

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 01.07.19

Location Address: _____

Lot(s): _____ Block(s): A Subdivision: ORANGEBROOK GOLF ESTATES

Folio Number(s): 514217020011

Zoning Classification: C-2 Land Use Classification: GBUS

Existing Property Use: COMMERCIAL Sq Ft/Number of Units: 4,500 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 18-DP-34

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: _____

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: \$850,000 Estimated Date of Completion: August 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: WRI JT HOLLYWOOD HILLS I LP, Scott Henson

Address of Property Owner: 5355 TOWN CENTER ROAD, STE 802, BOCA RATON, FL 33486

Telephone: 602-217-8848 Fax: 602-263-8852 Email Address: SHenson@Weingarten.com

Name of Consultant/Representative/Tenant (circle one): Saltz Michelson Architects

Address: 3501 Griffin Rd, Ft. Lauderdale Telephone: 954-266-2700

Fax: 954-266-2701 Email Address: mazar@saltzmichelson.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)

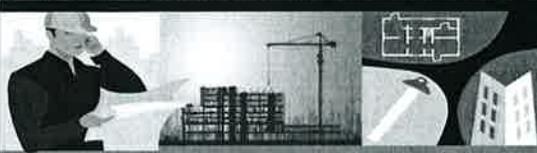
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 1/4/19

PRINT NAME: MARTIN ESPEJO

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 4 day of January 2019

Notary Public

State of Florida

My Commission Expires: 2/1/19 (Check One) Personally known to me; OR Produced Identification _____

NOTARY PUBLIC
KAREN L. CARLSON
MY COMMISSION # FF 194735
EXPIRES: February 1, 2019
Bonded Thru Budget Notary Services

Signature of Current Owner

MARTIN ESPEJO
Print Name

WEINGARTEN REALTY

2600 Citadel Plaza Drive
Houston, Texas 77008
800-688-8865
713-866-6049 Fax
www.weingarten.com

March 1, 2018

To: County and City Building Departments: (including)

Cities of: Boca Raton, Clearwater, Clermont, Cooper City, Deerfield Beach, Hollywood, Jacksonville, Kendall, Largo, Miami, Oakland Park, Orlando, Palm Coast, Palm Harbor, Pembroke Pines, Plantation, Sanford, Sea Ranch Lakes, Stuart, St. Augustine, Tampa, Wellington, Winter Park; and

Counties of: Palm Beach, Pinellas, Lake, Broward, Duval, Miami-Dade, Orange, Seminole, Flagler, Martin, St. Johns, Hillsborough

RE: Approval from owner for signature acceptance

Dear City Official:

Please be advised that the following Weingarten personnel are authorized to sign the types of documentation listed below on behalf of the owners listed on Page 2.

Weingarten Personnel:

Mark Schultz – Associate Director of Property Management

Chris Oftedal – Senior Regional Property Manager

Ryan Tufts – Regional Property Manager

John Haggerty – Regional Property Manager

Karl Brinkman – Area Vice President/Leasing

Alexander Evans – Regional Leasing Director

Joel F. Kaplan – Construction Manager

Martin Espejo – Construction Manager

Gina Fongyee – Property Manager

Documentation:

Permit Applications

Sign Approval Letters

Notice of Commencement

Documents required by City Department and Code Enforcement Department (violations)

Documents regarding utility and or refuse service

Waste Water Applications

Development Orders

Development Agreements

Owners:

Weingarten Realty Investors
Weingarten Nostat Inc.
WRI JT Tamiami Trail, LP
WRI JT Pembroke Commons, LP
WRI JT Flamingo Pines LP
WRI Seminole II, LLC
WRI-TC East Lake Woodland LLC
WRI-TC Marketplace at Dr. Phillips LLC
Weingarten I-4 Clermont Landing LLC
Weingarten I-4 Clermont Landing TRS, LLC
WRI Shoppes of South Semoran LLC
Weingarten/Investments Inc.
Weingarten I-4 St. Augustine EV LLC
WRI JT Northridge, LP
WRI JT Hollywood Hills I, LP
WRI JT Hollywood Hills II, LP
WRI Seminole Marketplace, LLC
Pineapple Commons Retail LP
WS Atlantic West, LLC
WS Kernan Village, LLC
WRI Wellington Green, LLC

Sincerely,

Weingarten Realty Investors,
a Texas real estate investment trust

By:



Mark D. Stout
Senior Vice President/General Counsel

STATE OF TEXAS §
 §
COUNTY OF HARRIS §

The foregoing instrument was acknowledged before me this 2nd day of March, 2018, by Mark D. Stout, Senior Vice President/General Counsel of Weingarten Realty Investors, a Texas real estate investment trust, on behalf of the trust. He is personally known to me.

Barbara McKinney
NOTARY PUBLIC SIGNATURE



NOTARY STAMP



January 7, 2019

City of Hollywood
Development Services Planning Division
2600 Hollywood Boulevard
Hollywood, Florida 33020
Attn: Technical Advisory Committee Plans Reviewers

**RE: Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building
Hollywood, Florida
File # 18-DP-34**

To Whom It May Concern:

Below are our responses to the City's comments for the above referenced project:

APPLICATION SUBMITTAL – dated 5/14/18

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. **Comment:** Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Response: *Please refer to attached copy of email from Broward County Planning and Development Management Division stating the plat does not have a restriction limiting its level of development.*
2. **Comment:** Ownership & Encumbrance Report (O&E) shall:
 - a. Dated within 30 days of submittal packet.
 - b. Indicate it was searched from 1953 or time of platting (earliest of the two).
 - c. Include the legal description of the property.
 - d. Include the names of the current owners.
 - e. Include a listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access line, etc.)
 - f. Include a listing and hard copy of any type of encumbrance abutting the property boundary necessary for

legal access to the property (if none, state so)

- Response:** *Please refer to attached O & E Report.*
3. **Comment:** If applicable, provide agreement(s) and supporting legal documentation for access easements, cross- access/parking, etc. with previous phases of project. Work with the Engineering Division as necessary.
- Response:** *Not applicable, it is all one property.*
4. **Comment:** ALTA Survey:
- a. No ALTA survey provided. Required for resubmittal.
 - b. Shall be based on O&E with a note indicating as such and vice versa.
 - c. Shall extend to centerline of all adjacent streets and alleys.
 - d. Shall include the widths of abutting and internal streets.
 - e. Shall include net and property size in square feet and acreage.
 - f. Work with the Engineering Division to ensure the Survey is accurate and all easements and dedications are indicated.
- Response:** *Please refer to attached survey.*
5. **Comment:** Not all sheets provided are listed on Drawing Index. Revise accordingly.
- Response:** *Revised as requested. Please refer to sheet A0.0.*
6. **Comment:** Revise the following on Site Plan:
- a. Include development address on Title Block
 - b. Include required and provided building setbacks for entire site.
 - c. Provide dimensions for building lengths and all driveways, access points, walkways, etc.
 - d. Provide distance between existing and proposed buildings.
 - e. Provide location of recycling containers.
 - f. Provide location of building projections, including but not limited to mechanical equipment, overhangs and awnings.
- Response:**
- a. *An address has been applied for and will be provided with the final TAC submittal.*
 - b. *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
 - c. *Revised as requested. Refer to updated sheet SP1.0.*
 - d. *Revised as requested. Refer to updated sheet SP1.0.*
 - e. *Revised as requested. Refer to updated sheet SP1.0.*
 - f. *Revised as requested. Refer to updated sheet SP1.0.*
7. **Comment:** Revise the following on Site Data:
- a. Required and Proposed setbacks should be calculated for the entire site area.
 - b. Include existing and proposed pervious and impervious area for the entire site.
 - c. Include height of structures on site.
 - d. Include required and proposed parking counts for the entire site.
 - e. Include net size of the entire site in square feet and acres.
- Response:**
- a. *Revised as requested. Refer to updated Site Data on sheet SP1.0.*

- b. Revised as requested. Refer to updated Site Data on sheet SP1.0.*
c. Revised as requested. Refer to updated Site Data on sheet SP1.0.
d. Revised as requested. Refer to updated Site Data on sheet SP1.0.
e. Revised as requested. Refer to updated Site Data on sheet SP1.0.
8. Comment: Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.
Response: *The owner's representative presented the project to the Park East Civic Association and it was approved. He also appeared in front of the Hollywood Hills Civic Association and they had no objection to the proposed building and site plan.*
9. Comment: Provide written responses to all comments with next submittal.
Response: *Provided as requested.*

ZONING – dated 5/14/18

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Indicate the location of mechanical equipment. Include a Roof Plan if located on the roof. If not, include note stating that all mechanical equipment shall be properly screened from public view. Adequate landscape screening shall be provided for all equipment and parking areas.
Response: *The mechanical equipment shall be on the roof. Refer to Proposed Site Plan on sheet SP1.0.*
2. Comment: Off-street parking calculations shall reflect parking requirements for the entire site
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
3. Comment: If outdoor seating is proposed, ensure the square footage for each outdoor area is included in the parking calculation.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
4. Comment: Landscape requirements shall be calculated for the entire site.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
5. Comment: Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.
Response: *Please refer to garbage truck path sketch on Sheet SP1.0.*
6. Comment: Ensure drive-thru complies with the drive-thru regulations of the City (article 4.22.T)
Response: *The proposed drive-thru complies with Article 4.22.S.*
7. Comment: Work with the Engineering Department to ensure that vehicular and pedestrian access between all parcels is appropriate. Ensure that there are no pedestrian/vehicular conflicts and that adequate crossing points are provided, particularly in areas adjacent to drive-thrus.
Response: *Please refer to Sheet SP1.0 where new crosswalks and sidewalks are proposed to adjacent building. Also, existing sidewalks have been labeled.*

ARCHITECTURE AND URBAN DESIGN – dated 5/14/18

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Include Elevation marker indicating established grade
Response: *The elevation marker has been added to the floor plan on sheet A1.0.*
2. Comment: Given the outparcel's location within a shopping complex, the project should incorporate addition architectural articulation on the north and west facades
Response: *The client is studying their options internally and will address this issue at final TAC meeting.*

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900

1. Comment: Sheet SP1.0: How is recycling being done in the building?
Response: *Recycling containers are shown by the two new proposed dumpsters.*
2. Comment: Sheet SP1.0: Detail 3 – The dumpster enclosure is incomplete and lacks a personnel door.
Response: *Revised as requested. Refer to updated Details 3 and 4 on sheet SP1.0.*
3. Comment: How are you meeting the Green Building Ordinance?
Response: *Specifying the following items:*
 1. *A bike rack*
 2. *Infrastructure for electric car vehicle charging station*
 3. *Recycling bins*
 4. *White TPO roof*
 5. *Central air conditioning of 18 SEER or higher*
 6. *Energy efficient (Low E) windows*
 7. *Energy efficient doors*
 8. *Programmable thermostats*
 9. *Occupancy / vacancy sensors*
 10. *All energy-efficient outdoor lighting*
4. Comment: Bicycle Rack should be accommodated on site.
Response: *A bike rack is now shown on the southeast side of the building. Refer to Proposed Site Plan, 1/SP1.0.*

SIGNAGE – dated 5/14/18

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: For review, full signage package shall be provided, including signage details, signs illustrated on elevations, dimensions on Site Plan, etc
Response: *The existing shopping center's sign criteria is attached for reference.*
2. Comment: Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
Response: *Revised as requested. Refer to updated Site Data Notes on sheet SP1.0.*
3. Comment: All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.
Response: *Understood. Refer to updated Site Data Notes on sheet SP1.0*

GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY – dated 5/14/18

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Submittal shall indicate compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.
Response: *The building shall comply with the Green Building Ordinance which requires small developments (under 20,000 s.f.) to incorporate at least 10 green building practices. Please refer to revised Notes on Sheet SP1.0. Green Building Certification is not required by Code for this size building.*
2. Comment: Provide copies of appropriate/preferred green building registration with next submittal.
Response: *Green Building Certification is not required by Code for this size building.*
3. Comment: Installation of electric vehicle infrastructure required. Show the location of equipment on Site Plan.
Response: *Electric vehicle infrastructure is now shown on the southeast side of the parking lot. Refer to Proposed Site Plan, 1/SP1.0.*

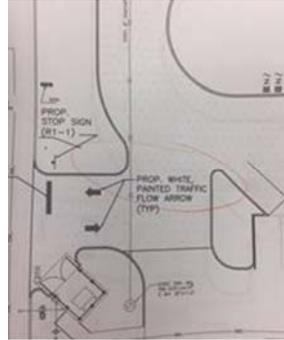
ENGINEERING – dated 5/14/18

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Comment: Please clarify project use on Sheet SP1.0. Per Parking Calculations, proposed use is Shopping Center and per Proposed Site Plan, it appears to be a food service use with menu board at drive-thru.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
2. Comment: Indicate type of drive-thru facility on Sheet SP1.0 and provide stacking spaces as per Zoning and Land Development Regulation Article 7.6. Indicate outbound stacking space(s) on plan.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
3. Comment: The proposed outparcel development eliminates existing parking for the Hollywood Hills Plaza. Provide parking analysis to show how parking requirements/demand are being met with pre development and post development (with the new development and elimination of parking) scenarios.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
4. Comment: In the Overall Site Plan, show sidewalk network between buildings on the site.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*
5. Comment: Indicate location of existing sidewalk on Hollywood Boulevard.
Response: *Revised as requested. Refer to updated Site Data on sheet SP1.0.*

6. Comment: Please review vehicular traffic flow with possible conflicting movements at the intersection shown below for necessary traffic control devices or eliminate the opening.



Response: *Pavement markings have been added for traffic control. Also, an additional stop sign and stop bar have been added to the area. Please refer to revised sheet SP1.0 and to civil drawings.*

LANDSCAPING – dated 5/14/18

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Comment: Provide a separate sheet with a tree disposition plan in a larger scale showing the trees proposed to remain, relocate and to be removed.

Response: *A separate sheet has been provided to show the tree disposition at a larger scale. See sheet L-1.*

2. Comment: Provide separate Landscape plan sheet in a larger scale showing all proposed new trees and landscape as per city code and clarify on separate table which trees are been proposed to mitigate/compensate for removed shade trees on site.

Response: *A separate sheet has been provided to show the landscape plan at a larger scale. See sheet L-2.*

3. Comment: Explain and clarify as part of the notes on the L-1 sheet that mitigation that cannot be met on site will be mitigated via tree trust fund contribution or by providing larger trees/DBH on site.

Courtesy comment: A City of Hollywood Tree Removal/Relocation Permit and fees will be required for any tree removal or relocation according to Article 9 of the code of the LDR as part of the project; application is available online from Public Works section of City website or in RM308 of City Hall. Supplemental Arborist report may be required before tree removal application is approved. Compensation for trees via tree trust fund contribution to be calculated in separate if needed after final plans are submitted.

Response: *Mitigation calculations are shown on sheet L-2.*

UTILITIES – dated 5/14/18

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

James Rusnak, Engineer (jrusnak@hollywoodfl.org) 954-921-3302

1. Comment: Update survey to include crown of road and edge of pavement elevations along Hollywood Blvd. Also, update survey to include FEMA flood zone

info.

- Response:** *Please refer to attached updated survey.*

2. **Comment:** The north arrow on sheets C1-C4 is pointing in the wrong direction. Adjust accordingly.

Response: *Revised as requested. Refer to updated sheets C1-C4.*

3. **Comment:** The hatch for the concrete walk along the south side of the building appears to be incorrect. Review and revise accordingly.

Response: *Revised as requested. Refer to updated drawings.*

4. **Comment:** Indicate the scale of the drawings on sheets C1-C4.

Response: *Revised as requested. Refer to updated drawings.*

5. **Comment:** NPDES8998 – Over 1 acre

The construction activity on this site is regulated and required to obtain the NPDES Construction Generic Permit (CGP) from DEP. Failure to obtain permit coverage and/or maintain job site erosion and sedimentation control in accordance with permit conditions and applicable regulations may result in fines up to \$27,500.00 per day.

Prior to issuance of building permit a Stormwater Pollution Prevention Plan (SWPPP) shall be required and CGP Notice of Intent (NOI) must be submitted to DEP. SWPPP must be maintained at the job site at all times until the project is terminated and Notice of Termination (NOT) filed with DEP. The SWPPP shall contain detailed descriptions of structures, procedures, contact names and/or control measures designed to reduce sediment and stormwater runoff.

Construction sites and operations shall be required to maintain during and after all construction, development, excavation, dewatering, and/or alteration operations, structural and non-structural Best Management Practices (BMP's) with the intent to reduce pollutants and sediment in stormwater runoff.

For additional information regarding NPDES regulations please contact:
 Florida Department of Environmental Protection
 2600 Blair Stone Road, MS #2500
 Tallahassee, FL 32399-2400 (850) 245-7522
 Visit DEP's Web site at: www.dep.state.fl.us/water/stormwater/npdes

Response: *Acknowledged.*

FIRE – dated 5/14/18

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

TAC review is limited to water supply for firefighting purposes and fire dept. access. A full architectural review will be completed when an application and plans are submitted to the third floor building dept.

- 1. **Comment:** Water supply for firefighting purposes must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the



minimum fire flow requirements.

- Response:** *These items will be provided.*
2. Comment: Two fire hydrants are shown, on civil drawings SP1.0 with one relocated. If more hydrants are required, please show the location including where the relocated hydrant will be placed.
- Response:** *The existing hydrant was relocated just west of its current location. Please refer to C-2.*
3. Comment: Is it possible to relocate the hydrant shown behind the dumpster? It's not the best location. Although it is the minimum 5' width from the dumpster, it's hidden by the dumpster and would be subject to vehicular damage every time the dumpster is emptied.
- Response:** *This will be reviewed to determine a better location for the hydrant.*
4. Comment: The width of the road meets the minimum 20' required by NFPA 1, 18.2.3.4.1.1 but it's unclear if this width is maintained around the building. Can the fire dept. access the front door within 50' of the access road as required by NFPA 1, 18.2.3.2.1.
- Response:** *Please refer to Overall Site Plan on SP1.0 showing the fire truck turning radii around the building.*
5. Comment: Our turning radius for fire dept. roads AutoCAD design is 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior. Please show on the plan how we navigate around the building.
- Response:** *Please refer to Overall Site Plan on SP1.0 showing the fire truck turning radii around the building.*
6. Comment: A note is on pg. C-2 stating that a restaurant is forthcoming with an occupant load of 150. Please refer to NFPA 101, 12.3.5, which states certain occupancies, dance halls, discotheques, nightclubs, or assembly occupancies with festival seating will require a fire sprinkler system. The owner needs to be made aware of this requirement as it may be cost effective to install a fire sprinkler system during the planning phase.
- Response:** *A tenant has not been determined yet, however the building is being planned for restaurant use. None of the occupancies mentioned on NFPA 101, 12.3.5 are applicable at this time. The client has decided to provide fire sprinklers for the building.*

COMMUNITY DEVELOPMENT – dated 5/14/18

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Comment: Substantially compliant.
- Response:** *Understood.*
2. Comment: CD comment: Notify Park East Civic Asso., Meetings 3rd Tuesday at 7:00 p.m., 3250 Hollywood Blvd., Tom Lander, President. bikeland@aol.com.
- Response:** *The owner's representative presented the project to the Park East Civic Association and it was approved. He also appeared in front of the*

Hollywood Hills Civic Association and they had no objection to the proposed building and site plan.

If you have any questions regarding the above, please do not hesitate to contact me.

Very truly yours,
Saltz Michelson Architects

Maday Gutierrez

Maday Gutierrez
Project Manager

HOLLYWOOD HILLS PLAZA OUTPARCEL PRELIMINARY TAC SUBMITTAL

MEETING DATE – JANUARY 22, 2019
N.E. CORNER OF HOLLYWOOD BLVD AND S. PARK ROAD
HOLLYWOOD, FLORIDA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FL. AND IS DESCRIBED AS FOLLOWS:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND A ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.65 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

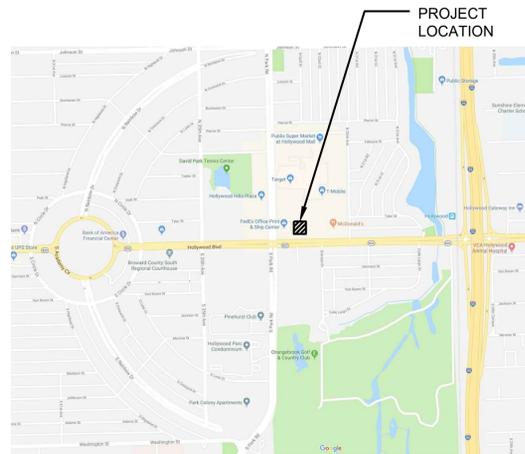
COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTH WESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LANDS ARE THE SAME AS DESCRIBED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-490213A-HOU1 BEARING AN EFFECTIVE DATE OF JULY 19, 2011 @ 8:00 A.M.



PROJECT LOCATION

LOCATION MAP

SCALE: N.T.S.



INDEX OF DRAWINGS

ARCHITECTURE

- A0.0 COVER SHEET
- SHEET 1 OF 1 SURVEY
- SHEET 2 OF 2 SURVEY
- SPT.0 OVERALL SITE PLAN
- PROPOSED SITE PLAN
- DETAILS
- A1.0 TABULAR INFORMATION
- A1.1 FLOOR PLAN, ELEVATIONS
- COLOR ELEVATIONS

CIVIL

- C-1 PAVING, GRADING AND DRAINAGE PLAN
- C-2 WATER AND SEWER PLAN
- C-3 PAVEMENT MARKING AND SIGNAGE PLAN
- C-4 STORMWATER POLLUTION PREVENTION PLAN
- C-5 CIVIL DETAILS

LANDSCAPE

- L-1 EXISTING TREE PLAN
- L-2 PLANTING PLAN
- L-3 SPECIFICATIONS

TEAM

OWNER / DEVELOPER:

WEINGARTEN REALTY
5355 TOWN CENTER ROAD, STE 802
BOCA RATON, FL 33486
TELEPHONE: (954) 938-2583

ARCHITECT:

SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD FORT
LAUDERDALE, FL 33312
TELEPHONE: (954) 266-2700

CIVIL ENGINEER:

HOLLAND ENGINEERING
3900 HOLLYWOOD BLVD, STE 303
HOLLYWOOD FL 33021
TELEPHONE: (954) 367-0371

LANDSCAPE ARCHITECT:

DAVE BODKER LANDSCAPE ARCHITECTURE, INC
601 NORTH CONGRESS AVENUE, STE 105-A
DELRAY BEACH, FL 33445
TELEPHONE: (561) 276-6311

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE POINT OF BEGINNING;

THENCE NORTH, A DISTANCE OF 258.71 FEET;
THENCE EAST, A DISTANCE OF 227.00 FEET;

THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK 'A';
THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

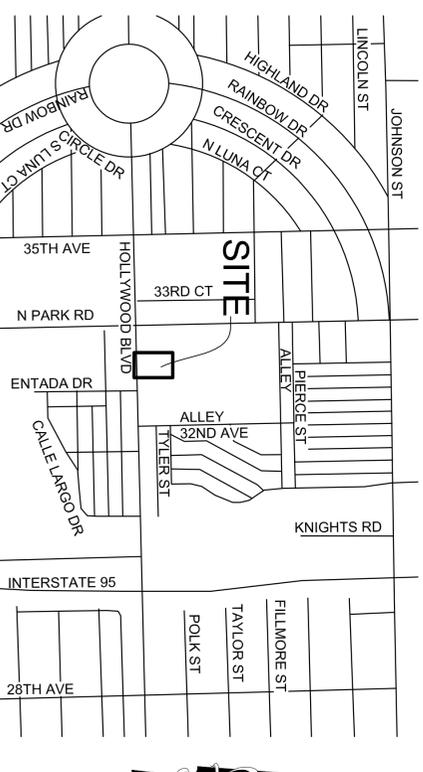
SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

SUMMARY TABLE OF ENCUMBRANCES FROM OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PARAMOUNT TITLE SERVICES, INC. - SEARCH NO. 18-837-5

CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018

- EASEMENTS, RESTRICTIONS - PLAT OF ORANGEBROOK GOLF ESTATES P.8-38; PG. 1, B.C.R.
COMMENT: PLAT CONDITIONS SHOWN HEREON.
- EASEMENT: HOLLYWOOD MALL TO F.P.L. - ORB 2946, PG. 681
COMMENT: DOES NOT AFFECT THIS PROPERTY
- QUIT CLAIM DEED - HOLLYWOOD, INC. TO CITY - SEWER, WATER & DRAINAGE SYSTEMS - ORB 3379, PG. 330, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* *(THIS SURVEY)
- OPERATION/EASEMENT AGREEMENT - ORB 20330, PG. 460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE REGARDING LIENS - ORB 29745, PG. 1200, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- FIRST AMENDMENT TO OPERATION & EASEMENT AGREEMENT - ORB 29860, PG. 827, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- EASEMENT - SREG HOLLYWOOD HILLS TO F.P.L. - ORB 30062, PG. 810, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* - SHOWN HEREON
- SECOND AMENDMENT TO OPERATION AND EASEMENT AGREEMENT - ORB 30291, PG. 990, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- RECIPROCAL ACCESS EASEMENT AGREEMENT - ORB 32538, PG. 1560
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- NOTICE OF LIEN PROHIBITION - ORB 33289, PG. 1844, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 39162, PG. 934, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013, PG. 782, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013, PG. 785, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- MORTGAGE/SECURITY AGREEMENT - CRN 113602460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- ASSIGNMENT OF RENTS - CRN 113602461, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- SUBORDINATION, NONDISTURBANCE AGREEMENT - CRN 11387331, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*



SURVEYOR'S REPORT:

- THE LAND DESCRIPTION SHOWN HEREON WAS COMPOSED BY THE UNDERSIGNED, EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON.
- THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88)
- BEARINGS SHOWN HEREON ARE BASED ON AS ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BENCHMARK REFERENCE: BROWARD COUNTY ENGINEERING DEPT., BM # 2059; BRASS DISC STAMPED BM 1911, 1978 ON HOLLYWOOD BLVD, 278 FEET WEST OF THE WEST RR TRACK OF THE SEABOARD COASTLINE RAILROAD IN THE NORTH SIDEWALK AT THE NW CORNER OF BRIDGE OVER CANAL, 57 FEET NORTH OF ROAD CENTERLINE. ELEVATION = 5.25 (NAVD88 DATUM)
- THIS ALTA/NSPS LAND TITLE SURVEY IS A BOUNDARY SURVEY. THE EXPECTED USE OF THIS SURVEY IS:
 - CIVIL ENGINEERING DESIGN
 - THIS SURVEY HAS BEEN PERFORMED ACCORDING TO THE STANDARD OF CARE TO ACHIEVE AN ACCURACY OF 1 : 1,000 (COMMERCIAL HIGH RISK) FOR MAPPED FEATURES SHOWN HEREON.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
 - ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD IN FEET.
 - THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT ISSUED BY PARAMOUNT TITLE SERVICES - SEARCH NO. 18-837-5 CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018.
 - EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR REPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OR INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WETLANDS, ROADWAYS, STREETS, PROPOSED USES, HISTORICALLY OR ARCHEOLOGICALLY SENSITIVE LANDS OR RIGHT OF ACCESS.
 - NO WETLAND MARKERS WERE OBSERVED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
 - WITH REGARD TO TABLE A, ITEM 1 REFERENCED IN THE SURVEYOR'S CERTIFICATION, THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES, LACKING EXPLANATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEDUCED.
 - FINAL FLOOD INSURANCE RATE MAP:
FEMA NUMBER 1201100968, H
FLOOD ZONE FOR THIS PROPERTY: ZONE X
CITY OF HOLLYWOOD, 1251113
MAP DATE: 6-18-2014
 - GROSS AREA (TO CENTERLINE) = 72,347 SQ. FT., 1.66 ACRES (+/-)
 - NET AREA (LESS RIGHT-OF-WAY) = 58,727 SQ. FT., 1.35 ACRES (+/-)
 - ALL MEASUREMENTS, ELEVATIONS AND FEATURES SHOWN WERE SURVEYED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 51-17 OF THE FLORIDA ADMINISTRATIVE CODE.
 - THE WORD "CERTIFY" ON THIS SURVEY IS REPRESENTED TO BE A PROFESSIONAL OPINION OF THE UNDERSIGNED, AND NOT AN EXPRESSION OF WARRANTY OR GUARANTEE.

CERTIFICATION:

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 11 (LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2018

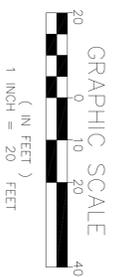
REVISION	DATE	BY

ALTA/NSPS LAND TITLE SURVEY			
JOB #:	RM08223	DATE:	08-30-18
SCALE:	1" = 20'	SHEET:	1 OF 2
DRAWN BY:		CHKD BY:	SKS

STEPHEN K. SEEBY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

AL TANSPS LAND TITLE SURVEY



LEGAL DESCRIPTION:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK "A"; THENCE NORTH, A DISTANCE OF 258.71 FEET; THENCE EAST, A DISTANCE OF 227.00 FEET; THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF PLAT BOOK 38, PAGE 1, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

THENCE NORTH, A DISTANCE OF 258.71 FEET; THENCE EAST, A DISTANCE OF 227.00 FEET; THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF PLAT BOOK 38, PAGE 1, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 85,872 SQUARE FEET (1.95 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

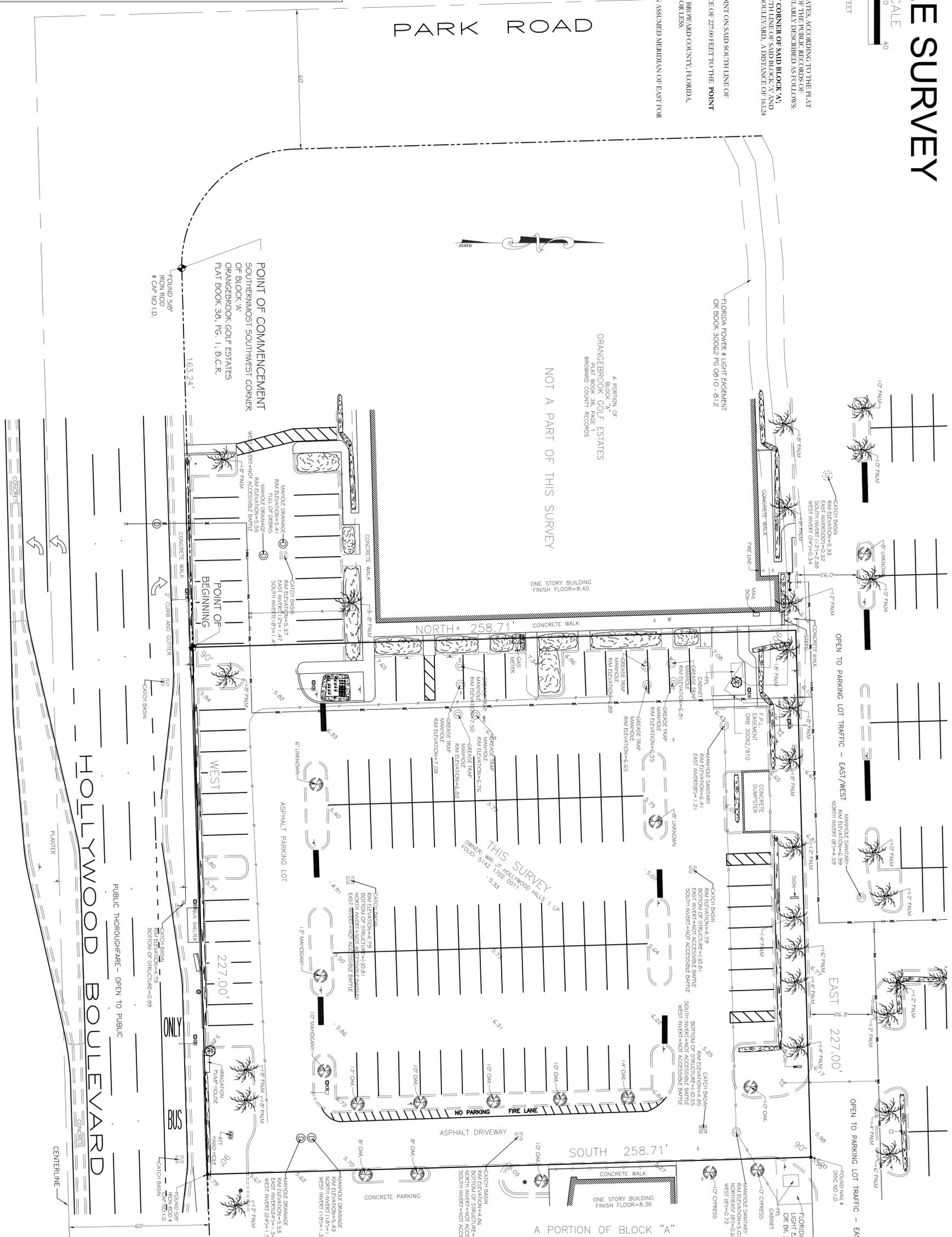
ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE & SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS

Call 48 hours before you dig
 It's the Law!
 -800-432-4770



LEGEND

	ELECTRIC BOX
	BACKFLOW PREVENTOR
	SAMESE CONNECTION
	BOLLARD
	METAL LIGHT POLE
	GATE VALVE
	WATER METER
	FIRE HYDRANT ASSEMBLY
	MANHOLE - SEE SURVEY
	WOOD POWER POLE
	ANCHOR/BOLT WIRE
	CONCRETE LIGHT POLE
	TRAFFIC SIGN POST
	CLEANOUT
	WOOD FENCE
	METAL HAND RAIL
	CONCRETE WALL
	BURIED TELEPHONE
	WATER LINE
	SANITARY SINKER
	CENTERLINE
	RIGHT-OF-WAY LINE
	TREE
	BUSH
	HEDGE
	PALM



3253 HOLLYWOOD BLVD
 FOLIO# 514217020016

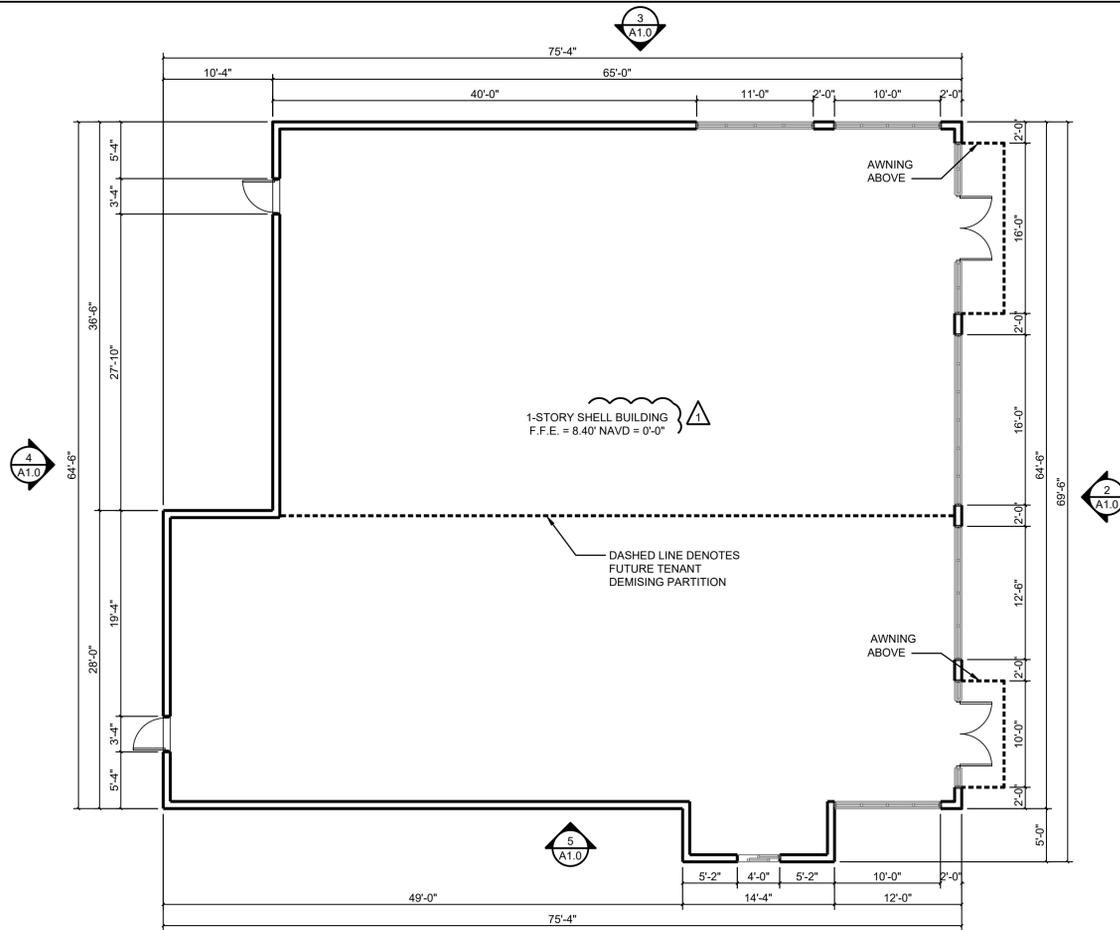
- NOTES:
- 1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
 - 2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
 - 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 - 4) ANY DISCREPANCIES BETWEEN THIS SURVEY AND ANY PREVIOUS SURVEY SHALL BE SETTLED BY THE PARTIES.
 - 5) ANY ADDITIONS OR DELETIONS TO THIS SURVEY SHALL BE MADE BY A SEPARATE PLAT OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

REVISION	DATE	BY

AL TANSPS LAND TITLE SURVEY			
JOB #	DATE	CHECKED BY	DRAWN BY
RM2023	08-30-18	SKS	CM
SCALE: 1"=20'	SHEET 2 OF 2	FLORIDA RESTRICTION NO. 4574	

STEPHEN K. SEERY, FOR THE FIRM
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA RESTRICTION NO. 4574

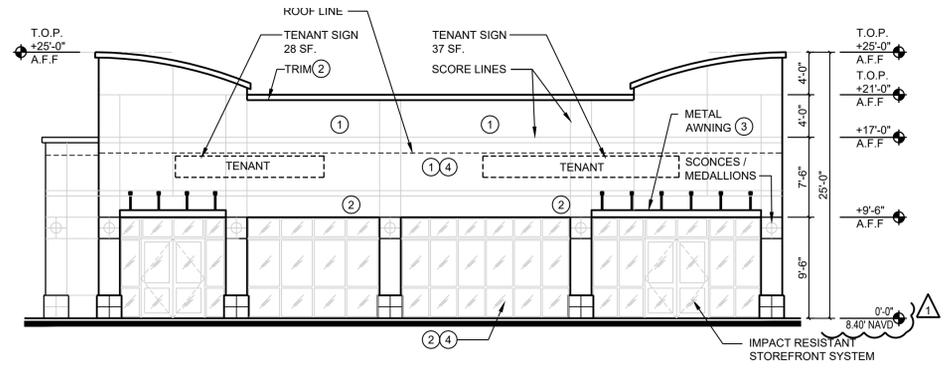
GIBBS LAND SURVEYORS
 2131 HOLLYWOOD BOULEVARD, SUITE 204
 HOLLYWOOD, FL 33020 (954) 923-7666
 LICENSED BUSINESS NO. 7018



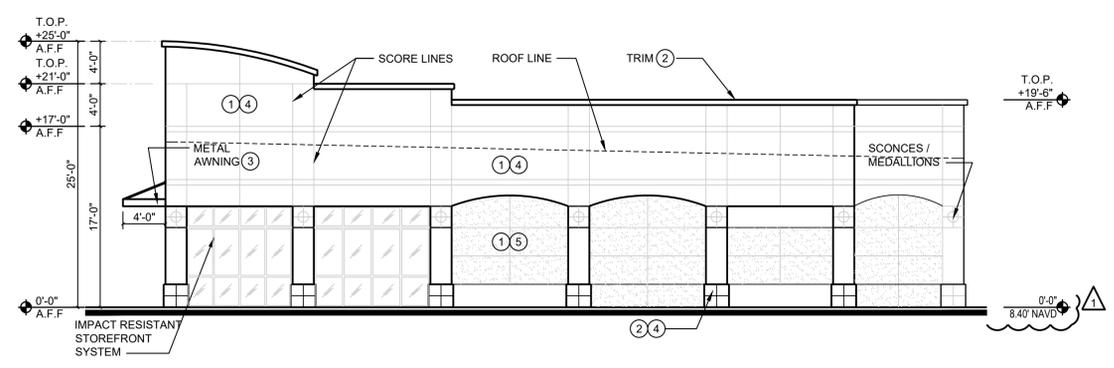
NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

COLOR AND FINISHES LEGEND	
①	MANUFACTURER: SHERWIN WILLIAMS NAME: HIGH REFLECTIVE WHITE COLOR: SW 7757
②	MANUFACTURER: SHERWIN WILLIAMS NAME: FAVORITE TAN COLOR: SW 6157
③	MANUFACTURER: SHERWIN WILLIAMS NAME: UNDERSEAS GREEN COLOR: SW 6214
④	MEDIUM SAND FLOAT STUCCO FINISH
⑤	LIGHT LACE STUCCO FINISH

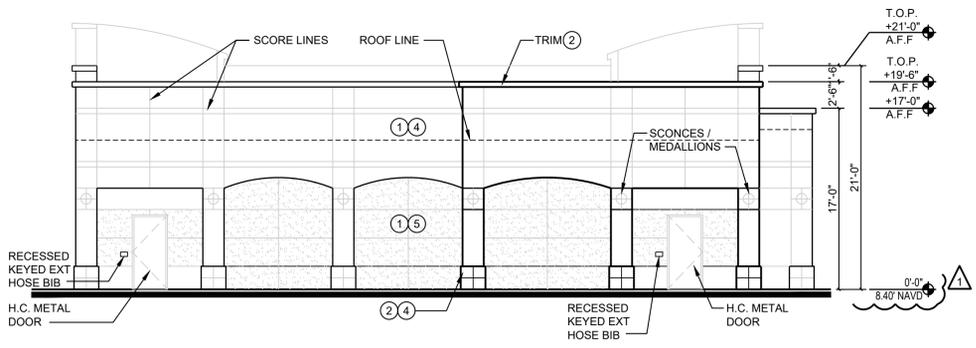
1 FLOOR PLAN
A1.0 SCALE: 1/8" = 1'-0"



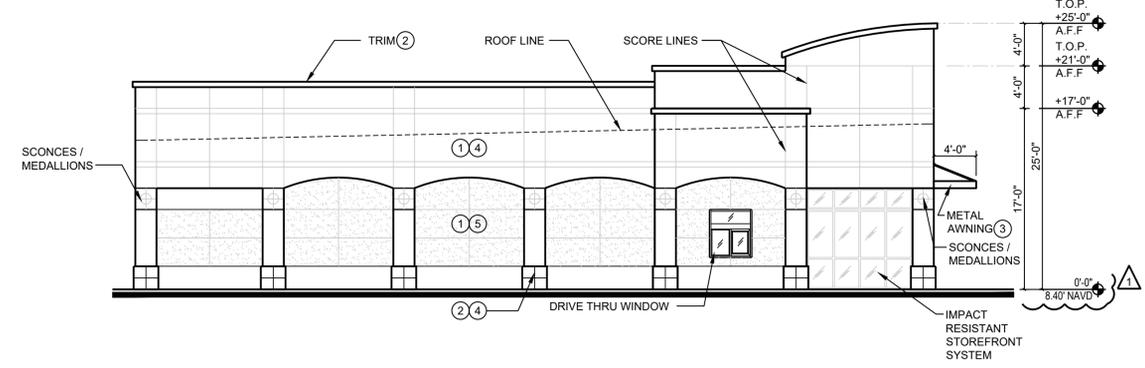
2 SOUTH ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



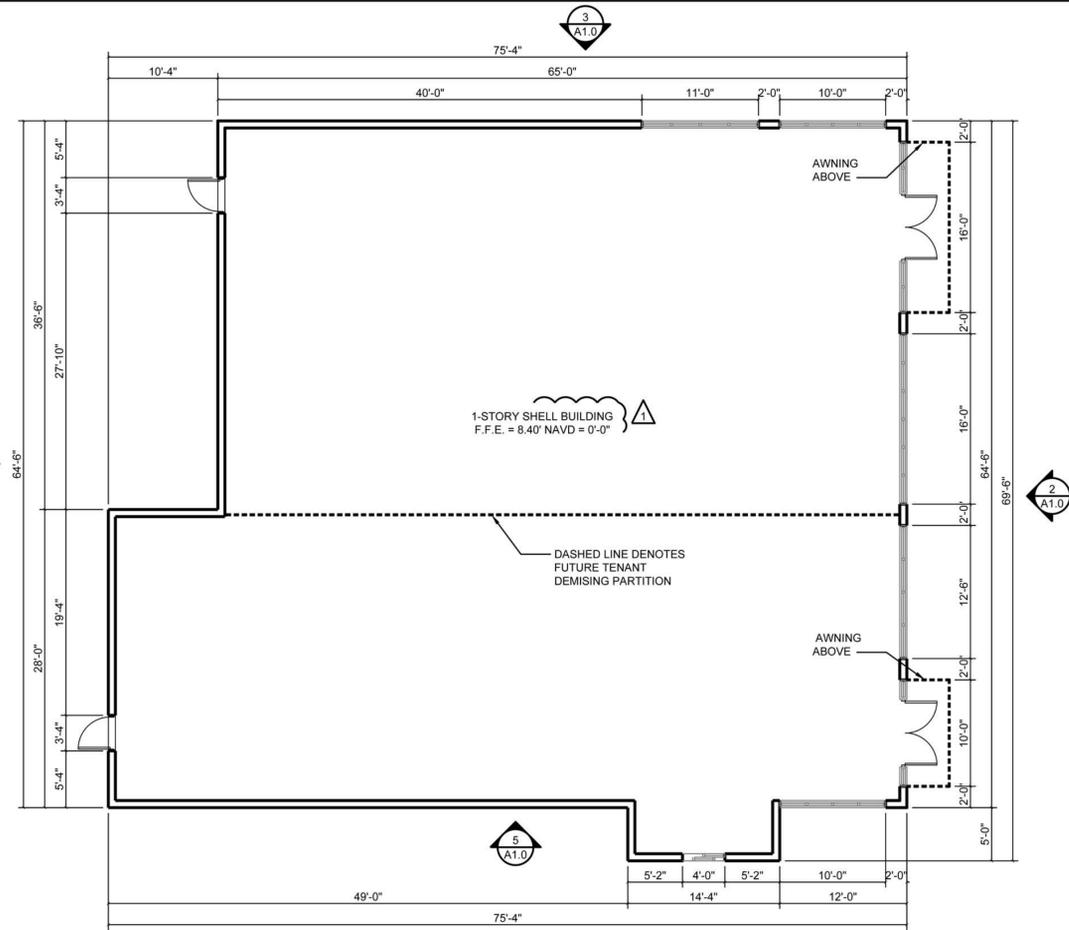
3 EAST ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



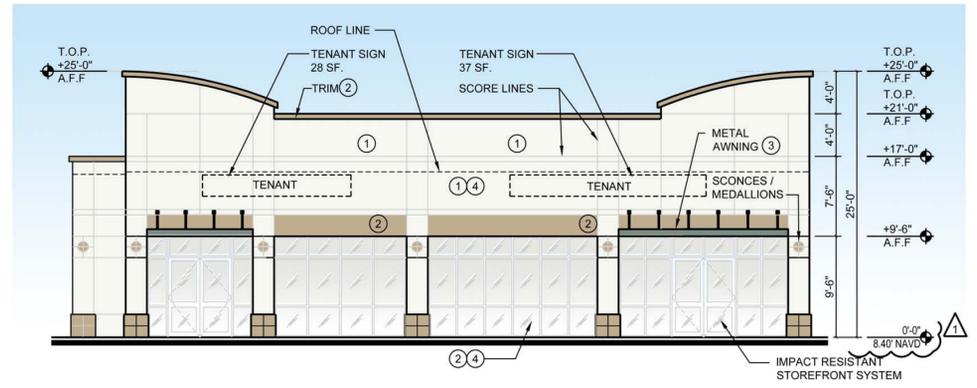
5 WEST ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



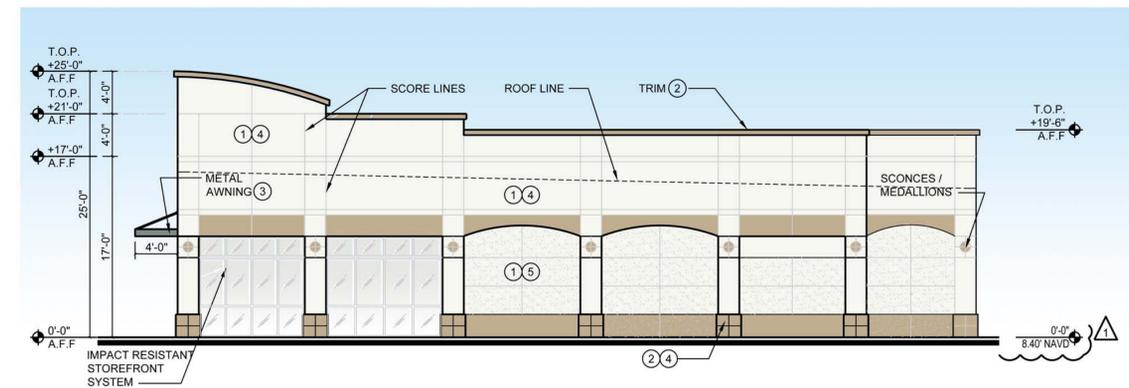
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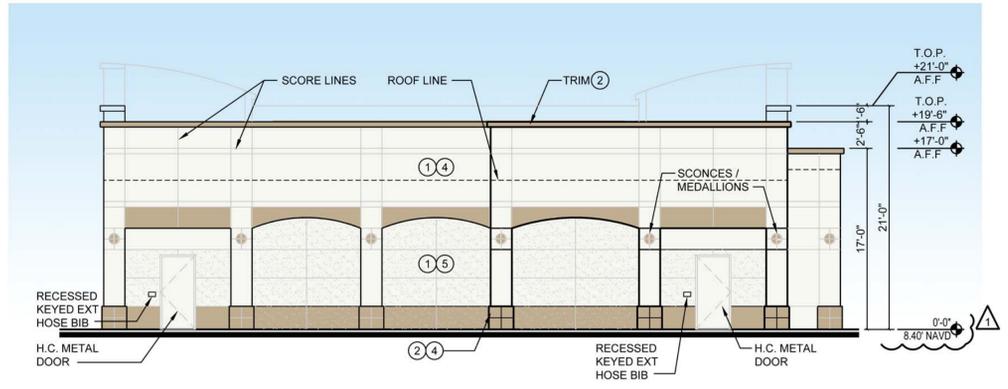
1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



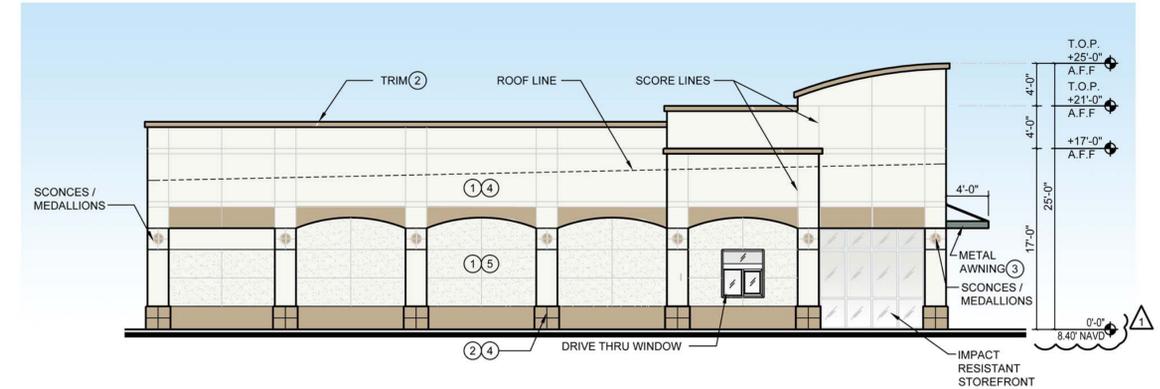
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

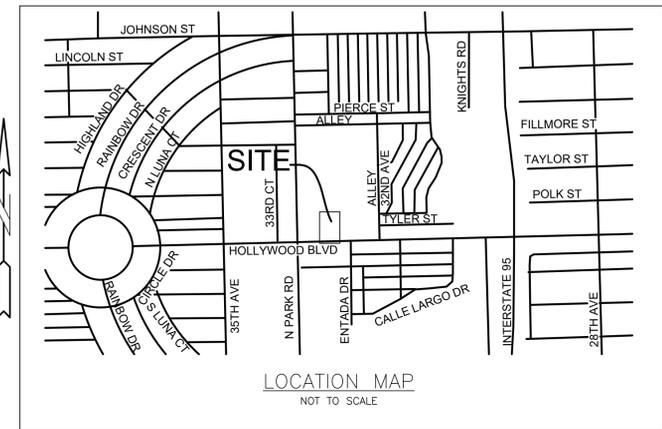


4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATIONS ARE BASED UPON N.A.V.D. 1988



**HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
HOLLYWOOD, FLORIDA**

**SALTZ MICHELSON
ARCHITECTS**

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:
2016-109
Drawn By:
MG
Checked By:
MA
Date:
01/07/19

REVISIONS
REV. 1 TAC COMMENTS 01.07.19

- NOTES:**
1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
 2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER MAIN AND CONFIRM DEPTH OF PIPE.
 3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
 4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

WATER AND SEWER DEMAND
150 SEAT RESTAURANT WITH DRIVE-THRU
150 SEATS X 35 GPD/SEAT = 5,250 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

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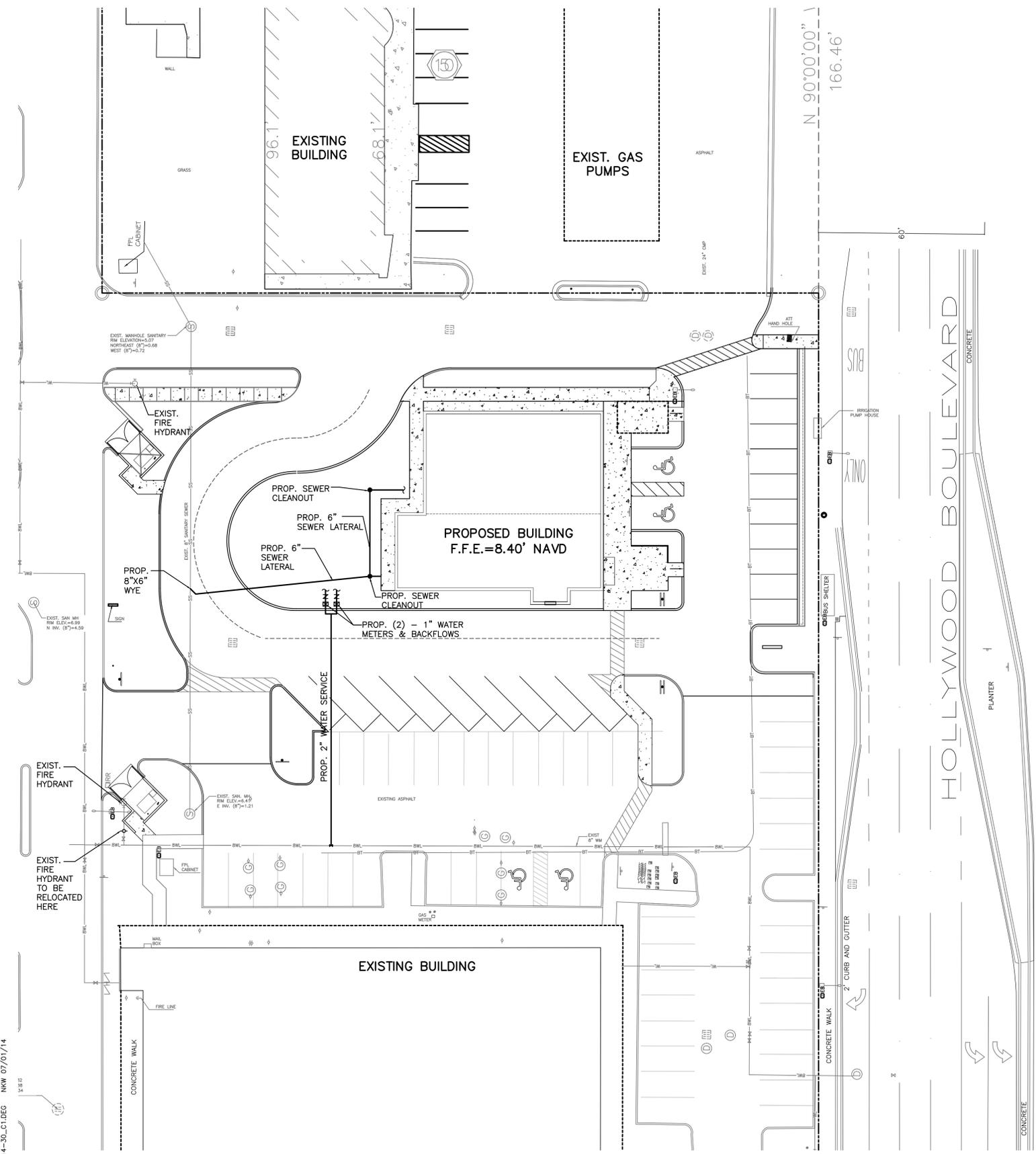
LEGEND

	PROPOSED ASPHALT		EXISTING PIPING AND APPURTENANCES
	PROPOSED CONCRETE		EXISTING CATCH BASIN
	PROPOSED ELEVATION		EXISTING ELEVATION
	PROPOSED SURFACE FLOW		EXISTING WOOD POWER POLE
	PROPOSED WATER METER		EXISTING MANHOLE (AS DESIGNATED)
	PROPOSED CATCH BASIN		EXISTING WATER METER
	PROPOSED SIGN (AS INDICATED)		EXISTING FENCE
	PROPOSED CLEANOUT		
	PROPOSED RPZ BACKFLOW PREVENTER		
	PROPOSED PIPING		

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(954)367-0371
CA 7325
SUSAN C. HOLLAND, PE
Lic. no. 41831

C-2
17-39

WATER AND SEWER PLAN
SCALE: 1"=20'



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

I:\CAD\14-30\14-30_C1.DWG NKW 07/01/14

**HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
HOLLYWOOD, FLORIDA**

**SALTZ MICHELSON
ARCHITECTS**

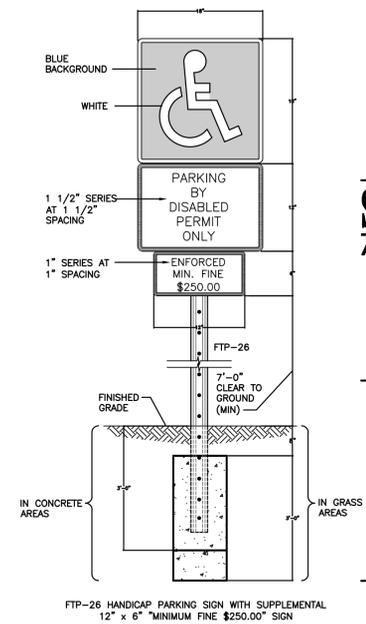
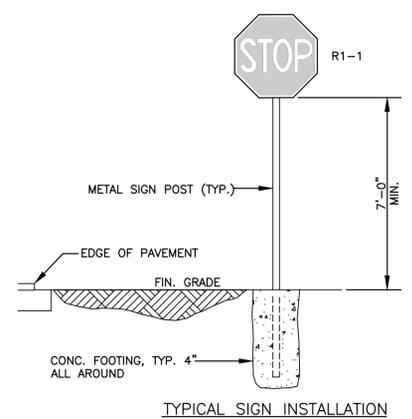
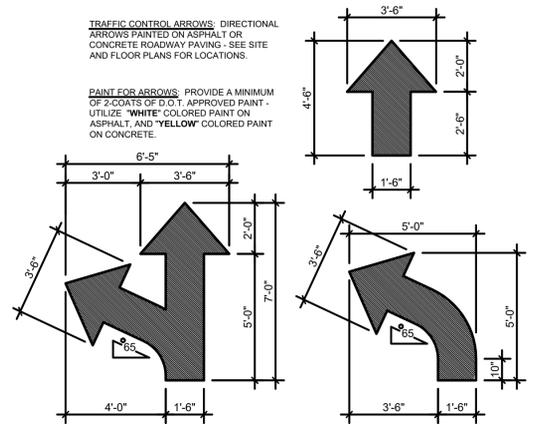
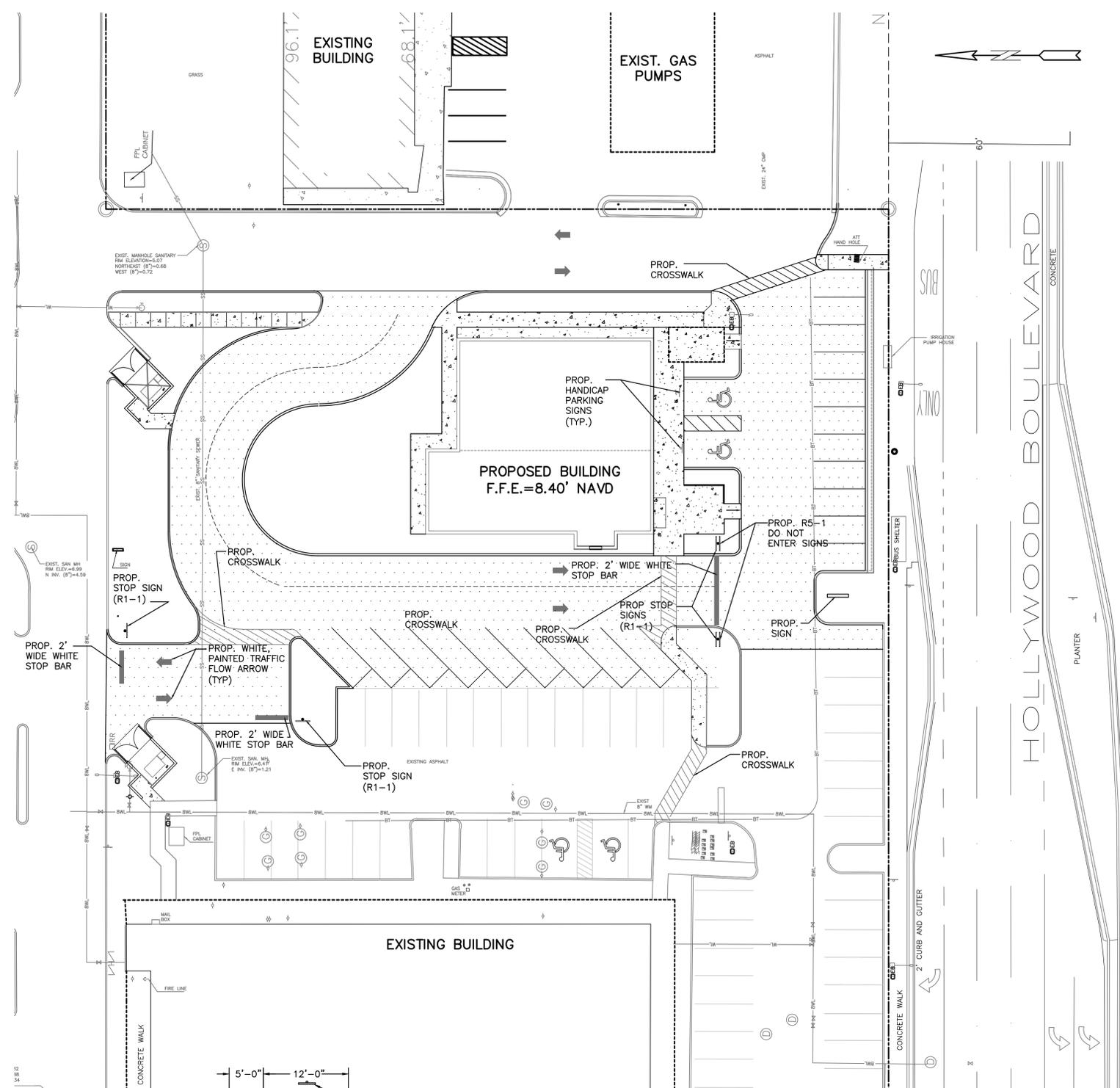
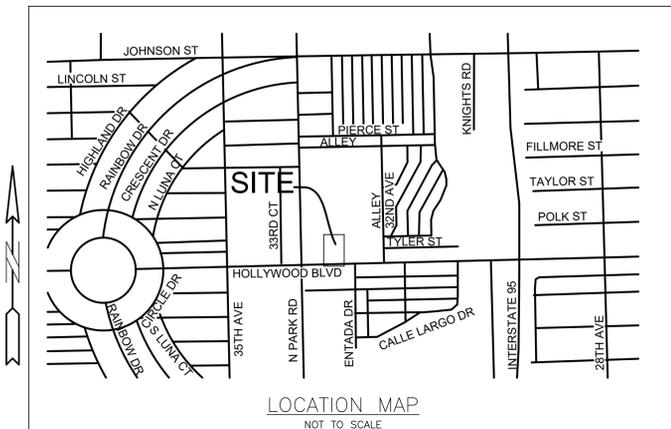
3501 Griffin Road
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(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

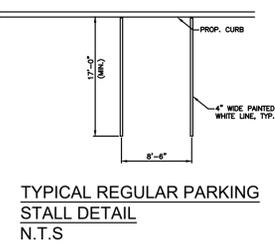
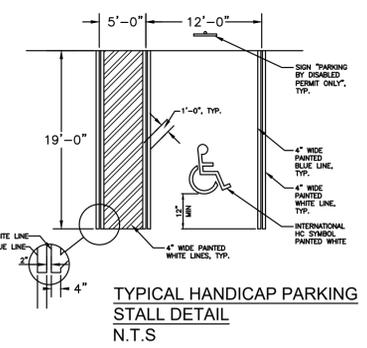
Mark L. Saltz AR007171

Project No.:
2016-109
Drawn By:
MG
Checked By:
MA
Date:
01/07/19

REVISIONS
REV. 1 TAC COMMENTS 01.07.19



- NOTES:**
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
 4. SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3'-FEET.



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- LEGEND**
- PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED ELEVATION (8.60)
 - PROPOSED SURFACE FLOW
 - PROPOSED WATER METER
 - PROPOSED CATCH BASIN
 - PROPOSED SIGN (AS INDICATED)
 - PROPOSED CLEANOUT
 - PROPOSED RPZ BACKFLOW PREVENTER
 - PROPOSED PIPING
 - EXISTING PIPING AND APPURTENANCES
 - EXISTING CATCH BASIN
 - EXISTING ELEVATION (+ 7.10)
 - EXISTING WOOD POWER POLE
 - EXISTING MANHOLE (AS DESIGNATED)
 - EXISTING WATER METER
 - EXISTING FENCE

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SUSAN C. HOLLAND, PE
Lic. no. 41831

CA 7325

PAVEMENT MARKING & SIGNAGE PLAN
SCALE: 1"=20'

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

GENERAL CONDITION NOTES :

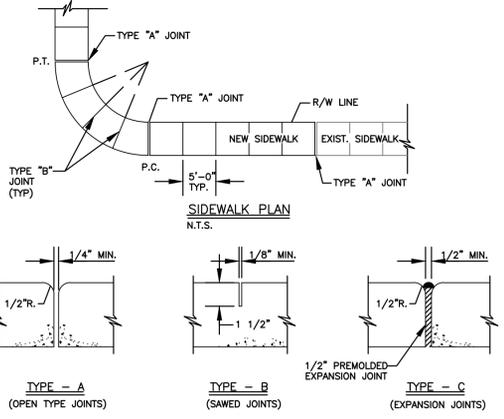
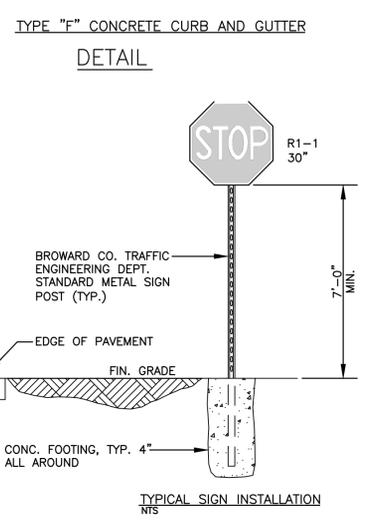
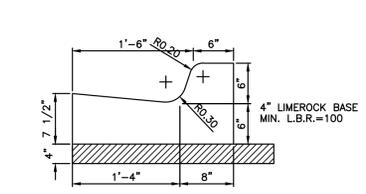
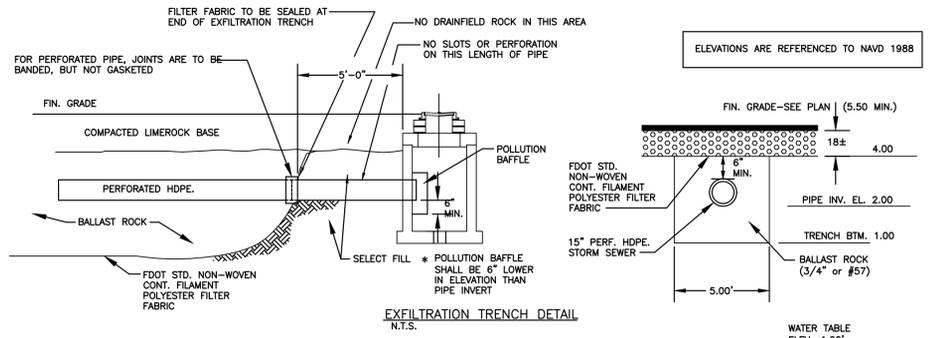
1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
SOUTHERN BELL TELEPHONE & TEL. CO.
CABLE CONSTRUCTION BUREAU
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELTERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 25'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

PAVEMENT MARKING & SIGNING STANDARD NOTES

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



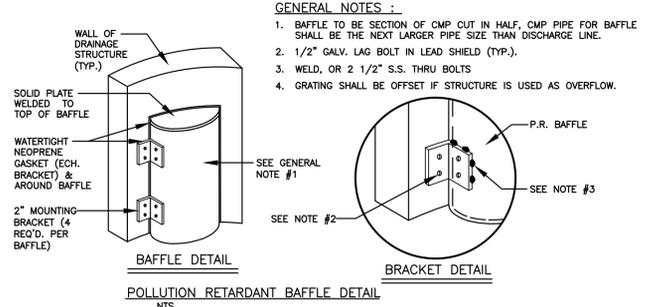
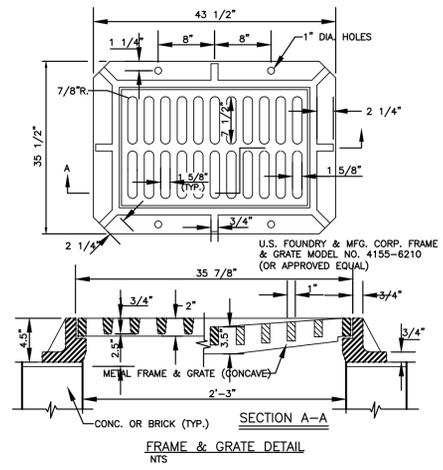
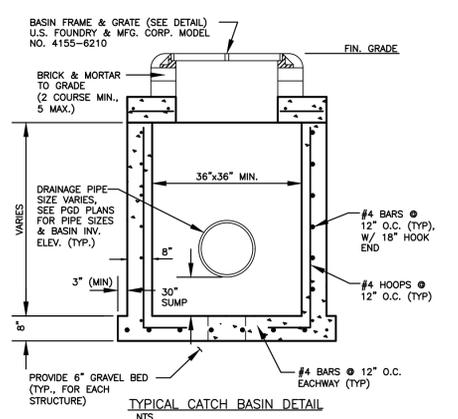
TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	T
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

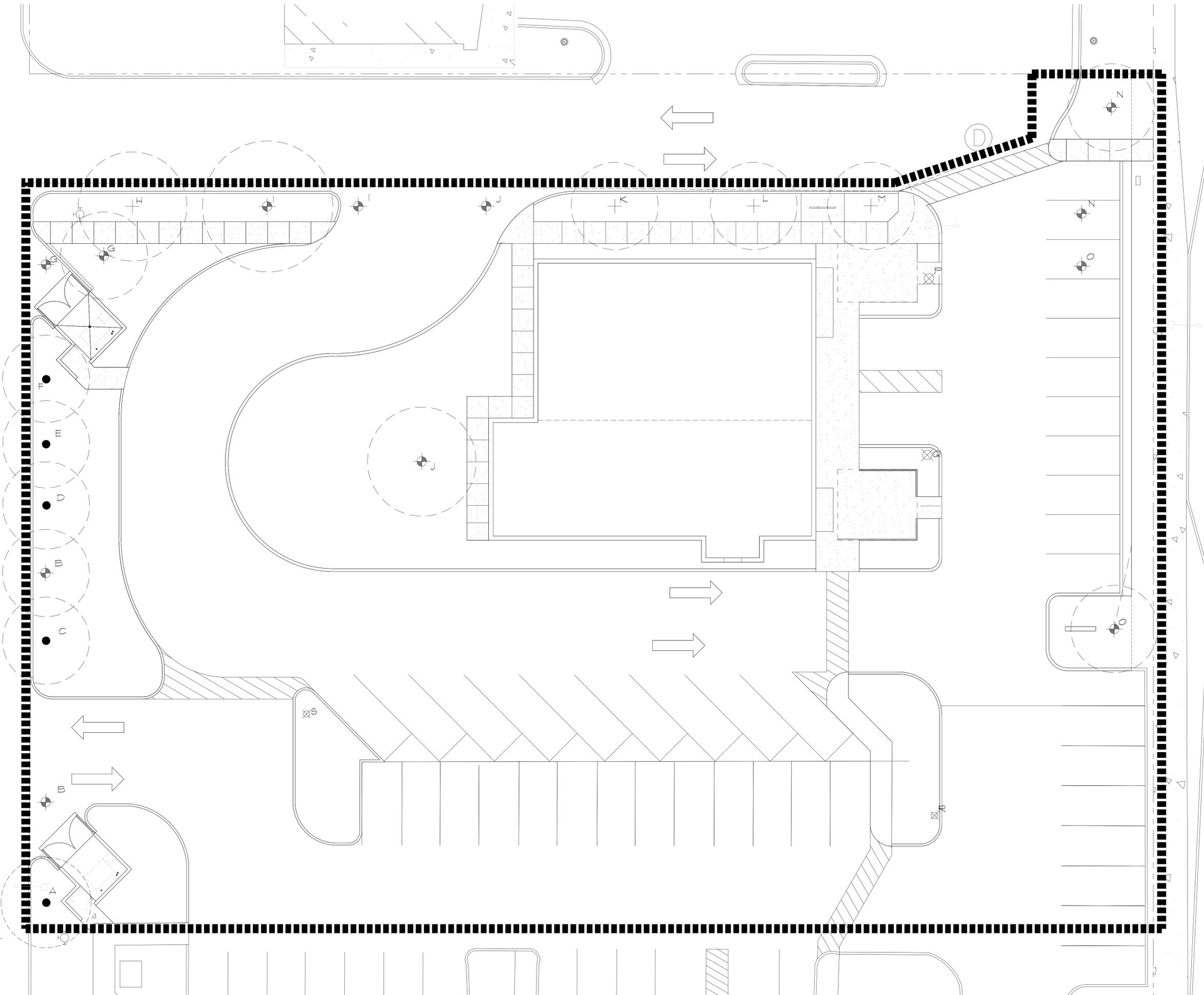
TABLE OF SIDEWALK JOINTS

TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

- NOTES:**
1. EXPANSION JOINTS EVERY 50' O.C.
 2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
 3. 6" THK. SIDEWALK ACROSS DRIVEWAYS
- SIDEWALK DETAIL N.T.S.**



- GENERAL NOTES :**
1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
 2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
 3. WELD, OR 2 1/2" S.S. THRU BOLTS
 4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- EXISTING PALMS TO REMAIN
- EXISTING TREES TO BE RELOCATED
- NEW LOCATION OF RELOCATED TREES
- PROPOSED PALMS
- PROPOSED TREES

EXISTING TREE LIST

ID#	BOTANICAL/Common Tree Name	DESCRIPTION	DBH	CONDITION	STATUS
A	Royaltonia regia/Royal Palm	40' o.a. H.	24"	Rotted Trk	remain
B	Royaltonia regia/Royal Palm	40' o.a. H.	30"	Good	relocate
C	Royaltonia regia/Royal Palm	40' o.a. H.	24"	Good	remain
D	Royaltonia regia/Royal Palm	40' o.a. H.	30"	Good	remain
E	Royaltonia regia/Royal Palm	40' o.a. H.	28"	Good	remain
F	Royaltonia regia/Royal Palm	40' o.a. H.	30"	Good	remain
G	Royaltonia regia/Royal Palm	40' o.a. H.	24"	Good	relocate
H	Quercus virginiana/Live Oak	25' H. x 25' spr.	8"	Good	remain
I	Quercus virginiana/Live Oak	30' H. x 30' spr.	18"	Good	relocate
J	Quercus virginiana/Live Oak	25' H. x 25' spr.	13"	Good	remain
K	Quercus virginiana/Live Oak	20' H. x 20' spr.	14"	Good	remain
L	Quercus virginiana/Live Oak	20' H. x 20' spr.	10"	Good	remain
M	Quercus virginiana/Live Oak	20' H. x 20' spr.	14"	Good	remain
N	Royaltonia regia/Royal Palm	40' o.a. H.	36"	Good	relocate
O	Royaltonia regia/Royal Palm	40' o.a. H.	30"	Good	relocate
P	Suaeda mahagoni/Mahogany	20' H. x 20' spr.	12"	Good	remove
Q	Suaeda mahagoni/Mahogany	35' H. x 35' spr.	24"	Good	remove
R	Lycium bahamense/Wild Tamarind	20' H. x 15' spr.	6"	Good	remove
S	Lycium bahamense/Wild Tamarind	20' H. x 15' spr.	6"	Damaged Trk	remove

Hollywood Blvd

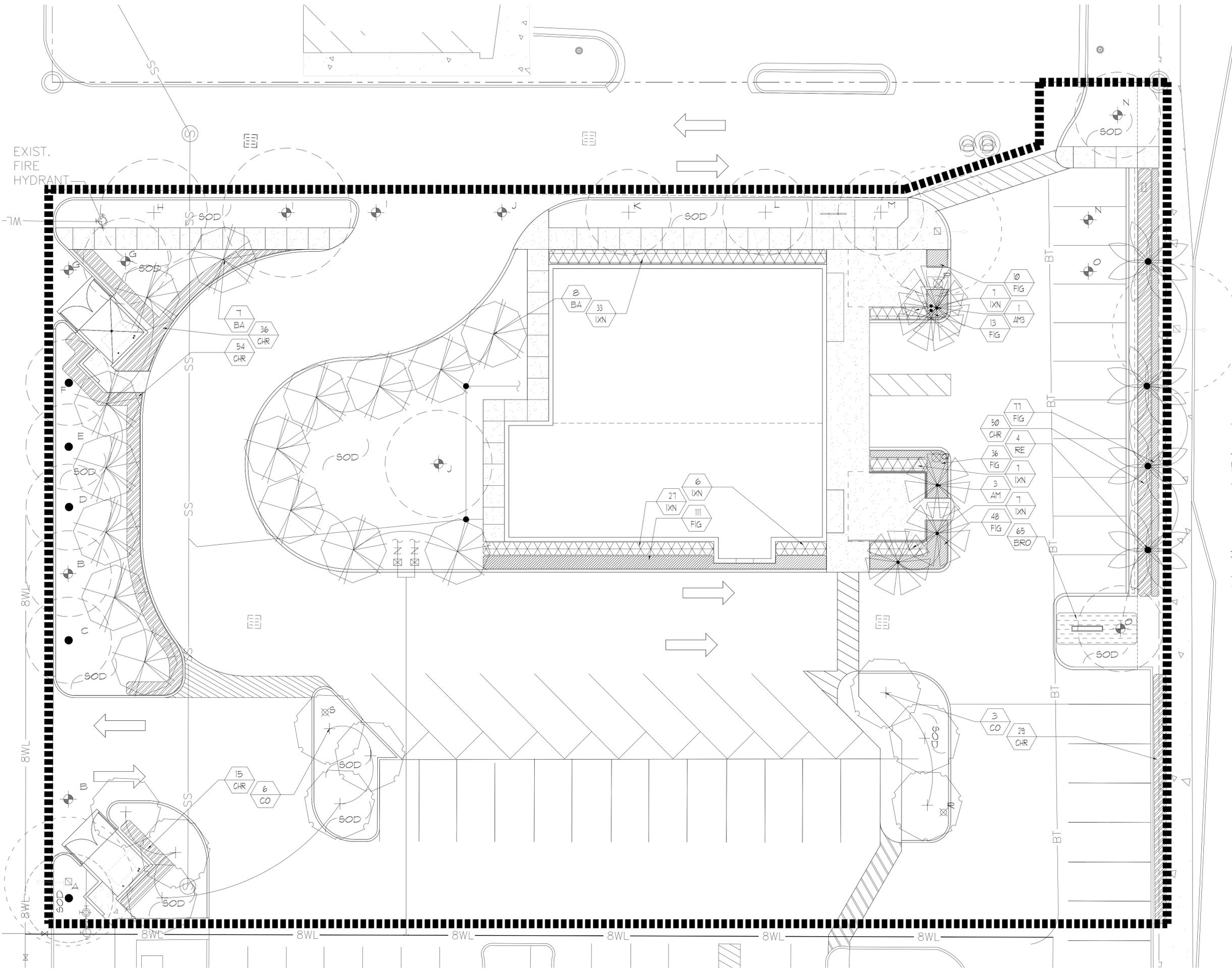
project:
hollywood hills plaza
 out parcel
 hollywood, fl

dave bodker
 landscape architecture/planning inc.
 601 n. congress ave., suite 105-a
 delray beach, florida 33445
 561-276-6311

#LA000999
 sheet title:
existing tree plan

project number:
 118
 date: 01/03/2018
 scale: 1" = 10'
 drawn by: lmb

revisions:
 ▲ TAC Comments, 01.07.19



PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
AM	Adonidia merrillii Christmas Palm	16' o.a. ht. 6' clear wood min.	3
AM3	Adonidia merrillii Triple Christmas Palm	16' o.a. ht., triple trunk 6' clear wood min.	1
BA	Bulnesia arborea Verawood	12' ht. x 5' spr., 2" dbh	15
CO	Chrysophyllum oliviforme Satin Leaf	12' ht. x 5' spr., 2" dbh	9
RE	Roystonea regia Royal Palm	25' o.a. ht., 4' g.w.	4
BRO	Bromeliad 'perfecta' Perfecta Bromeliad	12' ht. x 12" spr., 18" o.c.	65
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	184
FIG	Ficus microcarpa 'Green Island' Green Island Ficus	10" ht. x 10" spr., 18" o.c.	235
IXN	Ixora 'Nora Grant' Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	81
SOD	Stenotaphrum secundatum St. Augustine Floratam Sod	Full, fresh sod	as require

CODE COMPLIANCE DATA

Perimeter Landscape 4 Buffer
 1. Street trees required 1/50'
 Hollywood Blvd:
 136' / 50' = 4
 4 trees required
 4 trees provided
 (4 royal palms)

5. Terminal Islands
 8 terminal islands
 (6 christmas palms-2 groups of 3, 4 satin leaf, 2 relocated royals)
 8 trees required
 8 trees provided

6. 25% of paved VUA shall be landscape area
 (% not to include perimeter)
 26,041 SF of VUA x 25% =
 6,510 SF required
 8,125 SF provided

7. 1 Tree / 1,000 SF of pervious area of property
 (This is in addition to VUA)
 Total pervious area = 9,384 SF
 9,384 SF / 1,000 =
 10 trees required
 10 trees provided
 (5 existing royals, 2 relocated royals,
 4 existing live oaks, 2 relocated live oaks.)
 22 Total Trees Required
 22 Total Trees Provided

Minimum number of species required = 4/5 Provided
 Tree and Palm Size Requirements
 Trees: 12' ht., 2" dbh
 Palms: 6' clear wood

Native Plant Requirements
 60% of required trees must be native
 Total trees required = 22 x .60 =
 14 native trees required
 25 native trees provided

Palms
 50% of required trees may be palms
 Total Trees required = 22 x .50 =
 11 palms allowed
 11 palms provided (3 additional palms
 provided, not counted towards code)

If more than 20% of trees used are palms,
 all other trees must be shade trees.

Shrub Height
 24" ht. except where non-residential abuts
 residential where the hedge must be 48" ht.

Mitigation
 48" of mitigation required
 40" mitigation provided (on site)
 (5) satin leaf @ 2" = 10"
 (15) verawood @ 2" = 30"
 40"

Mitigation that cannot be met on site
 will be mitigated via tree trust fund:
 Remaining to Mitigate = 8"
 Public Donation of \$1,400.00 based
 upon 8" of mitigation required.
 (\$150.00 per 2" cal.
 8/2.4x350 = \$1,400.00)

Hollywood Blvd

project:
hollywood hills plaza
 out parcel
 hollywood, fl

dave bodker
 landscape architecture/planning inc.

601 n. congress ave., suite 105-a
 delray beach, florida 33445
 561-276-6311

#LA0000999

sheet title:
planting
 plan

project number:
 118

date: 01/03/2018
 scale: 1" = 10'
 drawn by: lmb

revisions:
 Δ TAC Comments, 01.07.19
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sheet:
L-2



Applicable Documents:

- A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

Scope of Work:

- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and Specifications, as well as all other related responsibilities, including all change and repairs incident thereto.
- B. The work shall include, but not be limited to, furnishing material, root pruning, water, layout, protection to the public, excavation, installing, grading, fertilizing, watering, staking and guying where required, watering, pruning where required, and installation, watering, cleanup, maintenance and guarantee.
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the nature and location of the designated trees and species to be used at any of the locations shown in order to provide for any restrictions which might be necessary.
- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as to any obstructions in order to become familiar with the character of the existing material and the construction conditions under which he or she will work. These subsurface investigations and examination shall be included in the bid. The Contractor shall not receive separate, additional compensation for this work.
- E. The Landscape Contractor shall be paid for only those units of work as installed as indicated on the Plans and Specifications. The contractor's unit prices shall be the basis for said payment. The final amount of payment may or may not be the total cost of the contract depending on the number of units installed.
- F. Ten percent (10%) of the total contract price will be held as retainage for 90 days after final written acceptance.
- G. The Landscape Contractor will coordinate his work with all other trades at the job site.

Quality Assurance:

- A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architect reserves the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and stem defects, and to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.
- B. Responsibility for Assuring Quality Work:
 - (1) The Contractor's Superintendent shall speak English and will oversee in Florida plant material, planting operation and maintenance of the project. The Contractor shall coordinate with other contracts or service in the project area and coordination between the nursery and the project.
 - (2) All employees shall be competent and highly skilled in the particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.
 - (3) The Contractor will comply with applicable Florida, State, County and local requirements governing landscape materials and work.

C. Grade Standards:

- (1) Plant material shall be Florida # or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- (2) All plant material will be subject to the approval of the Landscape Architect for quality size and color. Plants are installed as indicated on the Plans and Specifications, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plants which are rejected by the Landscape Architect prior to their installation under no circumstances will be replaced.
- (3) Plant material shall have normal well developed branches and well vigor plants free from defects, decay, borers, damaging roots, sun-scald injuries, abrasion of the bark, plants infested with pest eggs, borers, and all forms of infestations or objectionable infestations.

Delivery, Handling and Storage:

- A. Delivery and handling:
 - (1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.
 - (2) Protect during delivery to prevent damage to root ball or destruction of leaves. Remove unacceptable plant materials immediately from the job site. Minimize and protect utility stored at the site.
 - (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plants shall be covered to prevent wind damage during transit.

B. Soil:

- (1) Deliver soil on pallets with root system protected from exposure to wind and sun. Deliver soil in quantities capable of being installed within 48 hours of cutting.

Submittals & Approvals:

- A. Written request for approval to substitute a plant species or a plant designation (BIB, UBIB, CG, etc.) type, grade, quality, size, quantity, etc. of all such utilities, structures, etc. shall be submitted in writing and approved by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is available.
- B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project.
- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.
- D. If requested by the Owner or Landscape Architect submit a schedule of all applicable plant material and collect plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.
- E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all soil and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project.

- A. If requested by the Owner or Landscape Architect, submit a sample and analysis of the soil for approval by the Landscape Architect before the material is delivered and installed on the project.
- H. Submit three prints of shop drawings for all staking and guying methods to be used if the ones indicated in these details are not approved by the Landscape Architect. If approved, staking and guying methods which are implemented in the Landscape Architect will approve all shop drawings of project.

- J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth or survival that would affect the guarantee of plant material.
- K. Submit in writing any hindrance to the timely completion of the installation.
- L. Submit and Certificates of Inspection of plant material as may be required by State, local or Federal Authorities.

Substitutions:

- A. When the specific plant designation (BIB, UBIB, CG, etc.) type, grade, quality, size, quantity, etc. of all such utilities, structures, etc. is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with material as delivered and installed on the project (BIB, UBIB, CG, etc.) type, grade, quality, size, quantity, etc. of material is not available. The Landscape Architect will approve all substitutions before they are delivered and installed. Do not deliver and install any material which is substituted without the approval of the Landscape Architect. Also, any changes, if any, to the contract amount through substitution of work for utilities, structures, etc., before work is commenced in any particular location.

- (1) Not in a healthy growing condition and that renders it below the minimum quality indicated in the Specifications.
- (2) There is a question as to ability to survive after 12 below the minimum quality indicated in the Specifications.
- (3) It is dead.

- B. The 3 calendar days shall be extended due to seasonal conditions, availability, preparation time such as root pruning, etc. only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

- D. If requested by the Owner or Landscape Architect submit a schedule of all applicable plant material and collect plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

- E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all soil and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

- A. When the specific plant designation (BIB, UBIB, CG, etc.) type, grade, quality, size, quantity, etc. of all such utilities, structures, etc. is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with material as delivered and installed on the project (BIB, UBIB, CG, etc.) type, grade, quality, size, quantity, etc. of material is not available. The Landscape Architect will approve all substitutions before they are delivered and installed. Do not deliver and install any material which is substituted without the approval of the Landscape Architect. Also, any changes, if any, to the contract amount through substitution of work for utilities, structures, etc., before work is commenced in any particular location.

- (1) Replacement plant material shall be one of the same species and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original species and plant at the time of planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

Guarantee:

- A. The guarantee shall not begin until the day final written acceptance is given.
- B. All plant material, except sod, shall be guaranteed for a minimum of 1 year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are guaranteed for one year from the time of final acceptance.

- C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hurricanes, lightning, and winds which exceed hurricane force, provided the plant was in a healthy growing condition prior to these "Acts of God".

- D. At the option of the Owner and Inspections may be made at the end of the guarantee period but not the last day of the guarantee period.

Replacement:

- A. The guaranteeing of a plant material shall be construed to mean the complete and immediate replacement of plant material within 3 calendar days if it is:
 - (1) Not in a healthy growing condition and that renders it below the minimum quality indicated in the Specifications.
 - (2) There is a question as to ability to survive after 12 below the minimum quality indicated in the Specifications.
 - (3) It is dead.

- B. The 3 calendar days shall be extended due to seasonal conditions, availability, preparation time such as root pruning, etc. only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

- D. If requested by the Owner or Landscape Architect submit a schedule of all applicable plant material and collect plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

- E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all soil and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

- A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents.

- A. Performing the scope of work, all safety on or off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.

- B. Setting of Plants:
 - (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tamped in place, when partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots of the ball. The soil shall be set at the surface level (top) of the soil from the rootball and set or adjusted to prevent any settling or subsidence before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and topped to grade. Backfill removed from tree pit shall not be mixed or used in any way with the topsoil mixture.
 - (2) All soil and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.
 - (3) 1/2 inch Soil: A 4-foot high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place.

- C. Plant material of the shrub category and smaller may be handled by the ball only. Plant material too large for hand handling, if necessary, shall be thoroughly protected from chain, rope, or cable marks. Protective foam wrapping, no grease and any other damage that might occur by improper handling or negligence.

- A. All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.
- B. Container group plant material shall be carefully removed from the container so as not to disturb the root system.

- C. Soil:
 - (1) Soil Preparation: Within 24 hours prior to placing soil, prepare the soil in the following manner:
 - a. Uniformly apply formula B-B-B fertilizer over the area at a rate of 25 pounds per 1000 square feet.
 - b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.
 - c. Grade the soil areas so that the top of the soil will be at finished grade after rolling and tamping.

- D. General:
 - (1) Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect will reserve the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.
 - (2) The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.

- E. Removal of undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.

- F. Excavation of Plant Holes:
 - (1) General:
 - a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect will reserve the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.
 - b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.

- G. Installation:
 - A. General: The Contractor shall lay out on the ground the locations for the plants and outline of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect will adjust the location of specified plant materials prior to planting.

- A. Reaking Plant Locations: Stake or mark plant material locations prior to plant hole excavation based on information on the Plans.
- (1) Edge and wood soil areas, a user.
- (2) Edge and wood all shrubs, groundcover and flower beds one (1) user.
- (3) Remove all litter once a week.
- (4) Spraying and Dusting: Contractor shall do all seasonal spraying and dusting of all plantings as needed for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation.
- (5) Soil: After the soil has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health shall be rechecked, reseeded, if necessary, until all sodded areas are covered with a satisfactory lawn. Grass resulting from erosion, gullies, washouts, or other causes shall be repaired by filling with topsoil, tamping, rewatering and reseeded by the Contractor at his or her expense.
- (6) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed in some of the following paragraphs. If necessary, additional cost. No work shall be done within or over planting areas or adjacent to plants without proper safeguards and protection.
- (7) Keep sidewalks, curbs and gutters, driveway, parking areas, streets, terraces, decks, and patios free of plant, cuttings, debris, and stumps.

- D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

- E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance.

- F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the disposal of plant material resulting from removal by theft or vandalism or the death of landscape items. All plant material shall be alive and in good growing condition at the time of final acceptance.

- G. Mating: The mating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of final acceptance.

- H. Watering: The watering of plant material shall be the responsibility of the Contractor including the disposal of plant material resulting from removal by theft or vandalism or the death of landscape items. All plant material shall be alive and in good growing condition at the time of final acceptance.

- I. Maintenance: The maintenance of plant material shall be the responsibility of the Contractor including the disposal of plant material resulting from removal by theft or vandalism or the death of landscape items. All plant material shall be alive and in good growing condition at the time of final acceptance.

- J. Safety: The Contractor shall be responsible for the safety of all workers and the public during the course of the project. The Contractor shall be responsible for the safety of all workers and the public during the course of the project.

- K. Cleanup: The Contractor shall be responsible for the cleanup of all materials and equipment used during the course of the project. The Contractor shall be responsible for the cleanup of all materials and equipment used during the course of the project.

- L. Final Inspection: The Contractor shall be responsible for the final inspection of the project. The Contractor shall be responsible for the final inspection of the project.

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- O. Final Guarantee: The Contractor shall be responsible for the final guarantee of the project. The Contractor shall be responsible for the final guarantee of the project.

- P. Final Warranty: The Contractor shall be responsible for the final warranty of the project. The Contractor shall be responsible for the final warranty of the project.

- Q. Final Release: The Contractor shall be responsible for the final release of the project. The Contractor shall be responsible for the final release of the project.

- R. Final Sign-off: The Contractor shall be responsible for the final sign-off of the project. The Contractor shall be responsible for the final sign-off of the project.

- S. Final Completion: The Contractor shall be responsible for the final completion of the project. The Contractor shall be responsible for the final completion of the project.

- However, if for some reason, the plant to be replaced is smaller than the size originally specified, the replacement shall be at least equal to the originally specified size.
- (2) Replacement shall be guaranteed for a period equal to the originally specified guarantee. This guarantee period shall begin at the time of acceptable replacement.
- (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

- Plan and Specification Interpretation:
 - A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect. The Contractor shall be responsible in resolving conflicts between the Plans and Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

- Permits and Codes:
 - A. The Contractor shall procure all necessary permits to accomplish all of the work.
 - B. The Contractor is responsible for performing all work in accordance with all applicable regulations, codes and standards required from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

- Changes and Additional Work:
 - A. The Contractor shall not start any changes or additional work in the project until a written agreement, setting forth the adjusted contract amount, has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may not be compensated for.

- 'Job Site', 'Project Site Etc.':
 - A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents.

- Safety On and Off the Job Site:
 - A. Performing the scope of work, all safety on or off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.

- B. Setting of Plants:
 - (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tamped in place, when partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots of the ball. The soil shall be set at the surface level (top) of the soil from the rootball and set or adjusted to prevent any settling or subsidence before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and topped to grade. Backfill removed from tree pit shall not be mixed or used in any way with the topsoil mixture.
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- (7) Keep sidewalks, curbs and gutters, driveway, parking areas, streets, terraces, decks, and patios free of plant, cuttings, debris, and stumps.

- D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

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- The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

- On Site Observations and Inspections:
 - A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.
 - B. If an inspection is requested to completion and final acceptance, the request shall be made in writing 48 hours in advance.
 - C. An inspection at the growing site does not preclude the right of rejection at the project site.
 - D. The fact that the Landscape Architect has not made an early on site observation or inspection does not constitute an implied warranty, work performed which is not in accordance with the contract requirements shall not bar the Landscape Architect from subsequently rejecting such work at a later time.

- E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

- F. The Contractor is responsible for performing all work in accordance with all applicable regulations, codes and standards required from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

- Changes and Additional Work:
 - A. The Contractor shall not start any changes or additional work in the project until a written agreement, setting forth the adjusted contract amount, has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may not be compensated for.

- 'Job Site', 'Project Site Etc.':
 - A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents.

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- B. Setting of Plants:
 - (

Tenant Sign Criteria

Hollywood Hills Plaza

Location 327

**Weingarten
Realty
Management
Company**

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I INTRODUCTION

INTENT

The purpose of these criteria, is to establish the standards for the configuration, fabrication, installation and operation of tenant signs at properties that are owned and operated, or managed by Weingarten Realty. Compliance with these regulations insures the tenant of a sign which meets industry standards of materials, and fabrication. It insures the centers' owners of properly installed signs and in addition, a center free of poorly designed, fabricated and installed signs.

SUBMISSION REQUIREMENTS

This booklet shall be given to your sign contractor to serve as a guide in preparing his design and cost estimates for you. Your contractor must have this booklet in order to give you a price which reflects a sign that complies with the standards as outlined in this booklet.

After your approval, your sign contractor must submit four (4) copies of your fabrication drawings to the offices of Weingarten Realty. These drawings must show: 1. The sign in elevation on the full extent of the storefront. 2. Full specifications of all materials and colors in the sign. 3. One or more section drawings as necessary to fully describe the methods of assembly and electrical components used.

These drawings should be sent to the offices of Weingarten Realty, Property Management Department, P. O. Box 924133, Houston, Texas 77292-4133. Plans may be faxed to 1-713-866-6049 or delivered to 2600 Citadel Plaza, Plaza Level, Houston, Texas 77008.

RESPONSIBILITIES, LIMITATIONS, LIABILITIES

All tenants must have a sign that conforms with these sign criteria.

No sign may be erected on the buildings or property without first securing written approval of Weingarten Realty.

All permits, as required by local building or sign codes, shall be obtained by the tenant or his sign contractor.

I INTRODUCTION

RESPONSIBILITIES, LIMITATIONS, LIABILITIES (continued)

All costs for permitting, fabrication, and installation of signs shall be borne by tenant.

Sign message shall consist of store name only. Descriptions of services, symbols, product names, or merchandise trade names are prohibited.

Landlord reserves the right to prohibit logos in conjunction with tenant signs.

Channelume construction, utilizing "Armor-Ply" plywood as letter backs is prohibited.

The use of banners, flags or pennants is prohibited.

Box signs are prohibited.

Flashing signs are prohibited.

Portable, trailer, changeable copy signs are prohibited.

Visible sign company names on tenant signs are prohibited.

The tenant and his sign contractor will be held liable for all costs required to remove and/or correct signs, sign installations and damage to buildings caused by signs or installations which do not conform to these criteria.

Any signs prohibited by these criteria, will be removed by Weingarten Realty, at tenant's expense.

Fascia Signs

II TENANT FASCIA SIGNS

CONFIGURATION

Tenant signs shall be in the form of individual channel letters, illuminated by interior mounted neon tubes. Letters shall have translucent plexiglas faces. These faces shall be secured to the letter with an acrylic trim molding. Individual letters attach directly to the center's E.I.F.S. fascia.

Tenant may use the letter style of their choice subject to design review by Weingarten Realty.

The overall maximum length of a sign shall not exceed 75% of the tenant's leased frontage.

The maximum vertical height of the sign may not exceed 24" (one line of copy) and may not exceed maximum dimensions established by local codes and ordinances.

Signs which are two lines shall have a minimum letter height of 12". The entire sign height, however, may not exceed 24".

Where possible, a single line design shall have a minimum height of 15".

Signs which are 12" to 2'0" in height will be a minimum of 4" in depth and a maximum of 6" in depth. No sign letter or logo may exceed 6" in depth.

FABRICATION

The channel letters shall be fabricated of aluminum with a minimum thickness of .040. These letters shall have the backs pop riveted to the sidewalls with the pop rivets occurring on the letter backs. The preferred construction is .063 or greater thickness with the sidewalls heli-arc welded to the letter backs.

The plexiglas faces of the letters shall be a minimum of 3/16" thick.

The acrylic trim molding shall be 1" in depth. The color of the trim molding shall match the color of the letter's sidewall.

Neon shall be 6500 K., 15mm., and utilize 30 m.a. transformers. Number of rows of neon tube depends on width of letter stroke.

II TENANT FASCIA SIGNS

FABRICATION (continued)

All fasteners shall be non-ferrous. All spacers shall be non-metal. Interiors of letters shall be white. Colors of letter faces and sidewalls are not restricted but must be approved by Weingarten Realty prior to fabrication. Neon colors should be appropriate to face color to insure the best color rendition when illuminated.

FACE
Rohm & Haas
or
Acrylite

SIDEWALLS
Wrisco Prefinished
or
Matthew's Enamel

NEON
Appropriate for
Face Color

No other color combinations other than those listed above will be allowed.

INSTALLATION

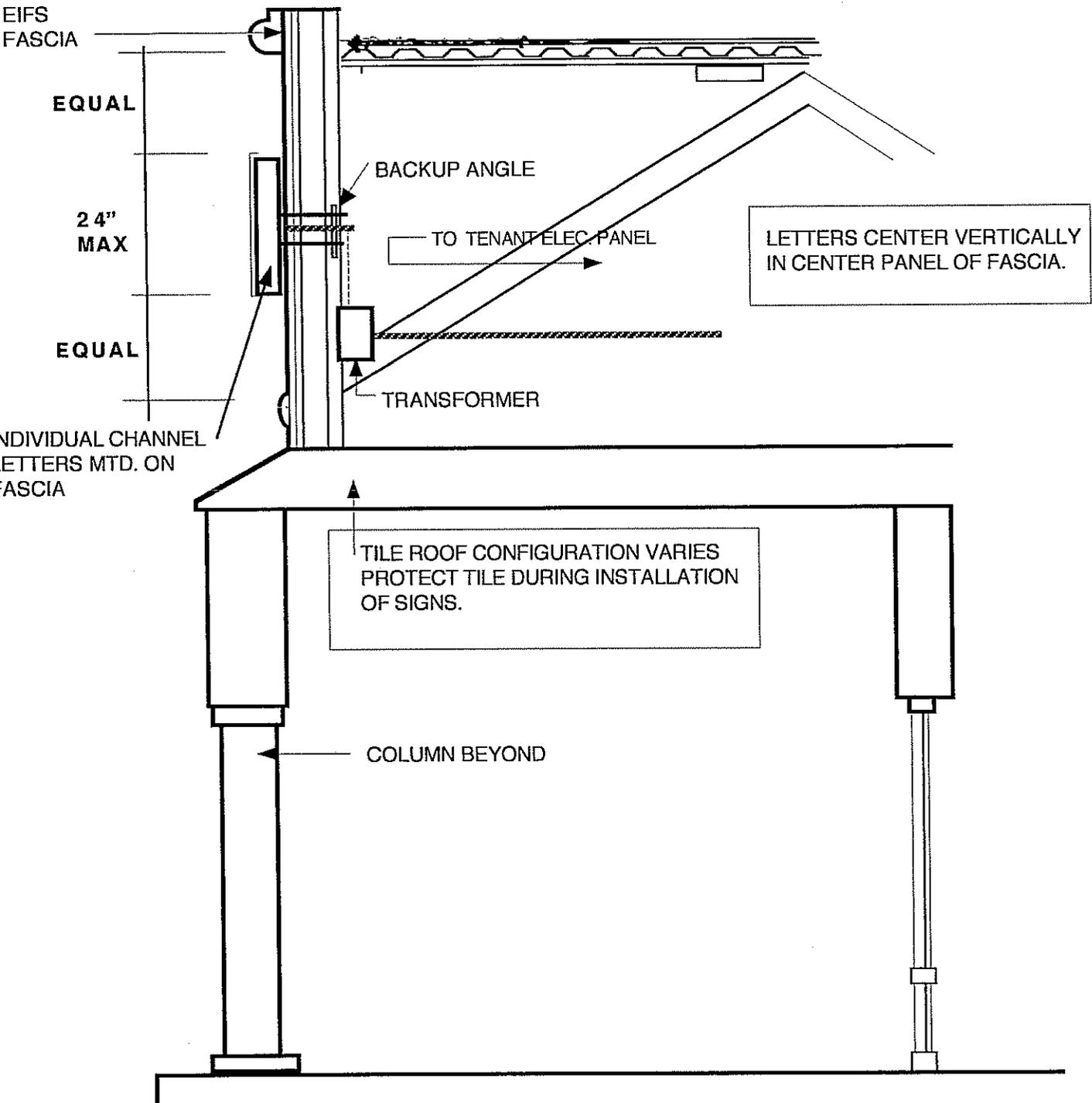
Letters shall be attached to the center's fascia band by means of bolts passing through the backs of letters, and through E.I.F.S. fascia band, to continuous angle behind fascia studs. Bolt through angle to insure stable mounting with no damage to the fascia band. Signs are to be installed in such a way as to insure permanence.

Fasteners shall have a 1/2" neoprene spacer between letters and fascia to allow water and debris to pass freely behind.

Wiring shall pass through conduit, through fascia to transformers located in the attic space. Wiring shall pass on to tenant's electrical panel.

All penetrations shall be sealed watertight.

Signs shall operate by means of a photoelectric cell, that turns signs on at dusk; and a timer that turns the sign off at 11 p.m.



A SECTION THROUGH STOREFRONT CANOPY

1/2" = 1'0"

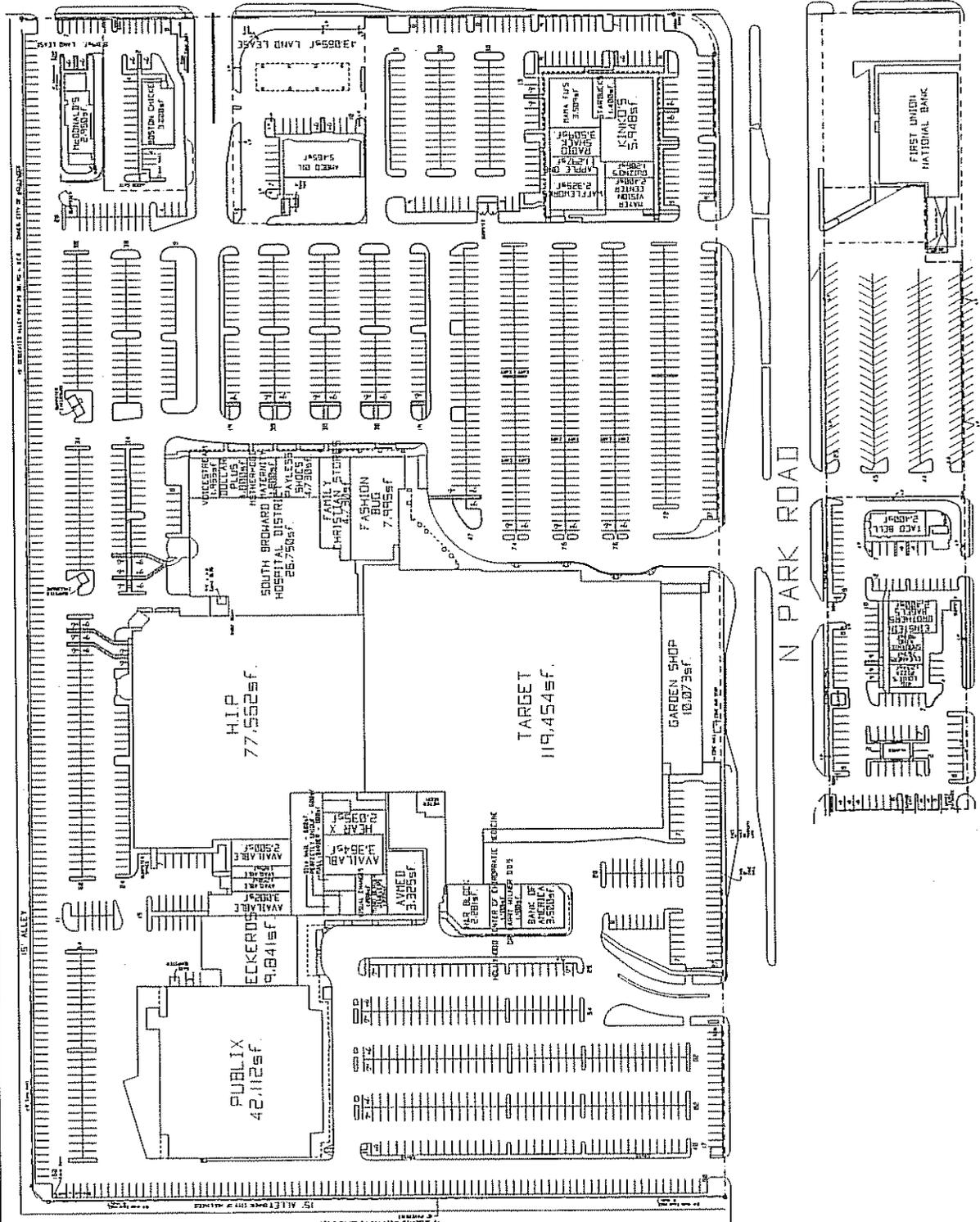
Hollywood Hills Plaza

The purpose of this plan is solely to show the location of various sign types. Landlord may elect to change the location, size, layout or details of any buildings or common area in the shopping center and/or to construct additional buildings in the shopping center and any such changes or construction will not affect the validity of the lease. The identification of any tenant in the shopping center is for convenience only and is not a warranty or representation of future tenancy or tenant mix in the shopping center.

HC

HOLLYWOOD HIL
HOLLYWOOD BLVD. @ MC
HOLLYWOOD, FL

PLAN C-1000
SCALE: 1" = 50'
SITE PLAN
SHEET 0327



Land Area: 1,428,768 sf.
Building Area: 1,976 sf.
Parking: 47 Spaces @ 110,000sf.

NORTH 33RD COURT

N PARK ROAD