

MRH S&CC TOWER EXPANSION - ENABLING PACKAGE

3501 JOHNSON STREET, HOLLYWOOD, FL 33021



ARCHITECT

HKS ARCHITECTS INC. 2020 SALZEDO STREET, 4TH FLOOR **CORAL GABLES, FL 33134**

INTERIOR DESIGN

HKS ARCHITECTS, INC. 225 EAST ROBINSON ST. SUITE 405

CIVIL & LANDSCAPE

CGA SOLUTIONS 1800 ELLER DRIVE SUITE 600 FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER **GARCIA MULLIN GROUP**

14335 COMMERCE WAY MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS 800 FAIRWAY DRIVE SUITE 130 DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT

SMITH SECKMAN REID, INC. (SSR) 2995 SIDCO DRIVE NASHVILLE, TN 37204

FOOD SERVICE

KAIZEN FOODSERVICE PLANNING & DESIGN INC. 1525 CORNWALL RD, UNIT 14 **OAKVILLE, ON L6J OB2**

OWNER

MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021

BINDING DIRECTORY

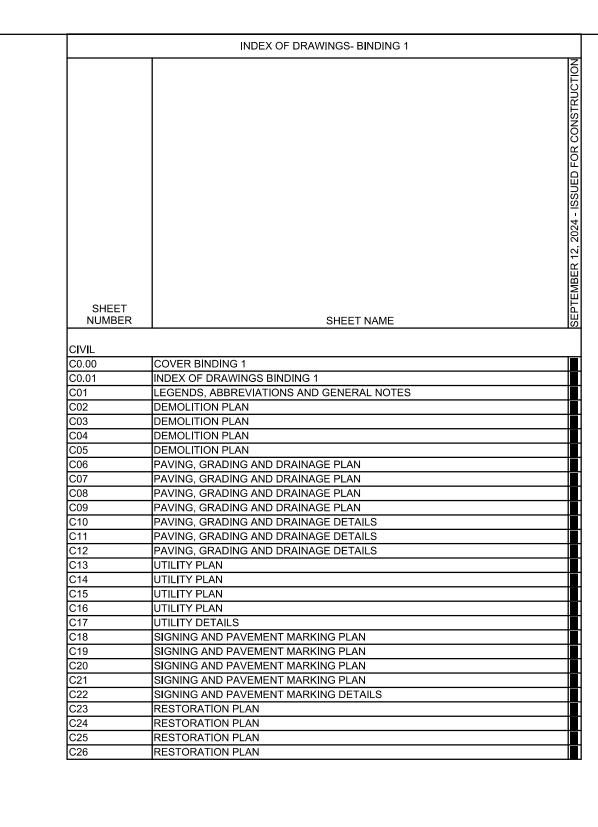
BINDING 1: CIVIL

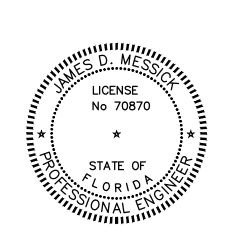
BINDING 2: LANDSCAPE BINDING 3: STRUCTURES BINDING 4: ARCHITECTURAL BINDING 5: MECHANICAL

BINDING 6: ELECTRICAL

BINDING 7: PLUMBING/ FIRE PROTECTION

BINDING 8: TELECOM





JAMES D. MESSICK, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 70870.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JAMES D. MESSICK, P.E. ON THE DATE ADJACENT TO THE SEAL.

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CALVIN, GIORDANO & ASSOCIATES, INC. 1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FLORIDA 33316 954-921-7781

ARCHITECT HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR

CORAL GABLES, FL 33134

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ORLANDO, FL 32801

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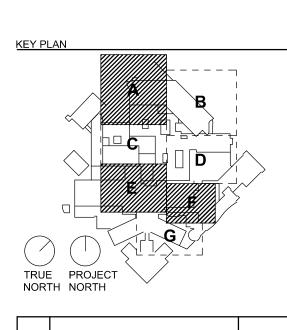
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INDEX LEGEND

NUMBERING SYSTEM: DISCIPLINE: C - CIVIL L - LANDSCAPE A - ARCHITECTURE M - MECHANICAL E - ELECTRICAL P - PLUMBING S - STRUCTURAL K - FOOD SERVICE T - TECHNOLOGY SHEET NUMBER WITHIN SERIES NUMBER OF PLAN, DETAIL, ETC. ON SHEET

A2.10/01

BCTED ASSIGNED REFERENCE NUMBER: 250123060

SHEET NO.

HKS PROJECT NUMBER 23459.000

ISSUED FOR

BINDING 1

CONSTRUCTION

NOVEMBER 21, 2024

INDEX OF DRAWINGS

	ABBREVIATION LEGEND	LINE TYPE LEGEND	PROPOSED SYMBOL LEGEND	EXISTING SYMBOL LEGEND
ARV BE BFP BFV BM BOP BSP CAP CB CIP CMP CMU CO CONC DE DIP E EL EOW EXIST EXFILT FH FM GALV GV HORZ H.P. INV JB LF MAX M.E.G. MH MIN N N N N N N N N N N N N N N N N N N	AIR RELEASE VALVE BURIED ELECTRIC BACKFLOW PREVENTER BUTTERFLY VALVE BENCHMARK BOTTOM OF PIPE BACTERIOLOGICAL SAMPLING POINT CORRUGATED ALUMINUM PIPE CATCH BASIN CURB INLET CAST IRON PIPE CHAIN LINK FENCE CORRUGATED METAL PIPE CONCRETE MASONRY UNIT CLEANOUT CONCRETE DRAINAGE EASEMENT DUCTILE IRON PIPE EAST ELEVATION EDGE OF WATER EXISTING EXFILTRATION FINISHED FLOOR ELEVATION FIRE HYDRANT FORCE MAIN GALVANIZED GATE VALVE HORIZONTAL HIGH POINT INVERT JUNCTION BOX LINEAR FEET MAXIMUM MATCH EXISTING GRADE MANHOLE MINIMUM MECHANICAL JOINT NORTH	LINE TYPE LEGEND	PROPOSED SYMBOL LEGEND AIR RELEASE VALVE BB.S.P. No. BACTERIOLOGICAL SAMPLE POINT WATER METER FIRE HYDRANT FIRE DEPARTMENT CONNECTION SINGLE WATER SERVICE DOUBLE WATER SERVICE BACKFLOW PREVENTER DOUBLE DETECTOR CHECK VALVE BLOWOFF REDUCER GATE VALVE CROSS FULUG BLOWOFF VERTICAL BENDS SEWER MANHOLE SANITARY FLOW DIRECTION SINGLE SANITARY LATERAL DOUBLE SANITARY LATERAL SIGN CATCH BASIN STORM MANHOLE CLEANOUT SLOTTED DRAIN	EXISTING SYMBOL LEGEND EXISTING SPOT ELEVATION (FT) GUY ANCHOR FPL MANHOLE CONC. LIGHT POLE CONC. SIGNAL POLE COMMUNICATION MH COMMUNICATION RISER CABLE TV MANHOLE CABLE TV RISER EHH ELEC. HANDHOLE FPL TRANSFORMER LELECT LIGHT POLE TRAFFIC CONTROL BOX WHEP WOOD POWER POLE SEWER VALVE WATER VALVE GATE VALVE GATE VALVE GATE VALVE GEANOUT FIRE HYDRANT REDUCER REGRATION VALVE SEWER MANHOLE STORM MANHOLE FIRE DEPARTMENT CATCH BASIN CURB INLET GROUND/LANDSCAPING LIGHTING
JB LF	JUNCTION BOX LINEAR FEET		DRAINAGE FLOW O.00 SPOT GRADE	IRRIGATION VALVE SEWER MANHOLE
M.E.G. MH MIN MJ N NAVD NIC NTS	MATCH EXISTING GRADE MANHOLE MINIMUM MECHANICAL JOINT NORTH NORTH AMERICAN VERTICAL DATUM NOT INCLUDED NOT TO SCALE	**************************************	CATCH BASIN STORM MANHOLE CLEANOUT	FIRE DEPARTMENT CATCH BASIN CURB INLET
NGVD OE PCAP	NATIONAL GEODETIC VERTICAL DATUM OVERHEAD ELECTRIC PERFORATED CORRUGATED ALUMINUM PIPE	HATCHING LEGEND	P6 STORM INLET EXFILTRATION TRENCH	WATER METER EXFILTRATION TRENCH
PRB PROP PSI PV PVC R RCP RCW RED R/W S SAN SB STA TOB TOP TYP UE	POLLUTION RETARDANT BAFFLE PROPOSED POUNDS PER SQUARE INCH PLUG VALVE POLYVINYL CHLORIDE RADIUS REINFORCED CONCRETE PIPE RECLAIMED WATER REDUCER RIGHT—OF—WAY SOUTH SANITARY SOIL BORING STATION TOP OF BANK TOP OF PIPE TYPICAL UTILITY EASEMENT	EXISTING DECOMMISSIONED BURIED MASTER LIFT STATION TO BE REMOVED EXISTING BUILDING TO REMAIN EXISTING BUILDING TO BE DEMOLISHED EXISTING PEDESTRIAN BRIDGE CANOPY WITH SIDEWALK TO BE REMOVED EXISTING ASPHALT PAVEMENT TO BE REMOVED EXISTING ASPHALT PAVEMENT TO BE REMOVED EXISTING CONCRETE TO BE REMOVED EXISTING PAVERS TO BE REMOVED EXISTING STRIPING/MARKINGS TO BE REMOVED EXISTING LANDSCAPING TO BE REMOVED PROPOSED STORM TRAP DETECTABLE WARNING SURFACES PROPOSED MILLING AND RESURFACING PROPOSED ASPHALT ROADWAY	HEADWALL MITERED END - RCP MITERED END - HDPE HAY BALES ROCK BAGS W/ HAY BALES	TREE TO BE REMOVED
VERT W WM	VERTICAL WEST WATER MAIN	PROPOSED CONCRETE SIDEWALK		

PERMITTING AGENCIES	DATE SUBMITTED	CGA INITIALS	DATE APPROVED	PERMIT NUMBER
CITY OF HOLLYWOOD PUBLIC WORKS AND ENGINEERING	-	-	_	_
CITY OF HOLLYWOOD BUILDING DEPARTMENT	_	-	_	_
FDEP CONSTRUCTION GENERIC PERMIT (BY CONTRACTOR)	_	_	_	_
BROWARD COUNTY TRAFFIC ENGINEERING DIVISION	01/23/25	JDM	_	250123060
-	_	_	_	_
_	_	_	_	_

GENERAL NOTES

- 1. ALL TRAFFIC CONTROL DEVICES, INCLUDING PAVEMENT MARKINGS MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.
- 2. THE CITY ENGINEER IS RESPONSIBLE FOR THE PROJECT'S DESIGN AND/OR OPERATION.
- 3. THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF MAINTENANCE ITEMS, SUCH AS: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTEDASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED MID-BLOCKCROSSWALKS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISEDCROSSWALKS AND RELATED MARKINGS AND SIGNING, ADVANCED WARNING PAVEMENT MARKINGS FOR SPEED TABLES, BLINKER SIGNS, RECTANGULAR RAPIDFLASHER BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKINGAND RELATED MARKINGS AND SIGNING, IN-ROADLIGHTING AND RELATED MARKINGS AND SIGNING GREEN BIKE LANES.FLEXIBLE DELINEATORS. DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITEPAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING, INSTALLING, AND MAINTAINING ALL UTILITY BYPASS SYSTEMS FOR THE DURATION OF THE TEMPORARY SERVICES AND CONSTRUCTION ACTIVITIES. BACKUP DIESEL PUMP. PUMPS SHALL BE "HOSPITAL GRADE" AND SHALL NOT EXCEED 55dB(A) AT
- 2. THE CONTRACTOR SHALL BE GOVERNED BY THE APPLICABLE PORTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, DATED 2023/2024, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2023-24, AND SUPPLEMENTS THERETO IF NOTED IN THE SPECIAL PROVISIONS FOR THIS PROJECT.
- MINIMUM OF TWO BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION INVOLVING ITS UTILITIES AND IS
- 4. ANY DAMAGE BY THE CONTRACTOR TO PUBLIC OR PRIVATE PROPERTY SHALL BE RESTORED TO
- CONTRACTOR.

- ORIGINAL CONDITION OR BETTER AT NO ADDITIONAL COST TO THE OWNER.

- 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES. 14. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH CURRENT FDOT DESIGN STANDARDS AND
- THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DRIVEWAYS AND TRAVEL LANES SHALL REMAIN OPEN AT ALL TIMES. ANY AND ALL PROPOSED CLOSURES OR DETOUR ROUTES SHALL REQUIRE CITY (PUBLIC RIGHT-OF-WAY) OR OWNER (HOSPITAL CAMPUS) APPROVAL.
- 15. CONTRACTOR MUST PROVIDE LATERAL SUPPORT FOR ALL EXISTING WATER MAINS AND MAINTAIN SOIL DEVELOPMENT EQUAL TO OR GREATER THAN EXISTING TO PREVENT WATER MAIN SEPARATION.
- 16. ALL EXISTING UTILITIES MANHOLE COVERS, ELECTRICAL BOXES, VALVE BOXES, METER BOXES, DRAINAGE STRUCTURES, ETC. WITHIN PROPOSED AREAS OF IMPROVEMENTS SHALL BE ADJUSTED TO GRADE ELEVATION, UNLESS OTHERWISE NOTED.
- 17. THE CONTRACTOR SHALL EMPLOY QUALIFIED ARBORIST TO REMOVE BRANCHES, AND TREAT ANY CUTS.
- LATERALS, CONTRACTOR SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER.
- ETC., DISTURBED DURING CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- 22. MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS SHOWN ON THE PLANS ARE TO BE MEASURED
- 23. SURVEY DATA: ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED
- 24. CONTRACTOR TO FIELD ADJUST LOCATION OF THE PROPOSED WORK TO MEET THE MINIMUM
- 26. FOLLOWING CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION, CONTRACTOR SHALL REMOVE

- BYPASS SYSTEMS SHALL BE APPROVED BY OWNER AND HAVE ONE PRIMARY ELECTRIC PUMP AND ONE
- 3. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY AND GOVERNMENT AGENCY A TO COORDINATE FIELD VISITS WITH UTILITY REPRESENTATIVE DURING CONSTRUCTION.
- PRE-EXISTING CONDITIONS OR BETTER AT NO EXPENSE TO THE OWNER.
- 5. THE LOCATIONS OF ALL UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY AND FIELD VERIFIED BY THE
- 6. THE CONTRACTOR SHALL VERIFY IF OTHER UTILITIES NOT SHOWN IN THE PLANS EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD UTILITY CONFLICTS ARISE, THE CONTRACTOR SHALL INFORM THE ENGINEER AND CORRESPONDING UTILITY COMPANY OF THE CONFLICT.
- 7. PRE-CONSTRUCTION VIDEO OF EXISTING CONDITIONS SHALL BE TAKEN BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION AND SUBMITTED TO THE ENGINEER AND OWNER FOR REVIEW.
- 8. THE CONTRACTOR SHALL COORDINATE SELECTION AND REVIEW OF ANY PROPOSED STAGING AREA WITH THE OWNER AT LEAST 72 HOURS PRIOR TO USE. THE STAGING AREA SHALL BE RESTORED TO ITS
- 9. ALL CONSTRUCTION DEBRIS SHALL BE PROPERLY DISPOSED OF OFFSITE.
- 10. THE CONTRACTOR SHALL UTILIZE BEST MANAGEMENT PRACTICES, AS ESTABLISHED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, FOR ALL WORK.
- 11. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH THE PERMIT REQUIREMENTS BEFORE AND DURING CONSTRUCTION.
- 12. ALL QUESTIONS CONCERNING MATERIALS OR CONSTRUCTION METHODS SHALL BE DIRECTED TO THE OWNER OR THE ENGINEER.
- 13. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE

- 18. CONTRACTOR SHALL USE SPECIAL CARE WHEN WORKING NEAR EXISTING CLAY SANITARY SEWER LINE.
- 19. CONTRACTOR TO AVOID DAMAGING EXISTING SEWER LATERALS. IF DAMAGE OCCURS TO EXISTING SEWER
- 20. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL EXISTING UTILITIES, IRRIGATION, CABLES,
- 21. EXISTING SURFACE GRADES SHOWN IN PROFILE VIEWS ARE AT THE ALIGNMENT CENTERLINE.
- FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE OR STRUCTURE.
- ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- SEPARATION REQUIREMENTS.
- 25. CONTRACTOR TO VERIFY LOCATIONS OF UTILITIES VIA SOFT DIG.
- SEDIMENT WITHIN EXISTING DRAINAGE SYSTEM PIPING AND STRUCTURES BY PRESSURIZED HYDRO—JETTING FOR COMPLETE REMOVAL OF DISPLACED SEDIMENT AND DEBRIS DURING

ISSUED FOR CONSTRUCTION **ELEVATIONS ARE IN NAVD 88**

CO1 LEGENDS, ABBREVIATIONS AND GENERAL NOTES
NOT TO SCALE

2020 SALZEDO STREET, 4TH FLOOR

INTERIOR DESIGNER

CIVIL & LANDSCAPE

1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

CALVIN, GIORDANO & ASSOCIATES

STRUCTURAL ENGINEER

MEP & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS, INC.

TELECOM & EQUIPMENT

MEMORIAL HEALTHCARE SYSTEM

GMG STRUCTURAL ENGINEERS

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800 FAIRWAY DRIVE

2995 SIDCO DRIVE

OWNER

NASHVILLE, TN 37204

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DEERFIELD BEACH, FL 33441

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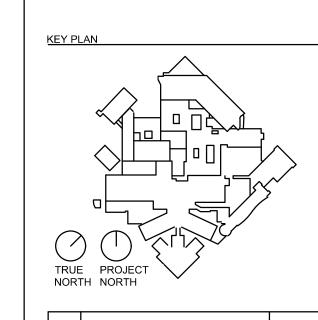
ARCHITECT

HKS ARCHITECTS

ORLANDO, FL 32801

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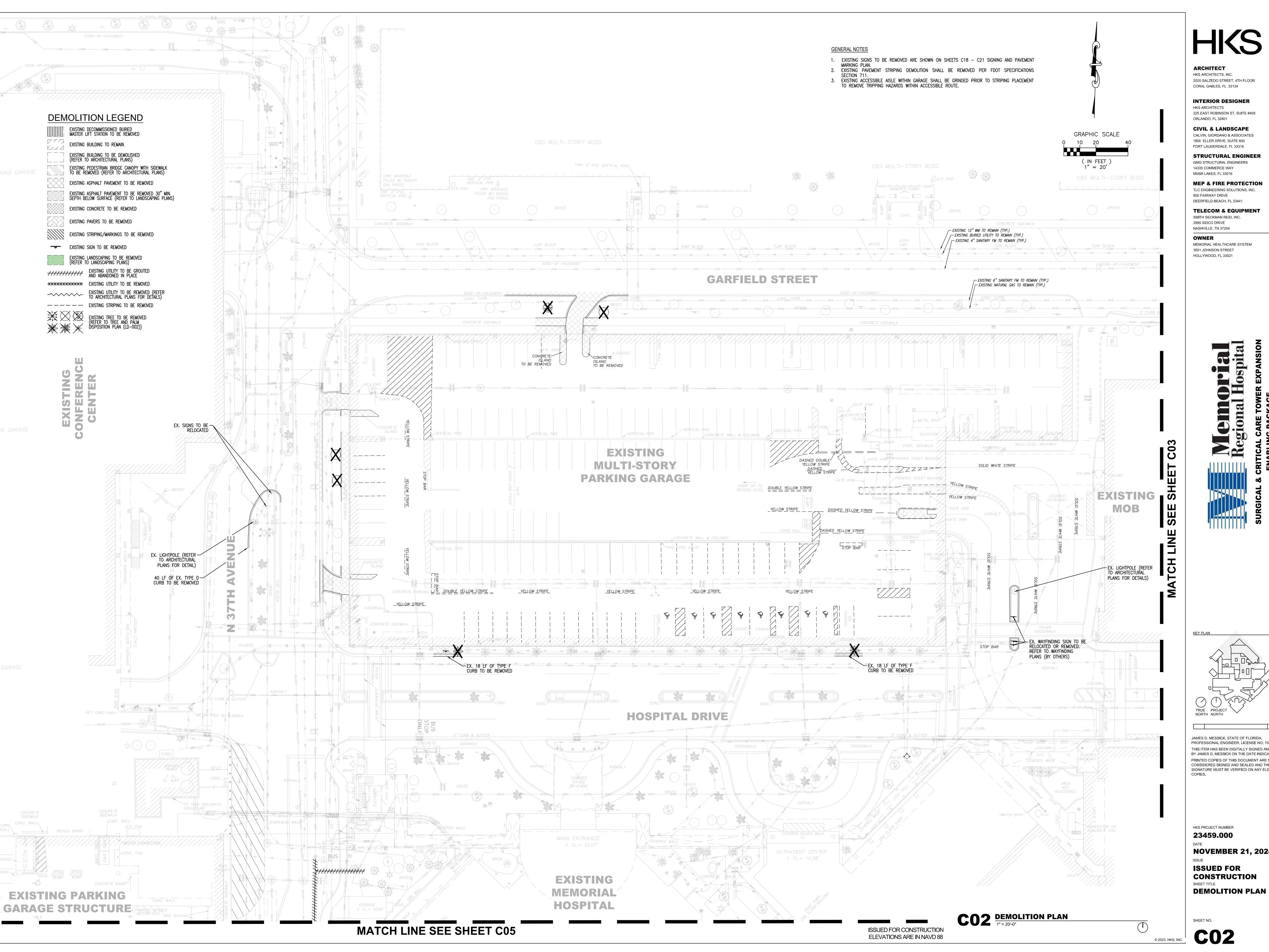
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CONSTRUCTION LEGENDS, ABBREVIATIONS AND GENERAL NOTES



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GMG STRUCTURAL ENGINEERS 14335 COMMERCE WAY

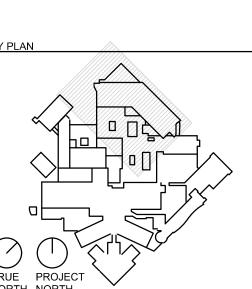
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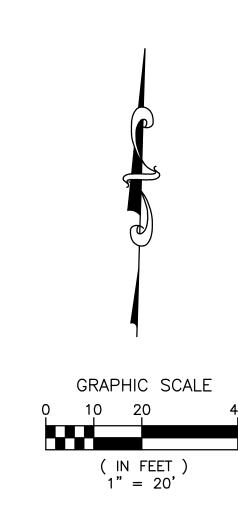


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SHEET NO.

C02



DEMOLITION LEGEND

EXISTING DECOMMISSIONED BURIED MASTER LIFT STATION TO BE REMOVED EXISTING BUILDING TO REMAIN

EXISTING BUILDING TO BE DEMOLISHED (REFER TO ARCHITECTURAL PLANS)

EXISTING PEDESTRIAN BRIDGE CANOPY WITH SIDEWALK TO BE REMOVED (REFER TO ARCHITECTURAL PLANS) EXISTING ASPHALT PAVEMENT TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED 30" MIN. DEPTH BELOW SURFACE (REFER TO LANDSCAPING PLANS)

EXISTING CONCRETE TO BE REMOVED

EXISTING PAVERS TO BE REMOVED

EXISTING STRIPING/MARKINGS TO BE REMOVED

EXISTING SIGN TO BE REMOVED

EXISTING LANDSCAPING TO BE REMOVED (REFER TO LANDSCAPING PLANS) /////////
EXISTING UTILITY TO BE GROUTED AND ABANDONED IN PLACE

********** EXISTING UTILITY TO BE REMOVED

---- Existing striping to be removed

EXISTING TREE TO BE REMOVED (REFER TO TREE AND PALM DISPOSITION PLAN (LD-002))

- 1. EXISTING SIGNS TO BE REMOVED ARE SHOWN ON SHEETS C18 C21 SIGNING AND PAVEMENT MARKING PLAN.
- 2. EXISTING PAVEMENT STRIPING DEMOLITION SHALL BE REMOVED PER FDOT SPECIFICATIONS
- 3. EXISTING ACCESSIBLE AISLE WITHIN GARAGE SHALL BE GRINDED PRIOR TO STRIPING PLACEMENT TO REMOVE TRIPPING HAZARDS WITHIN ACCESSIBLE ROUTE.

CO3 DEMOLITION PLAN
1" = 20'-0"

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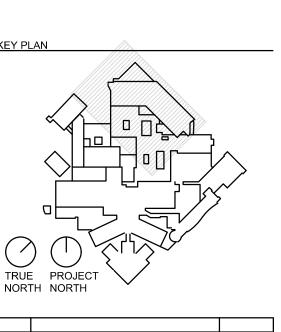
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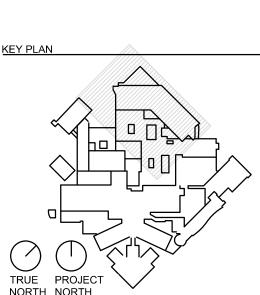
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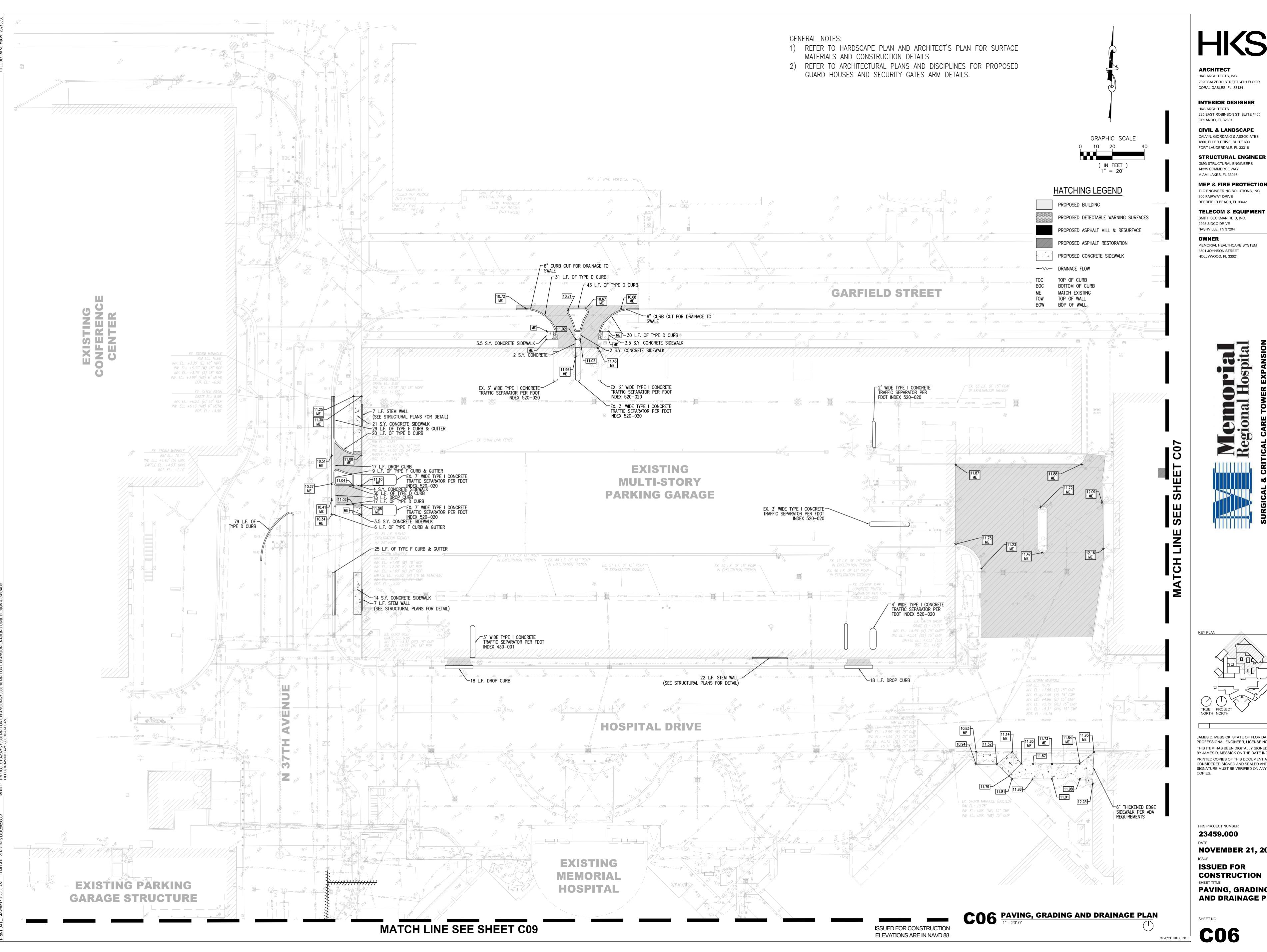
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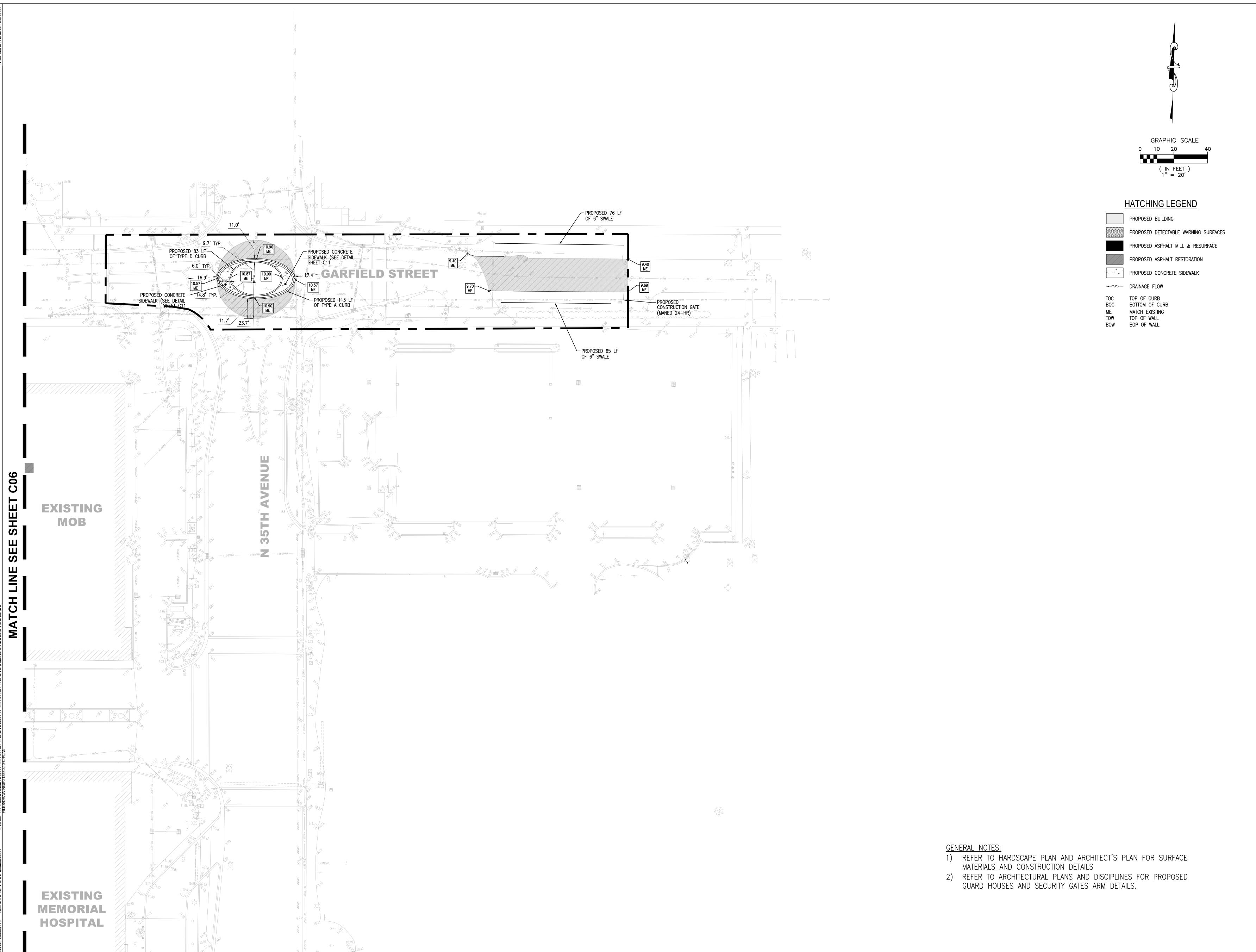
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HKS PROJECT NUMBER 23459.000 **NOVEMBER 21, 2024**

ISSUED FOR CONSTRUCTION PAVING, GRADING AND DRAINAGE PLAN

C06



MATCH LINE SEE SHEET C08

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STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS 14335 COMMERCE WAY

MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION**

TLC ENGINEERING SOLUTIONS, INC. 800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT SMITH SECKMAN REID, INC. 2995 SIDCO DRIVE

NASHVILLE, TN 37204 **OWNER**

3501 JOHNSON STREET

MEMORIAL HEALTHCARE SYSTEM HOLLYWOOD, FL 33021

JAMES D. MESSICK, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 70870. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JAMES D. MESSICK ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC

HKS PROJECT NUMBER 23459.000

NOVEMBER 21, 2024 ISSUED FOR

CONSTRUCTION PAVING, GRADING AND DRAINAGE PLAN

SHEET NO.

CO7 PAVING, GRADING AND DRAINAGE PLAN
1" = 20'-0"

ISSUED FOR CONSTRUCTION **ELEVATIONS ARE IN NAVD 88**

HKS

ARCHITECT

HKS ARCHITECTS, INC.

2020 SALZEDO STREET, 4TH FLOOR

CORAL GABLES, FL 33134

INTERIOR DESIGNER

INTERIOR DESIGNER

HKS ARCHITECTS

225 EAST ROBINSON ST. SUITE #405

ORLANDO, FL 32801

CIVIL & LANDSCAPE

CALVIN, GIORDANO & ASSOCIATES 1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER

GMG STRUCTURAL ENGINEERS
14335 COMMERCE WAY

14335 COMMERCE WAY MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION
TLC ENGINEERING SOLUTIONS, INC.
800 FAIRWAY DRIVE

TELECOM & EQUIPMENT
SMITH SECKMAN REID, INC.

2995 SIDCO DRIVE NASHVILLE, TN 37204

OWNER

MEMORIAL HEALTHCARE SYSTEM

MEMORIAL HEALTHCARE
3501 JOHNSON STREET
HOLLYWOOD, FL 33021

TRUE PROJECT NORTH

JAMES D. MESSICK, STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 70870.
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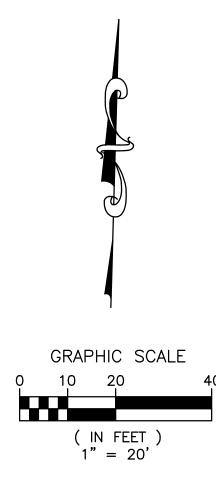
HKS PROJECT NUMBER **23459.000**

NOVEMBER 21, 2024

ISSUED FOR
CONSTRUCTION
SHEET TITLE
PAVING, GRADING
AND DRAINAGE PLAN

SHEET NO.

, INC. C08



ARCHITECT HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR

CORAL GABLES, FL 33134 INTERIOR DESIGNER

HKS ARCHITECTS 225 EAST ROBINSON ST. SUITE #405 ORLANDO, FL 32801

CIVIL & LANDSCAPE CALVIN, GIORDANO & ASSOCIATES 1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION**

TLC ENGINEERING SOLUTIONS, INC.

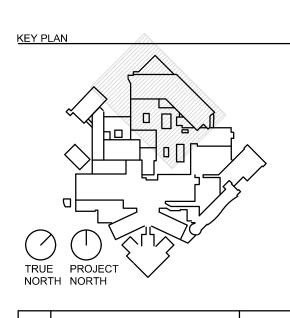
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OWNER

MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021





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HKS PROJECT NUMBER 23459.000 **NOVEMBER 21, 2024 ISSUED FOR** CONSTRUCTION **PAVING, GRADING**

AND DRAINAGE PLAN

ELEVATIONS ARE IN NAVD 88

GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK, THE CONTRACTORS ARE DIRECTED. PRIOR TO BIDDING. TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- 3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- 4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- 7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- 10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

OF HOLLYWOOD ATE	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2
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GOLD COAST	APPROVED): XXX		G-00

GENERAL NOTES (CONTINUED):

- 12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- 13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- 14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- 15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- 16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY
- 17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- 18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD ENGINEER.
- 20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO
- 22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- 23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- 24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD
- 25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC

RIGHT OF WAY.

26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY

STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.

HOLLYWOOD, ALC	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/2
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GENERAL NOTES (CONTINUED):

- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- 28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- 29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- 30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- 32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- 33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- 34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- 35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- 36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- 37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- 38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- 39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

OF HOLLYWOOD AND	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/2017
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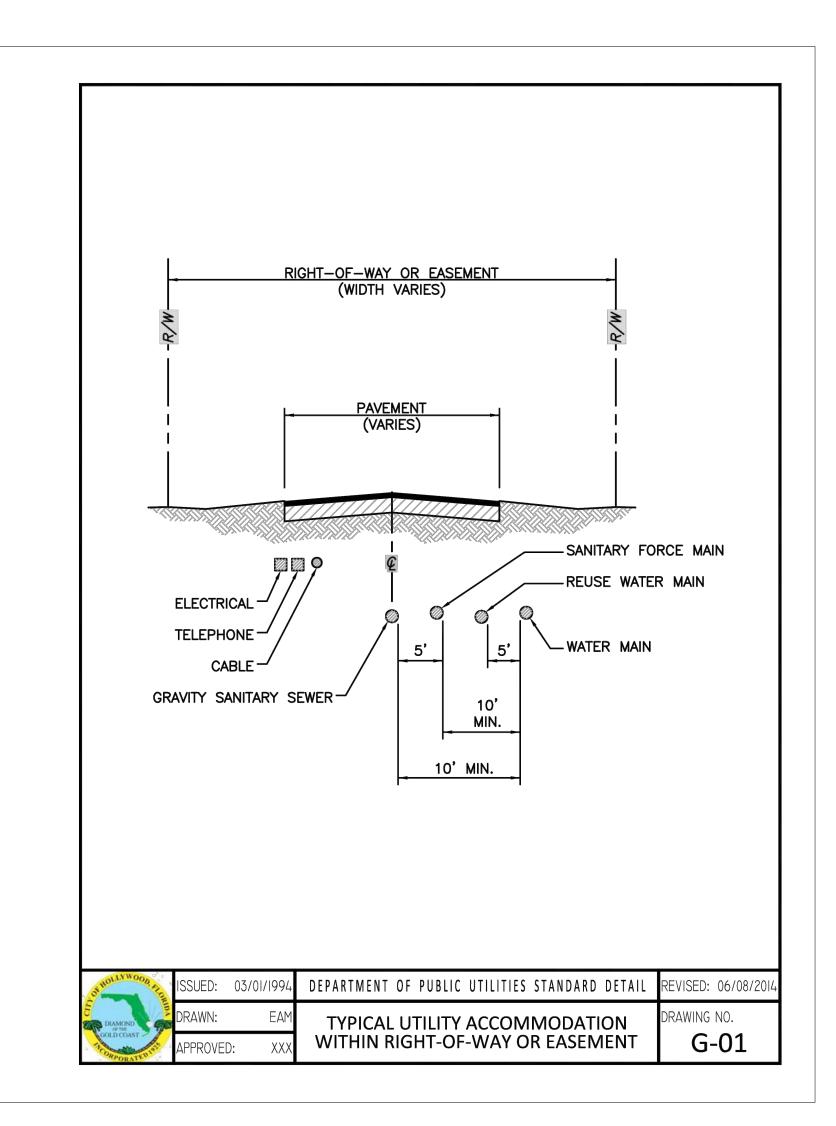
GENERAL NOTES (CONTINUED):

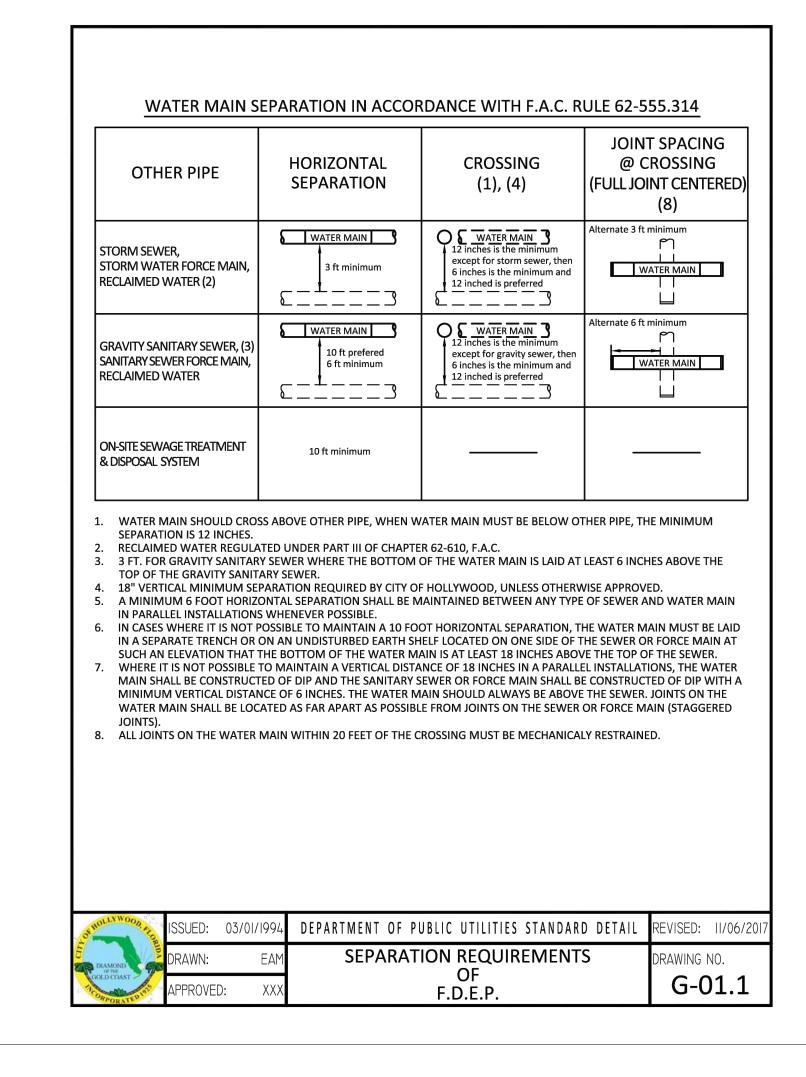
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).

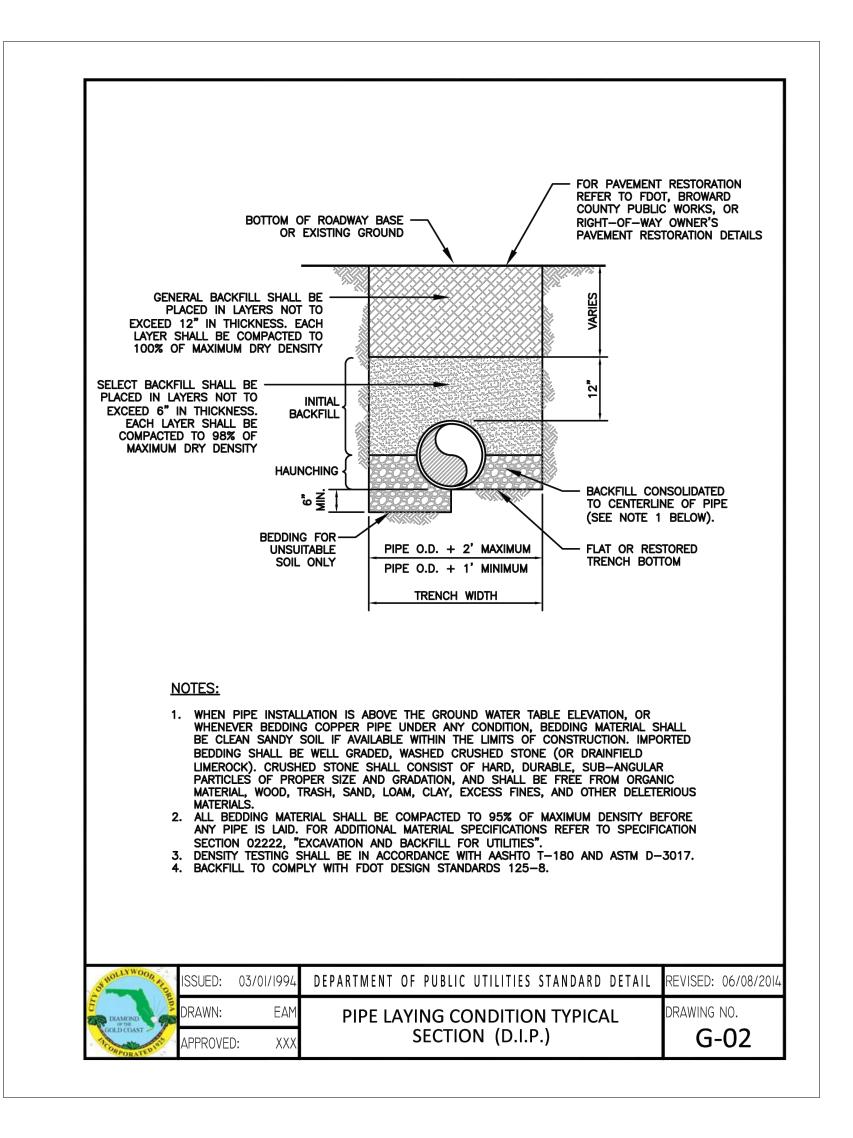


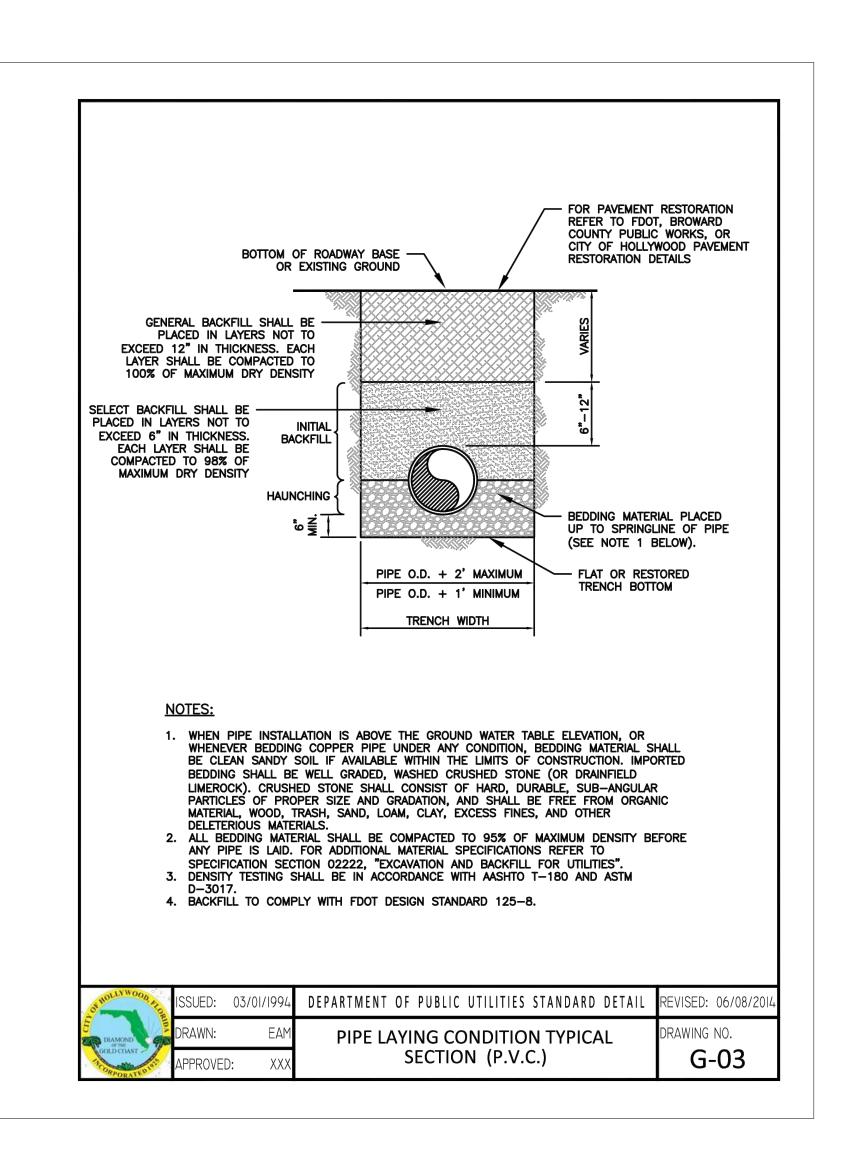
- 41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
- PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
- b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE
- c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
- d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
- e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE
- f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

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OKHOLLWOOD AL	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
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ISSUED FOR CONSTRUCTION ELEVATIONS ARE IN NAVD 88

C10 PAVING, GRADING AND DRAINAGE DETAILS

NOT TO SCALE

ARCHITECT

HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

> INTERIOR DESIGNER HKS ARCHITECTS 225 EAST ROBINSON ST. SUITE #405

ORLANDO, FL 32801

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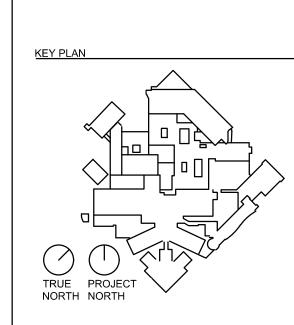
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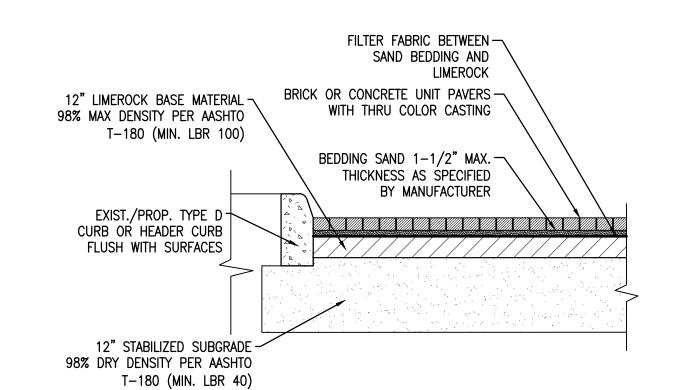
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DRAINAGE DETAILS



A. GENERAL:

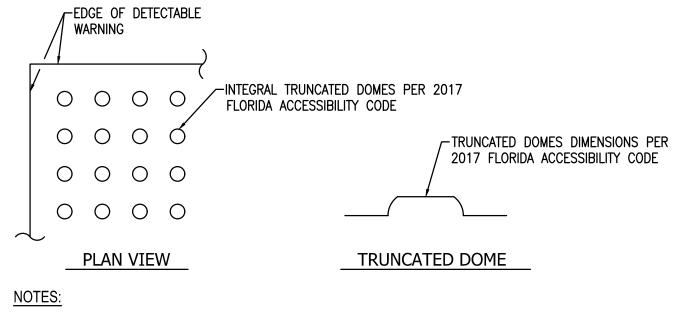
- 1. MANUFACTURE AND COLOR TO BE PER CITY OR ARCHITECTURAL REQUIREMENTS UNLESS OTHERWISE NOTED. SUBMIT SHOP DRAWINGS FOR APPROVAL. 2. OTHER NECESSARY ELEMENTS OF THIS TYPE OF PAVING, SUCH
- AS EDGE RESTRAINTS, BASE AND SUB-BASE MATERIAL ARE NOT 3. SUBMITTALS: IN ADDITION TO SHOP DRAWINGS, FURNISH FULL SIZE SAMPLES TO THE ENGINEER FOR APPROVAL PRIOR TO
- BEGINNING PLACEMENT. PROVIDE THE ENGINEER WITH A CERTIFICATION THAT THE BRICK PAVERS MEET THE REQUIREMENTS OF THIS SPECIFICATION. SUBMIT A CERTIFIED SIEVE ANALYSIS FOR GRADATION COMPARING RESULTS OF THE
- BEDDING AND JOINT SAND WITH THE REQUIREMENTS OF ASTM C 33 AND ASTM C 144. 4. MOCK-UPS: PRIOR TO BEGINNING PLACEMENT, INSTALL A 6 BY 6 FOOT PAVER AREA FOLLOWING THESE SPECIFICATIONS, INCORPORATED INTO THE WORK, AND WILL BE THE STANDARD
- FROM WHICH THE WORK WILL BE JUDGED. B. MATERIALS: 1. INSTALLATIONS ON ROADWAYS AND COMMERCIAL DRIVEWAYS PROVIDE BRICK PAVERS MEETING THE REQUIREMENTS OF THI MOST RECENT VERSION OF ASTM C 1272, TYPE F, APPLICATION
- PX, HAVING A MINIMUM THICKNESS OF 3-1/8 INCH. CONCRETE PAVERS ARE NOT ALLOWED FOR THIS APPLICATION. 2. INSTALLATIONS ON SIDEWALKS, MEDIANS AND RESIDENTIAL
- DRIVEWAYS PROVIDE BRICK OR CONCRETE PAVERS, AS SPECIFIED, HAVING A MINIMUM THICKNESS OF 2-3/8 INCH MEETING THE REQUIREMENTS OF THE MOST RECENT VERSION OF ASTM C 902, CLASS MX, TYPE I, APPLICATION PX OR ASTM C 936 AND FDOT 526.
- 3. BRICK PAVER INSTALLATION ON SIDEWALKS, MEDIANS AND RESIDENTIAL DRIVEWAYS MUST MEET THE REQUIREMENTS OF THE MOST RECENT VERSION OF ASTM C 902, TYPE I, CLASS MX,
- NATURAL OR MANUFACTURED FROM CRUSHED ROCK. 5. BEDDING AND JOINT SAND MUST MEET THE GRADING
- APPLICATION PS HAVE A MINIMUM THICKNESS OF 2 1/4 INCH. 4. BEDDING AND JOINT SAND WILL BE CLEAN, NON-PLASTIC BEDDING SAND, FREE FROM DELETERIOUS OR FOREIGN MATTER,

REQUIREMENTS OF THE MOST RECENT VERSION OF ASTM C 33

- C. INSTALLATION:
- 1. SPREAD THE BEDDING MATERIAL EVENLY OVER THE BASE COURSE COMPACTED AND APPROVED BY THE ENGINEER. 2. SCREED THE BEDDING MATERIAL AS SPECIFIED BUT NOT TO
- EXCEED 1-1/2 INCH. 3. DO NOT DISTURB THE SCREEDED BEDDING MATERIAL. ENSURE PLACEMENT OF SUFFICIENT BEDDING MATERIAL TO STAY AHEAD OF THE LAID BRICK PAVERS. DO NOT USE BEDDING MATERIAL TO FILL DEPRESSIONS IN THE BASE COURSE.
- 4. LAY PAVERS IN THE PATTERN(S) SHOWN IN THE PLANS AND MAINTAIN STRAIGHT PATTERN LINES. 5. DO NOT INSTALL BEDDING MATERIALS OR PAVERS DURING HEAVY
- rain or over wet substrata. 6. JOINTS BETWEEN THE PAVERS SHALL BE A MINIMUM OF $\frac{1}{16}$ INCH
- TO A MAXIMUM OF 16 INCH WIDE. 7. FILL THE GAPS AT THE EDGES WITH CUT OR EDGE PAVERS. 8. COMPACTING BEDDING AND JOINT SAND:
 - A) USE A LOW AMPLITUDE VIBRATOR CAPABLE OF 5,000 FOOT-POUNDS WITH 7-100 HZ FREQUENCIES TO VIBRATE AND COMPACT PAVERS INTO BEDDING SAND. A MINIMUM OF THREE PASSES IS REQUIRED UNTIL PAVER NO LONGER COMPACT INTO THE BEDDING
 - SAND TO THE SATISFACTION OF THE ENGINEER. B) VIBRATE THE PAVERS, SWEEPING DRY JOINT SAND INTO THE JOINTS AND VIBRATING, UNTIL THE JOINTS ARE FULL. DO NOT VIBRATE WITHIN 3 FEET OF THE UNRESTRAINED EDGES OF BRICK PAVERS.
 - C) AT THE END OF EACH DAY, ALL WORK WITHIN 6 FEET OF THE LAYING FACE MUST BE LEFT FULLY COMPACTED, WITH SAND-FILLED JOINTS AND COVERED WITH PLASTIC SHEETS.
 - D) SURFACE SHALL BE BROOM CLEAN AFTER REMOVAL OFF THE EXCESS JOINT SAND.
- 9. LEAVE A FINAL SURFACE ELEVATION OF BRICK PAVERS OF 1/8 TO 1/4 INCH ABOVE ADJACENT SURFACES INCLUDING SIDEWALKS, DRAINAGE INLETS, HEADER CURBS, CONCRETE COLLARS, GUTTERS OR CHANNELS, ETC. 10.DO NOT PERMIT THE FINAL SURFACE OF PAVERS TO DEVIATE MORE THAN 3/8 INCH UNDER A 10 FOOT LONG STRAIGHTEDGE,

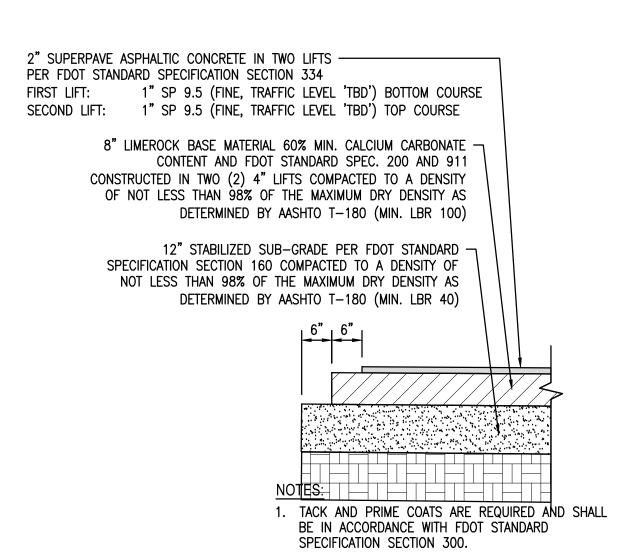
OR MORE THAN 1/8 INCH BETWEEN ADJACENT PAVERS.

BRICK OR CONCRETE PAVERS RESTORATION DETAIL SCALE: N.T.S.



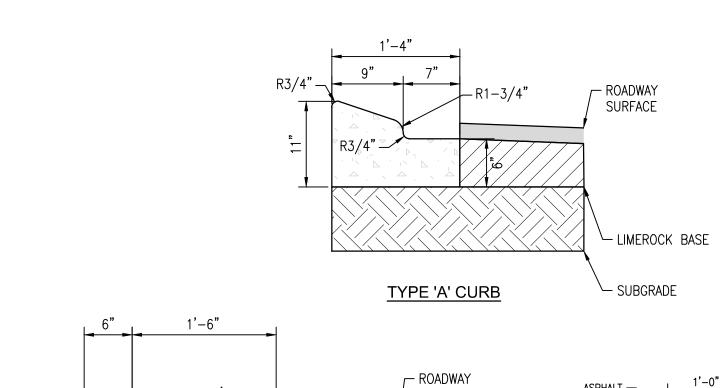
- 1. ALL FDOT CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES PLACED IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 522
- 2. ROWS OF TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE STREET, ROADWAY, OR DRIVEWAY IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 522.
- 3. SIDEWALKS ABUTTING ROADWAYS SHALL BE INSTALLED WITH A DETECTABLE WARNING SURFACE IN
- ACCORDANCE WITH FDOT STANDARD PLANS INDEX 522. 4. ALL DETECTABLE WARNINGS SHALL BE IN COMPLIANCE WITH FDOT SPECIFICATION SECTION 527. 5. ALL DETECTABLE WARNINGS SHALL BE PRE-FORMED CAST-IN-PLACE TYPE BY ACO OR EPOXY
- SYSTEM PRODUCTS APPROVED BY FDOT IN THE APPROVED PRODUCTS LIST (APL). STAMPED, MECHANICAL FASTENED, GLUED OR TORCH APPLIED WILL NOT BE ACCEPTED. SÚBMIT SHOP
- 6. COLOR SHALL BE SAFETY YELLOW PER FDOT SPECIFICATION SECTION 527.

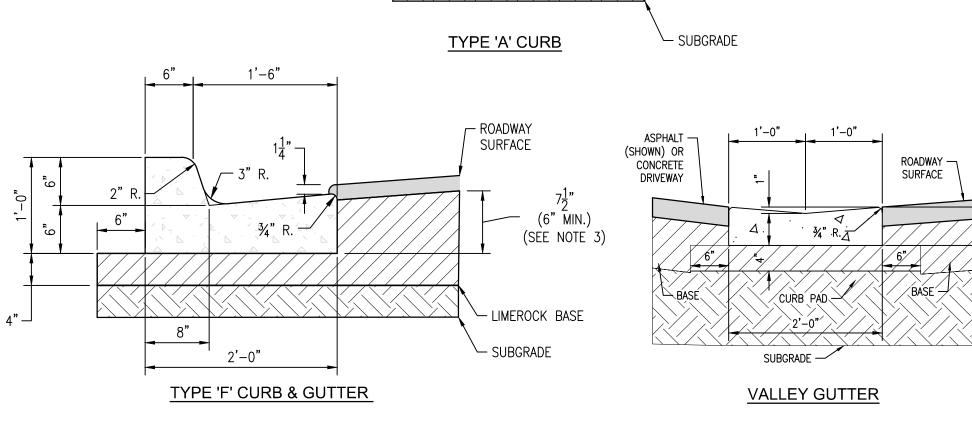
DETECTABLE WARNING SURFACE SCALE: N.T.S.

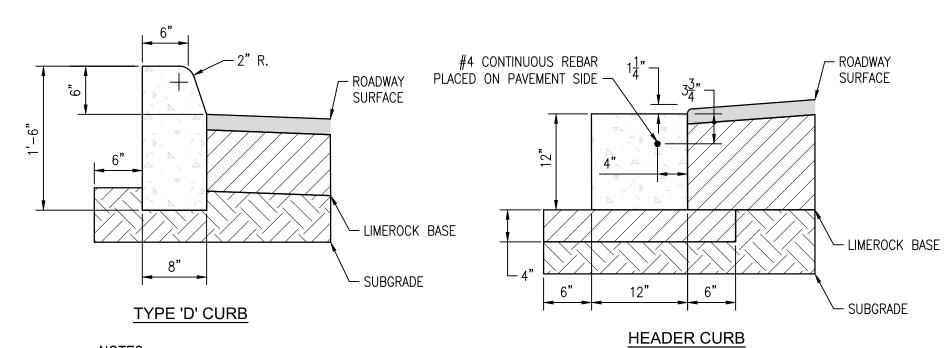


- 2. ASPHALT INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 334.
- 3. INCREASE LIMEROCK BASE THICKNESS TO 16" OVER STORM TRAP SYSTEM, CONSTRUCTED IN FOUR (4) 4" LIFTS. REMAINING DEPTH TO STORM SYSTEM TO INCLUDE STABILIZED SUB-GRADE PER DETAIL AT 12"

ASPHALT ROADWAY DETAIL





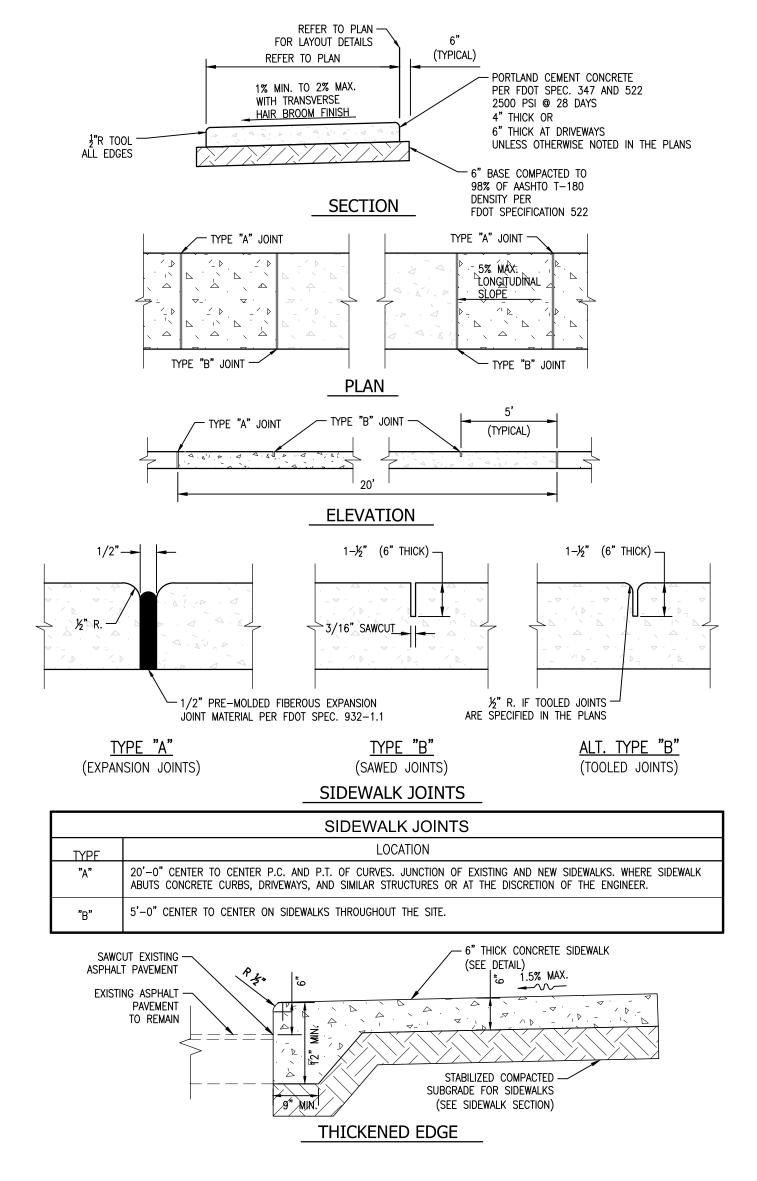


1. ALL CURBS, GUTTERS AND CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD

PLANS INDEX 520-001 AND SPECIFICATION 520.

- 2. CONCRETE SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATION 346 HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- 3. WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE EDGE OF PAVEMENT SHALL MATCH THE LIP OF CURB ELEVATION. THE MINIMUM THICKNESS OF THE LIP SHALL BE 6".
- 4. REFER TO FLEXIBLE PAVEMENT RESTORATION DETAIL G-12.1 FOR BASE AND SUBGRADE MATERIAL AND INSTALLATION SPECIFICATIONS.
- 5. BACKFILL BEHIND CURBS TO 2" BELOW TOP OF CURB TO ALLOW FOR SOD OR AS SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.

CURB AND CURB & GUTTER DETAILS SCALE: N.T.S.



ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS (*)

ACCESSIBLE PARKING SIGN-

RECOMMENDED LOCATION (TYP.)

CONCRETE

STOP

6"x6"x6')

SIDEWALK

9' (TYP.)

DRAWN:

APPROVED: JG

5' (TYP.)

(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)

LANDING

5' (TYP.)

SIDEWALK

r(3) 4" WHITE DIAGONALS

DRAWING NO .:

C-21A

ÉQUALLY SPACED PER

5' (TYP.)

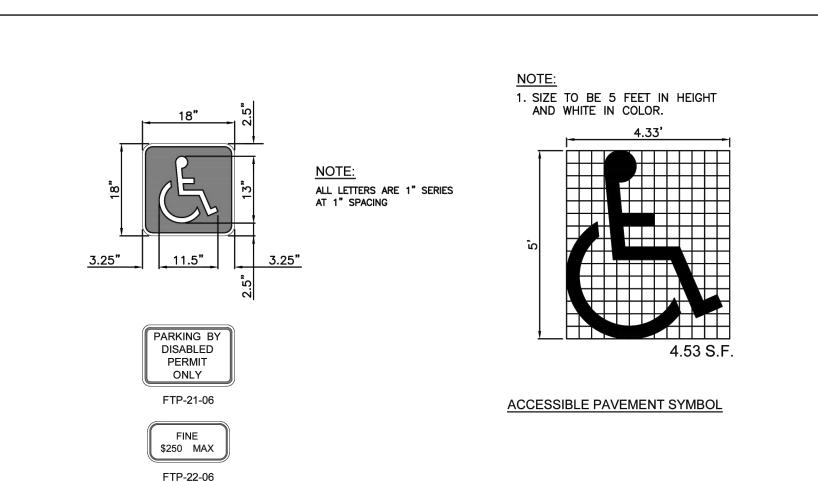
DEPARTMENT OF DEVELOPMENT SERVICES

ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

ACCESSIBLE PARKING SPACE DETAILS

(1 OF 2)





SIGNAGE NOTES:

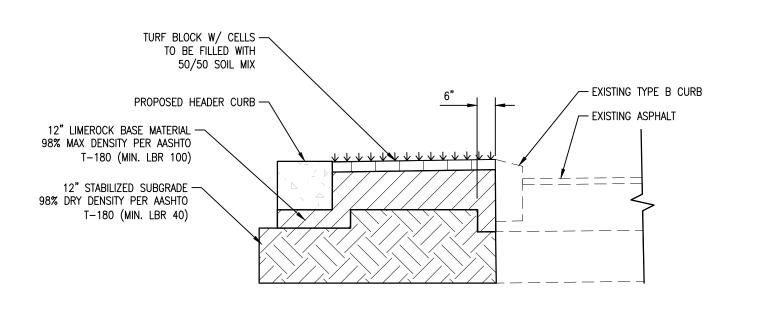
1. FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102. 2. SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

- 1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
- 2. BLUE MARKINGS SHALL BE SHADED. 3. SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING

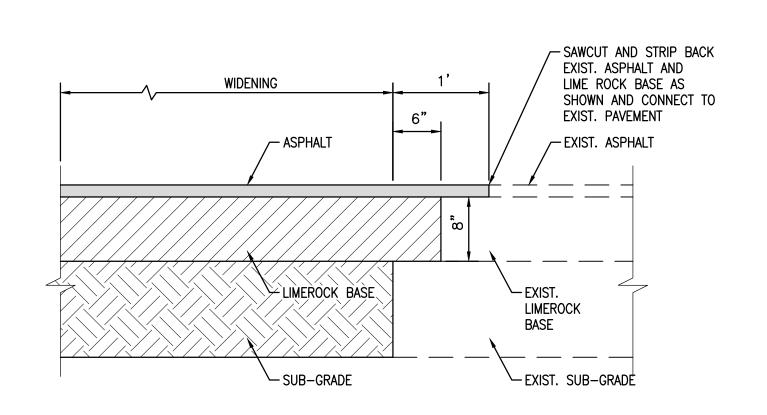
CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE; THEN THE

- SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
- 4. ALL RAMPS, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT. 5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A
- WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING. 6. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS
- FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
- 7. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS. 8. ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

SHE	ISSUED:	MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN:	EG	ACCESSIBLE PARKING SPACE DETAILS	DRAWING NO.:
	APPROVE	D: JG	(2 OF 2)	C-21B



TYPICAL TURF BLOCK AND HEADER **CURB RESTORATION DETAIL** SCALE: N.T.S.



CONNECTION WITH EXISTING PAVEMENT SCALE: N.T.S.

ISSUED FOR CONSTRUCTION ELEVATIONS ARE IN NAVD 88

C11 PAVING, GRADING AND DRAINAGE DETAILS

NOT TO SCALE

ARCHITECT HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

INTERIOR DESIGNER

ORLANDO, FL 32801 CIVIL & LANDSCAPE

CALVIN, GIORDANO & ASSOCIATES 1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

225 EAST ROBINSON ST. SUITE #405

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS 14335 COMMERCE WAY

MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION** TLC ENGINEERING SOLUTIONS, INC.

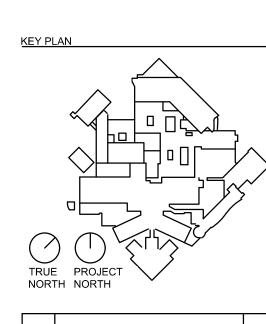
800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441 **TELECOM & EQUIPMENT**

SMITH SECKMAN REID, INC. 2995 SIDCO DRIVE NASHVILLE, TN 37204

OWNER MEMORIAL HEALTHCARE SYSTEM

3501 JOHNSON STREET HOLLYWOOD, FL 33021

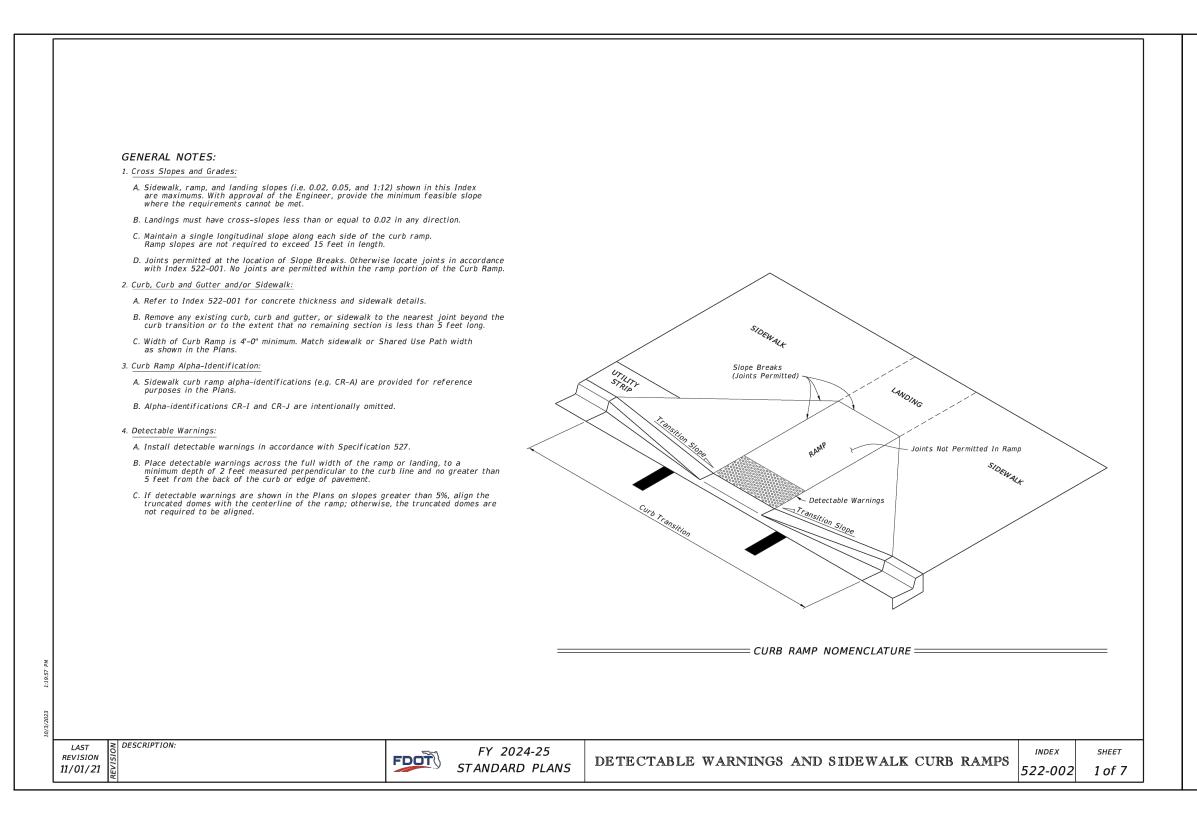


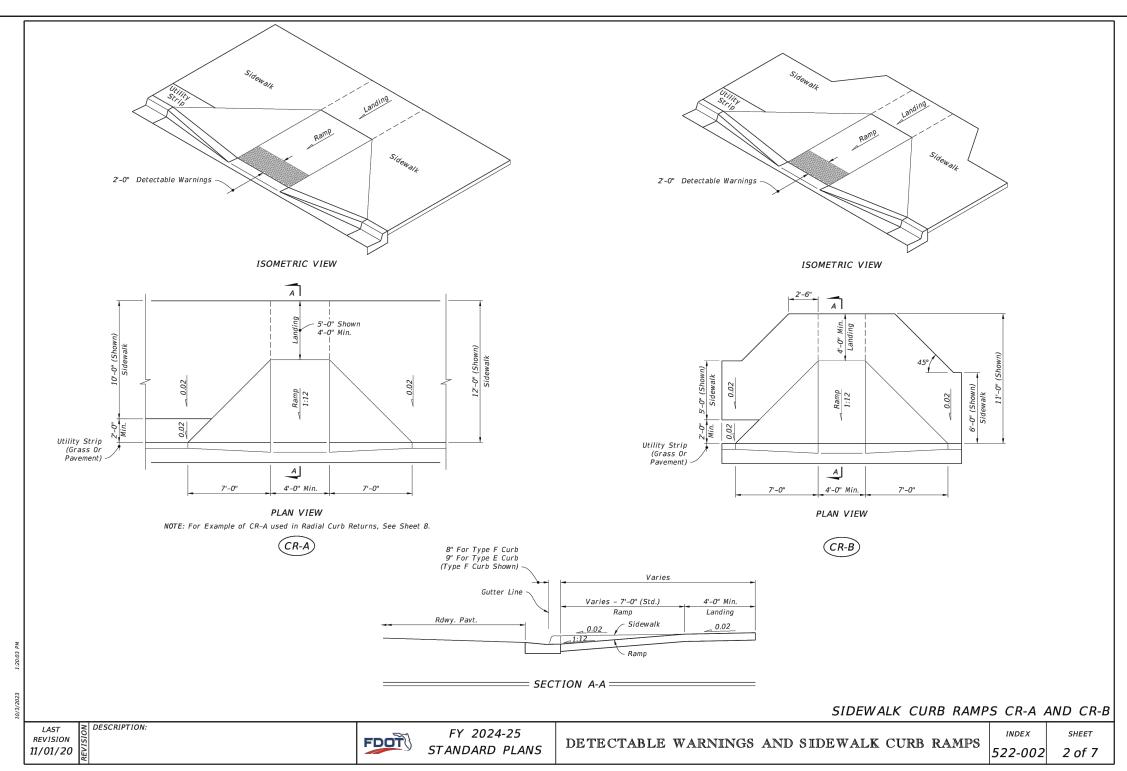


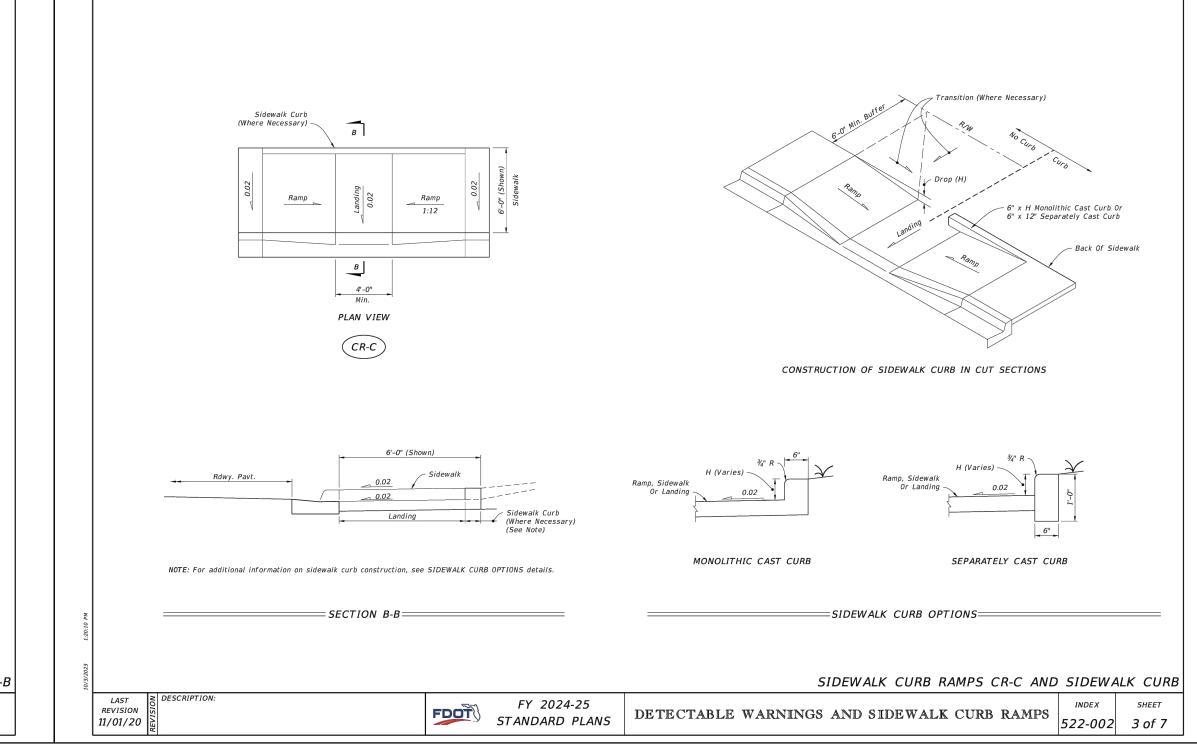
JAMES D. MESSICK, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 70870. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JAMES D. MESSICK ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC

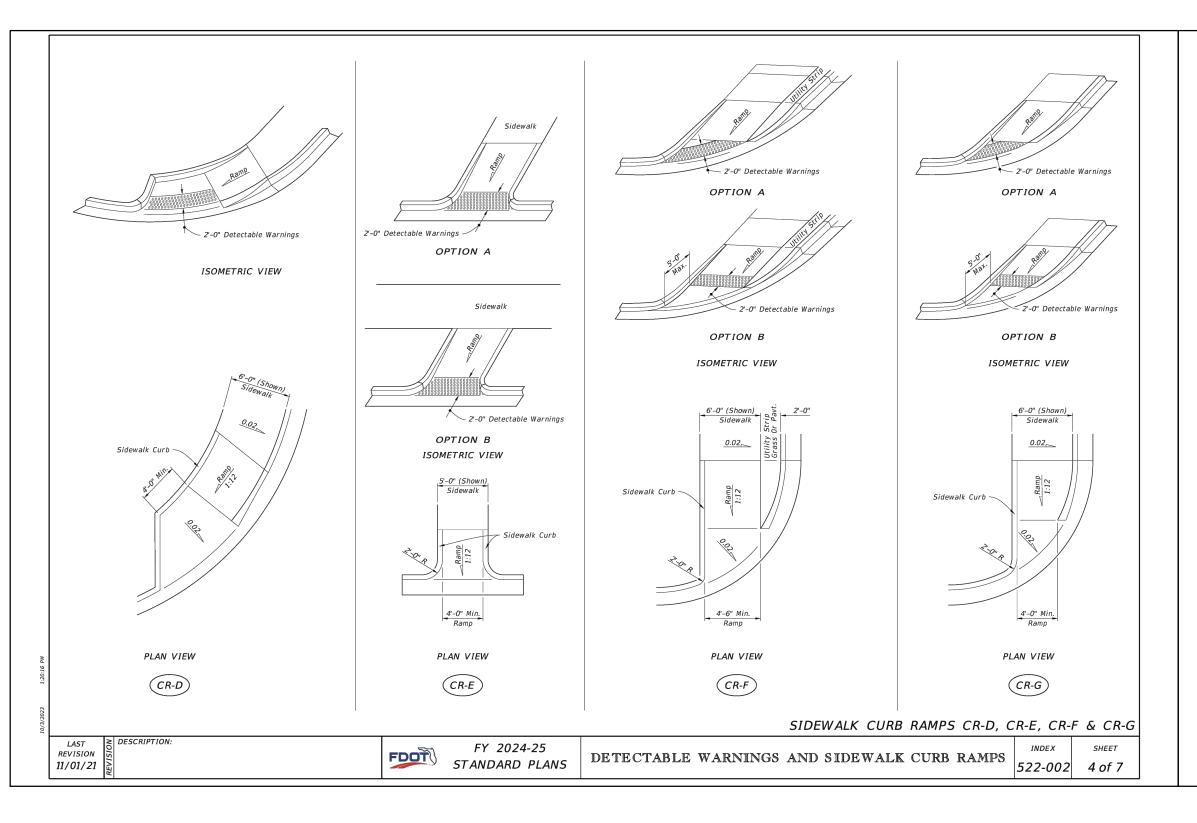
HKS PROJECT NUMBER 23459.000 **NOVEMBER 21, 2024**

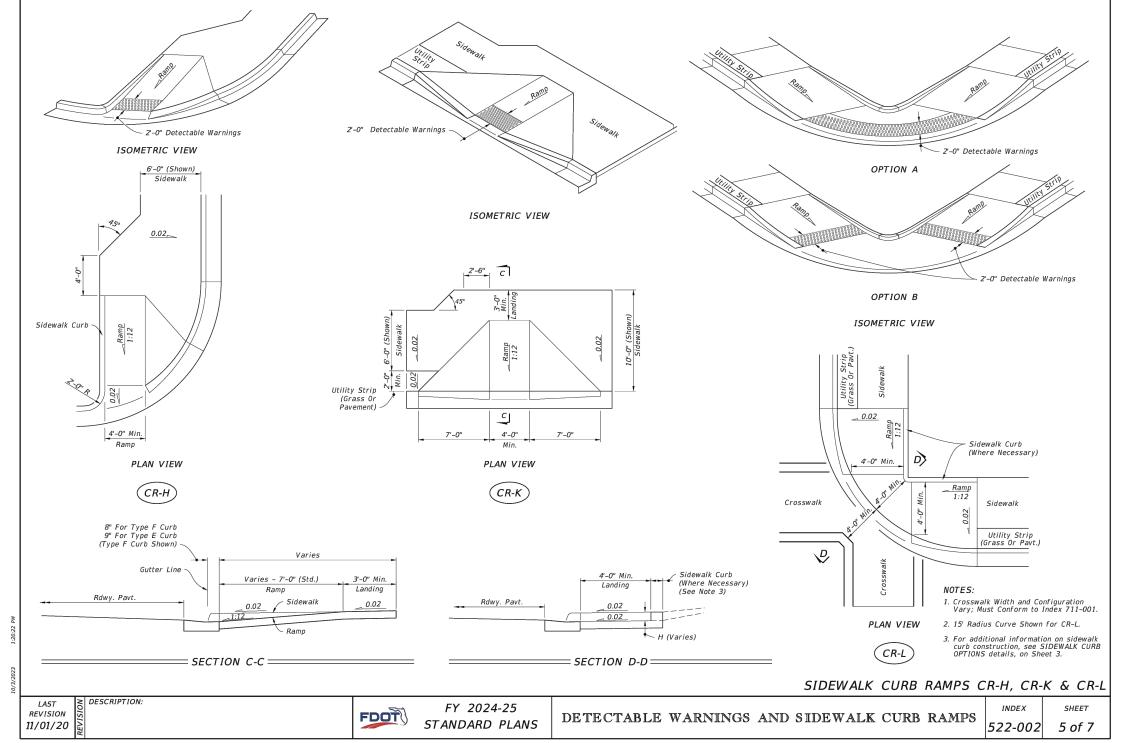
ISSUED FOR CONSTRUCTION PAVING, GRADING AND DRAINAGE DETAILS

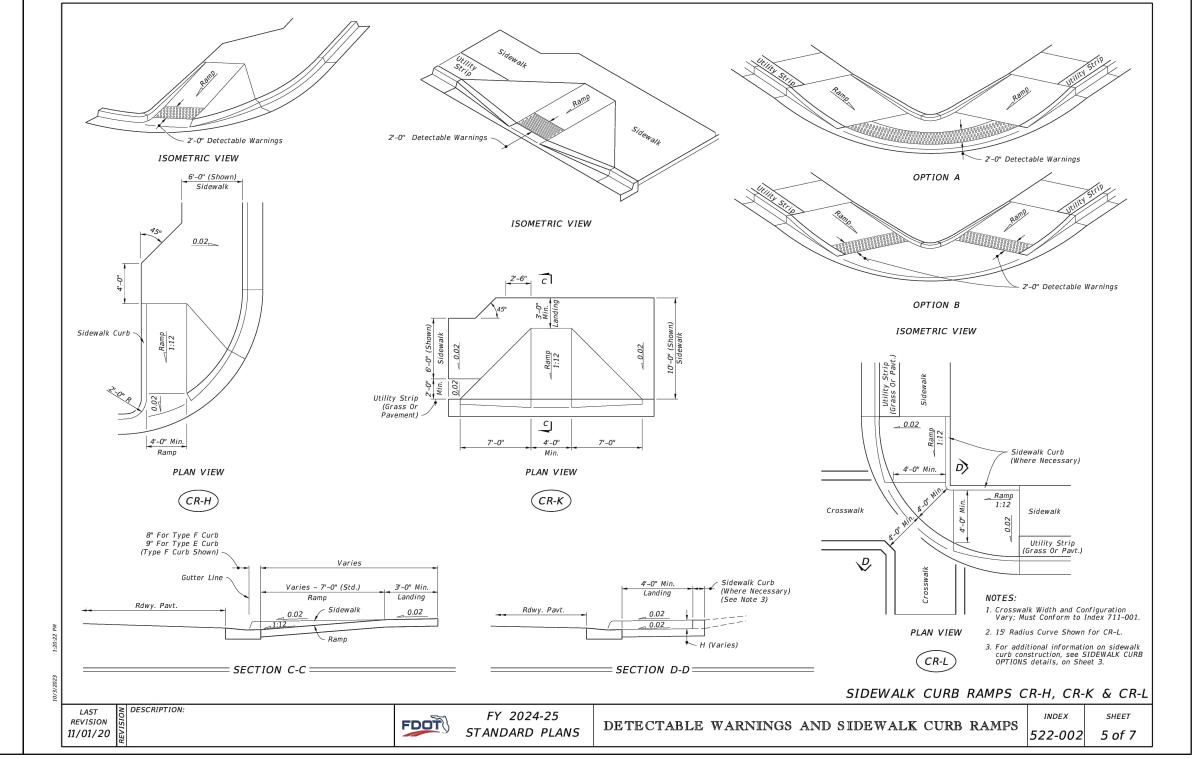


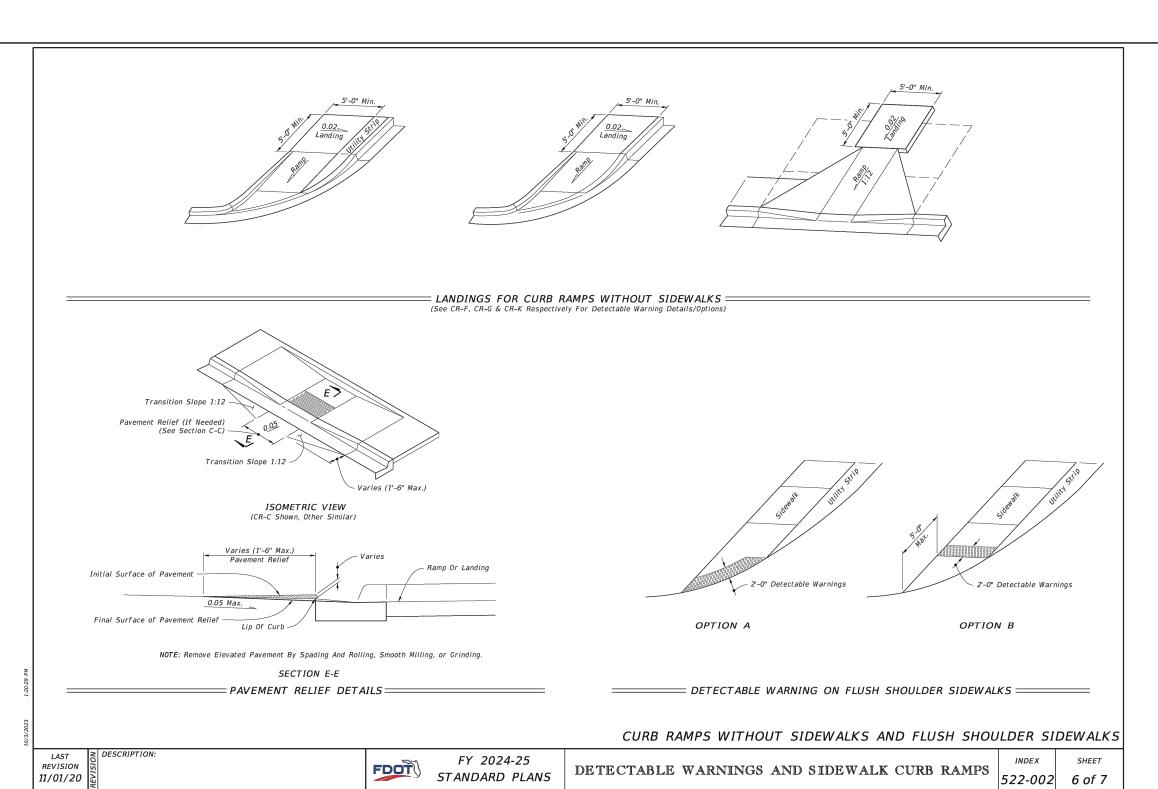


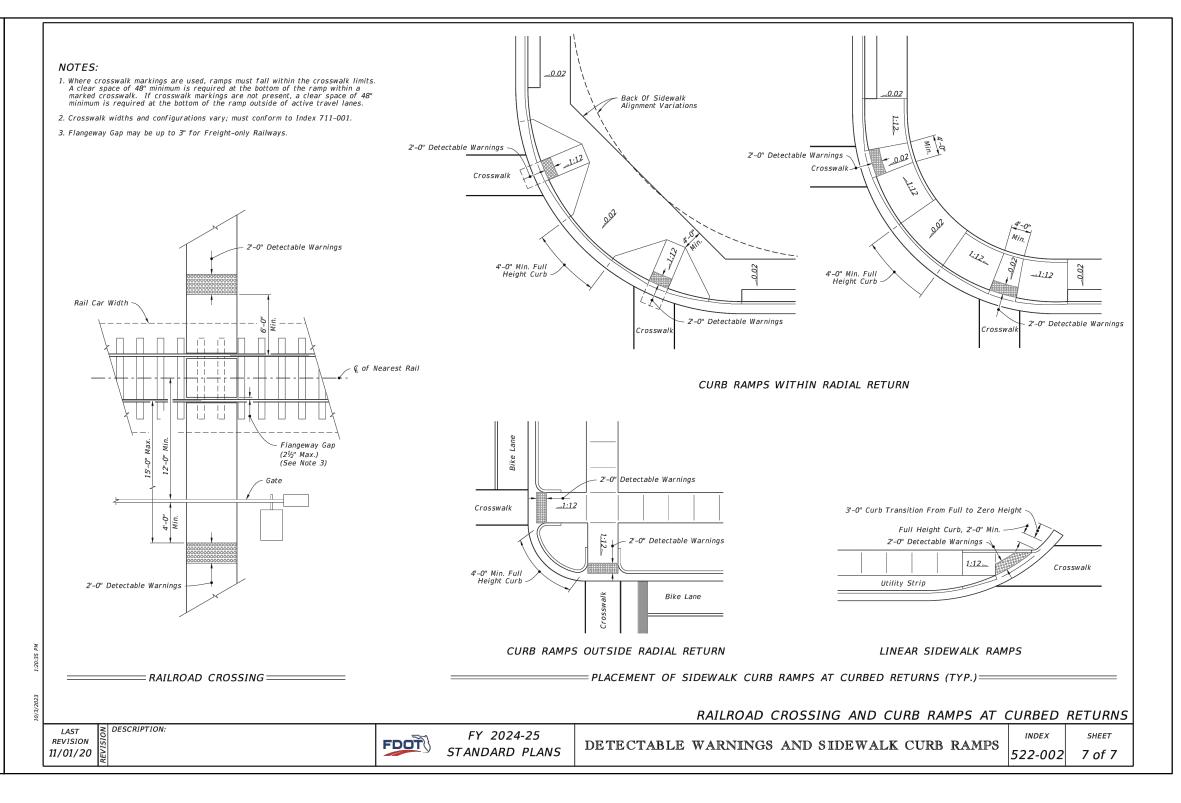












ISSUED FOR CONSTRUCTION **ELEVATIONS ARE IN NAVD 88**

C12 PAVING, GRADING AND DRAINAGE DETAILS

NOT TO SCALE

ARCHITECT

2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

HKS ARCHITECTS, INC.

INTERIOR DESIGNER HKS ARCHITECTS 225 EAST ROBINSON ST. SUITE #405

ORLANDO, FL 32801 CIVIL & LANDSCAPE CALVIN, GIORDANO & ASSOCIATES

1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS 14335 COMMERCE WAY

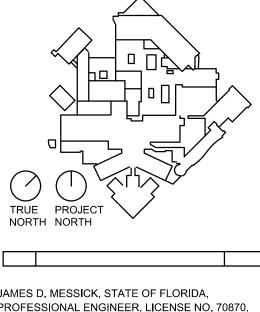
MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION** TLC ENGINEERING SOLUTIONS, INC.

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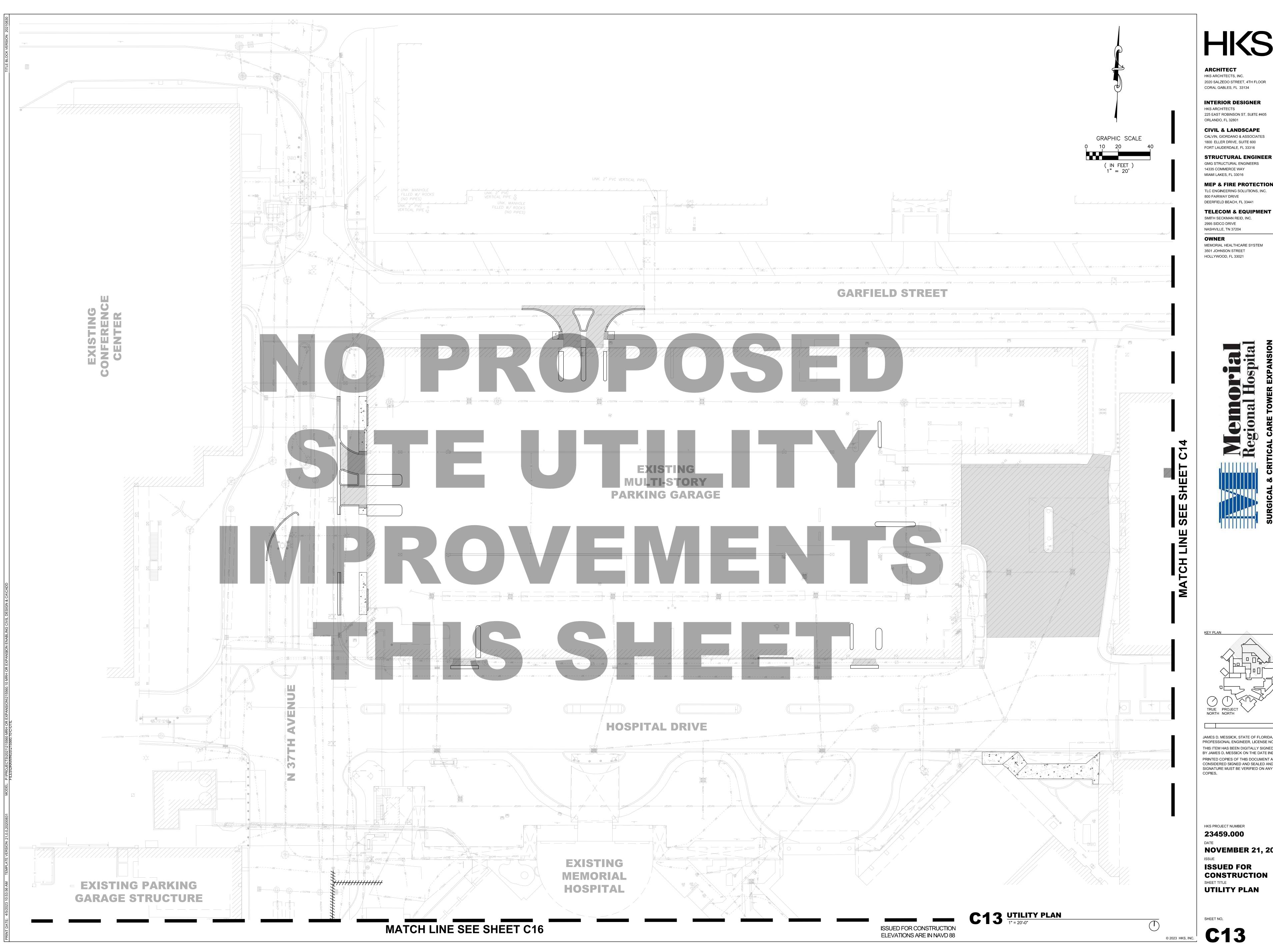
NASHVILLE, TN 37204 **OWNER** MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET

HOLLYWOOD, FL 33021



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2020 SALZEDO STREET, 4TH FLOOR

CORAL GABLES, FL 33134

CIVIL & LANDSCAPE CALVIN, GIORDANO & ASSOCIATES 1800 ELLER DRIVE, SUITE 600

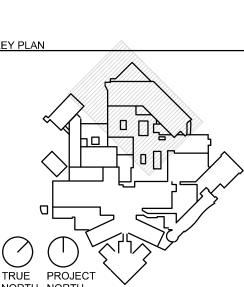
FORT LAUDERDALE, FL 33316

GMG STRUCTURAL ENGINEERS

MEP & FIRE PROTECTION TLC ENGINEERING SOLUTIONS, INC.

DEERFIELD BEACH, FL 33441 **TELECOM & EQUIPMENT**

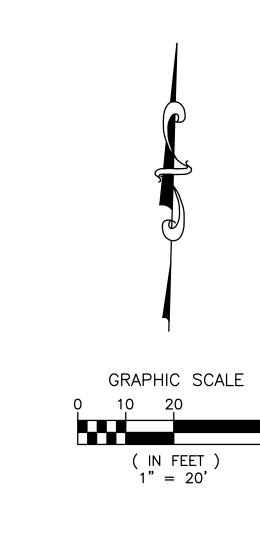
MEMORIAL HEALTHCARE SYSTEM



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NOVEMBER 21, 2024 ISSUED FOR

CONSTRUCTION **UTILITY PLAN**



PROMENTS: THIS SHEET

EXISTING

MOB

EXISTING

MEMORIAL

HOSPITAL

MATCH LINE SEE SHEET C15

ARCHITECT HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

INTERIOR DESIGNER HKS ARCHITECTS

225 EAST ROBINSON ST. SUITE #405 ORLANDO, FL 32801 CIVIL & LANDSCAPE

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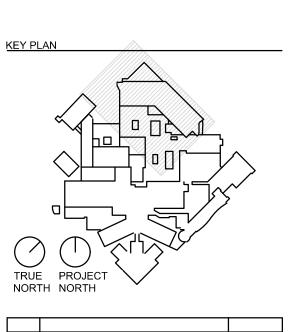
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