

**SITE DATA**

TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,233 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,096 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,461 S.F.)
ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	TOTAL SINGLE FAMILY	67 D.U. (44%)
	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (47%)
	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY (45' x 110')	22 D.U. (43%)
18 - HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	84 D.U. (46%)
18 - HOLE PROPOSED LAND USE		RARITAN TOWNHOME	38 D.U. (45%)
		MAGNOLIA TOWNHOME	46 D.U. (45%)
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL DENSITY	4.98 D.U./AC.
NET DENSITY	3.85 D.U./AC.	TOTAL LAKE/DRAINAGE STORAGE AREA	5.44 AC. (236,966 S.F.)
MAX ALLOWABLE D.U./PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	TOTAL WATER SURFACE AREA	2.38 AC. (103,878 S.F.)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,966 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	16.01 AC. (697,395 S.F.)
P.U.D.-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578 S.F.)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	7.25 AC. (315,937 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,400 S.F. - 46%)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	7.25 AC. (315,937 S.F.)
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823 S.F. - 54%)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	56 AC. (2,426 S.F.)
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	PRIVATE ROADWAY AREA	14.34 AC. (624,607 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823 S.F. - 54%)	INTERNAL WALKWAYS AREA	7.25 AC. (315,937 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,096 S.F.)	FITNESS TRAIL AREA	3.58 AC. (155,965 S.F.)
MAXIMUM BUILDING HEIGHT	35'	LAKE WATER SURFACE AREA	56 AC. (2,426 S.F.)

**PROJECT NOTES**

- L.M.E. = LAKE MAINTENANCE EASEMENT
- R.A.S. = RESIDENTIAL ACCESS STREET
- U.E. = UTILITY EASEMENT
- UTILITIES ARE AVAILABLE TO THE SITE
- MAX. BUILDING HEIGHT IS 35'
- AC = ACRES
- CL = CENTER LINE
- EAS = EASEMENT
- CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
- D.E. = DRAINAGE EASEMENT
- F.P. = FOUNDATION PLANTING
- SW = SIDEWALK
- C.L.F. = CHAIN LINK FENCE
- \*R = RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE STREET OR ADDING RESIDENTIAL UNITS WITH LANDSCAPING.
- LIGHTPOLES LOCATED ON RESIDENTIAL LOTS ALONG ROAD RIGHT OF WAY SHALL BE LOCATED AT PROPERTY CORNERS.
- MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES TO BE A 5 ADJACENT TO ANY SURROUNDING RESIDENTIAL USES.
- M - INDICATES MODEL UNIT
- 45 - INDICATES A 45' WIDE SINGLE FAMILY LOT
- MAN - INDICATES A MANDALAY TOWNHOME
- MAG - INDICATES A MAGNOLIA TOWNHOME
- T.W. - INDICATES A TRAILWOOD TOWNHOME
- MAILBOX KIOSK LOCATED FOR PHASE 1, WITHIN COMMUNITY
- MAILBOX KIOSK LOCATED WITHIN COMMUNITY CLUBHOUSE FOR PHASE 2
- ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
- CLUBHOUSES INCLUDE KNOX BOX FOR EMERGENCY ACCESS
- PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FDOT INDEX #1746 PAGE 10 OF 14
- HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNER'S ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

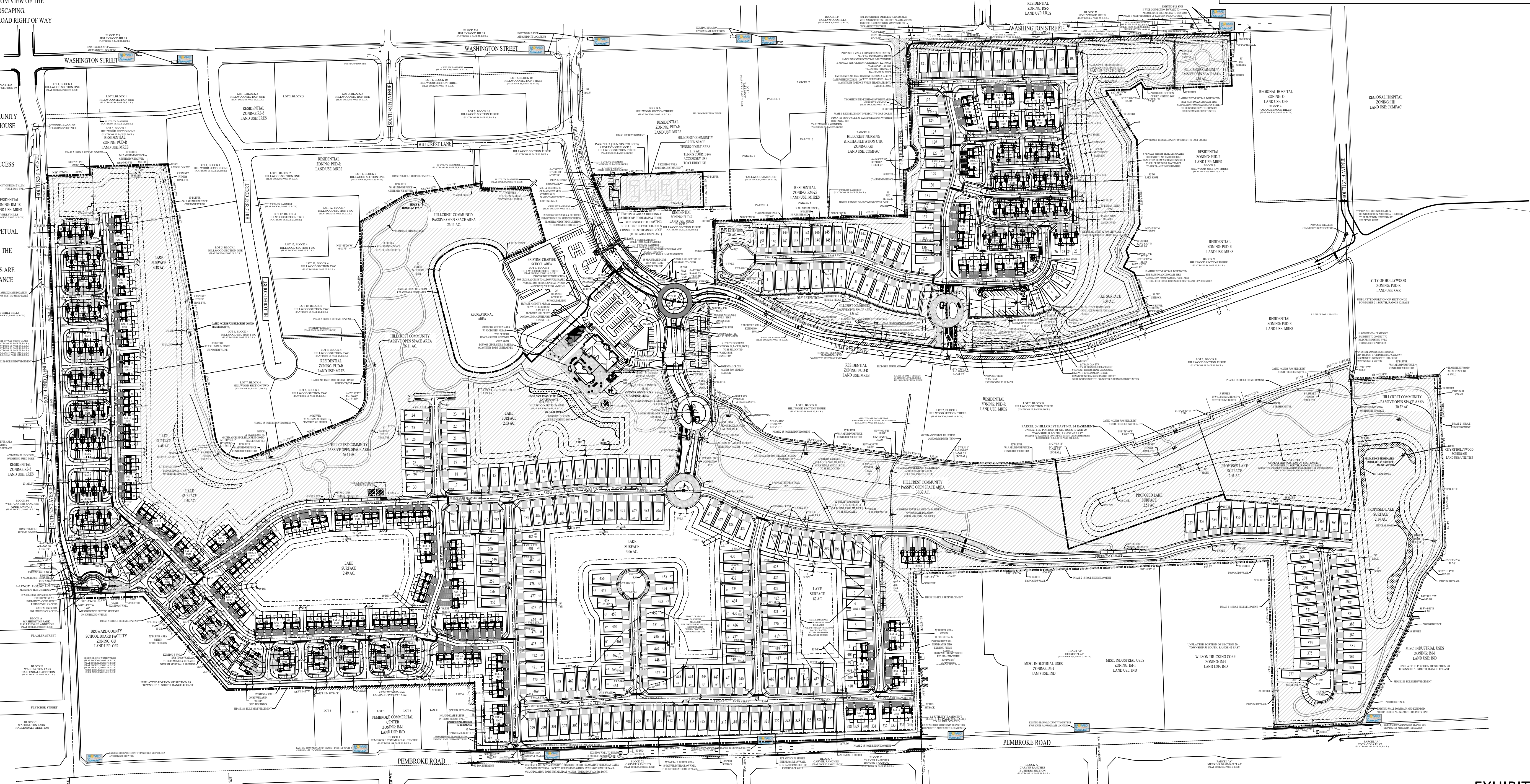
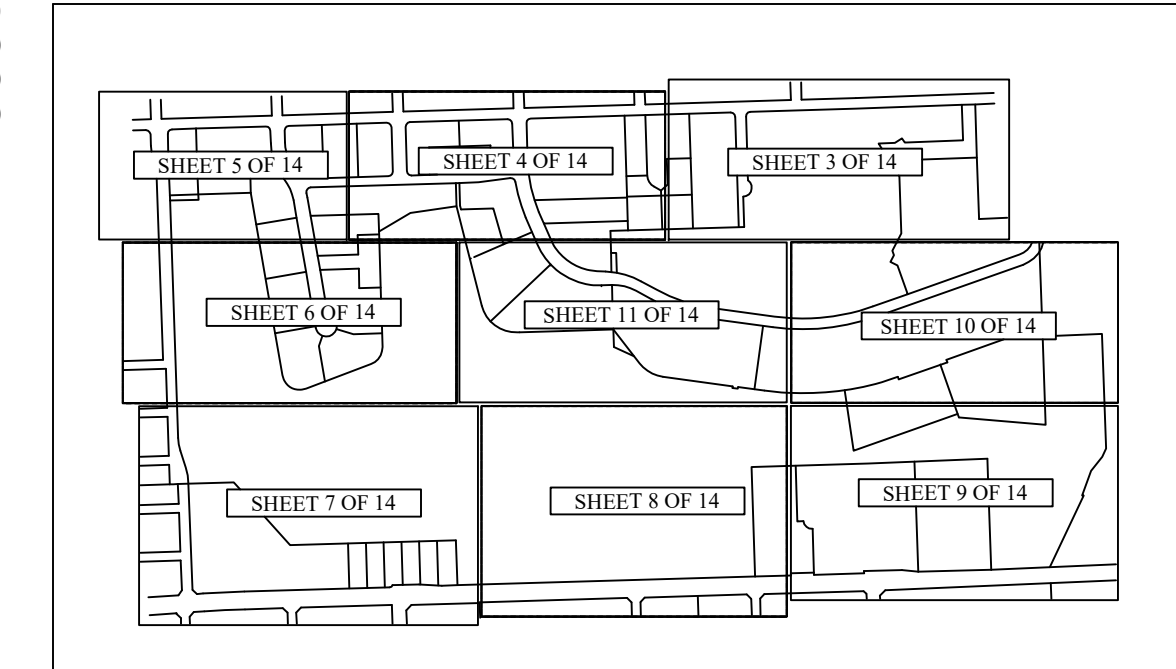
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PARKING SPACES REQUIRED	319 SP	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,994 S.F.)
SINGLE FAMILY PARKING SPACES REQUIRED (2 SP / D.U. < 2,000 S.F. + 1 SP / 500 S.F. > 2,000 S.F.)	134 SP	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
MULTI-FAMILY PARKING SPACES REQUIRED (2 SP / D.U.)	168 SP	TOTAL NUMBER OF UNITS	494 D.U. (77%)
MULTI-FAMILY GUEST SPACES REQUIRED (1 SP / 5 D.U.)	17 SP	TOTAL SINGLE FAMILY	210 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	559 SP	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP	RARITAN TOWNHOME	162 D.U. (57%)
MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP	MAGNOLIA TOWNHOME	122 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	3.74 D.U./AC.
PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,728 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,098 S.F.)
PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	58.50 AC. (2,548,258 S.F.)
PARKING REQUIRED (1 SP / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
PARKING PROPOSED	130 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,695 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	2.49 AC. (108,583 S.F.)	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
TOTAL PERVIOUS AREA	1.26 AC. (54,885 S.F.)	INTERNAL WALKWAYS AREA	2.90 AC. (126,286 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)	FITNESS TRAIL AREA	17.58 AC. (765,784 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)	LAKE WATER SURFACE AREA	
PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.		
PARKING REQUIRED (1.5 PER CABANA)	3 SP		
PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP		
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	.85 AC. (36,998 S.F.)		
TOTAL PERVIOUS AREA	.34 AC. (14,810 S.F.)		

**LEGEND**

- [Hatched Box] - INDICATES AREA OF HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA
- [Dotted Box] - INDICATES PAVEMENT AREAS

**SHEET KEY**



BY	REVISIONS	DATE
KD	TAC-COMMENTS-7.20.15	8.19.15
KD	TAC-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAC	11.30.15
KD	CITY-COMMENTS	03.16.16
KD	SITE-PLAN-AMD-REC	08.10.16
KD	SITE-PLAN-AMD	04.19.17
KD	SPALOT-REV	06.07.19
KD	TOT.LOT-REV	09.23.19

**Design and Entitlement Consultants, LLC.**  
 1402 Royal Palm Beach Blvd., Suite 102  
 Royal Palm Beach, FL 33411  
 Tel: (561) 707-3410  
 Email: info@designandentitlement.com



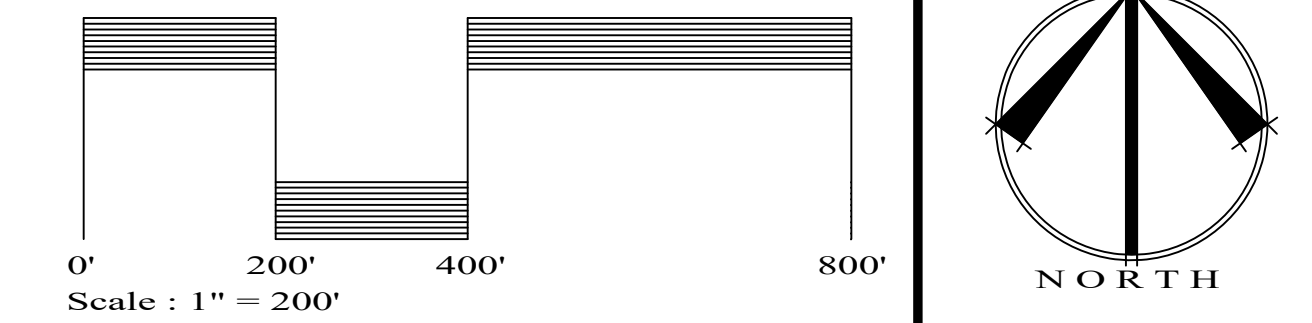
**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN KEY SHEET**

SCALE: 1"=200'  
 CHECKED BY: K.D.D.  
 DRAWN BY: K.D.D.  
 DATE: 07.06.15  
 FILE:SP.1  
 SHEET

**SP.1**  
 1 OF 14 SHEETS

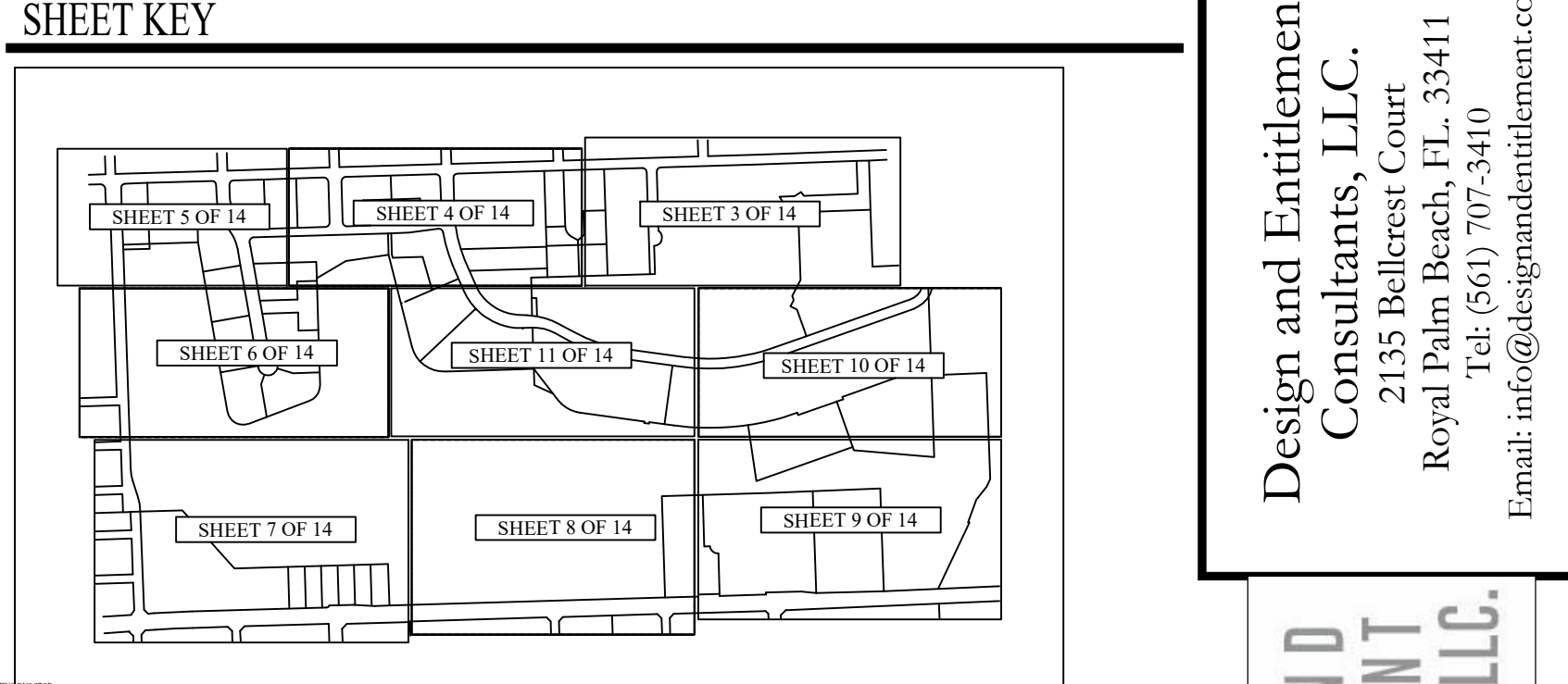
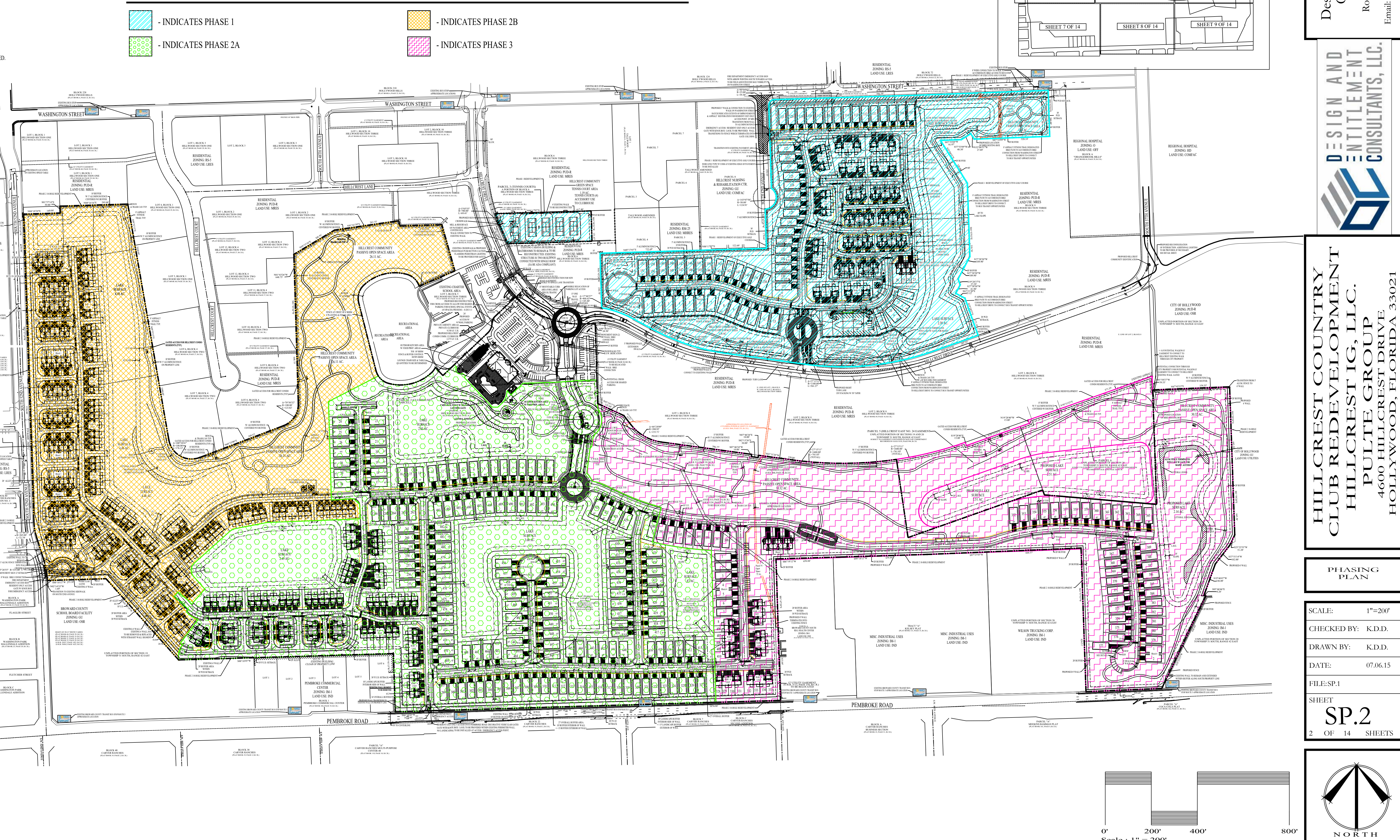
**EXHIBIT "B"**



SITE DATA		PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE		PHASE 3 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE	
TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,233 S.F.)	30.44 AC. (1,328,159 S.F.)	310 SP.	131.91 AC. (5,745,994 S.F.)	13,191 SP.	36.87 AC. (1,616,914 S.F.)	368 SP.
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	32.86 AC. (1,431,261 S.F.)	134 SP.	135.15 AC. (5,887,134 S.F.)	13,515 SP.	37.41 AC. (1,637,947 S.F.)	374 SP.
ZONING DESIGNATION	P.U.D.-R						
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)		RESIDENTIAL ZONING PD8 LAND USE MIBS		RESIDENTIAL ZONING PD8 LAND USE MIBS	
18-HOLE GOLF COURSE EXISTING LAND USE	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	OPEN SPACE AND RECREATIONAL (OSR)		RESIDENTIAL ZONING PD8 LAND USE MIBS		RESIDENTIAL ZONING PD8 LAND USE MIBS	
18-HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL			RESIDENTIAL ZONING PD8 LAND USE MIBS		RESIDENTIAL ZONING PD8 LAND USE MIBS	
TOTAL NUMBER OF UNITS	645 D.U.						
NET DENSITY	3.85 D.U./AC.						
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	640 D.U.						
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751.2 S.F.)						
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964.4 S.F.)						
18-HOLE GOLF COURSE LAKE AREA	17.58 AC. (765,784.8 S.F.)						
P.U.D.-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578.2 S.F.)						
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,400.2 S.F. - 46%)						
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OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823.8 S.F. - 54%)						
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS							
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049.6 S.F.)						
MAXIMUM BUILDING HEIGHT	35'						

- ### PROJECT NOTES
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  - R.A.S. = RESIDENTIAL ACCESS STREET
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  - M - INDICATES MODEL UNIT
  - 45 - INDICATES A 45' WIDE SINGLE FAMILY LOT
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  - ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
  - CLUBHOUSES INCLUDE KNOX BOX FOR EMERGENCY ACCESS
  - PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FDOT INDEX #17346 PAGE 10 OF 14
  - HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
  - HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNER'S ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
  - ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

- ### PHASING PLAN KEY
- INDICATES PHASE 1
  - INDICATES PHASE 2B
  - INDICATES PHASE 2A
  - INDICATES PHASE 3



BY	REVISIONS	DATE
KDD	TAC-COMMENTS-7.20.15	8.19.15
KDD	TAC-COMMENTS-9.03.15	10.30.15
KDD	FINAL-TAC	11.30.15
KDD	CITY COMMUNICATIONS	03.16.16
KDD	SITE PLAN.AMD.REC	08.10.16
KDD	SPALOT.REV	06.07.19
KDD	TOTLOT.REV	09.23.19

Design and Entitlement Consultants, LLC.  
2155 Belcrest Court  
Royal Palm Beach, FL 33411  
Tel: (561) 707-3410  
Email: info@designandentitlement.com



HILLCREST COUNTRY CLUB REDEVELOPMENT  
HILLCREST IG, LLC.  
PULTE GROUP  
4600 HILLCREST DRIVE  
HOLLYWOOD, FLORIDA 33021

PHASING PLAN

SCALE: 1" = 200'

CHECKED BY: K.D.D.

DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

SHEET **SP.2**  
2 OF 14 SHEETS

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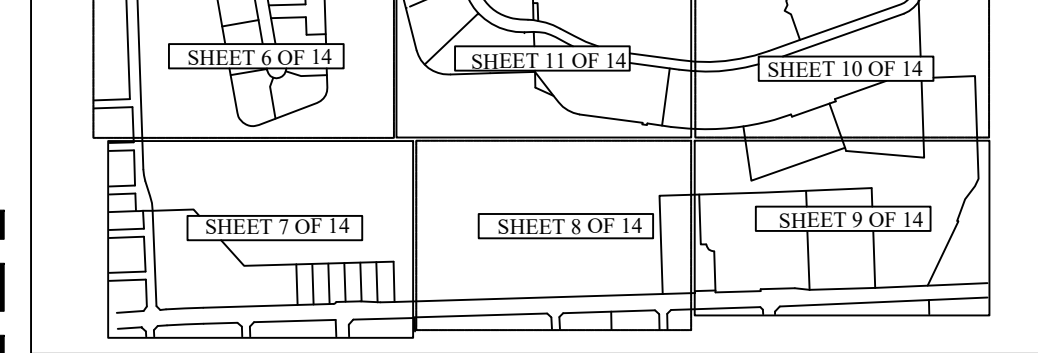
**SITE DATA**

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TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819.2 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,461.2 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
ZONING DESIGNATION	PUD-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	TOTAL SINGLE FAMILY	67 D.U. (44%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
	IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	22 D.U. (33%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
	OPEN SPACE AND RECREATIONAL (OSR)	RARIAN TOWNHOME	84 D.U. (56%)	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	MAGNOLIA TOWNHOME	38 D.U. (49%)	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARIAN TOWNHOME	162 D.U. (57%)
		TOTAL DENSITY	46 D.U. (59%)	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL LAKE/DRAINAGE STORAGE AREA	4,980 U.A.C.	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	17.58 AC. (765,784 S.F.)
NET DENSITY	3.85 D.U./AC.	TOTAL WATER SURFACE AREA	5.44 AC. (236,964 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,300 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 4674, PAGE 883)	646 D.U.	TOTAL DRY RETENTION AREA	3.06 AC. (131,291.6 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724.8 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,090 S.F.)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751.2 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	12.04 AC. (524,462.4 S.F.)	PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740.7 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	PROPOSED PRIVATE CLUBHOUSE	9,330 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUTLER AREAS & LANDSCAPE OPEN SPACE AREAS	58.50 AC. (2,548,258.9 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	7.25 AC. (315,937 S.F.)	PARKING PROPOSED	130 SPACES	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578.2 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,695.1 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408.2 S.F. - 46%)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	2.49 AC. (108,583 S.F.)	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823.8 S.F. - 54%)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	INTERNAL WALKWAYS AREA	2.90 AC. (126,296 S.F.)
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	FITNESS TRAIL AREA	17.58 AC. (765,784 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823.8 S.F. - 54%)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	LAKE WATER SURFACE AREA	2.67 AC. (1,161,919.4 S.F.)
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS		TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740.7 S.F. - 56%)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049.6 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE AREA)	1.045 SP.
MAXIMUM BUILDING HEIGHT	35'	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,855.6 S.F.)	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	420 SP.

**LEGEND**

INDICATES PAVER AREAS

**SHEET KEY**



**PROJECT NOTES**

- L.M.E. = LAKE MAINTENANCE EASEMENT
- R.A.S. = RESIDENTIAL ACCESS STREET
- UE = UTILITY EASEMENT
- UTILITIES ARE AVAILABLE TO THE SITE
- MAX. BUILDING HEIGHT IS 35'
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- CL = CENTER LINE
- EAS = EASEMENT
- CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
- D.E. = DRAINAGE EASEMENT
- F.P. = FOUNDATION PLANTING
- SW = SIDEWALK
- C.L.F. = CHAIN LINK FENCE
- \*R = RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE STREET OR ADJOINING RESIDENTIAL UNITS WITH LANDSCAPING.
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- MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES TO BE A .5 ADJACENT TO ANY SURROUNDING RESIDENTIAL USES.
- M. INDICATES MODEL UNIT
- 45 - INDICATES A 45' WIDE SINGLE FAMILY LOT
- MAN - INDICATES A MANDALAY TOWNHOME
- MAG - INDICATES A MAGNOLIA TOWNHOME
- T.W. - INDICATES A TRAILWOOD TOWNHOME
- MAILBOX KIOSK LOCATED FOR PHASE 1, WITHIN COMMUNITY
- MAILBOX KIOSK LOCATED WITHIN COMMUNITY CLUBHOUSE FOR PHASE 2
- MAILBOX WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
- CLUBHOUSES INCLUDING KNOX BOX FOR EMERGENCY ACCESS
- PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FDOT INDEX #17346 PAGE 10 OF 14
- HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

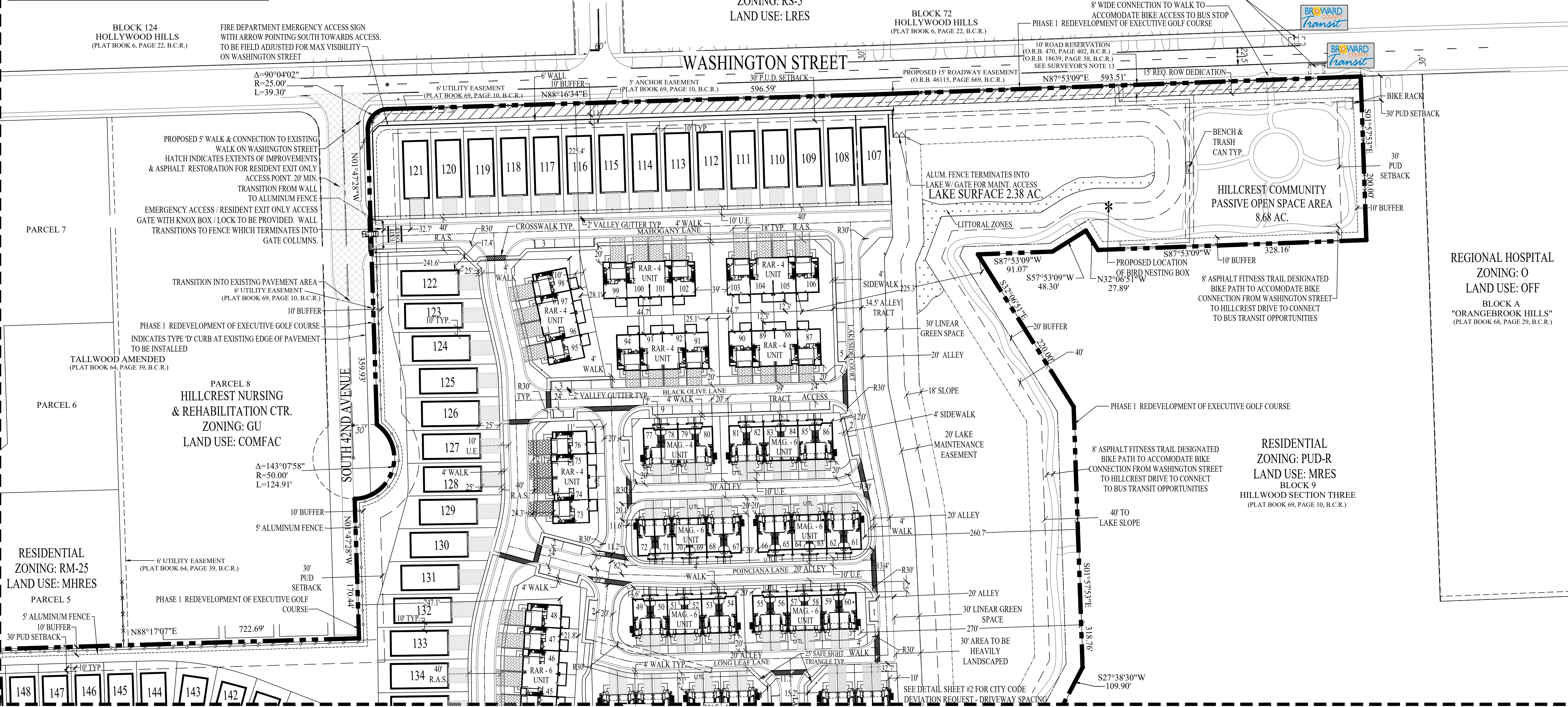
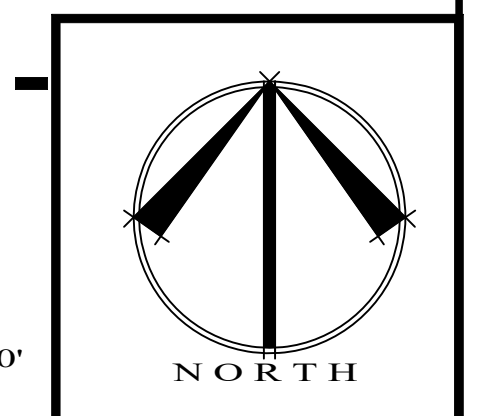
BY	REVISIONS	DATE
KD	TAG-COMMENTS-7.20.15	8.19.15
KD	TAG-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAG	11.30.15
KD	CITY-COMMREVISIONS	03.16.16
KD	SPALOT.REV	06.07.19
KD	TOT.LOT.REV	09.23.19

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**DESIGN AND ENTITLEMENT CONSULTANTS, LLC.**

**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

<b>SITE PLAN</b>	
SCALE:	1"=60'
CHECKED BY:	K.D.D.
DRAWN BY:	K.D.D.
DATE:	07.06.15
FILE:SP.1	
SHEET	<b>SP.3</b>
	3 OF 14 SHEETS



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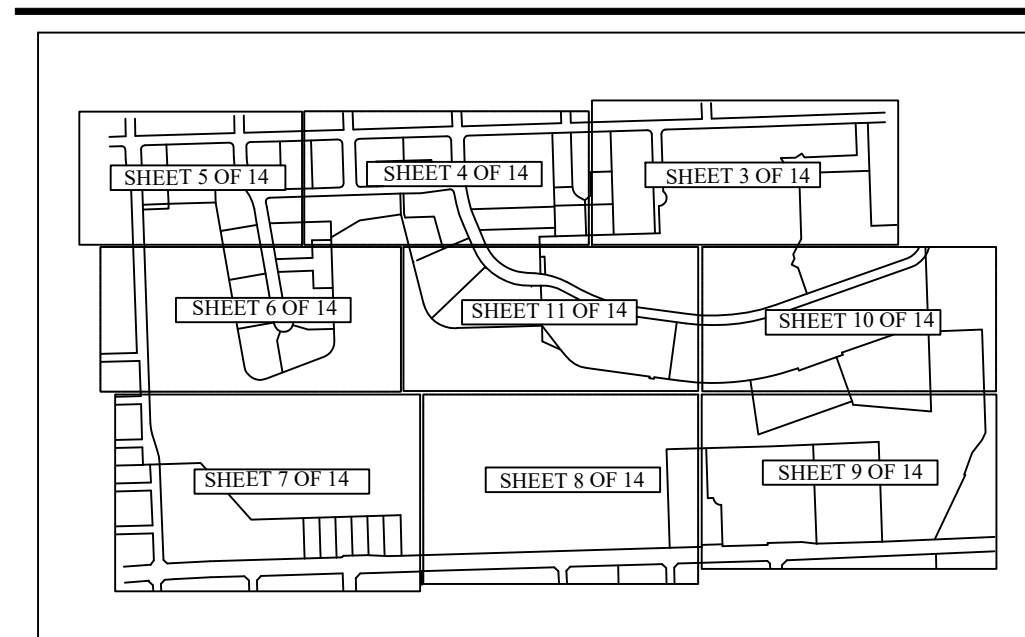
**SITE DATA**

TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,232 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819.2 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,462 S.F.)
ZONING DESIGNATION	PUD-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	TOTAL SINGLE FAMILY	67 D.U. (44%)
	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)
	IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.)	TOTAL SINGLE FAMILY (45' x 110')	22 D.U. (33%)
18 - HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	84 D.U. (56%)
18 - HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	RARITAN TOWNHOME	38 D.U. (49%)
		MAGNOLIA TOWNHOME	46 D.U. (57%)
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL DENSITY	4.98 D.U./AC.
NET DENSITY	3.85 D.U./AC.	TOTAL LAKE/DRAINAGE STORAGE AREA	5.44 AC. (236,964 S.F.)
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 883)	646 D.U.	TOTAL WATER SURFACE AREA	2.38 AC. (103,672 S.F.)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (131,293 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	16.01 AC. (697,395 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,572 S.F.)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	7.25 AC. (315,937 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408 S.F. - 46%)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607 S.F.)
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823 S.F. - 54%)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	7.25 AC. (315,937 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	PRIVATE ROADWAY AREA	3.58 AC. (155,953 S.F.)
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	LAKE WATER SURFACE AREA	.56 AC. (24,526 S.F.)
		FITNESS TRAIL AREA	.56 AC. (24,486 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049 S.F.)	LAKE WATER SURFACE AREA	2.38 AC. (103,672 S.F.)
MAXIMUM BUILDING HEIGHT	35'	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	6.09 AC. (265,280 S.F.)
		OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395 S.F. - 53%)
		INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	

**LEGEND**

INDICATES PAVEMENT AREAS

**SHEET KEY**



PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)
SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
MULTI-FAMILY PARKING SPACES REQUIRED (1 SP. / D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
SINGLE-FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)
MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	3.74 D.U./AC.
PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,090 S.F.)
PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
PROPOSED PRIVATE CLUBHOUSE	93 SPACES U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	8.50 AC. (372,528 S.F.)
PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
PARKING PROPOSED	130 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,695 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	2.49 AC. (108,583 S.F.)	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
TOTAL PERVIOUS AREA	1.26 AC. (54,855 S.F.)	INTERNAL WALKWAYS AREA	1.54 AC. (66,916 S.F.)
PHASE 1 - TENNIS & BOCCET CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)	FITNESS TRAIL AREA	2.90 AC. (126,296 S.F.)
PHASE 1 - TENNIS & BOCCET CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)	LAKE WATER SURFACE AREA	17.58 AC. (765,784 S.F.)
PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	26.67 AC. (1,161,919 S.F.)
PARKING REQUIRED (1.5 PER CABANA)	3 SP.	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740 S.F. - 56%)
PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)	PARKING SPACES REQUIRED	1,045 SP.
	34 AC. (14,810 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	420 SP.
		MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	568 SP.
		MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	57 SP.
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	
		PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	1,885 SP.
		SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	840 SP.
		MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	892 SP.
		MULTI-FAMILY GUEST PARKING SPACES PROPOSED	153 SP.
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	

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- M - INDICATES MODEL UNIT
- 45 - INDICATES A 45' WIDE SINGLE FAMILY LOT
- MAN - INDICATES A MANDALAY TOWNHOME
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- T.W. - INDICATES A TRAILWOOD TOWNHOME
- MAILBOX KIOSK LOCATED FOR PHASE 1, WITHIN COMMUNITY
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- IN ACCORDANCE WITH 2016 FDOT INDEX #17346 PAGE 10 OF 14
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- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

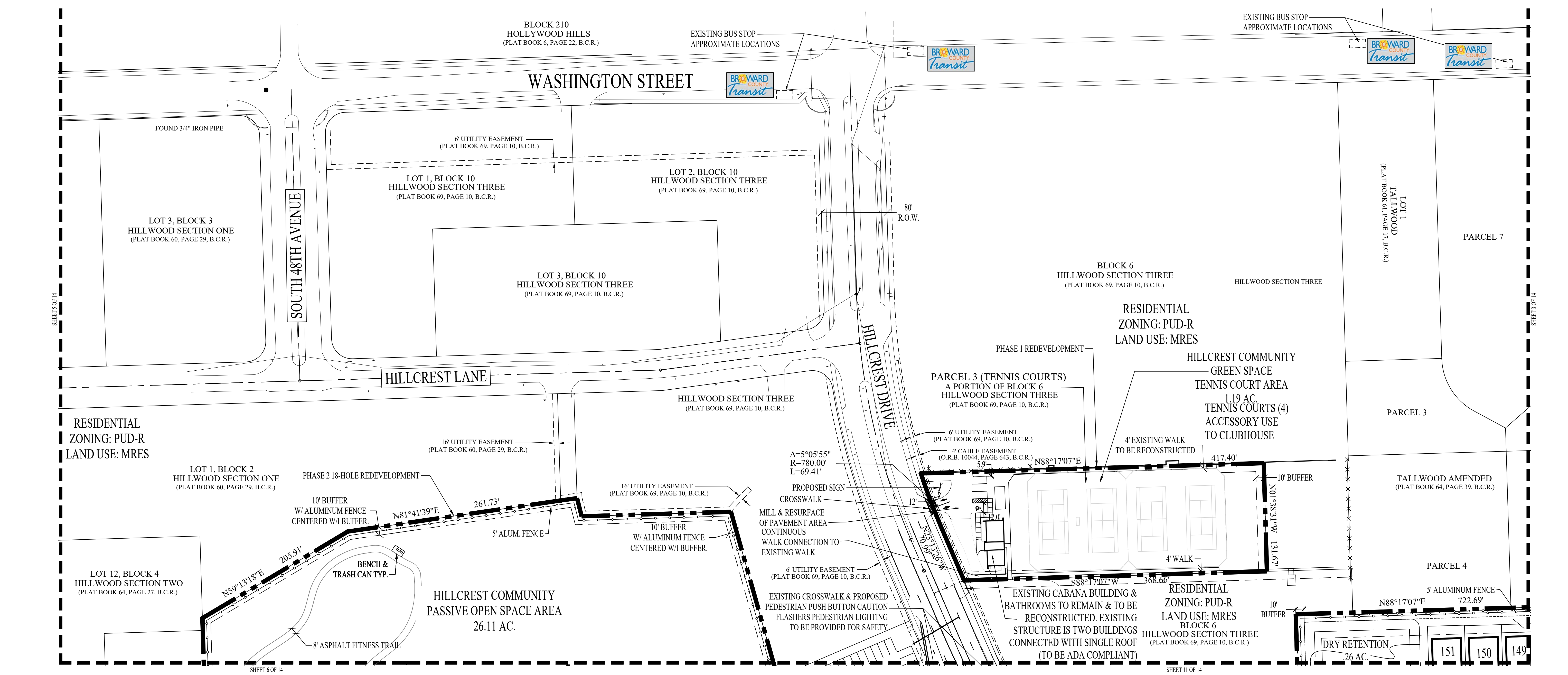
**Design and Entitlement Consultants, LLC.**  
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 Royal Palm Beach, FL 33411  
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**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN**  
 SCALE: 1" = 60'  
 CHECKED BY: K.D.D.  
 DRAWN BY: K.D.D.  
 DATE: 07.06.15  
 FILE: SP.1  
 SHEET **SP.4**  
 4 OF 14 SHEETS

**NORTH**



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Scale: 1" = 60'

0' 60' 120' 240'

**SITE DATA**

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ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)
LAND USE DESIGNATION		TOTAL SINGLE FAMILY	67 D.U. (44%)
EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)
IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.)	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY (45' x 110')	22 D.U. (33%)
18 - HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	84 D.U. (56%)
18 - HOLE PROPOSED LAND USE		RARITAN TOWNHOME	38 D.U. (49%)
TOTAL NUMBER OF UNITS	645 D.U.	MAGNOLIA TOWNHOME	46 D.U. (55%)
NET DENSITY	3.85 D.U./AC.	TOTAL DENSITY	4.98 D.U./AC.
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	TOTAL LAKE/DRAINAGE STORAGE AREA	5.44 AC. (236,964 S.F.)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,672 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (132,292 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	16.01 AC. (697,395 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408 S.F. - 46%)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	7.25 AC. (315,937 S.F.)
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823 S.F. - 54%)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	14.34 AC. (624,607 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	7.25 AC. (315,937 S.F.)
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	2.25 AC. (98,585 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049 S.F.)	PRIVATE ROADWAY AREA	3.58 AC. (155,985 S.F.)
MAXIMUM BUILDING HEIGHT	35'	INTERNAL WALKWAYS AREA	.56 AC. (24,526 S.F.)
LEGEND		FITNESS TRAIL AREA	.56 AC. (24,486 S.F.)
- INDICATES PAVER AREAS		LAKE WATER SURFACE AREA	2.38 AC. (103,672 S.F.)
		OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	6.09 AC. (265,280 S.F.)
		OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395 S.F. - 53%)
		INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	

PARKING SPACES REQUIRED		PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)
SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	319 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	134 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	168 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	17 SP.	TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)
MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	3.74 D.U./AC.
PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,000 S.F.)
PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	8.50 AC. (372,258 S.F.)
PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
PARKING PROPOSED	139 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,695 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	1.26 AC. (54,885 S.F.)	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
TOTAL PERVIOUS AREA	1.19 AC. (51,836 S.F.)	INTERNAL WALKWAYS AREA	2.90 AC. (126,296 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.32 AC. (57,492 S.F.)	FITNESS TRAIL AREA	2.90 AC. (126,296 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,492 S.F.)	LAKE WATER SURFACE AREA	17.58 AC. (765,784 S.F.)
PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	26.67 AC. (1,161,919 S.F.)
PARKING REQUIRED (1.5 PER CABANA)	3 SP.	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740 S.F. - 56%)
PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	.85 AC. (36,998 S.F.)	PARKING SPACES REQUIRED	1,045 SP.
TOTAL PERVIOUS AREA	.34 AC. (14,810 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	420 SP.
		MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	568 SP.
		MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	57 SP.
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	
		PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	1,885 SP.
		SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	840 SP.
		MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	892 SP.
		MULTI-FAMILY GUEST PARKING SPACES PROPOSED	153 SP.
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	

**PROJECT NOTES**

- L.M.E. = LAKE MAINTENANCE EASEMENT
- R.A.S. = RESIDENTIAL ACCESS STREET
- U.E. = UTILITY EASEMENT
- UTILITIES ARE AVAILABLE TO THE SITE
- MAX. BUILDING HEIGHT IS 35'
- AC = ACRES
- CL = CENTER LINE
- EAS. = EASEMENT
- CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
- DE = DRAINAGE EASEMENT
- FP = FOUNDATION PLANTING
- SW = SIDEWALK
- C.L.F. = CHAIN LINK FENCE
- R = RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE STREET OR ADJOINING RESIDENTIAL UNITS WITH LANDSCAPING.
- LIGHTPOLES LOCATED ON RESIDENTIAL LOTS ALONG ROAD/RIGHT OF WAY SHALL BE LOCATED AT PROPERTY CORNERS.
- MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES TO BE A .5 ADJACENT TO ANY SURROUNDING RESIDENTIAL UNITS.
- M - INDICATES MODEL UNIT
- 45 - INDICATES A 45' WIDE SINGLE FAMILY LOT
- MAN - INDICATES A MANDALAY TOWNHOME
- MAG - INDICATES A MAGNOLIA TOWNHOME
- T.W. - INDICATES A TRAILWOOD TOWNHOME
- MAILBOX KIOSK LOCATED FOR PHASE 1, WITHIN COMMUNITY
- MAILBOX KIOSK LOCATED WITHIN COMMUNITY CLUBHOUSE FOR PHASE 2
- ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
- CLUBHOUSES INCLUDE KNOX BOX FOR EMERGENCY ACCESS
- PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FDOT INDEX #17346 PAGE 10 OF 14
- HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNER'S ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

BY: \_\_\_\_\_ REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

KD TAG-COMMENTS-7.20.15 8.19.15

KD TAG-COMMENTS-9.03.15 10.30.15

KD FINAL-TAG 11.30.15

KD CITY-COMMENTS-REVISIONS 03.16.16

KD SPALLOT-REV 06.07.19

KD TOT.LOT-REV 09.23.19

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HILLCREST COUNTRY CLUB REDEVELOPMENT  
HILLCREST IG, LLC.  
PULTE GROUP  
4600 HILLCREST DRIVE  
HOLLYWOOD, FLORIDA 33021

SITE PLAN

SCALE: 1" = 60'

CHECKED BY: K.D.D.

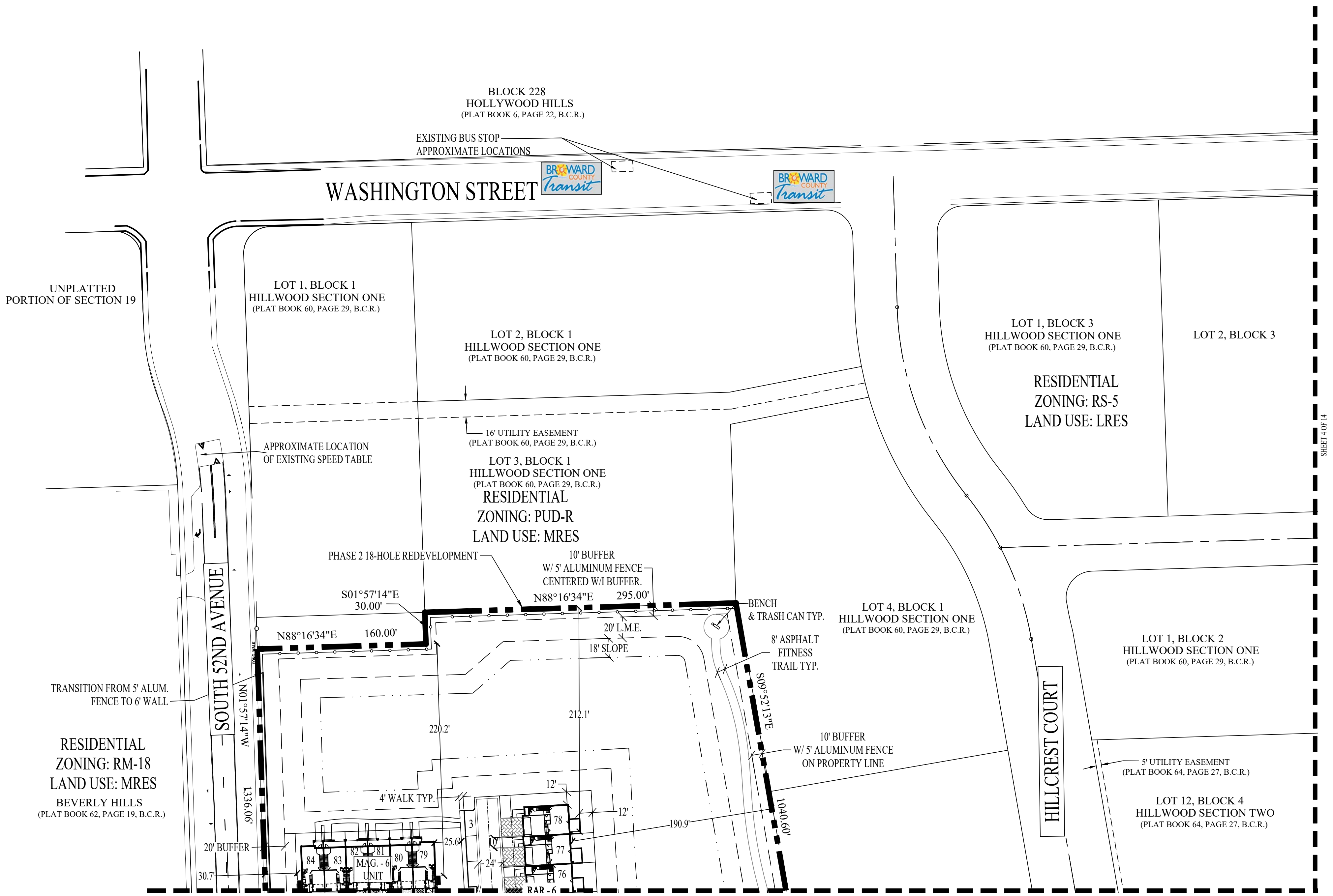
DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

SHEET SP.5  
5 OF 14 SHEETS

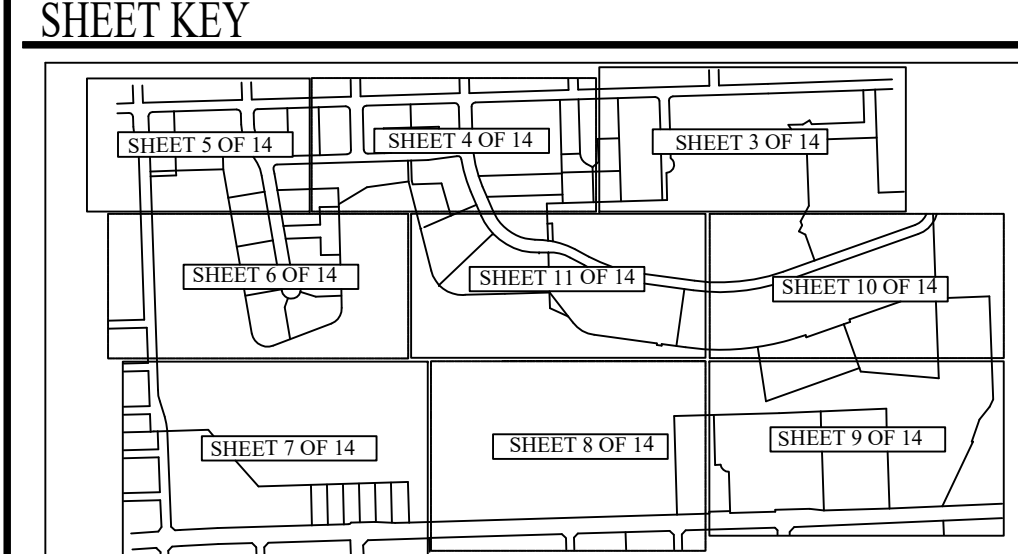
NORTH



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**SITE DATA**

NET ACREAGE	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)	PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	26.87 AC. (1,161,919 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. < 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE	133.15 AC. (5,887,134 S.F.)	OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740 S.F.)
ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	TOTAL SINGLE FAMILY	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)	PARKING SPACES REQUIRED	1,045 SP.
	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. < 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	420 SP.
	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL SINGLE FAMILY (45' x 110')	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	539 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	568 SP.
	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	248 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)	MULTI-FAMILY GUEST SPACES PROPOSED	57 SP.
	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	RARITAN TOWNHOME	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	24 SP.	RARITAN TOWNHOME	162 D.U. (57%)	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	
		MAGNOLIA TOWNHOME	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	1,885 SP.
			(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)			3,744 D.U./AC.	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	840 SP.
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL DENSITY	PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	TOTAL DENSITY	17.58 AC. (765,784 S.F.)	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	153 SP.
NET DENSITY	3.85 D.U./AC.	TOTAL LAKE/RAINAGE STORAGE AREA	PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,728 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	17.58 AC. (765,784 S.F.)		
MAX ALLOWABLE D.U./PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	TOTAL WATER SURFACE AREA	PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,090 S.F.)		
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL DRY RETENTION AREA	PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)		
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	58.50 AC. (2,548,258 S.F.)		
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	130 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,507 S.F.)		
P.U.D.-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.00 AC. (4,791,578 S.F.)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,095 S.F.)		
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,400 S.F. - 46%)	PRIVATE ROADWAY AREA	PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)	INTERNAL WALKWAYS AREA	1.54 AC. (66,916 S.F.)		
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823 S.F. - 54%)	INTERNAL WALKWAYS AREA	PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.	FITNESS TRAIL AREA	2.90 AC. (126,296 S.F.)		
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	FITNESS TRAIL AREA	PARKING REQUIRED (1.5 PER CABANA)	3 SP.	LAKE WATER SURFACE AREA	17.58 AC. (765,784 S.F.)		
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	LAKE WATER SURFACE AREA	PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.				
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)				
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,989,046 S.F.)	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	TOTAL PERVIOUS AREA	34 AC. (14,810 S.F.)				
MAXIMUM BUILDING HEIGHT	35'	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS						



**LEGEND**

[Symbol]	INDICATES PAVER AREAS
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- PROJECT NOTES**
- LME = LAKE MAINTENANCE EASEMENT
  - R.A.S. = RESIDENTIAL ACCESS STREET
  - UE = UTILITY EASEMENT
  - UTILITIES ARE AVAILABLE TO THE SITE
  - MAX BUILDING HEIGHT IS 35'
  - AC = ACRES
  - CL = CENTER LINE
  - EAS = EASEMENT
  - CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
  - D.E. = DRAINAGE EASEMENT
  - F.P. = FOUNDATION PLANTING
  - SW = SIDEWALK
  - HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
  - HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
  - SW = SIDEWALK
  - CL = CHAIN LINK FENCE
  - R = RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED
  - UE = UTILITY EASEMENT
  - UTILITIES ARE AVAILABLE TO THE SITE
  - MAX BUILDING HEIGHT IS 35'
  - AC = ACRES
  - CL = CENTER LINE
  - EAS = EASEMENT
  - CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
  - D.E. = DRAINAGE EASEMENT
  - F.P. = FOUNDATION PLANTING
  - SW = SIDEWALK
  - HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
  - HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS

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**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN**

SCALE: 1"=60'

CHECKED BY: K.D.D.

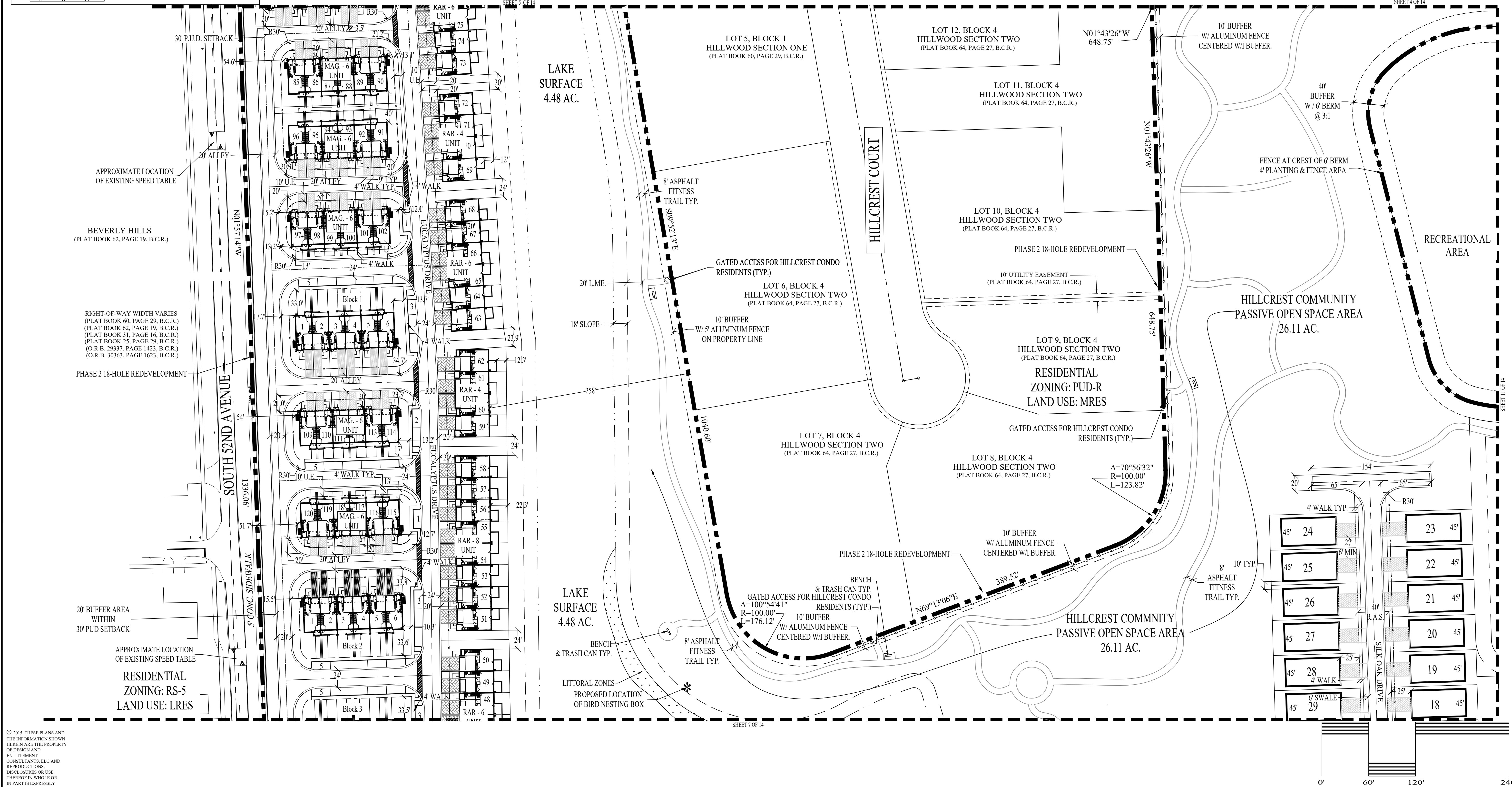
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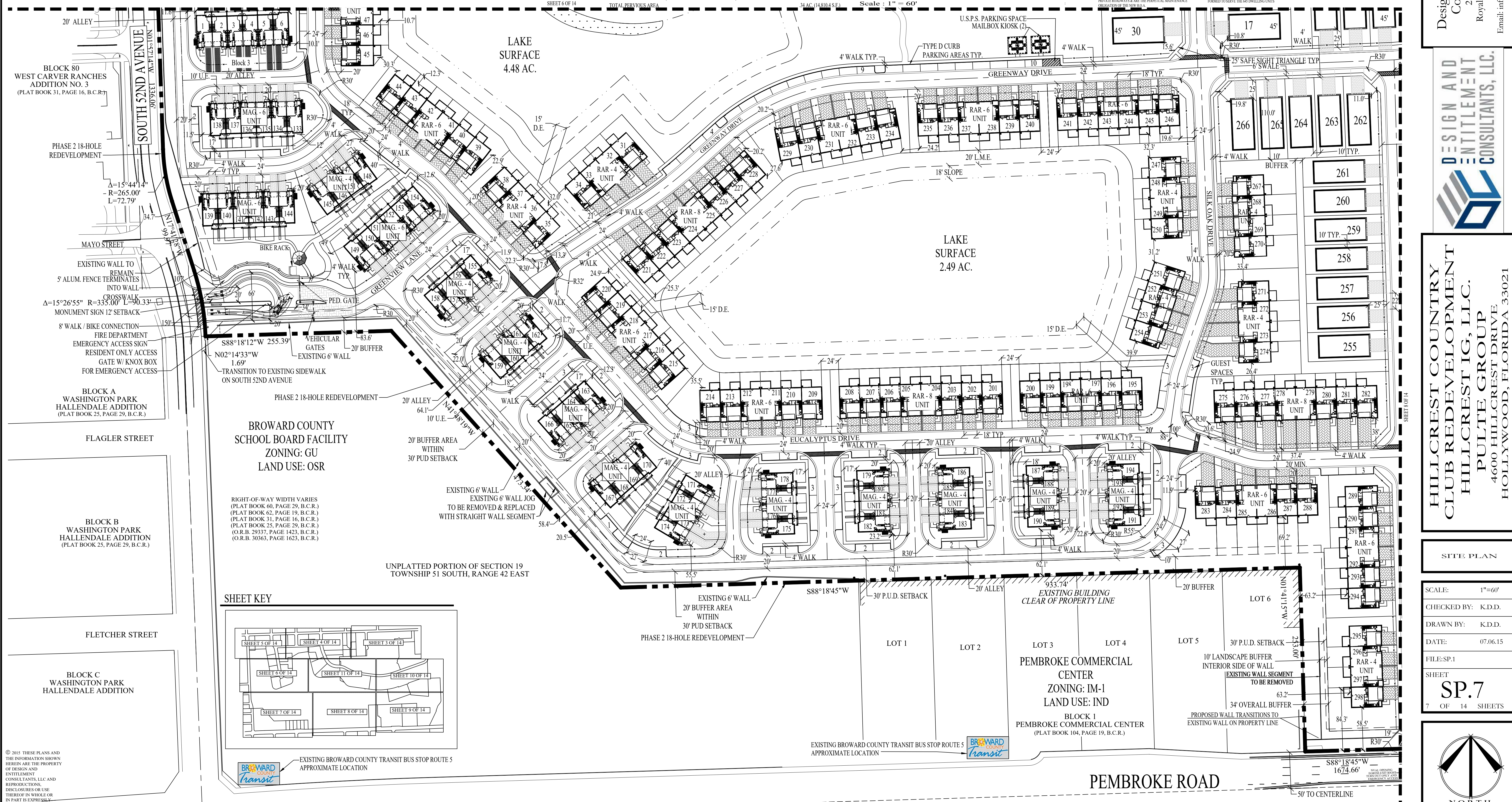
SHEET **SP.6**

6 OF 14 SHEETS



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SITE DATA		SITE DATA		SITE DATA		SITE DATA	
TOTAL SITE AREA - NET ACREAGE	167.30 AC. (7,283,232 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)	PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,461 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP./D.U. <= 2,000 S.F. + 1 SP./500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,124 S.F.)
ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	151 D.U. (29%)	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP./D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.) MEDIUM DENSITY RESIDENTIAL (CITY L.U.) OPEN SPACE AND RECREATIONAL (OSR) OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	TOTAL SINGLE FAMILY	65 D.U. (44%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP./5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
18-HOLE GOLF COURSE EXISTING LAND USE	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (49%)	(SEE DETAIL SHEET #2, SP. 13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
18-HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	TOTAL SINGLE FAMILY (45' x 110')	22 D.U. (37%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	34 D.U. (56%)	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 1 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
NET DENSITY	3.85 D.U./AC.	RARITAN TOWNHOME	38 D.U. (59%)	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	MAGNOLIA TOWNHOME	46 D.U. (59%)	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL DENSITY	4.98 D.U./AC.	(SEE DETAIL SHEET #2, SP. 13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	3.74 D.U./AC.
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	TOTAL LAKE/DRAINAGE STORAGE AREA	5.44 AC. (236,964 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,673 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,090 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.00 AC. (4,791,578 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,203 S.F.)	PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408 S.F. - 46%)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462 S.F.)	PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	58.50 AC. (2,548,258 S.F.)
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823 S.F. - 54%)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	16.01 AC. (697,395 S.F.)	PARKING REQUIRED (1 SP./60 S.F. AVAIL. FOR SEATING)	53 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	24.21 AC. (1,054,567 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	14.34 AC. (624,607 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	130 SPACES	PRIVATE ROADWAY AREA	2.90 AC. (126,296 S.F.)
ACCESS TO COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	7.25 AC. (315,937 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	126 AC. (54,885 S.F.)	INTERNAL WALKWAYS AREA	2.90 AC. (126,296 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049 S.F.)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	3.58 AC. (155,885 S.F.)	PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)	FITNESS TRAIL AREA	1.54 AC. (67,499 S.F.)
MAXIMUM BUILDING HEIGHT	35'	PRIVATE ROADWAY AREA	56 AC. (2,426 S.F.)	PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)	LAKE WATER SURFACE AREA	17.58 AC. (765,784 S.F.)
LEGEND		INTERNAL WALKWAYS AREA	56 AC. (2,426 S.F.)	PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.	PROJECT NOTES	
- INDICATES PAVEMENT AREAS		FITNESS TRAIL AREA	56 AC. (2,426 S.F.)	PARKING REQUIRED (1.5 PER CABANA)	3 SP.	1. SIDEWALK	
		LAKE WATER SURFACE AREA	2.38 AC. (103,673 S.F.)	PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.	2. CHAIN LINK FENCE	
		OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	6.09 AC. (265,280 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)	3. RESIDENTIAL ACCESS STREET	
		OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395 S.F. - 53%)		34 AC. (14,810 S.F.)	4. UTILITY EASEMENT	
		INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS				5. UTILITIES ARE AVAILABLE TO THE SITE	



BY	REVISIONS	DATE
KD	TAC-COMMENTS-7.20.15	8.19.15
KD	TAC-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAC	11.30.15
KD	CITY-COMMENTS	03.16.16
KD	SITE-PLAN-ADM-REC	08.10.16
KD	PLAN-LOT-REV	06.07.19
KD	TOT-LOT-REV	09.23.19

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HILLCREST COUNTRY CLUB REDEVELOPMENT  
HILLCREST IG, LLC.  
PULTE GROUP  
4600 HILLCREST DRIVE  
HOLLYWOOD, FLORIDA 33021

SITE PLAN	
SCALE:	1"=60'
CHECKED BY:	K.D.D.
DRAWN BY:	K.D.D.
DATE:	07.06.15
FILE:	SP.1
SHEET	SP.7
	7 OF 14 SHEETS

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SITE DATA		PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE		PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE		PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE		PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE		PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE		PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE	
TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,233 S.F.)	TOTAL NUMBER OF UNITS	645 D.U.	TOTAL NUMBER OF UNITS	645 D.U.	TOTAL NUMBER OF UNITS	319 SP.	TOTAL NUMBER OF UNITS	319 SP.	TOTAL NUMBER OF UNITS	1.885 SP.	TOTAL NUMBER OF UNITS	1.885 SP.	TOTAL NUMBER OF UNITS	1.885 SP.	TOTAL NUMBER OF UNITS	1.885 SP.	TOTAL NUMBER OF UNITS	1.885 SP.	TOTAL NUMBER OF UNITS	1.885 SP.
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819.2 S.F.)	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.	NET DENSITY	3.85 D.U./AC.
ZONING DESIGNATION	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)
LAND USE DESIGNATION	IRREGULAR RESIDENTIAL DASHED LINE AREA (BROWARD COUNTY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	EXECUTIVE GOLF COURSE, CLUBHOUSE PARCEL & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)

LEGEND		PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE		PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE		PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE		PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE		PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE	
INDICATES PAVEMENT AREAS		TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)	TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)	TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)	TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)	TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)	TOTAL LAKE/RAINAGE STORAGE AREA	5.44 AC. (236,966.4 S.F.)
		TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,728 S.F.)
		TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)
		HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)



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**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN**

SCALE: 1"=60'

CHECKED BY: K.D.D.

DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

SHEET **SP.8**  
8 OF 14 SHEETS

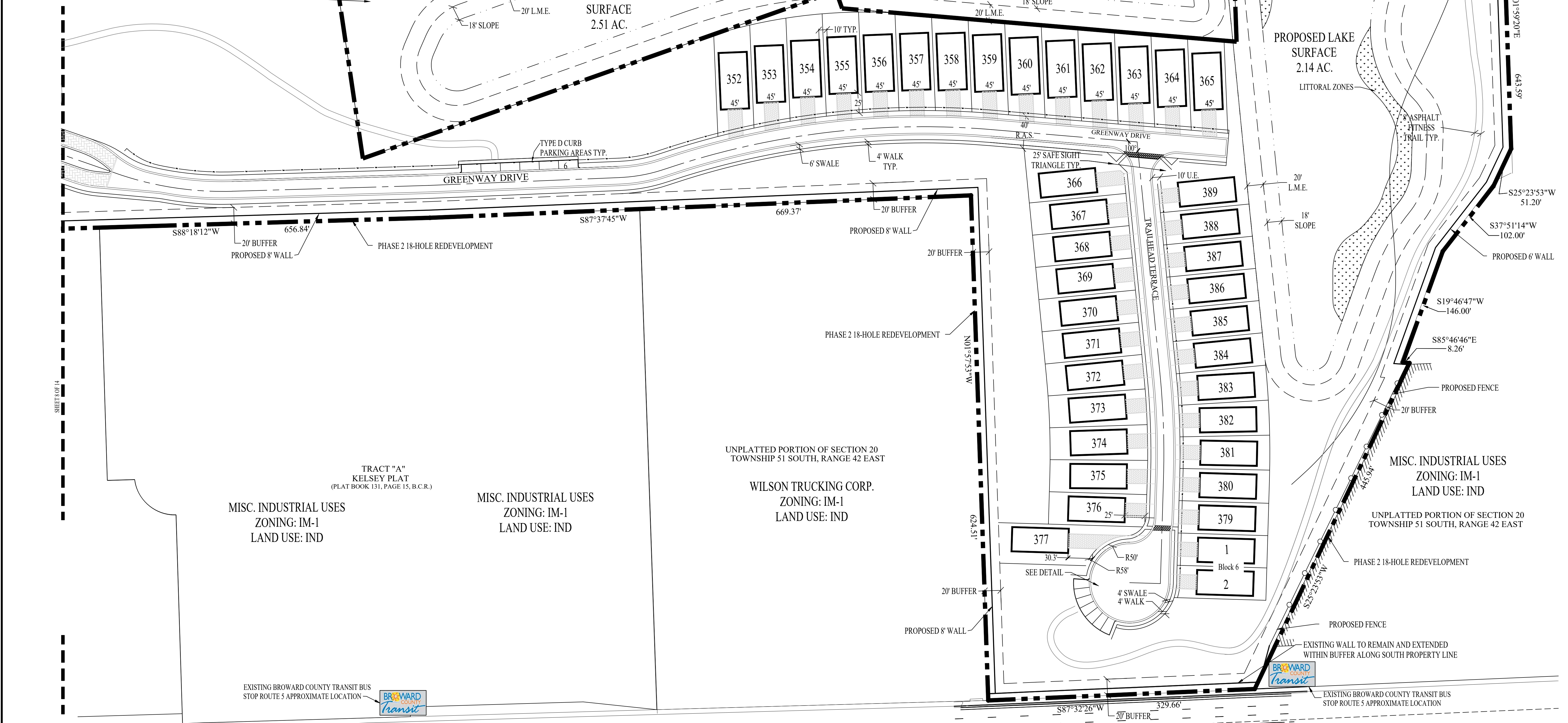
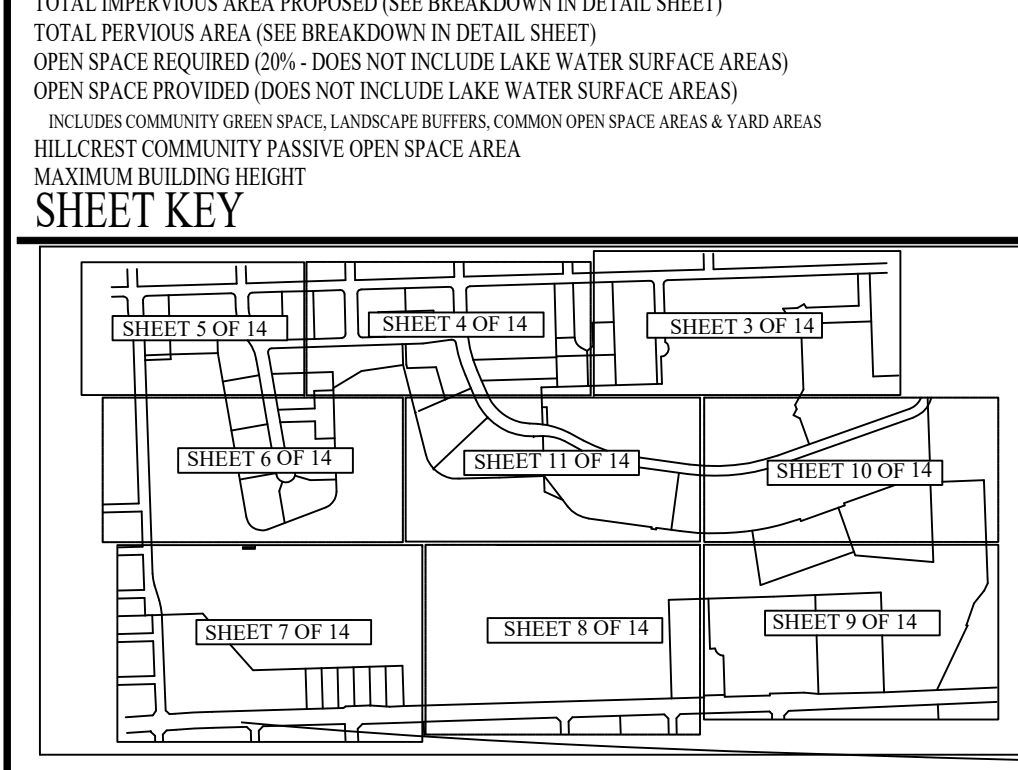
**NORTH**



**SITE DATA**

TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,321 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)	PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999.6 S.F.)	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	26.87 AC. (1,161,919.44 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819.2 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,461.2 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,871,134 S.F.)	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740.7 S.F. - 56%)
ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE MEDIUM DENSITY RESIDENTIAL (CITY L.U.) IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.) OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY	67 D.U. (44%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)	PARKING SPACES REQUIRED	1,045 SP.
18 - HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)	(SEE DETAIL SHEET #2 / SP. 13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	420 SP.
18 - HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	22 D.U. (33%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	107 D.U. (51%)	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	568 SP.
		TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	84 D.U. (56%)	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	57 SP.
		RARITAN TOWNHOME	38 D.U. (49%)	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)	(SEE DETAIL SHEET #2 / SP. 13 FOR DETAILED PARKING BREAKDOWN)	
		MAGNOLIA TOWNHOME	46 D.U. (55%)	(SEE DETAIL SHEET #2 / SP. 13 FOR DETAILED PARKING BREAKDOWN)	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (48%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	1,885 SP.
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL DENSITY	4.98 D.U./AC.	PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350.0 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724.8 S.F.)	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	840 SP.
NET DENSITY	3.85 D.U./AC.	TOTAL LAKE DRAINAGE STORAGE AREA	5.44 AC. (236,964.5 S.F.)	PROPOSED PRIVATE CLUBHOUSE	2,375 S.F. U.R.	PROPOSED HILLCREST CONDO CLUBHOUSE	9,350 S.F. U.R.	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	892 SP.
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	TOTAL WATER SURFACE AREA	2.38 AC. (103,572.8 S.F.)	PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	PARKING PROPOSED	130 SPACES	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	153 SP.
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751.2 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293.6 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	2.49 AC. (108,583.5 S.F.)	TOTAL IMPERVIOUS AREA	1.26 AC. (54,885.6 S.F.)		
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964.5 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462.4 S.F.)						
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784.8 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	16.01 AC. (697,395.6 S.F.)	PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.19 AC. (51,836.4 S.F.)	PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,499.2 S.F.)		
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578.2 S.F.)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	14.34 AC. (624,607.5 S.F.)	PROPOSED CABANA RECONSTRUCTION AREA	7.25 AC. (315,937.5 S.F.)	PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.		
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408.2 S.F. - 46%)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	7.25 AC. (315,937.5 S.F.)	PARKING REQUIRED (1.5 PER CABANA)	3 SP.	PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.		
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823.8 S.F. - 54%)	PRIVATE ROADWAY AREA	3.58 AC. (155,985.5 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998.8 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	34 AC. (14,810.4 S.F.)		
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	INTERNAL WALKWAYS AREA	56 AC. (24,526 S.F.)						
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823.8 S.F. - 54%)	LAKE WATER SURFACE AREA	56 AC. (24,526 S.F.)						
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS		FITNESS TRAIL AREA	2.38 AC. (103,673 S.F.)						
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049.6 S.F.)	LAKE WATER SURFACE AREA	6.09 AC. (265,280.4 S.F.)						
MAXIMUM BUILDING HEIGHT	35'	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395.6 S.F. - 53%)						
		OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)							
		INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS							

**SHEET KEY**



**PEMBROKE ROAD**

**PARCEL "A"**  
COCA-COLA PLAT  
(PLAT BOOK 162, PAGE 21, B.C.R.)

Scale: 1" = 60'

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BY	REVISIONS	DATE
KD	TAG-COMMENTS-7.20.15	8.19.15
KD	TAG-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAG	11.30.15
KD	CITY-COMM-REVISIONS	03.16.16
KD	SPALOT REV	06.07.19
KD	TOT LOT REV	09.23.19

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HILLCREST IG, LLC.  
PULTE GROUP  
4600 HILLCREST DRIVE  
HOLLYWOOD, FLORIDA 33021

**SITE PLAN**

SCALE: 1" = 60'

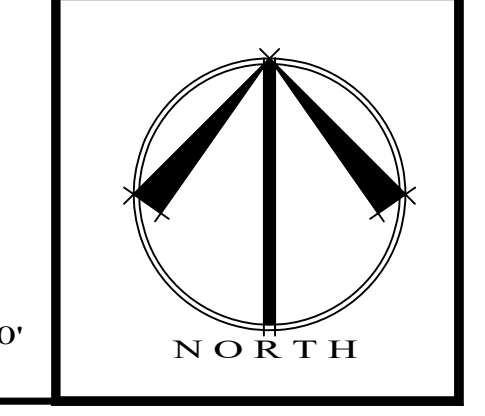
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DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

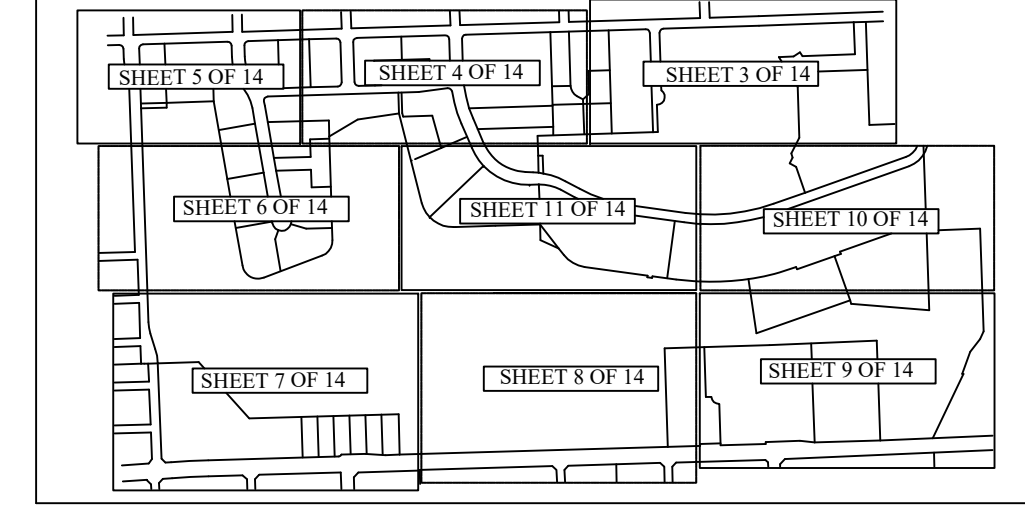
SHEET **SP.9**  
9 OF 14 SHEETS



**SITE DATA**

TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,232 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,462 S.F.)
ZONING DESIGNATION	P.U.D.-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)
LAND USE DESIGNATION	EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	TOTAL SINGLE FAMILY	67 D.U. (44%)
	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)
	IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.)	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	22 D.U. (33%)
18 - HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	RARITAN TOWNHOME	8 D.U. (56%)
18 - HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	MAGNOLIA TOWNHOME	46 D.U. (55%)
TOTAL NUMBER OF UNITS	645 D.U.	TOTAL LAKE DRAINAGE STORAGE AREA	4.98 D.U./AC.
NET DENSITY	3.85 D.U./AC.	TOTAL WATER SURFACE AREA	5.44 AC. (236,964 S.F.)
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 983)	646 D.U.	TOTAL DRY RETENTION AREA	3.06 AC. (133,293 S.F.)
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,462 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,794 S.F.)	GREEN SPACE AREA, BUFFER AREAS, RESIDENTIAL YARD AREAS & LANDSCAPE OPEN SPACE AREAS	7.25 AC. (315,937 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVERAGE (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,578 S.F.)	RESIDENTIAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	3.58 AC. (155,985 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408 S.F. - 46%)	PRIVATE ROADWAY AREA	2.38 AC. (103,673 S.F.)
OPEN SPACE REQUIRED (20% - DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	90.86 AC. (3,957,823 S.F. - 54%)	INTERNAL WALKWAYS AREA	56 AC. (2,456 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	FITNESS TRAIL AREA	56 AC. (2,456 S.F.)
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	LAKE WATER SURFACE AREA	2.38 AC. (103,673 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049 S.F.)	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	6.09 AC. (265,280 S.F.)
MAXIMUM BUILDING HEIGHT	35'	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395 S.F. - 53%)

**SHEET KEY**



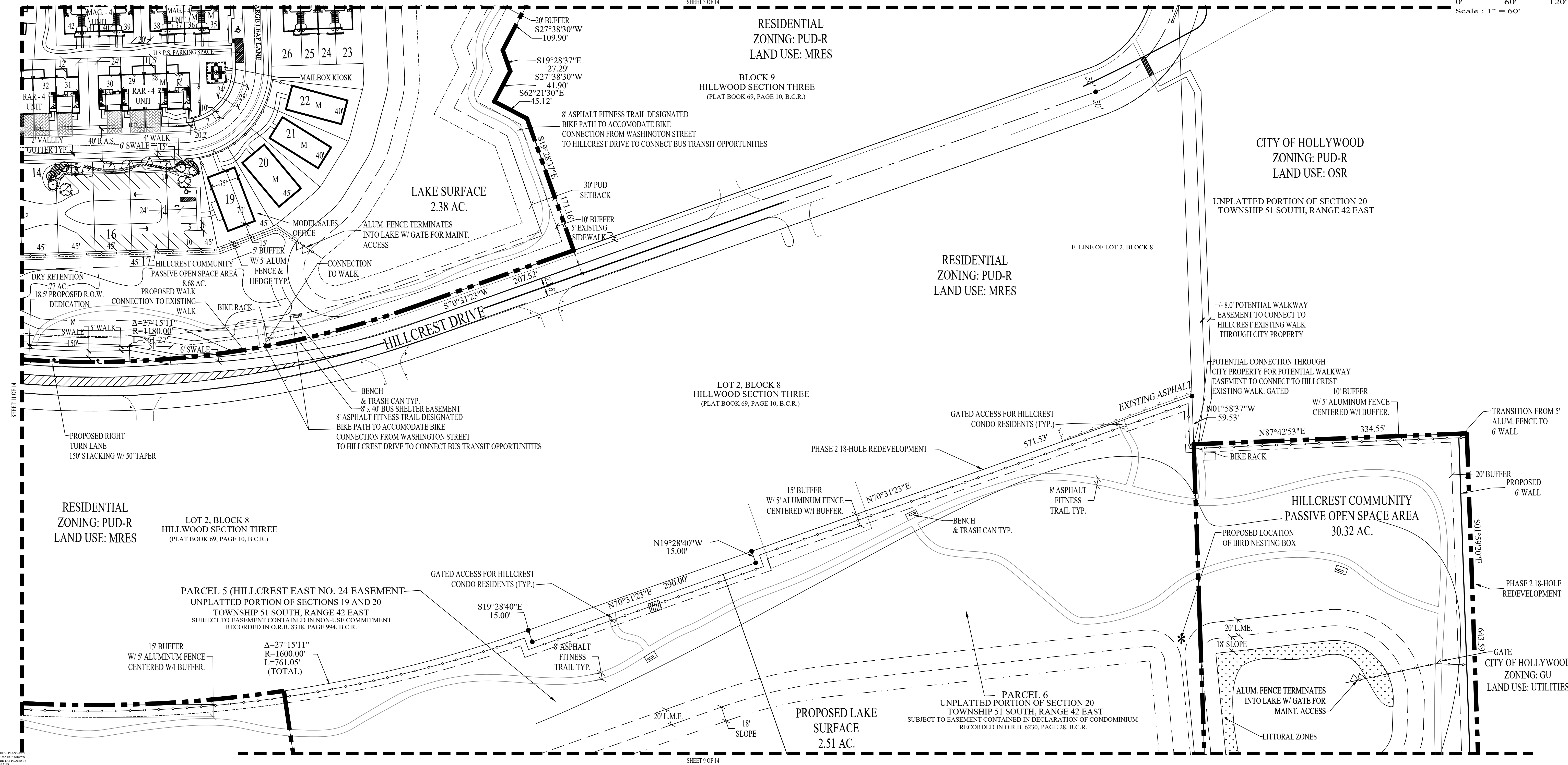
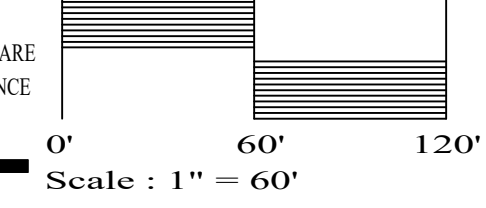
PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)
SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18 - HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
MULTI-FAMILY PARKING SPACES REQUIRED (2 SP. / D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)
MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	3.74 D.U./AC.
PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,350 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,794 S.F.)
PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,459,000 S.F.)
PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUFFER AREAS & LANDSCAPE OPEN SPACE AREAS	88.50 AC. (3,880,258 S.F.)
PARKING REQUIRED (1 SP. / 60 S.F. AVAIL. FOR SEATING)	53 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
PARKING PROPOSED	130 SPACES	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	12.27 AC. (534,695 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	2.49 AC. (108,583 S.F.)	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
TOTAL PERVIOUS AREA	1.26 AC. (54,885 S.F.)	INTERNAL WALKWAYS AREA	2.90 AC. (126,296 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)	FITNESS TRAIL AREA	2.90 AC. (126,296 S.F.)
PHASE 1 - TENNIS & BOCCIE CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)	LAKE WATER SURFACE AREA	17.58 AC. (765,794 S.F.)
PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	26.67 AC. (1,161,919 S.F.)
PARKING REQUIRED (1.5 PER CABANA)	3 SP.	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740 S.F. - 56%)
PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.	INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	1,045 SP.
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)	PARKING SPACES REQUIRED	430 SP.
TOTAL PERVIOUS AREA	34 AC. (14,810 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP. / D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.)	568 SP.
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	57 SP.
		MULTI-FAMILY GUEST SPACES REQUIRED (1 SP. / 5 D.U.)	1,885 SP.
		PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	840 SP.
		SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	892 SP.
		MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	153 SP.
		MULTI-FAMILY GUEST PARKING SPACES PROPOSED	
		(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)	

**PROJECT NOTES**

- L.M.E. - LAKE MAINTENANCE EASEMENT
- R.A.S. - RESIDENTIAL ACCESS STREET
- UE - UTILITY EASEMENT
- UTILITIES ARE AVAILABLE TO THE SITE
- MAX. BUILDING HEIGHT IS 35'
- AC - ACRES
- CL - CENTER LINE
- E.A.S. - EASEMENT
- CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
- D.E. - DRAINAGE EASEMENT
- F.P. - FOUNDATION PLANTING
- S.W. - SIDEWALK
- C.L.F. - CHAIN LINK FENCE
- R. - RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE STREET OR ADJOINING RESIDENTIAL UNITS WITH LANDSCAPING
- LIGHTPOLES LOCATED ON RESIDENTIAL LOTS ALONG ROAD RIGHT OF WAY SHALL BE LOCATED AT PROPERTY CORNERS
- MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES TO BE A 5 ADJACENT TO ANY SURROUNDING RESIDENTIAL USES
- M - INDICATES MODEL UNIT
- 45 - INDICATES 45' WIDE SINGLE FAMILY LOT
- MAN - INDICATES A CHASE TOWNHOME
- MAG - INDICATES A MAGNOLIA TOWNHOME
- T.W. - INDICATES A TRAILWOOD TOWNHOME
- MAILBOX KIOSK LOCATED FOR PHASE 1 WITHIN COMMUNITY
- MAILBOX KIOSK LOCATED WITHIN COMMUNITY CLUBHOUSE FOR PHASE 2
- ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
- CLUBHOUSES INCLUDE KNOX BOX FOR EMERGENCY ACCESS
- PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FDOT INDEX #17346 PAGE 10 OF 14
- HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 64 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

**LEGEND**

- INDICATES PAVER AREAS



BY: REVISIONS: DATE:

KD	TAG-COMMENTS-7-20-15	8.19.15
KD	TAG-COMMENTS-9-03-15	10.30.15
KD	FINAL-TAG	11.30.15
KD	CITY-COMM-REVISIONS	03.16.16
KD	SPALLOT-REV	06.07.19
KD	TOT LOT-REV	09.23.19

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**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN**

SCALE: 1"=60"

CHECKED BY: K.D.D.

DRAWN BY: K.D.D.

DATE: 07.06.15

FILE:SP.1

SHEET **SP.10**  
10 OF 14 SHEETS

**CITY OF HOLLYWOOD ZONING: GU LAND USE: UTILITIES**

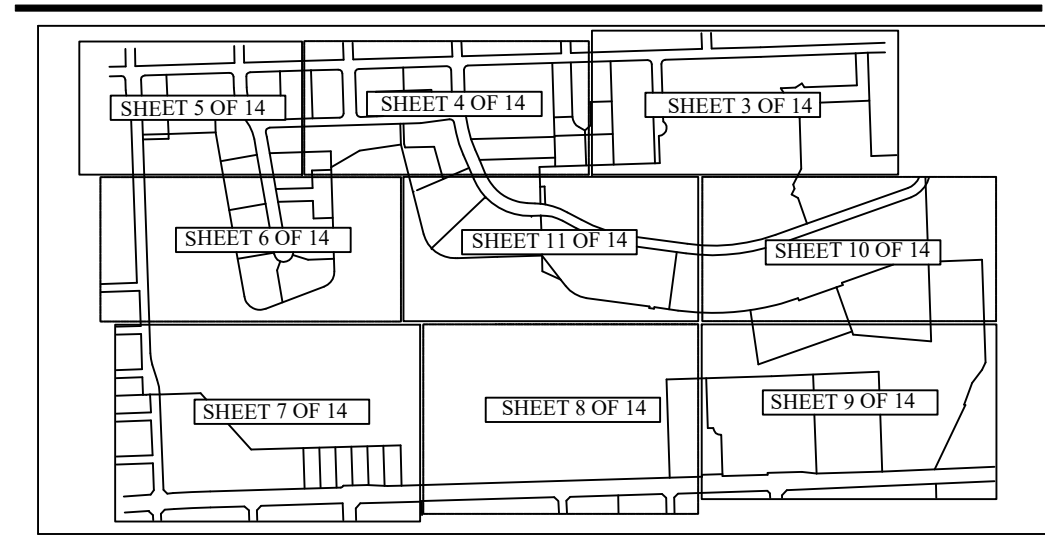
**NORTH**

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**SITE DATA**

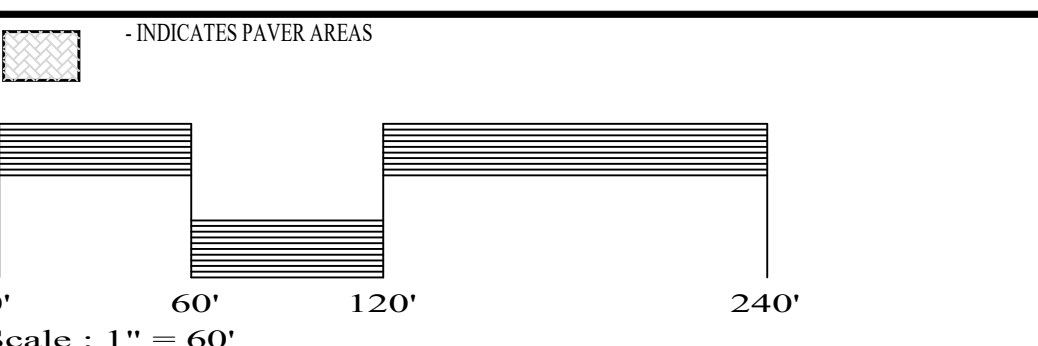
TOTAL SITE AREA - NET ACREAGE	167.20 AC. (7,283,232 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - NET ACREAGE	30.35 AC. (1,322,046 S.F.)	PARKING SPACES REQUIRED	319 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - NET ACREAGE	131.91 AC. (5,745,999 S.F.)
TOTAL SITE AREA - GROSS ACREAGE	173.32 AC. (7,549,819 S.F.)	PHASE 1 - EXECUTIVE GOLF COURSE PARCEL - GROSS ACREAGE	32.77 AC. (1,427,462 S.F.)	SINGLE FAMILY PARKING SPACES REQUIRED (2 SP./D.U. <= 2,000 S.F. + 1 SP./500 S.F. > 2,000 S.F.)	134 SP.	PHASE 2 - 18-HOLE GOLF COURSE PARCEL - GROSS ACREAGE	135.15 AC. (5,887,134 S.F.)
LAND USE DESIGNATION	PUD-R	TOTAL NUMBER OF UNITS	151 D.U. (23%)	MULTI-FAMILY PARKING SPACES REQUIRED (2 SP./D.U.)	168 SP.	TOTAL NUMBER OF UNITS	494 D.U. (77%)
EXECUTIVE GOLF COURSE, CLUB HOUSE PARCEL, & TENNIS PARCEL EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL (CITY L.U.)	TOTAL SINGLE FAMILY	67 D.U. (44%)	MULTI-FAMILY GUEST SPACES REQUIRED (1 SP./5 D.U.)	17 SP.	TOTAL SINGLE FAMILY	210 D.U. (43%)
IRREGULAR RESIDENTIAL DASHED LINE AREA, (BROWARD COUNTY L.U.)	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY (40' x 110')	45 D.U. (67%)	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL SINGLE FAMILY (40' x 110')	103 D.U. (49%)
18-HOLE GOLF COURSE EXISTING LAND USE	OPEN SPACE AND RECREATIONAL (OSR)	TOTAL SINGLE FAMILY (45' x 110')	22 D.U. (33%)	PARKING SPACES PROPOSED (INCLUDES DRIVEWAY & GARAGE SPACES)	550 SP.	TOTAL SINGLE FAMILY (45' x 110')	107 D.U. (51%)
18-HOLE PROPOSED LAND USE	OPEN SPACE AND RECREATIONAL & LOW/MEDIUM DENSITY RESIDENTIAL	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	84 D.U. (56%)	SINGLE FAMILY SPACES PROPOSED (2 DRIVEWAY & 2 GARAGE SP.)	268 SP.	TOTAL FEE SIMPLE MULTI-FAMILY / TOWNHOME	284 D.U. (57%)
TOTAL NUMBER OF UNITS	645 D.U.	RARITAN TOWNHOME	38 D.U. (49%)	MULTI-FAMILY SPACES PROPOSED (DRIVEWAY & GARAGE SP.)	244 SP.	RARITAN TOWNHOME	162 D.U. (57%)
NET DENSITY	3.85 D.U./AC.	MAGNOLIA TOWNHOME	46 D.U. (57%)	MULTI-FAMILY GUEST PARKING SPACES PROPOSED	38 SP.	MAGNOLIA TOWNHOME	122 D.U. (43%)
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT O.R.B. 46744, PAGE 883)	646 D.U.	TOTAL LAKE/DRAINAGE STORAGE AREA	4.98 D.U./AC.	(SEE DETAIL SHEET #2 / SP.13 FOR DETAILED PARKING BREAKDOWN)		TOTAL DENSITY	2.74 D.U./AC.
TOTAL LAKE AREA PROPOSED	23.02 AC. (1,002,751 S.F.)	TOTAL WATER SURFACE AREA	5.44 AC. (236,964 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,300 S.F.)	LAKE AREA PROPOSED	17.58 AC. (765,784 S.F.)
EXECUTIVE GOLF COURSE LAKE / RETENTION AREA	5.44 AC. (236,964 S.F.)	TOTAL WATER SURFACE AREA	2.38 AC. (103,672 S.F.)	PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	56.43 AC. (2,458,900 S.F.)
18-HOLE GOLF COURSE PARCEL LAKE AREA	17.58 AC. (765,784 S.F.)	TOTAL DRY RETENTION AREA	3.06 AC. (133,293 S.F.)	PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	73.41 AC. (3,197,740 S.F.)
PUD-R MAXIMUM RESIDENTIAL LAND COVER (IMPERVIOUS AREA - 65%)	110.0 AC. (4,791,572 S.F.)	HILLCREST RESORT COMMUNITY PASSIVE OPEN SPACE AREA	12.04 AC. (524,464 S.F.)	PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	GREEN SPACE AREA, RESIDENTIAL YARD AREAS, BUTLER AREAS & LANDSCAPE OPEN SPACE AREAS	58.50 AC. (2,548,258 S.F.)
TOTAL IMPERVIOUS AREA PROPOSED (SEE BREAKDOWN IN DETAIL SHEET)	76.34 AC. (3,325,408 S.F. - 46%)	TOTAL PERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	14.34 AC. (624,607 S.F.)	PARKING PROPOSED	53 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	24.21 AC. (1,054,567 S.F.)
TOTAL PERVIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)	90.86 AC. (3,957,823 S.F. - 54%)	RESIDENTIAL BUILDING FOOTPRINT AREAS (INCLUDES DRIVEWAYS & WALKS)	3.58 AC. (155,985 S.F.)	PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.	PRIVATE ROADWAY AREA	1.54 AC. (66,916 S.F.)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)	33.85 AC. (1,474,506 S.F.)	PRIVATE ROADWAY AREA	3.58 AC. (155,985 S.F.)	PARKING REQUIRED (1.5 PER CABANA)	965 S.P.	INTERNAL WALKWAYS AREA	2.90 AC. (126,296 S.F.)
INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	90.86 AC. (3,957,823 S.F. - 54%)	LAKE WATER SURFACE AREA	56 AC. (2,448 S.F.)	PARKING PROPOSED (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)	FITNESS TRAIL AREA	17.58 AC. (765,784 S.F.)
HILLCREST COMMUNITY PASSIVE OPEN SPACE AREA	68.16 AC. (2,969,049 S.F.)	FITNESS TRAIL AREA	2.38 AC. (103,672 S.F.)	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	34 AC. (14,810 S.F.)	LAKE WATER SURFACE AREA	26.67 AC. (1,161,919 S.F.)
MAXIMUM BUILDING HEIGHT	35'	OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)	6.09 AC. (265,280 S.F.)	TOTAL PERVIOUS AREA	16.01 AC. (697,395 S.F.)	OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	73.41 AC. (3,197,740 S.F. - 56%)
		OPEN SPACE PROPOSED (DOES NOT INCLUDE LAKE AREA)	16.01 AC. (697,395 S.F. - 53%)			INCLUDES COMMUNITY GREEN SPACE, LANDSCAPE BUFFERS, COMMON OPEN SPACE AREAS & YARD AREAS	

**SHEET KEY**



PHASE 1 - CLUBHOUSE PARCEL - NET ACREAGE	3.75 AC. (163,300 S.F.)	PHASE 1 - TENNIS & BOCCET CENTER - NET ACREAGE	1.19 AC. (51,836 S.F.)
PHASE 1 - CLUBHOUSE PARCEL - GROSS ACREAGE	4.08 AC. (177,724 S.F.)	PHASE 1 - TENNIS & BOCCET CENTER - GROSS ACREAGE	1.32 AC. (57,499 S.F.)
PROPOSED HILLCREST CONDO CLUBHOUSE	2,375 S.F. U.R.	PROPOSED CABANA RECONSTRUCTION AREA	965 S.F.
PROPOSED PRIVATE CLUBHOUSE	9,350 S.F. U.R.	PARKING REQUIRED (1.5 PER CABANA)	3 SP.
PARKING PROPOSED	53 SPACES	PARKING PROPOSED (ADDITIONAL PARKING PROPOSED AT CLUBHOUSE)	4 SP.
PARKING REQUIRED (1 SP./60 S.F. AVAIL. FOR SEATING)	130 SPACES	TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	85 AC. (36,998 S.F.)
TOTAL IMPERVIOUS AREA (SEE BREAKDOWN DETAIL SHEET)	12.04 AC. (524,464 S.F.)	TOTAL PERVIOUS AREA	34 AC. (14,810 S.F.)

**LEGEND**



**PROJECT NOTES**

- L.M.E. = LAKE MAINTENANCE EASEMENT
- R.A.S. = RESIDENTIAL ACCESS STREET
- U.E. = UTILITY EASEMENT
- UTILITIES ARE AVAILABLE TO THE SITE
- MAX. BUILDING HEIGHT IS 35'
- AC = ACRES
- CL = CENTER LINE
- E.A.S. = EASEMENT
- CURB SIDE REFUSE & RECYCLING SERVICES WILL BE PROVIDED BY CITY
- D.E. = DRAINAGE EASEMENT
- F.P. = FOUNDATION PLANTING
- S.W. = SIDEWALK
- C.L.F. = CHAIN LINK FENCE
- R\* = RESTRICTED LOT IN WHICH ONLY CERTAIN UNIT TYPES CAN BE CONSTRUCTED.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE STREET OR ADJOINING RESIDENTIAL UNITS WITH LANDSCAPING.
- LIGHT POLES LOCATED ON RESIDENTIAL LOTS ALONG ROAD RIGHT OF WAY SHALL BE LOCATED AT PROPERTY CORNERS.
- MAXIMUM FOOT-CANDLE AT ALL PROPERTY LINES TO BE A .5 ADJACENT TO ANY SURROUNDING RESIDENTIAL USES.
- M. = INDICATES MODEL UNIT
- 45. = INDICATES A 45' WIDE SINGLE FAMILY LOT
- MAN. = INDICATES A MANDALAY TOWNHOME
- MAG. = INDICATES A MAGNOLIA TOWNHOME
- T.W. = INDICATES A TOWNWOOD TOWNHOME
- ALL MECHANICAL EQUIPMENT AC UNITS WILL BE SCREENED WITH LANDSCAPING
- MAILBOX KIOSK LOCATED FOR PHASE 1, WITHIN COMMUNITY
- MAILBOX KIOSK LOCATED WITHIN COMMUNITY CLUBHOUSE FOR PHASE 2
- ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS
- CLUBHOUSES INCLUDE KNOX BOX FOR EMERGENCY ACCESS
- PEDESTRIAN CROSSING AND CAUTION FLASHERS WILL BE INSTALLED IN ACCORDANCE WITH 2016 FOOT INDEX #17346 PAGE 10 OF 14
- HILLCREST PASSIVE OPEN SPACE AREA OPEN FROM DAWN TO DUSK TO ALL HILLCREST RESIDENTS
- HILLCREST PASSIVE OPEN SPACE AREA TO BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW HILLCREST HOMEOWNERS ASSOCIATION TO BE FORMED TO SERVE THE 645 DWELLING UNITS
- ALL INTERNAL RESIDENTIAL VEHICULAR ACCESS WAYS ARE PRIVATE ROADWAYS & ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE NEW H.O.A.

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**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**SITE PLAN**

SCALE: 1"=60'

CHECKED BY: K.D.D.

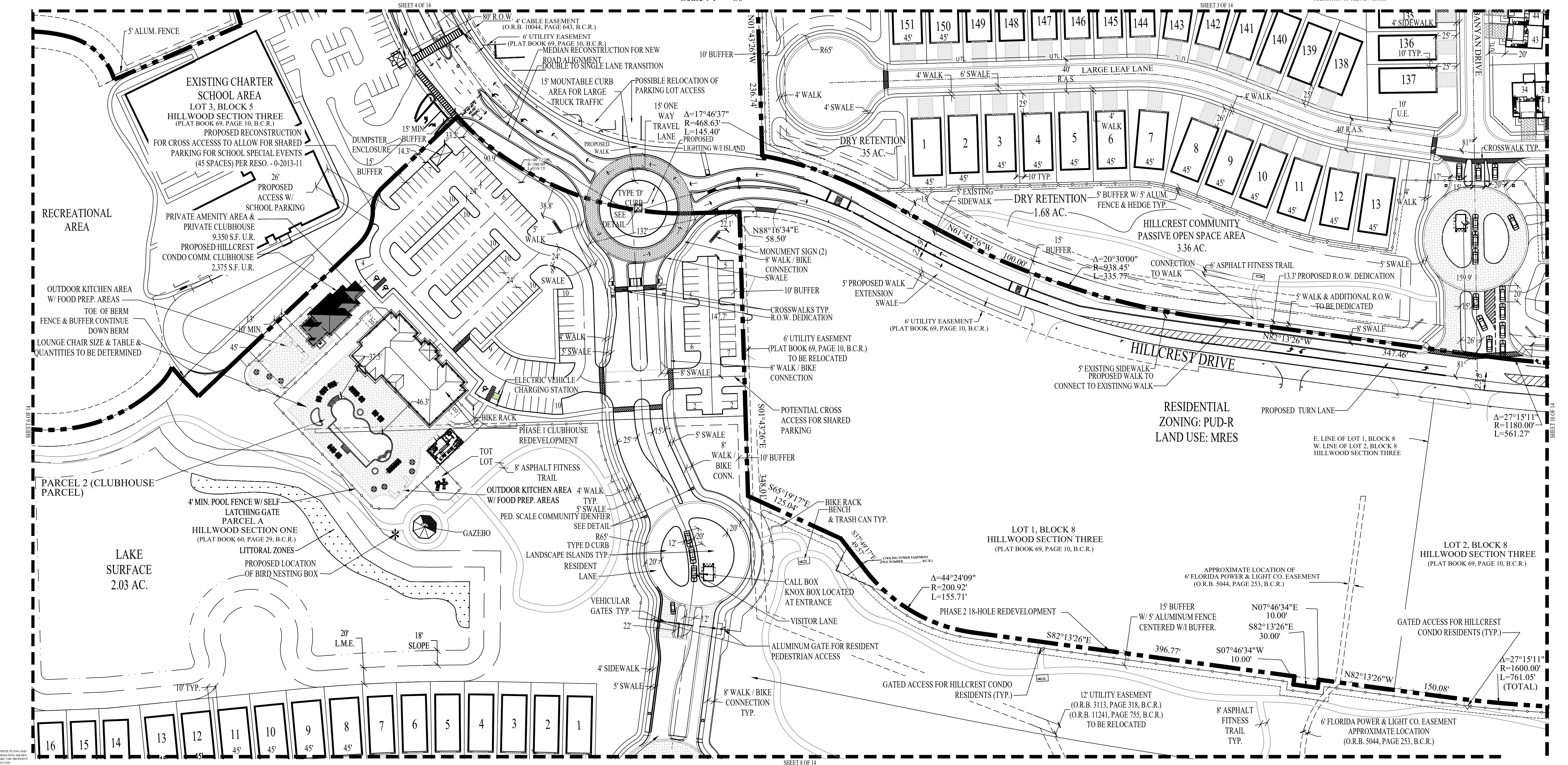
DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

SHEET **SP.11**  
11 OF 14 SHEETS

**NORTH**



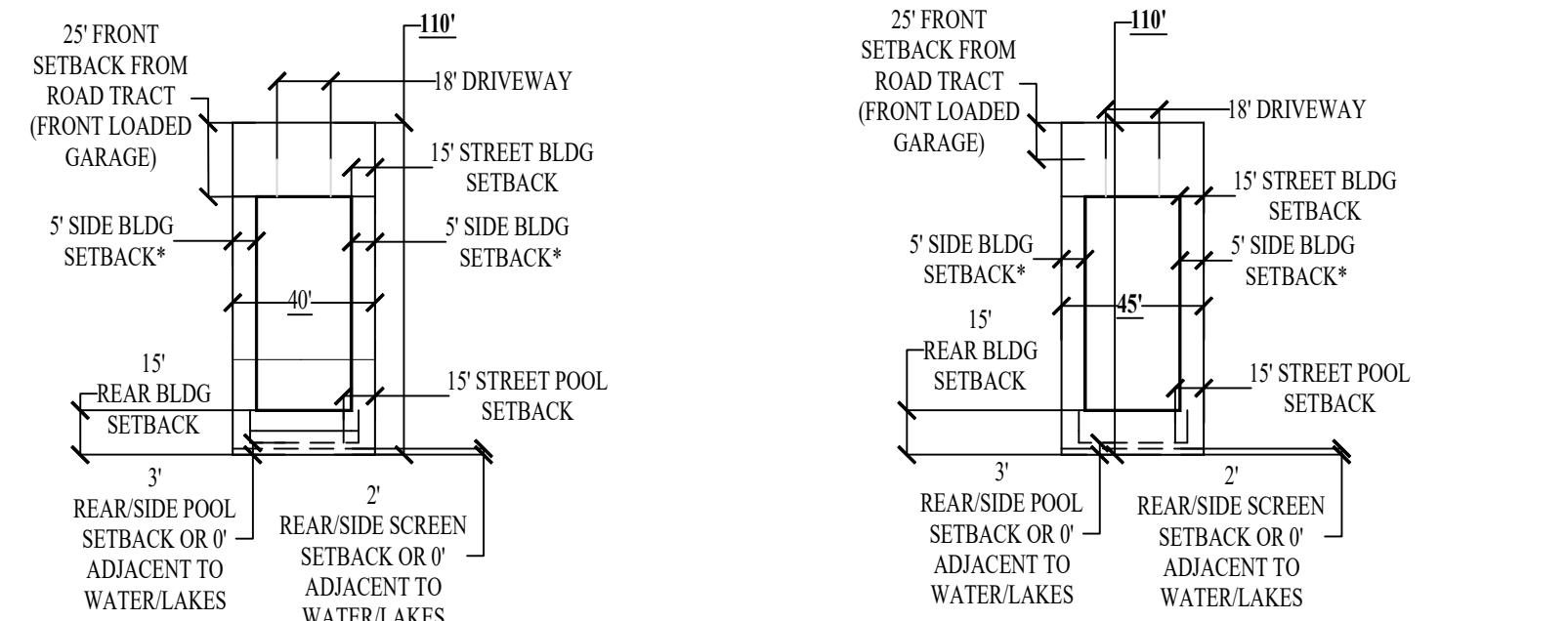
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 OR BY ANY  
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 THE PULTE  
 GROUP.

**SINGLE FAMILY PROPERTY DEVELOPMENT REGULATION TABLE**

SETBACK	PROPOSED
FRONT	25'
SIDE	5'
REAR	15'
SIDE STREET	15'
SITE TRIANGLE	10'
POOL SIDE	3' OR 0' ADJACENT TO WATER
POOL REAR	3' OR 0' ADJACENT TO WATER
SCREEN ENCLOSURE SIDE	2' OR 0' ADJACENT TO WATER
SCREEN ENCLOSURE REAR	2' OR 0' ADJACENT TO WATER

\* NOTE: RPUD FLEXIBLE REGULATION REQUEST TO ALLOW 5' SIDE SETBACKS WITH 2-STORY DWELLING UNITS

**TYPICAL SINGLE FAMILY PROPERTY DEVELOPMENT REGULATION DETAIL**



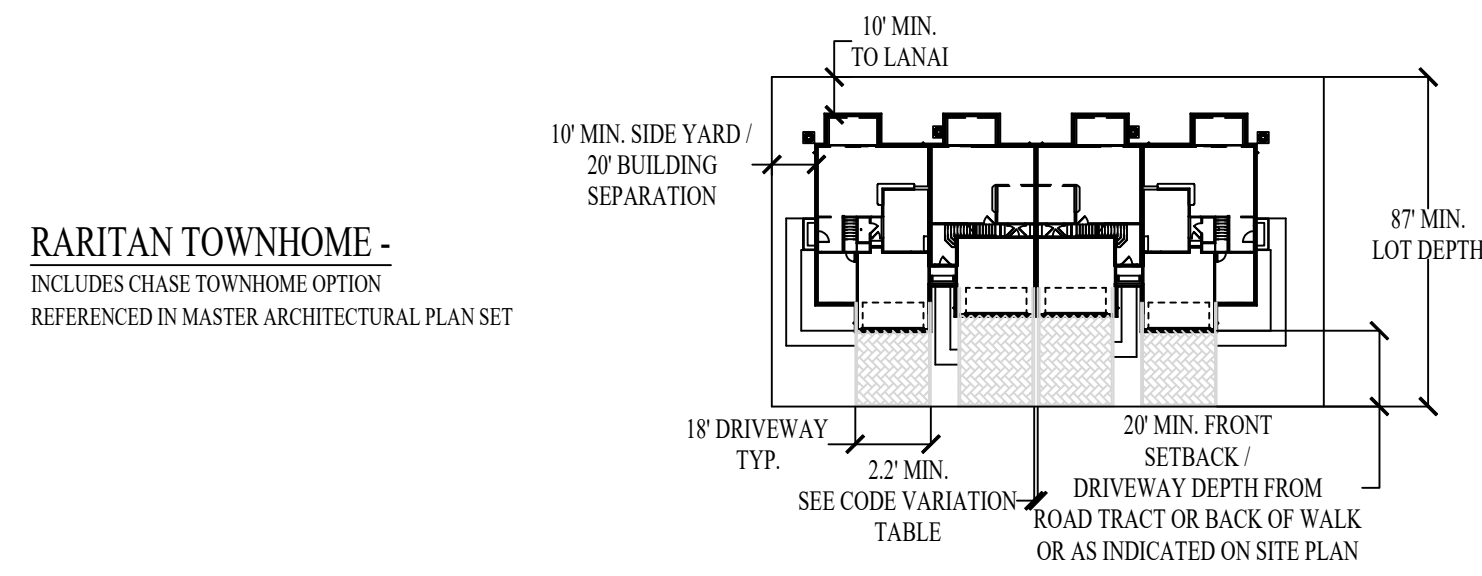
MAX BUILDING ENVELOPE / COVERAGE = 2,100 S.F. (48%)    MAX BUILDING ENVELOPE / COVERAGE = 2,450 S.F. (49%)

**RARITAN TOWNHOME PROPERTY DEVELOPMENT REGULATION TABLE\***

SETBACK	PROPOSED
FRONT	20' / MIN. DRIVEWAY DEPTH
SIDE	10' SIDE YARD / 20' MIN. BLDG. SEP.
REAR	18' MIN. / 10' TO LANAI
SITE TRIANGLE	10'

\* NOTE: SETBACKS INDICATED ALSO APPLY TO MAGNOLIA LOT 344A - 349A.

**TYPICAL FEE SIMPLE TOWNHOME PROPERTY DEVELOPMENT REGULATION DETAIL**



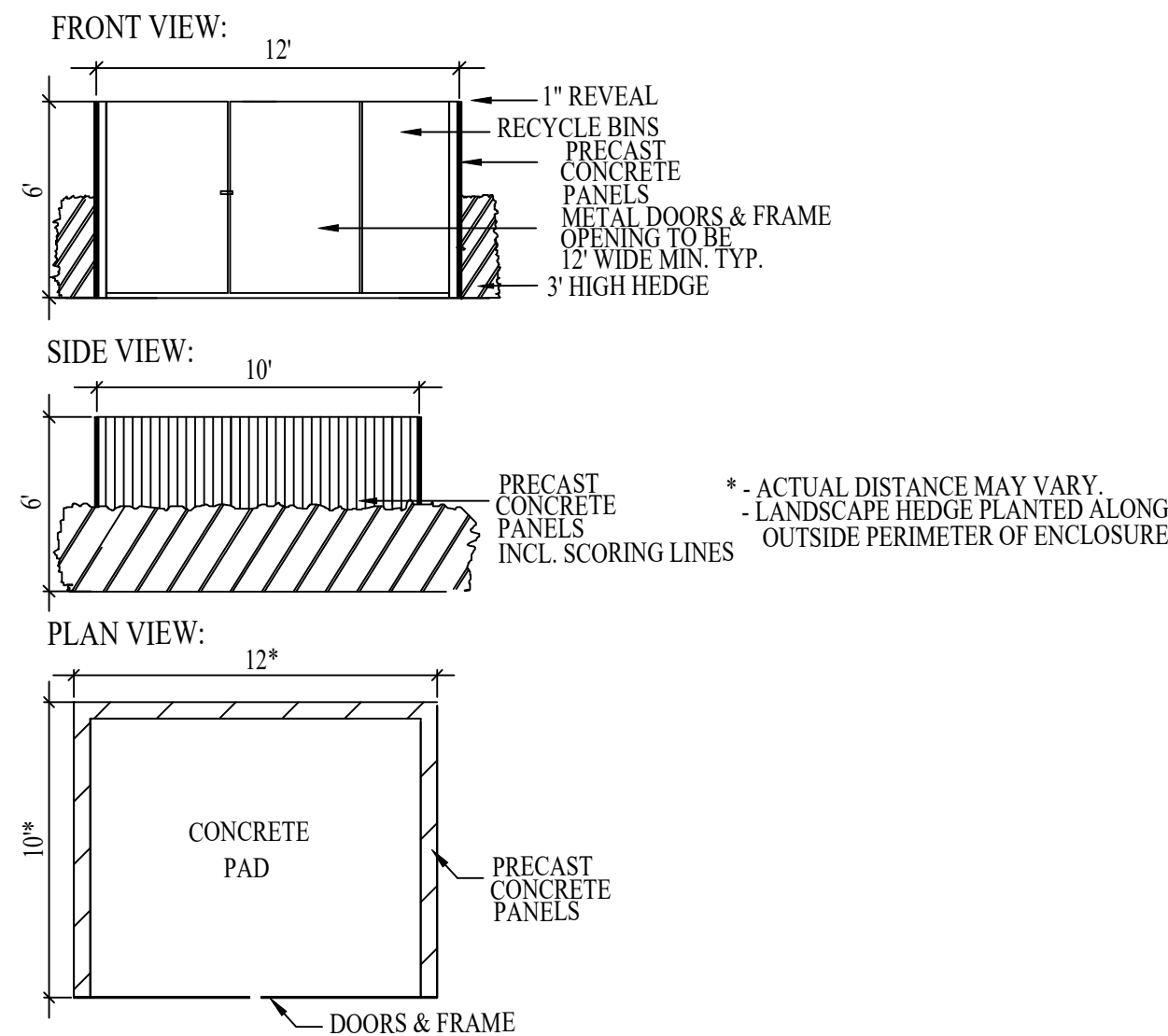
RARITAN TOWNHOME - INCLUDES CHASE TOWNHOME OPTION REFERENCED IN MASTER ARCHITECTURAL PLAN SET

MAGNOLIA REAR LOADED TOWNHOME - INCLUDES MEDITERRANEAN REVIVAL ELEVATION OPTION REFERENCED IN MASTER ARCHITECTURAL PLAN SET

**MAGNOLIA REAR LOADED TOWNHOME PROPERTY DEVELOPMENT REGULATION TABLE**

SETBACK	PROPOSED
FRONT	10' / MIN.
SIDE	10' SIDE YARD / 20' MIN. BLDG. SEP.
REAR	20' / MIN. DRIVEWAY DEPTH
SITE TRIANGLE	10'

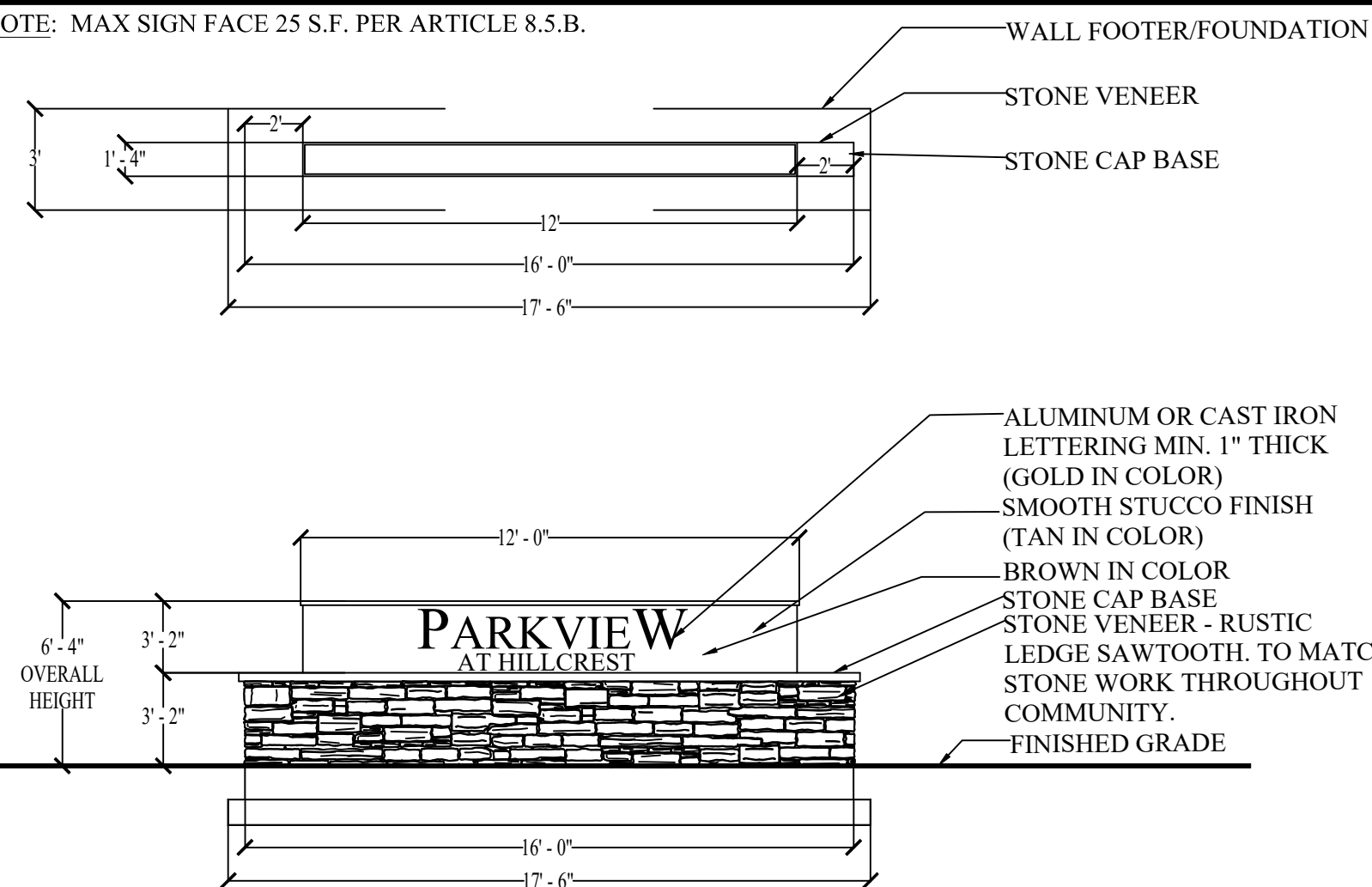
**TYPICAL DUMPSTER DETAIL**



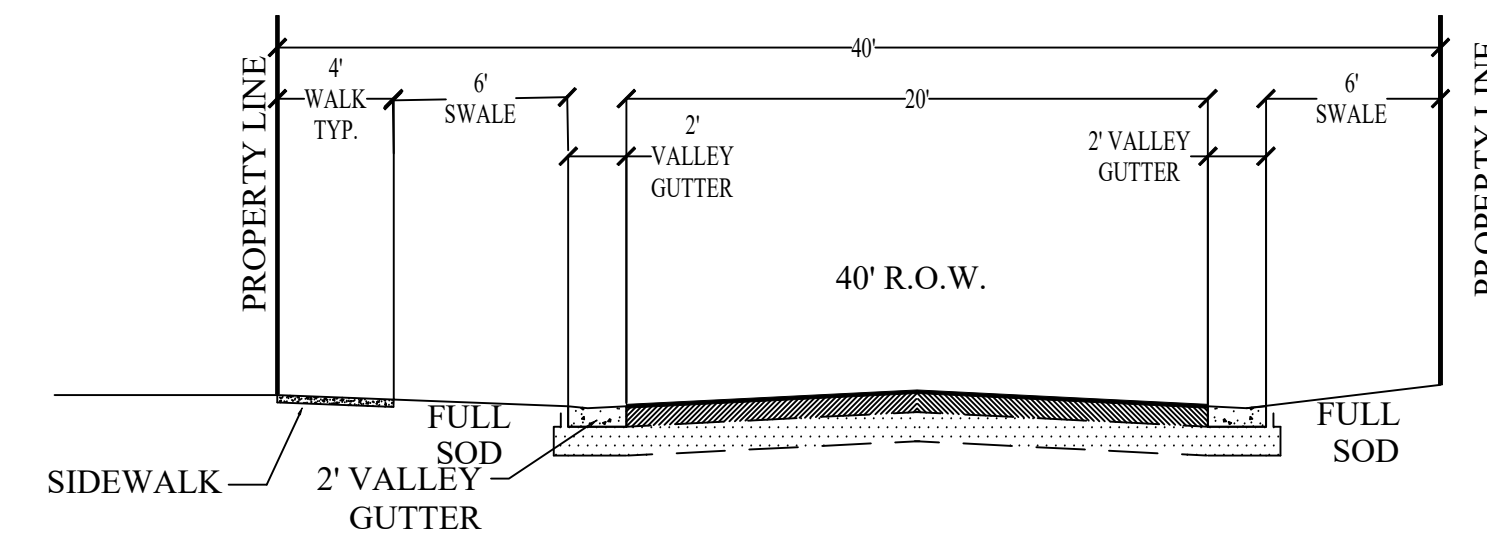
\* ACTUAL DISTANCE MAY VARY. LANDSCAPE HEDGE PLANTED ALONG OUTSIDE PERIMETER OF ENCLOSURE.

**MONUMENT SIGN DETAIL**

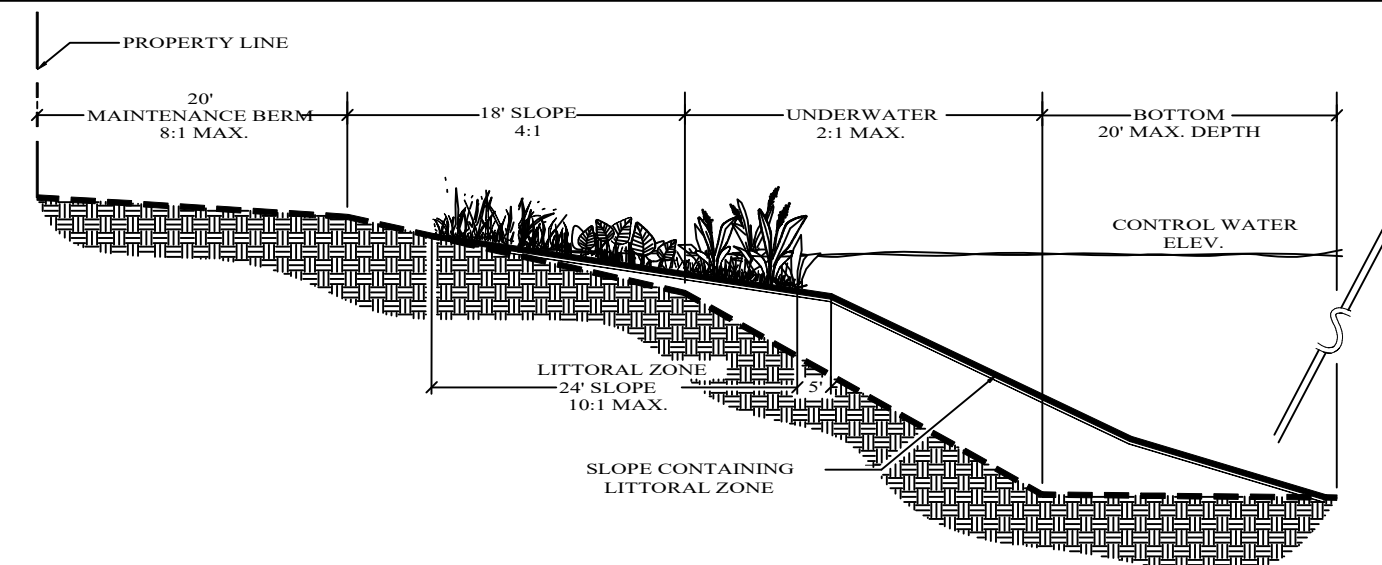
NOTE: MAX SIGN FACE 25 S.F. PER ARTICLE 8.5.B.



**40' PRIVATE RESIDENTIAL ACCESS STREET (R.A.S.) CROSS SECTION**

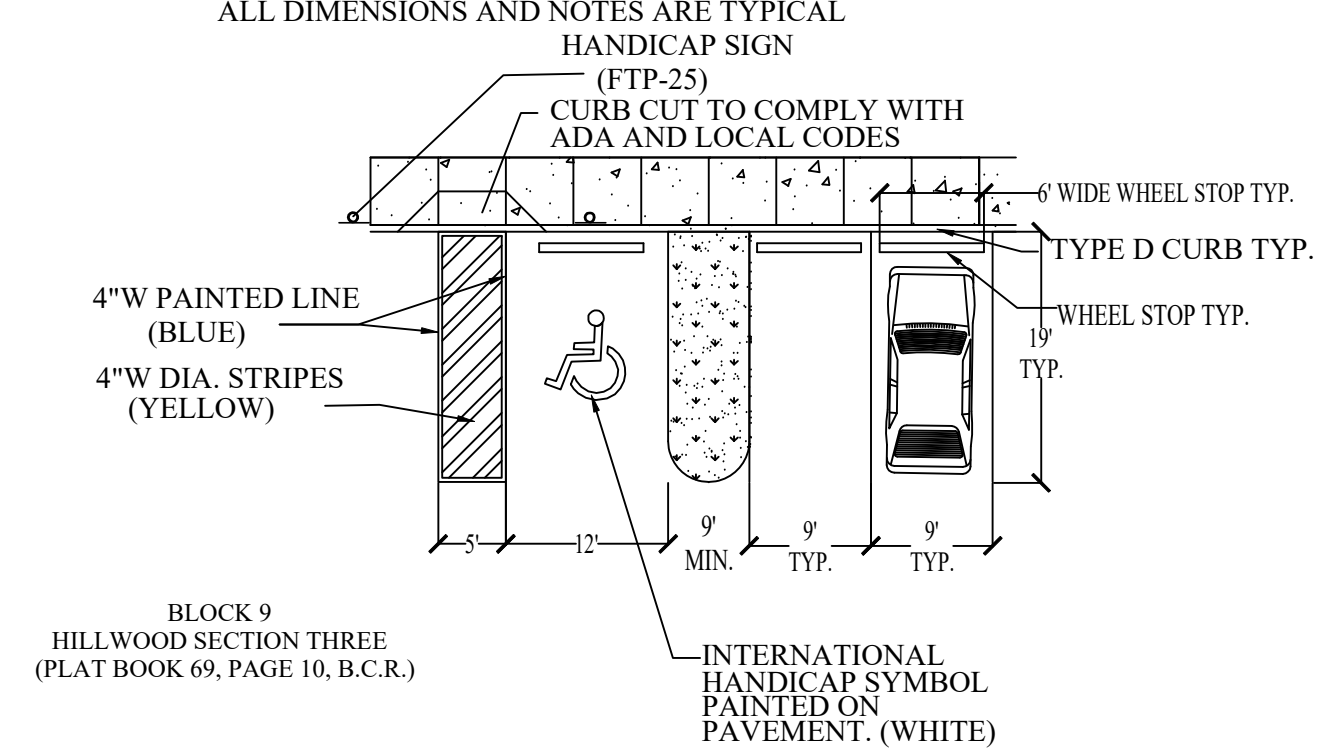


**TYPICAL LAKE SECTION**



**HANDICAP/PARKING DETAIL**

NOTE: DESIGN TO CONFORM TO: HOLLYWOOD, FLORIDA CODE SECTION ARTICLE 7.1 ALL DIMENSIONS AND NOTES ARE TYPICAL



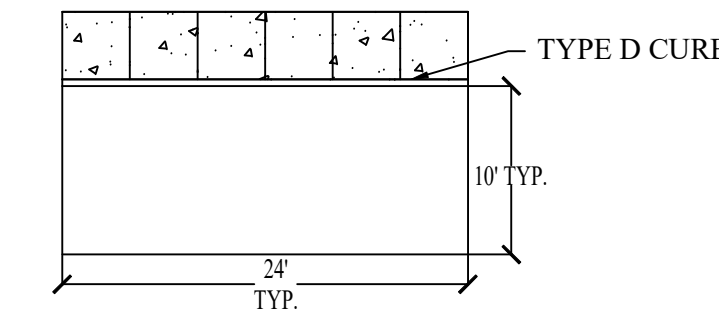
BLOCK 9 HILLWOOD SECTION THREE (PLAT BOOK 69, PAGE 10, B.C.R.)

**CITY OF HOLLYWOOD MANDATORY GREEN BUILDING PRACTICES ORDINANCE**

PER 151.155 SINGLE FAMILY DWELLING NEW CONSTRUCTION SHALL INCLUDE A MINIMUM OF FIVE GREEN BUILDING PRACTICES:

- ENERGY STAR APPLIANCES WILL BE SPECIFIED WITHIN RESIDENTIAL HOMES
- LOW FLOW SHOWER HEADS SHALL BE SPECIFIED WITHIN RESIDENTIAL HOMES
- PROGRAMMABLE THERMOSTATS WILL BE SPECIFIED WITHIN RESIDENTIAL HOMES
- ALL DRIVEWAYS WILL BE PAVER BLOCK, WHICH QUALIFIES AS PERVIOUS PAVEMENT
- LANDSCAPING PROPOSED WITHIN THE PROTOTYPICAL LANDSCAPE PLANS FOR THE RESIDENTIAL LOTS WILL COMPLY WITH LIST PROVIDED BY S.F.W.M.D. RECOMMENDATION FOR NATIVE PLANT USAGE
- RE-USE IRRIGATION IS PROPOSED TO BE UTILIZED FOR ALL PASSIVE OPEN SPACE AREAS, COMMON AREAS AND RESIDENTIAL LOTS.
- BICYCLE STORAGE PROVIDED IN SEVERAL KEY LOCATIONS FOR MULTI-MODAL TRANSPORTATION OPPORTUNITIES.
- ELECTRIC VEHICLE CHARGING STATION PROVIDED AT CENTRALLY LOCATED PRIMARY RECREATION AMENITY PARCEL TO ADDRESS CITY OF HOLLYWOOD GREEN BUILDING ELECTRIC VEHICLE CHARGING ORDINANCE.

**PARALLEL PARKING DETAIL**



IMPERVIOUS IMPROVEMENT	PHASE 1 - 35.29 AC. EXECUTIVE GOLF COURSE - 30.35 AC. CLUBHOUSE AREA - 3.75 AC. TENNIS & BOCCIE CENTER - 1.19 AC.				PHASE 2 - 18-HOLE GOLF COURSE - 131.91 AC.				SITE TOTAL	
	LINEAR FOOTAGE	SQUARE FOOTAGE	NO OF UNITS/BLDG.	TOTAL IMPERVIOUS	LINEAR FOOTAGE	SQUARE FOOTAGE	NO OF UNITS/BLDG.	TOTAL IMPERVIOUS	SITE TOTAL IMPERVIOUS	SITE TOTAL PERVIOUS
4' INTERNAL SIDEWALKS	5,624 L.F.	22,496 S.F.		22,496 S.F.	16,729 L.F.	66,916 S.F.		66,916 S.F.	89,412 S.F.	
5' INTERNAL SIDEWALKS REC FACILITY & MODEL PARK	1,798 L.F. (100 L.F. MODEL PK. (1,392 L.F. REC AREA))	8,990 S.F. (2,000 S.F. MODEL PK. (6,990 S.F. REC AREA))		8,990 S.F.					8,990 S.F.	
6' FITNESS TRAIL	4,081 L.F.	24,486 S.F.		24,486 S.F.					24,486 S.F.	
8' FITNESS TRAIL					15,787 L.F.	126,296 S.F.		126,296 S.F.	126,296 S.F.	
PRIVATE ROADWAYS PAVEMENT AREA	155,985.5 S.F.*			155,985.5 S.F.*	534,695.1 S.F.		534,695.1 S.F.		690,680.6 S.F.	
LAKE WATER SURFACE AREA	103,673 S.F.			103,673 S.F.	765,784.8 S.F.		765,784.8 S.F.		869,457.8 S.F.	
40' x 110' S.F. INCL. DRIVEWAY		2,550 S.F.	45 D.U.	114,750 S.F.		2,550 S.F.	103 D.U.	262,650 S.F.	377,400 S.F.	
45' x 110' S.F. INCL. DRIVEWAY		2,900 S.F.	22 D.U.	63,800 S.F.		2,900 S.F.	107 D.U.	310,300 S.F.	374,100 S.F.	
4-UNIT RARITAN T.H. INCL. DRIVEWAYS & WALKS		7,925 S.F.	8 BLDGS.	63,400 S.F.		7,925 S.F.	13 BLDGS.	103,025 S.F.	166,425 S.F.	
6-UNIT RARITAN T.H. INCL. DRIVEWAYS & WALKS		11,680 S.F.	1 BLDGS.	11,680 S.F.		11,680 S.F.	13 BLDGS.	151,840 S.F.	163,520 S.F.	
8-UNIT RARITAN T.H. INCL. DRIVEWAYS & WALKS					15,375 S.F.		4 BLDGS.	61,500 S.F.	61,500 S.F.	
4-UNIT MAGNOLIA T.H. INCL. DRIVEWAYS & WALKS		5,423 S.F.	4 BLDGS.	21,692 S.F.		5,423 S.F.	11 BLDGS.	59,653 S.F.	81,345 S.F.	
6-UNIT MAGNOLIA T.H. INCL. DRIVEWAYS & WALKS		8,123 S.F.	5 BLDGS.	40,615 S.F.		8,123 S.F.	13 BLDGS.	105,599 S.F.	146,214 S.F.	
REC AREA (CLUBHOUSE & PATIO AREA)		35,878 S.F.	2 BLDGS.	35,878 S.F.					35,878 S.F.	
AMENITY AREA PARKING LOT		72,705 S.F.		72,705 S.F.					72,705 S.F.	
TENNIS & BOCCIE CENTER (1.19 AC)		36,998.8 S.F.	2 BLDGS.	36,998.8 S.F.					36,998.8 S.F.	
<b>TOTAL</b>	<b>11,503 L.F.</b>	<b>89 D.U./BLDG.</b>	<b>777,149.3 S.F.</b>	<b>760,083.1 S.F.</b>	<b>32,516 L.F.</b>	<b>264 D.U./BLDG.</b>	<b>2,548,258.9 S.F.</b>	<b>3,197,740.7 S.F.</b>	<b>3,325,408.2 S.F.</b>	<b>3,957,823.8 S.F.</b>

\* INCLUDES TURN LANE AT ENTRANCE OF EXECUTIVE GOLF COURSE PARCEL.

BY	REVISIONS	DATE
KD	TAC-COMMENTS-7.20.15	8.19.15
KD	TAC-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAC	11.30.15
KD	FINAL-TAC-COMMENTS	2.25.16
KD	CITY-COMMREVISIONS	03.16.16
KD	SITE-PLAN-AMD-REC	08.10.16
KD	SITE-PLAN-AMD	04.19.17
KD	SPALOT-REV	06.07.19
KD	TOT-LGT-REV	09.23.19

**Design and Entitlement Consultants, LLC.**  
 1402 Royal Palm Beach Blvd., Suite 102  
 Royal Palm Beach, FL 33411  
 Tel: (561) 707-3410  
 Email: info@designandentitlement.com



**HILLCREST COUNTRY CLUB REDEVELOPMENT**  
**HILLCREST IG, LLC.**  
**PULTE GROUP**  
 4600 HILLCREST DRIVE  
 HOLLYWOOD, FLORIDA 33021

**DETAIL/REGULATING PLAN**

SCALE:	N.T.S.
CHECKED BY:	K.D.D.
DRAWN BY:	K.D.D.
DATE:	7.6.15
FILE:	SP.1
SHEET	DET.1/SP.12
12 OF 14 SHEETS	



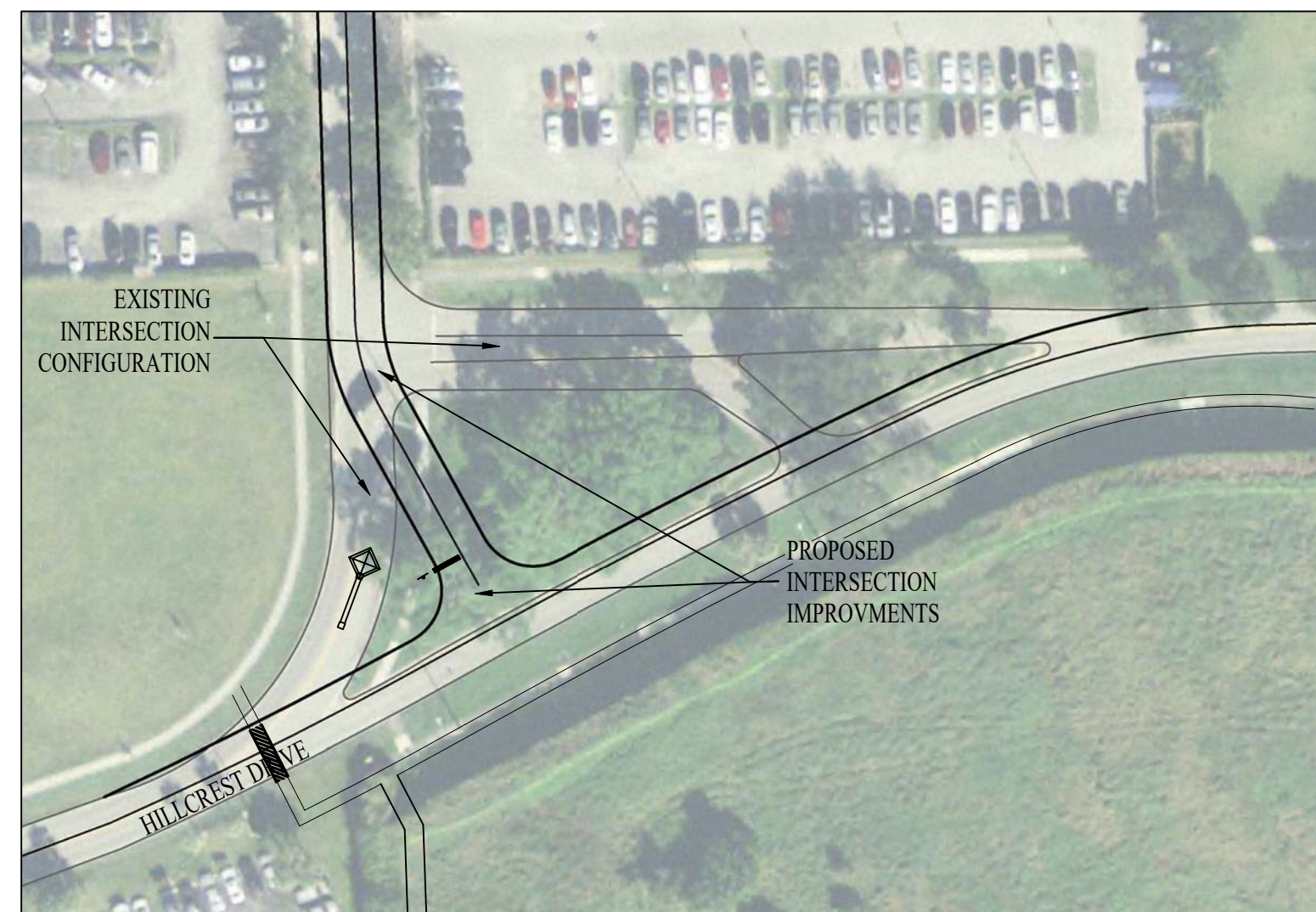
HOLLYWOOD CODE DEVIATION/MODIFICATION REQUEST TABLE

CITY CODE SECTION	CODE REQUIREMENT	CODE DEVIATION REQUEST	NOTES
ART. 4.1.C.	5' MIN. SIDE YARD SETBACK 1-STORY RES. BUILDINGS	5' MIN. SIDE YARD SETBACK 2-STORY RES. BUILDINGS	10' MIN. BUILDING SEPARATION SEE PROJ. NARRATIVE FOR JUSTIFICATION
ART. 7.1.B.2.b & ART. 7.1.C.	24' AISLE WIDTH MIN. FOR HEAD IN / BACK OUT PARKING	4' REDUCTION TO 20' ALLEY WIDTH REAR LOADED GARAGES	CODE DEVIATION REQUEST IS ONLY FOR REAR LOADED GARAGE UNITS ACCESSED BY ALLEYS
ART. 7.1.C.2.c	6' MIN. DRIVEWAY SPACING	1.8' MIN.	TRAILWOOD DRIVEWAY MIN. SPACING BETWEEN TANDEM DRIVEWAY SPACE
ART. 8.5.B.1.	1 MONUMENT SIGN PER NEIGHBORHOOD ENTRANCE	2 MAX MONUMENT SIGNS PER ENTRANCE	SEE PROJ. NARRATIVE FOR JUSTIFICATION
ART. 8.5.B.2.	MAXIMUM SIGN HEIGHT OF 6'	12' HEIGHT MAX FOR COMMUNITY IDENTIFIER	TO ALLOW FOR COMMUNITY IDENTIFIER OPPOSITE AT KEY LOCATIONS AS INDICATED ON SITE PLAN

SOUTH 37TH AVENUE & HILLCREST DRIVE PROPOSED IMPROVEMENTS DETAIL

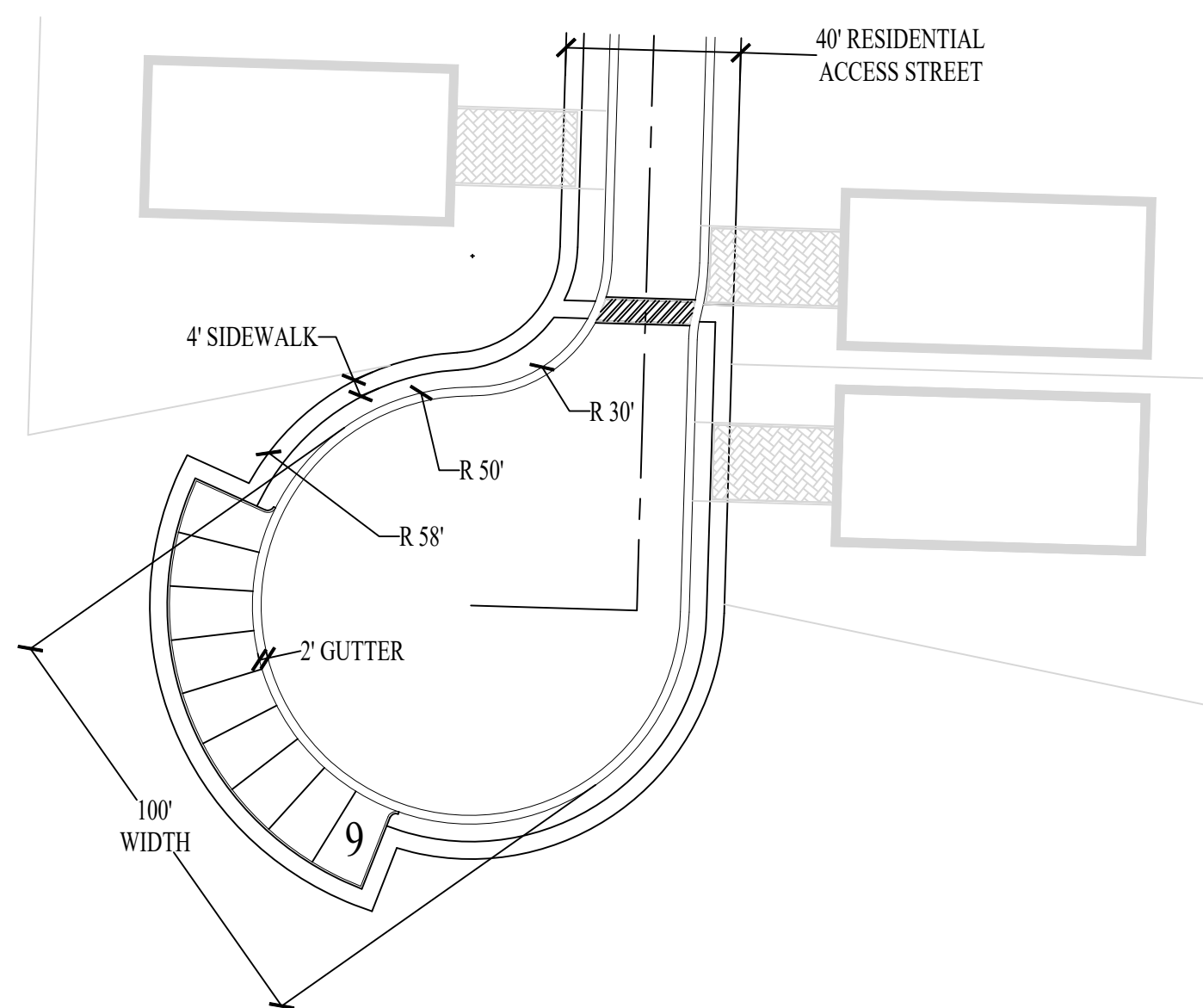
\* SEE CONSTRUCTION PLANS FOR DETAILS

N.T.S.



CUL DE SAC DETAIL

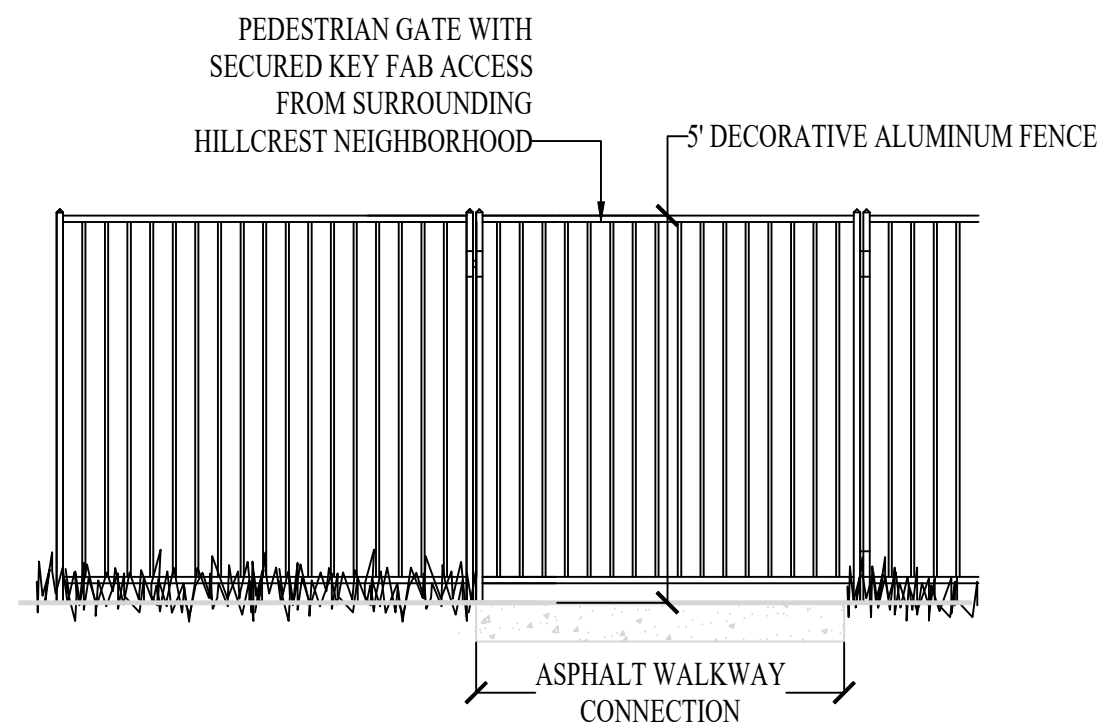
N.T.S.



ENTRANCE GATE DETAIL

DECORATIVE ALUMINUM FENCE DETAIL

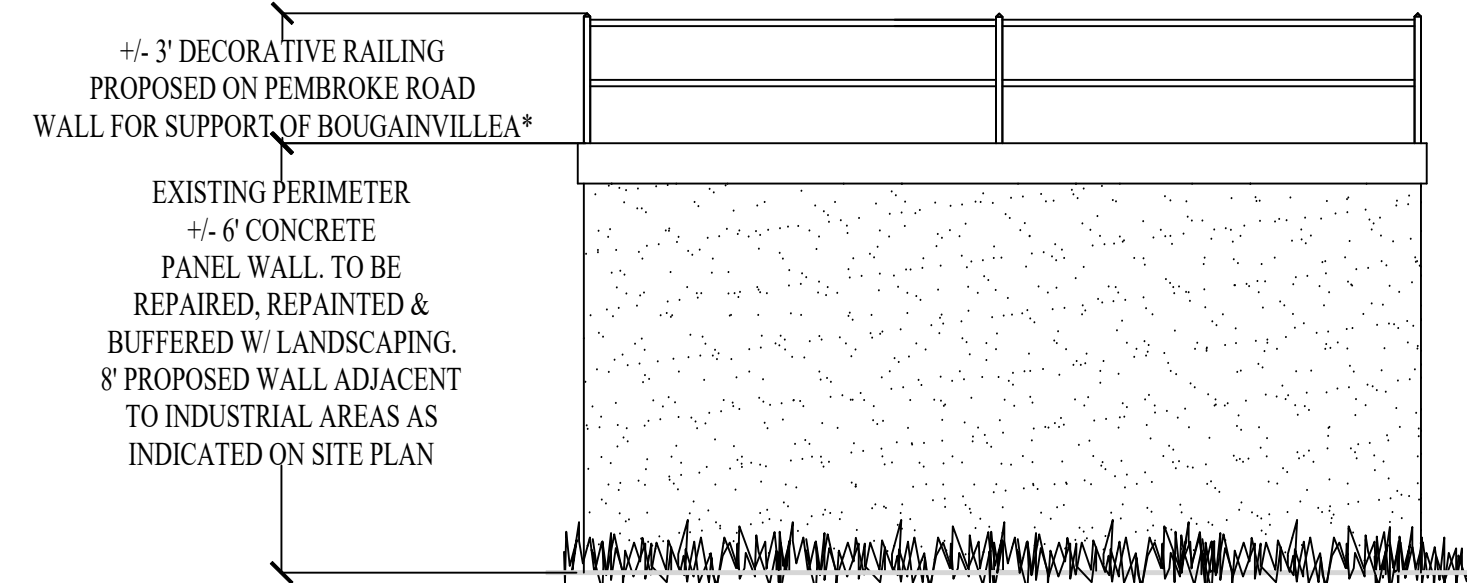
N.T.S.



PERIMETER WALL DETAILS

\* SEE LANDSCAPE PLANS FOR DETAILS ON BUFFER PLANTING DESIGN

N.T.S.

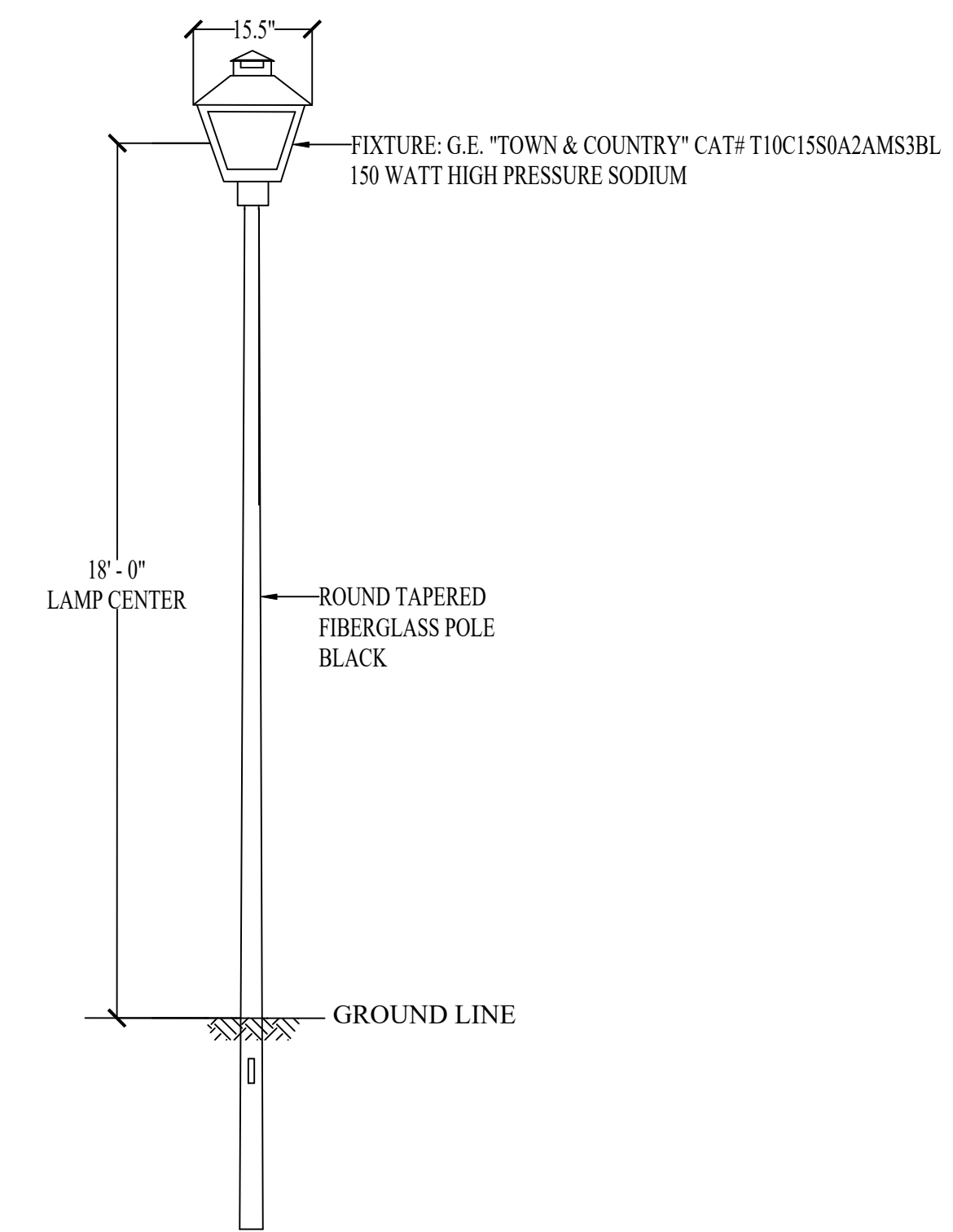


PARKING CALCULATIONS - ARTICLE 7.2

SINGLE FAMILY PARKING CALCULATIONS - ARTICLE 7.2 2 SP./D.U. <= 2,000 S.F. + 1 SP. / 500 S.F. > 2,000 S.F.				
UNIT TYPE	TOTAL S.F. / A.C.	NO. BEDROOMS	PARKING REQUIRED	PARKING PROPOSED
ALEXANDER	1,961 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
DRIFTWOOD	2,445 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
FIFTH AVENUE	2,523 S.F.	3	3 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
HARRISON	2,050 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
NELSON	2,168 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
ORLEANS	1,825 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
PARK PLACE	2,802 S.F.	4	3 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
RIVERWALK	2,670 S.F.	4	3 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
SEAMIST	2,143 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
SIENNA	2,220 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
STARBOARD	1,821 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
TROPIC	1,565 S.F.	3	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
WOODWARD	2,999 S.F.	4	3 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
TOWNHOME PARKING CALCULATIONS - ARTICLE 7.2 2 SP./D.U. + 1 SP. / 5 D.U. GUEST SPACES				
UNIT TYPE	NO. OF GARAGE SP.	NO. DRIVEWAY SPACES	PARKING REQUIRED	PARKING PROPOSED
RARITAN T.H.	2 SP.	2 SP.	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)
MAGNOLIA	1 SP.	1 SP.	2 SP.	4 SP. (2-CAR GARAGE + 2 DRIVEWAY SPACES)

INTERNAL VEHICULAR ACCESSWAYS STREET LIGHT DETAIL - F.P.L. STANDARD TOWN & COUNTRY LIGHT

N.T.S.



BY	REVISIONS	DATE
KD	TAG-COMMENTS-7.20.15	8.19.15
KD	TAG-COMMENTS-9.03.15	10.30.15
KD	FINAL-TAG	11.30.15
KD	FINAL-TAG-COMMENTS	1.25.16
KD	CITY-COMMENTS/REVISIONS	03.16.16
KD	S.P.AMENDMENT	08.25.16
KD	SPALLOTREV	06.07.19
KD	TOT.LOTREV	09.23.19

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Tel: (561) 707-3410  
Email: info@designandentitlement.com

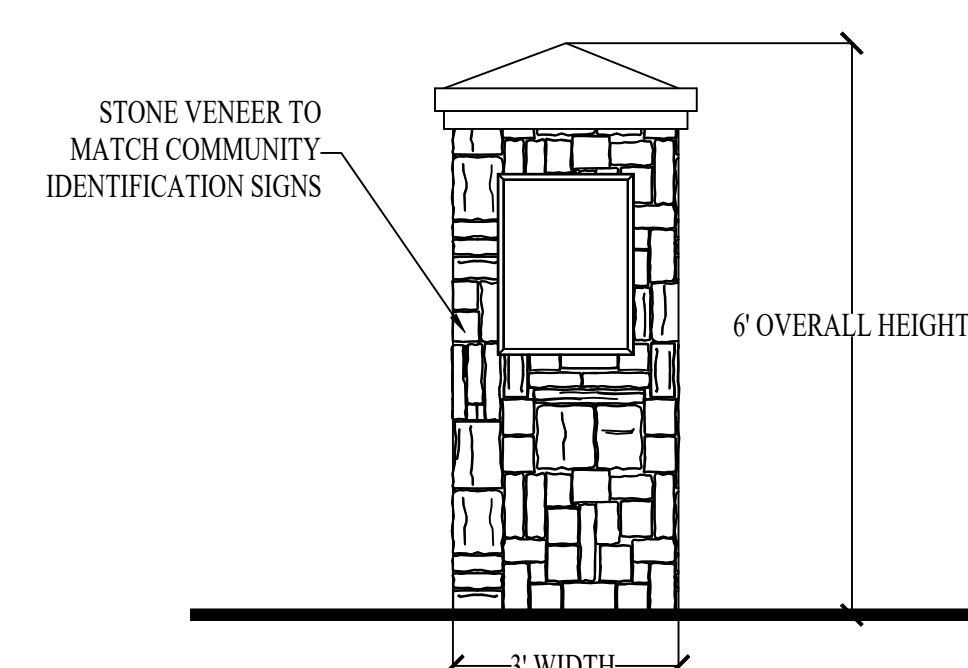


HILLCREST COUNTRY CLUB REDEVELOPMENT  
HILLCREST IG, LLC.  
PULTE GROUP  
4600 HILLCREST DRIVE  
HOLLYWOOD, FLORIDA 33021

PEDESTRIAN SCALE COMMUNITY IDENTIFIER

LOCATED ALONG ENTRANCES OR AT KEY INTERSECTIONS WITHIN COMMUNITY

N.T.S.

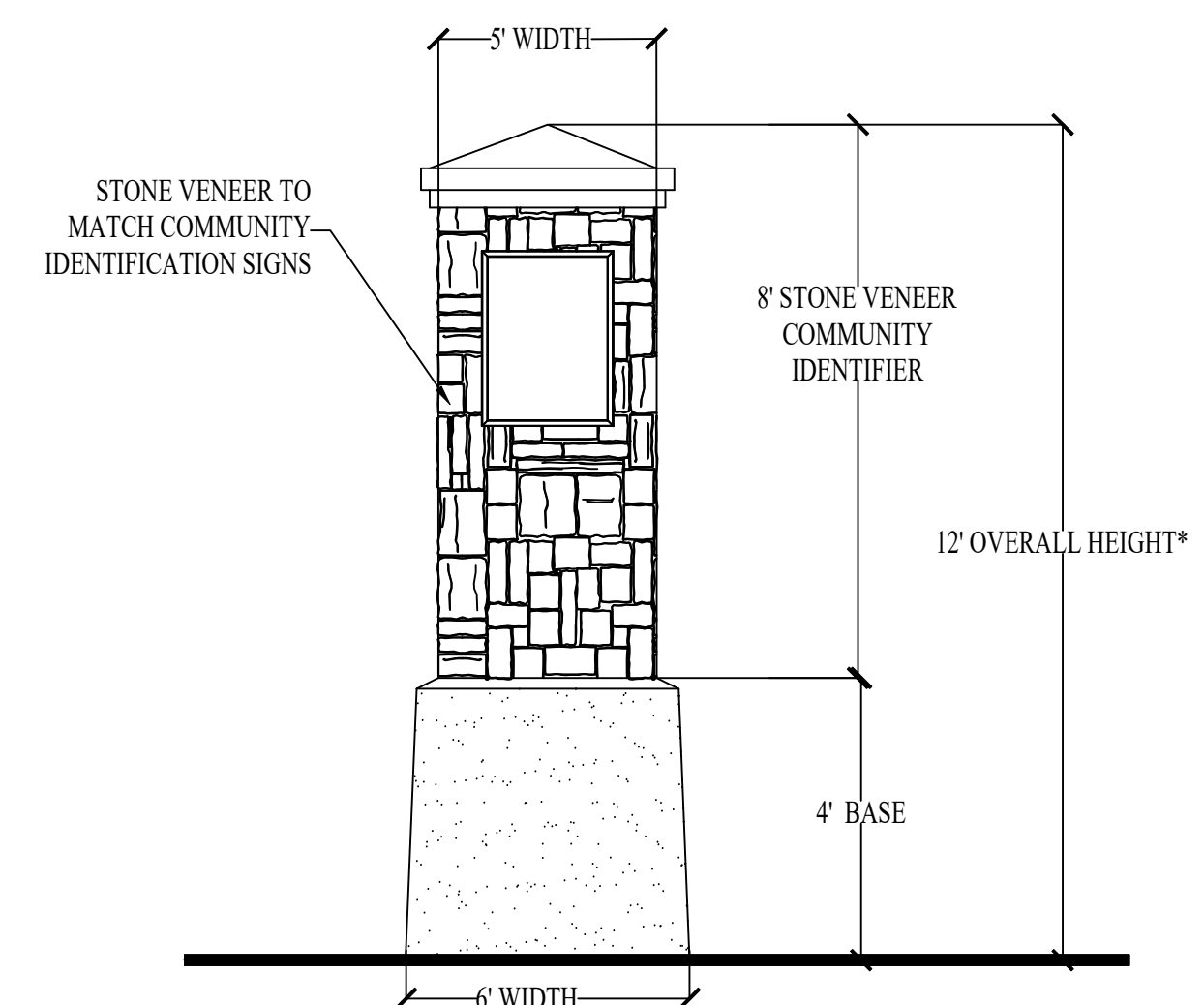


LARGER SCALE COMMUNITY IDENTIFIER

LOCATED WITHIN ROUNDABOUT ISLANDS IN KEY LOCATIONS

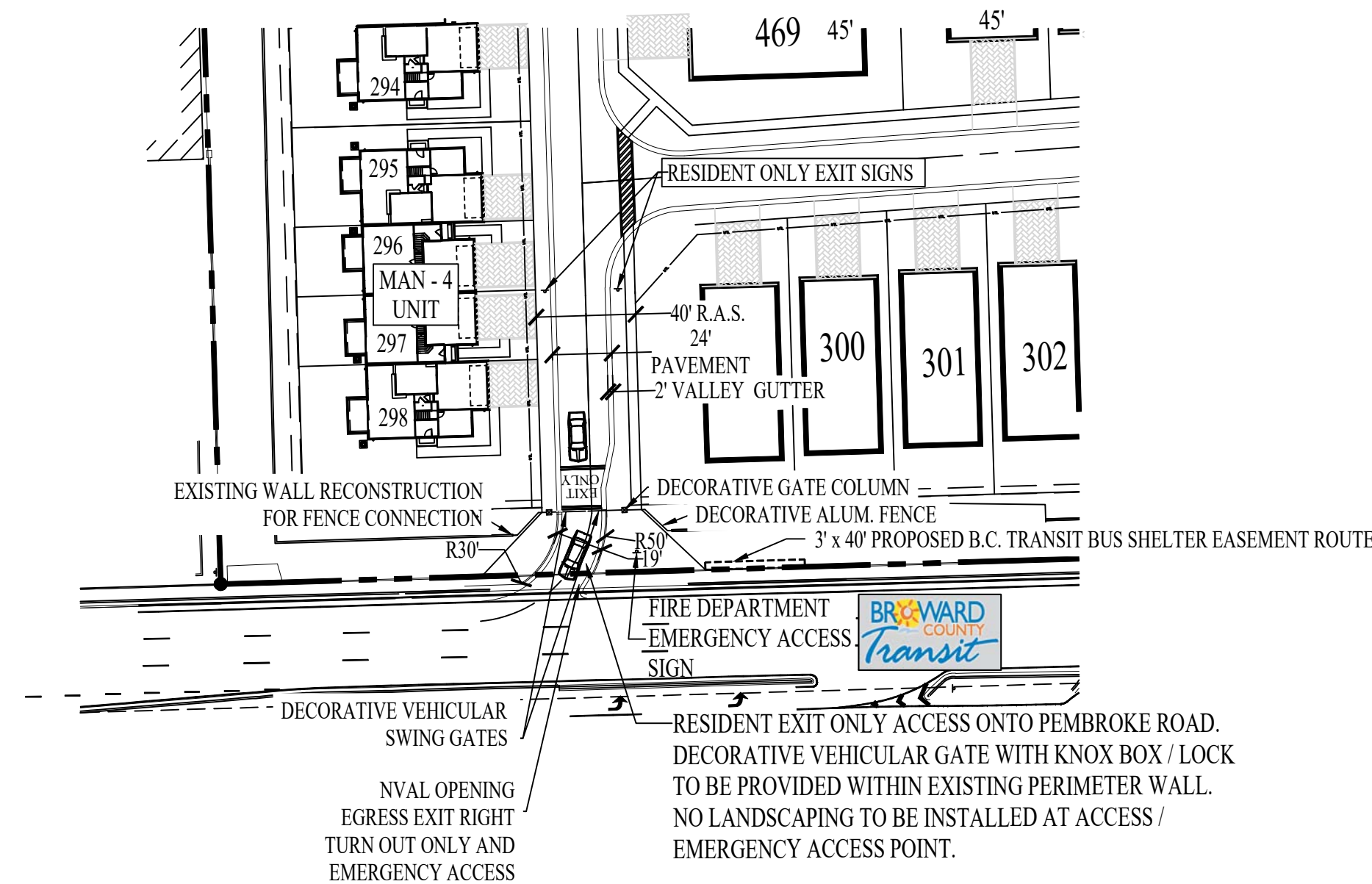
\* SEE CODE VARIATION TABLE FOR MAXIMUM HEIGHT DEVIATION

N.T.S.



PEMBROKE ROAD EXIT ONLY ACCESS DETAIL

N.T.S.



DETAIL/REGULATING PLAN

SCALE: N.T.S.  
CHECKED BY: K.D.D.  
DRAWN BY: K.D.D.  
DATE: 7.6.15  
FILE: SP-1  
SHEET  
DET.2/SP.13  
13 OF 14 SHEETS

