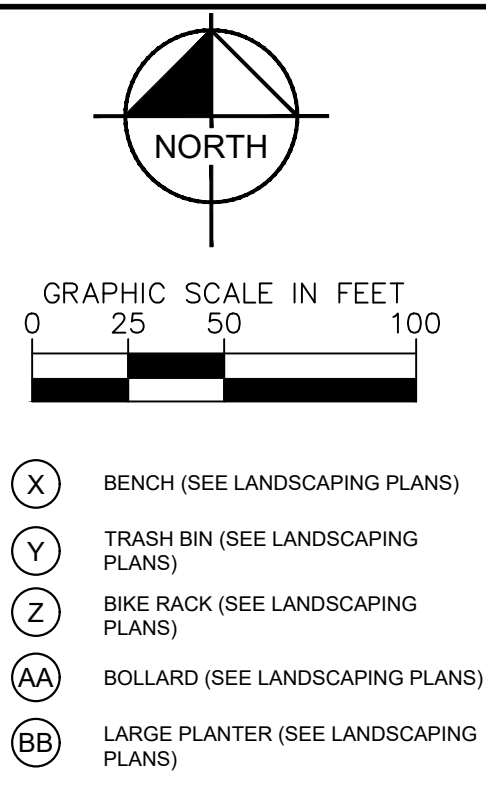


This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Results of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**Exhibit B**

**SITE LEGEND**

- (A) ACCESSIBLE PARKING SPACE (TYP.) (SEE SHEET C-201 FOR DETAIL, WITH ADA SIGN)
- (B) PROPERTY LINE
- (C) CONCRETE TRANSFORMER PAD AND TRANSFORMER. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (D) 6" TYPE 'D' CURB (SEE SHEET C-202 AND SHEET C-206)
- (E) STANDARD DUTY CONCRETE SIDEWALK (5' MIN) (SEE SHEET C-202 AND SHEET C-206)
- (F) FDOT CURB RAMP TYPE CR-E INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (G) PROPOSED OR EXISTING FIRE HYDRANTS
- (H) COMPACTOR (SEE SHEET C-201)
- (I) WATER/FIRE EQUIPMENT
- (J) LOADING DOCK (SEE ARCH PLANS)
- (K) EXISTING FENCE TO REMAIN
- (L) EXISTING ACCESS EASEMENT
- (M) PEDESTRIAN PLAZA (SEE SHEET L-301 AND BLOW UP BELOW)
- (N) DETECTABLE WARNING PER FDOT INDEX 522-002 (SEE SHEET C-201)
- (O) GAS METER (SEE ARCH. PLANS)
- (P) ASPHALT DRIVEWAY (SEE SHEET C-350 AND DETAIL C-20 ON SHEET C-202)
- (Q) PROPOSED BOLLARDS (SEE SHEET C-201)
- (R) FDOT CURB RAMP TYPE CR-F INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (S) FDOT CURB RAMP TYPE CR-A INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (T) EXISTING FREEWAY SIGN TO REMAIN (LONG TERM LEASE WITH OWNER/SIGN COMPANY)
- (U) 6" TYPE 'F' CURB AND GUTTER (SEE DETAIL C-26 ON SHEET C-202)
- (V) PROPOSED MONUMENT SIGN (SIGN WILL BE UP TO MAXIMUM ALLOWED BY CODE. DESIGN WILL BE SUBMITTED WITH PERMIT APPLICATION)
- (W) FDOT CURB RAMP TYPE CR-C INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)



- (X) BENCH (SEE LANDSCAPING PLANS)
- (Y) TRASH BIN (SEE LANDSCAPING PLANS)
- (Z) BIKE RACK (SEE LANDSCAPING PLANS)
- (AA) BOLLARD (SEE LANDSCAPING PLANS)
- (BB) LARGE PLANTER (SEE LANDSCAPING PLANS)

**MAIL DELIVERY NOTE**

MAIL DELIVERY WILL BE INSIDE STORE

**SITE LIGHTING CONFORMANCE NOTE**

THE LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).

**GREEN ORDINANCE NOTE**

FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.

**MECHANICAL EQUIPMENT NOTE**

ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.

**PHASING INFORMATION**

SITE WILL BE CONSTRUCTED WITH PAD FOR BUILDING. BUILDING WILL BE CONSTRUCTED AFTER SITE IS CLOSE TO COMPLETE AND SIGNED OFF.

**SITE PLAN APPROVAL NOTE**

CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

**ADA NOTE**

ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

NOTES:  
- ALL CURB RADI ARE 9" ON ALL LANDSCAPING ISLANDS UNLESS OTHERWISE NOTED.  
- SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB
- EXISTING EASEMENTS
- PROPOSED CURB AND GUTTER
- STANDARD DUTY PAVEMENT
- HEAVY DUTY ASPHALT
- VISIBILITY TRIANGLE (12X12)
- ADA DETECTABLE WARNING
- PROPOSED LIGHT POLES (SEE SHEET SL200)
- EXISTING SIDEWALK
- PROPOSED SIDEWALK (STANDARD GREY CONCRETE WITH BROOM FINISH)
- 6X9, 3 1/8" CROSSWALK VEHICULAR PAVERS FROM BELGARD PATTERN: HERRINGBONE
- 12X6, 2 3/8" PEDESTRIAN PAVERS FROM BELGARD PATTERN 1/2 RUNNING BOND

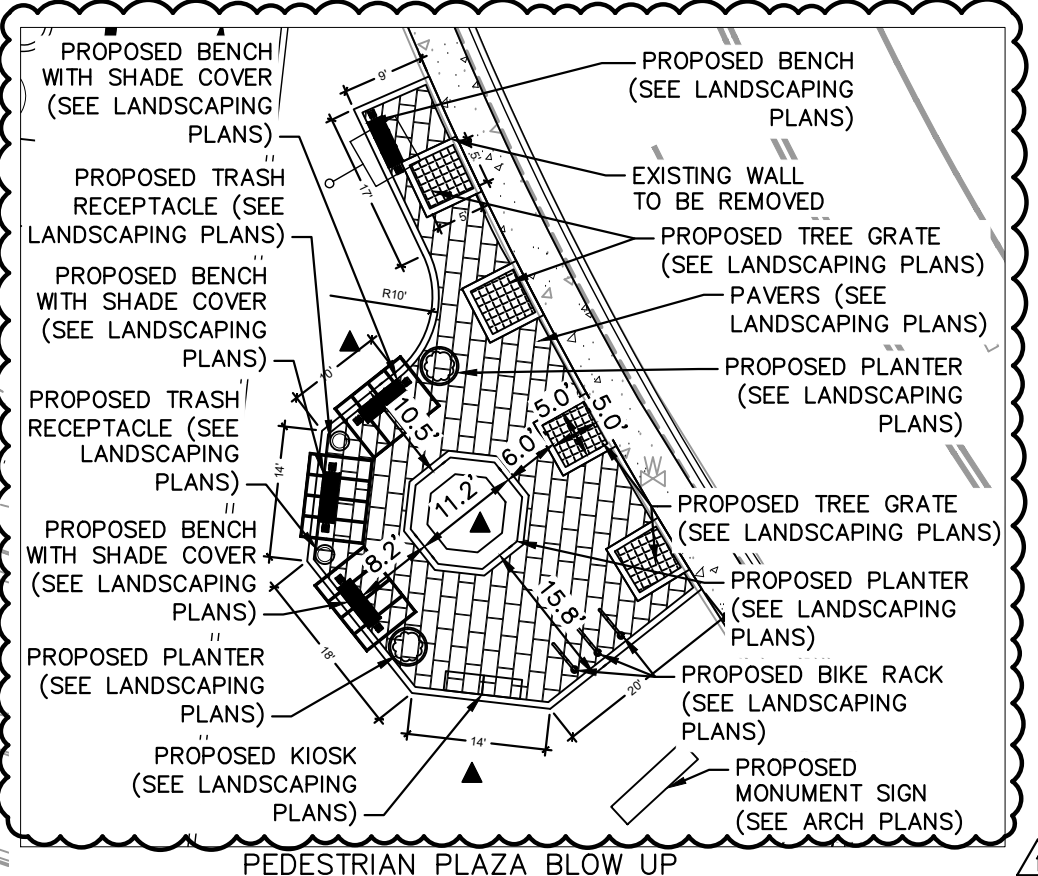
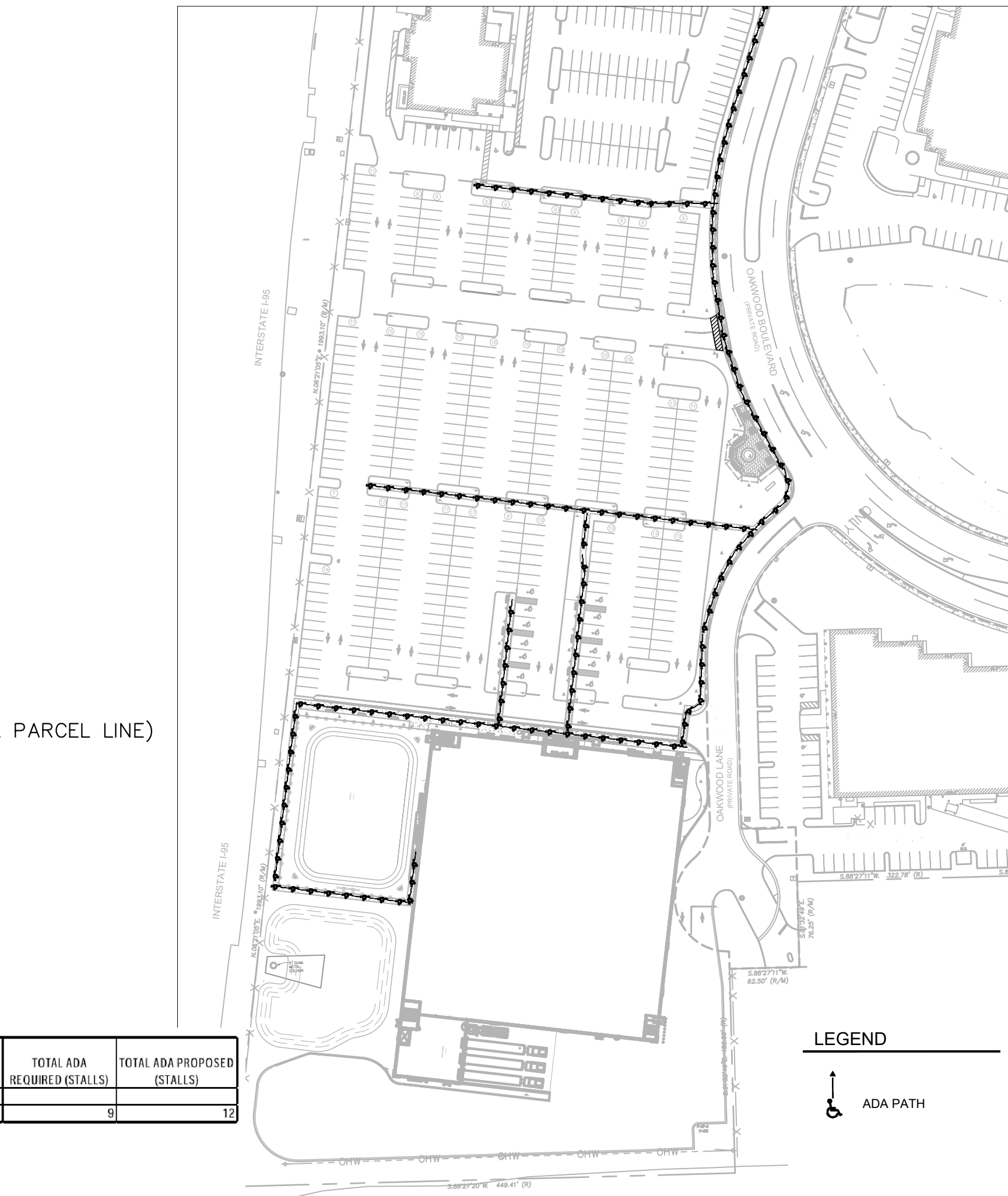
**LEGAL DISCRPTION**

(LUPA SOUTH):

A PARCEL OF LAND BEING A PORTION OF TRACT "E", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE S.88°27'20"W, ALONG THE SOUTH LINE OF SAID TRACT "E"; A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.88°27'20"W, ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "E"; SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95; THENCE N.06°21'05"E, ALONG THE WEST LINE OF SAID TRACT "E" AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 1993.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT "E"; SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE N.88°32'24"E, ALONG THE NORTH LINE OF SAID TRACT "E"; AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FEET TO THE NORTHEAST CORNER OF SAID TRACT "E"; SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL; THENCE S.11°34'01"W, ALONG SAID EAST LINE OF SAID TRACT "E" AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FEET; THENCE S.88°27'11"W, A DISTANCE OF 322.78 FEET; THENCE S.01°32'49"E, A DISTANCE OF 76.25 FEET; THENCE S.88°27'11"W, A DISTANCE OF 62.50 FEET; THENCE S.01°32'49"E, A DISTANCE OF 182.50 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**



**SITE DATA (WORK AREA)**

PROJECT DESCRIPTION:  
 PARCEL ID: 514204120620 & 514204120627  
 LOCATION: HOLLYWOOD, FL  
 ADDRESS: 2800 OAKWOOD BLVD HOLLYWOOD FL 33020  
 LAND USE: OAKWOOD ACTIVITY CENTER  
 ZONING DISTRICT: OAKWOOD PLAZA PD  
 FLOOD ZONE: ZONE AE AND ZONE X  
 SITE AREA:

<b>SITE COVERAGE:</b>	PROVIDED	
BUILDING AREA:	1.71 A.C.	
OPEN SPACE:	1.54 A.C.	
IMPERVIOUS AREA:	5.06 A.C.	
TOTAL:	8.20 A.C.	357,100 S.F.

<b>BUILDING SETBACKS:</b>	REQUIRED	PROVIDED
EAST:	0	57.9'
SOUTH:	0	81.1'
WEST:	0	131.2'
NORTH:	0	N/A (INTERNAL PARCEL LINE)

<b>LANDSCAPE BUFFERS:</b>	REQUIRED	PROVIDED
NORTH (FRONT):	0	0
EAST (SIDE):	0	1.0'
SOUTH (REAR):	0	21.3'
WEST (SIDE):	0	5.3'

<b>BUILDING HEIGHT:</b>	MAXIMUM	PROVIDED
	300'	64'
<b>BUILDING STORIES:</b>		2

**PARKING SUMMARY:**

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATION PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING REMOVED WITH DEMOLITION (STALLS)	PARKING SURPLUS (STALLS)	TOTAL ADA REQUIRED (STALLS)	TOTAL ADA PROPOSED (STALLS)
OAKWOOD PLAZA SOUTH (CURRENT)	317,922	2,024	6.37	1,113	N/A	911		
PROPOSED RETAIL SHOPPING CENTER	120,000	398	N/A	420	667		9	13

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATION PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING SURPLUS (STALLS)
OAKWOOD PLAZA SOUTH AT PROJECT COMPLETION	437,922	1,755	4.01	1,533	222

NOTE: OAKWOOD PLAZA PD GUIDELINES ALLOWS SHARED PARKING IN SHOPPING CENTER

NO.	REVISIONS	DATE	BY
1		9/3/2024	SHB
2			
3			
4			
5			

**Kimley»Horn**  
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 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM  
 REGISTRY NO. 35106

**GREGORY D. WILFONG**  
 No. 63166  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

KHA PROJECT	147507151
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

**SITE PLAN**

**OAKWOOD SOUTH RETAIL SHOPPING CENTER**

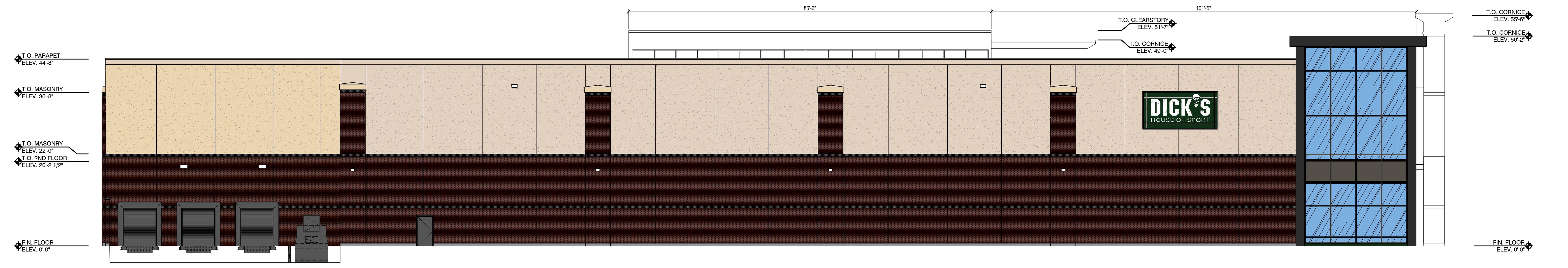
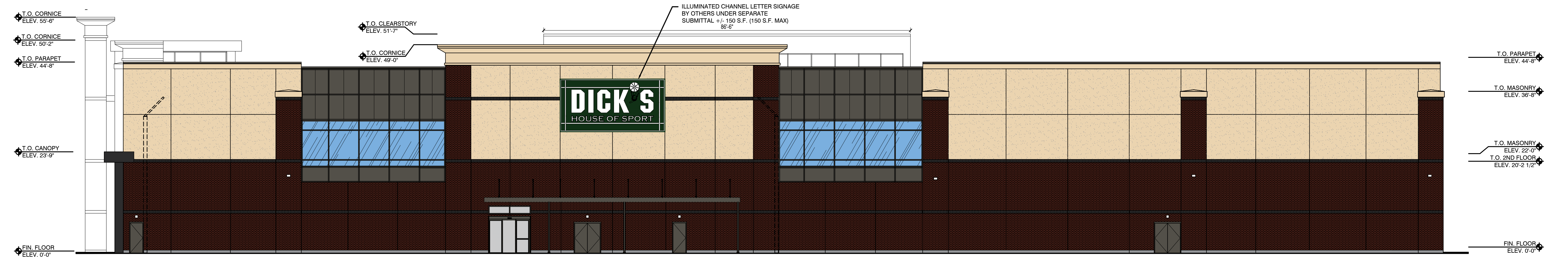
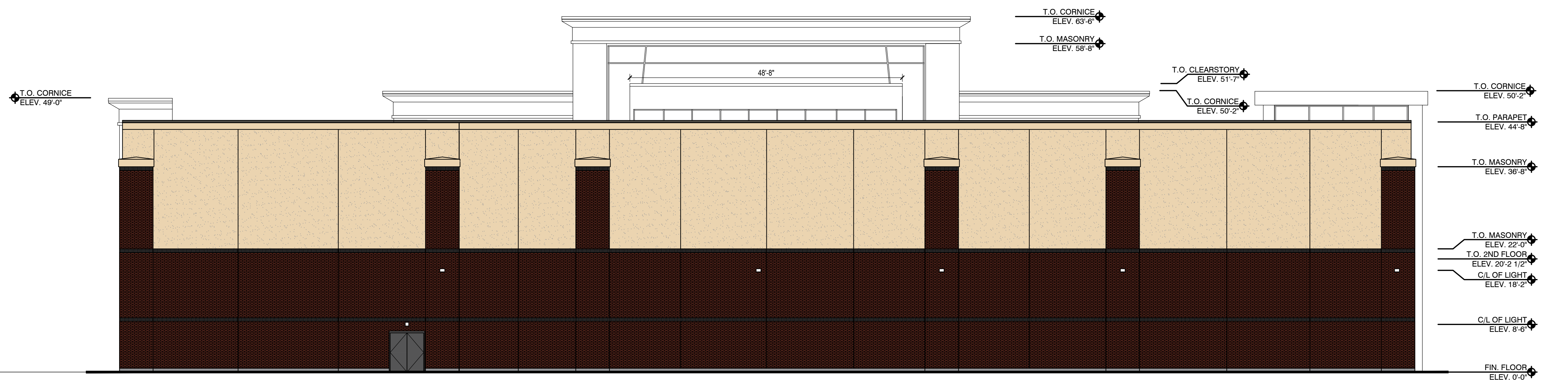
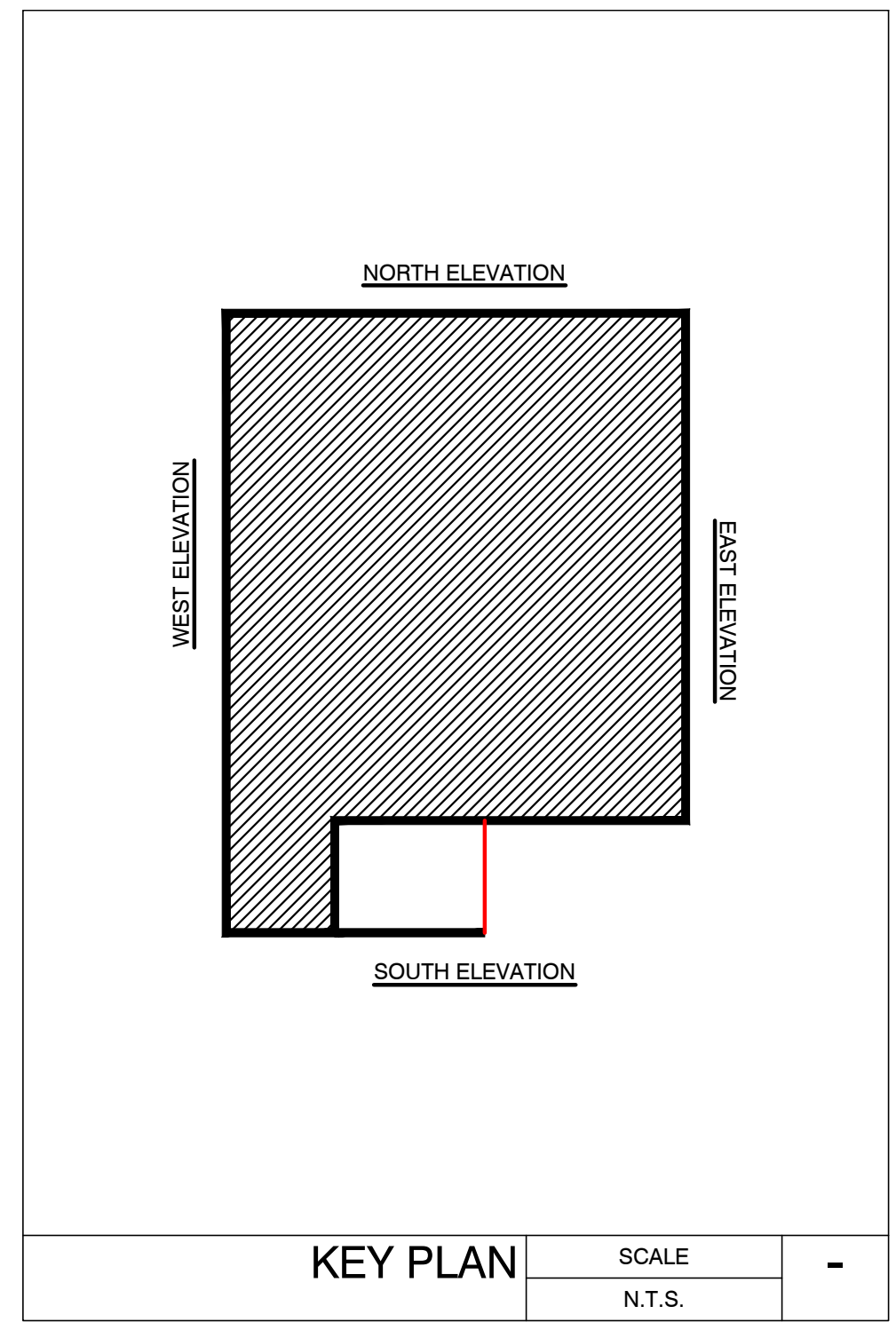
SHEET NUMBER  
**C-200**

ADA PATH  
1" = 100'

Exhibit B

- T.O. CORNICE ELEV. 63'-0"
- T.O. MASONRY ELEV. 58'-8"
- T.O. ENTRY FEATURE ELEV. 58'-4"

ILLUMINATED CHANNEL LETTER SIGNAGE BY OTHERS UNDER SEPARATE SUBMITTAL +/- 272 S.F. (300 S.F. MAX)



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**SELF-DEVELOPED STORES**  
 All work, materials, and systems shown in these plans and specifications, including all referenced national accounts, is the sole responsibility of the General Contractor to purchase, schedule, and install complete as shown and referenced. The Tenant (Dick's Sporting Goods) has no scope of work and/or responsibility shown in these plans and/or specifications.

**DICK'S HOUSE OF SPORT**  
 OAKWOOD SOUTH RETAIL SHOPPING CENTER  
 2800 OAKWOOD BLVD.  
 HOLLYWOOD, FL 33020

PROJECT NUMBER:	1640
DATE:	11/20/24
NO. ISSUE	DATE

DRAWING: COLOR ARCHITECTURAL ELEVATIONS

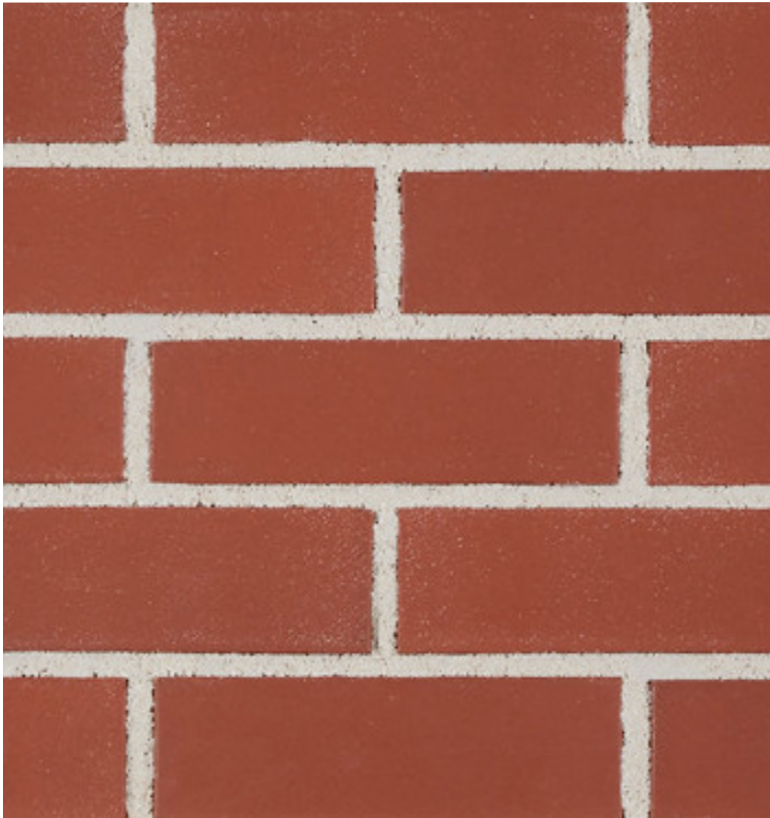
SHEET NUMBER: **A6.1**



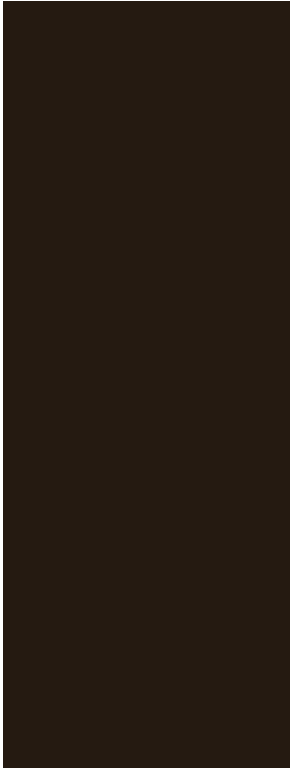
**EIFS-1**  
1 1/2" exterior insulation finish system used above BRK-2.  
Dryvit, #449 Buckskin, Sandpebble Fine



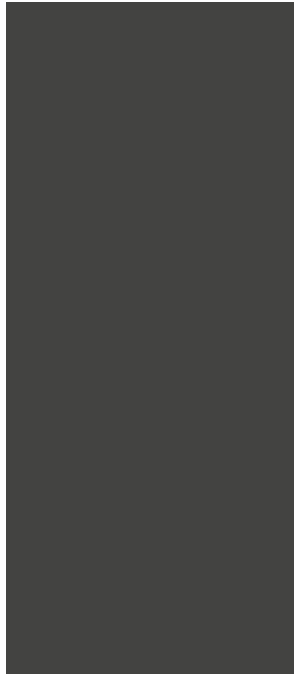
**BRK-2**  
1/2" modular thin brick used for coursing between and above BRK-1.  
Belden Brick, Black Diamond Velour  
Mortar: Spec Mix SM800 'Black'



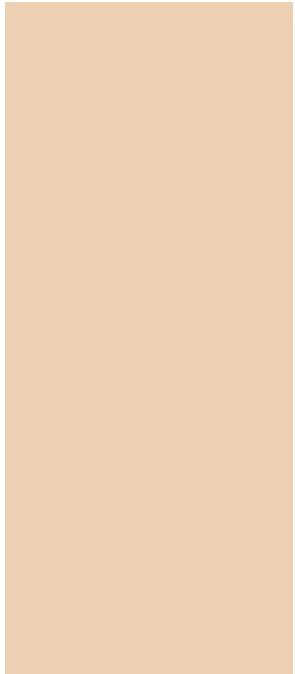
**BRK-1**  
1/2" modular thin brick used on exterior walls and pilasters.  
Belden Brick, Red Smooth #503-505  
Mortar: Spec Mix SM250 'Antique White'



**GLAZ-1**  
Exterior curtain wall system.  
Color: match Kawneer Dark Bronze



**PAINT-1**  
Exterior paint used on egress doors and frames.  
Color: SW7069 Iron Ore, Satin



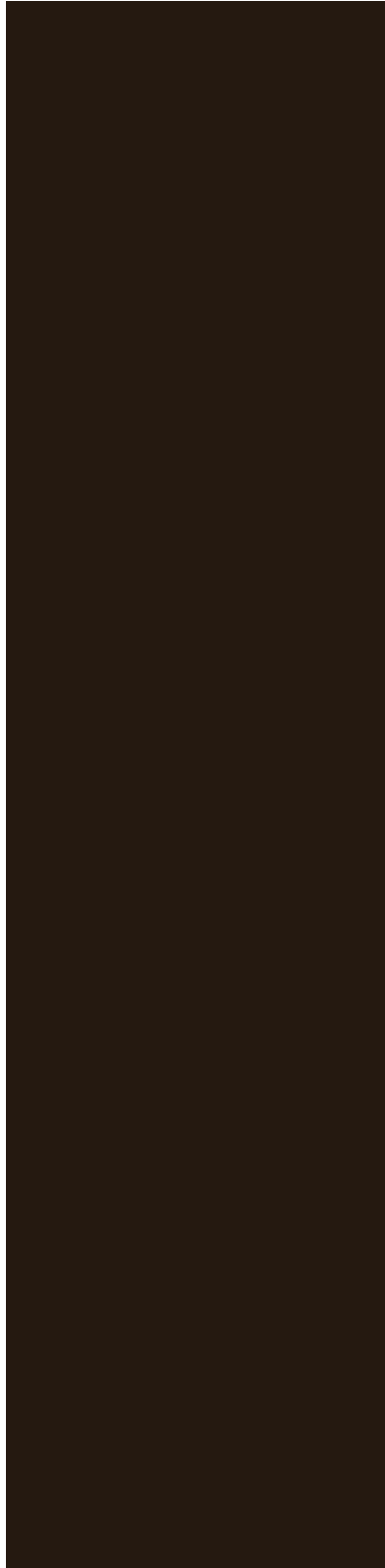
**CAP-1**  
Column capital supplied by vendor.  
Color: SW0028 Caen Stone



**SPANDREL GLASS**  
Coated spandrel glass may be used in place of ACM-3.  
Color: Black



**ACM-1**  
Rainscreen Metal Panel System used on entry structure and entry vestibule.  
Citadel, match Kawneer Hartford Green



**ACM-3**  
Anodized metal panels used above glazing.  
Alpolic, match Kawneer Dark Bronze