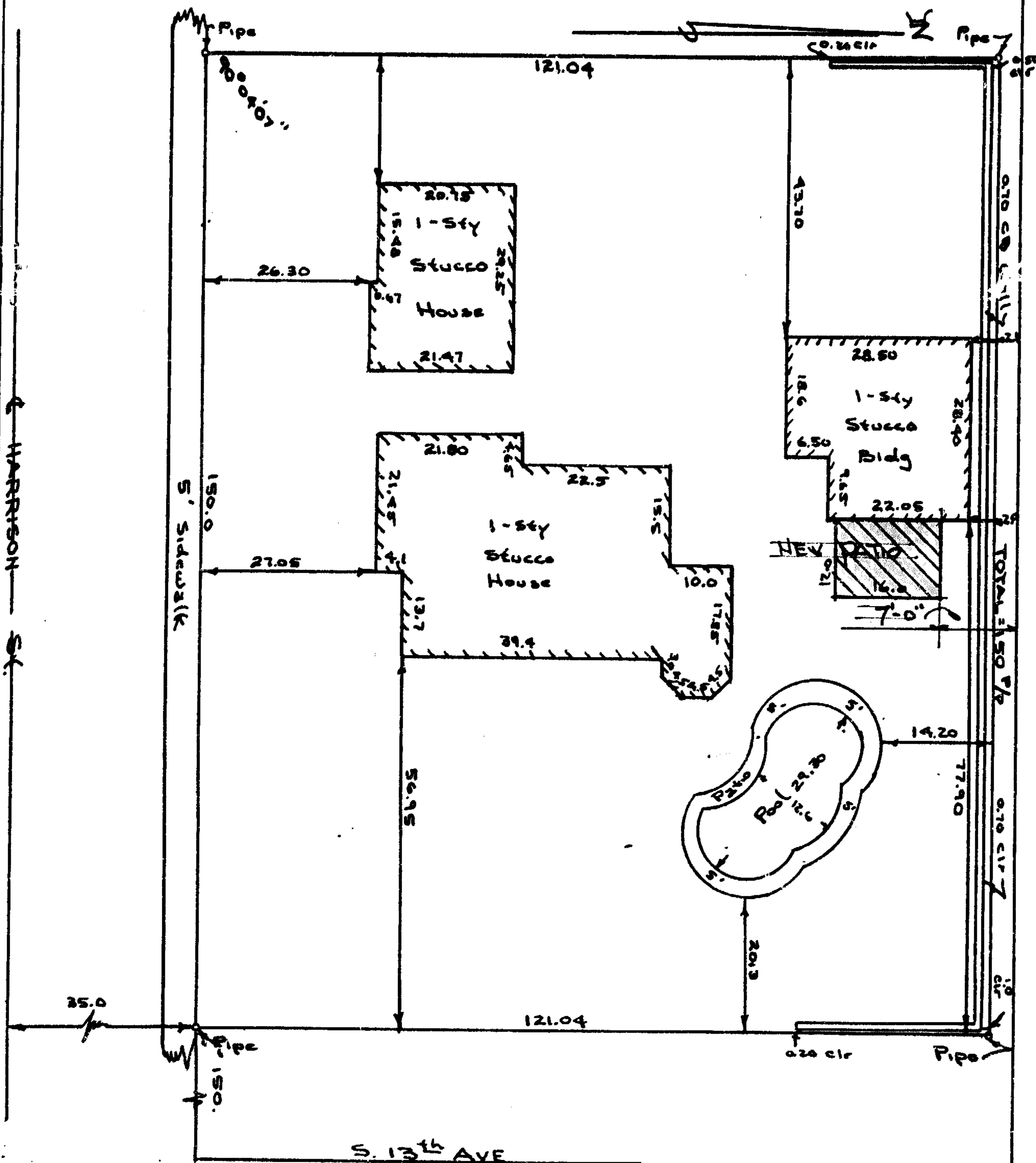
Survey for

Photostats
Land Planning

M. TOMICH
E. JOHNS

Scale 1" = 20'

DESCRIPTION: Lots 10, 11, and 12, Block 8 of HOLLYWOOD LAKES SECTION" according to the Plat thereof recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.



I hereby certify that I have made a recent survey of the above described property and it is true and correct to the best of my knowledge and belief. I also certify that there are no above ground encroachments, unless otherwise noted. Dated this 25th day of February, 1975, A.D.

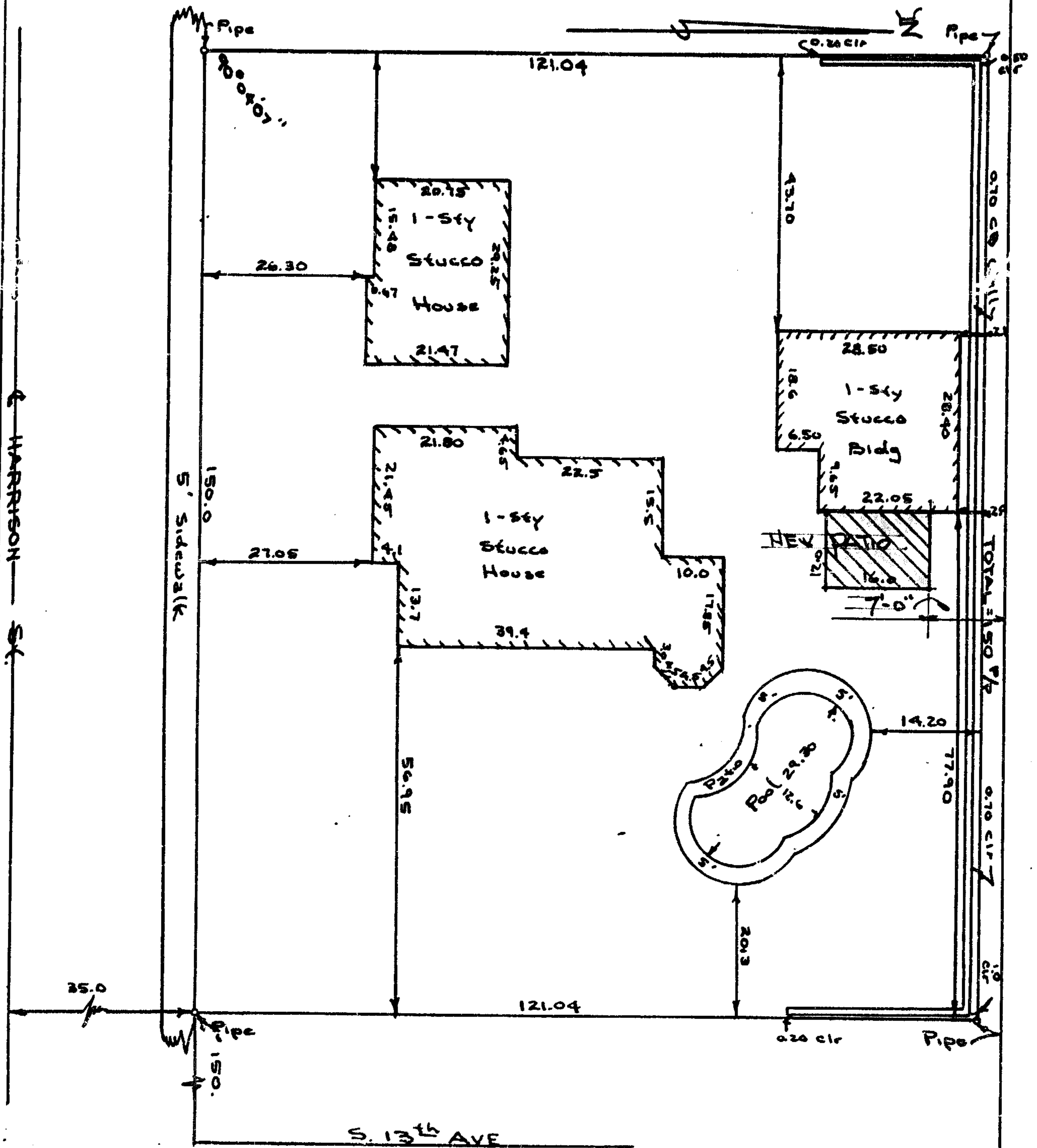
"I further certify that the survey represented hereon meets the minimum requirements adopted by the F.S.P.L.S. and the F.L.T.A."

Arthur C. Boggs
ARTHUR C. BOGGS
Registered Land Surveyor No. 724
State of Florida

M. TOMICH
E. JOHNS

Scale 1" = 20'

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Arthur C. Boggs
ARTHUR C. BOGGS
Registered Land Surveyor No. 724
State of Florida

EXISTING 2 CAR GARAGE
CONCRETE SLAB

STRUCTURAL NOTES
NEW LAUNDRY AREA

ROOF - 2x4 P/T - 3/4" A/C
DECKING - 3/4" - TREATED - BOTH SIDES
DRILL WALL - 3/4" - P/C - TAPED JOINTS
PAINTING - 2 COATS - WHITE
FLOOR COVER - VINYL ASBESTOS
ON 15 LB. FELT
REMOVE LOWER STORAGE DIST.
CORRECT PATERS SO THAT
FACE OF D/W = FACE OF CAB.

+1 5/8'-0"

EXISTING WORK SHOP

EXISTING STORAGE CABINET
8'-0"

NEW LAUNDRY AREA

RAISE FLOOR

DRILL WALL - CEILING
AND WALLS

REMOVE EXISTING
TOILET AND LAV.

EXISTING
W.C. W/IN P.T.C.

TOILET

W.C.

LAUNDRY
TRAY

EXISTING WALL

EXISTING
FINISHED
LAUNDRY
ROOM

PAINT
(SEE LATER DETAIL)

EXISTING BATH
NO CHANGE

REMOVE WASHER AND
DRYER - SEE NEW LOCATION

REMOVE EXISTING
CLOSET - MEDIAN WALL

20'-0"

TRX HI - BACK TO BACK

1 INCH
SEPARATION

6'-0 3/4"

REMOVE 2 EX. WINDOWS
AND WALL SECTION -
INSTALL - 6'-0 3/4" ALUM.
PATIO DOOR - TEMPERED GLASS.

FREE FLOATING PATIO SLAB
SEE DETAIL ①

EXISTING MASONRY RAIL

16'-0"

4'-5"

PLAN
SCALE - 3/8" = 1'-0"

SEPARATE PLUMBING AND ELECTRICAL PERMITS

EXISTING GARAGE

ALLOW 1' CLEARANCE

2" CONCRETE SLAB
6x6 MESH
TROWEL FINISH
CONCRETE - 3000 PSI

SLOPE 1/8"

#5 @ EW

#5 CONTINUOUS

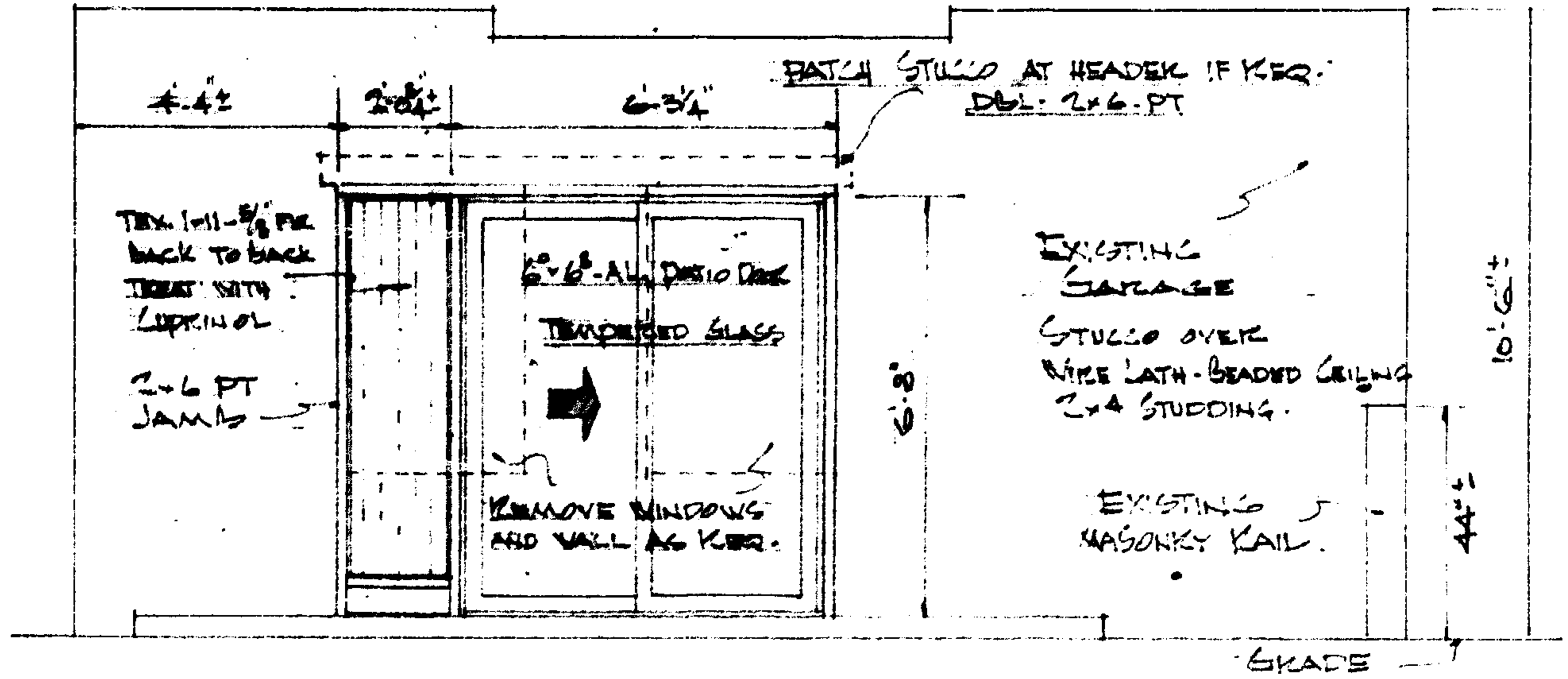
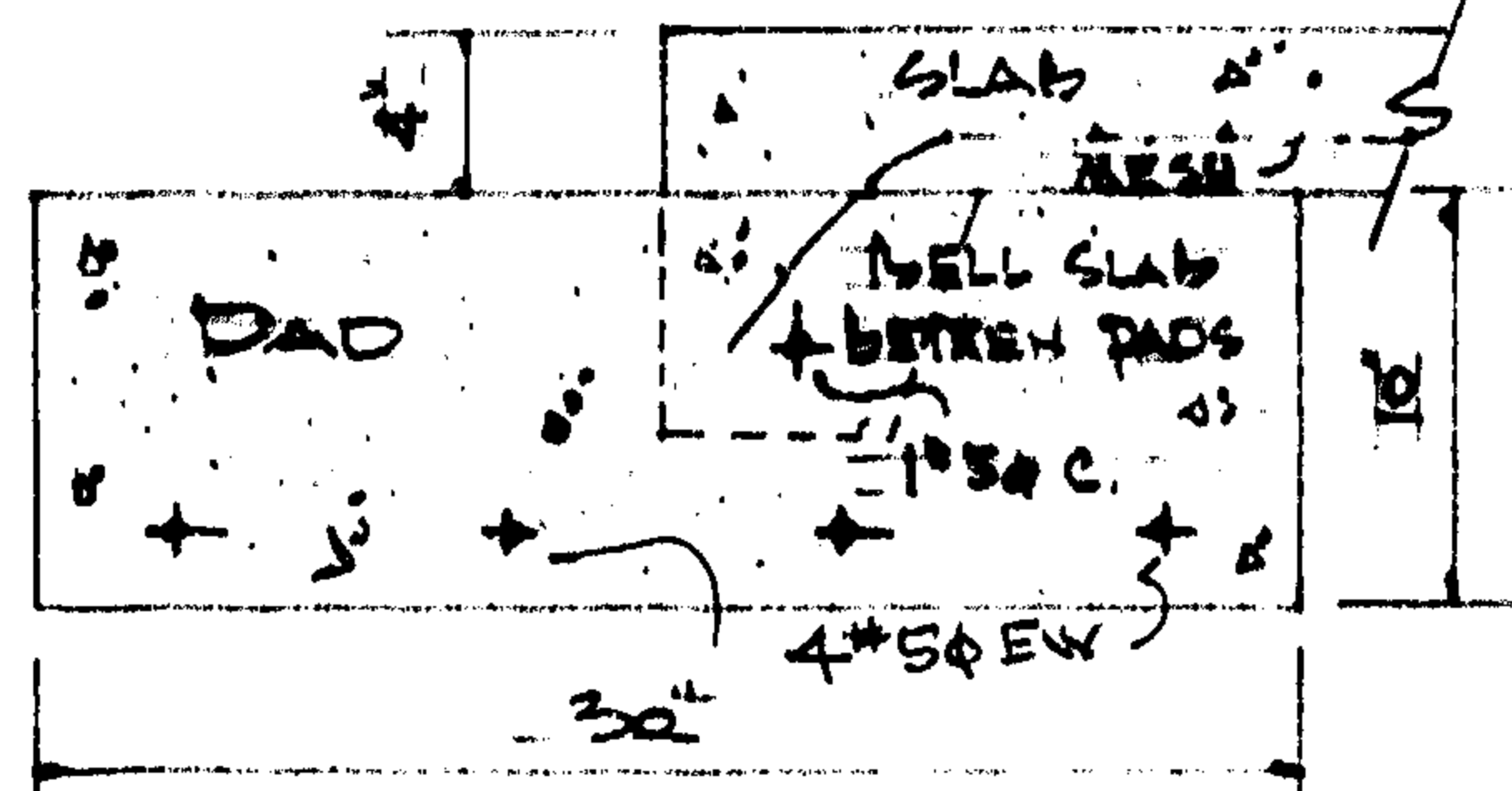
30"

30"

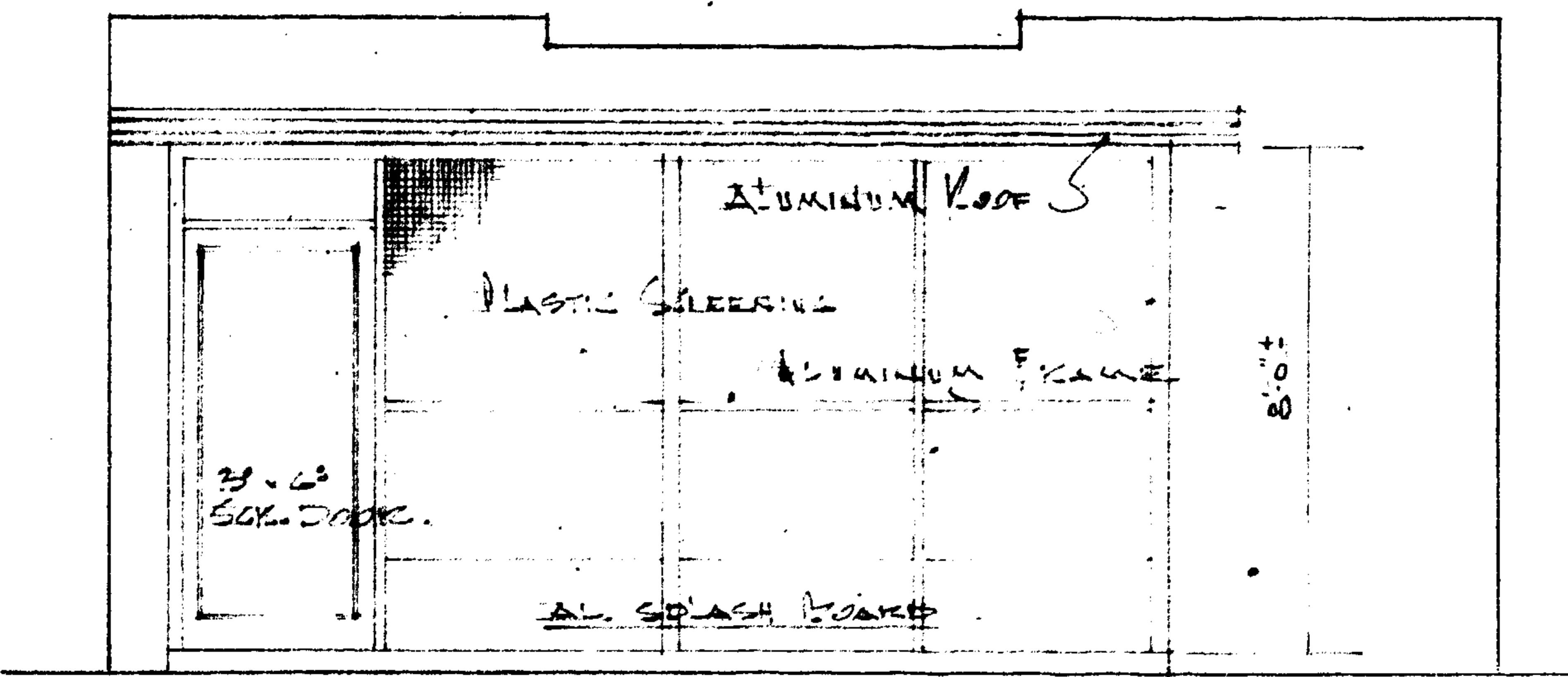
16'-0"

SLAB AND PADS
SCALE - 1/4" = 1'-0"

①



EAST ELEVATION - SHOWING PATIO DOOR



EAST ELEVATION - SHOWING SCREENING
OTHER SIDES - DITTO - NO SCREEN DOOR

RESIDENTIAL ALTERATIONS
FOR MRS. M. TOMICH.....
1317 HARRISON ST, HOLLYWOOD, FLA.
WALLY BJORK AND SON
GENERAL CONTRACTORS
HOLLYWOOD LICENSE # 73-22802

EXISTING GARAGE CONCRETE SLAB

STRUCTURAL NOTES NEW LAUNDRY AREA

ROOF - 2x4 P/T - 2x4 A/C.
DECKING - 1/2" - TREATED - BOTH SIDES
DRY-WALL - 1/2" - MC-TAPED JOINTS
PAINTING - 2 COATS - WHITE
FLOOR COVER - VINYL ASBESTOS
ON 15 LB. FELT
REMOVE LOWER STORAGE UNIT.
CORRECT PLATES SO THAT
FACE OF D/W = FACE OF CAB.

EXISTING WORK SHOP

EXISTING STORAGE CABINET
5'-0"

NEW LAUNDRY AREA

REMOVE FLOOR

REMOVE CEILING
AND WALLS

REMOVE EXISTING
TOILET AND LAV.

EXISTING
VENTILATE.

LAUNDRY
TRAY

EXISTING WALL

EXISTING
FINISHED
LAUNDRY
ROOM

WALL
(SEE LATER DETAIL)

EXISTING BATH
NO CHANGE

REMOVE WASHERS AND
DRYER - SEE NEW LOCATION

REMOVE EXISTING
TOILET - REPAIR WALL

TRX 1x1 - BACK TO BACK

1 INCH
SEPARATION

REMOVE 2 EX. WINDOWS
AND WALL SECTION -
INSTALL - 6'-0" ALUM.
PATIO DOOR - TEMPERED GLASS.

FREE FLOATING PATIO SLAB

SEE DETAIL ①

EXISTING MASONRY WALL

PLAN
SCALE - 3/8" = 1'-0"

SEPARATE PLUMBING AND ELECTRICAL PERMITS

EXISTING GARAGE

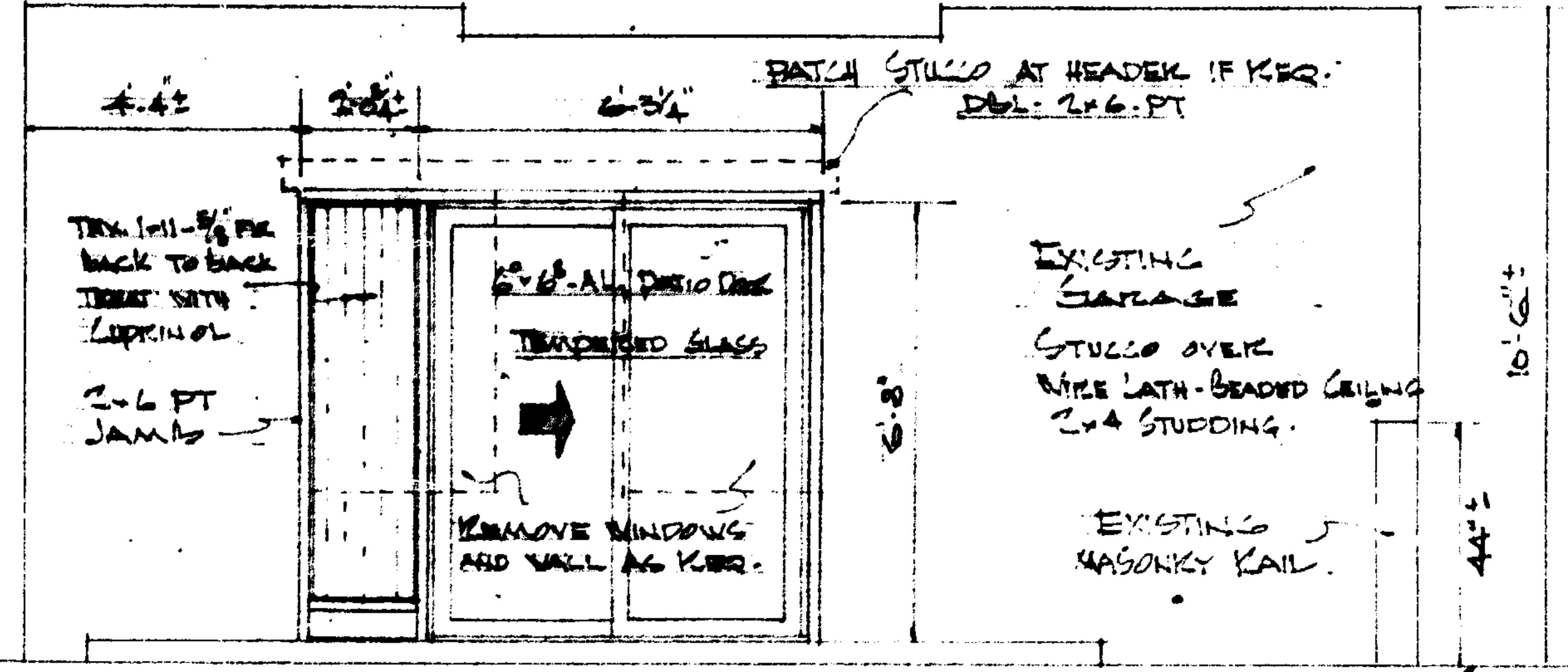
ALL NEW CLEARANCE

CONCRETE SLAB
6'-0" MESH
THIN FILL
CONCRETE - 3000 PSI

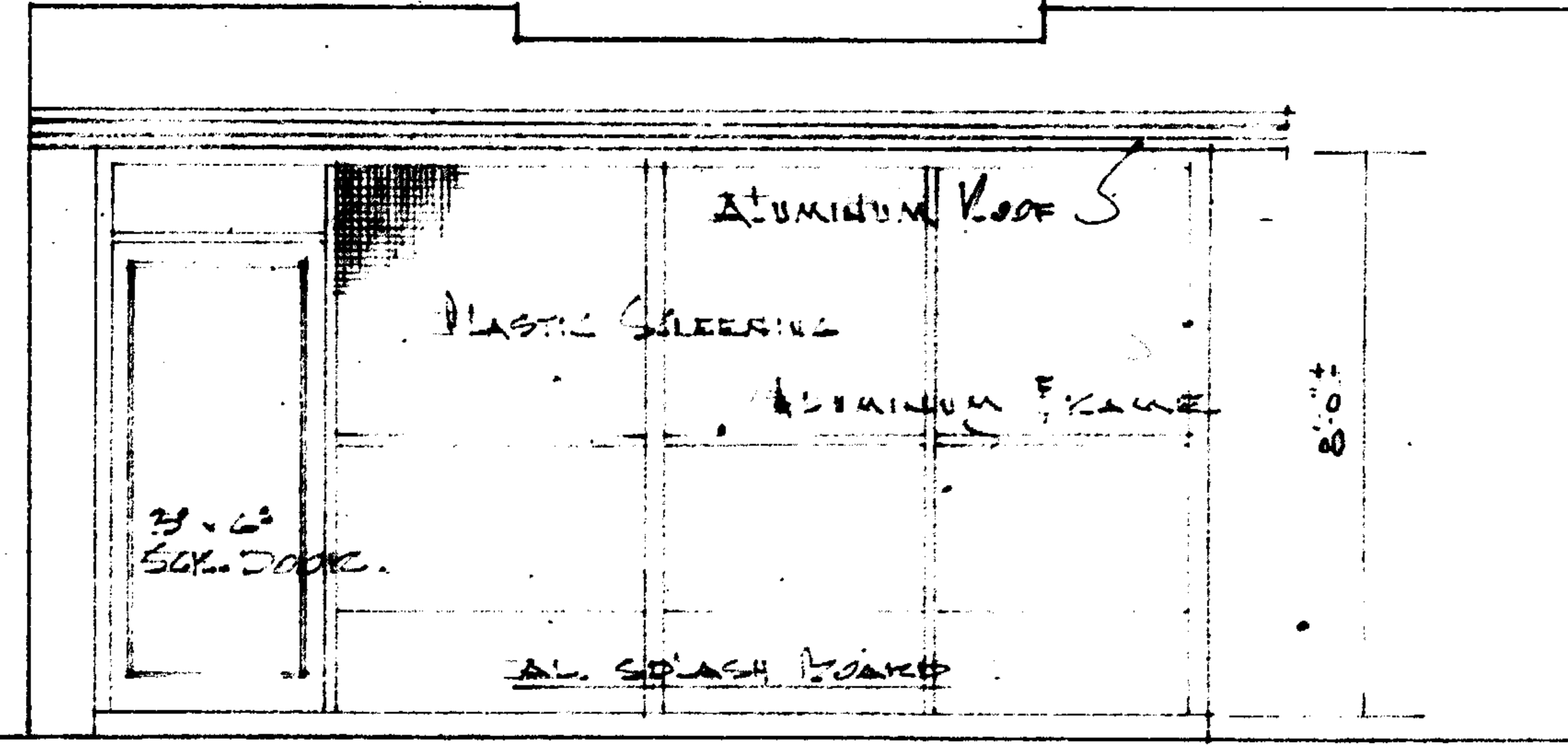
1" 5x CONTINUOUS

SLAB AND PADS
SCALE - 1/4" = 1'-0"

SECTION
PAD AND SLAB - TYP.
SCALE - 1 1/2" = 1'-0"

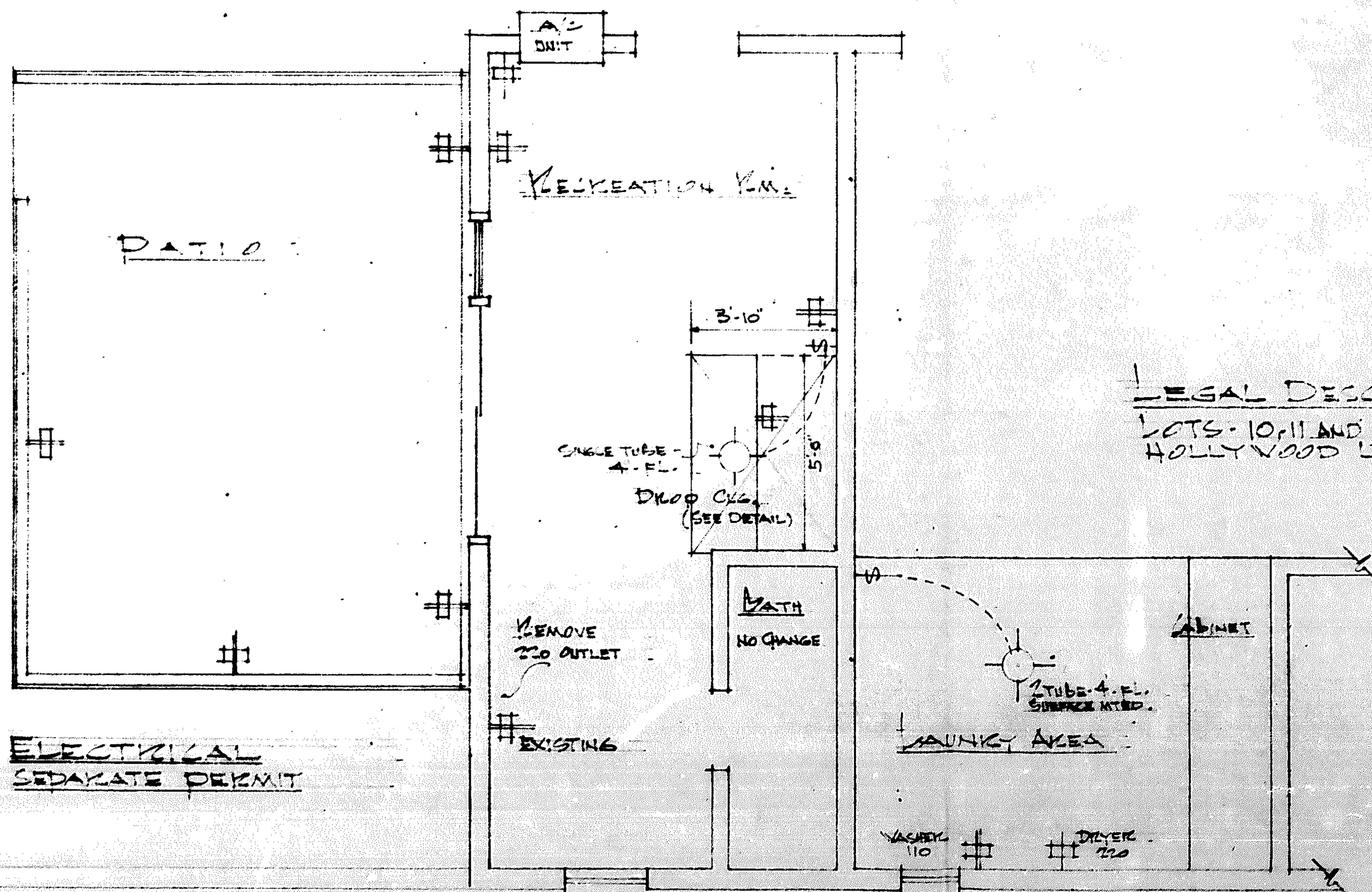
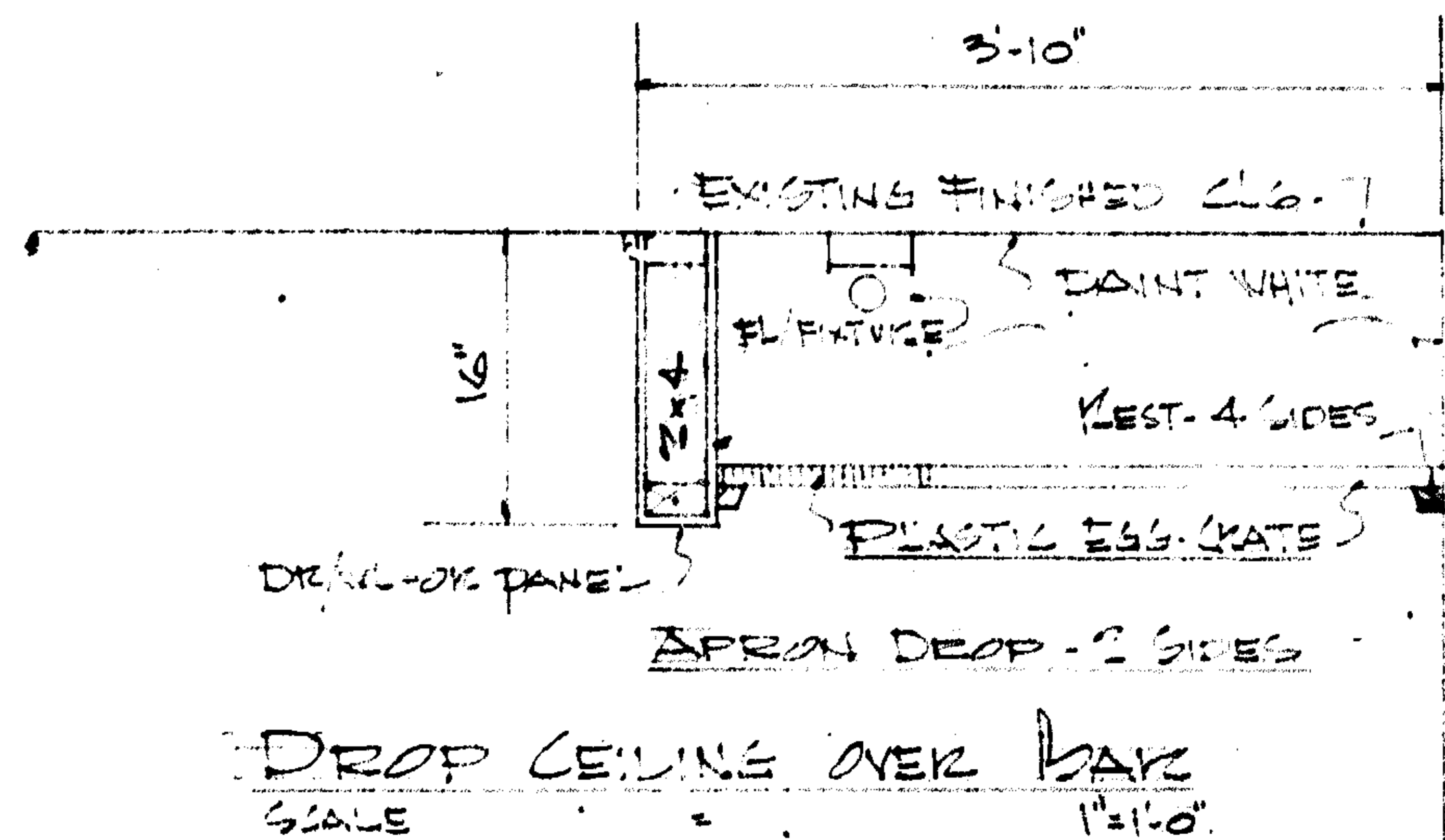


EAST ELEVATION - SHOWING PATIO DOOR



EAST ELEVATION - SHOWING SCREENING
OTHER SIDES - DITTO - NO SCREEN DOOR

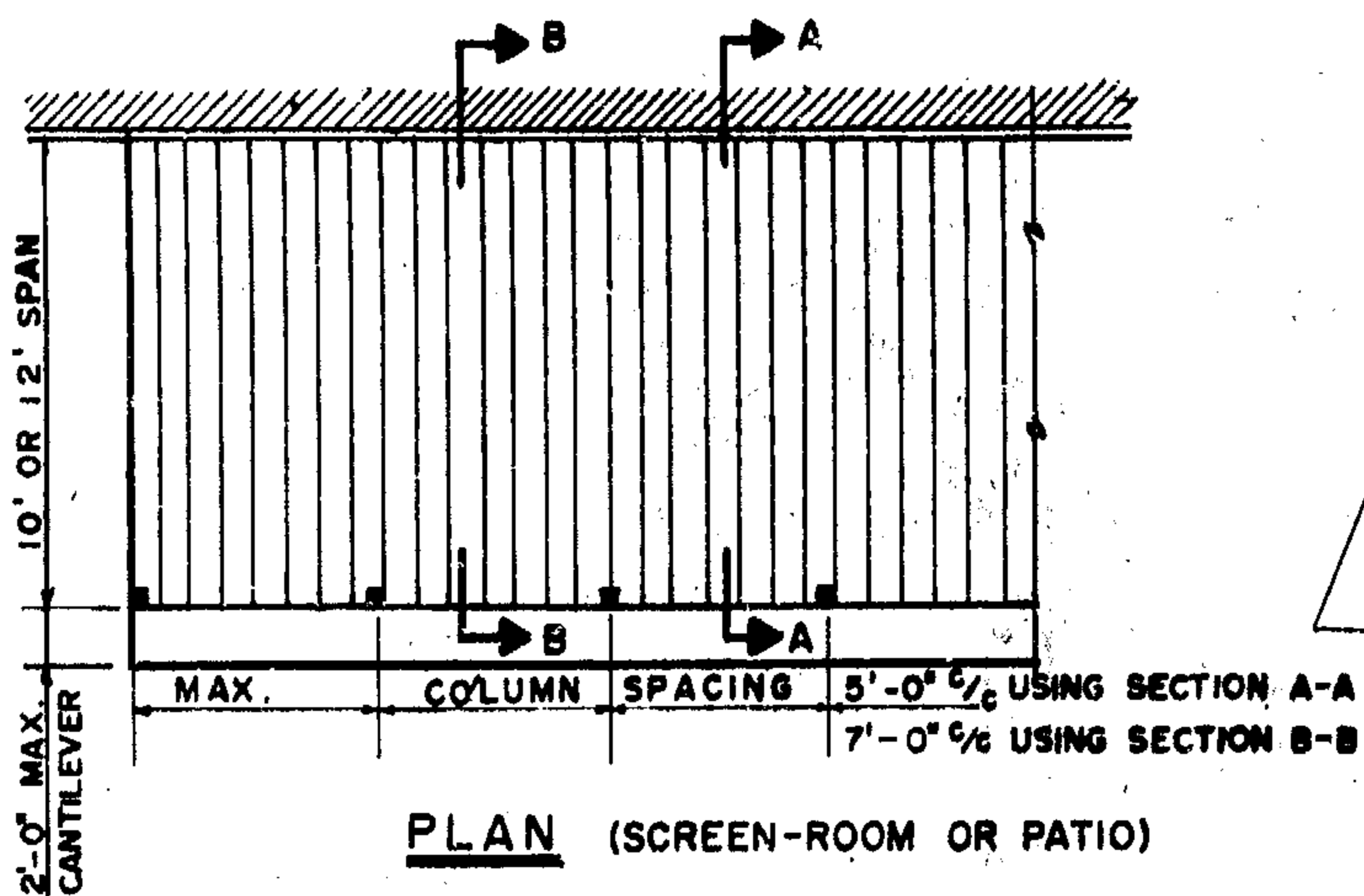
RESIDENTIAL ALTERATIONS
FOR MRS. M. TOMICH.....
1317 HARRISON ST, HOLLYWOOD, FLA.
WALLY BLOCK AND SON
GENERAL CONTRACTORS
HOLLYWOOD LICENSE # 73-22802



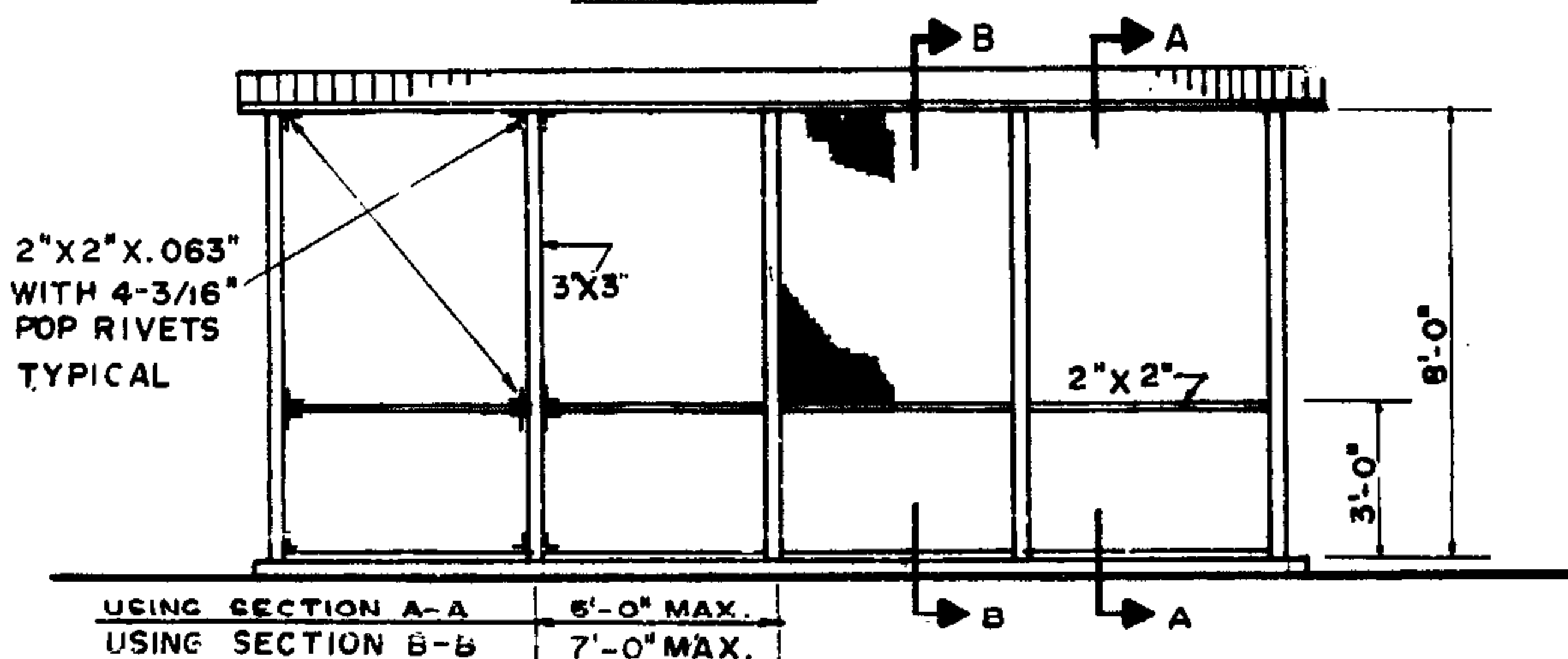
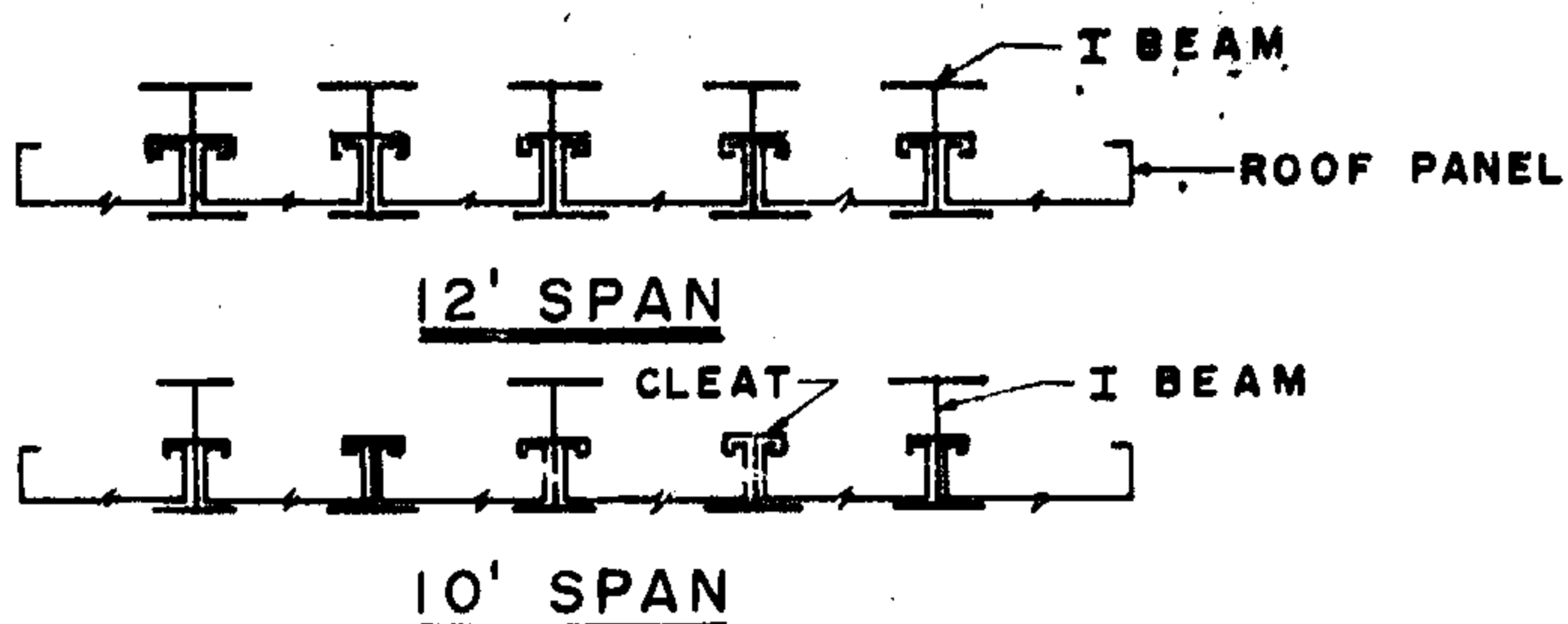
LEGAL DESCRIPTION
 LOTS 10, 11 AND 12 - BLOCK 8,
 HOLLYWOOD LAKES.

ELECTRICAL
 SEPARATE PERMIT

SEPARATE ELECTRICAL
 PERMIT REQUIRED



PLAN (SCREEN-ROOM OR PATIO)



SCREEN ROOM ELEVATION

PATIO ELEVATION, SIMILAR W/ REMOVAL OF SCREEN & COMPONENTS

SPECIFICATIONS

DESIGN CRITERIA

LOADING DESIGN 30 PSF
DEFLECTION: PRIMARY MEMBERS L/180
SECONDARY MEMBERS L/80
RECOVERY FROM WIND LOAD 9%
COLUMNS: L/r not greater than 200
FASTENERS: SAFETY FACTOR EQUALS 3 MINIMUM

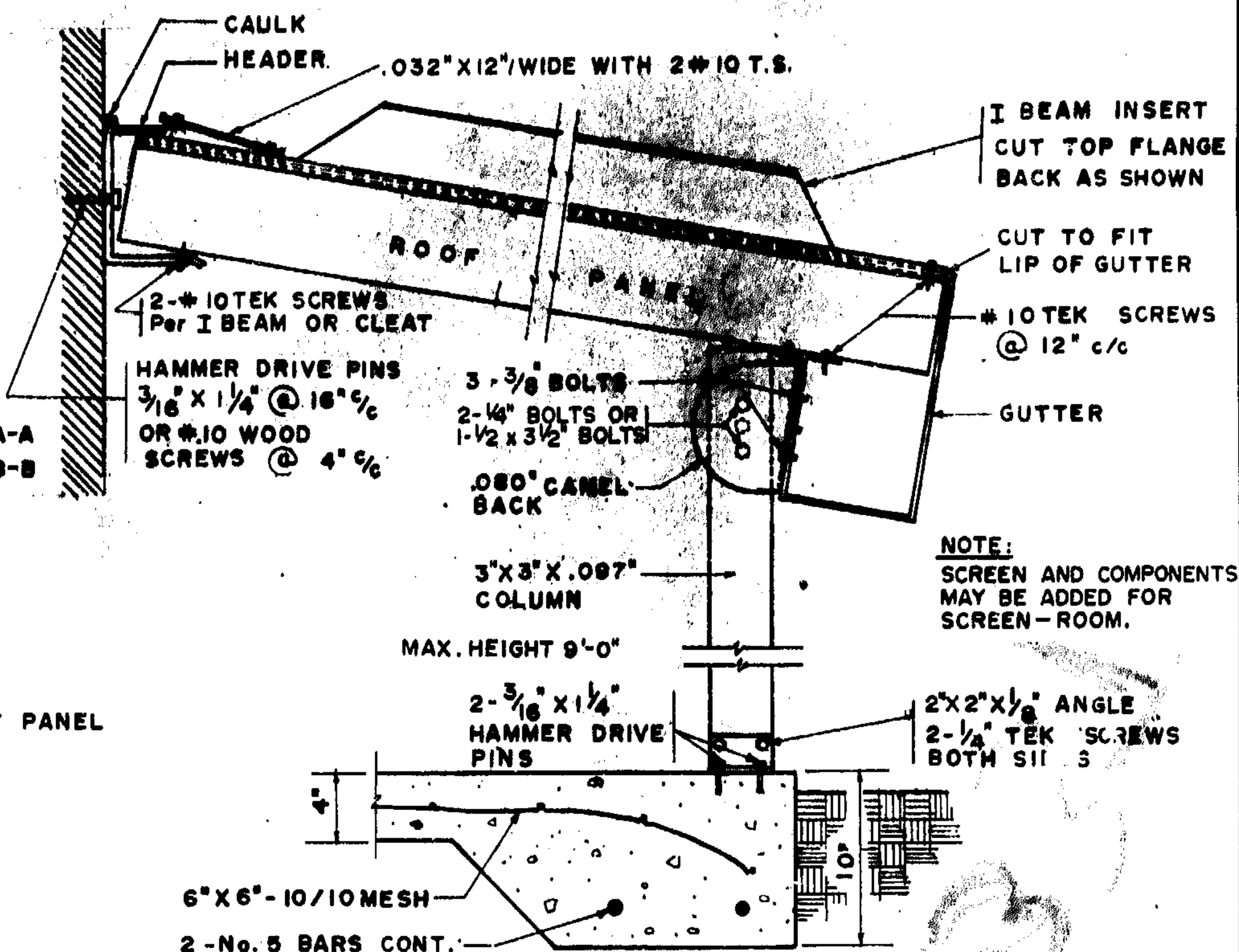
ALL ALUMINUM EXTRUSIONS SHALL BE ALLOY 6063-T5
ALL NUTS, BOLTS AND SCREWS SHALL BE ALUMINUM ALLOY 2024-T4

CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

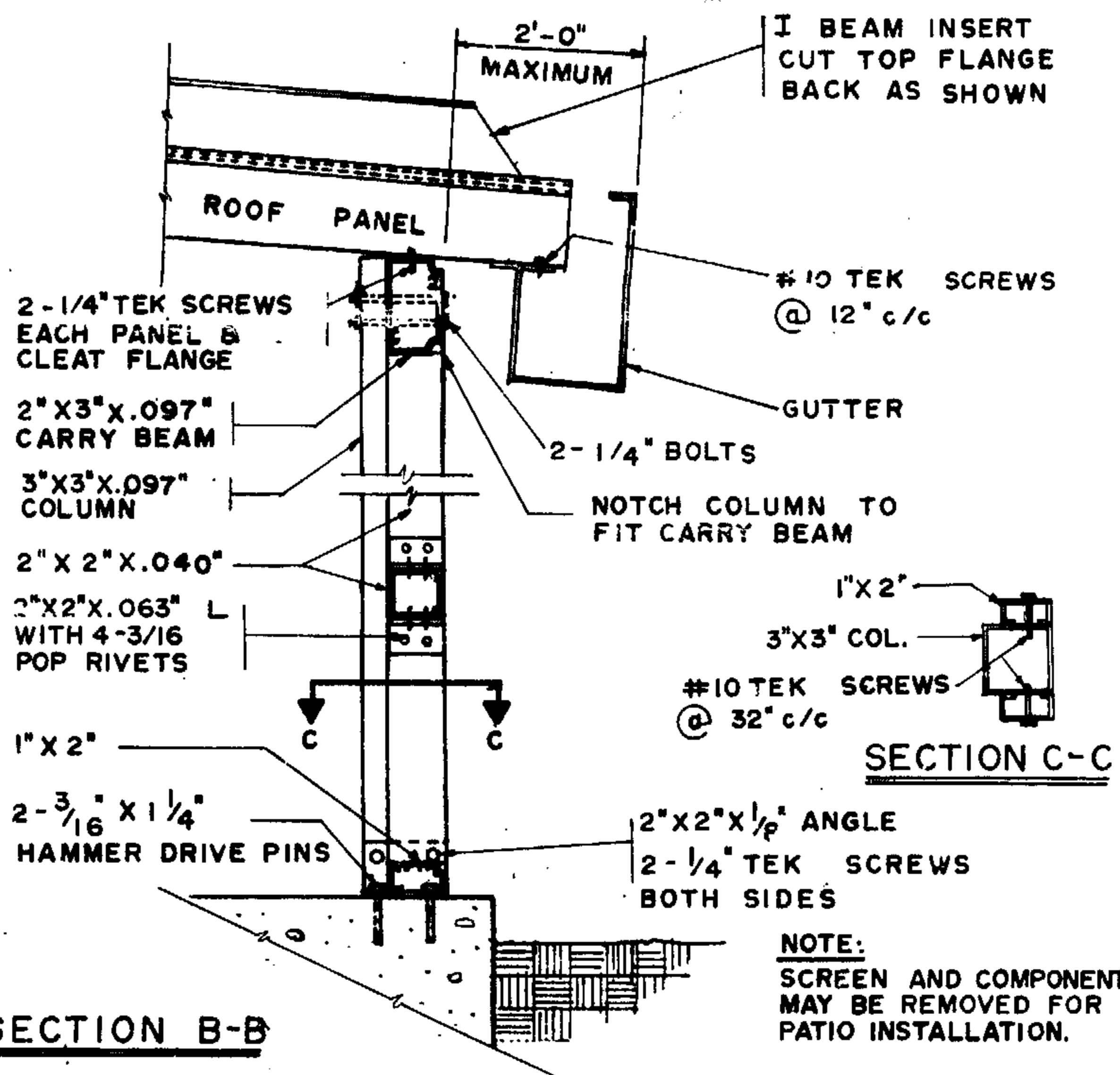
SOIL UNDER SLAB SHALL BE FREE OF ORGANIC MATTER AND HAVE A MINIMUM BEARING VALUE OF 1000 PSF.

PITCH OF ROOF SHALL BE 1/4" Per FOOT MIN.

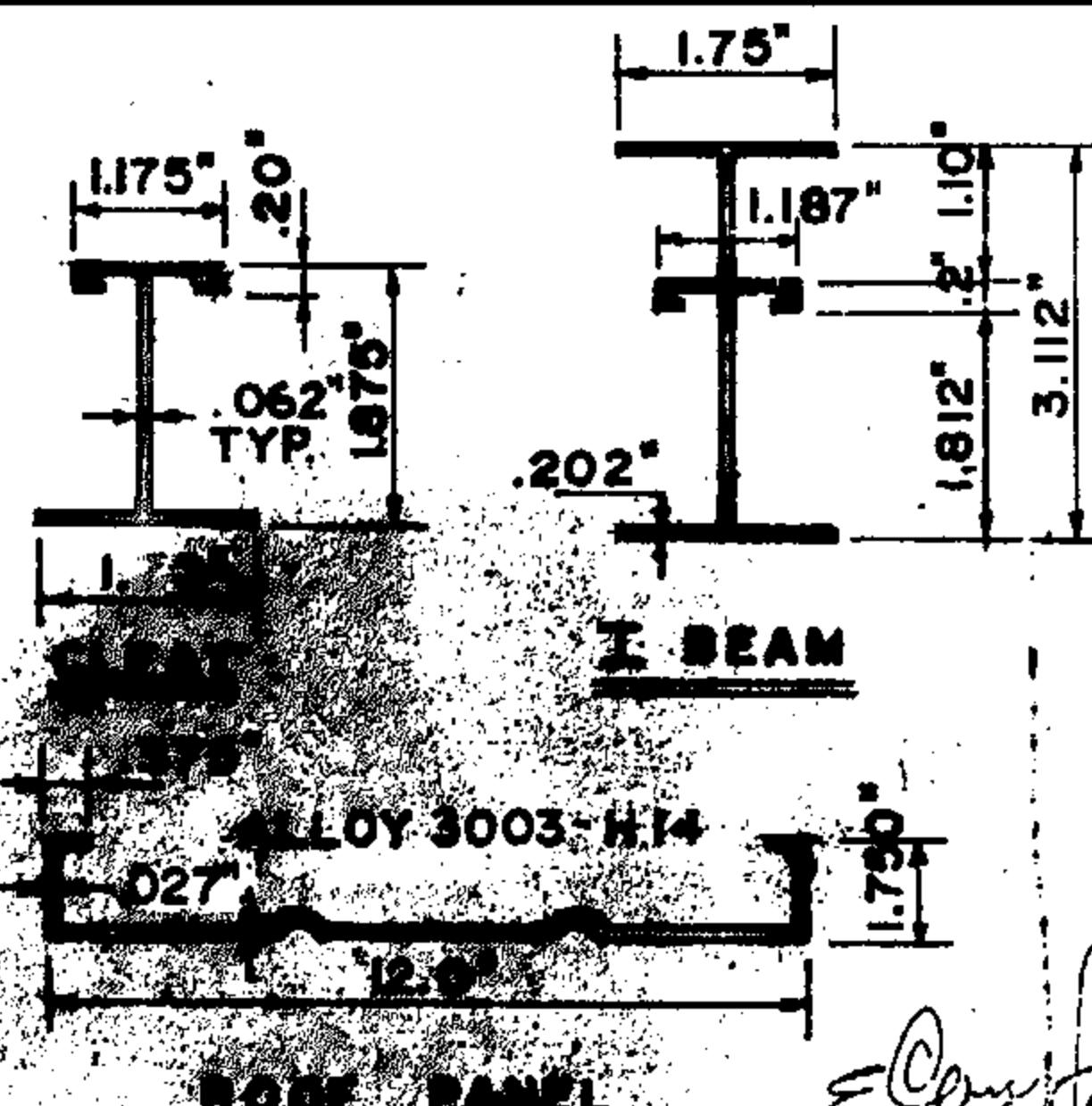
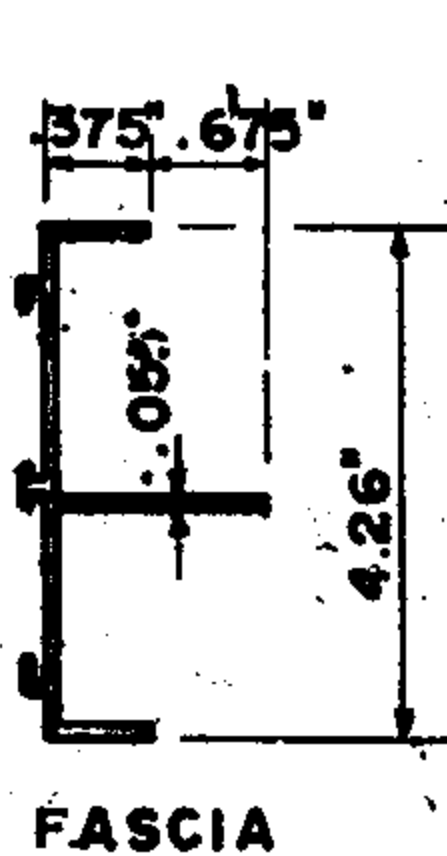
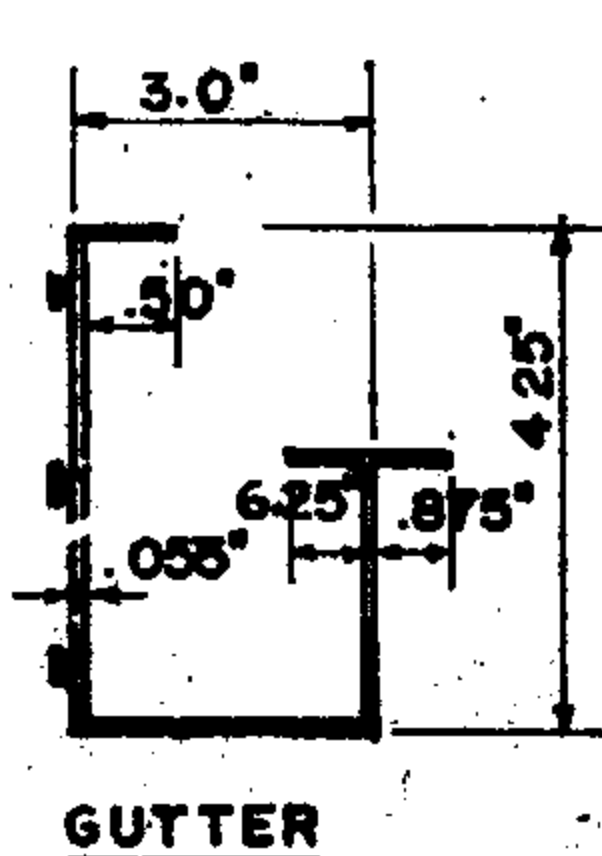
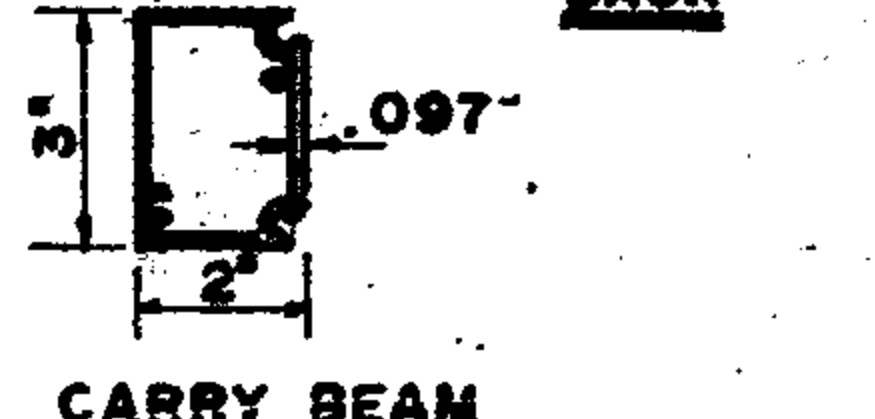
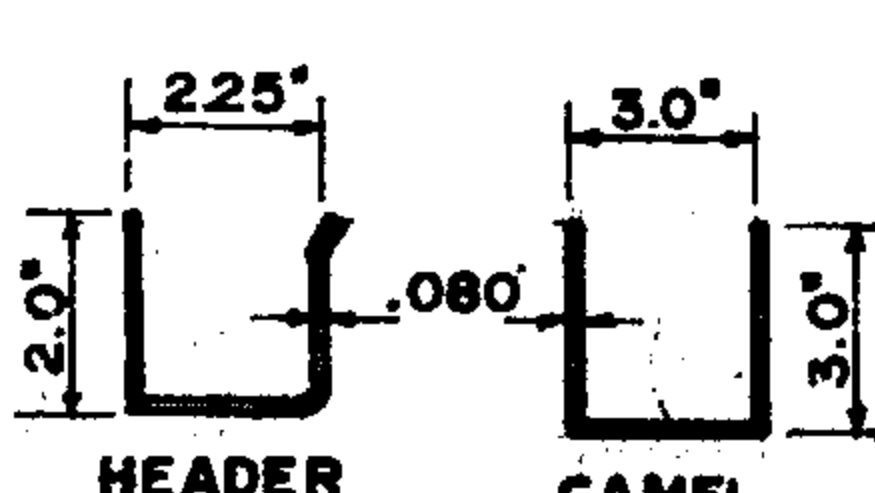
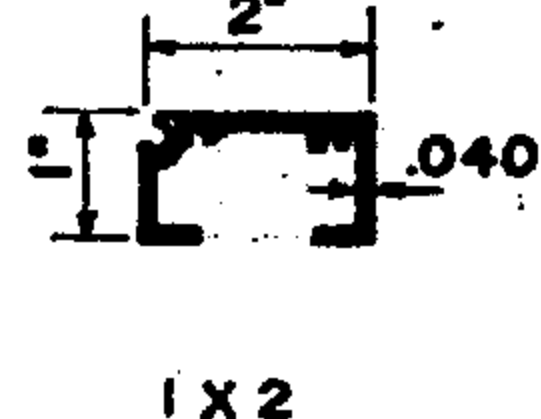
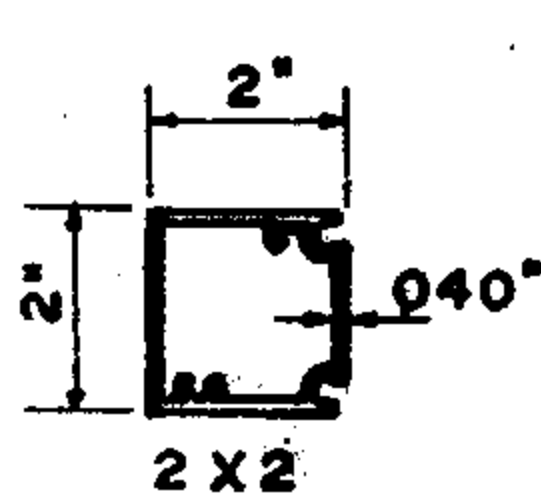
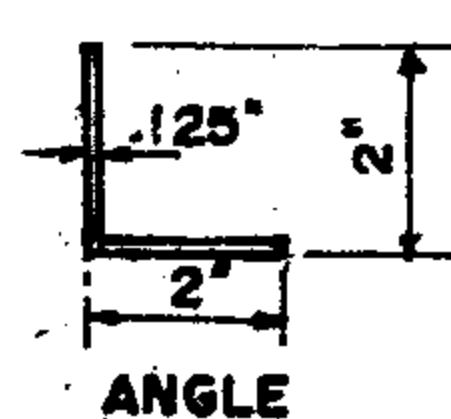
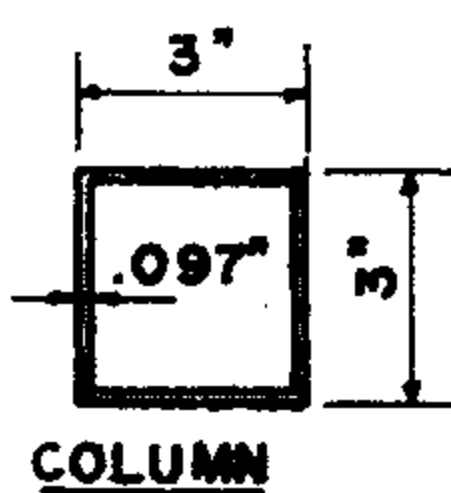
IT SHALL BE DETERMINED THAT THE EXISTING STRUCTURE CAN SAFELY SUPPORT THE LOADS IMPOSED BY THIS PATIO ROOF.



SECTION A-A



SECTION B-B



CARR SMITH & ASSOCIATES, INC.
CONSULTING ENGINEERS
CORAL GABLES, FLORIDA

D & D ALUMINUM INSTALLATION
5970 FUNSTON ST.
HOLLYWOOD, FLA. 33023
989-0692

NO.	DATE	REVISION	FILE NO.	73185
1	6/74	PANEL THICKNESS TO .027	DRAWN G.S.	SHEET NO.
2	6/74	ALTERNATE 1/2" BOLT COL. TO BEAM	DESIGN C.S.	1 OF 1
			CHECK K.N.	
			DATE OCT-73	