



CITY OF
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: JANUARY 5 2024

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic combined PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES

APPLICATION TYPE:

- ☒ Technical Advisory Committee
☐ City Commission

- ☐ Variance/Special Exception Requested
☐ Administrative Approvals
☐ Historic Preservation Board
☐ Planning and Development Board

PROPERTY INFORMATION

Location Address: 5701 Pembroke Rd Hollywood, FL 33023

Lot(s): 7 Block(s): _____ Subdivision: _____

Folio Number(s): 514124120130; 514124120140; 51414120150
514124120151; 514124120170; 514125120180; 514124120181

Zoning Classification: C3 Land Use Classification: Reatil

Existing Property Use: 0 Sq Ft/Number of Units: 0

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide
File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: Comercial Retail

Phased Project: Yes / No ☒ Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	40 (Area: 5.250 S.F.)
Proposed Non-Residential Uses	Shopping S.F.
Open Space (% and SQ.FT.)	32% (Area: 6.805 S.F.)
Parking (# of spaces)	21 + Driveway area (Area: 8.700 S.F.)
Height (# of stories)	1 (5.250 FT.)
Gross Floor Area (SQ. FT)	33,087.83

Name of Current Property Owner: OB HOUSE LIC

Address of Property Owner: 17138 SW 93RD ST MIAMI FL 33196

Telephone: 573127771807 Email Address: andresorozcoa@hotmail.com

Applicant Alexander Mendez ☐ Consultant | ☒ Representative | ☐ Tenant (check one)

Address: 17138 sw 93rd st Miami fl 33196 Telephone: _____

Email Address: alexandermendez@yahoo.com

Email Address #2: _____

Date of Purchase: 2018 Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): _____

E-mail Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: ADA Date: January 5 2024
DocuSigned by: F0E7A3C7912744A...

PRINT NAME: ANDRES OROZCO Date: January 5 2024

Signature of Consultant/Representative: ADA Date: January 5 2024
DocuSigned by: 4175352FAE2010E...

PRINT NAME: ALEXANDER MENDEZ Date: January 5 2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____
Hollywood City fl Planning Division to my property, which is hereby made by me or I am hereby authorizing
Alexander Mendez to be my legal representative before the TAC Committee (Board and/or
Committee) relative to all matters concerning this project.

Sworn to and subscribed before me
this 5 day of January 2024

Notary Public
State of Florida

My Commission Expires: 8-11-2026 (Check One) ☐ Personally known to me; OR ☒ Produced Identification



Signature of Current Owner: ADA
DocuSigned by: F0E7A3C7912744A...

Andres Orozco Agudelo
Print Name

Florida Drivers License

PROPERTY ADDRESS:
5701 PEMBROKE ROAD, HOLLYWOOD FL 33023

FOLIO #:
514124120140
514124120130
514124120151
514124120150
514124120170
514124120180
514124120181

SURVEYOR'S CERTIFICATION:
ALEXANDER MENDEZ

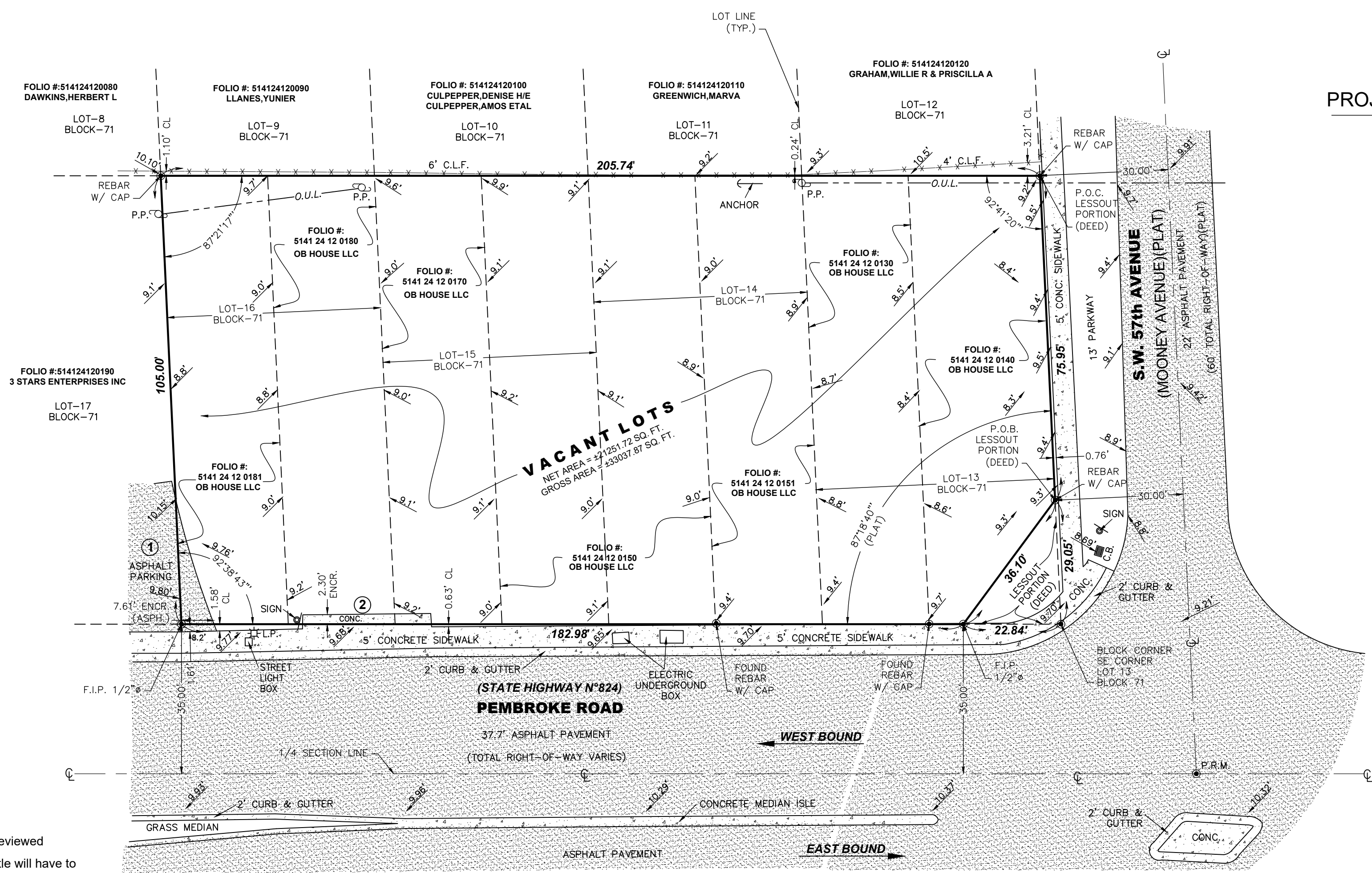
SURVEYOR'S NOTES:

- 1) The above captioned property was surveyed and described based on the above legal description; provided by client.
- 2) This certification is only for the lands as described. It is not a certification of title, zoning, easements, or freedom of encumbrances. abstract not reviewed
- 3) There may be additional restrictions not shown on this survey that may be found in the public records of this county, examination of abstract of title will have to be made to determine recorded instruments, if any affecting this property.
- 4) The accuracy obtained for all horizontal control measurement and office calculation of a closed geometric figures, meets or exceeds the current Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in chapter 5J-17.051 (3) (b), 15.b.II, of 1 foot in 10 000 feet for Commercial Areas.
- 5) Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon. underground encroachments not located.
- 6) Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- 7) Underground utilities are not depicted hereon: contact the appropriate authority prior to any design work or construction on the property herein described, for building and zoning information. Surveyor shall be notified as to any deviation from utilities shown hereon.
- 8) In some cases graphic representation have been exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 9) Area of the property: Lot Net Area: ± 21251.72 Square Feet. / ± 0.487 Acres
- 10) This survey does not reflect or determine ownership. Ownership subject to opinion of title .
- 11) Type of Survey: ALTA / NSPS Land Title Survey.
- 12) The survey depicted here is not covered by Professional Liability Insurance. The Liability of this survey is limited to the cost of the survey.
- 13) North arrow direction and bearings are based on an assumed meridian.
- 14) Elevations are based on the National American Vertical Datum of 1988.
- 15) There are no wetlands found within the property.

16) The property described on this Sketch of ALTA / NSPS Land Title Survey is the same property as described in Schedule "A" in Old Republic National Title Insurance Company, Issuing Office File number: 23-1104; with an effective date of November 7, 2023 at 8 : 00 AM, issued by Old Republic National Title Insurance Company, commitment number 23118155 DP1

17) The 2021 Minimum Standard Detail Requirements for ALTA / NSPS Land Title Surveys are Effective February 23, 2021. As of that date, all previous versions of the Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys

are superseded by these standards. Adopted by the Board of Governors, American Land Title Association (ALTA), on October 8, 2015. Adopted by the Board of Directors, National Society of Professional Surveyors (NSPS), on October 9, 2015.



LEGAL DESCRIPTION:

Parcel 1:
The West Twenty Five feet (25ft.) of Lot 13, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

Parcel 2:
The East 30.82 feet of Lot 13, LESS the portion described as Commencing at the Northeast corner of Lot 13, thence South 75.95 feet to the point of beginning; thence South 29.05 feet, thence West 22.84 feet; thence Northeast 36.10 feet to the Point of Beginning, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

Parcel 3:
The West 1/2 of Lot 14 and the East 1/2 of Lot 15, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in Plat Book 26, Page 36, of the Public Records of Broward County, Florida.
















Parcel 4:
The West 1/2 of Lot 16, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in
Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

Parcel 5:
The West 1/2 of Lot 15, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in
Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

Parcel 6:
The East 1/2 of Lot 16, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

Parcel 7:
The East 1/2 of Lot 14, Block 71, West Carver Ranches Addition No. 2, according to plat thereof as recorded in Plat Book 26, Page 36, of the Public Records of Broward County, Florida.

SYMBOL

	CABLE		WATER VALVE
	FIRE HYDRANT		LID
	SANITARY SEWER		WATER CONNECTOR
	ELECTRIC BOX		STOP SIGN
	CATCH BASIN		TRAFFIC SIGN
	WATER METER		
	LIGHT POWER POLE		INLET
	UTILITY POLE		
	BOLLARDS		

LEGEND AND ABBREVIATIONS:

A/C	=	ARC
A/C	=	ARC CONDITIONER PAD
A/C	=	AMERICAN LAND TITLE ASSOCIATION
CH	=	CHORD
CH. BEAR	=	CHORD BEARING
CH	=	BUILDING SETBACK
C.B.	=	CATCH BASIN
C.L.F.	=	CHAIN LINK FENCE
C	=	CENTER LINE
CL	=	CLEAR
CONC.	=	CONCRETE
C.B.S.	=	CONCRETE BLOCK STRUCTURE
ENC.	=	ENCROACHMENT
F.F.L.	=	FINISH FLOOR ELEVATION
F.P.C.P.	=	FOUND PERMANENT CONTROL POINT
F.I.P. 1/2"	=	FOUND IRON PIPE 1/2"
F.I.R. 1/2"	=	FOUND IRON REBAR 1/2"
F.N.	=	FOUND NAIL
F.N. & D.	=	FOUND NAIL AND DISC
F.P.R.M.	=	FOUND PERMANENT REFERENCE MONUMENT
L.	=	LINE MAINTENANCE EASEMENT
ID	=	IDENTIFICATION
M	=	MEASURED

M	= MONUMENT LINE
N.A.V.D.	= NORTH AMERICAN VERTICAL DATUM
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
NSPS	= NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
OL	= ON LINE
O/S	= OFF SET
PG.	= PAGE
P.B.	= PLAT BOOK
P.C.	= POINT OF CURVATURE
P.C.P.	= PERMANENT CONTROL POINT
P.T.	= POINT OF TANGENCY
P.B.	= PLAT BOOK
PL	= PLANTER
R.P.	= RADIUS POINT
R & M.	= RECORD AND MEASURE
R.W.	= RIGHT OF WAY
SWK	= SIDEWALK
S.N.&D.	= SET NAIL & DISC
TYP.	= TYPICAL
U.E.	= UTILITY EASEMENT
WM	= WATER METER
Δ	= DELTA

GAVY & ASSOCIATES, INC
LAND SURVEYORS
LB # 6971
2657 S.W. 145th AVENUE
MIAMI, FL. 33175
PHONE: (786) 236-8344

SURVEYOR'S CERTIFICATION:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7 (a)(1), 8, 9, 10(a) 11(a), 13 and 14, and 19 of Table A thereof. The field work was completed on 11/29/2023
Date of Plat or Map: 11/29/2023

JULIO S. PITA, P.L.S

Professional Land Surveyor
License No. PSM 5789 State of Florida

Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

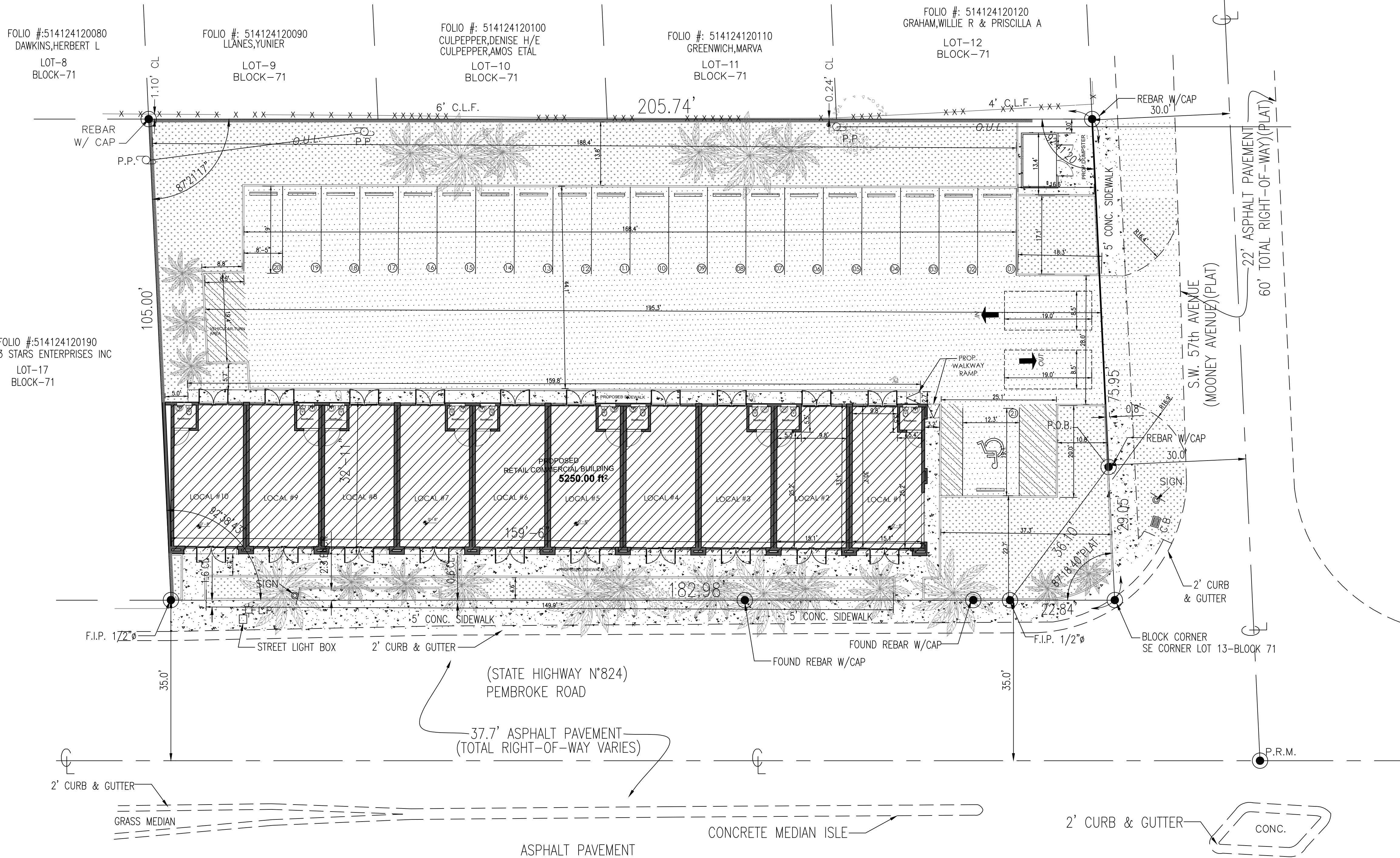
TITLE REVIEW NOTES :

1. Defects, liens, encumbrances, adverse claims or other matters, if any created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. **GENERAL EXCEPTIONS**
2. Facts which would be disclosed by an accurate and comprehensive survey of the premises herein described. **GENERAL EXCEPTIONS**
3. Rights or claims of parties in possession. **GENERAL EXCEPTIONS**
4. Construction, Mechanic's, Contractors' or Materialmen's lien claims, if any, where no notice thereof appears of record. **GENERAL EXCEPTIONS**
5. Easements or claims of easements not shown by the public records. **GENERAL EXCEPTIONS**
6. Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the lands insured hereunder, including submerged, filled, and artificially exposed lands and lands accreted to such lands. **NOT SURVEY RELATED**
7. General or special taxes and assessments required to be paid in the year 2023 and subsequent years. Easements, restrictions and other matters affecting title searched: **GENERAL EXCEPTIONS**
8. Restrictions, conditions, reservations, easements, and other matters contained on the Plat of WEST CARVER RANCHES ADDITION NO 2, as recorded in Plat Book 26, Page(s) 36, Public Records of Broward County, Florida. **DOES APPLY TO SUBJECT PROPERTY AND ARE PLOTTED ON THE SURVEY (IF ANY)**
9. Ordinances recorded in O.R. Book 29230, Page 942 and O.R. Book 34145, Page 1891, Public Records of Broward County, Florida. **NOT SURVEY RELATED**
10. Rights of tenants and/or parties in possession, and any parties claiming, by through or under said tenants or parties in possession, as to any unrecorded leases or rental agreements. **NOT SURVEY RELATED**
11. Any lien provided by County Ordinance or by Ch. 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality. **NOT SURVEY RELATED**

NOTES:

- 1). Asphalt Parking Encroaches into the Property (S.W. ㄹ)
- 2). Concrete Sidewalk Encroaches into the Property (South ㄹ)
- 3). ELEVATIONS SHOWN REFER TO N.A.V.D. 1988
BM# 1146 (BROWARD) ELEVATION = 11.510' (NGVD29)

COMMUNITY NAME AND NUMBER: CITY OF HOLLYWOOD 125113		JOB N°: 23-2229
PANEL NUMBER AND SUFFIX: 0727 H		FIELD CREW : R.A.
FIRM PANEL EFFECTIVE DATE: 08 / 18 / 2014		DRAWN : J.A.
FLOOD ZONE: X	BASE FLOOD ELEVATION : N/A	CHECKED: J.P.
COUNTY NAME: BROWARD	STATE: FLORIDA	FIELD DATE : 11 / 29 / 2023
BM# USED: 1146 (BROWARD) ELEVATION: 11.510 (NGVD 1929)		DATE : 11 / 29 / 2023
No.	REVISIONS	SCALE 1" = 20'
		SHEET 1 of 1



FLOOD ZONE INFORMATION

FLOOD ZONE: "X"
COMMUNITY NUMBER: CITY OF HOLLYWOOD 125113
DATE OF FIRM: 08/18/2014
PANEL No: 0727 H
SUFFIX: "L"
FLOOD INFO OBTAIN FROM SURVEY BY:
GAVY & ASSOCIATES, INC LAND SURVEYORS LB # 6971
DATED: 11/29/2023

SCOPE OF WORK

1.- PROPOSED ONE STORY RETAIL
COMMERCIAL FACILITY, AT
EXISTING VACANT LOT.

LEGAL DESCRIPTION

LOTS 13 THRU 16, BLOCK 71 OF WEST CARVER RANCHES ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 26 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; LESS THE FOLLOWING DESCRIBED PORTION OF SAID LOT 13, COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 13 THENCE SOUTH 75.95 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 29.05 FEET, THENCE WEST 22.84 FEET, THENCE NORTHEAST 36.10 FEET TO THE POINT OF BEGINNING.

LEGAL ADDRESS

5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023 MIAMI - FLORIDA

LOCATION MAP

RN Engineering, Inspection & Construction, Inc.
PE Lic. No. 60494
CA Lic. No. 32037
7837 W. Sample Road,
Suite 104
Coral Springs, FL 33065
Phone: (954) 656-2594
Fax: (954) 656-2595
Rolando@RNEIC.com
www.RNEIC.com

SEAL

ROLANDO NIGAGLIONI
PE 60494
7837 W. Sample Road, Suite 104
Coral Springs, FL 33065

CONSULTANT
CARLOS SLEBI PALACIO
Phone: (786) 905-9830
scccengineeringllc@gmail.com

REVISIONS

PROJECT INFORMATION:
LEGALIZATION OF LOCAL PROJECT
5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023

TITLE:
SITE PLAN

DRAWN BY: A.G.R.A.

DATE: 12-18-23

SCALE : 3/4" = 1'-0"

ST-1.0

ZONING LEGEND			
PROPOSED USE	RETAIL COMMERCIAL FACILITY		
ZONING DISTRICT	C-3		
GROSS LOT AREA:	33,037.87 SQ.FT.		
NET LOT AREA:	21,251.72 SQ.FT.		
LOT WIDTH:	205 FT. EXISTING		

LOT COVERAGE ALLOWED: 85% OF NET LOT AREA. (21,252 S.F. X 85%=18,064 S.F. MAX. ALLOWED)			
LOT COVERAGE PROVIDED:			
BLDG. AREA:	5,250.0 S.F.	24.70%	
DRIVEWAY & PARKING SPACES:	8,700.00 S.F.	40.93%	
CONC. SIDEWALKS:	1,492.00 S.F.	7.00%	
DUMPSTER CONC. SLAB:	180.00 S.F.	0.84%	
CBS PERIMETER FENCE :	316.72 S.F.	1.49%	
	15,938.72 S.F.	74.96%	

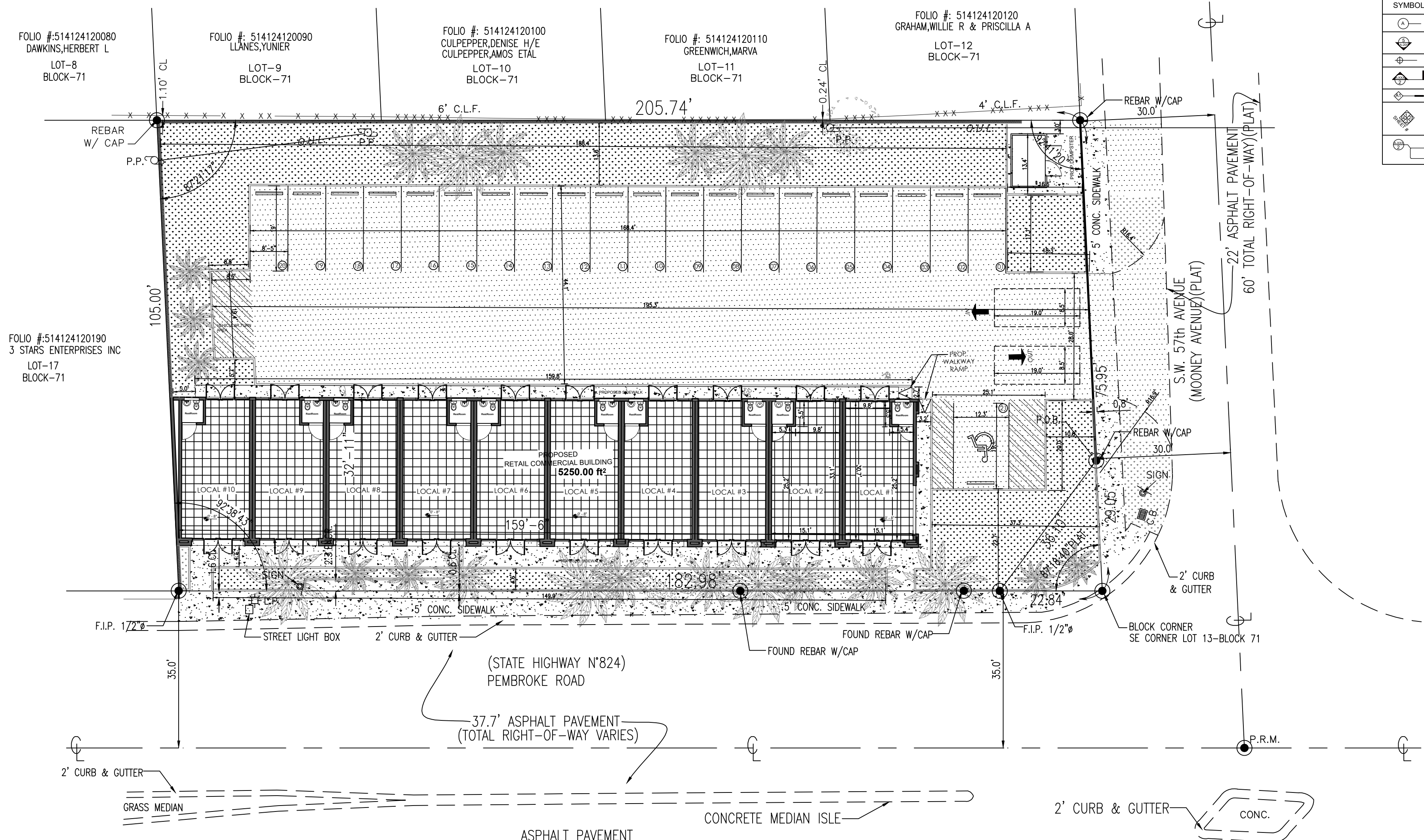
SETBACKS REQUIRED:	REQUIRED:	PROVIDED:
FRONT	20'-0"	14'-7"
REAR	20'-0"	61'-0"
SIDE	0'-0"	0'-0"

BUILDING HEIGHT ALLOWED:	5 STORIES / 60' h
BUILDING HEIGHT PROVIDED:	1 STORY / ---

OPEN SPACE REQUIRED:	20% OF NET LOT AREA - 3,000 SQ FT
OPEN SPACE PROVIDED:	GREEN AREA 5,313.00 SQ FT 25.00% CONC. SIDEWALKS 1,492.00 SQ FT + 7.00 % 6,805.00 SQ FT 32.00%

SITE AREA CALCULATIONS			
BLDG. AREA:	5,250.0 S.F.	24.70%	
GREEN AREA:	5,313.00 S.F.	25.00%	
DRIVEWAY & PARKING SPACES:	8,700.00 S.F.	40.93%	
CONC. SIDEWALKS:	1,492.00 S.F.	7.00%	
DUMPSTER CONC. SLAB:	180.00 S.F.	0.84%	
PERMITER CBS FENCE :	316.72 S.F. + 1.49%		
TOTAL LOT NET AREA	21,251.72 SQ.FT.	100%	

PARKING REQUIRED:	(1) PARKING SP/ 250 S.F.= 5,250/250=21 P.S. OR (3) PARKING SP PER BAY= 3X 4 BAYS= ---- 12 P.S.
PARKING PROVIDED:	21 PARKING SPACES, INCLUDING (1) H.C. & 2 TRANSIT ZONE.



1 ARCHITECTURE PLAN
A-1.0



2 ELEVATION 1
A-1.0



3 ELEVATION 2
A-1.0

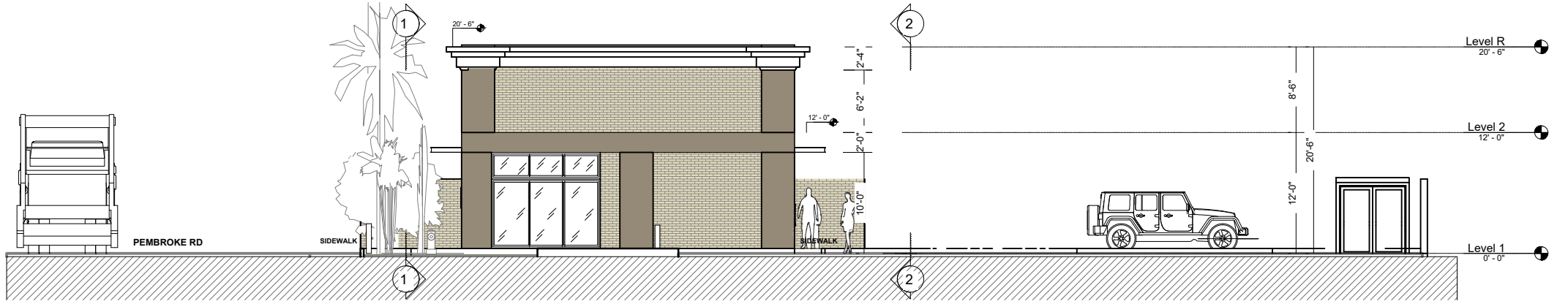
SYMBOLS	
	GRID
	ELEVATION MARKER
	ELEVATION BULLET
	SECTION MARKER
	WALL TYPE
	INTERIOR ELEVATION MARKER
	DETAIL MARKER
	ROOM NAME, NUMBER, INFO.
	DOOR NUMBER
	WINDOW NUMBER
	RENOVATION NOTE MARKER
	REVISION DELTA
	BATH ACCESSORY SCHEDULE MARKER
	KEYNOTE MARKER
	NORTH ARROW



5 RENDER ELEVATION 1
A-1.0



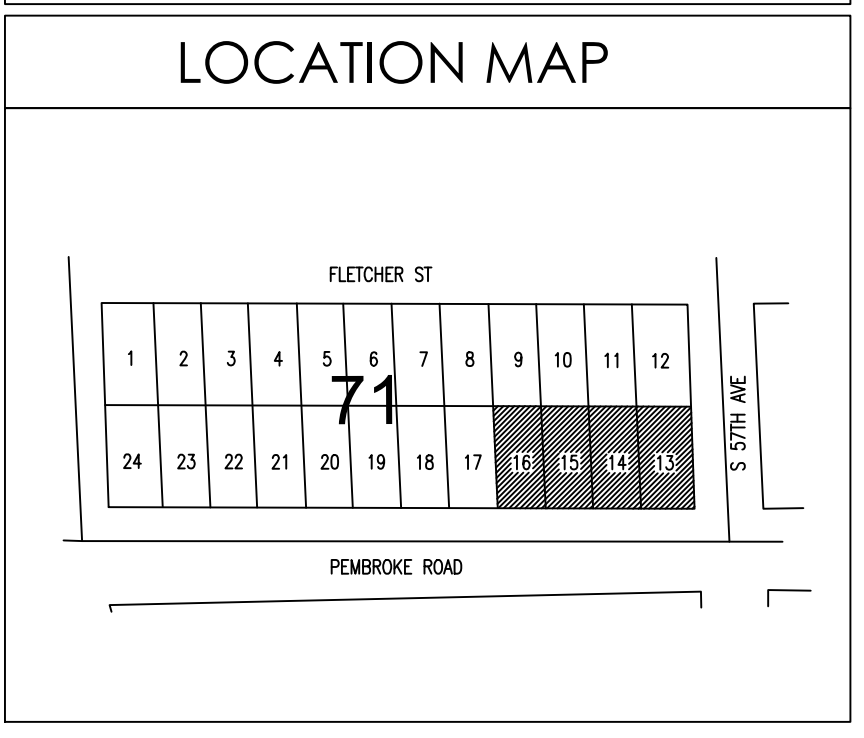
6 RENDER ELEVATION 2
A-1.0



4 ELEVATION 3
A-1.0

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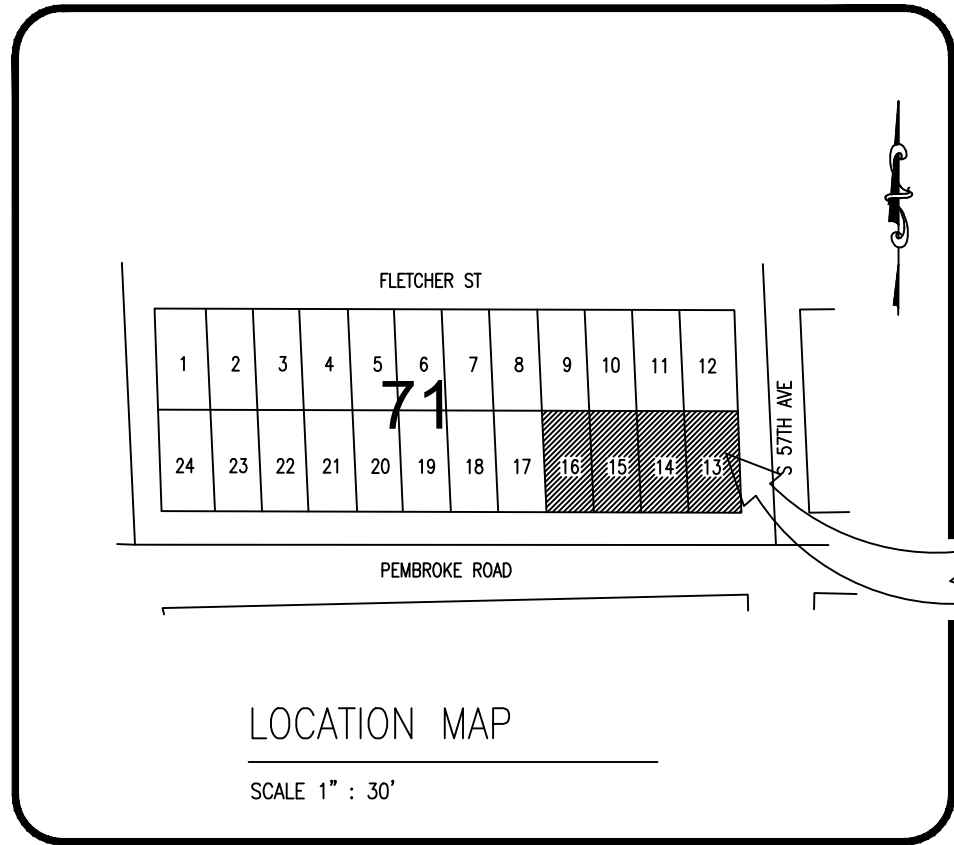
A-1.0

- IF DISCREPANCIES FOUND ON THESE PLANS ARE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS OR ANY OMISSIONS OR ERRORS THAT MIGHT PRODUCE DAMAGES DERIVED FROM THIS DESIGN, IT SHALL BE BROUGHT TO THE ENGINEER PRIOR TO BIDDING OR START OF ANY CONSTRUCTION.
- CONTRACTOR, PRIOR TO START OF ANY CONSTRUCTION, SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES ON THE FIELD WITH THE APPROPRIATE UTILITY COMPANY. IN THE EVENT THAT ANY ADJUSTMENT BE NECESSARY DUE TO A DISCREPANCY FOR UTILITY LOCATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS BEFORE PROCEEDING. THE CONTRACTOR SHALL EXERT CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING THE COMPLETION OF HIS WORK. IN THE EVENT OF ANY DAMAGE THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY COMPANY. ANY AND ALL COSTS INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FORTY-EIGHT (48) HOURS BEFORE DIGGING CALL SUNSHINE, TOLL FREE 1-800-432-4770.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. THE ENGINEER IS TO REVIEW THEM AND BE PAID.
- ALL INSPECTIONS WILL BE MADE BY THE ENGINEER OF RECORD AND BE PAID. CONTRACTOR SHALL NOTIFY 48 HOURS IN ADVANCE THE ENGINEER OF RECORDS FOR INSPECTION. THE ENGINEER SHOULD BE ABLE TO PROVIDE CERTIFICATION FOR CONSTRUCTION COMPLETION BASED ON VISUAL INSPECTIONS, IF REQUIRED.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- ALL FILL AND LIMEROCK BASE COURSE SHALL BE TESTED WITH DENSITY TESTS ACCORDING TO AASTHO SPECIFICATION T-180. COPIES OF RESULTS SHALL BE PROVIDED TO ENGINEER OF RECORDS PRIOR TO PLACING ASPHALT PAVEMENT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF AS-BUILT CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW AS-BUILT.
- ALL AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
- NO MODIFICATIONS TO THESE PLANS ARE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. NO AGENCY INSPECTOR, CONTRACTOR, NOR THE OWNER ARE AUTHORIZED TO UNILATERALLY MODIFY THESE PLANS.
- IT IS THE INTENT OF THE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL DRIVING SURFACES MUST BE CONSTRUCTED ON AN EIGHT (8) INCH ROCK BASE THAT WILL PRODUCE A C.B.R. VALUE OF NO LESS THAN 25 WHEN COMPACTED TO A MINIMUM FIELD DENSITY OF 98% OF MAX. DENSITY AS DETERMINED BY AASTHO T-180. WITH REINFORCED CONCRETE SLAB. SEE STRUCTURAL PLANS FOR DETAILS.
- ALL DIMENSIONS IN THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- ALL WORK SHALL MEET SUNNY ISLES BEACH PUBLIC WORK DEPARTMENT STANDARDS.
- WATER TABLE PER WC 2.2 IS 2.00 N.G.V.D.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM 1929.
- UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT HB 3183, FLORIDA STATUTES.
- ALL MUCK, PEAT, AND/OR CLAY WITH HIGH PERCENTAGE OF ORGANIC MATERIAL AND OR EXISTING UNSUITABLE FILL MATERIAL SHALL BE REMOVED FROM PROPOSED RIGHT OF WAY OR PROPOSED PAVEMENT AREAS IF ANY. FOR DETAILED SPECIFICATIONS SEE M.D.C.P.W.D. SPECS., SECTION 30.
- ALL TOP FINISHED GRADES FOR EXISTING MANHOLES, VALVE LIDS AND SIMILAR UTILITIES STRUCTURES SHALL BE ADJUSTED TO NEW FINISHED GRADES, IF AFFECTED FOR NEW GRADING.
- THESE PLANS WERE PREPARED USING INFORMATION FROM SURVEY DONE BY BENNY SUAREZ SURVEYING INC.
- FLOOD INSURANCE RATE MAP, ZONE 'X' MAP NUMBER 12086C0726L, BASE FLOOD NOT DETERMINED, MAP REVISED SEPTEMBER 11, 2009.
- SHOWN INFORMATION FOR EXISTING UTILITIES AS IT WAS RECEIVED BY UTILITIES OWNERS UNDER CHAPTER 556, FLORIDA STATUTES.
- DRAINAGE PIPING HIGH DENSITY POLYETHYLENE SHALL CONFORM ASTM F477, AASHTO M294, M252 REQUIREMENTS.

PAVING, GRADING & DRAINAGE PLANS

5701 PEMBROKE Rd. HOLLYWOOD FL.

RETAIL COMMERCIAL BUILDING



THE PROJECT

LEGAL DESCRIPTION:

LOTS 13 THRU 16, BLOCK 71 OF WEST CARVER RANCHES ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 26 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; LESS THE FOLLOWING DESCRIBED PORTION OF SAID LOT 13, COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 13 THENCE SOUTH 75.95 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 29.05 FEET, THENCE WEST 22.84 FEET, THENCE NORTHEAST 36.10 FEET TO THE POINT OF BEGINNING.

NOTE:

ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD)

INDEX:

- C-1 COVER SHEET
- C-2 PAVING , GRADING & DRAINAGE PLAN
- C-3 PAVING , GRADING & DRAINAGE PLAN
- C-4 DRAINAGE DETAILS
- C-5 DRAINAGE DETAILS



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CARLOS SLEBI PALACIO
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REVISIONS

PROJECT INFORMATION:
**PROPOSE RETAIL
COMMERCIAL BUILDING**
5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023

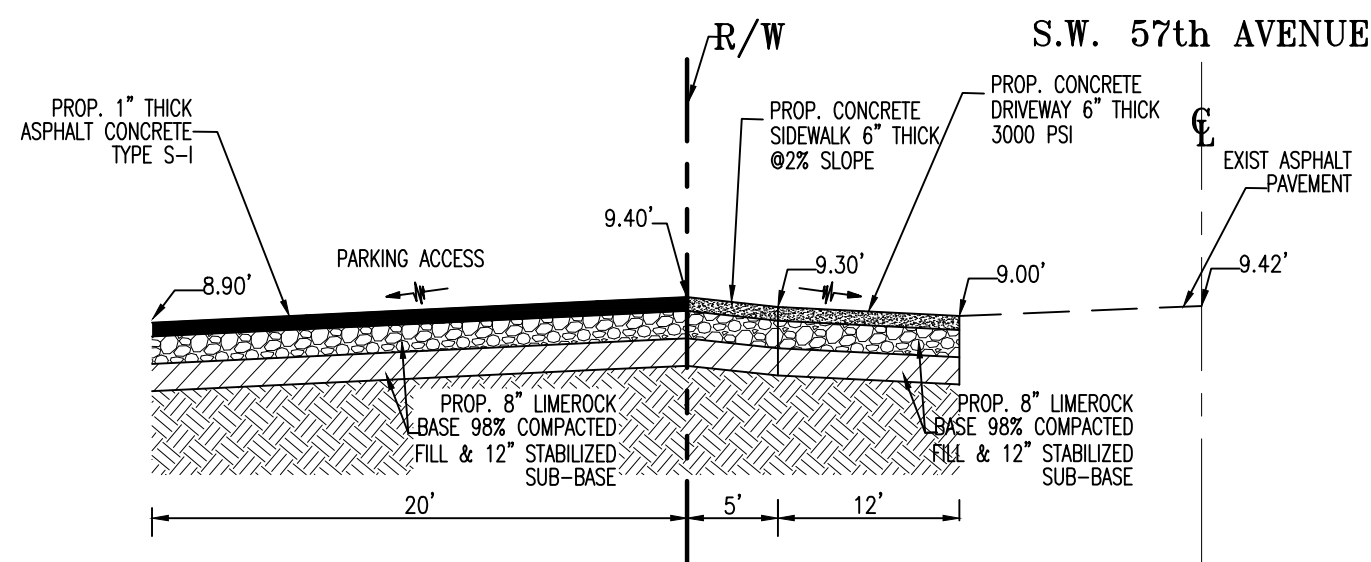
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PAVING, GRADING & DRAINAGE**

DRAWN BY: A.G.R.A.

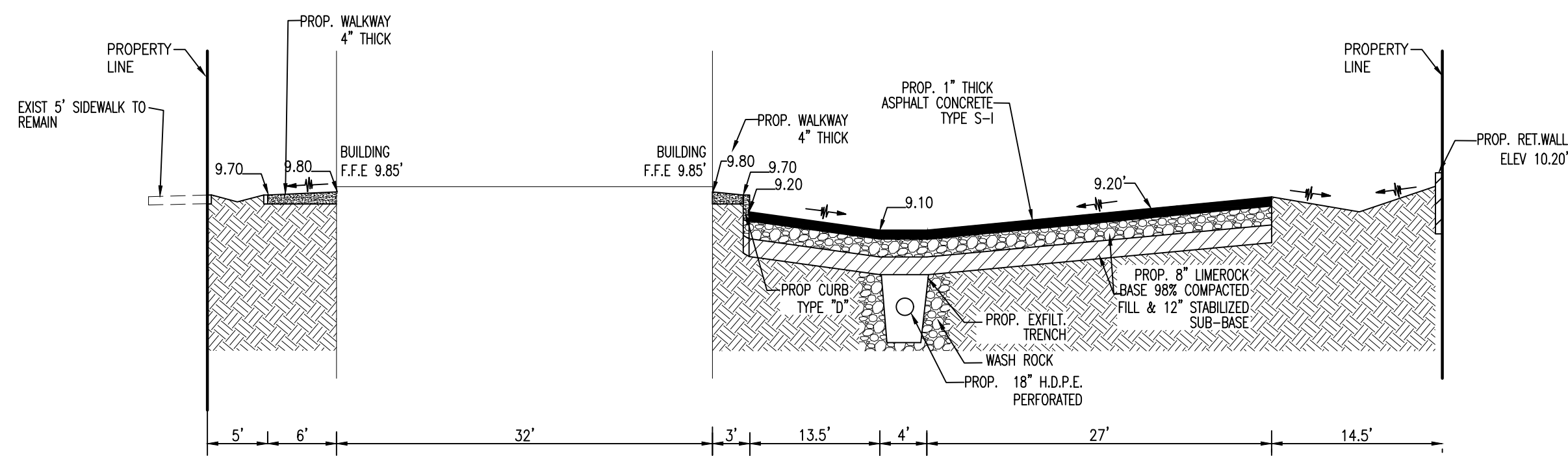
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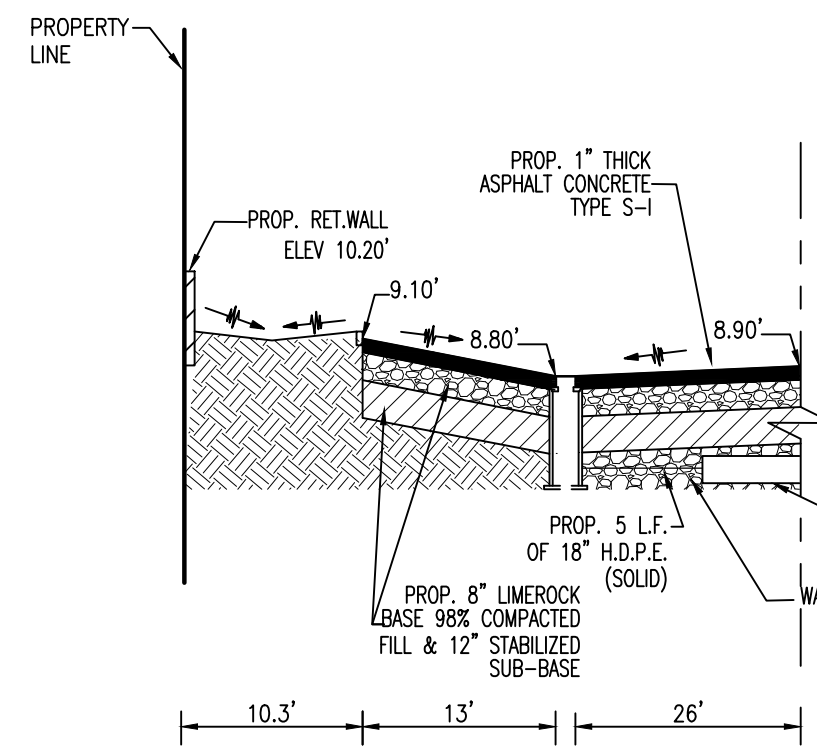
C-1



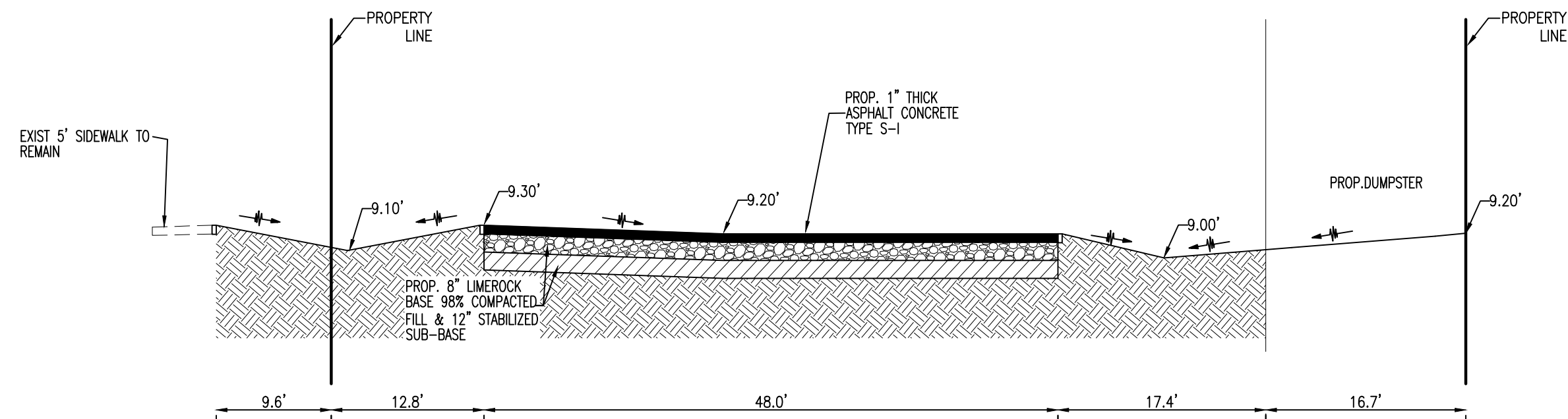
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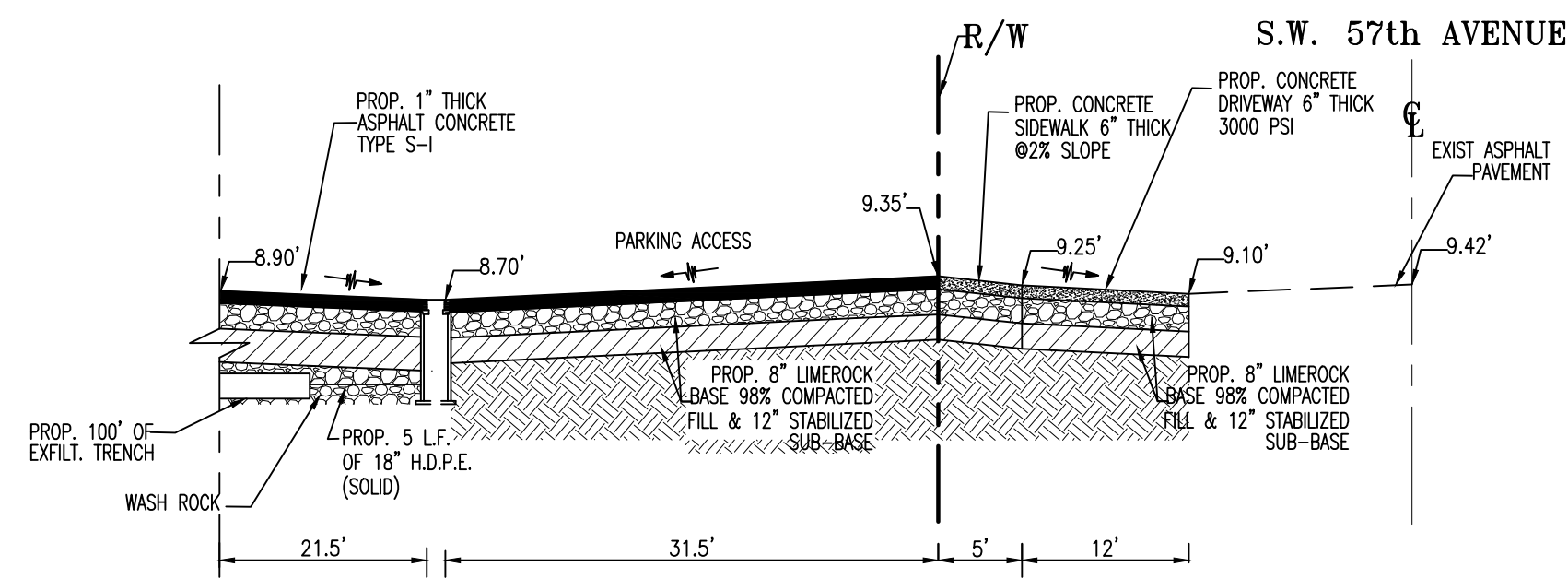
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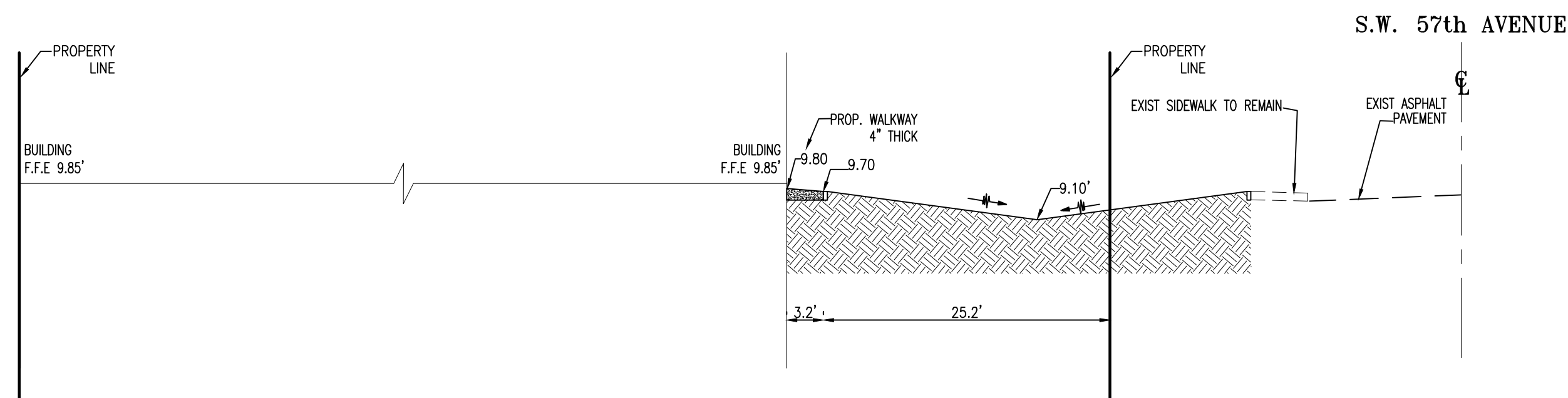
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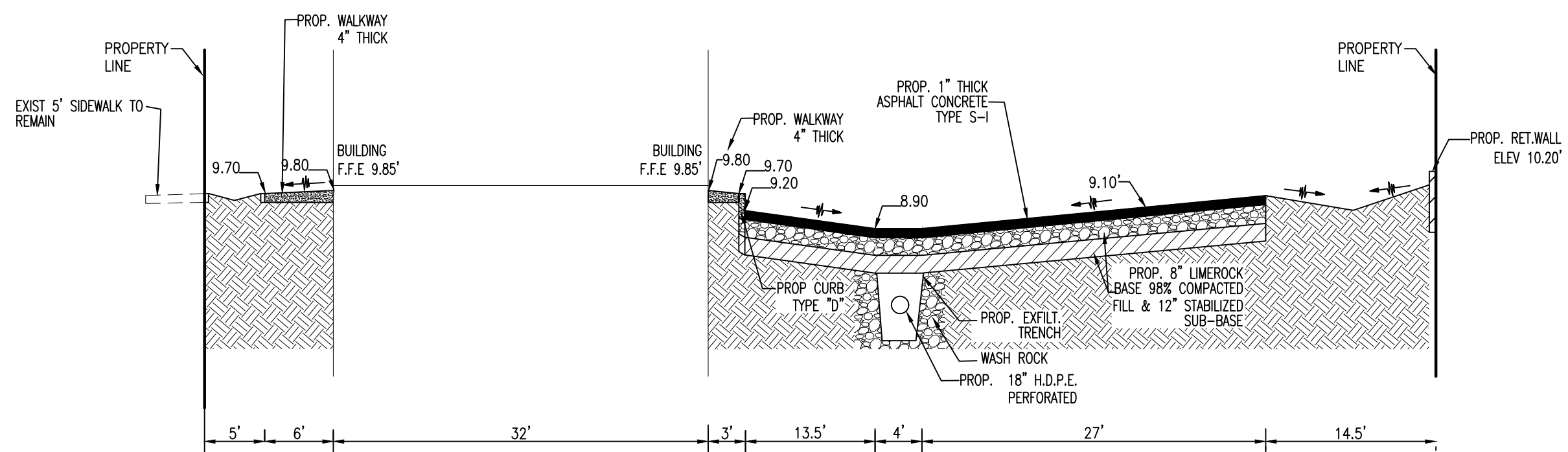
SECTION D-D
N.T.S.



SECTION E-E
N.T.S.



SECTION F-F
N.T.S.



SECTION G-G
N.T.S.

LEGAL DESCRIPTION

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LEGAL ADDRESS

5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023 MIAMI - FLORIDA

NOTE TO CONTRACTOR

CONTRACTOR TO PROVIDE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AS PER CURRENT NDPS STANDARDS TO PREVENT ANY DISCHARGE FROM THE SITE UNTIL PROJECT IS COMPLETED AND FULL STABILIZATION IS OBTAINED



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REVISIONS

NO.	DESCRIPTION	DATE

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5701 - PEMBROKE Rd. HOLLYWOOD FL.
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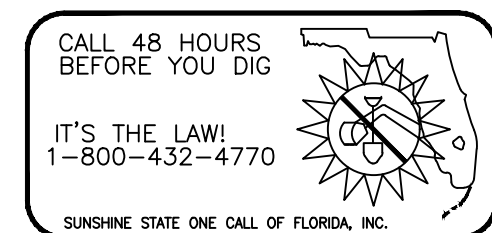
TITLE:
PAVING, GRADING & DRAINAGE

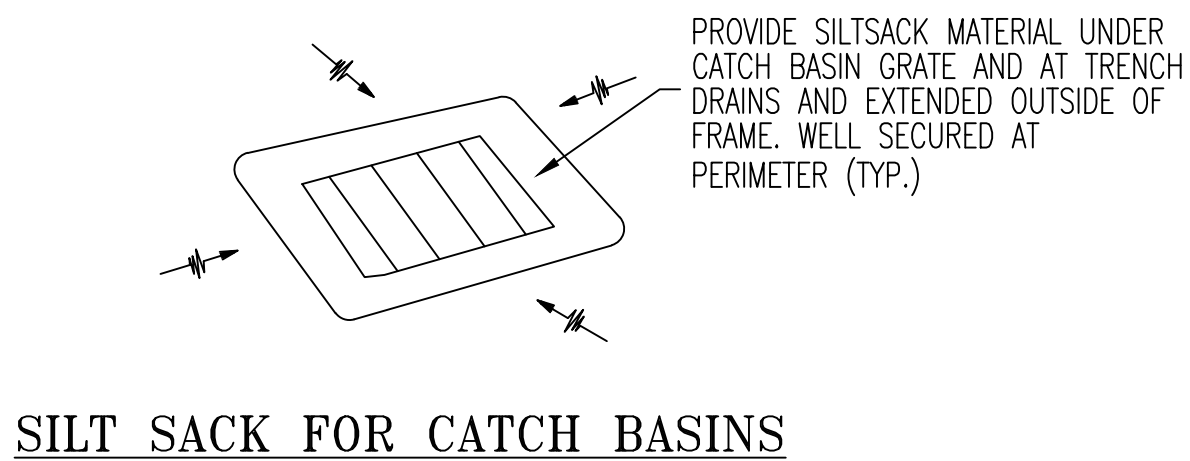
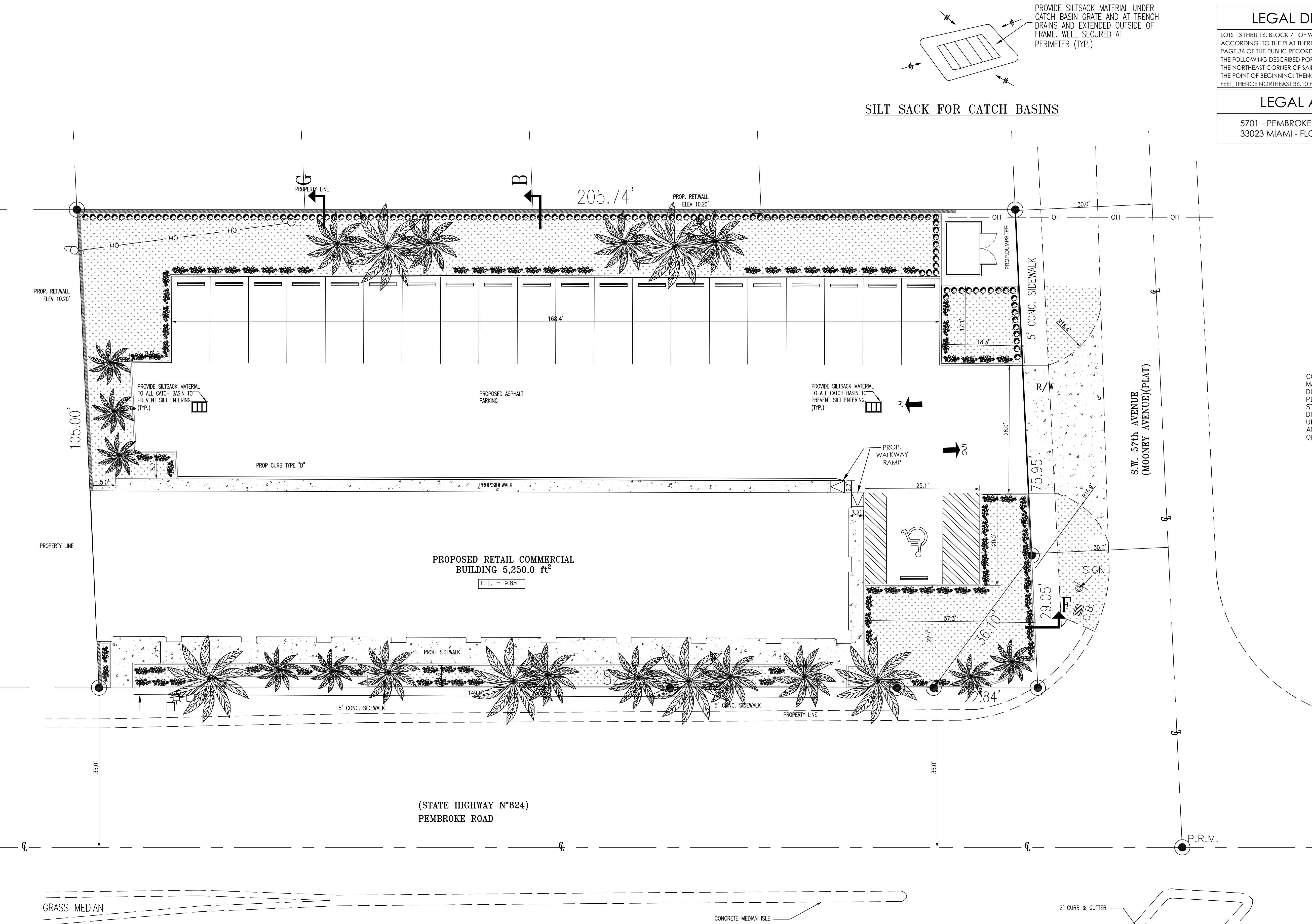
DRAWN BY: A.G.R.A.

DATE: 12-18-23

SCALE: 3/4" = 1'-0"

CS-3





LEGAL DESCRIPTION
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LEGAL ADDRESS
5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023 MIAMI - FLORIDA

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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT INFORMATION:

PROPOSE RETAIL COMMERCIAL BUILDING
5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023

TITLE:

SEDIMENT & EROSION CONTROL PLAN

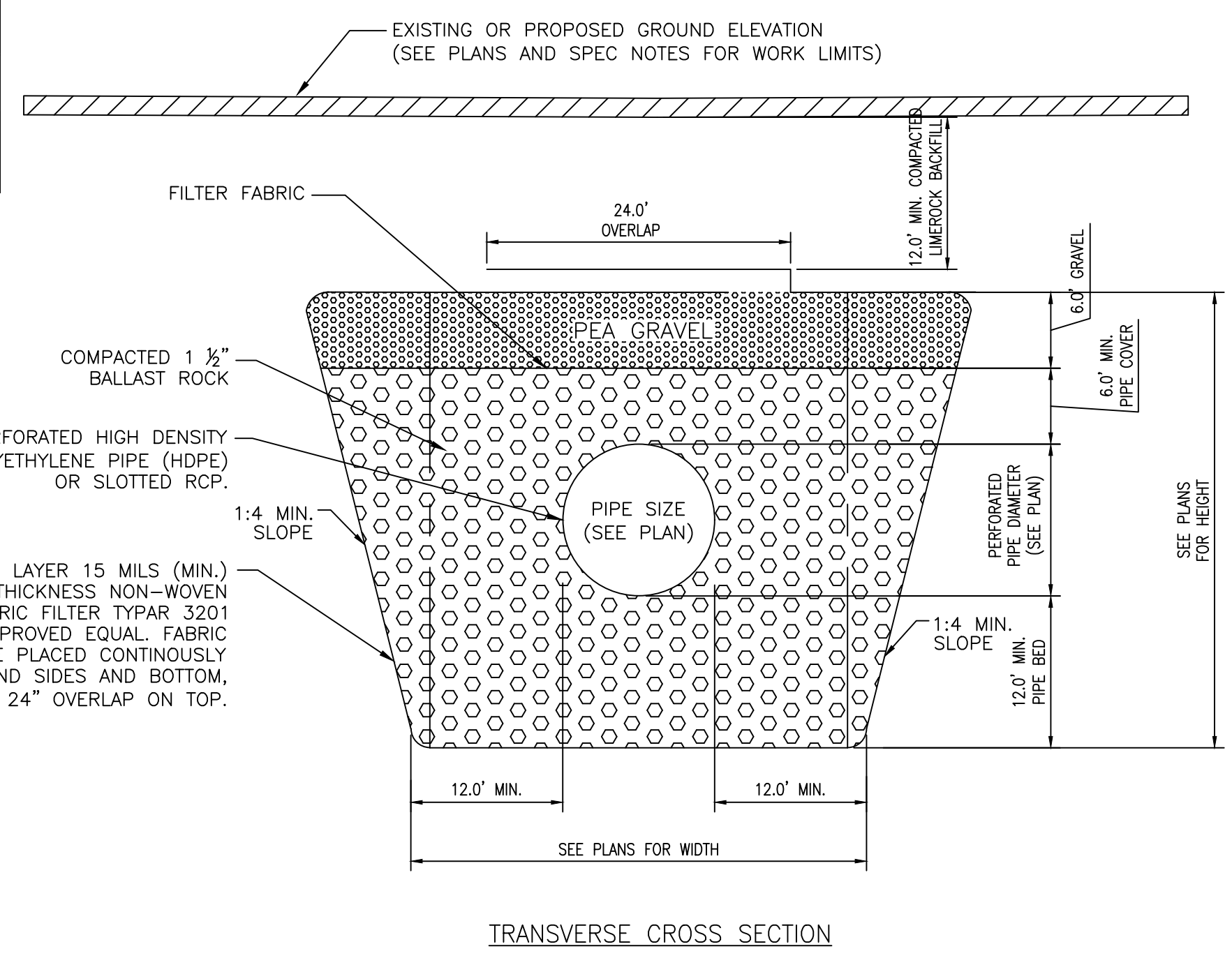
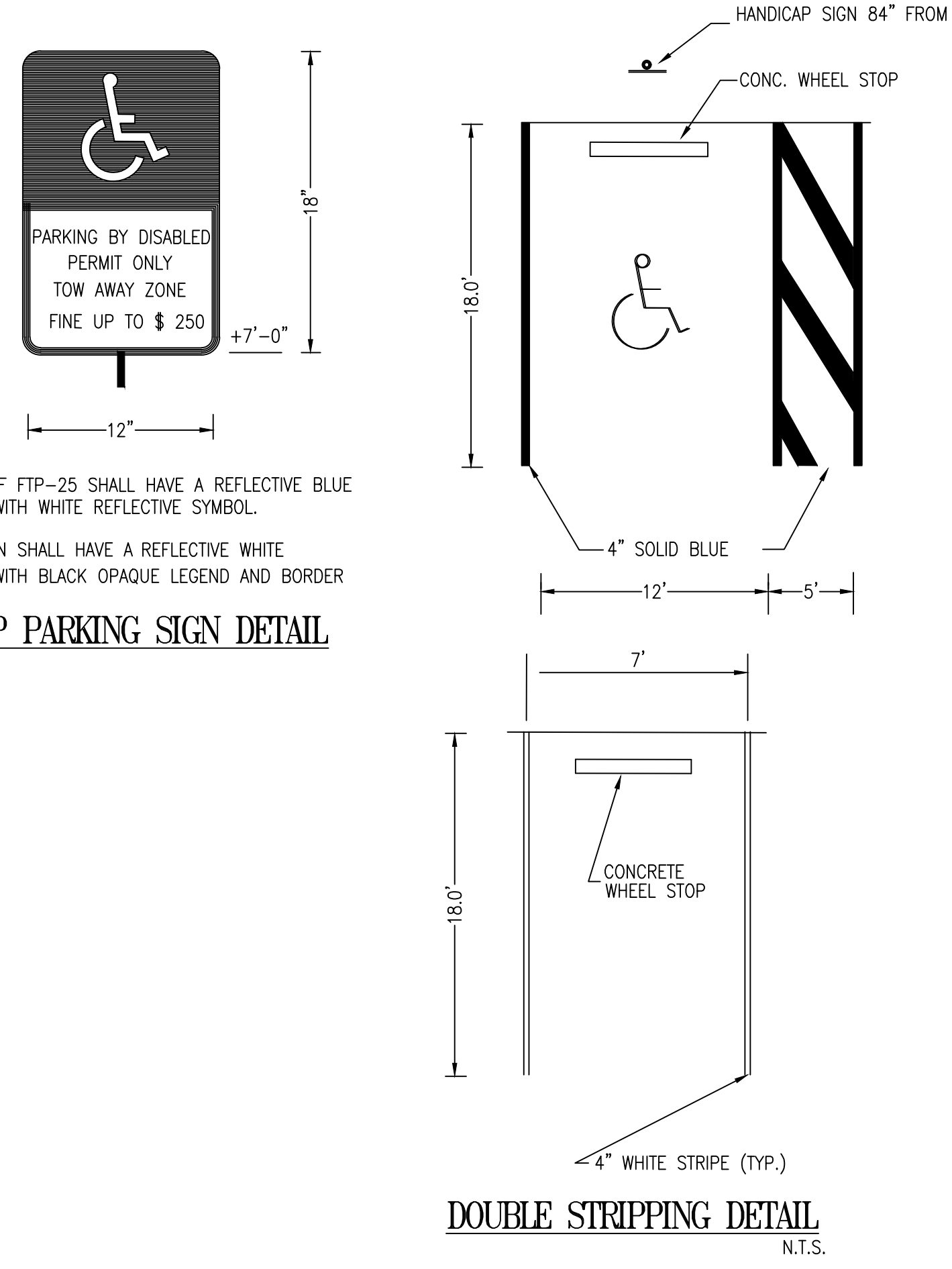
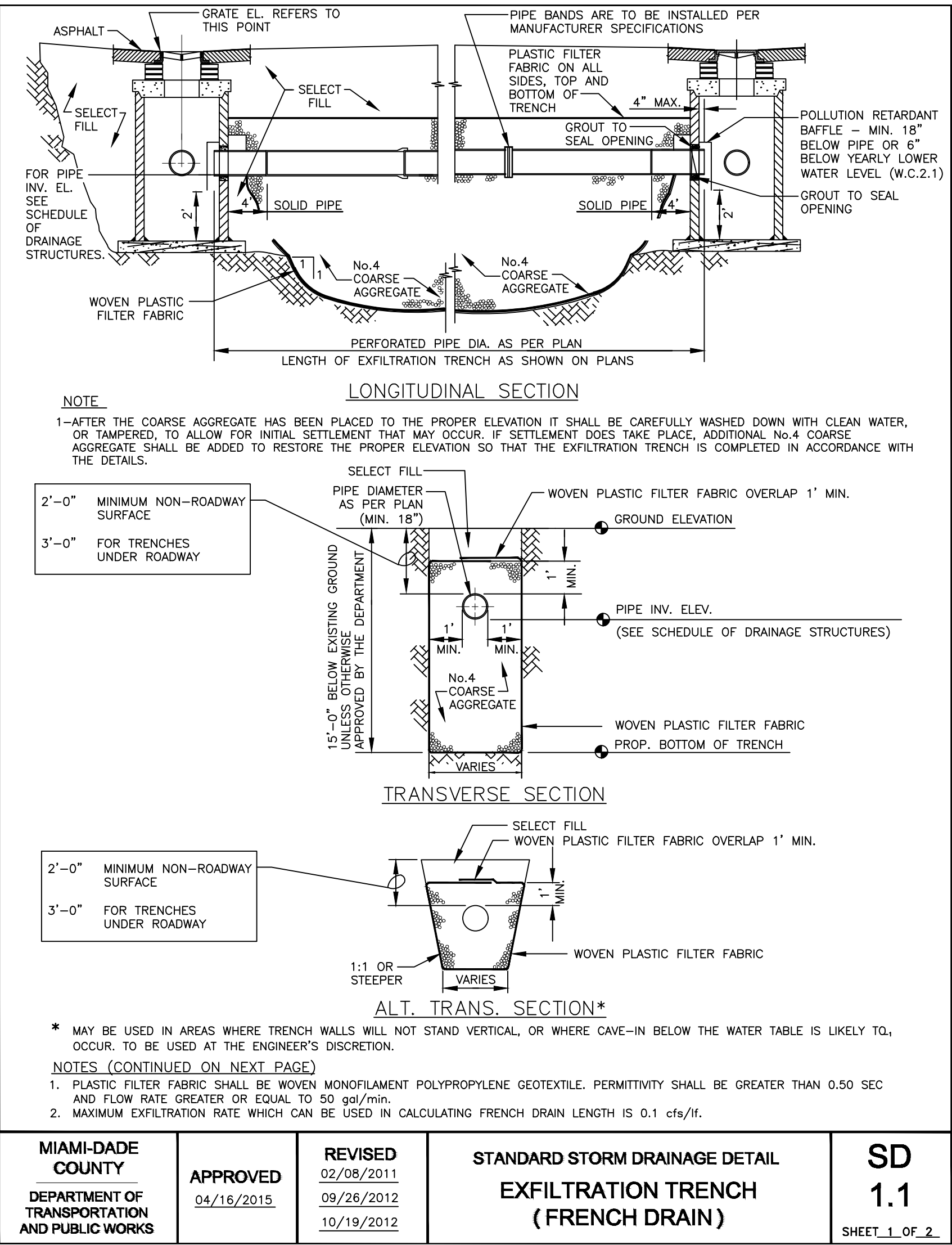
DRAWN BY: A.G.R.A.

DATE: 12-18-23

SCALE: 3/4" = 1'-0"

CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW!
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

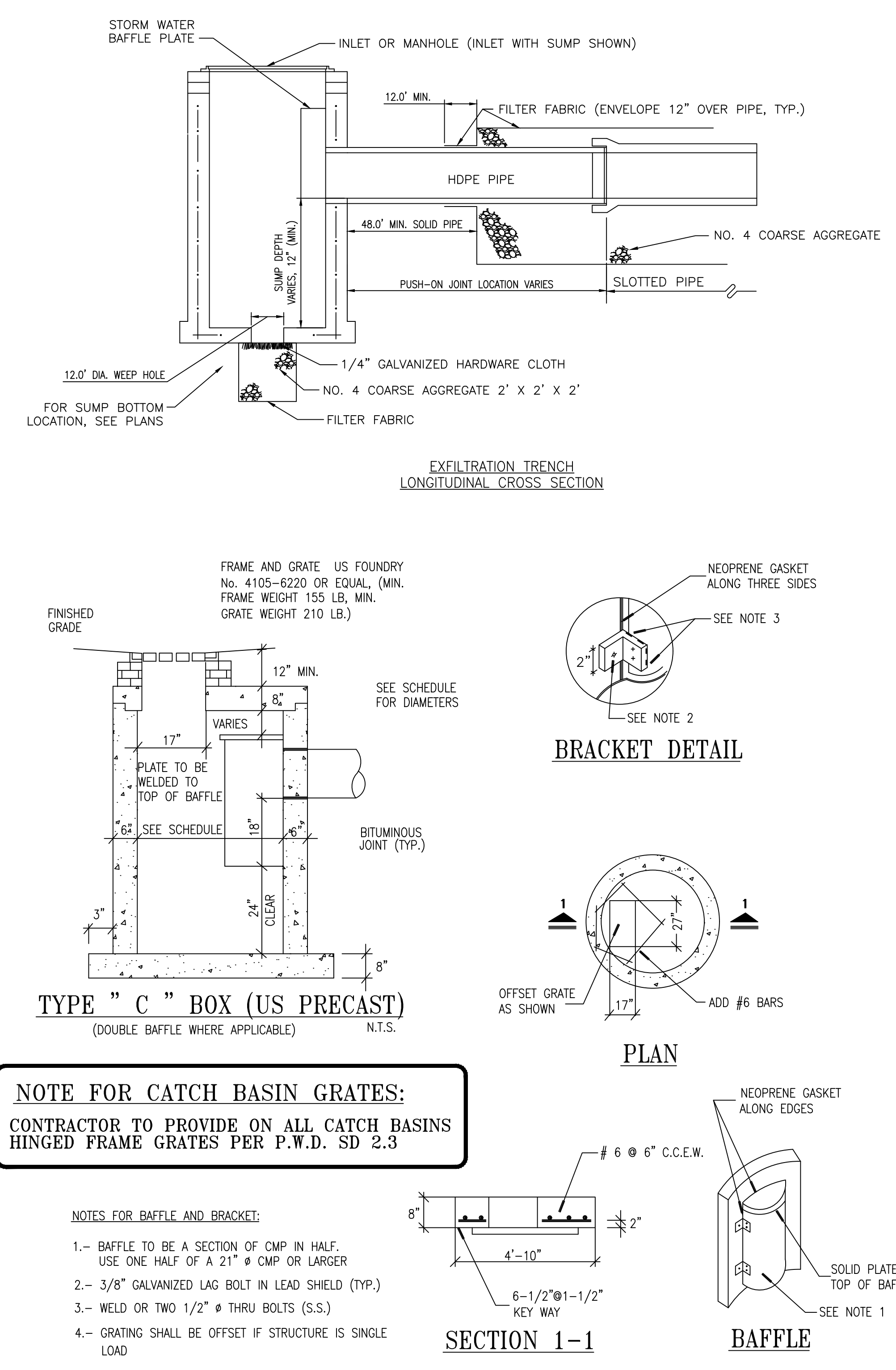
C-4



- NOTES:**
- CONTRACTOR MUST READ AND ABIDE THE CITY'S GENERAL CONSTRUCTION NOTES AND DRAINAGE DESIGN NOTES PRIOR TO STARTING CONSTRUCTION.
 - THE STANDARD CROSS SECTION SHALL BE CONSTRUCTED UNLESS OTHER SECTIONS ARE DESCRIBED OR DETAILED ON PLANS.
 - THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
 - THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.
 - FRENCH DRAINS MUST BE INSPECTED BY THE ENGINEERING INSPECTOR PRIOR TO CONTRACTOR BACKFILLING.

EXFILTRATION TRENCH SYSTEM

D620



ENGINEERING INSPECTION & CONSTRUCTION

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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT INFORMATION:
PROPOSE RETAIL COMMERCIAL BUILDING
5701 - PEMBROKE Rd. HOLLYWOOD FL.
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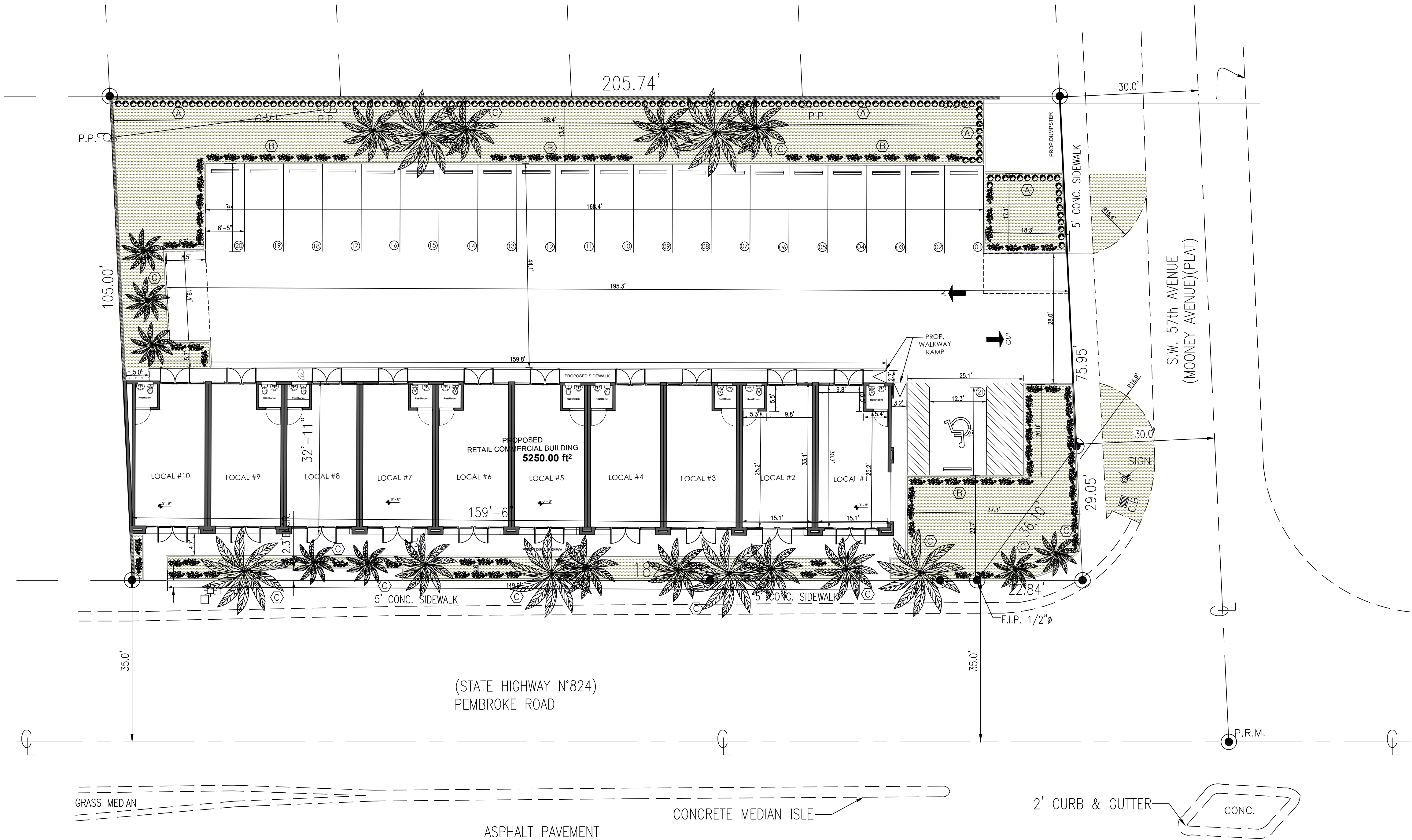
TITLE:
**DETAILS
PAVING, GRADING & DRAINAGE**

DRAWN BY: A.G.R.A.

DATE: 12-18-23

SCALE : 3/4" = 1'-0"

C-6



LANDSCAPING SITE PLAN

N.T.S.

LANDSCAPE LEGEND Chapter 18A--Ordinance 98-13			
ZONE DISTRICT	C-3		
Gross Land 0.17 (acre) Net Land 0.14 (acre) Water Bodies N/A (acre)			
Landscape Open Space (if applicable)	REQ. N/A %	PROV. N/A %	
Greenbelt Width (if applicable)	N/A feet	N/A feet	
Lawn Area (as defined in Ordinance)	25 %	5,313 SQ FT (25%)	

	REQ.	PROV.
Trees Trees per Net Lot (Note: 30% of required trees and/or palms shall be native species. No more than 20% of the native tree requirements shall be Sabal Palmetto (cabbage palm))	22	22
Trees in the right of way (*) or on private property will require Public Works approval or Special Taxing District.		
TOTAL NUMBER OF TREES	22	22
Shrubs (11 shrubs for each tree required)	242	242
* 30% shrubs/hedges shall be native species. * Irrigation system required pursuant to Chapter 33 Dade County Code.		
GRASS (pervious area)	5,313 SQ FT (25%)	

		Tree Name		Native Species Yes/No	Max. Height	Canopy Diameter
Symbol	New/Exist.	Scientific	Common			
(A)	152	chrysobalanus icaco	Cocoplum	Yes	36"	
(B)	90	erectus sericels	Silver Buttonwood	Yes	36"	
(C)	22	Arecaceae	Palm tree	Yes	12'	

Business (BU) and Industrial (IU) zones

A. Open space required per Section 33 of Zoning Code net lot area (sq. ft.) x % = sq. ft.

B. Parking lot landscaping required per Chapter 18A-6 (J) number of parking spaces = x 10 sq. ft. = sq. ft.

C. Add A+B = sq. ft. (total lawn area required)

D. Maximum lawn area (sod) permitted 50% of A+B = sq. ft.

E. Maximum lawn area provided x .20 = sq. ft.

LEGAL DESCRIPTION

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OPEN SPACE REQUIRED: 20% OF NET LOT AREA - 3,000 SQ FT
OPEN SPACE PROVIDED: GREEN AREA 5,313.00 SQ FT 25.00%
CONC. SIDEWALKS 1,492.00 SQ FT + 7.00 %
6,805.00 SQ FT 32.00%

PARKING REQUIRED: (1) PARKING SP/ 250 S.F.= 5,250/250=21 P.S.
OR
(3) PARKING SP PER BAY= 3X 4 BAYS= 12 P.S.
PARKING PROVIDED: 21 PARKING SPACES, INCLUDING (1) H.C. & 2 TRANSIT ZONE.



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REVISIONS

PROJECT INFORMATION:
LEGALIZATION OF LOCAL PROJECT
5701 - PEMBROKE Rd. HOLLYWOOD FL.
33023

TITLE:
LANDSCAPING SITE PLAN

DRAWN BY: A.G.R.A.

DATE: 12-06-23

SCALE : 3/4" = 1'-0"

LS-1.0





