

# **Planning and Development Board**

**Tuesday, October 14, 2025**

**6:00 PM**

## **City of Hollywood**



Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

**Room 219**



Thank you for demonstrating an interest in the City of Hollywood Planning and Development Board Meeting. The public may view the meeting either in person, virtually <http://hollywoodfl.org/calendar> or on channel 78 for Comcast, channel 99 for AT&T U-Verse.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

**In-person:**

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board's Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

**Virtually:**

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: [cip@hollywoodfl.org](mailto:cip@hollywoodfl.org). For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at [planningdivision@hollywoodfl.org](mailto:planningdivision@hollywoodfl.org).

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.



**A. Administration**

1. Pledge of Allegiance
2. Roll Call
3. Approval of the Previous Meeting Minutes

**Attachments:** [2025\\_0909\\_Minutes\\_Draft\\_PDB](#)

4. Additions, Deletions, Withdrawals, and Continuances
5. City Attorney Announcements

**B. Applications****ITEMS # 1 BELOW IS CONSIDERED QUASI-JUDICIAL****C. Old Business**[1. 2025\\_1014](#)

**FILE NO.:** 23-DP-06b

**APPLICANT:** Taco Bell of America/Gator 441, Inc.

**LOCATION:** 2640 N State Road 7

**REQUEST:** A request for an amendment to the conditions of a previously approved Site Plan petition for a restaurant use.

**Attachments:** [2306b\\_PDB\\_Staff\\_Report\\_2025\\_1014](#)  
[Attachment A - Combined Application Package](#)  
[Attachment B - Land Use & Zoning Map](#)  
[Attachment C - Previous Staff Report & Package](#)

**D. New Business**

1. Review of projects before the Development Review Committee
2. Summary of the City Commission Actions
3. 2026-2027 Board Calendar Review

**E. Adjournment**

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: [cip@hollywoodfl.org](mailto:cip@hollywoodfl.org). If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).





# City of Hollywood

## Staff Summary

Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

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**Agenda Date:** 10/14/2025

**Agenda Number:**

**To:** Planning and Development Board

**Title:**

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## SUMMARY OF THE MINUTES PLANNING AND DEVELOPMENT BOARD

CITY OF HOLLYWOOD  
2600 HOLLYWOOD BOULEVARD  
HOLLYWOOD, FLORIDA 33020

### A. ADMINISTRATIONS

1. Pledge of Allegiance
2. Roll Call

The meeting of the Planning and Development Board was called to order by Board Chair, Joseph Stadlen on Tuesday, **September 9, 2025 at 6:53 PM** in Room 219, 2600 Hollywood Blvd., Hollywood, Florida, with the following members present:

Odalys Delgado  
Joseph Stadlen  
Bob Glickman  
Tara Jafarmadar

Richard Blattner  
Steven Morales  
Christine Corbo

The following members were absent from the meeting:

Mena Morgan

Robert Vargas

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett  
Anand Balram  
Carmen Diaz  
Umar Javed  
Urja Modi  
Stephanie Rivera  
Shira Ridley-Risk

Director of Development Services  
Assistant Director / Chief Planner  
Planner III  
Planner II  
Planner I  
Development Review Coordinator  
Administrative Assistant II

Also Present:

Deena Kapp  
Alicia Lewis

Assistant City Attorney (Board Attorney)  
Outside Counsel (Staff Attorney)

3. Approval of the Meeting Minutes

August 12, 2025 - approved.



**MOTION WAS MADE BY CHRISTINE CORBO AND SECONDED BY STEVEN MORALES TO APPROVE THE AUGUST 12, 2025 MINUTES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.**

4. Additions, Deletions, Withdrawals, and Continuances

None.

5. City Attorney Announcements

Deena Kapp read the City Attorney's proceedings.

**B. APPLICATIONS**

**ITEMS #1-5 BELOW ARE CONSIDERED QUASI-JUDICIAL:**

**Items #1 & 2 below were heard together as they were companion items:**

1. **FILE NO.:** 24-DPV-31b  
**APPLICANT:** Oakwood Plaza LP  
**LOCATION:** 2800 Oakwood Boulevard  
**REQUEST:** Recommendation for a variance to permit the reduction of setbacks for internal and external public rights-of-ways within the Planned Development (PD) zoning district, amending the Oakwood Master Development Plan Ordinance O-2023-09.
2. **FILE NO.:** 25-SV-57  
**APPLICANT:** Westover Hollywood LLC. c/o Animesh Ravani  
**LOCATION:** 6190 Hollywood Boulevard  
**REQUEST:** Design and Site Plan request for a 280-unit multi-family residential building of approximately 233,738 square feet and 8 stories (92 feet) and associated parking garage in a Planned Development (PD) Zoning District within the Oakwood Activity Center.

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Umar Javed, Planner II, presented both items and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

**MOTION WAS MADE BY ODALYS DELGADO AND SECONDED BY RICHARD BLATTNER TO APPROVE VARIANCE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY TARA JAFARMADAR AND SECONDED BY STEVEN MORALES TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY ODALYS DELGADO AND SECONDED BY**



**STEVEN MORALES TO APPROVE THE SITE PLAN WITH STAFF CONDITIONS FROM NUMBER #1-6.  
MOTION PASSED UNANIMOUSLY BY VOICE VOTE.**

- 3. FILE NO.:** 25-DP-02  
**APPLICANT:** HTG Paramount LTD  
**LOCATION:** 826 S Dixie Highway  
**REQUEST:** Design and Site Plan request for an 8 story (95 feet) senior housing development with 96 units in a DH-3 Zoning District within the Regional Activity Center.

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Umar Javed, Planner II, presented the item and answered questions from the board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

**MOTION WAS MADE BY CHRISTINE CORBO AND SECONDED BY ODALYS DELGADO TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY STEVEN MORALES AND SECONDED BY ODALYS DELGADO TO APPROVE THE SITE PLAN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.**

Deena Kap, Assistant City Attorney, made the request to the Board Chair to modify the sequence of items presented to better accommodate members of the public, in attendance, which was accepted by the Chair.

- 6. FILE NO.:** 25-L-15  
**APPLICANT:** Sea Air Owner, LLC.  
**LOCATION:** 3726 S. Ocean Drive  
**REQUEST:** Amendment to the City's Future Land Use Map to change the land use designation of 2.03 acres of land from Medium High Residential 25 (MHRES) to Diplomat Activity Center designation.

Deena Kap, Assistant City Attorney, advised the Board that land use matters are not quasi-judicial in nature.

Carmen Diaz, Planner III, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. Barry Sharpe, Deborah Franco, Zina Rothman, Jo-Ann Taylor, Anna Reed, Bobby Hammer, Craig Applebaum on behalf of Hallmark of Hollywood Condo and Sea Air Tower Condo and Carol Delorme from the public, commented on this



item. Carol Delorme provided copies of an email memorandum distributed to the Mayor and Members of City Commissioners. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

**MOTION WAS MADE BY STEVEN MORALES TO APPROVE WITH CONDITIONS TO BE MODIFIED BEFORE SECOND READING. MOTION PASSED FOUR TO THREE IN FAVOR. TARA JAFAMADAR, RICHARD BLATTNER AND BOB GLICKMAN VOTED NOT IN FAVOR OF THE MOTION.**

- 4. FILE NO.:** 23-DP-52  
**APPLICANT:** Las Villas JDL LLC.  
**LOCATION:** 1807-1809 Madison Street  
**REQUEST:** Design and Site Plan for an eight-story mixed-use development consisting of 44 residential units and approximately 1,500 square feet commercial space in the FH-2 zoning district within the Regional Activity Center (Parkside Vue – 1807-1809 Madison Street).

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planner III, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

**MOTION WAS MADE BY STEVEN MORALES AND SECONDED BY ODALYS DELGADO TO APPROVE DESIGN AND SITE PLAN WITH STAFF CONDITIONS AND ADDITIONAL CONDITIONS PROVIDED BY THE BOARD. MOTION PASSED UNANIMOUSLY BY VOICE VOTE**

- 5. FILE NO.:** 21-D-54a  
**APPLICANT:** Atla Hollywood LLC.  
**LOCATION:** 401 N Federal Highway  
**REQUEST:** Design review for modifications to the facades of an approved mixed-use development (Alta Hollywood).

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Urja Modi, Planner I, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.



**MOTION WAS MADE BY STEVEN MORALES AND SECONDED BY TARA JAFARMADAR TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.**

**C. OLD BUSINESS**

**D. NEW BUSINESS**

**E. ADJOURNMENT**

The meeting was adjourned at 9:18 P.M.

DRAFT





# City of Hollywood

## Staff Summary

Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

**File Number: 1. 2025\_1014**

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<b>Agenda Date:</b>	10/14/2025	<b>Agenda Number:</b>
<b>To:</b>	Planning and Development Board	
<b>Title:</b>	FILE NO.: 23-DP-06b APPLICANT: Taco Bell of America/Gator 441, Inc. LOCATION: 2640 N State Road 7 REQUEST: A request for an amendment to the conditions of a previously approved Site Plan petition for a restaurant use.	

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**CITY OF HOLLYWOOD, FLORIDA  
DEPARTMENT OF DEVELOPMENT SERVICES  
PLANNING DIVISION**

**DATE:** October 14, 2025 **FILE:** 23-DP-06b

**TO:** Planning and Development Board

**VIA:** Anand Balram, Assistant Director/Chief Planner

**FROM:** Urja Modi, Planner I

**SUBJECT:** Taco Bell of America/Gator 441, Inc. requests an amendment to the conditions of a previously approved Site Plan Resolution 23-DPV-06.

**REQUEST:**

Amendment to the conditions of a previously approved Site Plan petition for a restaurant use located at 2640 N State Road 7, specifically condition number 3 of the previously approved Site Plan 23-DPV-06, as revised below:

3. A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted ~~prior to the issuance of permits and recorded in the Public Records of Broward County by~~ to the city prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

Coding: Text underscored represents new language added to the Resolution. Text ~~struck through~~ represents deletions to language in the Resolution.

**RECOMMENDATION:**

Approval of the amended condition, to the previously approved Site Plan 23-DPV-06.

**BACKGROUND**

On January 14<sup>th</sup>, 2025, the Applicant received approval from the Planning and Development Board for a restaurant with a drive-thru facility to-be located at 2640 N. State Road 7, Hollywood. The petition that was approved included requests for Variance, Design and Site Plan reviews. The Variance request included relief from ground floor active use liner requirements, a 50% reduction in parking requirements, a reduction in window transparency requirements for the building façade, and a reduction in minimum vehicular use landscape area percentages.

The requests for Variance, Design and Site Plan were approved with conditions pertaining to the operation of the restaurant and drive-thru facility and triggering the requirement for a hold harmless covenant related to potential parking issues, traffic issues or disputes with neighbors. The conditions described are as follows:



1. 1 space must be assigned for ordering, drop off, pick up and customer parking (cannot be ADA space)
2. 'No Stopping' signs must be installed in the stacking area and must be reflected on the site plan prior to issuance of building permit
3. A covenant running with the land that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.

## REQUEST

The Applicant is now requesting amendment to the third condition pertaining to the requirement for a hold harmless covenant, as follows:

3. A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the City harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted to the City prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

The intent of the request is to narrow the scope of the previous approvals and to facilitate re-evaluation of the approvals in the event that Taco Bell is no longer the owner of, or tenant on, the subject property. The original condition required that a covenant be recorded, running with the land, to hold the City harmless against any claims related to parking issues, traffic impacts, or disputes with neighboring establishments. As the applicant worked to address the original condition, both staff and the applicant recognized that it would be inappropriate for the tenant, Taco Bell, to hold the City harmless in perpetuity beyond the duration of their tenancy. Accordingly, the condition is being amended to provide that the covenant, and the associated parking variance, shall automatically terminate upon Taco Bell no longer owning or leasing the property.

The first and second conditions of the Site Plan approval will remain as in the original Resolution.

Staff has evaluated the proposed request and considers the modifications of the Site Plan conditions to be minor in nature, and appropriate and consistent with the design, traffic, parking, or other zoning and regulatory performance standards that were approved by the Planning and Development Board.

## SITE INFORMATION

<b>Owner/Applicant:</b>	Taco Bell of America/Gator 441, Inc.
<b>Address/Location:</b>	2640 N. State Road 7
<b>Net Area of Property:</b>	13,811 sq. ft. (0.32 acres)
<b>Land Use:</b>	Transit-Oriented Corridor (TOC)
<b>Zoning:</b>	Central Mixed-Use District (C-MU)
<b>Existing Use of Land:</b>	Car Wash Self Service

## ADJACENT LAND USE

**North:** Transit-Oriented Corridor (TOC)  
**South:** Transit-Oriented Corridor (TOC)  
**East:** Transit-Oriented Corridor (TOC)  
**West:** Transit-Oriented Corridor (TOC)



## **ADJACENT ZONING**

**North:** Central Mixed-Use District (C-MU)

**South:** Central Mixed-Use District (C-MU)

**East:** Open Space (OS)

**West:** Central Mixed-Use District (C-MU)

## **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

The subject property is located in the Transit-Oriented Corridor area which is characterized by residential and commercial uses. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The intent of the State Road 7 Transit Oriented Corridor (TOC) Land Use designation is intended to facilitate a balanced and interconnected mix of land uses, encourage mass transit and non-motorized transportation, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. Development patterns shall generally reflect planning and design principles that support mixed-use development to integrate housing, employment, retail, recreation, and local and regional community facilities with a primary orientation toward a multimodal transportation system.

The proposed requests an amendment to condition #3 of the previous Site Plan Resolution 23-DPV-06. The proposed amendment to condition #3 does not impact the development of the site. The amended condition continues to maintain the intent of and consistency with the Comprehensive Plan.

## **CONSISTENCY WITH THE CITY-WIDE MASTER PLAN**

The subject property is located in Sub-Area 1, defined by 56th Avenue to the east (including that portion of Washington Park that extends to 52nd Avenue), the Dania Cut-Off Canal to the north, Florida's Turnpike to the west and Pembroke Road to the south. This area includes the residential neighborhoods of Beverly Park, Lawn Acres and Washington Park as well as the undefined residential areas east and west of US 441/SR 7 north of Hollywood Boulevard. The previous approval was consistent with the City-Wide Master Plan, based upon the following Guiding Principles and Policies.

### ***Guiding Principles and Policies:***

- *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

The proposed amendment to condition #3 remains consistent with the City-Wide Master Plan.

## **APPLICABLE CRITERIA**

Criteria for the Variance, Design and Site Plan requests were addressed through the attached staff report associated with the previous approval of the project (see 'Attachment C'). The staff report found that the approved project was consistent with the criteria, where applicable. The conclusions of the staff report remain unchanged. The proposed amendment to condition #3 remains consistent with the analysis of the previous staff report and satisfies the criteria for the requests.

## **ATTACHMENTS**

Attachment A:	Application Package
Attachment B:	Land Use & Zoning Map
Attachment C:	Previous Staff Report & Package



# ATTACHMENT A

## Application Package



# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

## SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans  
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

## NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR  
FORMS, CHECKLISTS, &  
MEETING DATES](#)

## APPLICATION TYPE (CHECK ALL THAT APPLIES):

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Technical Advisory Committee   | <input type="checkbox"/> Art in Public Places Committee | <input type="checkbox"/> Variance                     |
| <input type="checkbox"/> Planning and Development Board | <input type="checkbox"/> Historic Preservation Board    | <input type="checkbox"/> Special Exception            |
| <input type="checkbox"/> City Commission                | <input type="checkbox"/> Administrative Approval        | <input type="checkbox"/> Pre-Application Consultation |

## PROPERTY INFORMATION

Location Address: \_\_\_\_\_

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): \_\_\_\_\_

Zoning Classification: \_\_\_\_\_ Land Use Classification: \_\_\_\_\_

Existing Property Use: \_\_\_\_\_ Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ☐ Yes ☐ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

## DEVELOPMENT PROPOSAL

Explanation of Request: \_\_\_\_\_

Phased Project: Yes ☐ No ☐ Number of Phases: \_\_\_\_\_

Project	Proposal	
Units/rooms (# of units)	# UNITS:	#Rooms
Proposed Non-Residential Uses	S.F.)	
Open Space (% and SQ.FT.)	Required %:	(Area: S.F.)
Parking (# of spaces)	PARK. SPACES:	(# )
Height (# of stories)	(# STORIES)	( FT.)
Gross Floor Area (SQ. FT)	Gross Area	( FT.)

Name of Current Property Owner: \_\_\_\_\_

Address of Property Owner: \_\_\_\_\_

Telephone: \_\_\_\_\_ Email Address: \_\_\_\_\_

Applicant \_\_\_\_\_ Consultant ☐ Representative ☐ Tenant ☐

Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Email Address: \_\_\_\_\_

Email Address #2: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (Board submissions only) : \_\_\_\_\_

E-mail Address: \_\_\_\_\_



**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_  
James A. Goldsmith - President

Date: 12/6/2024

PRINT NAME: Gator 441, Inc.

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

*Dwayne L. Dickerson*

Date: \_\_\_\_\_

PRINT NAME: Dwayne L. Dickerson

Date: 12/3/24

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

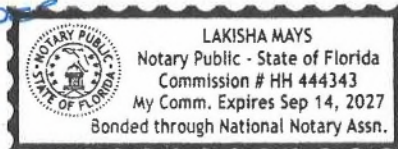
**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan approval & variance requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson/Miskel Backman, LLC to be my legal representative before the P&D Board & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 6<sup>th</sup> day of December

*Lakisha Mays*  
Notary Public



State of Florida

My Commission Expires: 9/14/27 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_

Signature of Current Owner  
James A. Goldsmith - President

Gator 441, Inc.

Print Name



**Taco Bell  
Justification Statement  
City of Hollywood  
Application to Amend Site Plan Conditions of Approval**

**INTRODUCTION**

Taco Bell of America/Gator 441, Inc. (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 (“Property”) in the City of Hollywood (“City”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor). The Applicant demolished the car wash facility previously located on the Property and is currently developing the Property with a +/- 1,617 square foot drive-through and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-through and walk-up services only.

**EXISTING RESOLUTION**

On January 14, 2025, through Resolution No. 23-DPV-06 (“Resolution”), the City of Hollywood’s Planning and Development Board (“Board”) approved a site plan with conditions, to develop the Project. A parking variance was also approved as follows:

To reduce the parking requirement from 10 spaces to 5 spaces (“Parking Variance”).

The site plan was approved for the Project with the following conditions:

- 1.) One space must be assigned for ordering, drop-off, pick up and customer parking (cannot be ADA space).
- 2.) ‘No Stopping’ signs must be installed in the stacking area and must be reflected on the site plan prior to the issuance of building permit.
- 3.) A covenant running with the land that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.



## **REQUESTED AMENDMENT TO THE SITE PLAN CONDITIONS OF APPROVAL RELATED TO THE PARKING VARIANCE**

After further consideration, the Applicant is requesting to amend the site plan conditions of approval by narrowing the scope of the Parking Variance as follows:

- 3.) A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted ~~prior to the issuance of permits and recorded in the Public Records of Broward County by~~ to the city prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

Attached please find a strike through and underline version of the Resolution detailing the proposed amendment. The proposed amendment narrows the scope of the Parking Variance and further protects the City in the event that the Applicant is no longer the owner of, or tenant on, the Property. Any future change in the use of, or tenant on, the Property will provide the City with the opportunity to re-evaluate the required parking on the Property in conjunction with the new site plan and new use, accordingly.

## **CONCLUSION**

The proposed amendment to the site plan conditions of approval is consistent with the Goals and Objectives of the City's Comprehensive Plan and the City's Zoning Code. Additionally, the justification for the Parking Variance was specific to the operations of the Taco Bell; therefore, the requested amendment aligns with the evidence submitted to the Board on January 14, 2025, and the Board's deliberation of same. As such, the Applicant respectfully requests approval by the Board of the proposed amendment.



CITY OF HOLLYWOOD  
PLANNING AND DEVELOPMENT BOARD  
RESOLUTION NO. 23-DPV-06

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD CONSIDERING A REQUEST FOR VARIANCES, DESIGN, AND SITE PLAN APPROVAL, FOR A 1600 SQ. FT. RESTAURANT WITH A DRIVE-THRU FACILITY IN THE CENTRAL MIXED-USE DISTRICT ZONING DISTRICT WITHIN THE TRANSIT ORIENTED CORRIDOR, PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Planning and Development Board (the “Board”) is charged with, among other things, the responsibility of considering requests for variances, design, special exceptions and site plan approval; and

WHEREAS, the Board is duly empowered to grant variances, special exceptions, and design approvals in accordance with the guidelines and procedures found in Section 5.3 of the City’s Zoning and Land Development Regulations and site plan approval pursuant to Article 6 of the Zoning and Land Development Regulations; and

WHEREAS, Taco Bell of America/Gator 441, Inc. (“Applicant”) applied for four Variances, Design, and Site Plan approval for a 1600 Sq. Ft. restaurant with a drive-thru facility in the Central Mixed-Use District (C-MU) zoning district within the Transit Oriented Corridor as more particularly described in the attached Exhibit “A” (the “Property”); and

WHEREAS, the Department of Development Services, Planning and Urban Design Division, following an analysis of the application and its associated documents have determined that the proposed request for four variances pursuant to article 5.3.F to: 1) allow a reduction of the required ground floor active use liner of a minimum of 60% to 51.51%; 2) reduce the parking requirement from 10 spaces to 5 spaces; 3) allow a reduction in the window transparency from 50% to 27.9%; and 4) reduce the minimum vehicular use landscape area from 25% to 15.28% (collectively referred to as “Variances”), does meet the criteria set forth in Section 5.3 F.1. a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variances be approved; and

WHEREAS, the Department of Development Services, Planning and Urban Design Division, following analysis of the application and its associated documents, has determined that the proposed request for Design approval meets the applicable criteria set forth in Section 5.3.I.4. of the Zoning and Land Development Regulations and have therefore recommended approval of the Design if the Variances are granted; and

WHEREAS, the Technical Advisory Committee, following an analysis of the application and its associated documents, have determined that the proposed request for



Site Plan approval does meet the review standards set forth in Article 6 of the Zoning and Land Development Regulations and have therefore recommended approval if the Variances and Design are granted with the following Site Plan conditions:

1. One space must be assigned for ordering, drop-off, pick up and customer parking (cannot be ADA space).
2. 'No Stopping' signs must be installed in the stacking area and must be reflected on the site plan prior to the issuance of building permit.
3. A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted to the city prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

WHEREAS, on January 14, 2025, the Board met and held an advertised public hearing to consider the Applicants' requests; and

WHEREAS, the Board reviewed the application for the Variances and determined that the Variances request does meet the criteria set forth in Section 5.3.F.1. of the Zoning and Land Development Regulation and made the following findings:

- a) That, the requested Variances maintain the basic intent and purpose of the subject regulations, particularly as they affect the stability and appearance of the City;
- b) That, the requested Variances are otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- c) That the requested Variances are consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City;
- d) That the need for the requested Variances are not economically based or self-imposed; and
- e) Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.



; and

WHEREAS, the Board reviewed the application and the Department of Development Services, Planning and Urban Design Division staff report and recommendations for the Design approval, considered the following criteria pursuant to Section 5.3.1.4.a. (1) through (4) of the City's Zoning and Land Development Regulations and have determined that the following criteria have been met:

- (1) The Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The Design should consider architectural elements that are characteristic of the surrounding neighborhood.
- (2) Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.
- (3) Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings.
- (4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

; and

WHEREAS, the Board reviewed the application and the Department of Development Services, Planning and Urban Design Division staff report and the Technical Advisory Committee's recommendation for the Site Plan approval, and considered the Site Plan review standards set forth in Article 6 of the Zoning and Land Developments and found that the Site Plan requirements have been met with the following conditions:

1. One space must be assigned for ordering, drop-off, pick up and customer parking (cannot be ADA space).
2. 'No Stopping' signs must be installed in the stacking area and must be reflected on the site plan prior to the issuance of building permit.



3. A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted to the city prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are incorporated in this Resolution.

Section 2: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein for approving the requested Variances for the Property, the Board finds that the necessary criteria have been met, and the requested Variances are hereby **approved**.

Section 3: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Design criteria set forth herein for approving the requested Design for the Property, the Board finds that the necessary criteria have been met, and the Design is hereby **approved**.

Section 4: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the Board finds that the necessary review standards have been met, and Site Plan is hereby **approved with the following conditions:**

1. One space must be assigned for ordering, drop-off, pick up and customer parking (cannot be ADA space).
2. 'No Stopping' signs must be installed in the stacking area and must be reflected on the site plan prior to the issuance of building permit.
3. A covenant running with the land, so long as Taco Bell leases or owns the Property, that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be



submitted to the city prior to the issuance of a certificate of occupancy or certificate of completion. This covenant shall automatically terminate and become null and void when Taco Bell no longer owns or leases the Property. The parking variance associated with application number 23-DPV-06 shall also automatically terminate and become null and void when Taco Bell no longer owns or leases the Property.

Section 5: That the Variances shall become null and void unless the Applicant has applied for all applicable building or other permits(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.

Section 6: That the Applicants shall have up to 24 months from the date of this Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the require time period shall render all approvals null and void.

Section 7: That the Applicants shall have up to 24 months from the date of Site Plan approval to apply for a valid construction permit. Failure to submit an application within the require time period shall render all approvals null and void.

Section 8: That the Department of Development Services Planning and Urban Design Division is hereby directed to forward a copy of this resolution to the Applicant/Owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

RENDERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

ATTEST:

\_\_\_\_\_  
JOSEPH STADLEN, SECRETARY

\_\_\_\_\_  
DIANA PITTARELLI, CHAIR

APPROVED AS TO FORM:

\_\_\_\_\_  
DEENA KAPP, BOARD COUNSEL

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**







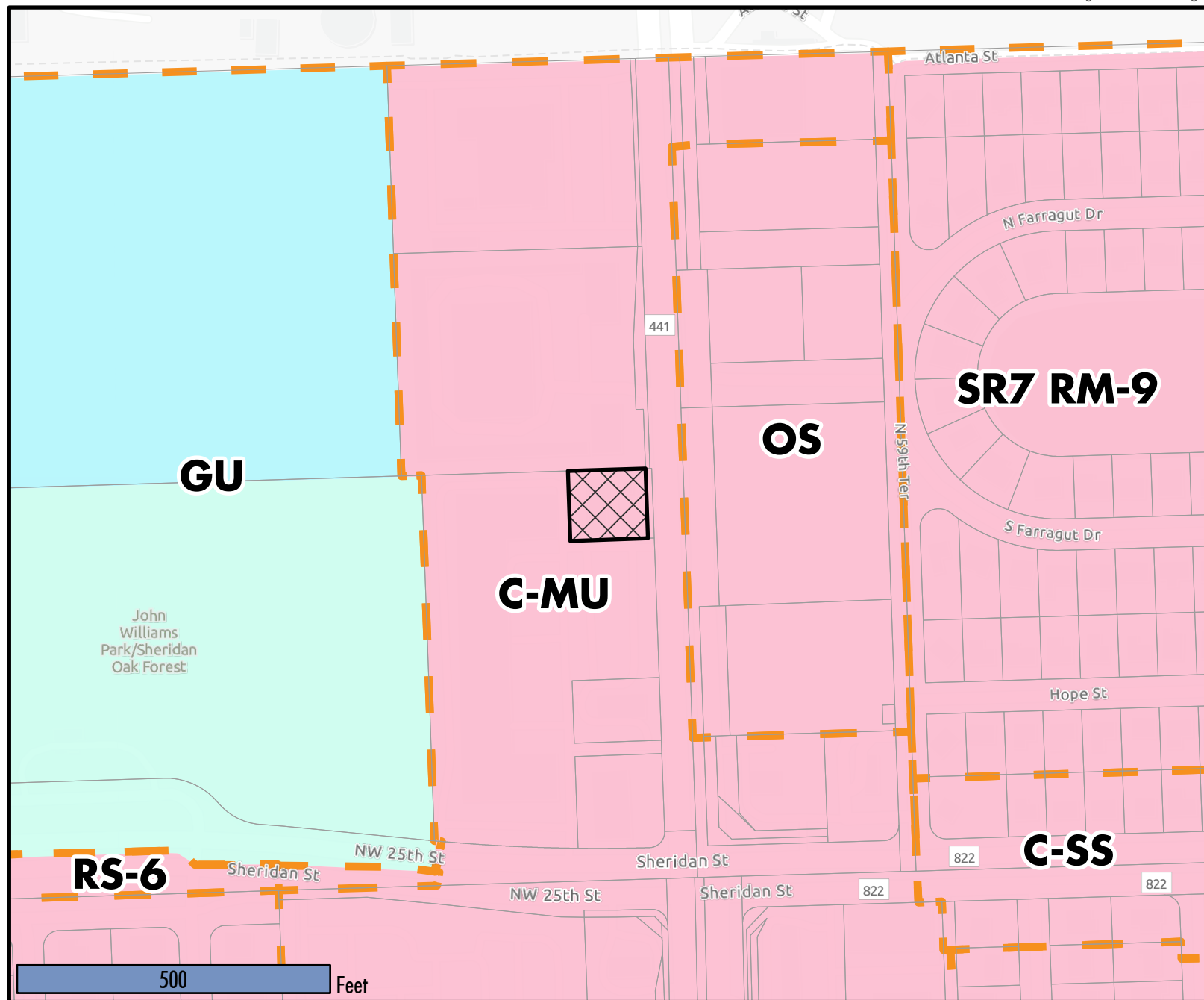
**EXHIBIT “B”  
DESIGN AND SITE PLAN**



# ATTACHMENT B

## Land Use & Zoning Map





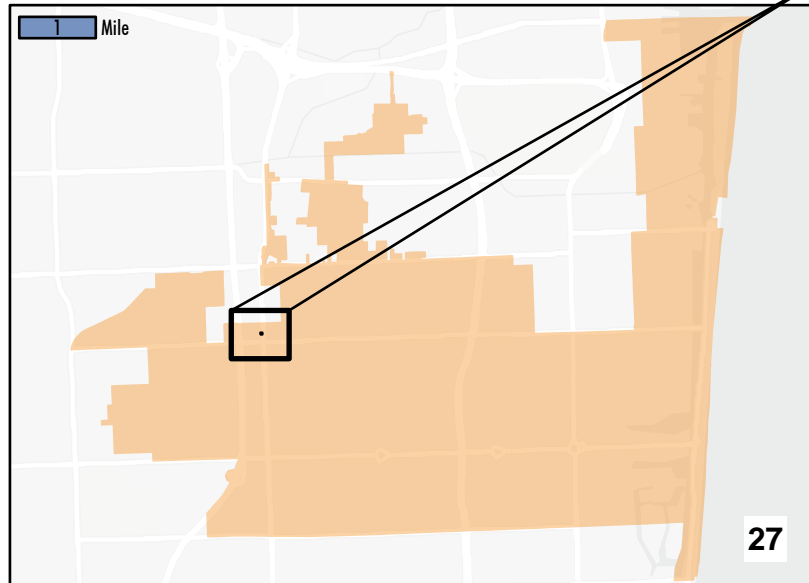
## LEGEND

### LAND USE

- CONSERVATION
- OPEN SPACE AND RECREATION
- TRANSIT ORIENTED CORRIDOR

### ZONING

- ZONING
- PARCELS
- SUBJECT SITE





# ATTACHMENT C

## Previous Staff Report & Package



**CITY OF HOLLYWOOD, FLORIDA  
DEPARTMENT OF DEVELOPMENT SERVICES  
DIVISION OF PLANNING AND URBAN DESIGN**

**DATE:** January 14, 2025 **FILE:** 23-DPV-06

**TO:** Planning and Development Board

**VIA:** Anand Balram, Planning Manager

**FROM:** Reginald White MPA, Planner III

**SUBJECT:** Variance, Design, and Site Plan request for a 1,600 sq. Ft restaurant with a drive-thru facility in the Central Mixed-Use District (C-MU) zoning district within the Transit Oriented Corridor.

**REQUEST:**

The applicant is requesting a total of 4 variances pursuant to article 5.3.F to allow ground floor active use liner of less than 60%, reduce the parking requirement from 10 to 5 spaces, allow a reduction in the window transparency to 27.9%, and reduce the minimum vehicular use landscape area of 25% to 15.28%. The applicant is also requesting Design and Site Plan approval for a 1,600 sq. Ft. restaurant with a drive-thru facility.

**RECOMMENDATION:**

Variance 1: Approval – Relief from (§4.6(D)(12)(ii) to permit ground floor active use liner of less than 60% along the east façade.

Variance 2: Approval – Relief from §7.2(A)(28) to reduce the parking requirement of 10 parking spaces to 5 parking spaces.

Variance 3: Approval – Relief from §4.6(D)(11)(c) to allow a window transparency of 27.9% rather than 50% along the east building façade that is required by code.

Variance 4: Approval – Relief from (9.5(C)(1) to reduce the minimum vehicular use landscape area of 25% to 15.28%.

Design: Approval, if the Variances are granted.

Site Plan: Approval, if the Variances and Design are granted, and with the following conditions:

- a. 1 space must be assigned for ordering, drop off, pick up and customer parking (cannot be ADA space)
- b. 'No Stopping' signs must be installed in the stacking area and must be reflected on the site plan prior to issuance of building permit
- c. A covenant running with the land that holds the city harmless against any claims arising from parking issues, traffic issues, or any disputes between neighboring establishments in a form acceptable to the City Attorney, shall be submitted prior to



the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.

## BACKGROUND

The site currently contains a car wash facility that has been abandoned for over 10 years. The subject property is zoned Central Mix-Use District (C-MU) and has a land use designation of Transit Oriented Corridor (TOC). The development site is currently surrounded by a combination of retail, commercial establishments, and offices. The property is located on the western side of State Road 7, north of Sheridan Street, and is approximately 0.32 acres in area.

## REQUEST

The Applicant requests Variances, Design and Site Plan approval for a drive-through only Taco Bell fast food restaurant. The proposed one-story commercial development is approximately 21'-4" in height and is comprised of 1,617 sq. ft. kitchen and retail facility. This location primarily offers a drive-thru order options with additional options to order at a walk-up window and a small indoor reception area. The proposed development will not have a dine-in option as the Taco Bell restaurant is take-out only.

Architectural elements of the contemporary design provide depth and articulation accentuated by a soft color scheme typical to Taco Bell Restaurants and varied finishes of stucco, glass and decorative metal elements. The main pedestrian entry is located on State Road 7 and with drive-thru access internally within the mini plaza. The landscape plan incorporates a variety of native materials. The project also incorporates bike racks that promotes the city's efforts of multi-modal transport. The parcel proposed for redevelopment is relatively small, offering limited opportunities to accommodate alternative development at this time. However, the proposed model allows for future redevelopment or potential site assembly with surrounding properties, enabling a more comprehensive redevelopment of the area if desired in the future.

In addition to the request for approval of the design and site plan, the applicant requests four variances. The following variances are requested:

1. Relief from (§4.6(D)(12)(ii) to permit ground floor active use liner of less than 60% along the east façade.
2. Relief from §7.2(A)(28) to reduce the parking requirement of 10 parking spaces to 5 parking spaces.
3. Relief from §4.6(D)(11)(c) to allow a window transparency of 27.9% rather than 50% along the east building façade that is required by code.
4. Relief from (9.5(C)(1) to reduce the minimum vehicular use landscape area of 25% to 15.28%.

The Applicant has worked with Staff to ensure that all applicable regulations, other than the requested variance, are met. Development of this site enhances the neighborhood, encourages redevelopment of the area, and provides a model for development within the community.



## PROJECT DATA

Owner/Applicant:	Taco Bell of America/Gator 441, Inc.
Address/Location:	2640 N. State Road 7, Hollywood FL, 33021
Net Size of Property:	13,811 sq. ft. (0.32 acres)
Land Use:	Transit-Oriented Corridor (TOC)
Zoning:	Central Mix-Use District (C-MU)
Existing Use of Land:	Car Wash Self Service
Year Built:	1993 (Broward County Property Appraiser)
Bike Parking Spaces:	5 spaces provided

## ADJACENT LAND USE

North:	Transit-Oriented Corridor (TOC)
South:	Transit-Oriented Corridor (TOC)
East:	Transit-Oriented Corridor (TOC)
West:	Transit-Oriented Corridor (TOC)

## ADJACENT ZONING

North:	Central Mix-Use District (C-MU)
South:	Central Mix-Use District (C-MU)
East:	Open Space (OS)
West:	Central Mix-Use District (C-MU)

## CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Transit-Oriented Corridor the subject site is surrounded by residential and commercial properties. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The intent of the State Road 7 Transit Oriented Corridor (TOC) Land Use designation is intended to facilitate a balanced and interconnected mix of land uses, encourage mass transit and non-motorized transportation, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. Development patterns shall generally reflect planning and design principles that support mixed-use development to integrate housing, employment, retail, recreation, and local and regional community facilities with a primary orientation toward a multimodal transportation system. Development of this site improves the current condition of the site. The project is consistent with the Comprehensive Plan based on the following Objective:

**Objective 4:** Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.

## CONSISTENCY WITH THE CITY-WIDE MASTER PLAN:

The project is located in Sub-Area 1, defined by d by 56th Avenue to the east (including that portion of Washington Park that extends to 52nd Avenue), the Dania Cut-Off Canal to the north, Florida's Turnpike to the west and Pembroke Road to the south. This area includes the residential neighborhoods of Beverly Park, Lawn Acres and Washington Park as well as the undefined residential areas east and west of US



441/SR 7 north of Hollywood Boulevard. The proposed project is consistent with the City-Wide Master Plan, based upon the following Guiding Principles and Policies.

Guiding Principle: Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

*Policy CW.15:* Place a priority on protecting, preserving, and enhancing residential neighborhoods.

*Policy CW.44:* Foster economic development through creative land use, zoning and development regulations, City services and City policies.

*Policy 6.7:* Prepare design plans to enhance the streetscape with emphasis on the pedestrian environment.

## **APPLICABLE CRITERIA**

**Analysis of Criteria and Findings for a Variance** as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

Variance 1: Approval – Relief from (§4.6(D)(12)(ii) to permit ground floor active use liner of less than 60% along the east façade.

Variance 2: Approval – Relief from §7.2(A)(28) to reduce the parking requirement of 10 parking spaces to 5 parking spaces.

Variance 3: Approval – Relief from §4.6(D)(11)(c) to allow a window transparency of 27.9% rather than 50% along the east building façade that is required by code.

Variance 4: Approval – Relief from (9.5(C)(1) to reduce the minimum vehicular use landscape area of 25% to 15.28%.

**CRITERIA 1:** That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

**ANALYSIS – Variance 1:** The requested variance to reduce the ground floor active use liner will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently, the property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building. The intent of the requirements to provide a minimum 60% active use liner is to provide buildings along the State Rd. 7 corridor that are pedestrian friendly and have active uses on the ground floor. The proposed plans will provide a 51.51% active use liner along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance, will consist of all glass windows along the ground floor. In addition, the front façade will be covered with faux glass and artistic murals to enhance the building's aesthetics and create a perception of activity, given the constraints of the site.



Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**ANALYSIS - Variance 2:** The intent of the parking requirements is to provide sufficient parking for each use to not impede traffic flow and business operations. Taco Bell is implementing a new model with technology-based operations designed to move customers quickly and efficiently through the property to take the food to go rather than eating on-site. There is no customer seating available inside or outside the building to allow customers to eat on-site, all orders are placed to go. Customers can place orders in the drive-through, place mobile orders using the Taco Bell app, place an order through a meal delivery service (i.e. Uber Eats or DoorDash), or place a to-go order inside the building utilizing the quick serve digital kiosk system.

The technology being implemented to increase order and delivery efficiency with the available mass transit option for employees reduces the parking demand that would be generated by a larger, traditional fast-food restaurant. As such, 5 parking spaces is sufficient to meet the parking demand for this new take-out only fast-food model and the variance request will maintain the intent and purpose of the Code.

**ANALYSIS – Variance 3:** The requested variance to reduce the window transparency along the east building façade will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. The intent of the requirements to provide a minimum 50% window transparency is to provide buildings along the State Rd. 7 corridor that are pedestrian-friendly and have active uses on the ground floor. The proposed plans will meet this requirement with 27.9% window transparency along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance will consist of all glass windows along the ground floor. While the back portion of this façade will not contain any transparent windows, the front facade (east) will be covered with faux glass and artistic murals to enhance the building's aesthetics. When including the percentage of faux glass, the project is providing a total of 60% window area, and create a perception of activity, given the constraints of the site. Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**ANALYSIS – Variance 4:** The intent of the requirement to provide a minimum 25% landscape area within the vehicular use area is to provide sufficient landscaping in the parking lot. The five parking spaces provided on site are terminal landscape islands on either end, with curbing and landscaping running along the front of all the spaces. Additionally, the required 5' landscape buffers have been provided adjacent to the parking lot to the north and west. Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**FINDING:** Consistent.



**CRITERIA 2:** That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

**ANALYSIS -All Variances:** The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

**FINDING:** Consistent.

**CRITERIA 3:** That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city.

**ANALYSIS-All Variances:** The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

***Goal 1: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.***

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

***Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.***

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

**FINDING:** Consistent.



**CRITERIA 4:** That the need for the requested Variance is not economically based or self-imposed.

**ANALYSIS -All Variances:** The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the nature of the take-out only business operation with no on-site dining. As the majority of the building contains back of house kitchen and storage operations, placing windows along the majority of the east building façade is not feasible. However, the Applicant has mitigated the lack of windows and active liner use by placing faux glass and artistic murals along the State Rd. 7 façade that will enhance and beatify the façade.

**FINDING:** Consistent.

**CRITERIA 5:** That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.

**FINDING:** Not applicable.

**Analysis of Criteria and Findings for Design Review** as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

**CRITERIA 1:** *Architectural and Design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

**ANALYSIS:** The design of this Taco Bell is intended to aesthetically enhance the surrounding environment and provide a pedestrian-friendly development. Traditional materials are incorporated into the building design but with a modern aesthetic feel. This is a redevelopment that will remove an existing carwash that is no longer in operation. The Taco Bell is a significant improvement that is more in line with the city's vision for the future of this area.

**FINDING:** Consistent.

**CRITERIA 2:** *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

**ANALYSIS:** The proposed Taco Bell modern design aesthetically enhances the neighboring environment setting. Placing the building close to the road and parking behind



the building provides an example for future similar development, inviting a fresh new look by incorporating different materials.

**FINDING:** Consistent.

**CRITERIA 3:** *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures; and with the established and adopted vision for the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

**ANALYSIS:** The proposed development is similar in scale and mass to the surrounding environment. The small scale of the restaurant provides inset into the building mass to help break up the larger mass and make it more appropriate for the surrounding environment. The small size of the parcel limits the scale and size of the building, but the placement enhances the visibility and also helps hide the vehicular area.

**FINDING:** Consistent.

**CRITERIA 4:** *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

**ANALYSIS:** The proposed landscaping contains a variety of native and compatible plant types and forms, again enhancing the architecture, pedestrian access ways and most importantly the overall environment.

**FINDING:** Consistent.

## **SITE PLAN**

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of the Hollywood Zoning and Land Development Regulations. Therefore, staff recommends approval if Design is granted.

The following standards shall be utilized by the Technical Advisory Committee and the Planning and Development Board in the review, evaluation, and approval of all required plans and exhibits:

- A. *Natural Environment.* All proposed development shall be designed in such a manner as to preserve, perpetuate and improve the existing natural character of the site. Existing trees and other landscape features shall, to the maximum extent possible, be preserved in their natural state; and additional landscape features shall be provided to enhance architectural features, to relate structural design to the site, and to conceal unattractive uses. In all instances the city's tree protection, landscaping and all other applicable regulations shall be fully complied with as minimum standards.



- B. *Open space.* Adequate landscaped open space shall be provided which meets the particular needs and demands of the proposed development and all specific zoning district requirements. Legal methods assuring the continued preservation and maintenance of required open space shall be submitted to and approved by the City Attorney. The type and distribution of all open space shall be determined by the character, intensity and anticipated residential or user composition of the proposed development.
1. Passive open spaces (those areas not planned for intensive activity) shall be arranged as to enhance internal spatial relationships between proposed structures, to provide buffers between the project and adjacent less intensive uses, to facilitate pedestrian movements within the development, and to improve the overall visual quality of the site.
  2. Active open spaces (those areas containing activities such as playgrounds, tennis courts, swimming pools and other active recreational facilities) shall be located so as to permit easy access to all residents or users within a development. Private recreational facilities and activities within specific projects shall, wherever possible, complement, rather than duplicate, nearby public recreational activities.
- C. *Circulation and parking.* All circulation systems and parking facilities within a proposed development shall be designed and located in such a manner as to comply with the following:
1. A clearly defined vehicular circulation system shall be provided which allows free movement within the proposed development while discouraging excessive speeds. Said systems shall be separated insofar as practicable from pedestrian circulation systems. Pavement widths and access points to peripheral streets shall be provided which adequately serve the proposed development and which are compatible and functional with circulation systems outside the development.
  2. Whenever possible in proposed residential developments, living units should be located on residential streets or courts which are designed to discourage nonlocal through traffic.
  3. Off-street parking areas shall be provided which adequately accommodate maximum vehicle storage demands for the proposed project and are located and designed in such a manner so as to conveniently serve the uses to which they are accessory and not create incompatible visual relationships.
  4. Safe and efficient access to all areas of the proposed development shall be provided for emergency and service vehicles, as required by the Florida Building Code in effect in Broward County, Florida, as revised from time to time.
  5. Sidewalks shall be provided as required by the city regulations.
  6. Handicapped Accessibility shall be provided as required by all applicable regulations.
- D. *Community services and utilities.* All proposed developments shall be designed and located in such a manner as to insure the adequate provision, use and compatibility of necessary community services and utilities.
1. An adequate sanitary sewer collection system including all necessary extensions and connections, shall be provided in accordance with city standards for location and design. Where



necessitated by the size of the development and/or by the unavailability of city treatment facilities, sanitary sewage treatment and disposal systems must be provided in accordance with city and state standards and regulations.

2. An efficient solid waste collection system, including the provisions of an adequate number of properly screened local receptacles in locations which afford maximum use and collection convenience, shall be provided in accordance with all applicable city standards.

3. A well designed internal system for fire protection, including the provisions of an adequate number of properly located fire hydrants and an efficient access arrangement for emergency fire vehicles, shall be provided to insure the safety of all persons within the project.

- E. *Building and other structures.* All buildings and structures proposed to be located within a development shall be oriented and designed in such a manner as to enhance, rather than detract from, the overall quality of the site and its immediate environment. The following guidelines shall be followed in the review and evaluation of all buildings and structures:

1. Proposed buildings and structures shall be related harmoniously to the terrain, other buildings and the surrounding neighborhood, and shall not create through their location, style, color or texture incompatible physical or visual relationships.

2. All buildings and structures shall be designed and oriented in a manner ensuring maximum privacy of residential uses and related activities both on the site being developed and property adjacent thereto.

3. All permanent outdoor identification features which are intended to call attention to proposed projects and/or structures shall be designed and located in such a manner as to be an integral part of the total project and/or structural design and shall not exceed a size and scale necessary for the recognition from vehicles moving along adjacent streets at prescribed legal speeds.

- F. *Level of service standards.* For the purpose of the issuance of development orders and permits, the city has adopted level of service standards for public facilities and services which include roads, sanitary sewer, solid waste, drainage, potable water, and parks and recreation. All Applicants are required to prove concurrency pursuant to the City's Comprehensive Plan and F.S. Chapter 163, as amended from time to time.

- G. *Other requirements.* Requirements and recommendations as provided in the city tree and landscape regulations shall be observed as will the requirements of all applicable standards and regulations.

## **ATTACHMENTS**

- ATTACHMENT A: Application Package  
ATTACHMENT B: Land Use and Zoning Map  
ATTACHMENT C: Public Participation



# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

## SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans  
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

## NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR  
FORMS, CHECKLISTS, &  
MEETING DATES](#)

## APPLICATION TYPE (CHECK ALL THAT APPLIES):

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Technical Advisory Committee              | <input type="checkbox"/> Art in Public Places Committee | <input type="checkbox"/> Variance          |
| <input checked="" type="checkbox"/> Planning and Development Board | <input type="checkbox"/> Historic Preservation Board    | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> City Commission                           | <input type="checkbox"/> Administrative Approval        |  |

## PROPERTY INFORMATION

**Location Address:** 2640 N. State Road 7

Lot(s): Parcel A Block(s): N/A Subdivision: Gator 441

Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-out of business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? ☐ Yes ☒ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

## DEVELOPMENT PROPOSAL

Explanation of Request: Taco Bell drive-through only restaurant

Phased Project: Yes ☐ No ☒ Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text"/> )
Height (# of stories)	(# STORIES) <input type="text"/> ( <input type="text"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area ( <input type="text"/> FT.)

**Name of Current Property Owner:** Gator 441, Inc.

Address of Property Owner: 7850 NW 146 St. 4 Floor Miami Lakes, FL 33016

Telephone: contact agent Email Address: contact agent

**Applicant** Dwayne L. Dickerson/Miskel Backman, I Consultant ☐ Representative ☒ Tenant ☐

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Email Address: ddickerson@miskelbackman.com

Email Address #2: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

**Noticing Agent** (FTAC & Board submissions only) : Christina Matthews-Cutro & Associates

E-mail Address: cutroplanning@yahoo.com



**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 12/6/2024  
James A. Goldsmith - President

PRINT NAME: Gator 441, Inc. \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Consultant/Representative: Dwayne L. Dickerson \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: Dwayne L. Dickerson \_\_\_\_\_ Date: 12/3/24

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

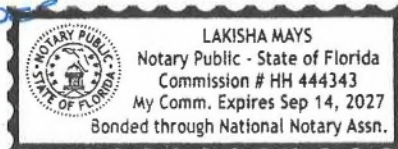
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan approval & variance requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson/Miskel Backman, LLC to be my legal representative before the P&D Board & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 6<sup>th</sup> day of December

Lakisha Mays  
Notary Public  
State of Florida



My Commission Expires: 9/14/27

(Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_

Signature of Current Owner

James A. Goldsmith - President

Gator 441, Inc.

Print Name



## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

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### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 2640 N. State Rd. 7

Lot(s): Parcel A Block(s): N/A Subdivision: Gator 441

Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 4.6(D)(12)(d)(ii) to allow an active use liner on the ground floor along the State Rd. 7 building facade of 51.51% rather than 60%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

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Signature of Current Owner: \_\_\_\_\_

Date: 1/17/2023

PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith

Date: 1/17/2023

Signature of Consultant/Representative: \_\_\_\_\_

Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq.

Date: 1/18/23

Signature of Tenant: N/A

Date: \_\_\_\_\_

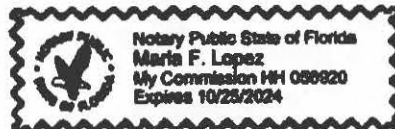
PRINT NAME: N/A

Date: \_\_\_\_\_

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Sworn to and subscribed before me  
this 17th day of January, 2023



Notary Public  
State of Florida

Signature of Current Owner

James A. Goldsmith

Print Name

My Commission Expires: 10/25/24 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
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### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
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Date of Application: \_\_\_\_\_

Location Address: 2640 N. State Rd. 7

Lot(s): Parcel A Block(s): N/A Subdivision: Gator 441

Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 9.5(c)(1) to allow 15.28% landscape area in the vehicular use area rather than 25%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

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Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No ☒

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List Anyone Else Who Should Receive Notice of the Hearing: N/A

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Date: 1/17/2023

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Date: 1/17/2023

Signature of Consultant/Representative: \_\_\_\_\_

Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq.

Date: 1/18/23

Signature of Tenant: N/A

Date: \_\_\_\_\_

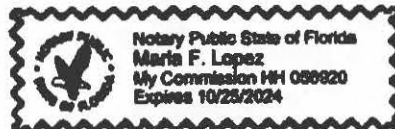
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Sworn to and subscribed before me  
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Signature of Current Owner

James A. Goldsmith

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## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
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File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
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Date of Application: \_\_\_\_\_

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Folio Number(s): 5141 01 12 0010

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Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 7.2(A)(28) to allow 5 parking spaces rather than 10.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

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Signature of Tenant: N/A

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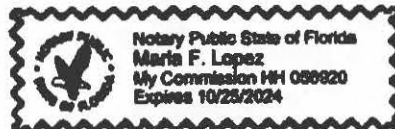
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Sworn to and subscribed before me  
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Notary Public  
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Signature of Current Owner

James A. Goldsmith

Print Name

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## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
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# GENERAL APPLICATION



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- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building facade of 27.9% rather than 50%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

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2600 Hollywood Boulevard Room 315  
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## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 1/17/2023

PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith Date: 1/17/2023

Signature of Consultant/Representative: \_\_\_\_\_ Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq. Date: 1/18/23

Signature of Tenant: N/A Date: \_\_\_\_\_

PRINT NAME: N/A Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval & Variance Requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman to be my legal representative before the TAC & P&D (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 17th day of January, 2023



Notary Public  
State of Florida

Signature of Current Owner

James A. Goldsmith

Print Name

My Commission Expires: 10/25/24 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



PARCEL "A"  
"PORTOFINO CLUB"  
PLAT BOOK 133, PAGE 10

PARCEL "A"  
"GATOR 441"  
SUBDIVISION  
PLAT BOOK 151, PAGE 8

A PORTION OF  
SOUTH HALF  
"LESTER PROPERTY"  
PLAT BOOK 14, PAGE 48

U.S. HIGHWAY No. 441  
STATE ROAD No. 7  
N 60th AVENUE

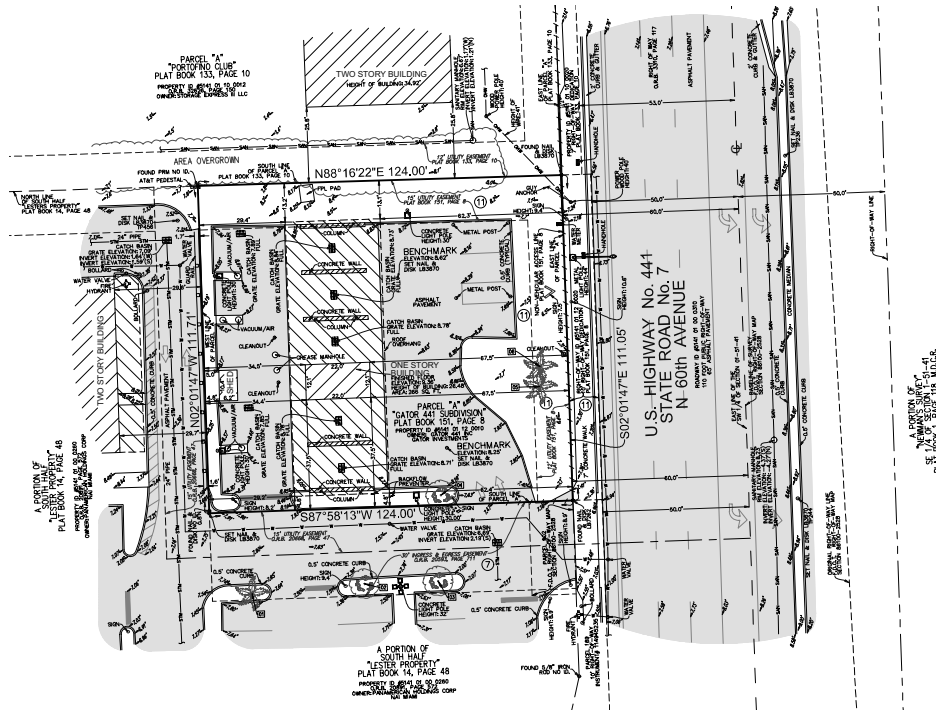
A PORTION OF  
SECTION 15-51-42  
TOWNSHIP 51 SOUTH  
RANGE 41 EAST, BROWARD COUNTY,  
FLORIDA  
PLAT BOOK 1, PAGE 116, M.D.C.R.

FARRAGUT  
STREET

VICINITY MAP  
NOT TO SCALE

TREE TABLE

Tree Number	Common Name	DBH (Inches)	Canopy (Feet)	Height (Feet)
1	PAVIA TREE	10"	10'	14'
2	CHAM TREE	8"	10'	13'
3	CHAM TREE	8"	10'	14'
4	CHAM TREE	10"	10'	13'
5	PAVIA TREE	8"	10'	13'



LEGAL DESCRIPTION: (TITLE COMMITMENT)  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN  
PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND  
CONTAINING A NET OF 13,811 SQUARE FEET (0.3171 ACRES) AND A GROSS OF 20,465 SQUARE  
FEET (0.470 ACRES), MORE OR LESS.

- NOTES:
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #2065; ELEVATION: 13.79 FEET.
  - FLOOD ZONE: K; BASE FLOOD ELEVATION: NONE; PANEL #1201100562H; COMMUNITY #225113; MAP DATE: 8/18/14.
  - THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
  - BEARINGS ARE BASED ON KNOWN COORDINATES WITH THE NORTH LINE OF PARCEL "A" BEING N88°16'22"E, AS SHOWN ON SAID PLAT.
  - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
  - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
  - THIS SITE CONTAINS 3 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (3 REGULAR & 0 DISABLED).
  - THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, ORDER NUMBER 10528973, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED FROM JUNE 17, 1941, THROUGH JULY 22, 2024, AT 8:00 AM, OF SAID THE FOLLOWING ITEMS:  
A. AGREEMENT IN O.R.B. 18373, PAGE 410 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
B. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED IN PLAT BOOK 151, PAGE 8, AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION OF PLAT IN O.R.B. 22317, PAGE 782 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.  
C. ORDINANCE NO. 2002-81 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
D. STATEMENT PROHIBITING CONSTRUCTION LIENS IN INSTRUMENT NO. 113289089 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
E. DECLARATION OF RESTRICTIONS FILED IN O.R.B. 7038, PAGE 38 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
  - UTILITY LINES SHOWN PLACED IN APPROXIMATE LOCATION FROM CITY OF HOLLYWOOD UTILITY ATLAS MAP PROVIDED BY THE CLIENT.
  - ZONING REPORT IN TACO BELL OF AMERICA FREESTANDING SITE REPORT PROVIDED BY THE CLIENT, REQUIRED PARKING: 11 SPACES, SETBACK REQUIREMENTS: FROM RIGHT-OF-WAY: 10.00 FEET, FROM REAR: 5.00 FEET, FROM SIDE: 0.00 FEET
  - ZONING: C-MU (T.O.C.)
  - THIS PROPERTY HAS A GROSS AREA OF 20,464 SQUARE FEET (0.4697 ACRES MORE OR LESS.)

#### CERTIFICATION:

TO CKE GROUP, INC; TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ITS AFFILIATES, OR ITS SUCCESSORS AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 8, 9, 10(A), 10(B), 11(A), 13, 18, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 8/5/24.

DATE OF PLAT OR MAP: 8/5/24

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
- STATE OF FLORIDA

NO.	REVISIONS	DATE	BY
1	REVISION 1	8/5/24	JP
2	REVISION 2	8/5/24	JP
3	REVISION 3	8/5/24	JP
4	REVISION 4	8/5/24	JP
5	REVISION 5	8/5/24	JP
6	REVISION 6	8/5/24	JP
7	REVISION 7	8/5/24	JP
8	REVISION 8	8/5/24	JP
9	REVISION 9	8/5/24	JP
10	REVISION 10	8/5/24	JP
11	REVISION 11	8/5/24	JP
12	REVISION 12	8/5/24	JP
13	REVISION 13	8/5/24	JP
14	REVISION 14	8/5/24	JP
15	REVISION 15	8/5/24	JP

#### BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY

**PULICE LAND SURVEYORS, INC.**  
6381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: [survey@puliceandsurveyors.com](mailto:survey@puliceandsurveyors.com)  
WEBSITE: [www.puliceandsurveyors.com](http://www.puliceandsurveyors.com)  
CERTIFICATE OF AUTHORIZATION LB93870

DRAWN BY: L.H. CHECKED BY: J.F.P. SCALE: 1" = 20' SURVEY DATE: 8/05/24 CLIENT: CKE GROUP, INC. ORDER NO.: 73087



# TACO BELL

## PROPOSED TACO BELL RESTAURANT

2640 N SR-7,  
Hollywood, FL 33021

### OWNER:

**GATOR 441, INC.**  
7850 NW 146 ST., 4TH FLOOR  
MIAMI LAKES, FLORIDA 33016  
(877) 459-9605  
ATTN: JAMES GOLDSMITH

### TENANT:

**TACO BELL OF AMERICA**  
1 GLEN BELL WAY  
IRVINE, CALIFORNIA 92618  
(609) 617-2185  
ATTN: DIANA DECICCO

### ARCHITECT:

**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

### ENGINEER:

**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

### SURVEYOR:

**PULICE LAND SURVEYORS, INC.**  
5381 NCB HILL ROAD  
SUNRISE, FLORIDA 33351  
(954) 572-1777  
ATTN: JOHN F. PULICE, P.S.M.

### LANDSCAPE:

**RICHARD BARTLETT LANDSCAPE, INC.**  
12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT



### LOCATION MAP



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

### LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS. FOLIO # 5141 01 12 0010

### ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432  
Eduardo L. Carcaché, State of Florida  
Professional Engineer, License No. 31914

This item has been digitally signed and sealed by Eduardo L. Carcaché on the date indicated here:  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

### INDEX OF DRAWINGS:

COVER SHEET	
PLAT	
SURVEY	
SD-1 SITE DEMOLITION PLAN	
C-1 SITE PLAN	
C-1.1 SITE ACCESSIBLE ROUTES PLAN	
C-1.2 VEHICULAR USE, LANDSCAPE BUFFER & OPEN SPACE LANDSCAPE DIAGRAMS	
C-2 PAVING AND GRADING PLAN	
C-3 SITE UTILITY PLAN	
C-3.1 SITE UTILITY DETAILS	
C-4 SITE DETAILS	
C-5 SITE DETAILS & PAVEMENT SECTIONS	
C-6 STORMWATER POLLUTION PREVENTION PLAN	
C-6A STORMWATER POLLUTION PREVENTION DETAILS & NOTES	
C-7 TRASH ENCLOSURE DETAIL	
C-8 PAVEMENT MARKING & SIGNAGE	
CE-1 SITE LIGHTING PLAN	
G-1.0 GREEN CHECKLIST	
L-1 LANDSCAPE PLAN	
L-2 LANDSCAPE SPECS	
L-3 EXISTING TREE DISPOSITION PLAN	
L-4 IRRIGATION PLAN	
L-5 IRRIGATION SPECS	
A-1.0 FLOOR PLAN	
A-4.0 EXTERIOR ELEVATIONS	

### MEETING DATES:

PACD	DEC 19, 2022
PRELIMINARY TAC	N/A
FINAL TAC	FEB 6, 2023
POB	

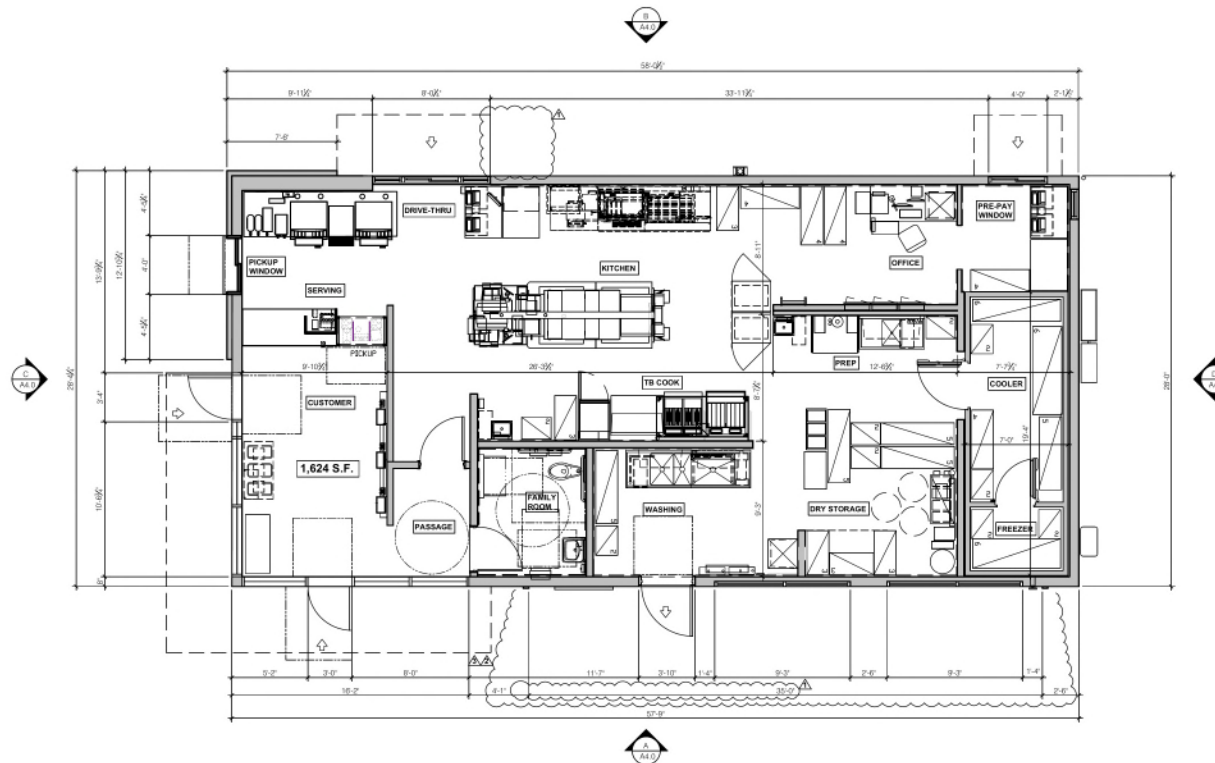
### REVISIONS:

Δ	03/24/23	CITY COMMENTS
Δ	07/29/24	DRAINAGE COMMENTS
Δ	08/11/24	CITY COMMENTS
Δ	10/01/24	CITY COMMENTS
Δ	10/23/24	CITY COMMENTS
Δ	11/25/24	CITY COMMENTS
Δ	12/13/24	CITY COMMENTS

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning







GLASS COVERAGE PERCENTAGE		
BUILDING EAST ELEVATION LENGTH:	57'-9"	100%
GLASS COVERAGE:		
CLEAR GLASS	16'-2"	28%
FAUX GLASS	18'-6"	32%
TOTAL GLASS:	34'-8"	60%



**CKE GROUP**  
INCORPORATED  
engineering architecture interior design  
17100 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33391  
PHONE: (305) 858-1111  
FAX: (305) 858-0612  
E: 40004432



EDUARDO L. CARACACHE  
CIVIL ENGINEER PE 31914

Eduardo L. Caracache, State of Florida,  
Professional Engineer, License No. 31914.  
This item has been digitally signed and  
sealed by Eduardo L. Caracache on the date  
indicated here.

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signature must be verified on any electronic  
copies.

05-24-2024
12-05-2024
12-10-2024

CONTRACT DATE: 01-16-23  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: 450000

TACO BELL  
3640 N. State Rd 7  
Hollywood, Florida 33021



**FLOOR PLAN**

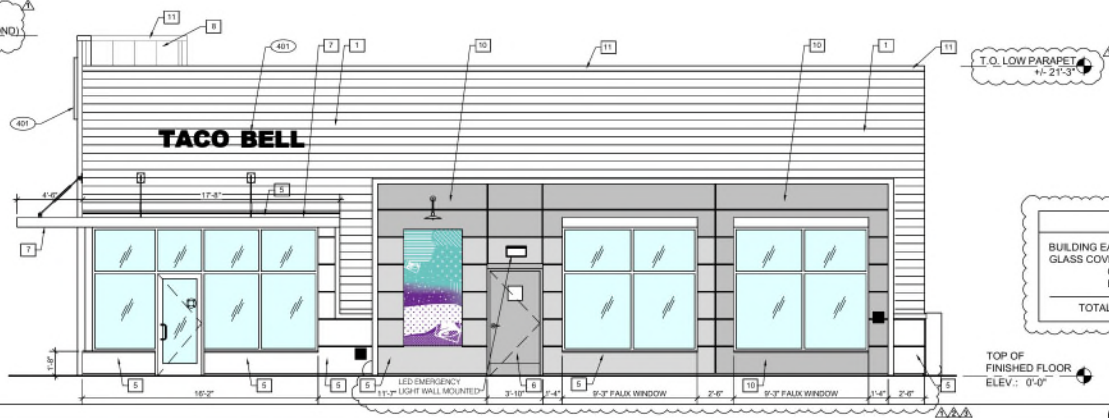
**A1.0**

PLOT DATE: 12-12-24

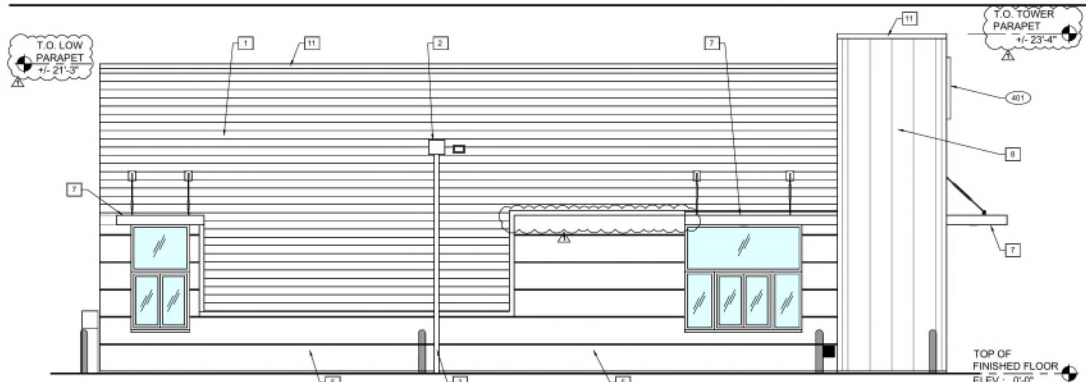
FLOOR PLAN 1/4"=1'-0" A



T.O. TOWER  
PARAPET (BEYOND)  
+/- 23'-4"



(EAST) RIGHT SIDE ELEVATION 1/4" = 1'-0" A



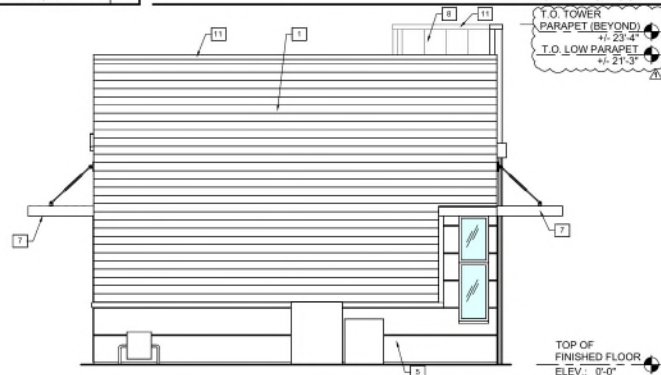
(WEST) LEFT SIDE ELEVATION 1/4" = 1'-0" B

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 40% X 8'-0" 7' EXPOSURE 50% GOSSEL FOSMER FOR PAINT	WORLDLY GRAY (SW704), SEMI-GLOSS
2	SCUPPER	-	-	WORLDLY GRAY (SW704), SEMI-GLOSS
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW704), SEMI-GLOSS
4	HARDE TRIM	JAMES HARDIE	HARDE TRIM 3/4" SMOOTH 1x6	CYBERSPACE (SW705), SEMI-GLOSS
5	HARDE PANEL, VERTICAL SIDING IN ALUMINUM TRIM (DOWN-FIT, REGLET AND/OR TAIL IN)	JAMES HARDIE	HARDE PANEL, VERTICAL SIDING - SMOOTH	CYBERSPACE (SW705), SEMI-GLOSS
6	HOLLOW METAL DOOR	BRONKHO VENDOR	-	SW PURPLE TRISOLIC, SEMI-GLOSS
7	ROOFING	WESTERN STATE	1" GROOVE 24GA PAINTED 18" PANEL	BLACK BY THE SQUARE (UNDER)
8	CORNER TOWER	-	-	WEATHERED RUSTIC
9	BUILDING SIGN	-	-	-
10	HARDE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TRISOLIC, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVALANIZED	CYBERSPACE (SW705) KNOWN DSG COATING

EXTERIOR FINISH SCHEDULE 1/4" = 1'-0" 1



(SOUTH) FRONT ELEVATION 1/4" = 1'-0" C



(NORTH) REAR ELEVATION 1/4" = 1'-0" D



**CKE GROUP**  
INCORPORATED  
engineering • architecture • interior design

17700 TIGER PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33390  
PHONE (305) 258-4124  
FAX (305) 258-4125  
TOLL FREE (800) 400-1337



EDUARDO L. CARACHE  
CIVIL ENGINEER-PE 31914

Eduardo L. Carache, State of Florida  
Professional Engineer, License No. 31914.  
This item has been digitally signed and  
sealed by Eduardo L. Carache on the date  
indicated here.

Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copies.

06-24-2024
12-05-2024
12-10-2024

CONTRACT DATE: 01.16.23  
BUILDING TYPE:  
PLAN/VERSION:  
SITE NUMBER:  
STORE NUMBER: 493980

TACO BELL  
2640 N. State Rd 7  
Hollywood, Florida 33021



**EXTERIOR  
ELEVATIONS**

**A4.0**

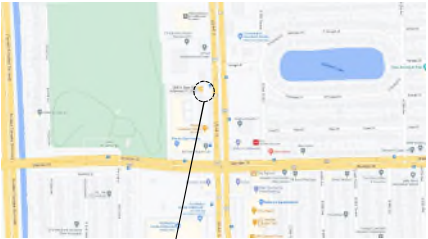
PLOT DATE: 12-10-24



**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

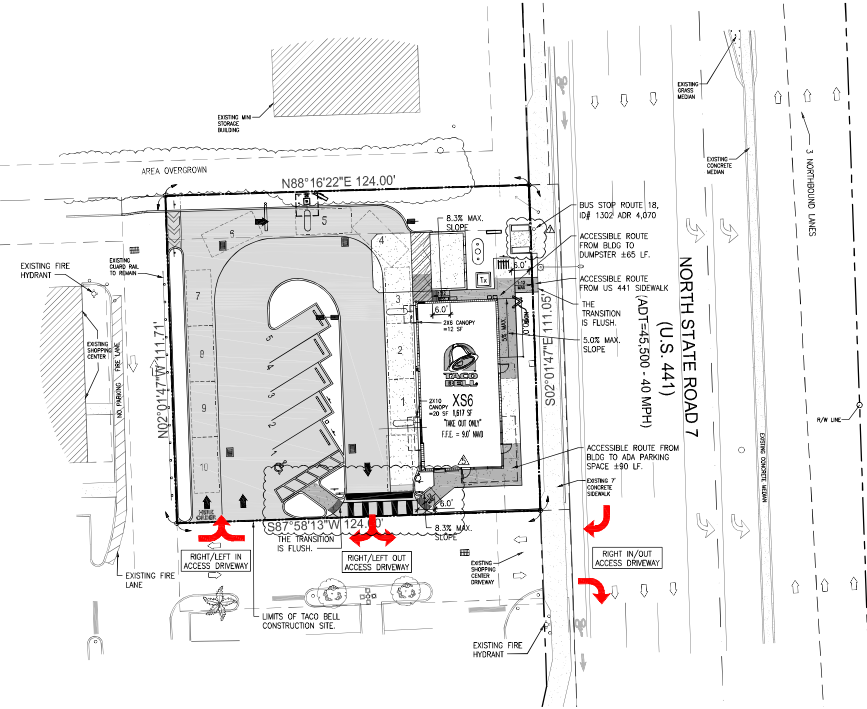
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3177 ACRES), MORE OR LESS.

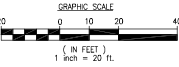


**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.



**SITE ACCESSIBLE ROUTE PLAN**  
1"=20'-0"

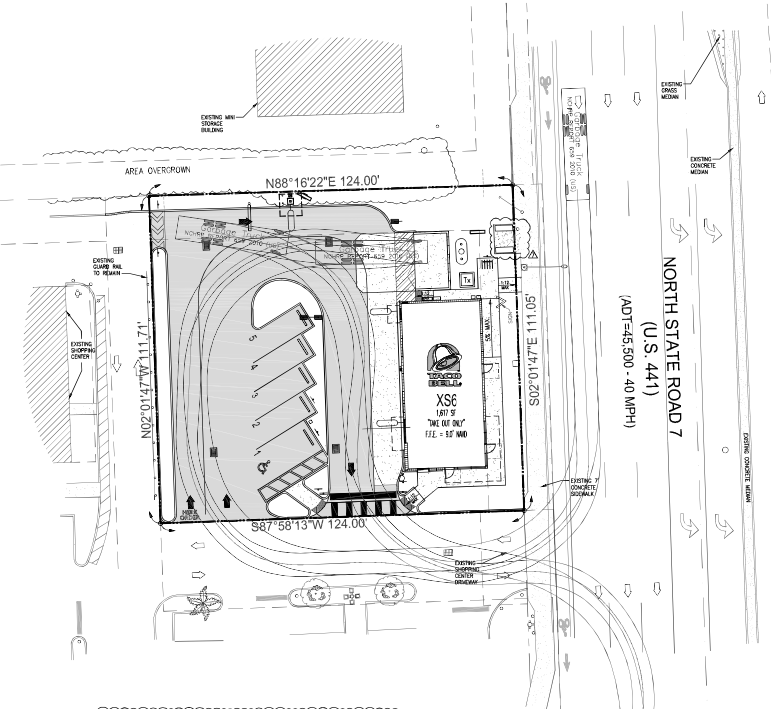


**SITE PLAN LEGEND**

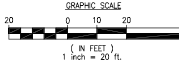
	TRANSFORMER BOX ON PAD
#	NUMBER OF PARKING SPACE
	ACCESSIBLE PARKING SPACES
	ACCESSIBLE ROUTE PATH 3% MAX SLOPE 2% MAX CROSS SLOPE RAMP: 1:12 MAX SLOPE
	NEW CONC. SIDEWALK/ DRIVEWAY
	NEW ASPHALT PAVEMENT
	GARBAGE TRUCK (38'x8')

**NOTES:**

- PARKING LOT SLOPES ARE TO BE ADA COMPLAINT AND VERIFIED BY G.C.
- ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.



**GARBAGE TRUCK PATH**  
1"=20'-0"



**GROUP**

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

17189 HOLY PALM BLVD  
SUITE #2  
WESTON, FLORIDA 33391  
PHONE: 352.558-4124  
FAX: 352.558-4125  
WWW.CKEGROUP.COM

**ESPERO L. CARACACHE**  
No. 31914  
Professional Engineer  
State of Florida  
Professional Engineer  
SEAL  
TAMMONT, CARACACHE  
17189 HOLY PALM BLVD  
SUITE #2  
WESTON, FLORIDA 33391  
352.558-4124

Esperio L. Caracache, State of Florida  
Professional Engineer, License No. 31914  
This item has been digitally signed and  
certified by Esperio L. Caracache on 01/01/2019  
Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
signature.

DATE	REVISION
10/23/24	CITY COMMENTS
10/23/24	CITY COMMENTS
11/23/24	CITY COMMENTS
12/13/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PAPM: DIANA D'AMICO  
DRAWN BY: AG  
JOB NO.:


**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



**SITE ACCESSIBLE  
ROUTES PLAN**

**C-1.1**  
PLOT DATE:





VEHICULAR USE AREA  
(7,708.2 S.F.)



### OPEN SPACE LANDSCAPE DIAGRAM



SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

Item has been digitally signed and sealed by Eduardo L. Carrasche on the date stated here.

	DATE	REMARKS
Δ	10/01/24	CITY COMMENTS
Δ	10/23/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
LAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
SCORE NUMBER: TB-459380  
/PM: DIANA DeCICCO  
DRAWN BY.: AG  
B NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



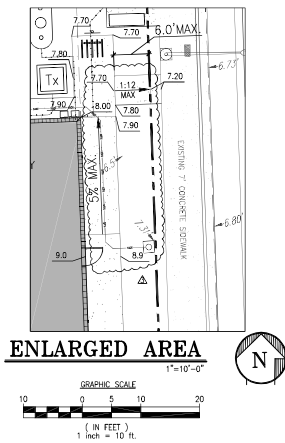
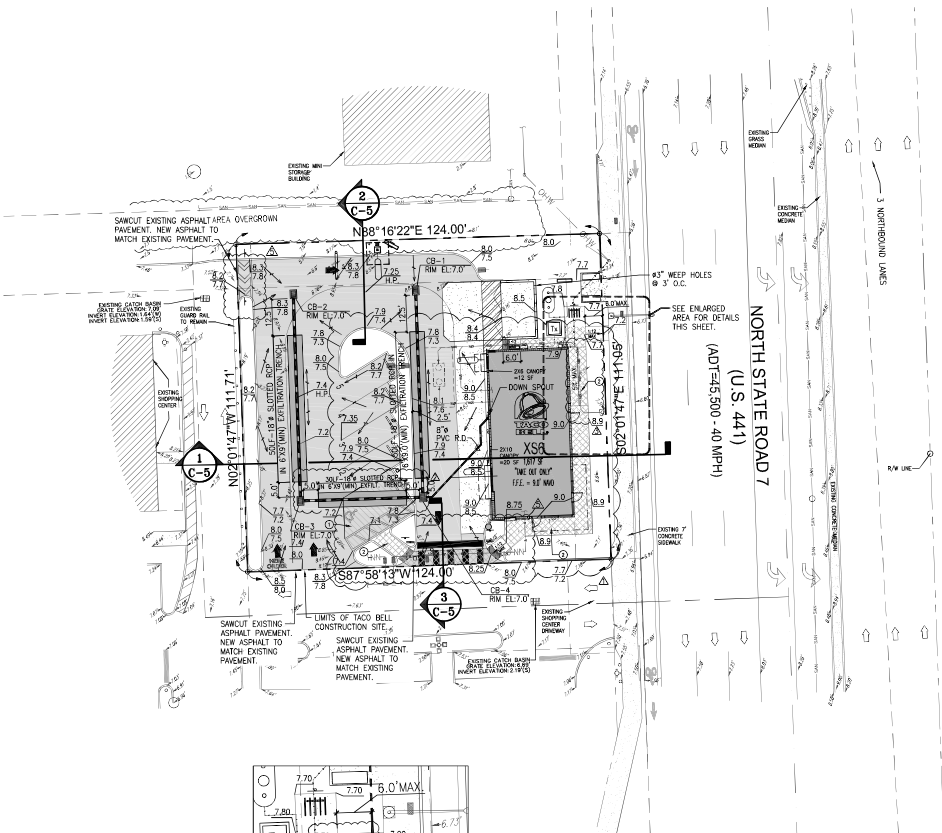
XS6   
VEHICULAR USE,  
LANDSCAPE  
BUFFER & OPEN  
SPACE AREA  
DIAGRAMS

C-1.2









- NOTES:**
1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
  2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
  3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
  4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.

**NOTE:**

CONTRACTOR TO DEMOLISH EXISTING BUILDINGS (INCLUDING FOUNDATIONS AND UNDERGROUND STRUCTURES), REMOVE ALL DEBRIS, PROVIDE CLEAN AND GRADED SITE, AND VERIFY LOCATION AND INVERT ELEVATIONS, PRIOR TO TACO BELL START CONSTRUCTION.

**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	12"-(4'x4')	7.0	2.5*			
CB-2	14"-(5'x5')	7.0	2.5*			
CB-3	14"-(5'x5')	7.0	2.5*	2.5*		
CB-4	14"-(5'x5')	7.0	2.5*		(8'BD) 3.5	2.5*

\* PROVIDE POLLUTION RETARDANT BAFFLE.

**REQUIRED FINISH FLOOR ELEVATION**

	REQ'D	PROPOSED
1. 1 FT ABOVE FLOOD CRITERIA	N/A--FLOOD ZONE "X"	N/A
2. 6 INCHES ABOVE CROWN OF ROAD	8.46+0.5=8.96'	9.0'

- LEGEND**
- TRANSFORMER BOX ON PAD
  - ACCESSIBLE PARKING SPACES
  - NEW ASPHALT DRIVEWAY
  - NEW CONC. SIDEWALK/ DRIVEWAY
  - PROP. DIRECTION OF DRAINAGE FLOW ARROW
  - EXISTING ELEVATION
  - PROP. TOP OF CURB & FINISHED PAVEMENT ELEV.
  - PROPOSED ELEVATIONS
  - G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
  - SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% AND MAX. 2% CROSS SLOPE.



**LEGAL DESCRIPTION:**

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 15.811 SQUARE FEET (0.317 ACRES), MORE OR LESS.

- GENERAL NOTES**
1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
  2. ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT.
  3. STABILIZED SUBGRADE SHALL HAVE UNIFORM BEARING RATION (LBS) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
  4. LIMESTONE BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
  5. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
  6. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
  7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
  8. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-418 AND 641, AND THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
  11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERIGHT.
  12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
  13. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-78, CLASS II, WALL THICKNESS, IF LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
  14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FOOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX NO. 280, FOOT DESIGN STANDARDS JANUARY 2004)
  15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
  18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF HOLLYWOOD OFFICIALS OF UNDERGROUND UTILITIES.
  19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.

**GROUP**

**CKE GROUP**

**INCORPORATED**

engineering • architecture • planning

17189 HOLLY PALM BLVD.

SUITE #2

WESTON, FLORIDA 33391

PHONE: (305) 558-4124

FAX: (305) 558-6005

WWW.CKEGROUP.COM

**EDUARDO L. CARACIO**

REGISTERED PROFESSIONAL ENGINEER

STATE OF FLORIDA

11111111111111111111

SEAL

EXPIRATION DATE: 12/31/2024

NO. 10194

12/31/2024

12/31/2024

12/31/2024

12/31/2024

EDUARDO L. CARACIO, State of Florida  
Professional Engineer, License No. 21914

This form has been digitally signed and  
sealed by Eduardo L. Caracio on the date  
indicated here.

Printed copies of this document are not  
considered signed and sealed and this  
signature must be verified on any electronic  
copy.

DATE	REVISION
03/24/23	CITY COMMENTS
07/28/24	DRAINAGE COMMENTS
09/17/24	CITY COMMENTS
10/23/24	CITY COMMENTS

CONTRACT DATE: \_\_\_\_\_

BUILDING TYPE: XS6

PLAN VERSION: \_\_\_\_\_

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PAPM: DIANA DHOCCO

DRAWN BY: AG

JOB NO: \_\_\_\_\_

**TACO BELL**

2640 N SR-7,

HOLLYWOOD, FL 33021

**TACO BELL**

XS6

**PAVING AND GRADING PLAN**

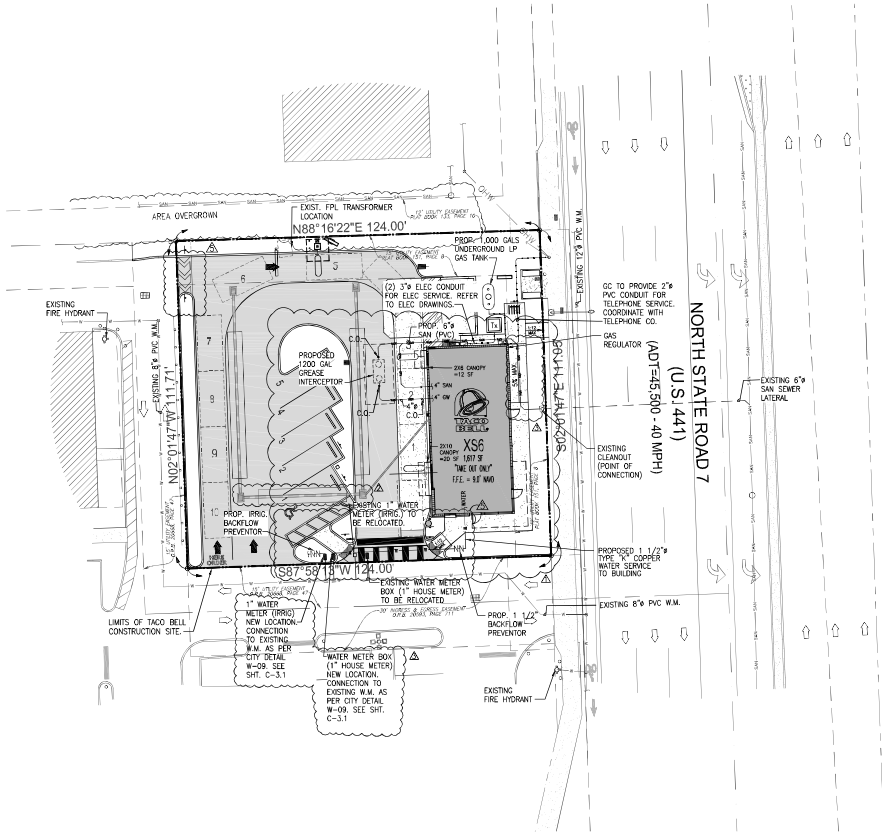
**C-2**

PLOT DATE: \_\_\_\_\_









**SITE UTILITY PLAN**



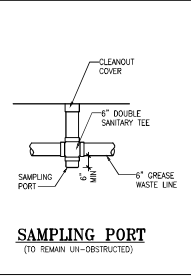
**SITE PLAN LEGEND**

	TRANSFORMER BOX ON PAD
	NUMBER OF PARKING SPACE
	ACCESSIBLE PARKING SPACES
	NEW ASPHALT DRIVEWAY
	NEW CONC. SIDEWALK/ DRIVEWAY

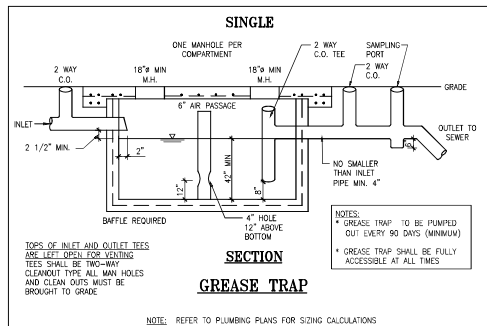


**NOTES:**

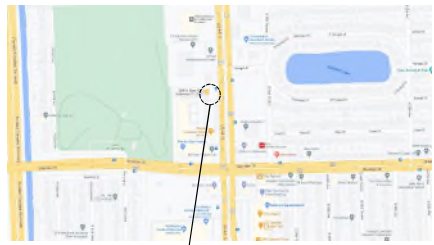
1. ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
2. WATER SHALL BE AVAILABLE TO ALL HYDRANTS PRIOR TO START OF CONSTRUCTION.
3. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
4. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
5. ALL CLEANOUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
6. ON-SITE SANITARY SEWER LATERAL TO BE PRIVATELY MAINTAINED.
7. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
8. MINIMUM SLOPE OF SANITARY WASTE = 1%.
9. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70 FT.
10. NO SOLVENT WELD SHALL BE USED.
11. REFER TO THE PUBLIC UTILITIES DEPARTMENT OF CITY OF HOLLYWOOD FOR ADDITIONAL DETAILS.
12. ON SITE WATER AND SEWER NOT INSIDE UTILITY EASEMENTS MUST BE PERMITTED AND INSPECTED BY PLUMBING OFFICIALS AT PUBLIC UTILITIES DEPARTMENT.
13. PHYSICAL SEPARATION BETWEEN THE BUILDING AND THE WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMO.



**SAMPLING PORT NOTE:**  
SAMPLING PORT SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE. WITH A MINIMUM 24 INCHES HORIZONTAL CLEARANCE FROM ANY WALL, FIXED EQUIPMENT OR STORED MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.



NOTE: REFER TO PLUMBING PLANS FOR SIZING CALCULATIONS



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13.811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

**PROPOSED WATER & SEWER DEMAND**

USE	SIZE	DEMAND	TOTAL DEMAND
WATER	1,167 S.F.	100 GALS PER 1,000 S.F. PER DAY	116.7 GALS PER DAY
SEWER	1,167 S.F.	85.12 GALS PER 1,000 S.F. PER DAY	99.3 GALS PER DAY

DEMAND  
35 GPD PER SEAT

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**EDUARDO L. CARACENI**

No. 31914

FLORIDA

PROFESSIONAL ENGINEER

SEAL

EDUARDO L. CARACENI

NO. 31914

FLORIDA

PROFESSIONAL ENGINEER

EXPIRATION DATE: 12/31/2024

Eduardo L. Caraceni, State of Florida, Professional Engineer, License No. 31914

This drawing has been created, approved and sealed by Eduardo L. Caraceni on the date indicated herein.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

DATE	REVISION
03/24/23	CITY COMMENTS
07/28/24	DRAINAGE COMMENTS
09/11/24	CITY COMMENTS
10/23/24	CITY COMMENTS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PAPM: DIANA DeCOCO

DRAWN BY: AG

JOB NO.:

**TACO BELL**

2640 N SR-7,

HOLLYWOOD, FL 33021



**SITE UTILITY PLAN**

**C-3**

PLOT DATE:



DATE	REMARKS
03/24/23	CITY COMMENTS
10/01/24	CITY COMMENTS
10/23/24	CITY COMMENTS
12/19/24	CITY COMMENTS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315998

STORE NUMBER: TB-459380

PA/PM: DIANA DECICCO

DRAWN BY: AG

JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021

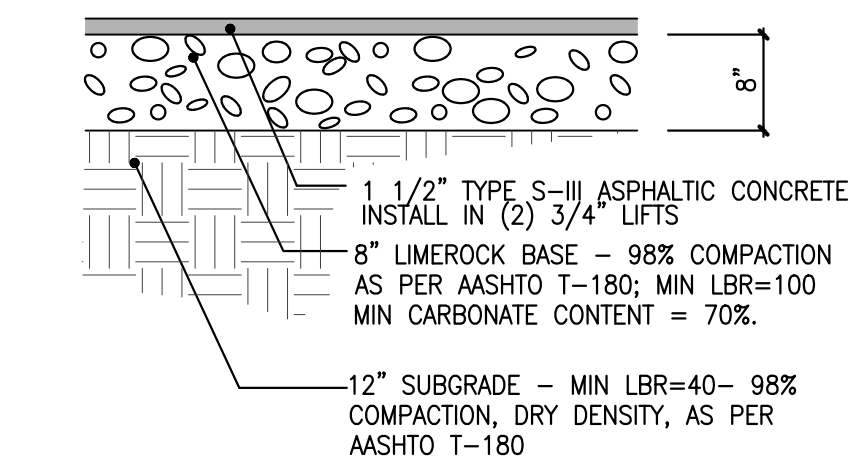


XS6

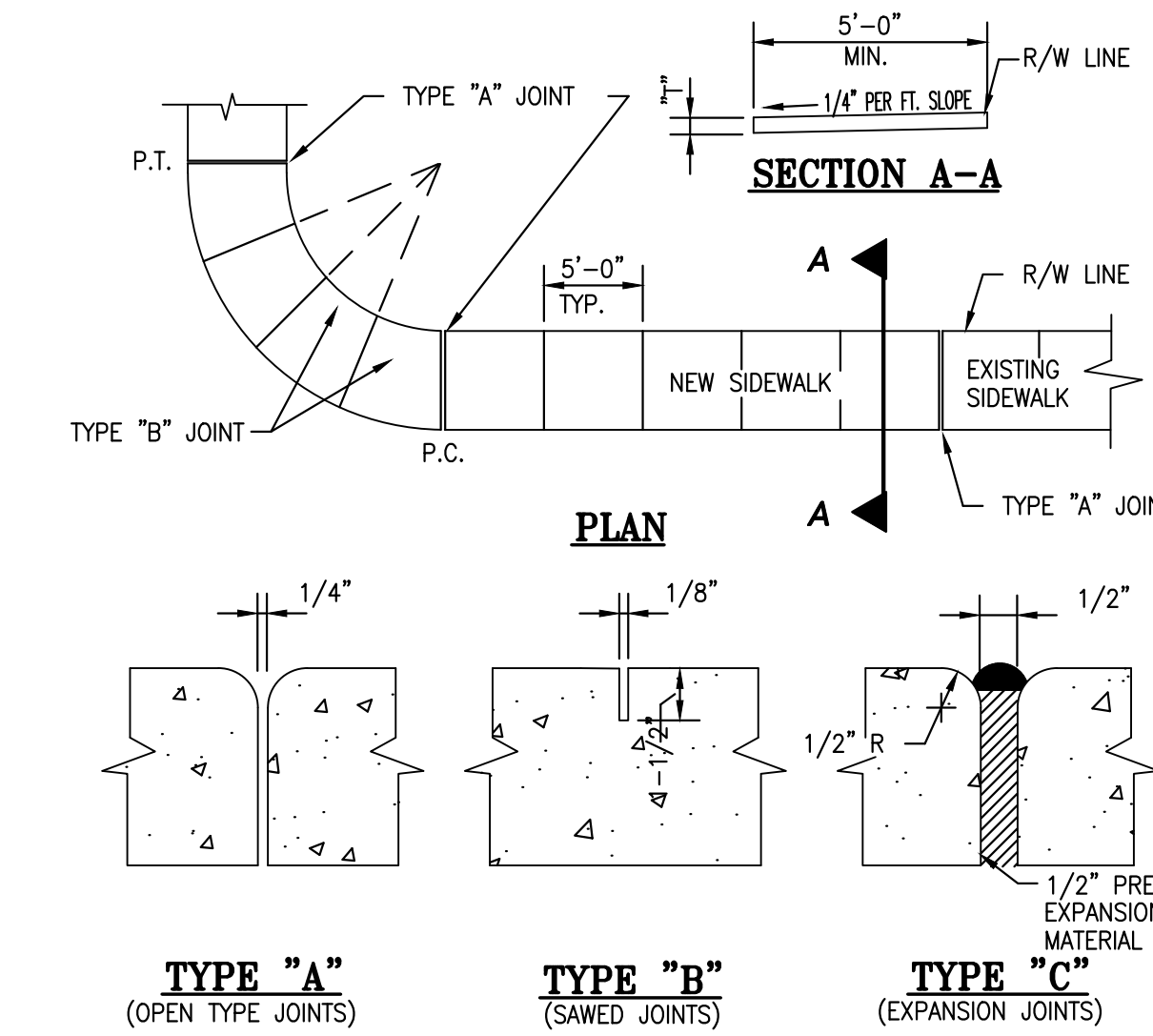
**SITE  
DETAILS**

**C-4**

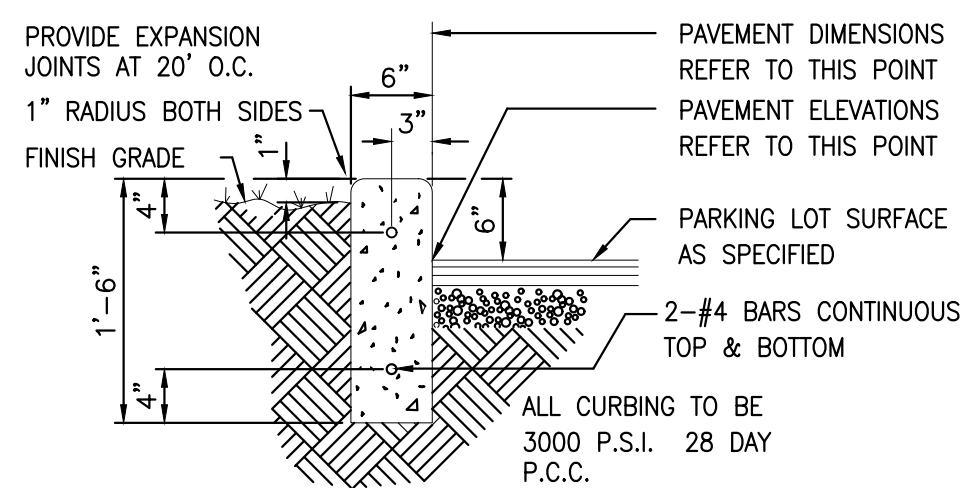
PLOT DATE:



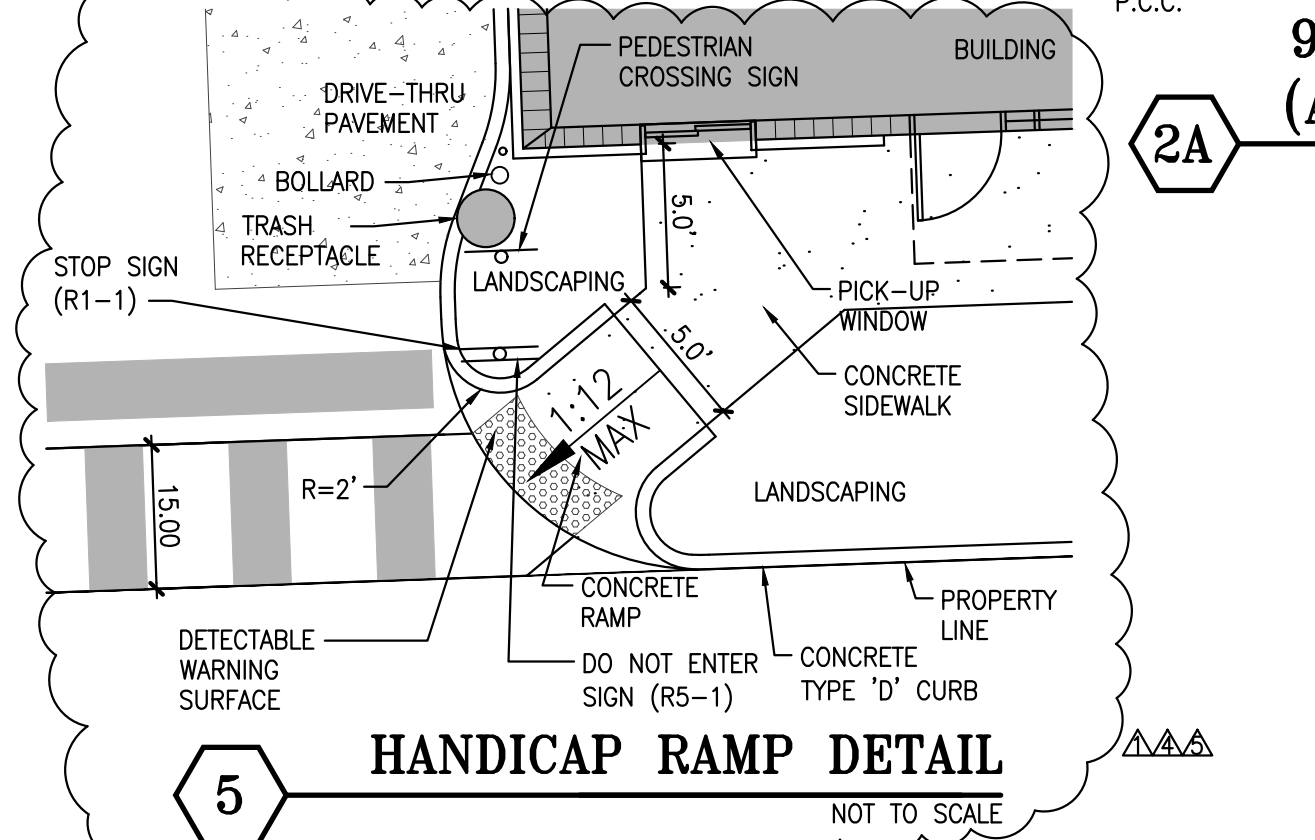
**1 PAVEMENT DETAIL**  
NOT TO SCALE



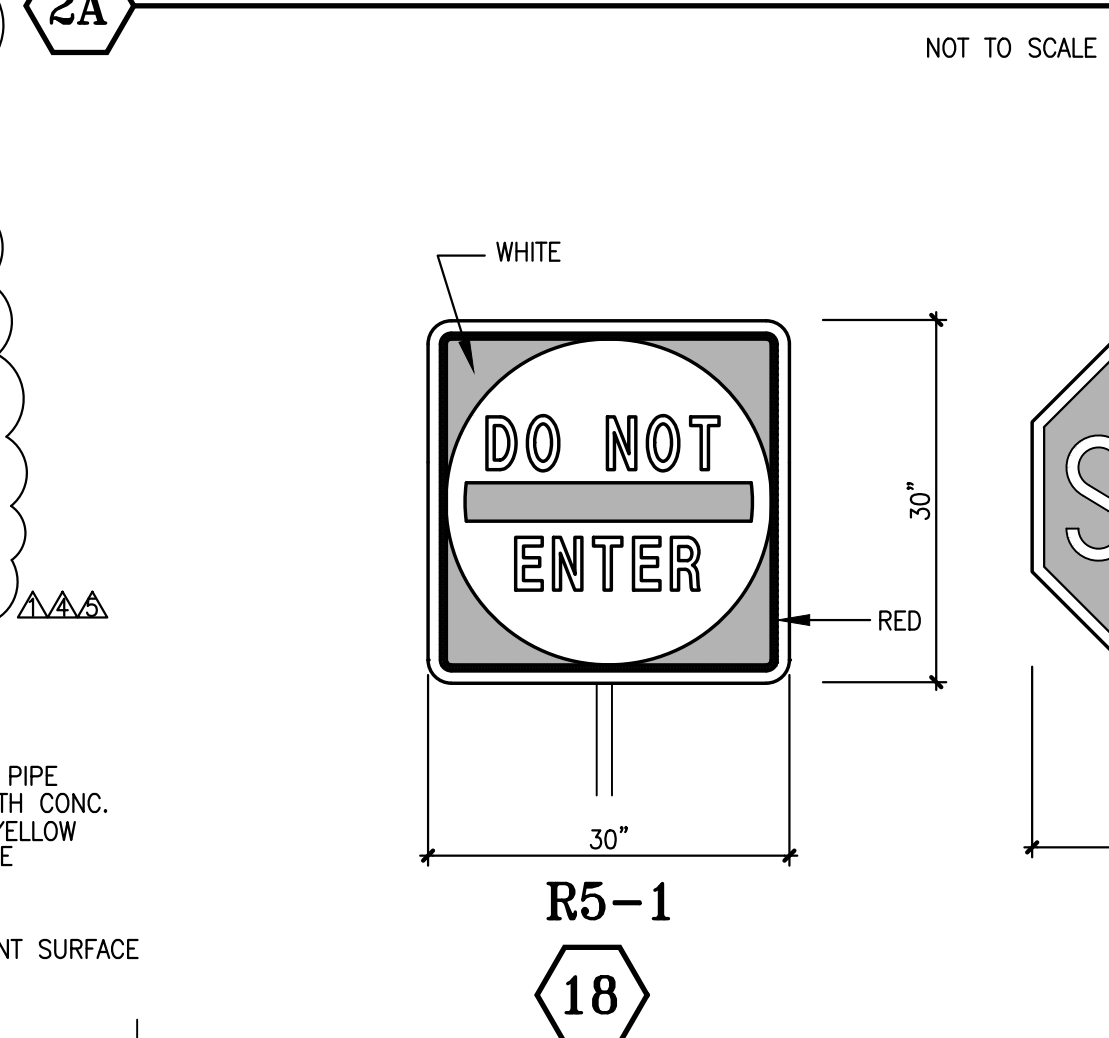
**4 SIDEWALK CONSTRUCTION DETAIL**  
NOT TO SCALE



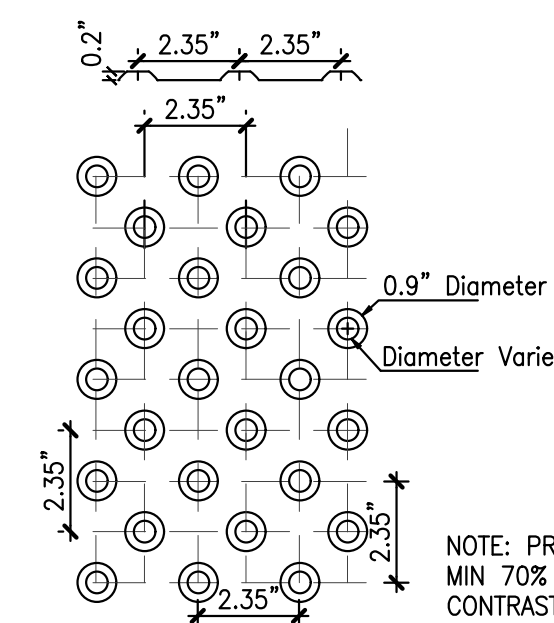
**2 6" CONCRETE CURB (TYPE "D")**  
NOT TO SCALE



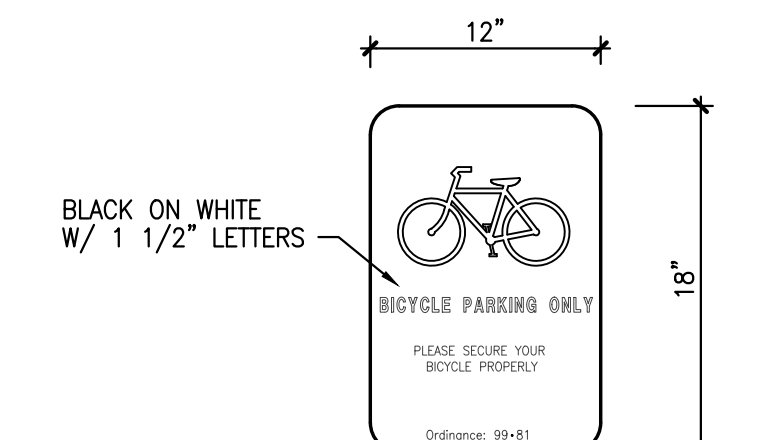
**9" CONCRETE CURB (ALONG FACE OF BUILDING)**  
NOT TO SCALE



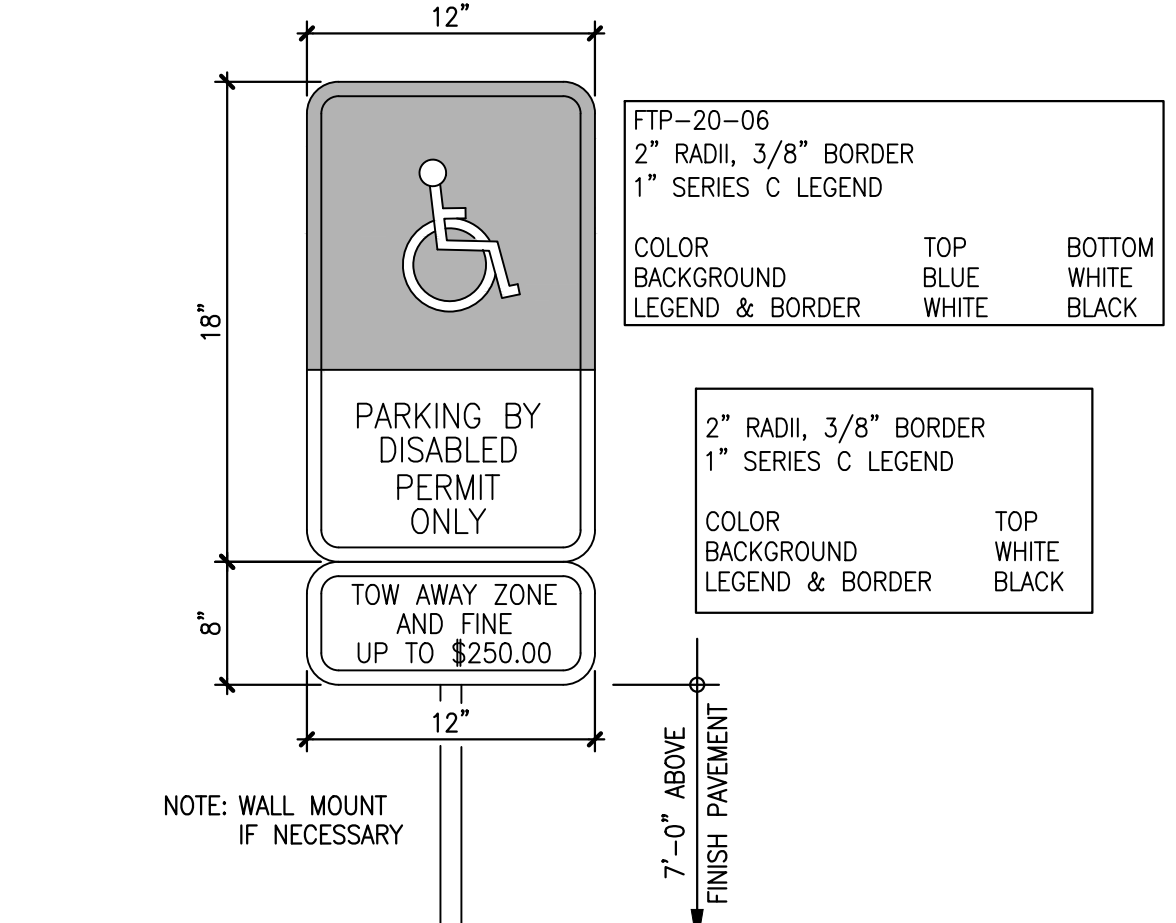
**STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**  
SCALE: N.T.S.



**10 DETECTABLE WARNING SURFACE DETAIL**  
NOT TO SCALE



**31 BICYCLE PARKING SIGN**  
NOT TO SCALE



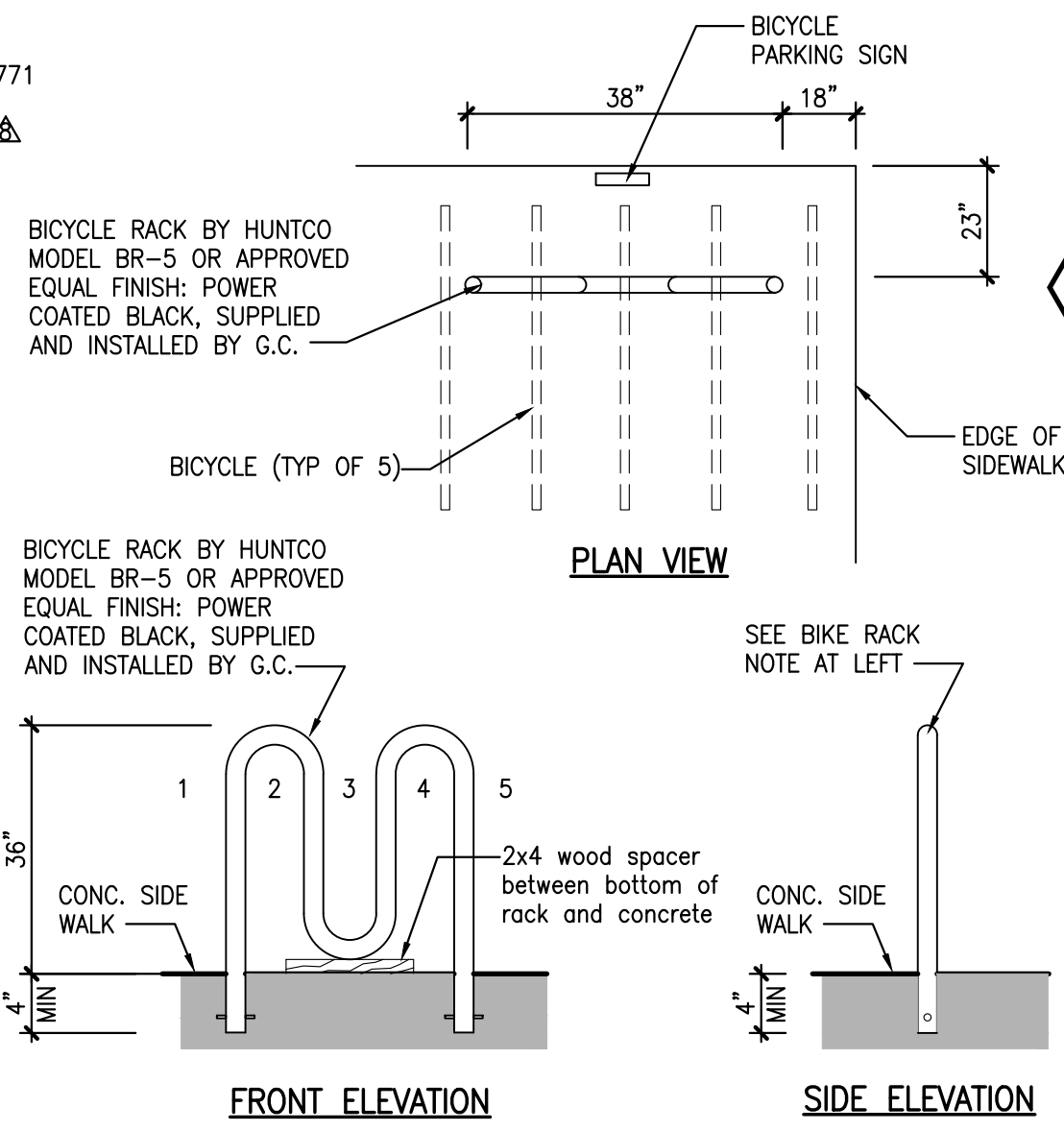
**17 HANDICAP PARKING SIGN (FPT-20-04 PER FDOT INDEX 17355)**  
NOT TO SCALE

**GENERAL NOTES**

- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 170 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
- ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
- WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.



**45 NO PARKING SIGN**  
NOT TO SCALE



**32 BIKE RACK DETAIL**  
NOT TO SCALE

**DETECTABLE WARNINGS & SIDEWALK CURB RAMPS DETAILS (FDOT INDEX 522-002)**

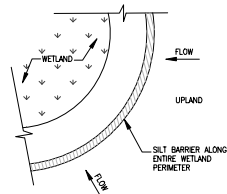
**5A**  
NOT TO SCALE

**14 16 STANDARD AND HANDICAP PARKING DETAILS**  
NOT TO SCALE

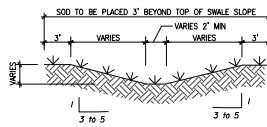




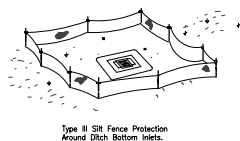




**SILT BARRIER**  
Figure 1

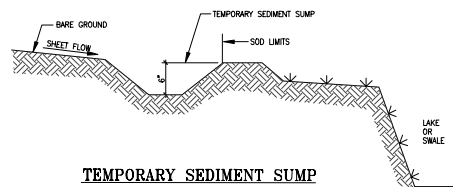


**TYPICAL SWALE SECTION**  
Figure 4

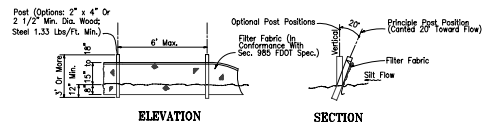


Do not deploy in a manner that all fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

**SILT FENCE APPLICATIONS**  
Figure 7

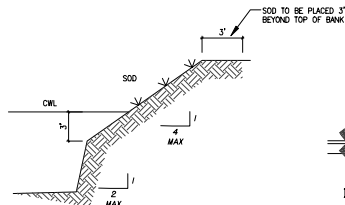


**TEMPORARY SEDIMENT SUMP**  
Figure 10

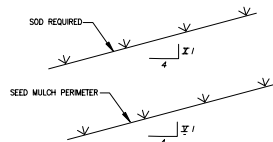


Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (L/F).

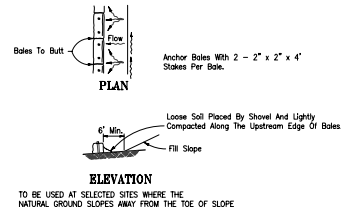
**TYPE III SILT FENCE**  
Figure 2



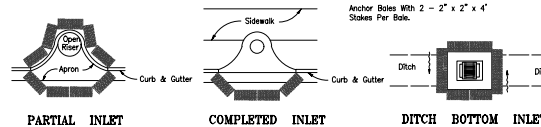
**TYPICAL RETENTION/DETENTION POND SECTION**  
Figure 5



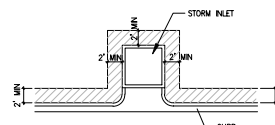
**GRASS SLOPES**  
Figure 8



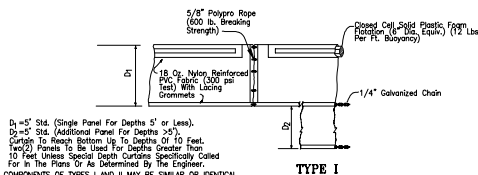
**BARRIERS FOR FILL SLOPES**  
Figure 3



**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
Figure 6



**SOD ALONG CURB AND AROUND INLET**  
Figure 9



D<sub>1</sub>=5' Std. (Single Panel For Depths 5' or Less).  
D<sub>2</sub>=5' Std. (Additional Panel For Depths >5').  
Curbs To Reach Bottom Up To Depths Of 10 Feet.  
Two (2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curbs Specifically Called For in the Plans Or As Determined By The Engineer.  
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**

**STORMWATER POLLUTION PREVENTION DETAILS**  
NOT TO SCALE

#### Best Management Practices

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C., the plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

#### SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS

1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.

1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.

1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.

1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

#### SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

2.1 Barriercodes shall be placed around all protected (preserved) habitats including mesic and uplands during development.

2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

#### SECTION 3 GENERAL EROSION CONTROL

3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake stop cover-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.

3.2 Cleared site development areas not continuously scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.

3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.

3.4 All grass slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.

3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.

3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

#### SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.

4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.

4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

a. In general erosion shall be controlled at the furthest practical upstream location.

b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

#### SECTION 5 CONTROL OF WIND EROSION

5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.

b. As soon as practical after completion of construction, bare earth areas shall be vegetated.

c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods are as necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

#### NOTES

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



**CKE GROUP**  
**INCORPORATED**  
engineering • architecture • planning

17100 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33390  
PHONE: 352.568.4124  
FAX: 352.568.0819  
EBA000432



SEAL  
EDUARDO L. CANACHE  
CIVIL ENGINEER #35914  
INCORPORATED  
ARCHITECT #251886

Eduardo L. Canache, State of Florida,  
Professional Engineer, License No. 35914.

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indicated here.

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signature must be verified on any electronic  
copies.

DATE	REMARKS

CONTRACT DATE:

BUILDING TYPE: XS6

PLAN VERSION:

BRAND DESIGNER: DANIEL DICKSON

SITE NUMBER: 315988

STORE NUMBER: TB-459380

PAPR: DIANA DiCICCO

DRAWN BY: AG

JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6

**POLLUTION PREVENTION DETAILS**

**C-6A**

PLOT DATE:

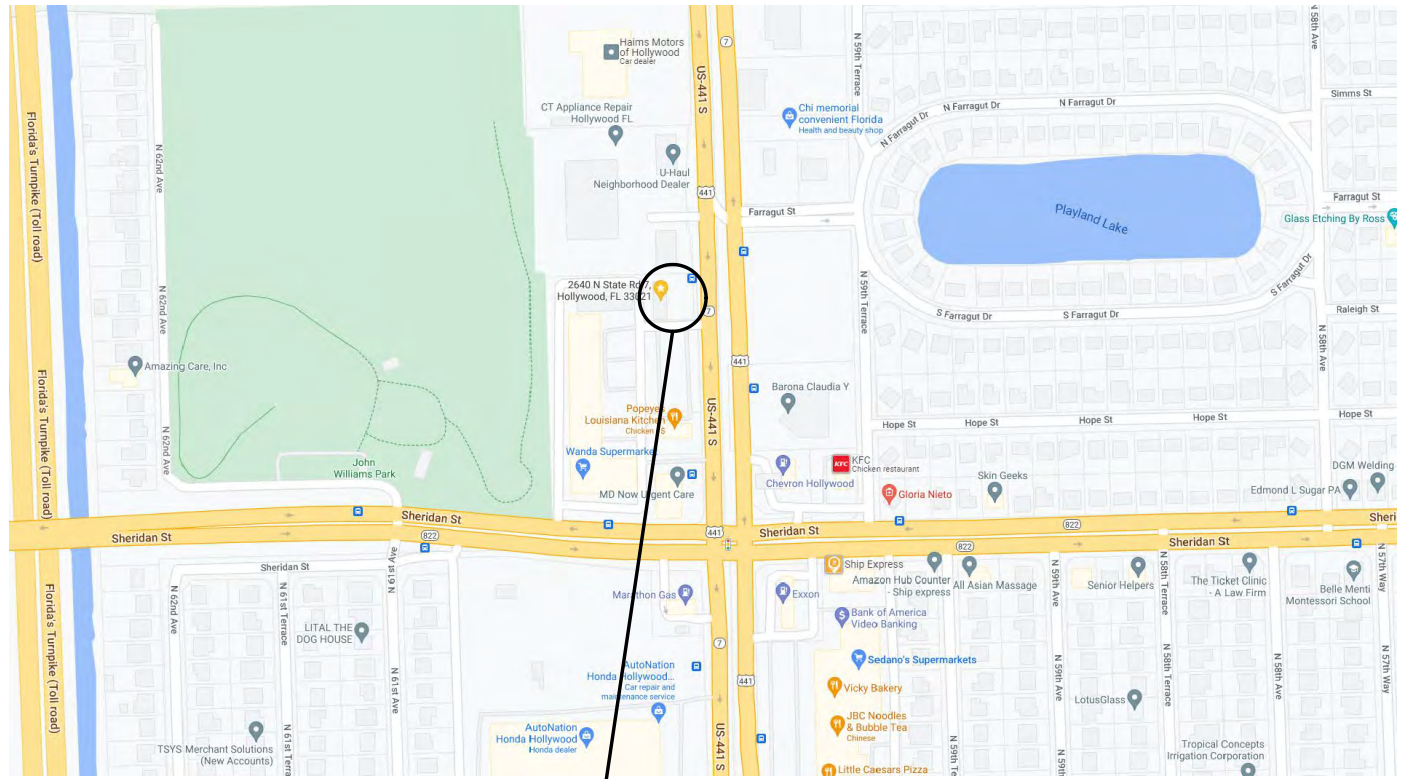












## LOCATION MAP

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

## LEGAL DESCRIPTION:

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



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**GROUP**  
**CKE GROUP**  
**INCORPORATED**  
engineering • architecture • planning  
17190 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33326  
PHONE: (305) 558-4124  
FAX: (305) 826-0619  
EB#0004432

**EDUARDO L. CARCACHÉ**  
LICENSE  
No. 31914  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

Eduardo L. Carcache, State of Florida,  
Professional Engineer, License No. 31914.

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copies.

	DATE	REMARKS
Δ	03/24/23	CITY COMMENTS
Δ	10/23/24	CITY COMMENTS
Δ	12/19/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

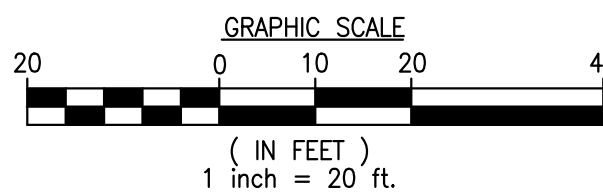
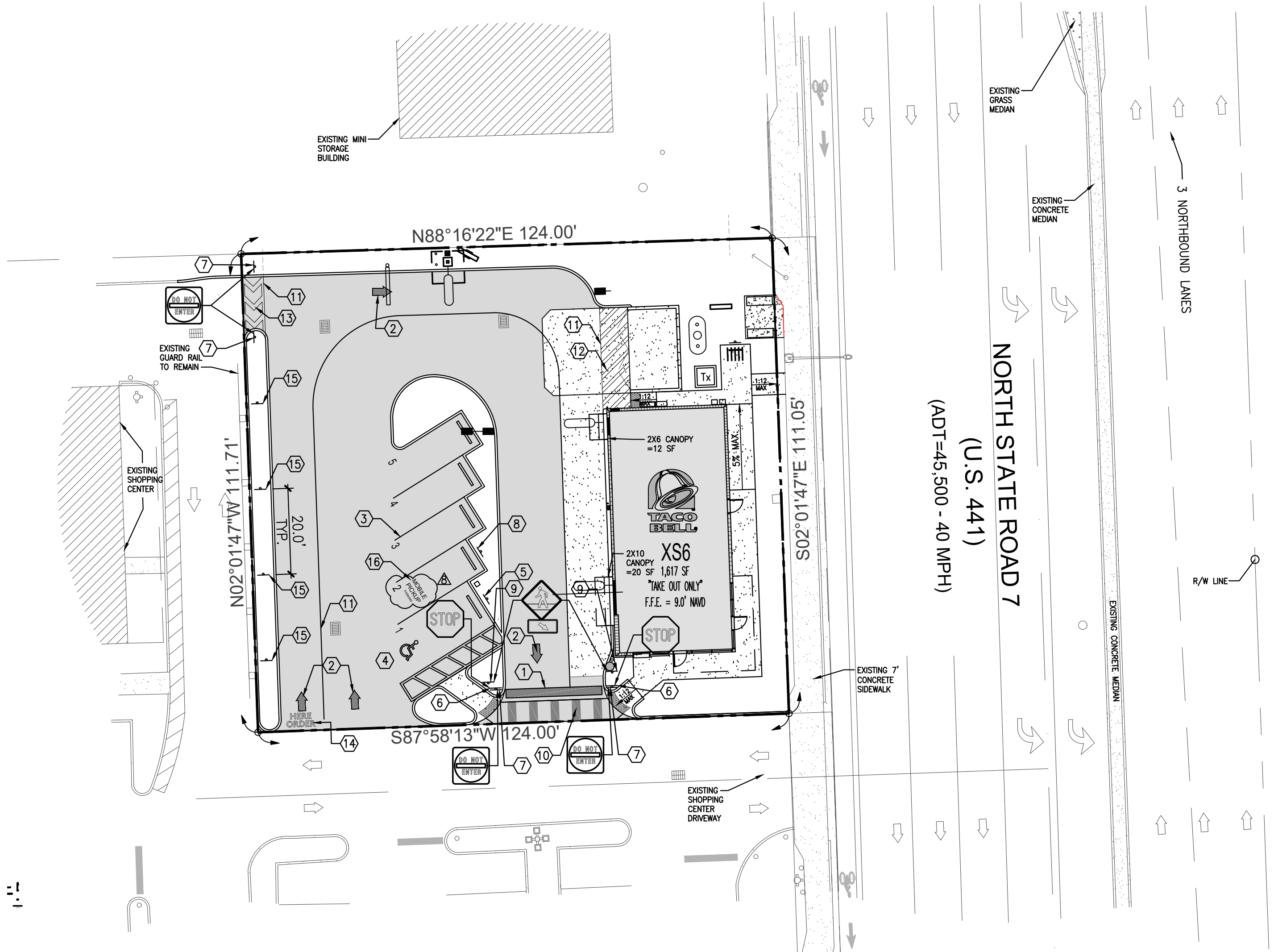
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6

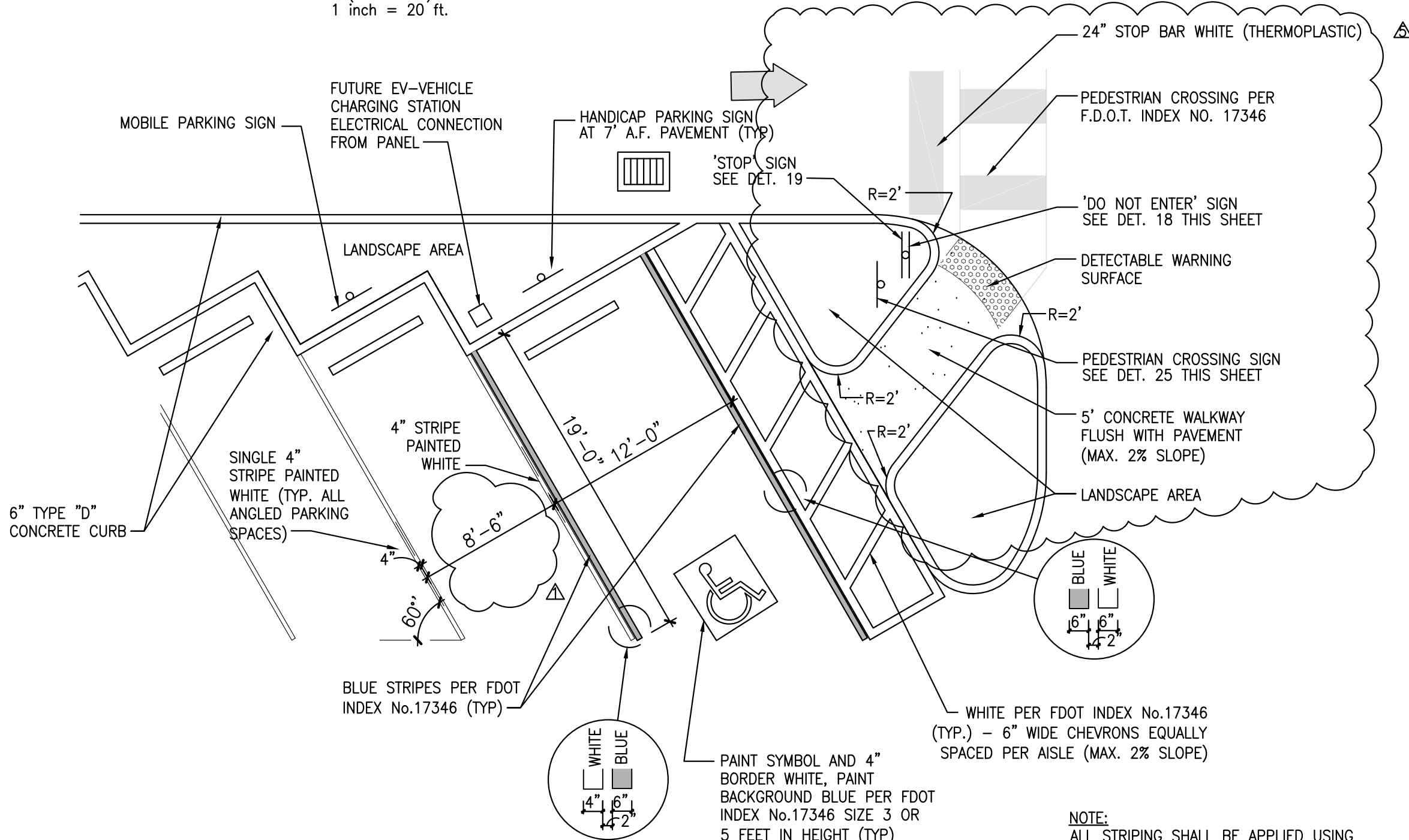
**PAVEMENT MARKING & SIGNAGE PLAN**  
**C-8**

PLOT DATE:



## PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1:20



## STANDARD AND HANDICAP PARKING DETAILS

NOT TO SCALE

## CONSTRUCTION NOTES:

- 24" STOP BAR WHITE (THERMOPLASTIC)
- TRAFFIC ARROWS PAINTED WHITE.
- 4" WHITE STRIPES (TYPICAL AT STANDARD PARKING SPACES)
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P.
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN. R5-1 (30"x30")
- MOBILE ORDER PICK-UP PARKING SIGN
- PEDESTRIAN CROSSING SIGN
- PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
- 6" WHITE STRIPE (THERMOPLASTIC)
- 6" WHITE STRIPE- 45° @ 24" O.C. (THERMOPLASTIC)
- 12" WHITE STRIPES 45° @ 3' O.C. (THERMOPLASTIC)
- DRIVE-THRU PAVEMENT MARKING
- "NO PARKING" SIGN.
- "MOBILE PICKUP PARKING" MARKING.

## HANDICAP PARKING SIGN

(PER MIAMI-DADE COUNTY PW-R18.3)  
NOT TO SCALE

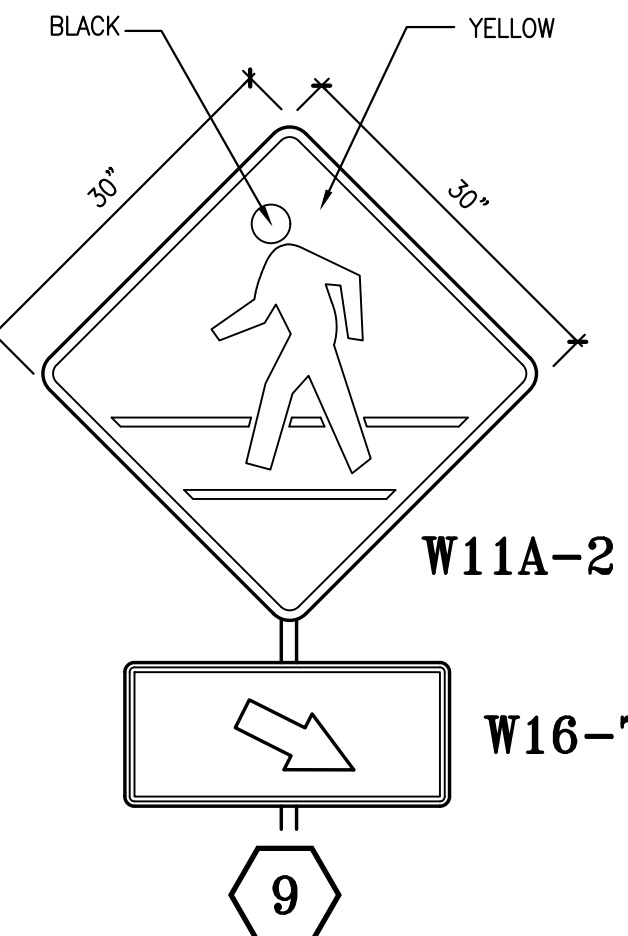
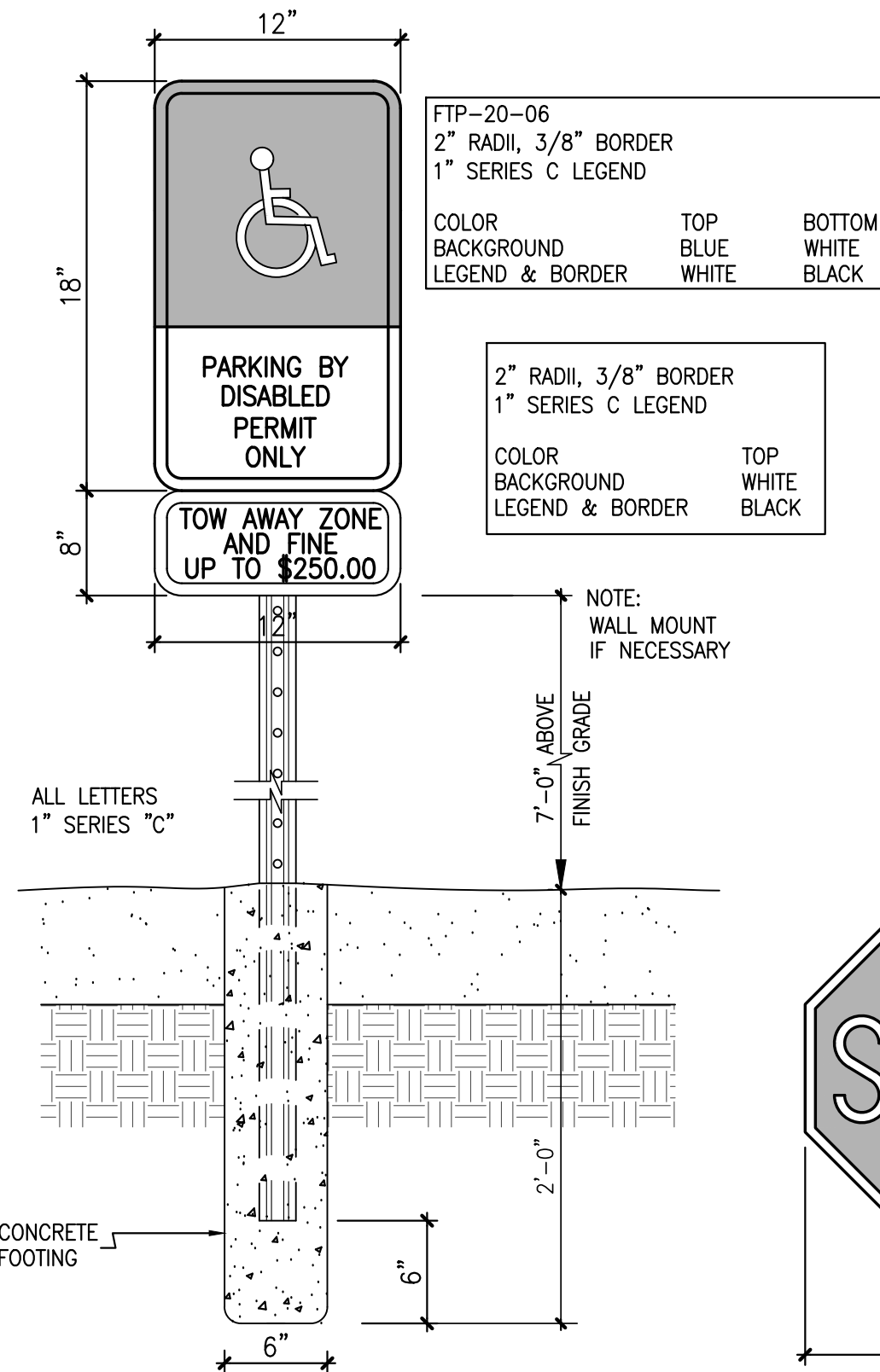
5

R1-1

6

## STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS

SCALE: N.T.S.



9

W11A-2

W16-7P

9

9

9

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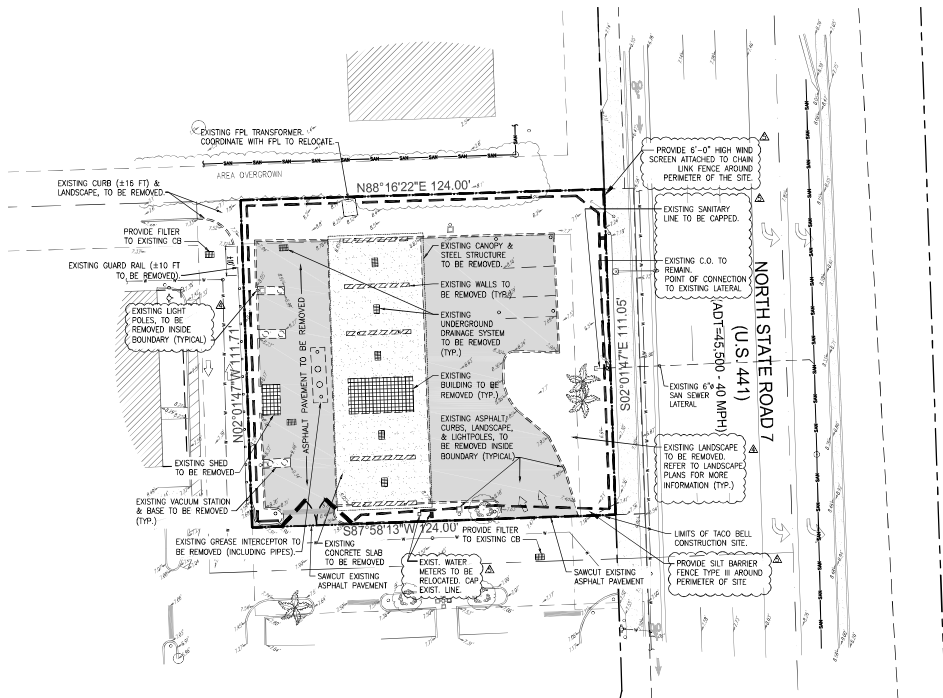
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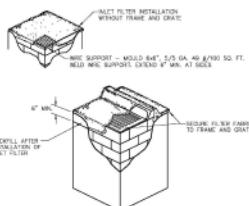
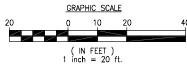






**SITE PLAN**

1"=20'-0"



- NOTES:**
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEGMENT TRAP WILL BE INSTALLED BEHIND THE CURB AT THE INLET. THE TRAP SHALL BE AT LEAST 10 TO 15 INCHES IN DEPTH, APPROXIMATELY 30 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEGMENT TRAP ON DRIVE CURB ALIGNED TO EACH SIDE OF THE INLET STRUCTURE. THESE CURBS SHALL BE AT LEAST 10 INCHES IN LENGTH. STORM WATER TRAP ALSO REACHES THE DRIVE VIA OVERLAP FLOOR LAMP AREA BEHIND THE CURB. THE CURB OUTS SHALL BE REPAIRED WHEN THE SEGMENT TRAP IS REMOVED.

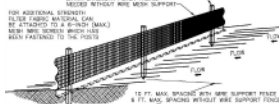
**INLET FILTER DETAIL**

N.T.S.



**SILT FENCE SECTION**

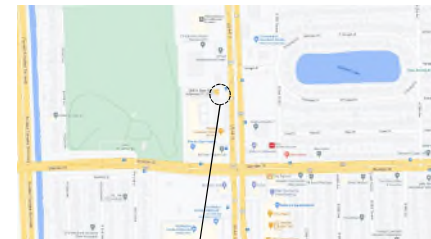
NOT TO SCALE



- NOTES:**
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (91 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND SPREAD REGULARLY INTO THE GROUND A MAXIMUM OF 15 INCHES (38 CM) WITH EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT POSTS, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE CAULKED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UNDERNEATH THE BARRIER.
  5. WITH EXISTING UNDERGROUND UTILITY LINES, A WIRE WITH SUPPORT POSTS SHALL BE PLACED TO EXPOSE ALL UTILITIES PRIOR TO THE TRENCH. WIRE SHOULD BE MARKED WITH FLAG OR TAPE AT EVERY 10 FEET (3 M) AND SHALL NOT EXCEED MORE THAN 6 INCHES (15 CM) ABOVE THE ORIGINAL SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR NAIL TO THE POSTS, THE 6 INCHES (15 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH, THE FABRIC SHALL NOT EXCEED MORE THAN 30 INCHES (76 CM) ABOVE THE ORIGINAL SURFACE.

**SILT FENCE INSTALLATION DETAILS**

N.T.S.



**LOCATION MAP**

NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13.811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



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**GENERAL NOTES**

1. SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
2. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS. THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION, AND THE GRADING OF THESE AREAS SO AS NOT TO BE OBSTRUCTIVE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
3. REMOVE ALL VEGETATION, ROLL AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM-D1557-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM-D1557-78. REFER TO SOils REPORT FOR ADDITIONAL INFORMATION.
4. DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
5. IT IS THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
6. LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
7. ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.

8. PHYSICAL SEPARATION BETWEEN THE BUILDING AND THE WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMO.
9. DEMOLITION CONTRACTOR MUST USE BEST MANAGEMENT PRACTICES DURING AND AFTER THE DEMO TO PREVENT SEDIMENT AND EROSION RUNOFF FROM PROPERTY DURING AND AFTER CONSTRUCTION.

**SITE PLAN LEGEND**

- BUILDING TO BE DEMOLISHED
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE TO BE REMOVED

**DEMOLITION NOTES**

1. FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
2. ALL EXISTING PAVEMENT MARKINGS AND SIGNS WITHIN PROPERTY LINES TO BE REMOVED.
3. EXISTING ASPHALT PAVEMENT AND BASE WITHIN PROPERTY LINES TO BE REMOVED (DEPTH OF BASE REMOVAL BASED ON PROPOSED GRADES).
4. EXIST CURBS, CONC. WALKS, HAND RAILS, BOLLARDS, LIGHTS, PLANTERS, METERS, ELECT. PANELS, CONDUITS, POSTING TO AND AROUND BUILDING TO BE REMOVED.
5. - - - - - DENOTES TO BE REMOVED
6. \_\_\_\_\_ DENOTES TO REMAIN



SHEET #2  
WESTON, FLORIDA 33331  
PHONE: (954) 558-4124  
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WWW.CKEGROUP.COM



SEAL  
EDUARDO L. CARACHEO  
MECHANICAL ENGINEERING  
FLORIDA  
06-24-2014 / 11-24-2019  
A61218ELC1-0011550

Eduardo L. Caracheo, State of Florida  
Professional Engineer, License No. 31914  
This form has been digitally signed and sealed by Eduardo L. Caracheo on the date indicated herein.

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DATE	REVISION
10/21/24	CITY COMMENTS
10/23/24	CITY COMMENTS

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: XS6  
PLAN VERSION: \_\_\_\_\_  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PAPM: DIANA DHOCCO  
DRAWN BY: AG  
JOB NO.: \_\_\_\_\_

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



**SITE DEMOLITION PLAN**

**SD-1**

PLOT DATE: \_\_\_\_\_





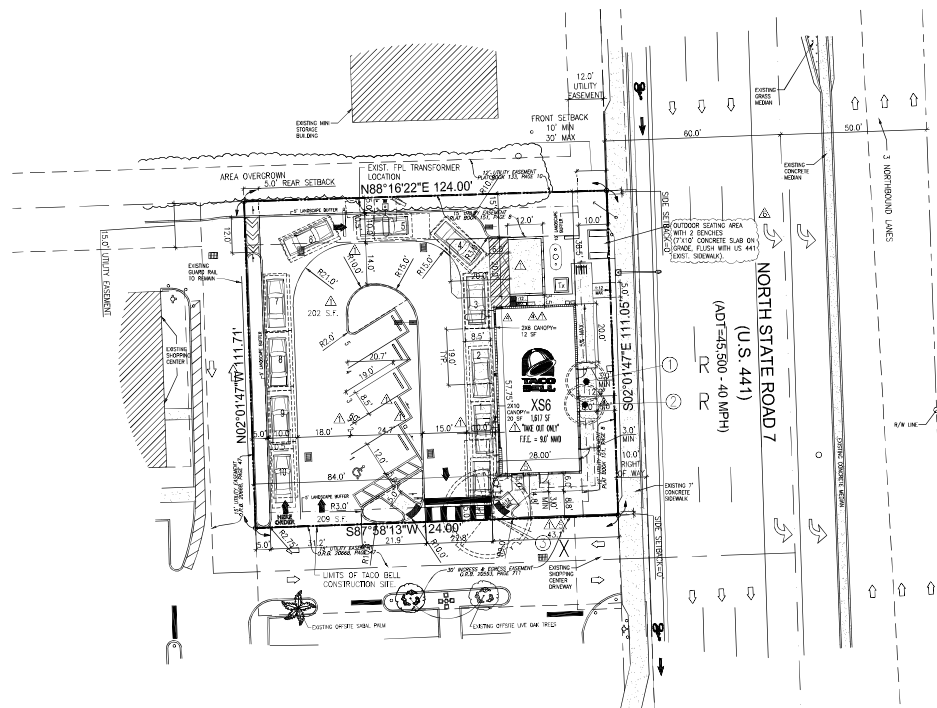




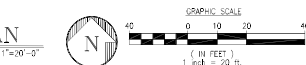








### TREE DISPOSITION PLAN



#### NOTE:

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 5' MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

#### IRRIGATION SCHEDULE

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS FOLLOWS: 1. ALL TREES/PALMS TO BE RELOCATED OR NEWLY PLANTED TREES/PALMS SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GAL/GAL/GAL PER INCH TRUNK CALIPER. ALL IRRIGATION SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.

TABLE 2. IRRIGATION SCHEDULES DEPENDING ON SIZE OF PLANT, STOCK AND DESIRED OBJECTIVE\*

SIZE OF PLANT STOCK	IRRIGATION SCHEDULE FOR	
	NEW	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY/ONCE ESTABLISHED	THREE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY/ONCE ESTABLISHED	THREE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY/ONCE ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

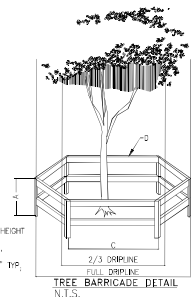
\* (ESTABLISHMENT TIMES APPROXIMATELY 3 MONTHS (TREES ZONES 10-11) 4 MONTHS (TREES ZONES 8-9) PER INCH TRUNK CALIPER.



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

#### TREE BARRICADE NOTES:

1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 6 WEEKS PRIOR TO CONSTRUCTION AND TOPS ACCORDING TO GOOD NECESSARY PRACTICE AS REQUIRED. FRENCH DEPTH SHALL BE 18"-24" DEPTH SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FULL PRUNING WITH FERNOS NATURAL SUCH AS LARCH OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TOPS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED IF NEEDED.
2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) Z390-2005" CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION SYSTEM FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION AND SHALL REMAIN IN PLACE DURING CONSTRUCTION.
5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRICADES.
6. TOPSOIL SHALL BE CLEAN & RELATIVELY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOxious PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
8. TRANSPORT TREE WITH 60" GROUND SPACE OF TREE CRANK. TRANSPORTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS REQUIRED FOR TRANSPORTING.
9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (4" - 1") THAN THE FINISHED GRADE.



EXISTING TREES TO REMAIN REQUIRED BARRICADES

SEE SHEET L-1 LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

R = TO BE RELOCATED  
X = TO BE REMOVED

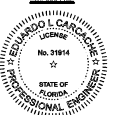
EXISTING LANDSCAPE MATERIALS						
KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
(1)	SAB	1	SABAL PALMETTO / CARBACEO PALM	16"-18" X 15"	(1) TO BE RELOCATED (12" O CALIPER)	GOOD/70%
(2)	SAB	1	SABAL PALMETTO / CARBACEO PALM	18"-20" X 15"	(1) TO BE RELOCATED (12" O CALIPER)	GOOD/70%
(3)	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22"-24" X 30"	(1) TO BE REMOVED (10" O CALIPER)	POOR/40%

△ △

1 LIVE OAK TREE 10.5" D.B.H. TO BE REMOVED =X SEE PLAN  
(3)-CRAPE MYRTLE UPSIZED FROM 2" TO 4" D.B.H.= ADDITIONAL 6.0" D.B.H. PROVIDED ONSITE. SEE L-1  
4.5" D.B.H. TREE SHORTFALL OPTION OF \$350.00 PER 2" D.B.H. AMOUNT OF \$787.50 TO BE PAID INTO CITY TREE TRUST FUND.  
(M)= UPSIZED TREES IN LIEU OF CANOPY COMPENSATION MITIGATION PROVIDED AS SHOWN, SEE LEGEND



EDUARDO L. CARACACHE  
REGISTERED PROFESSIONAL ENGINEER  
FL NO. 3011662414  
FL NO. 3011662414



SEAL  
EDUARDO L. CARACACHE  
REGISTERED PROFESSIONAL ENGINEER  
FL NO. 3011662414  
FL NO. 3011662414

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EDUARDO L. CARACACHE  
REGISTERED PROFESSIONAL ENGINEER  
FL NO. 3011662414  
FL NO. 3011662414

DATE	REVISIONS
03/24/24	CITY COMMENTS
08/16/24	CITY COMMENTS
09/17/24	CITY COMMENTS
09/24/24	CITY COMMENTS
10/03/24	CITY COMMENTS
12/13/24	CITY COMMENTS

CONTRACT DATE: 2/26/2021  
BUILDING TYPE: XS6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-460380  
PA/PM: DIANA DICKSON  
DRAWN BY: AG  
JOB NO.: CKE 1746

TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021



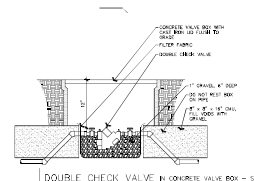
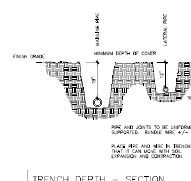
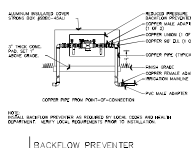
XS6  
TREE  
DISPOSITION  
PLAN  
L-3

PLOT DATE:

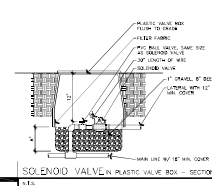
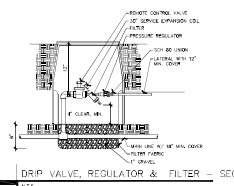
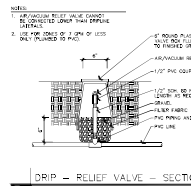






[illegible]

ITEM	MANUFACT.	MODEL NO.
drop-in spray head	None	SPD-47-CDM
drop-in spray head designed for narrow row spacing	None	SPD-47-CDM
open head assembly	None	Precision Series Nozzles
open head assembly with cone conversion for variable head	None	TURMS
line line	None	DL23000
controllers (up to 16 acres)	None	Evolution EVO-850WH, EVO-ATC Expansion Modules
weather sensor	None	Evolution EVO-SC, EVO-ATC Expansion Modules
controllers (up to 24 acres)	None	THC-430E-CD
central sensors with new 4246	Initial	CL-Weather
central sensors and rotary access, dry zone(s)	None	FPF10L-DL-62F
	NBCO	5-113
high resolution video & hup initial base #1	None	SLC-500, SLMC 500 SLK
high resolution video & hup initial base #2	None	SLC 400
precision sensor cable 7' round cable with large protection hole	FPSCD	As Required
	None	SPD-587



to be installed on the upper surface of concrete slabs. Through a series of tests and experience, the following criteria have been established:

1. The slab must be a minimum 4-in. (100 mm) thick.
2. The concrete must be a minimum 3,000-psi (20.7 MPa) compressive strength.
3. The slab must be free of reinforcement bars.
4. The slab must be free of other embedded items.
5. The slab must be free of other items that will interfere with the curing process.
6. The slab must be free of other items that will interfere with the curing process.

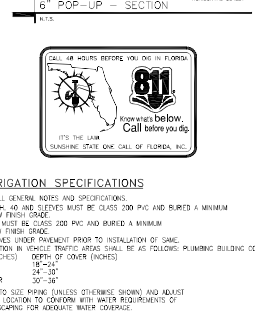
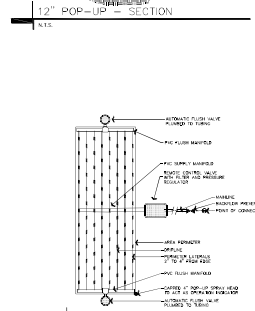
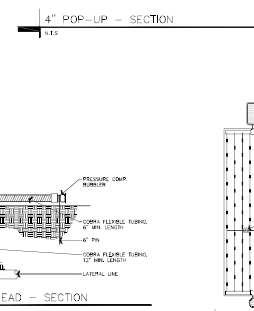
**CURVE TYPE AND FITTING ADJUSTS:**

1. Most pipe and fitting curves are made by using a curve form that is made of steel or aluminum.
2. The curve form is made of steel or aluminum.
3. The curve form is made of steel or aluminum.
4. The curve form is made of steel or aluminum.
5. The curve form is made of steel or aluminum.
6. The curve form is made of steel or aluminum.

**ELECTRICAL WELDED:**

1. The electrical welded pipe and fittings are made of steel or aluminum.
2. The electrical welded pipe and fittings are made of steel or aluminum.
3. The electrical welded pipe and fittings are made of steel or aluminum.
4. The electrical welded pipe and fittings are made of steel or aluminum.
5. The electrical welded pipe and fittings are made of steel or aluminum.
6. The electrical welded pipe and fittings are made of steel or aluminum.

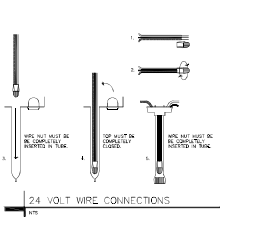
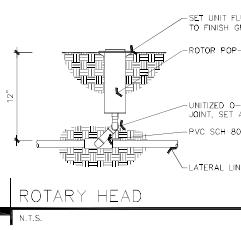
12



4. Use an Owner's Manual to determine total measurement of spaces including adjusting of work. Enter the measurements and total distance traveled in the Space Use Measurement Table on the project's representative.

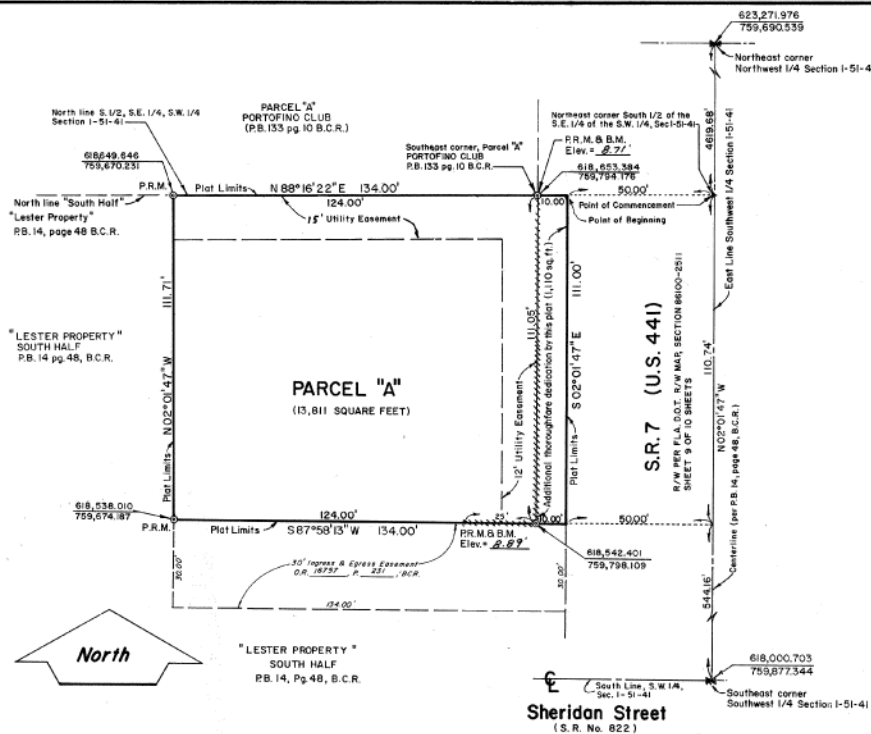
5. Repeat the test at least three times and calculate the average of the three representative.

12"

[illegible]

2





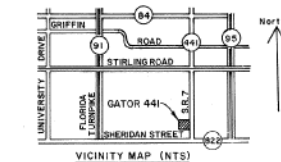
# DESCRIPTION

A portion of the "SOUTH HALF" of "LESTER PROPERTY" as recorded in Plat Book 14, page 48, B.C.R. lying within the following described parcel of land: a portion of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 1, Township 51 South, Range 41 East, Broward County, Florida being described as follows: Commencing at the Northeast corner of the South 1/2 of the Southeast 1/4 of the said Section 1; Thence, S88°16'22" W on the North line of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 a distance of 5000 feet to a POINT OF BEGINNING; Thence, S02°01'47" E parallel and 5000 feet West of the East line of the South 1/2 of the Southeast 1/4 of the said Section 1 a distance of 111.00 feet; Thence, S87°58'13" W 134.00 feet; Thence, N02°01'47" W 111.71 feet to a point on the North line of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of said Section 1; Thence, N88°16'22" E on said North line 134.00 feet to the POINT OF BEGINNING. Said lands containing 0.3425 acres more or less.

# NOTES

© P.R.M. - indicates Permanent Reference Monument  
B.M. Elev. - indicates Bench Mark Elevation  
##### - indicates Non-Vehicular Access Line  
State Plane Coordinates and bearings, as shown hereon, are based on the National Geodetic Transverse Mercator Projection, Florida East Zone, according to the Keith and Schnors Resurvey of Sections 1 - 30, T.51 S., R. 41 E., as recorded in Misc. P.B. 6, P.19, B.C.R.

NOTICE: There may be additional restrictions that are not recorded on this plat that may be found in the public records of Broward County, Florida.  
Reference Bench Mark: City of Hollywood Bench Mark (Box cut in back of South sidewalk at Southeast corner of State Road No 441 and Sheridan Street)  
Elev. - 6.97'



# DEDICATION

STATE OF FLORIDA  
COUNTY OF DADE SS

KNOWALL MEN BY THESE PRESENTS: That GATOR 441, Inc., a Florida corporation, owner of the lands described and shown as included in this plat, has caused said lands to be subdivided and plotted as shown hereon, and the additional thoroughfare is hereby dedicated to the public in fee simple. The easements are hereby dedicated to the public for proper purposes.

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of North Miami Beach, County of Dade, State of Florida, this 5 day of June, 1990.

Witness: April Land as to both Officer: James A. Goldsmith Title: President  
Witness: John Kline as to both Officer: James A. Goldsmith Title: Secretary

# ACKNOWLEDGEMENT

STATE OF FLORIDA SS BEFORE ME personally appeared James A. Goldsmith and James A. Goldsmith being the President and Secretary respectively of GATOR 441, Inc., a Florida corporation to me known to be the individuals described in, and who executed the foregoing instrument and acknowledged to and before me that they executed said instrument for the purposes herein expressed.

WITNESS: My hand and official seal, this 5th day of June, 1990.

My commission expires the 5th day of December, 1992. NOTARY PUBLIC Linda La Kinner STATE OF FLORIDA.

# CITY COMMISSION

THIS IS TO CERTIFY: That this plat was approved and accepted by the City Commission of Hollywood, Florida, by Resolution No. R-90-148, adopted this 25 day of July, 1990, and that by said Resolution, all thoroughfares shown on this plat were accepted in the name of said City and all previous plats of this land are cancelled and superseded.

Attest: James A. Goldsmith City Clerk Approved: James A. Goldsmith Mayor Approved: James A. Goldsmith City Engineer

# BROWARD COUNTY OFFICE OF PLANNING

This plat is approved and accepted for record this 3 day of March, 1992. By: David H. Hines Director

# BROWARD COUNTY ENGINEERING DIVISION

This plat has been approved and accepted for record. By: Emilio V. Luefrio Emilio V. Luefrio, County Surveyor, Fla. P.L.S. Reg. No. 4429, Date: 3-4-92

# BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat subject to its compliance with dedication of rights-of-way for trafficways this 15th day of March, 1992. By: John A. Hines Date: March 23, 1990  
This plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this 4th day of March, 1992. By: John A. Hines Administrator or Designee

# BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION

THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 2nd day of October, 1990. By: Jack Osterholt County Administrator

# BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION

This plat was filed for record this 15th day of March, 1992, in BOOK 151 of PLATS, at Page 8, record verified. By: Jack Osterholt County Administrator By: James M. McLaughlin Deputy

# SURVEYOR'S CERTIFICATE

STATE OF FLORIDA SS I HEREBY CERTIFY: That the attached plat is a true and correct representation of the lands recently surveyed, subdivided and plotted under my responsible direction and supervision, and that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 177.091 of said Chapter 177, on this 31st day of May, 1990. The BENCH MARKS shown are referenced to N.G. VERTICAL DATUM and conform to standards for third order work. This plat conforms to all applicable sections of Chapter 21-MH-5, FLORIDA ADMINISTRATIVE CODE.

McLAUGHLIN ENGINEERING CO.  
This plat dated at Fort Lauderdale, Florida, this 11 day of June, 1990. By: James M. McLaughlin James M. McLaughlin, Jr.  
Registered Land Surveyor No. 4497, State of Florida.

# DEDICATION OF MORTGAGE HOLDER

NORTHERN TRUST BANK OF FLORIDA, N.A., a Florida corporation, owner and holder of a mortgage on this property, recorded in O.R. 16804 page 36, Broward County Records, does hereby join in the dedication shown hereon.

IN WITNESS WHEREOF: I hereunto set my hand and affix the corporate seal in the City of Miami, County of Dade, State of Florida, this 8th day of June, 1990.

Witness: William A. Murphy Officer: William A. Murphy Title: VICE PRESIDENT

Witness: William A. Murphy Officer: William A. Murphy Title: VICE PRESIDENT

# ACKNOWLEDGEMENT

STATE OF FLORIDA SS BEFORE ME personally appeared William A. Murphy being the vice President of NORTHERN TRUST BANK OF FLORIDA, N.A., a Florida corporation, to me known to be the individual described in and who executed the foregoing instrument and who acknowledged to and before me that he executed said instrument for the purposes herein expressed.

WITNESS: My hand and official seal, this 8th day of June, 1990.

My commission expires the 26th day of September, 1992. NOTARY PUBLIC John A. Hines STATE OF FLORIDA

# GATOR 441 SUBDIVISION

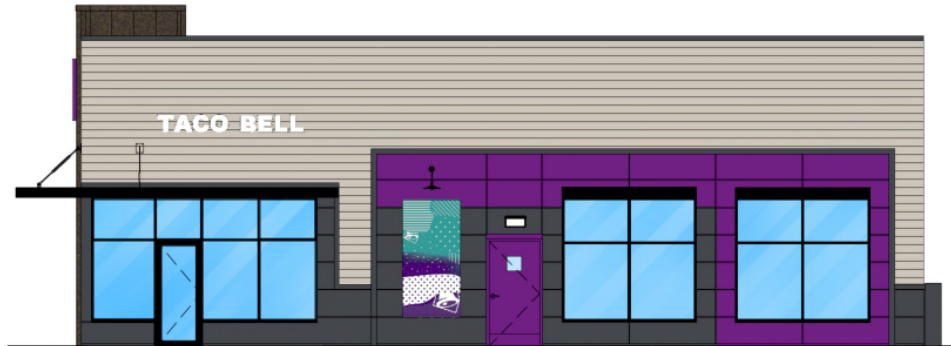
A REPLAT OF A PORTION OF THE SOUTH HALF OF  
"LESTER PROPERTY" (P.B. 14, P. 48, B.C.R.)  
SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST,  
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

graphical scale in feet 0 20 40 60 80 100 120 140 160 180 200 one inch = twenty feet



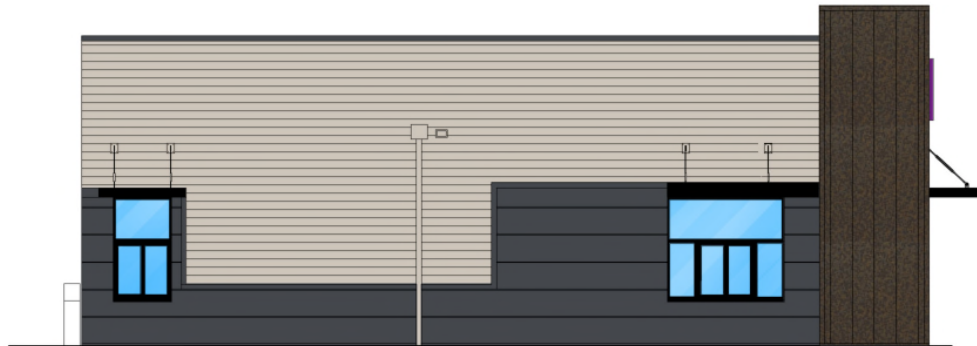
PREPARED BY: McLAUGHLIN ENGINEERING CO. 400 N.E. 3rd AVENUE FORT LAUDERDALE, FLORIDA 33301





GLASS COVERAGE PERCENTAGE		
BUILDING EAST ELEVATION LENGTH:	57'-9"	100%
GLASS COVERAGE:		
CLEAR GLASS	16'-2"	28%
FAUX GLASS	18'-6"	32%
TOTAL GLASS:	34'-8"	60%

(EAST) RIGHT SIDE ELEVATION 1/4" = 1'-0" A



(WEST) LEFT SIDE ELEVATION 1/4" = 1'-0" B



(SOUTH) FRONT ELEVATION 1/4" = 1'-0" C



(NORTH) REAR ELEVATION 1/4" = 1'-0" D



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
17760 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33326  
PHONE: (202) 508-4123  
FAX: (202) 628-9818  
EBA0004432



EDUARDO L. CARCACHE  
CIVIL ENGINEER, P.E. 31914  
Eduardo L. Carcache, State of Florida,  
Professional Engineer, License No. 31914.  
This item has been digitally signed and  
sealed by Eduardo L. Carcache on the date  
indicated here.  
Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copies.

06-24-2024	
12-05-2024	
12-10-2024	

CONTRACT DATE: 01.16.23  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: 458080

TACO BELL  
2540 N. State Rd 7  
Hollywood, Florida, 33021

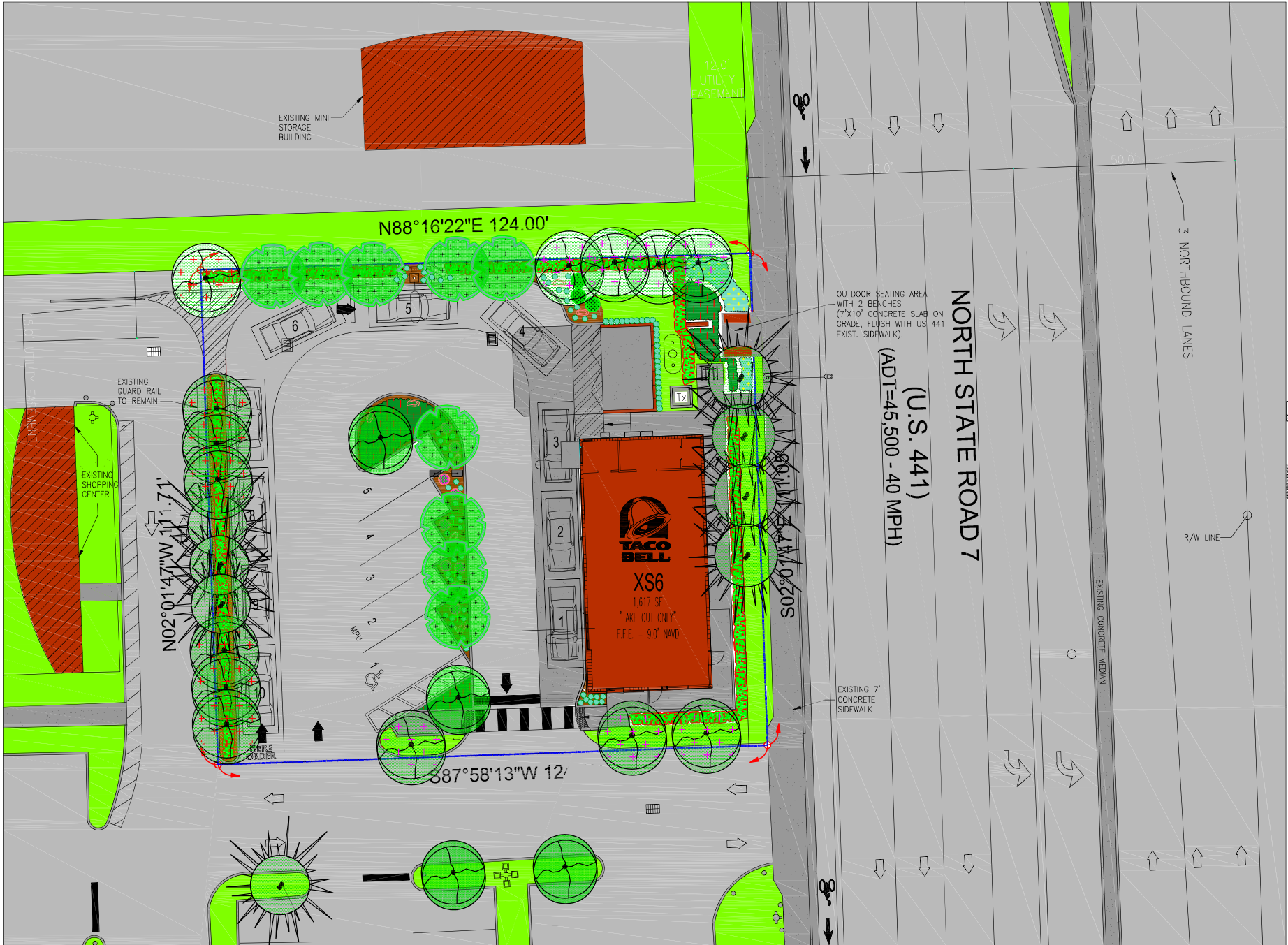


**EXTERIOR  
ELEVATIONS**

**A4.0**

PLOT DATE: 12-12-24





**CKE GROUP**  
INCORPORATED  
engineering architecture planning  
17100 NW 10th Street, Suite 100  
Miami, FL 33150  
Phone: 305.252.4144  
Fax: 305.252.4145  
Cell: 305.252.4146

SEAL  
DANIEL L. DICKSON  
L.S. ENGINEER #12171  
MICHAEL J. PETER  
ARCHITECT #11100

PROF. RICHARD BARILETT LANDSCAPE ARCH.  
11111 NW 10th Street, Suite 100  
Miami, FL 33150  
Phone: 305.252.4144  
Fax: 305.252.4145  
Cell: 305.252.4146  
Professional Seal of Richard Barillet, Landscape Architect, No. 12171, State of Florida, expires 12/31/2021.

REVISIONS

DATE	BY	DESCRIPTION
03/24/23	CITY COMMENTS	
07/25/23	INFO DATA/LEGEND	
09/26/24	CITY COMMENTS	
09/12/24	CITY COMMENTS	
09/11/24	CITY COMMENTS	
12/13/24	CITY COMMENTS	

CONTRACT DATE: 2/25/2021  
BUILDING TYPE: XS6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315990  
STORE NUMBER: TD-450300  
PA/PM: DIANA DE CICCO  
DRAWN BY: AG  
JOB NO.: CKE-1746

**TACO BELL**  
2640 N. S.R. 7  
HOLLYWOOD, FL 33021



LANDSCAPE PLAN

L-1

















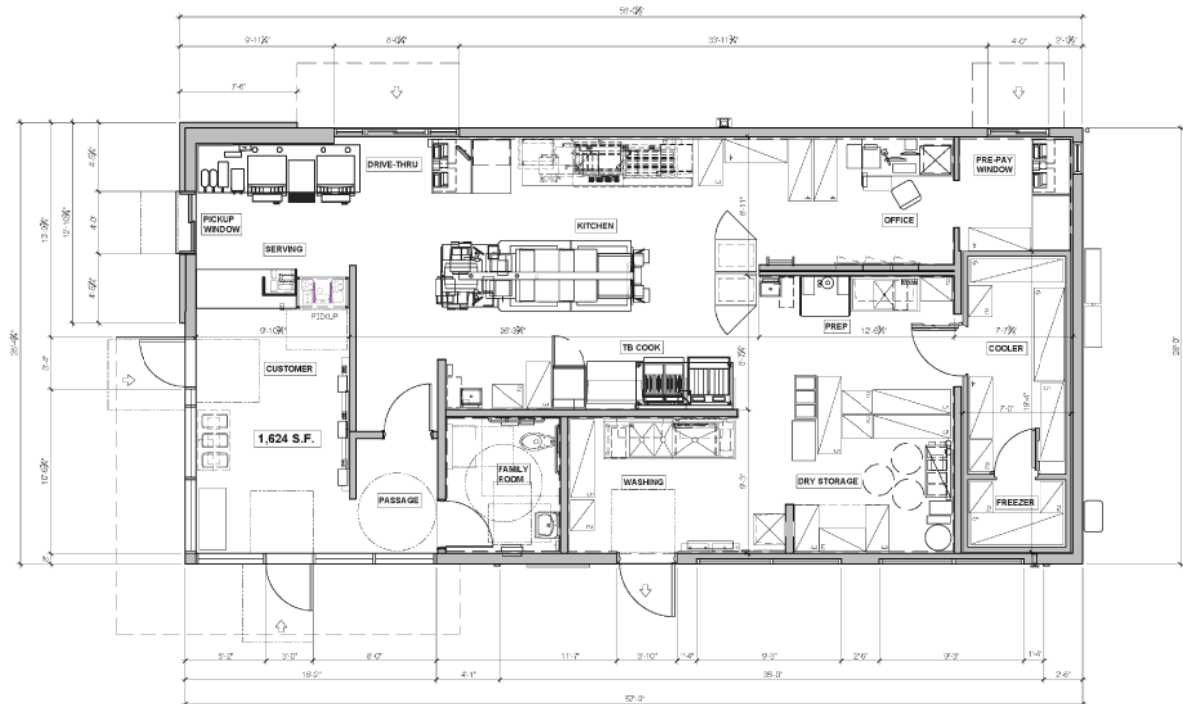




**Store #315998**  
**2640 N. State Rt. 7**  
**Hollywood, FL**  
**06/19/2024**

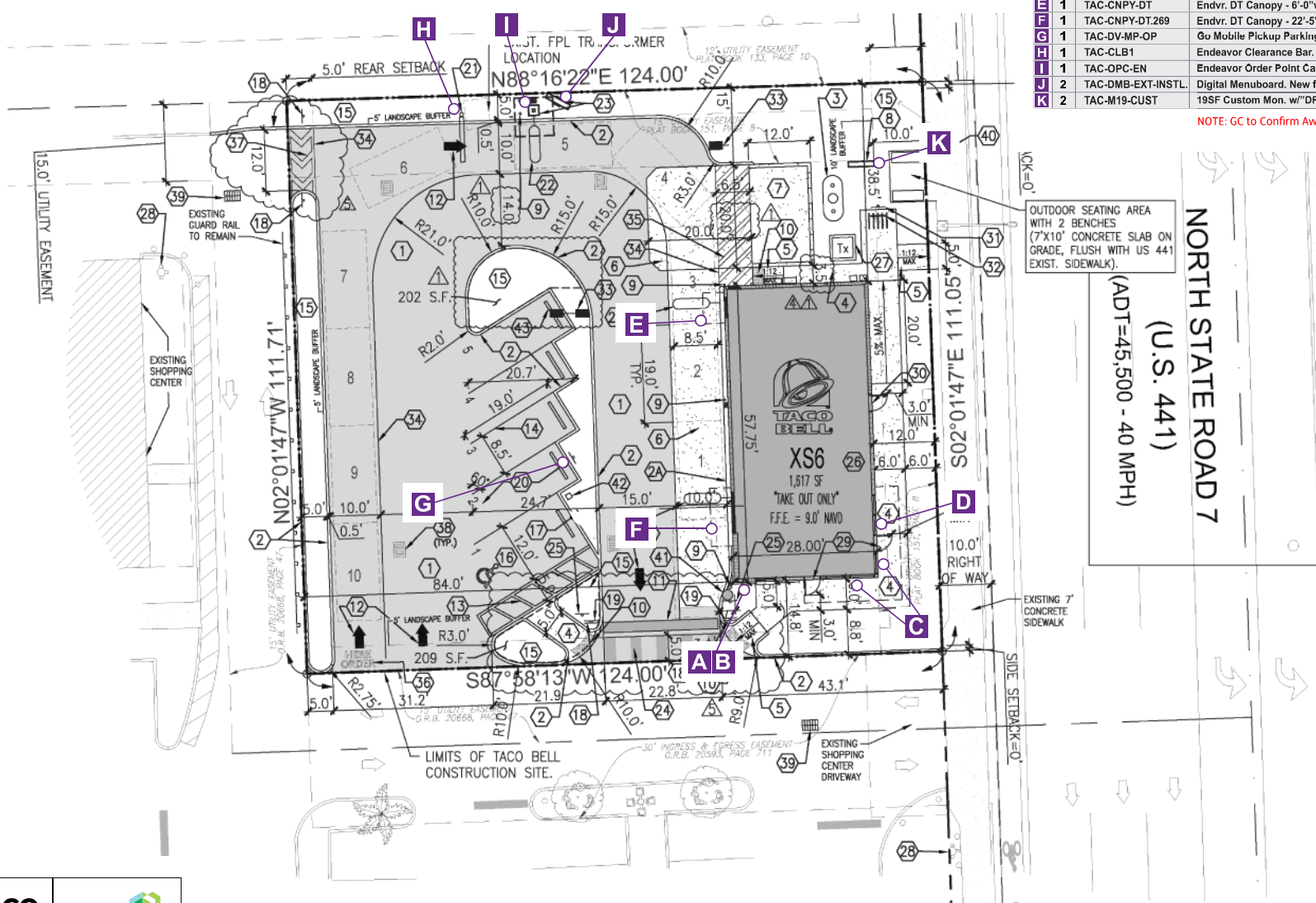


## FLOOR PLAN





SITE PLAN



Qty.	SIGN CODE	DESCRIPTION
A	1 TAC-BELL-52P-FL	XXP Large Swinging Bell - Purple, Face Lit - 4'-4" h x 4'-9 7/16" w
B	1 TAC-WUW	WUW Walk-Up Window with TMBstone Surround - w/ORDER PICKUP
C	2 TAC-CNPY-EN-CNR	Corner Canopy - 209'-0" L x 17'-8" L x 4'-4" D - TB/DL - Black
D	1 TAC-CL-14W-L	Medium TB 14" White Channel Letters, Wall Mount - Linear
E	1 TAC-CNPY-DT	Endvr. DT Canopy - 6'-0" w x 4'-4" d - TB (2), DL (1) - Black
F	1 TAC-CNPY-DT.269	Endvr. DT Canopy - 22'-5" w x 4'-4" d - TB (2), DL (1) - Black
G	1 TAC-DV-MP-OP	Go Mobile Pickup Parking Sign
H	1 TAC-CLB1	Endeavor Clearance Bar. New foundation provided by GC.
I	1 TAC-OPC-EN	Endeavor Order Point Canopy. New foundation provided by GC.
J	2 TAC-DMB-EXT-INSTL.	Digital Menuboard. New foundation provided by GC.
K	2 TAC-M19-CUST	19SF Custom Mon. w/"DRIVE THRU" panel, Clad Base. Sign @ 6' OAH.

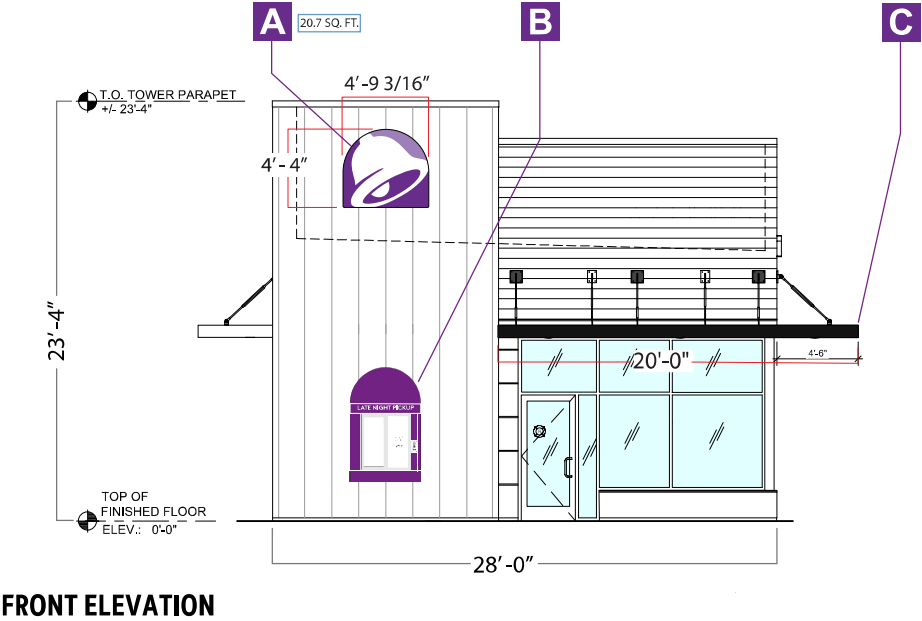
NOTE: GC to Confirm Awning Sizes.



ELEVATIONS

Qty.	SIGN CODE	DESCRIPTION
A 1	TAC-BELL-52P-FL	XXP Large Swinging Bell - Purple, Face Lit - 4'-4" h x 4'-9 7/16" w
B 1	TAC-WUW	WUW Walk-Up Window with TMBstone Surround - w/'ORDER PICKUP'
C 1	TAC-CNPY-EN-CNR	Corner Canopy - 20'-0" L x 4'-4" D - TB/DL - Black

NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT



NOTE: COLOR RENDER IS FOR  
REFERENCE ONLY  
AND IS NOT TO SCALE



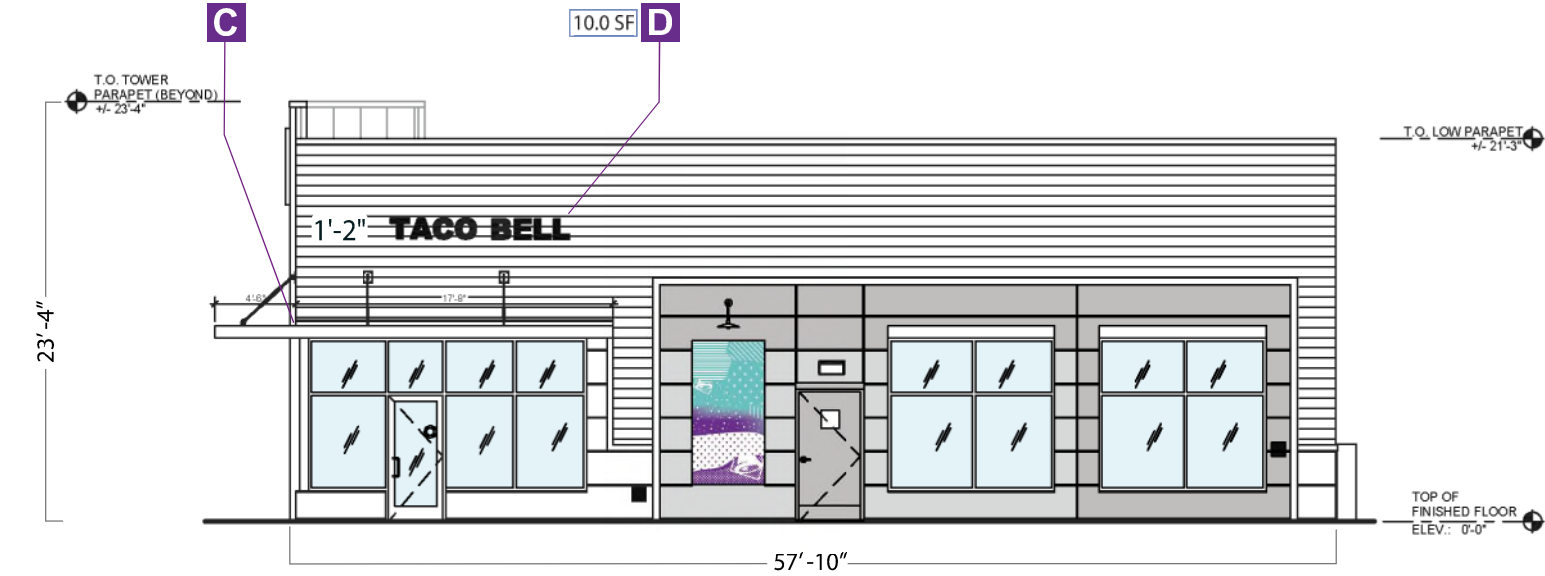
Scale: 3/32"=1'-0"



ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
C	1	TAC-CNPY-EN-CNR	Corner Canopy - 17'-8"L x 4'-4"D - TB/DL - Black
D	1	TAC-CL-14W-L	Medium TB 14" White Channel Letters, Wall Mount - Linear

NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT



PORTAL ELEVATION

NOTE: COLOR RENDER IS FOR  
REFERENCE ONLY  
AND IS NOT TO SCALE

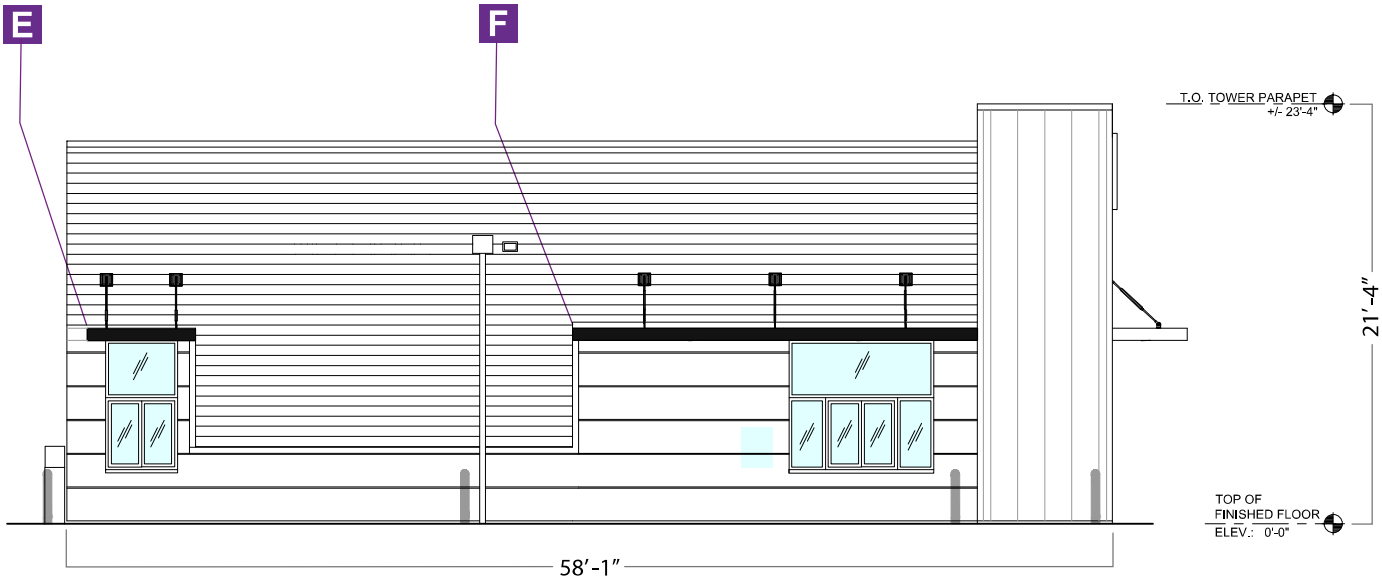




ELEVATIONS

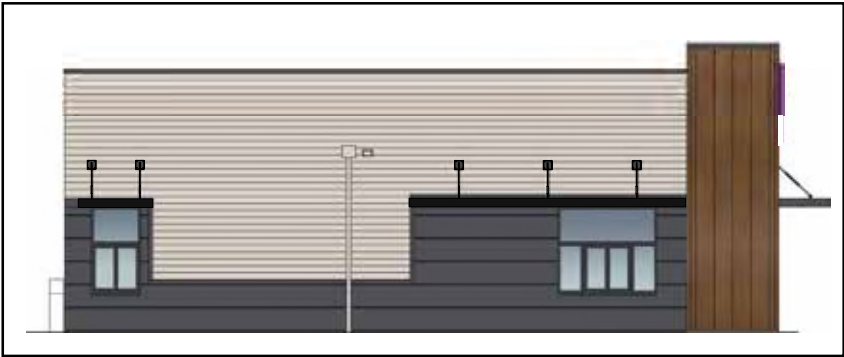
	Qty.	SIGN CODE	DESCRIPTION
E	1	TAC-CNPY-DT	Endvr. DT Canopy - 6'-0"w x 4'-4"d - TB (2), DL (1) - Black
F	1	TAC-CNPY-DT.285	Endvr. DT Canopy - 23'-9"w x 4'-4"d - TB (2), DL (1) - Black

NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT



DRIVE-THRU ELEVATION

NOTE: COLOR RENDER IS FOR  
REFERENCE ONLY  
AND IS NOT TO SCALE

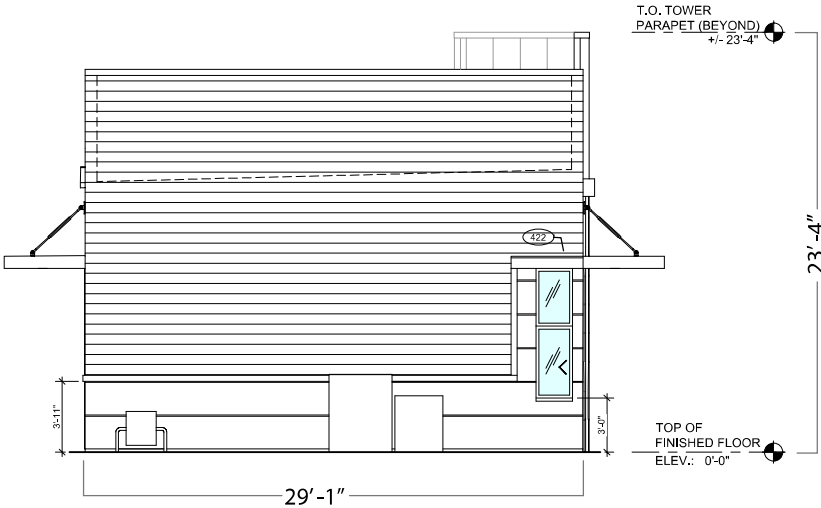


Scale: 3/32"=1'-0"



ELEVATIONS

REAR ELEVATION



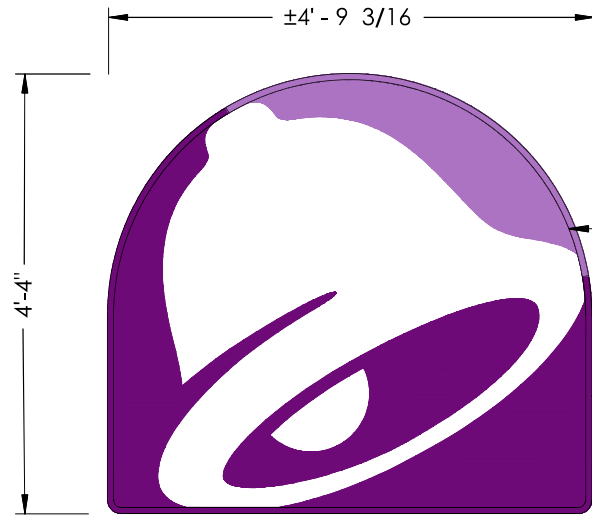
NOTE: COLOR RENDER IS FOR  
REFERENCE ONLY  
AND IS NOT TO SCALE





# A TAC-BELL-52P-FL

Qty. - 1



ELEVATION @ BELL-52P-FL

SCALE: NONE

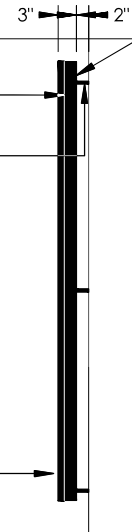
FACE IS .177\" TRANSLUCANT WHITE #7328 ACRYLIC W/ 1ST SURFACE APPLIED VINYL:  
 - DARK PURPLE 3M 3630-9327  
 - LIGHT PURPLE 3. 3630-9141  
2ND SURFACE APPLIED BLOCK OUT FILM  
 - NO FACE ILLUMINATION

ALUM. RETAINER IS PAINTED TO MATCH ADJACENT SURFACE, COLORS AS FOLLOW:  
 - DARK PURPLE - TO MATCH MP306 (PMS 2603C)  
 - LIGHT PURPLE - TO MATCH (PMS2577C)  
 - BLACK - PANTONE BLACK (GRAPHITE BLACK RAL9011)

BACK IS TRANSLUCANT WHITE #7328 ACRYLIC

ALUM. RETURNS ARE PRE-PAINTED PANTONE 'BLACK'

ALUM. STANDOFFS ARE PAINTED MAP 'BLACK'

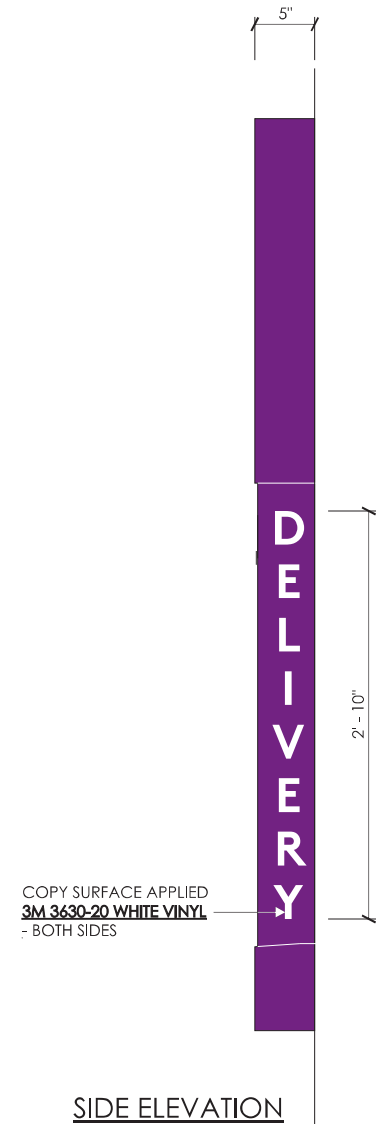


SIDE ELEVATION

SCALE: NONE



# B TAC-WUW





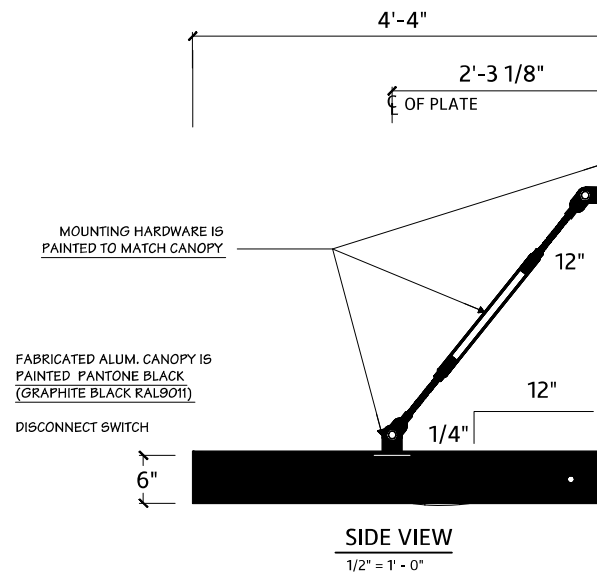
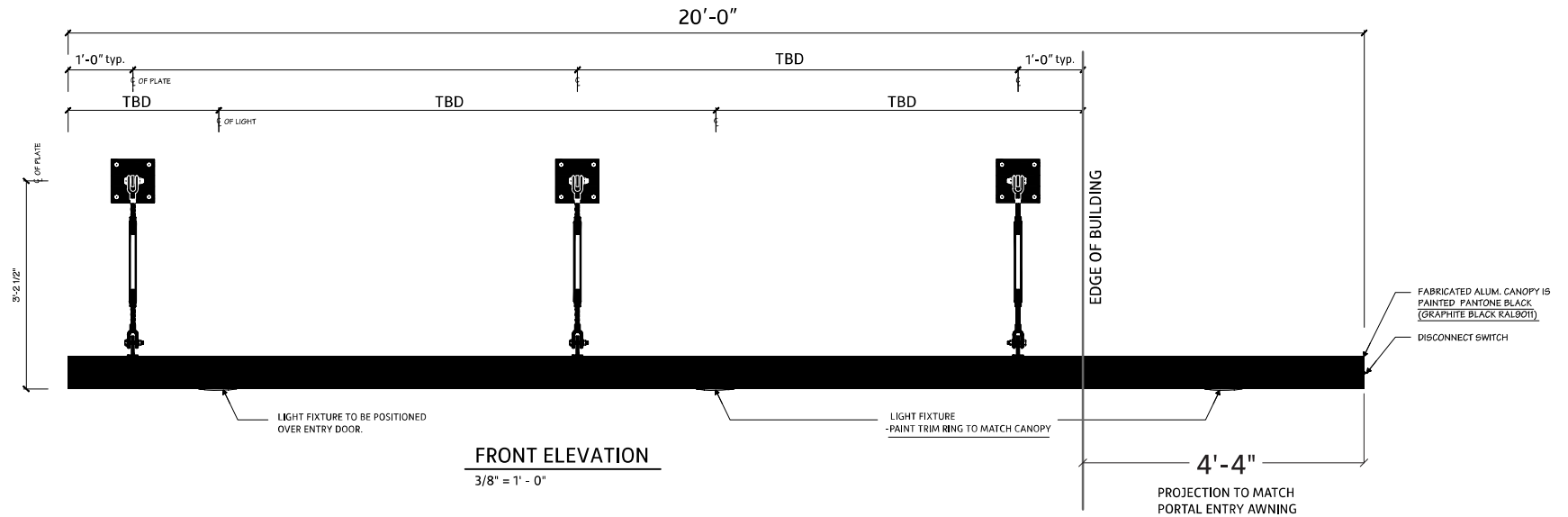
# C TAC-CANOPY-EN-CORNER

## Front Elevation

### NOTES:

- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
- 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

NOTE: Architect to confirm quantity and position of turnbuckles and downlights.





## Portal Elevation

- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
- 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

17'-8"

1'-0" typ.

TBD

TBD

1'-0" typ.

6'-8" approx.

TBD

5'-2 1/2"

EDGE OF BUILDING

FRONT ELEVATION

3/8" = 1' - 0"

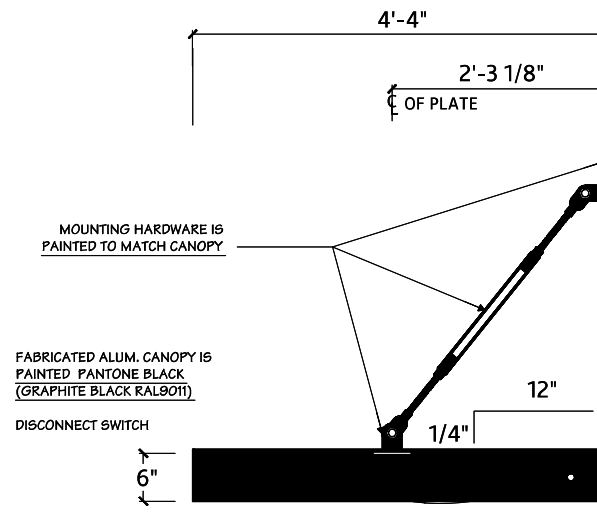
DISCONNECT SWITCH

FABRICATED ALUM. CANOPY IS PAINTED PANTONE BLACK (GRAPHITE BLACK KALSOIT)

LIGHT FIXTURE TO BE POSITIONED OVER ENTRY DOOR.

LIGHT FIXTURE -PAINT TRIM RING TO MATCH CANOPY

### FRONT ELEVATION

$$3/8'' = 1' - 0''$$


### SIDE VIEW

$$\underline{1/2'' = 1' - 0''}$$



D TAC-CL14W-L

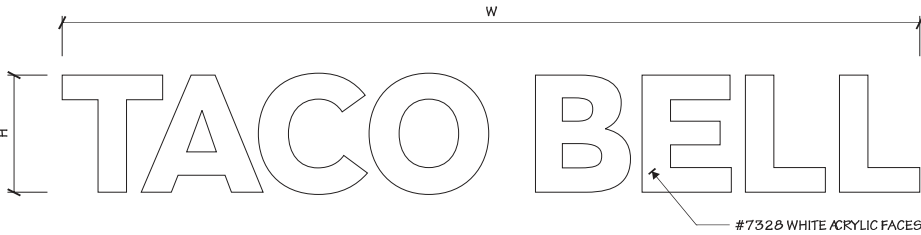
MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X

SIGN SCHEDULE				
QTY	SIGN TYPE	'H'	'W'	'A'
	TB-10 - W	10"	± 6'-1 1/16"	N/A
	TB-12 - W	12"	± 7'-3 11/16"	N/A
1	TB-14 - W	14"	± 8'-6 5/16"	N/A
	TB-16 - W	16"	± 9'-9"	N/A

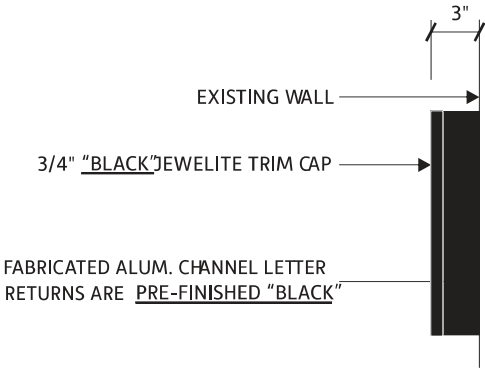
**NOTE:**  
1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.  
2.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS
<b>NOTES:</b> 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED. 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.	

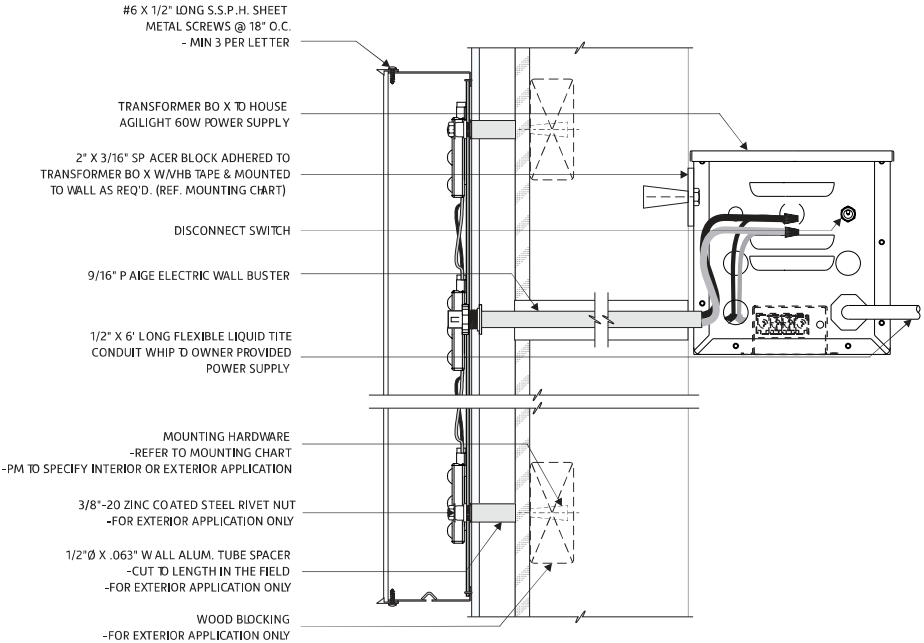
**NOTES:**  
1.) VERIFY MOUNTING CONDITION.  
2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.  
3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:  
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



**LINEAR FRONT ELEVATION**  
NTS



**CHANNEL LETTER SIDE VIEW, TYP**  
NTS



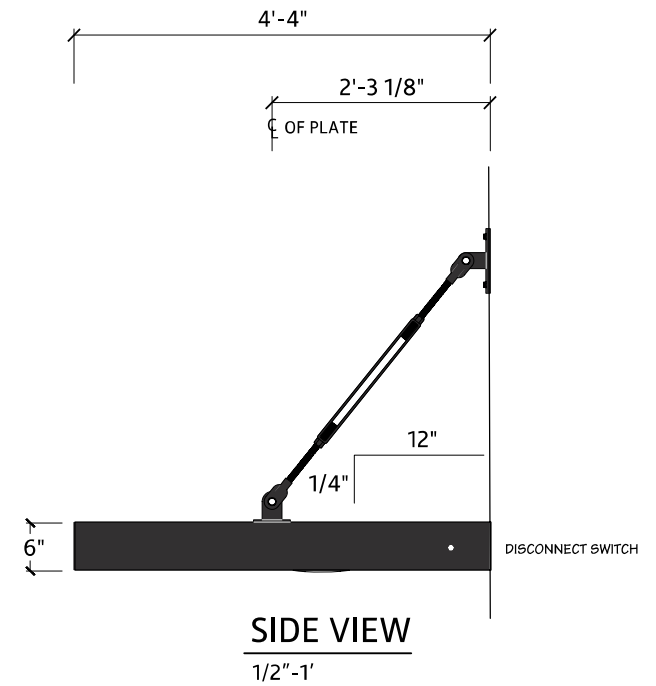
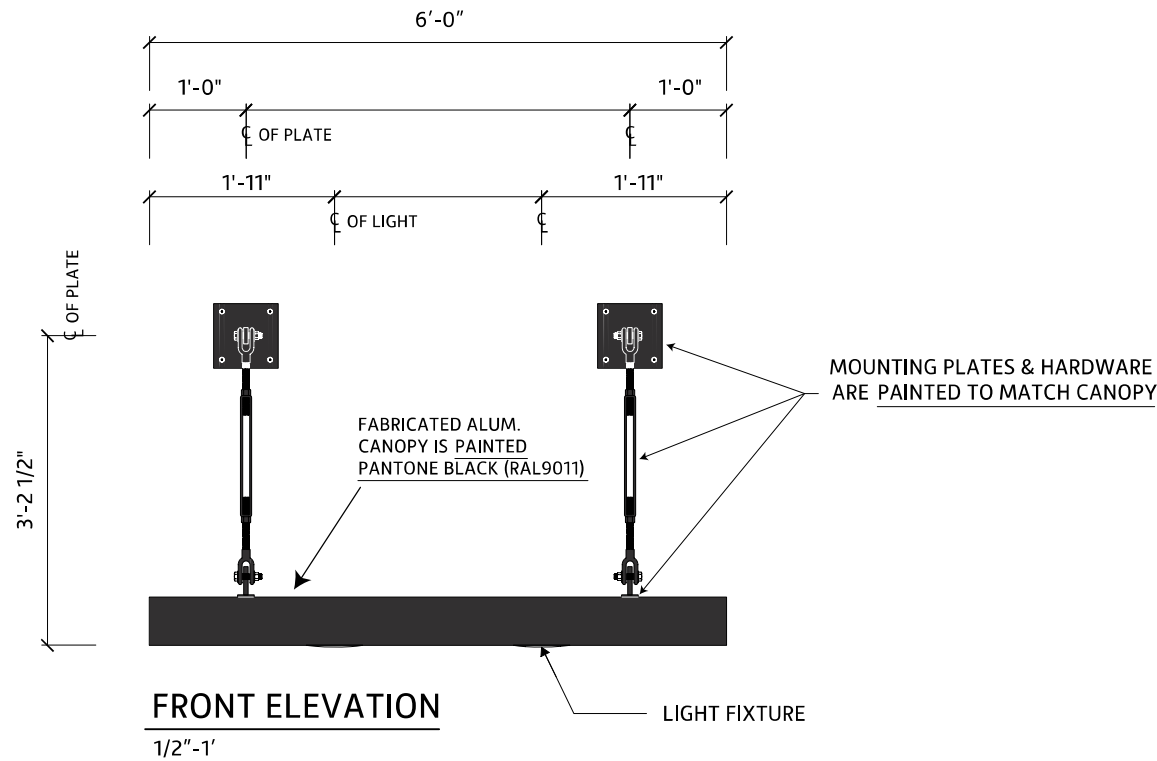
**SIDE SECTION**  
NTS



# E TAC-AWNING-DT-6X4.4-EN

## NOTES:

- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
- 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



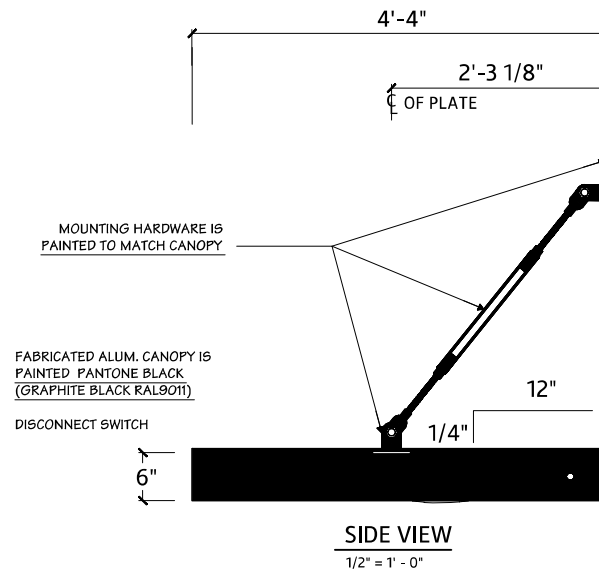
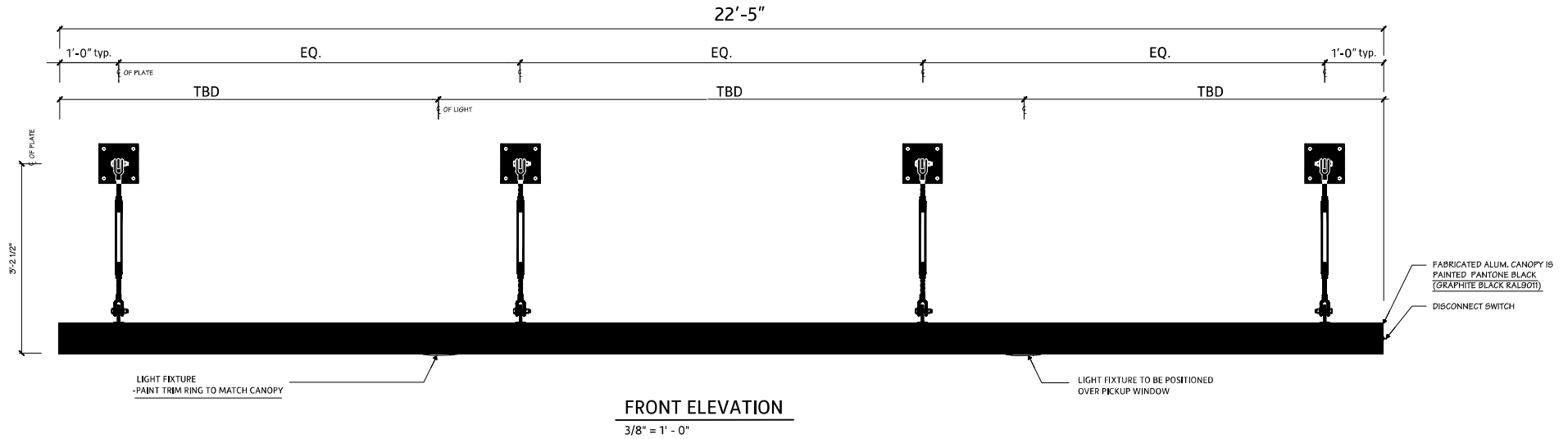


# F TAC-AWNING-DT-269

## NOTES:

- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
- 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

NOTE: Architect to confirm quantity and position of turnbuckles and downlights.

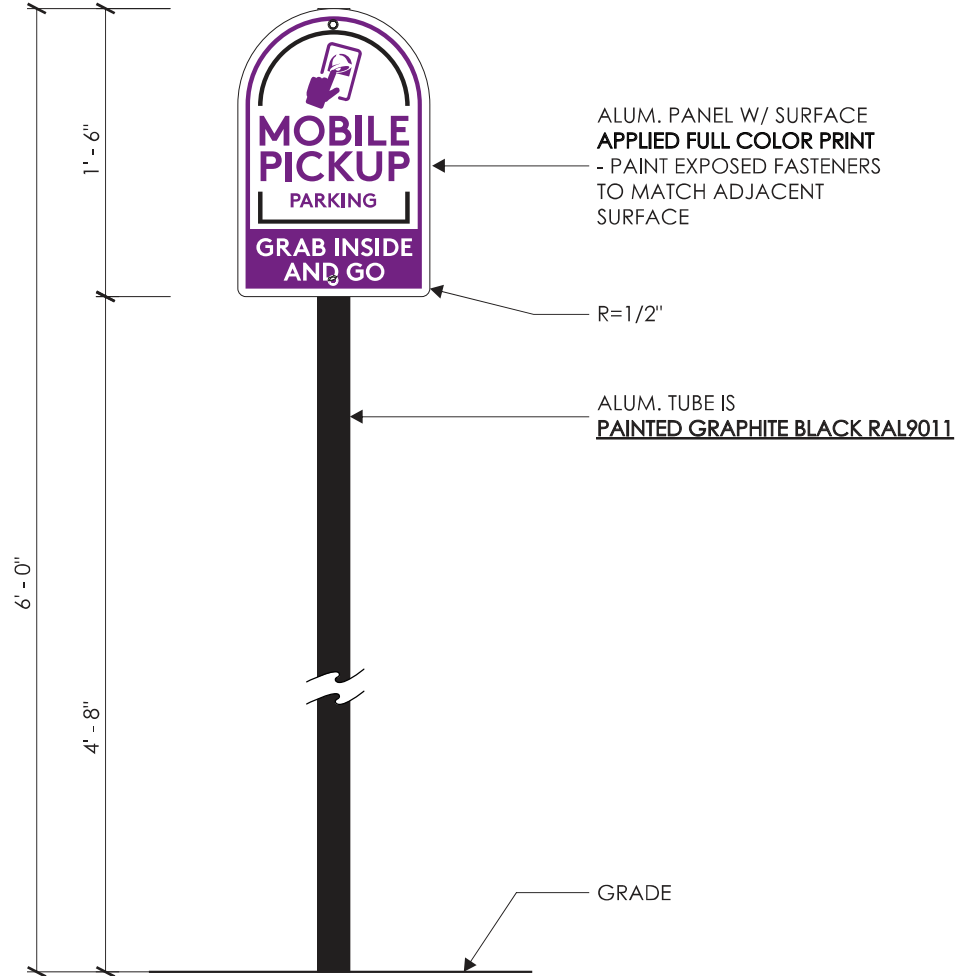
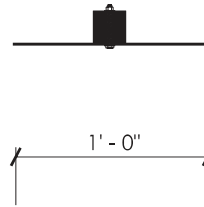




**G TAC-DV-MP-OP**

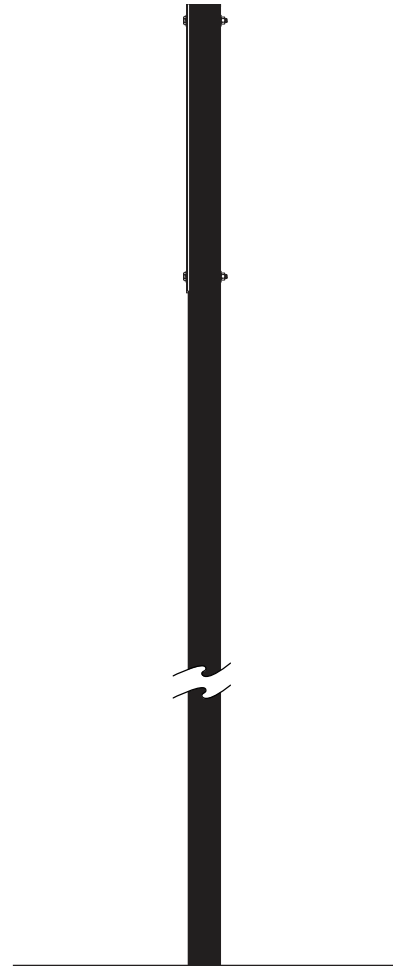
Qty. - 1

PLAN VIEW



FRONT ELEVATION

1" = 1' - 0"



SIDE VIEW

1" = 1' - 0"





Qty. - 1

NOTES:

- 1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
- 2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

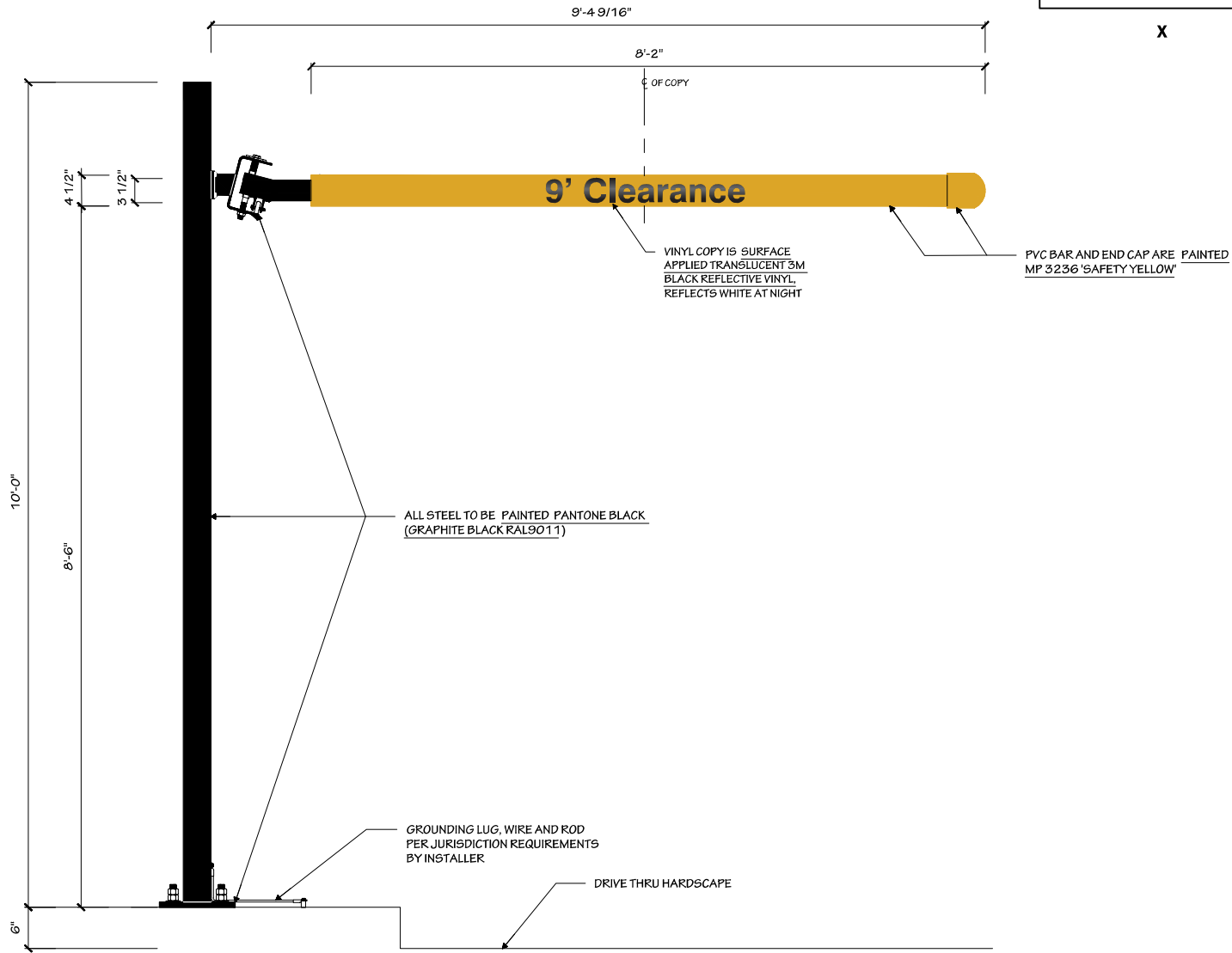
**x**

COPY ORIENTATION

**X**

POLE ON LEFT

POLE ON RIGHT



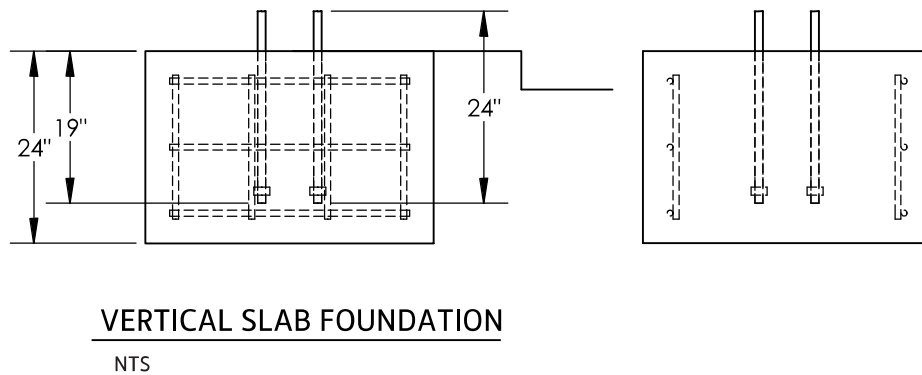
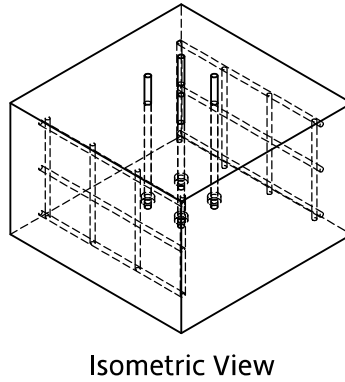
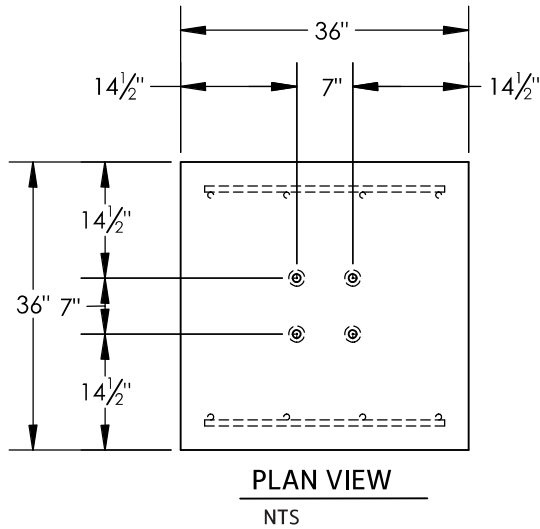
FRONT ELEVATION (COPY W/ POLE ON LEFT)

$$1/2'' = 1' - 0''$$

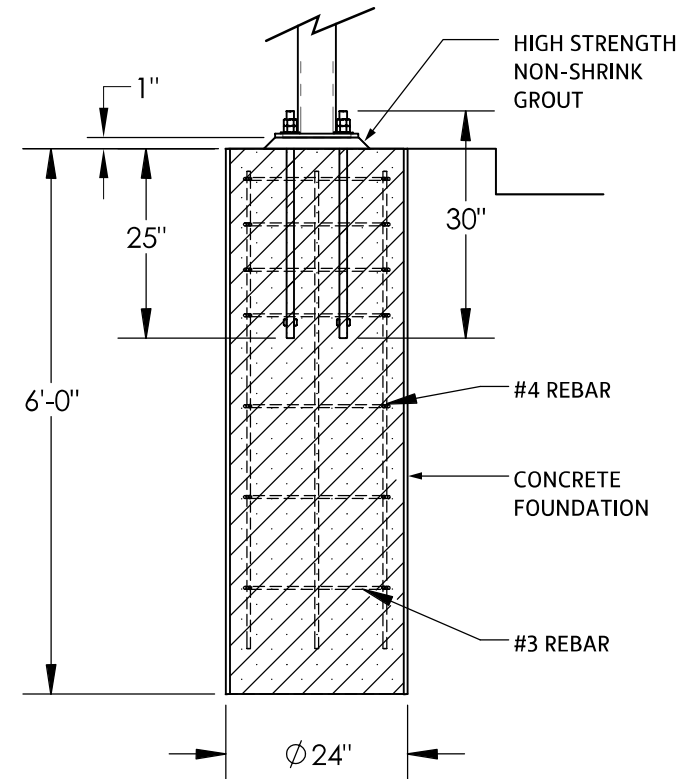
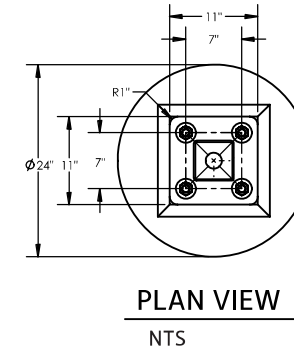


# H TAC-CLEARANCE-EN - Foundation Types

**NOTES:**  
1.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.



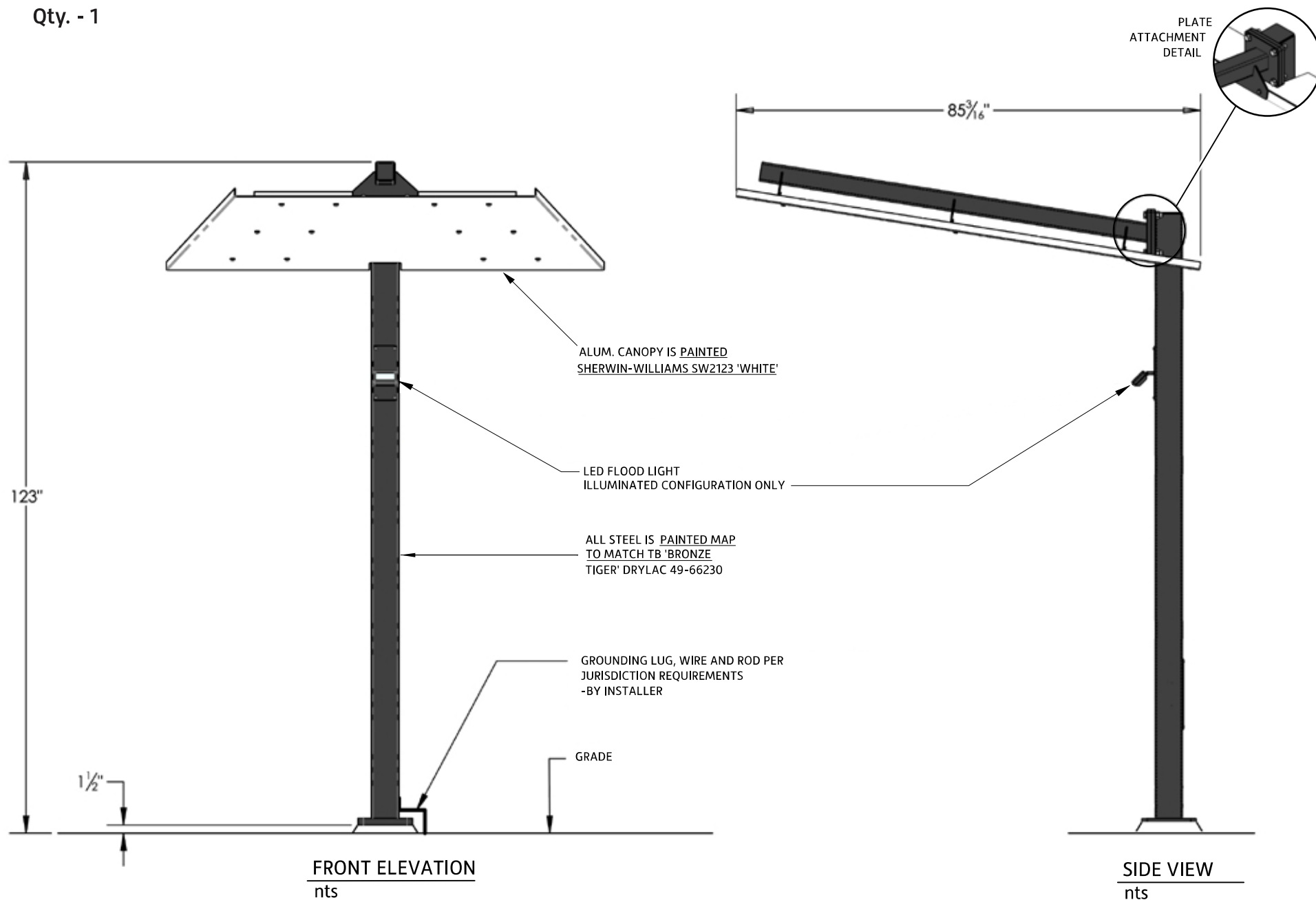
2,500 PSI CONCRETE FOUNDATION  
REINFORCED WITH #6AT 12" O.C .  
MAXIMUM, EACH WAY, EACH FACE.





# I TAC-100-EN-OPC

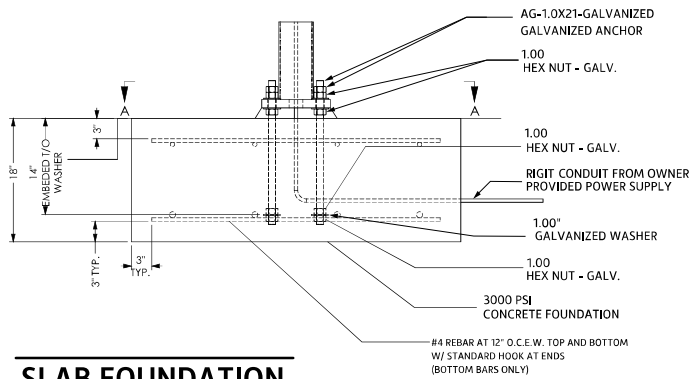
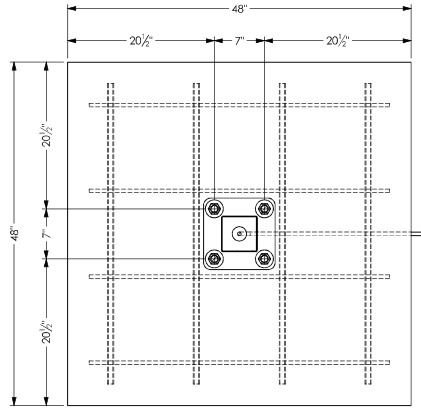
Qty. - 1





# I TAC-OPC-EN Foundation Types/Electrical Details

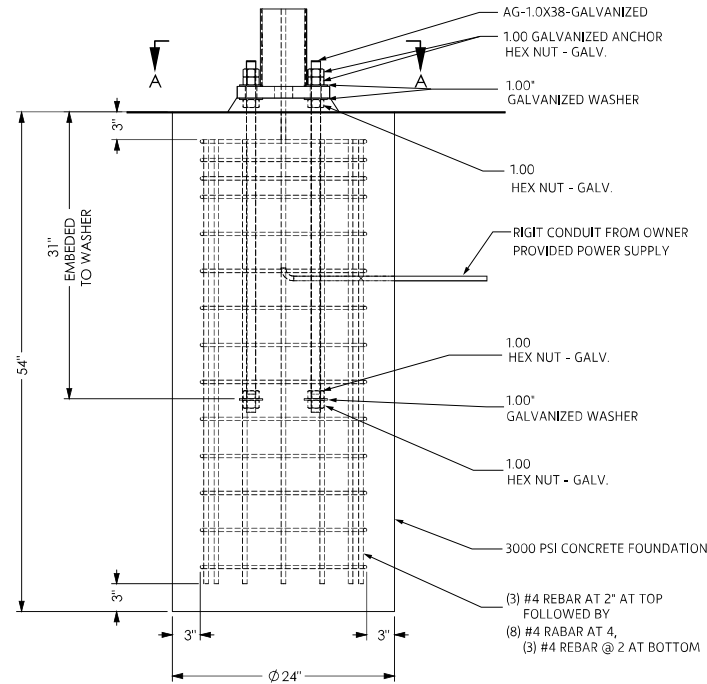
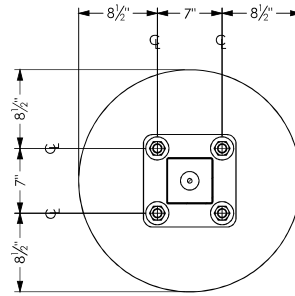
## TAC100-EN-OPC-IL-FDN-S



### SLAB FOUNDATION

no scale

## TAC100-EN-OPC-IL-FDN-C



### CAISSON FOUNDATION

no scale

MAX LITE LED FLOOD LIGHT  
MSF15UW-40BKT (PREFERRED)

CONDUIT TO  
LED LIGHT FIXTURE

WATERPROOF  
JBOX

LIQUID TITE CONDUIT  
TO OWNER PROVIDED  
POWER SUPPLY

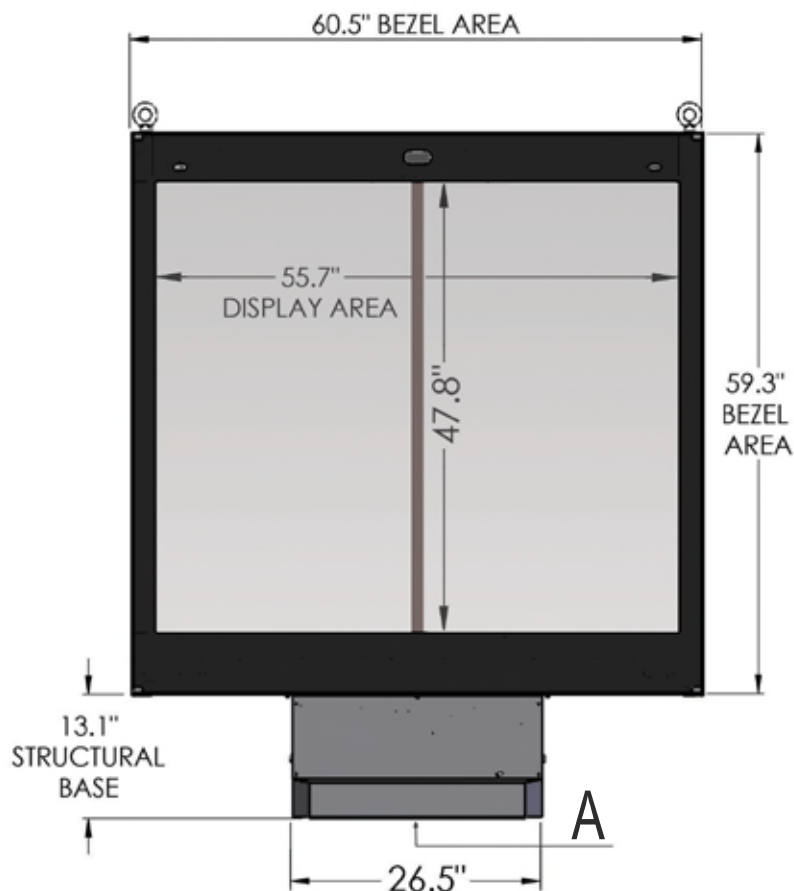
### ELECTRICAL SIDE VIEW NTS



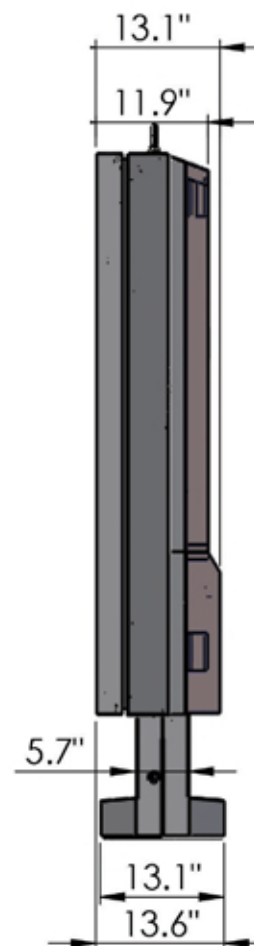
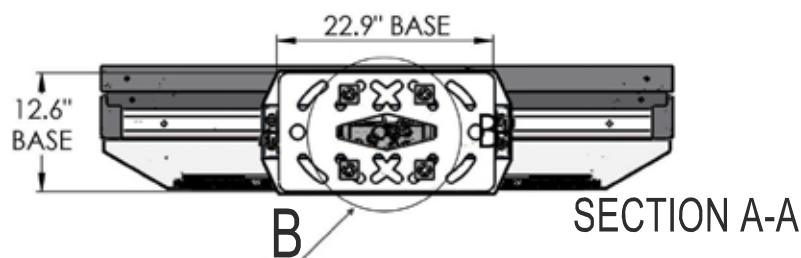
# J TAC-DMB-EXT-INSTALL

Qty. - 1

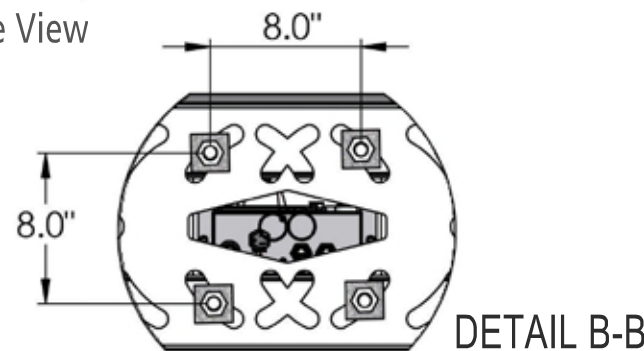
NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC



Front View



Side View



## GENERAL SPECS

Material: Aluminum exterior with  
tube steel inner frame.  
Certified 180 MPH

Surface Treatment:

- Pretreatment - zinc primer  
& polyester powder coating

Surface Area:

- Display: 18.5 sq/ft
- Total surface: 24.9 sq/ft

Weight:

- Gross: 915 lbs / Net: 705 lbs

## ELECTRICAL SPECS

Power:

- Hardwired AC Power
- 120/240V 50/60Hz
- 1150 W (@ max load)
- UL Rated @ 10 Amp

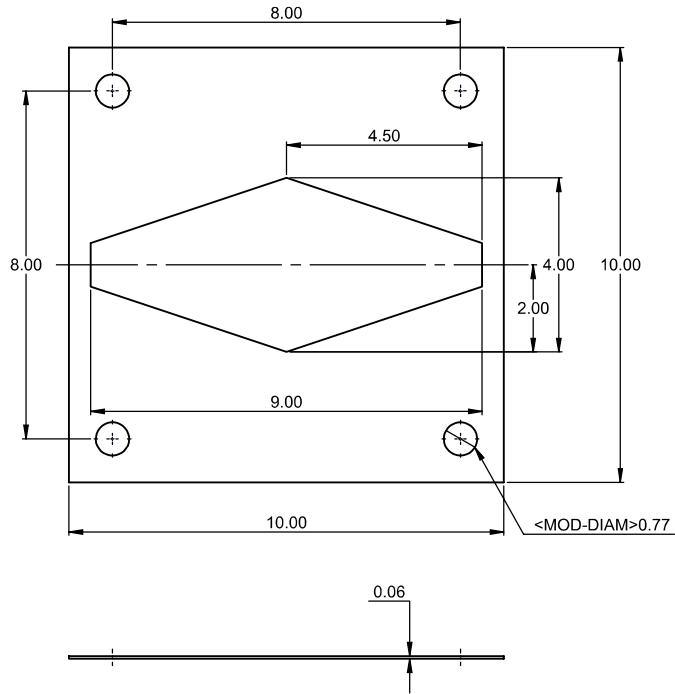
Backlight:

- LED Light Source
- 380 CD/M2 to 3,500 CD/M2
- Auto adjusting to outdoor  
ambient light levels

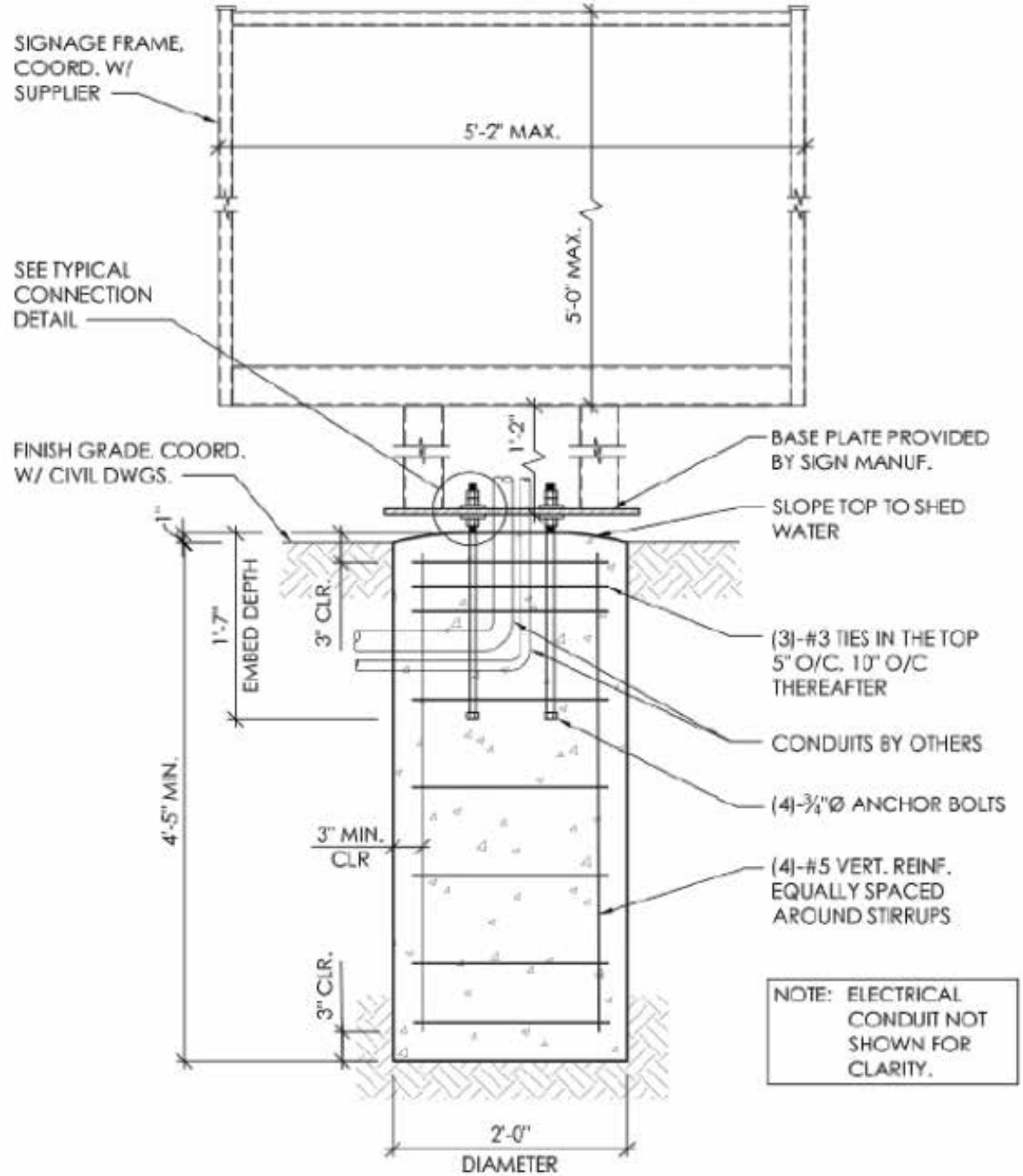
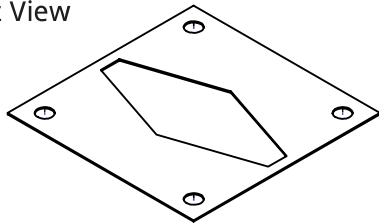


# J TAC-DMB-EXT-INSTALL

## ROD TEMPLATE



ROD TEMPLATE  
Isometric View



FOUNDATION SECTION  
(MENU BOARD)



# K TAC-M19

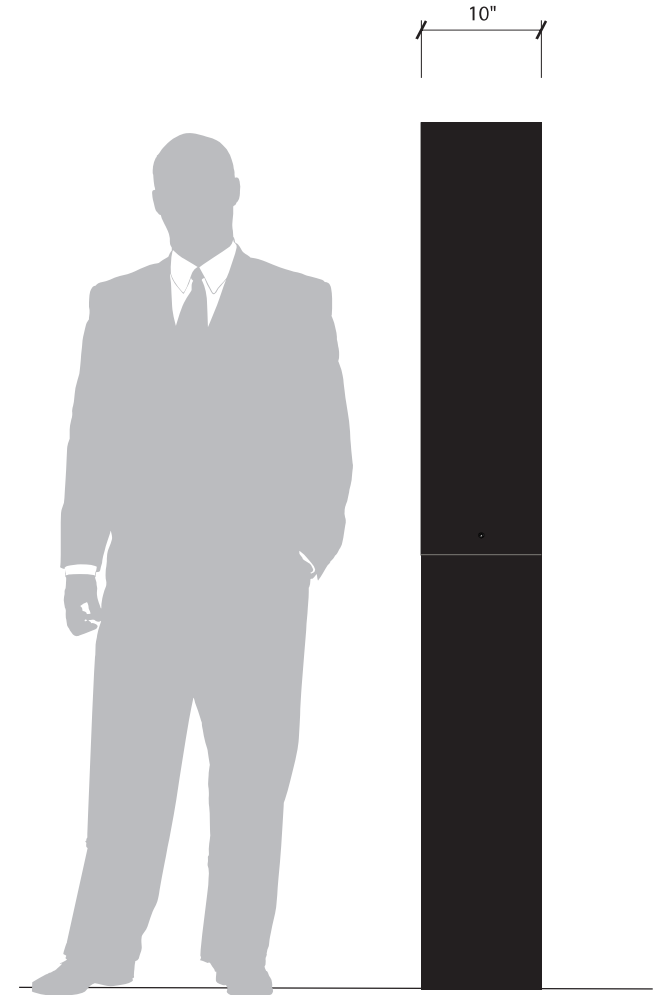
## NOTE:

1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER



**FRONT ELEVATION**

3/4" = 1' - 0"



**SIDE VIEW**

3/4" = 1' - 0"

## Custom M19 Monument

- Logo face is routed aluminum painted white.
- Acrylic backup with graphics as shown
- Bell is first surface vinyl, two tone TB purple.
- TACO BELL copy is first surface day/night vinyl
- Ancillary panel painted white with first surface Black vinyl and routed out for copy.
- Clad base to grade.





BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN  
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI  
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell  
Active Use Liner Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

**Variance Request**

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow a ground floor active use liner of less than 60% along the east building façade. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the ground floor active use liner will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirements to provide a minimum 60% active use liner is to provide buildings along the State Rd. 7 corridor that are pedestrian friendly and have active uses



on the ground floor. The proposed plans will meet this requirement with a 51.51% active use liner along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance will consist of all glass windows along the ground floor. While the back portion of this façade will not contain any windows, it will be covered with faux glass and artistic murals to enhance the building aesthetics.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*



The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the nature of the take-out only business operation with no on-site dining. As the majority of the building contains back of house kitchen and storage operations, placing windows along the majority of the east building façade is not feasible. However, the Applicant has mitigated the lack of windows and active liner use by placing faux glass and artistic murals along the State Rd. 7 façade that will enhance and beautify the façade.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variances necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Providing the required 60% active use liner along the State Rd. 7 façade is not feasible due to the take-out only business operations and the majority of the building being used for back of house kitchen and storage operations.

Given the aforementioned setbacks, the variance requested is the minimum variance necessary to develop the Project.



**Taco Bell  
Parking Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-through and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-through and walk-up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow 5 parking spaces rather than 10 as required by Code. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the amount of parking spaces will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the parking requirements is to provide sufficient parking for each use so as to not impede traffic flow and business operations. Taco Bell is implementing a new model



with technology-based operations designed to move customers quickly and efficiently through the property to take the food to go rather than eating on-site. There is no customer seating available inside or outside the building to allow customers to eat on-site, all orders are placed to go. Customers can place orders in the drive-through, place mobile orders using the Taco Bell app, place an order through a meal delivery service (i.e. Uber Eats or DoorDash), or place a to-go order inside the building utilizing the quick serve digital kiosk system.

Taco Bell has +/- 7,480 total stores nationwide. Of the +/- 7,480 stores, +/- 6,805 are franchise stores, +/- 493 are corporate owned, and +/- 182 are licensed restaurants within shopping malls, universities, airports, and military bases. This store will be corporate owned, with operating hours anticipated to be from 7:00 am – 2:00 am daily. With this project being a corporate owned store, Taco Bell has the ability to directly control the business operations, thus resulting in a more efficient flow of order and pick-up time, an average order ready time (ORT) of 3 minutes and 22 seconds nationally for corporate owned stores.

On average, around 70% of the orders at Taco Bell are placed through the drive-through. Among mobile orders, that percentage increases, with around 80% of mobile orders being picked up in the drive-through lane rather than parking and picking up the order inside the building or in the outdoor pick-up window. To ensure the drive-through lane can accommodate the amount of vehicles ordering and/or picking up orders, efficient traffic flow and site circulation has been prioritized in the design, with stacking for up to 10 vehicles in the drive-through facility.

In addition to using the drive-through lane, customers can pre-order and pick-up food at the walk-up window outside the building, or in the designated mobile order pick-up location inside the building. Customers place orders inside the building using an electronic kiosk. An employee is available to assist as necessary. On average, over 90% of the orders placed inside the building are done through the kiosk. Additionally, an employee will not be designated at the cash register to take orders, thus prioritizing kiosk orders and reducing the number of employees needed at the restaurant.

For customers who place a mobile order on the app, or through a meal delivery service, an order ready time will be provided. This reduces the amount of time customers will be on site waiting for their order to be ready. Customers will be given the order ready time, providing them the ability to arrive at the restaurant when the order is ready, quickly pick-up the order and exit the site. Additionally, Taco Bell recently implemented a new ordering system called Order Up. The system went live nationally on December 5, 2024. This ordering system improves ORT by assigning an order ready time based on the size of the order and the number of employees working during the shift. Smaller orders will be pushed through quicker, while larger orders will be given a longer lead time, allowing staff sufficient time to put the order together.

Additionally, every restaurant has the ability to set up a profile through delivery service apps. Restaurants have the ability to direct delivery drivers to pick-up their orders inside



the building or through the drive-through facility. Taco Bell will set the profile to instruct delivery drivers to pick up orders in the drive-through lane, thus reducing the need for delivery drivers to park on-site and go inside the building to pick up an order.

With the new technology being implemented through Order Up, and the prioritization of mobile orders and utilization of the drive-through lane, 10 parking spaces are not needed to provide sufficient parking for customer parking. The majority of the orders will be placed and/or picked up in the drive-through facility, thus reducing the amount of parking spaces needed for customer pick-up and ordering. Additionally, 5 parking spaces is sufficient to provide parking needed for employees. Taco Bell estimates that 4-5 employees will be needed for each shift, this includes 1 manager and 3-4 employee members. Based on data of Taco Bell restaurants located within the North Miami/Fort Lauderdale Market, around 90% of the employees are utilizing public transportation to get to work rather than driving a vehicle. The State Road 7/441 corridor is a major transit route in Broward County, with the 441 Breeze bus route running from Sample Road to the Broward County/Miami-Dade County line. With a bus stop for the 441 Breeze route located directly adjacent to the Property, employees will easily be able to use mass transit to get to and from work. To further encourage use of the bus route, the project is providing an outdoor seating area with benches in the northeast corner of the property, adjacent to the bus stop. This will provide a seating area for employees and customers to sit and wait for the bus. Lastly, some employees will use bicycles or scooters to get to work. To accommodate this, a bike rack that will park 5 bicycles has been added to the site. Additionally, Taco Bell looks for opportunities to hire team members from within the local community, allowing employees to walk to work.

The advanced technology being implemented to increase order and delivery efficiency with the available mass transit option for employees reduces the parking demand that would be generated by a larger, traditional fast-food restaurant. As such, 5 parking spaces is sufficient to meet the parking demand for this new take-out only fast-food model and the variance request will maintain the intent and purpose of the Code.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.



- c) **That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

- d) **That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variances. This variance is needed due to the small size of the parcel and



the inability to provide the required parking spaces while still meeting other code requirements for the drive-through lane stacking and landscaping.

- e) **That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Adding additional parking spaces would require reducing drive aisle widths and the vehicle stacking for the drive-through facility, having a negative impact on the traffic circulation throughout the site.



**Taco Bell  
Window Transparency Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow a window transparency that is less than 50% along the east building façade. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the window transparency along the east building façade will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirements to provide a minimum 50% window transparency is to provide buildings along the State Rd. 7 corridor that are pedestrian friendly and have active



uses on the ground floor. The proposed plans will meet this requirement with 27.9% window transparency along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance will consist of all glass windows along the ground floor. While the back portion of this façade will not contain any transparent windows, it will be covered with faux glass and artistic murals to enhance the building aesthetics. When including the percentage of faux glass, the project is providing a total of 60% window area.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*



The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the nature of the take-out only business operation with no on-site dining. As the majority of the building contains back of house kitchen and storage operations, placing windows along the majority of the east building façade is not feasible. However, the Applicant has mitigated the lack of windows by placing faux windows artistic murals along the State Rd. 7 façade that will enhance and beautify the façade.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Providing the required 50% window transparency along the State Rd. 7 façade is not feasible due to the take-out only business operations and the majority of the building being used for back of house kitchen and storage operations.

Given the aforementioned setbacks, the variance requested is the minimum variances necessary to develop the Project.



**Taco Bell  
Landscape Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

**Variance Request**

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow 15.28% vehicular use landscape area. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the vehicular use landscape area will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirement to provide a minimum 25% landscape area within the vehicular use area is to provide sufficient landscaping in the parking lot. The 5 parking



spaces provided on site are terminal landscape islands on either end with curbing and landscaping running along the front of all the spaces. Additionally, the required 5' landscape buffers have been provided adjacent to the parking lot to the north and west.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell



restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the small parcel size. Adding additional landscaping in the vehicular use area would require removing parking spaces or stacking area for the drive-thru lane.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Adding additional landscaping within the vehicular use area would require reducing drive aisle widths, parking spaces, or the vehicle stacking for the drive-thru, having a negative impact on the traffic circulation throughout the site.

Given the aforementioned setbacks, the variance requested is the minimum variance necessary to develop the Project.





BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN  
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI  
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

## Taco Bell Design Criteria Responses

Per Section 5.3.H.4 of the City Code, the Applicant must demonstrate compliance with the following design criteria:

4. *Design criteria.* The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.

a. *General criteria.* All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

(1) *Architectural and design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

**The design of this Taco Bell is intended to aesthetically enhance the surrounding environment and provide a pedestrian friendly development. Traditional materials are incorporated into the building design but with a modern aesthetic feel. This is a redevelopment that will remove an existing carwash no longer in operation. The Taco Bell is a significant improvement that is more in line with the city vision for the future of this area.**

(2) *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

**The proposed Taco Bell modern design aesthetically enhances the neighboring environment setting. Placing the building close to the road and parking behind the building provides an example for future similar development in the area. The architectural design provides a fresh new look by incorporating different material.**

(3) *Scale/massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

**The proposed development is similar in scale and mass to the surrounding environment. The small scale of the restaurant provides inset into the building mass to help break up the larger mass and make it more appropriate for the surrounding environment. The small size of parcel limits the scale and size of the building but the placement of the building close to the road enhances the visibility and also helps hide the vehicular area.**

(4) *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

**The proposed landscaping contains a variety of native and compatible plant types and forms, again enhancing the architecture, pedestrian access ways and most importantly the overall environment.**





November 5, 2024

Amanda Martinez, Land Planner  
Miskel Backman, LLP  
14 Southeast 4 Street, Suite 36  
Boca Raton, Florida 33432

*Via Email Only*

Dear Ms. Martinez:

Re: Platting requirements for a parcel legally described as Parcel A, "Gator 441 Subdivision," according to the Plat thereof, as recorded in Plat Book 151, Page 8, of the Public Records of Broward County, Florida. This parcel is generally located on the west side of State Road 7/U.S. 441, between Cedar Lane and Sheridan Street, in the City of Hollywood.

This letter is in response to your request regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP). Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on March 10, 1992. Land platted after June 4, 1953, may be divided by metes and bounds and developed in accordance with local regulations and the effective land use plan, unless local regulations are more restrictive and would require platting. The City of Hollywood's platting requirements should be investigated.

According to Article 4.5(A)(2) of the *Administrative Rules Document: BrowardNext*, compliance with the Broward County Trafficways Plan is required for all proposed development, but parcels that have been platted subsequent to June 4, 1953, are excepted and are subject to BCLUP Policy 2.17.6, which states:

In order to protect the transportation corridors identified on the Broward County Trafficways Plan, local governments shall require that development is set back from identified rights-of-way when issuing development orders while providing an administrative relief process to ensure such set back does not deny all beneficial use of the property proposed for development.

It is recommended that you contact Broward County's Urban Planning Division at 954-357-6666, to inquire about whether additional County review, such as a plat note modification, may be required.



**Amanda Martinez**  
**November 5, 2024**  
**Page Two**

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Alicia Joseph at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

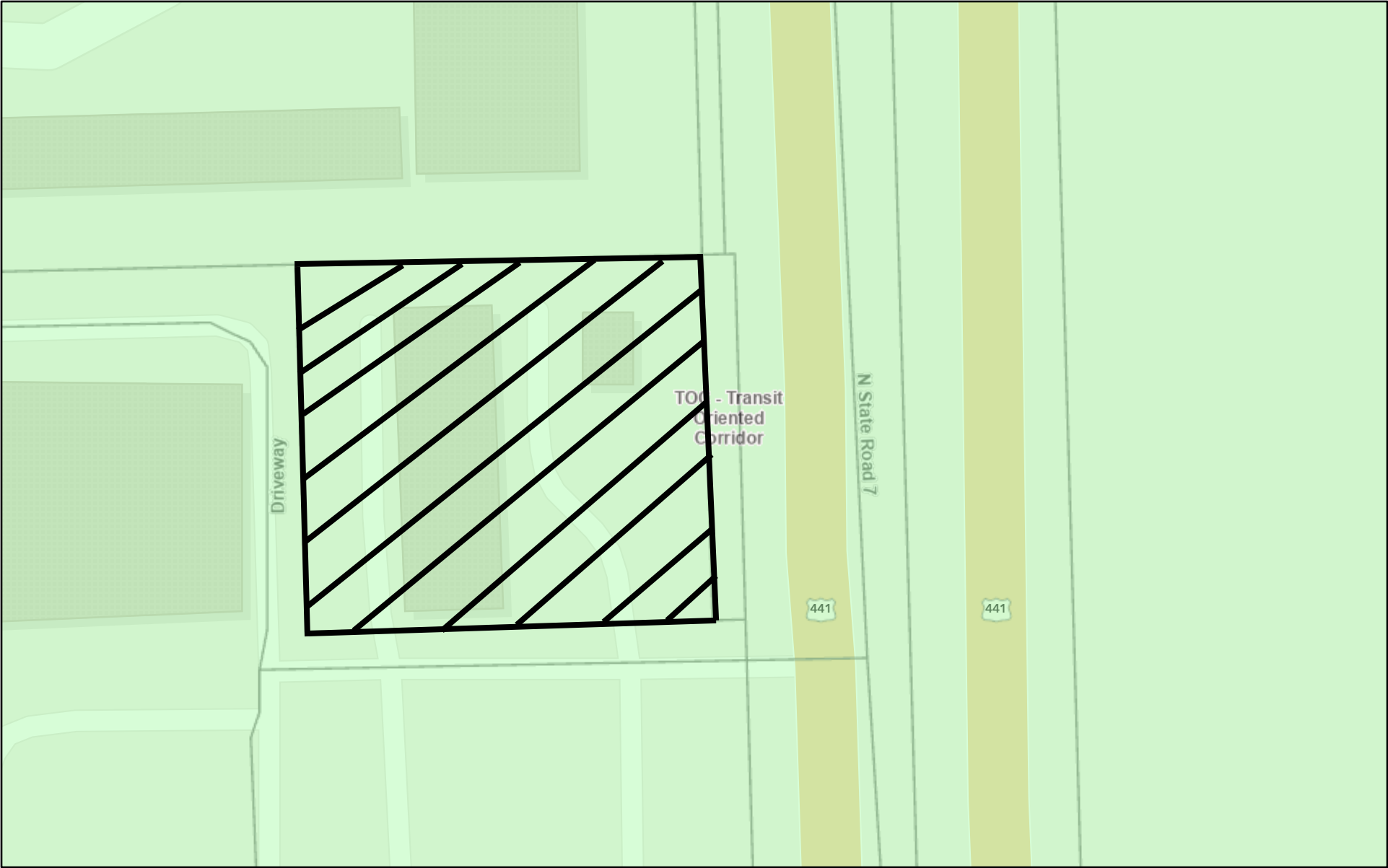
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

cc: George R. Keller, Jr., CPPT, City Manager  
City of Hollywood

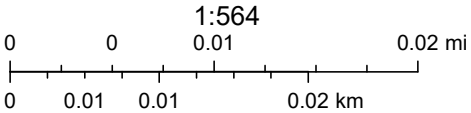
Andria Wingett, Director, Development Services  
City of Hollywood







-  Subject Property
-  Land Use - TOC
-  Zoning - C-MU



Esri Community Maps Contributors, FDEP, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA,

ArcGIS Web AppBuilder



## LEGAL DESCRIPTION

PARCEL "A" "GATOR 441 SUBDIVISION," ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.





# Taco Bell Site Plan & Design Approval & Variance Requests 2640 N. State Road 7

CITY OF HOLLYWOOD  
COMMUNITY MEETING  
FEBRUARY 21, 2023



# Project Location

2



- ▲ Zoning: C-MU  
(Central Mixed Use District)
- ▲ Land Use: TOC  
(Transit Oriented Corridor)
- ▲ Existing Use: Abandoned Car  
Wash Facility
- ▲ Proposed Use: Take-out only  
Taco Bell Restaurant with a  
Drive-thru Facility



# Project Location

3





# Requests

4

- Site Plan & Design approval to develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating.
- Variance approvals as follows:
  - To allow the Project to be developed with 5 parking spaces rather than 11 spaces as required by Code;
  - To allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code;
  - To allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code.



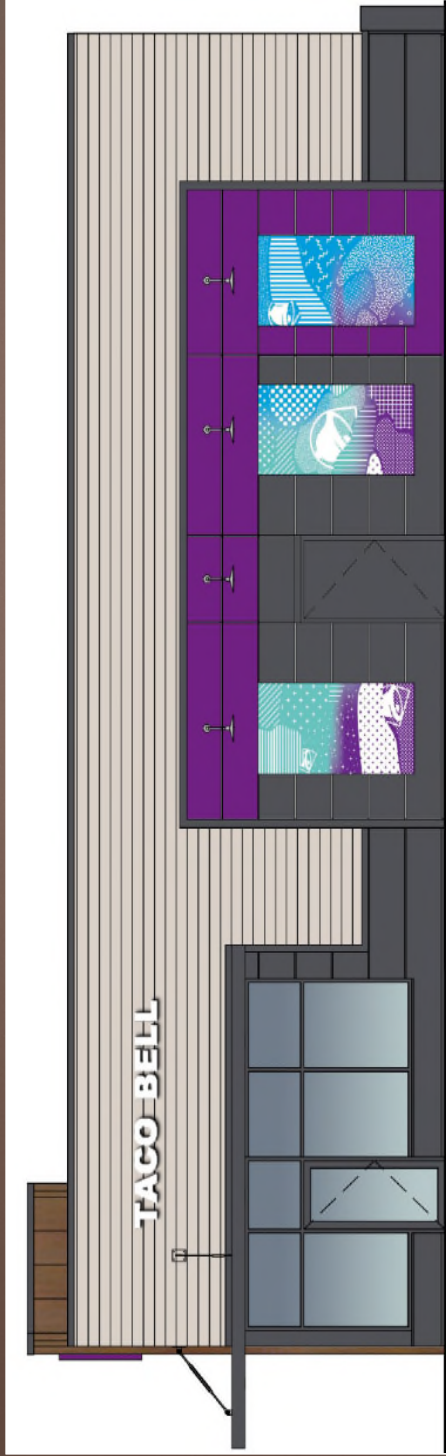




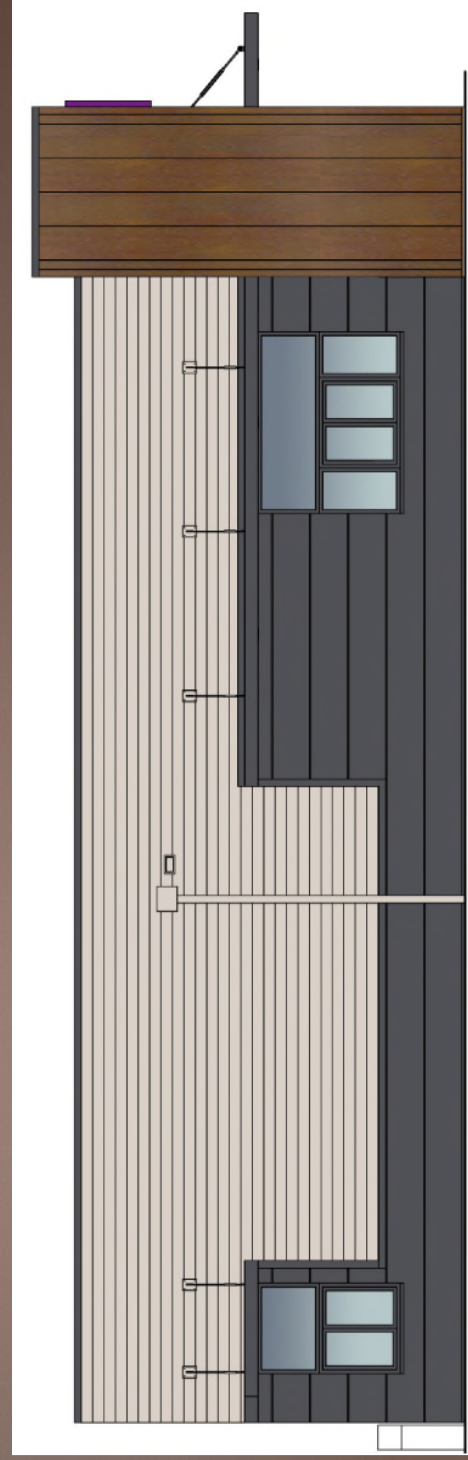
# Elevations

6

East Elevation  
(N. State Road 7)



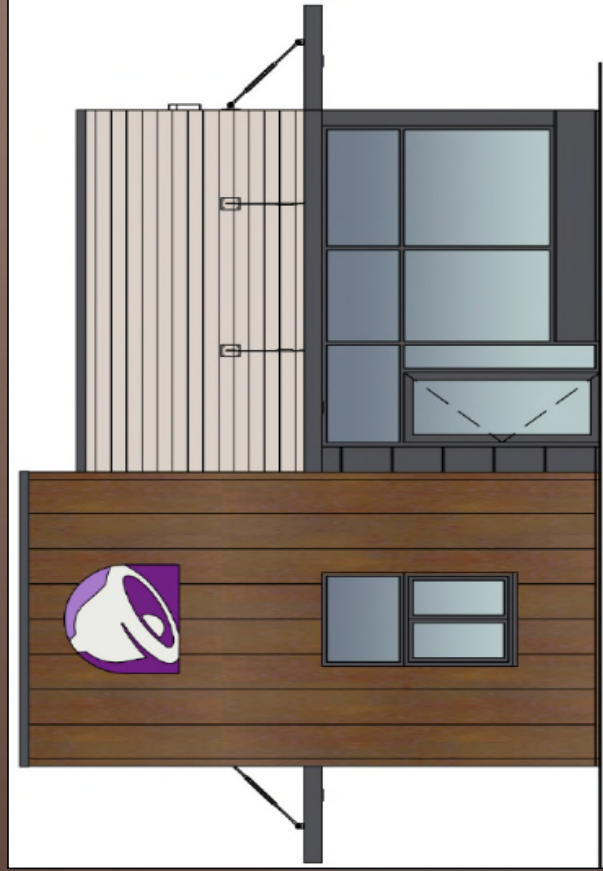
West Elevation  
(Drive-thru Lane)





# Elevations

7



South Elevation  
(Front of Building)



North Elevation  
(Rear of Building)



# Questions?



## **MEETING NOTICE**

**Re:     *Citizen Participation Meeting*  
          *Taco Bell of America*  
          *2640 N. State Rd. 7***

Dear Neighbor:

You are invited to attend a virtual citizen participation meeting related to the proposed site plan and variances for a project generally located at 2640 N. State Rd. 7 ("Property") in the City of Hollywood. Attached please find an aerial map showing the location of the Property. The applicant, Taco Bell of America, is proposing to develop the property with a +/- 1,600 square foot take out only Taco Bell restaurant with a drive thru-facility. There will be no indoor or outdoor dining provided on site.

Prior to holding public hearings related to the application, Taco Bell of America would like to hear from you, our neighbors. As such, we have scheduled the following virtual citizen participation meeting and look forward to meeting and hearing from all of you:

**Citizen Participation Meeting:**  
**Date: Tuesday, February 21, 2023**  
**Time: 6:30 pm**

**Meeting Link: <https://rb.gy/djirzx>**  
**Webinar ID: 874 7108 5365**

If you wish to submit comments prior to the meeting, please send them to:

Dunay, Miskel & Backman, LLP  
Attn: Dwayne L. Dickerson  
Email: [ddickerson@dmblaw.com](mailto:ddickerson@dmblaw.com)  
Phone: 561-405-3336

Also, please be advised that there will be additional opportunities for public input at the City of Hollywood public hearing.

Sincerely,

A handwritten signature in blue ink that reads "Dwayne L. Dickerson".

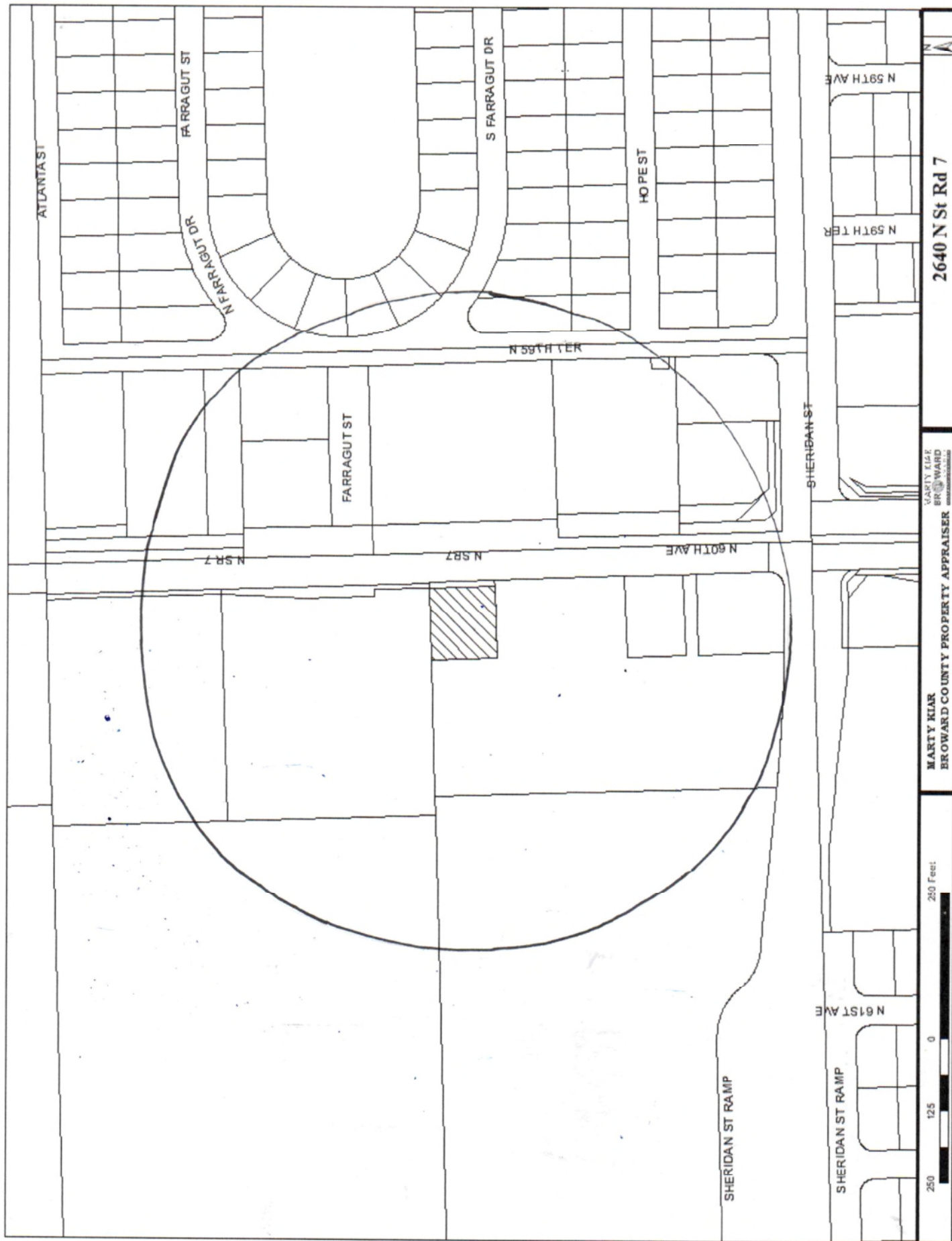
Dwayne L. Dickerson, Esq.  
*Dunay, Miskel and Backman, LLP*



**Project Locational Map**  
**Address: 2640 N. State Road 7**  
**Folio: 514101120010**









FOLIO_NUMB	NAME
514101000251	HAIMS AUTO PLAZA LLC
514101000252	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000260	PANAMERICAN HOLDINGS CORP% NAI MIAMI
514101000262	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514101000264	PANAMERICAN HOLDINGS CORP% NAI MIAMI
514101000265	PANAMERICAN HOLDINGS CORP% NAI MIAMI
514101000280	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000281	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000282	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000283	E A P MANAGEMENT CORPKFC #4
514101000285	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000286	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY



514101000290	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000300	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000310	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000320	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101000330	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514101040350	NAZIM,BIBI RAKEYA
514101040360	VINTON,KIMBERLY A
514101040680	ANAYA,MARIA T
514101040690	TOP,ALBERT NTOP,RUBIAH ETAL
514101041010	SANCHEZ,SALVADOR H/ECASTILLO,VIRGINIA
514101041020	DIXON,JORGE S
514101041370	PUBLIC LAND %CITY OF HOLLYWOODOFFICE OF BUSINESS & INT'L TRADE
514101090010	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101090011	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514101090020	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE
514101100010	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514101100012	STORAGE EXPRESS III LLC
514101100020	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE
514101110010	SHERIDAN #30025 INC



514101110020	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514101110030	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE
514101120010	GATOR 441 INC% GATOR INVESTMENTS
514101120020	PUBLIC LAND %CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE CITY OF HOLLYWOOD DEPT. OF PLANNING & DEVELOPMENT SERVICES PO BOX 229045 HOLLYWOOD FL 33022-9045 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Josh Levy, Mayor	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Caryl S. Shuham, Commissioner Distrct 1	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Linda Hill Anderson, Commissioner District 2	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Traci L. Callari, Commissioner District 3	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Adam Gruber, Commissioner District 4	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Kevin D. Biederman, Commissioner District 5	Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard
Idelma Quintana, Commissioner District 6	Hollywood, FL 33020-4807



ADDRESS_LI	CITY	STATE	ZIP	ZIP4
2840 N STATE RD 7	HOLLYWOOD	FL	33021	
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421
9655 S DIXIE HWY STE 300	MIAMI	FL	33156	2813
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
9655 S DIXIE HWY STE 300	MIAMI	FL	33156	2813
9655 S DIXIE HWY STE 300	MIAMI	FL	33156	2813
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421
2501 HOLLYWOOD BLVD STE 220	HOLLYWOOD	FL	33020	6632
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI	FL	33309	3421



3400 W COMMERCIAL BLVD	FORT LAUDERDALI FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALI FL	33309	3421
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALI FL	33301	1801
5937 S FARRAGUT DR	HOLLYWOOD FL	33021	2730
5933 S FARRAGUT DR	HOLLYWOOD FL	33021	2730
5940 N FARRAGUT DR	HOLLYWOOD FL	33021	
5937 HOPE ST	HOLLYWOOD FL	33021	
5930 S FARRAGUT DR	HOLLYWOOD FL	33021	2731
5936 S FARRAGUT DR	HOLLYWOOD FL	33021	2731
2600 HOLLYWOOD BLVD #212	HOLLYWOOD FL	33020	4807
3400 W COMMERCIAL BLVD	FORT LAUDERDALI FL	33309	3421
2600 HOLLYWOOD BLVD #206	HOLLYWOOD FL	33020	4807
2600 HOLLYWOOD BLVD #212	HOLLYWOOD FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD FL	33020	4807
2700 N STATE RD 7	HOLLYWOOD FL	33021	
2600 HOLLYWOOD BLVD #212	HOLLYWOOD FL	33020	4807
1650 NW 87 AVE	MIAMI FL	33172	



3400 W COMMERCIAL BLVD	FORT LAUDERDALE FL	33309	3421
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2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020	4807
7850 NW 146 ST 4 FLR	MIAMI LAKES	FL	33016	

2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020	4807
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LEGAL

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56.49, S 243.54, E 7TO POB

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306.16,S 207.12 TOPOB

1-51-41E 150 OF W 200 OF N 150 OF S 970OF S1/2  
OF SE1/4

1-51-41N 150 OF S 970 OF S1/2 OF SE1/4LESS E  
2310 & LESS W 200

1-51-41PT OF SE1/4 DESC AS N 175 M/L OFS 225 M/L  
LESS E 2285 LESS RD &LESS BEG 225 N & 18 E OF  
SW COROF SE1/4,E 192,S 175,W 167.15  
TOCURVE,NWLY ALG CURVE 39.12,N 150.15 TO POB  
JOHN W NEWMAN SURVEY 1-118 DA POR OF E1/2  
OF T 51 R 41 IN1-51-41,DESC AS,COMM AT S1/4  
COROF SEC 1,N 1029.78,E 40 TO POBN 139.91,E  
285.62,S 139.75,W285.44 TO POB

1-51-41N 60 OF S 1030 OF S1/2 OF SE1/4,LESS E  
2285 & LESS W 40 FOR RD& LESS E 25 THEREOF



LESTER PROPERTY 14-48 BPART OF S1/2 OF SE1/4  
OF SW1/4 SEC 1-51-41 DESC AS: BEG SW COR OF  
LESTER PROPERTY 14-48 B, NE1338.74, NW  
75.15, SW 50, SWLY 39.42, WLY 356.42, NW  
192.89, NWLY 73.71, NWLY 77.93, WLY  
98.97, SW 453.25, NWLY 31.21, NW 30.21, SE 235.01 TO  
POBAKA:

1-51-41W 50 FT OF N 150 OF S 970 OF S1/2 OF SE1/4  
OF SEC 1-51-41 TOG WITH W 50 FT OF N 70 OF S 820  
OFS 1/2 OF SE1/4 OF SEC 1

LESTER PROPERTY 14-48 BE 50 FT OF THAT PT OF  
SE1/4 OF SW1/4 OF SEC 1-51-41 AS DEDICATED PER  
PLAT LESS S 75.15 THEREOF

1-51-41W 40 FT OF S1/2 OF SE1/4 OF SEC 1-51-41  
LESS S 970' AND LESS W 18 FT THEREOF AKA:

PARCEL 106

1-51-41W 25 FT OF E 2310 OF S1/2 OF SE1/4 OF SEC  
1

PLAYLAND ESTATES SEC 3 36-27 BLOT 1 BLK 14  
PLAYLAND ESTATES SEC 3 36-27 BLOT 2 BLK 14  
PLAYLAND ESTATES SEC 3 36-27 BLOT 34 BLK 14  
PLAYLAND ESTATES SEC 3 36-27 BLOT 1 BLK 15  
PLAYLAND ESTATES SEC 3 36-27 BLOT 33 BLK 15  
PLAYLAND ESTATES SEC 3 36-27 BLOT 34 BLK 15

PLAYLAND ESTATES SEC 3 36-27 BALL STREETS  
R/W PER SAID PLAT

COHEN PLAT 123-26 BTRACT A LESS POR DESC AS  
COMM AT SE COR TR A, NW 11.50 TO POB, SW 20, NW  
30, NE 20, SE 30 TO POB

COHEN PLAT 123-26 BPORTION TRACT A DESC AS  
COMM AT SE COR TR A, NW 11.50 TO POB, SW 20, NW  
30, NE 20, SE 30 TO POB

COHEN PLAT 123-26 BTHOROUGHFARE DEDICATED  
TO PUBLIC PER PLAT

PORTOFINO CLUB 133-10 BPT OF PARCEL A  
DESIGNATED AS "RESIDENTIAL ZONE" & DESC'D  
AS, BEG AT SW COR OF PARCEL A, NLY ALG W/L  
656.15 TO NW COR, ELY ALG N/L 854.07, SLY ALG  
ELY/L & ITS SLY PROJECTION FOR 655.34 TO PT ON  
S/L, WLY ALG SAME 856.47 TO POBAKA:

PORTOFINO CLUB 133-10 BPARCEL A THAT PART  
KNOWN AS "COMMERCIAL ZONE" DESC'D AS, BEG AT  
SE COR OF PARCEL A, W 390.01, N 355.33, E  
390.01, SWLY 150.48, SLY 109.95, E 12, S 95 TO POB

PORTOFINO CLUB 133-10 BTHOROUGHFARE  
DEDICATED TO PUBLIC PER PLAT  
EXXON-HOLLYWOOD TRACT 143-18 BPARCEL "A"  
LESS POR DESC'D IN OR 50876/1276



EXXON-HOLLYWOOD TRACT 143-18 BPARCEL  
LABELED "AREA OFRESERVATION" & POR OF PAR  
A INSEC 1-51-41 PER DOT R/W MAP  
ITEM2277751/SEC 86100-2528 DESC AS:COMM AT  
SMALL PK NAIL MARK S1/4COR SEC 1,N 224.78 ALG  
W/L OFSE1/4,E 37 TO ELY R/W/L OF STATERD 7 &  
POB,E 33,S 124.14,SE38.16,NW 49.35,CONT NW  
32.63,N

EXXON-HOLLYWOOD TRACT 143-18 BDEDICATED  
THOROUGHFARE PER PLAT  
GATOR 441 SUBDIVISION 151-8 BPARCEL "A"

GATOR 441 SUBDIVISION 151-8 BADDITIONAL  
THOROUGHFAREDEDICATED TO PUBLIC PER PLAT





## CERTIFICATION LETTER

City of Hollywood

**Date:** February 3, 2023

**Applicant:** Taco Bell of America/Gator 441 Inc. D Hollywood LLC

**Legal Description:** Parcel A of Gator 441 Subdivision as recorded in Plat Book 151 Page 8 of the Public Records of Broward County, Florida.

**Address or General Location:** 2640 N. State Road 7

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of January 30, 2023 and the Planning Department, and the City Commission.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed February 2, 2023.

Finally, this letter certifies that the site was posted with one public notice sign that meets the City of Hollywood notification regulations. The sign was posted February 3, 2023.

Thank You,

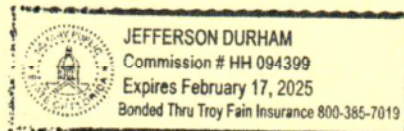
A blue ink signature of Christina Mathews, written in a cursive style.

Christina Mathews

Sworn and subscribed before me this 3<sup>rd</sup> day of February, 2023. She is personally known to me.

A blue ink signature of the notary, written in a cursive style.

Signature of Notary



1025 Yale Drive  
Hollywood, Florida 33021  
954-920-2205  
Email: cutroplanning@yahoo.com



# **NOTICE OF PUBLIC OUTREACH MEETING**

Sponsored by: Taco Bell of America

Project Name: 2640 N. State Rd 7

FOR VIRTUAL MEETING LOGIN INFORMATION:

Meeting Link: <https://rb.gy/djirzx>

Webinar ID: 874 7108 5365

MEETING DATE & TIME: 2/21/2023 @ 6:30 PM

Posted: 2/3/2023 By: Cutro





**DUNAY  
MISKEL  
BACKMAN** LLP

Gary Dunay  
Bonnie Miskel  
Scott Backman  
Eric Coffman

Hope Calhoun  
Dwayne Dickerson  
Ele Zachariades  
Matthew H. Scott

Christina Bilenki  
David F. Milledge  
Jeffrey Schneider  
Kristen Weiss  
Sara Thompson

March 27, 2023

Mawusi Watson  
Planning Administrator  
Division of Planning and Urban Design  
Development Services Department  
City of Fort Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045

RE: Community Outreach Summary-Taco Bell of America (Application 23-DPV-06)

Dear Ms. Watson,

On behalf of Taco Bell of America ("Applicant"), please accept this summary of the community outreach efforts regarding the site plan review and variance requests for the proposed 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating located at 2640 N. State Road 7 ("Property").

At 6:30 pm on February 21, 2023, a virtual community meeting was held for the members of the surrounding community regarding the Taco Bell of America application and proposed requests. Flyers informing the residents of the meeting were mailed to all property owners within the City's required notice radius. Dwayne Dickerson, legal representation for the Applicant, opened the meeting at 6:30 pm. As no attendees were present, Dwayne remained and kept the meeting open until 7:15 pm to allow residents to join. As no residents joined, the meeting was ended. A copy of the meeting presentation has been included with this summary.

Please contact me at 954-304-7755 if you have any questions or comments regarding this summary letter of the community outreach meeting.

Sincerely,

Amanda Martinez,  
Land Planner