



VERCETTI
ENTERPRISES

Design-Build | Construction | General Contracting

Vercetti Enterprises, LLC
950 S Pine Island Rd Suite 150
Plantation, FL 33324
305.517.3772
dv@vercetti.net

Request for Proposal
RFP-4763-23-WV
Construction Manager at Risk Services for the Arts
and Culture Center Expansion Project

Due: Thursday, February 15th, 2023 at 2:00 P.M.

To: William Varandas
Senior Purchasing Agent
2600 Hollywood Boulevard
Hollywood, FL 33020-4807





VERCETTI
ENTERPRISES

Design-Build | Construction | General Contracting

Table of Contents

- Cover Page
- Tab A - Table of Contents – Page 2
- Tab B – Executive Summary – Page 3
- License – Page 4
- Sunbiz Registration – Page 5
- Proof of Insurance – Page 7
- Tab C – Firm Qualifications and Experience – Page 8
- Company Experience – Page 17
- State and Federal Experience – Page 36
- Tab D – Organizational Profile and Project Team Qualifications – Page 38
- Organizational Chart – Page 40
- Team Resumes – Page 41
- Tab E – Approach to Scope of Work – Page 46
- Tab F – Knowledge of the Site and Local Conditions – Page 49
- Tab G – References – Page 51
- Tab H – Sub Consultants Information – Page 56
- Tab I – Financial Resources – Page 57
- Tab J – Legal Proceedings and Performance – Page 60
- Tab K – Construction Manager Fee Proposal – Page 61
- Tab L – Required Forms – Page 62



Design-Build | Construction | General Contracting

William Varandas
Senior Purchasing Agent
2600 Hollywood Boulevard
Hollywood, FL 33020-4807

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Executive Summary

Vercetti Enterprises, LLC is a South Florida based, State Certified General Contractor that specializes in commercial, industrial, and multi-family projects with offices in Broward County and Miami-Dade. Vercetti Enterprises has on-going and completed projects with institutional clients such as Homestead Housing Authority, City of Miramar, City of Hollywood, Hialeah Housing Authority, Miami-Dade County Public Schools, and Sunrise Group.

The firm was established in 2016 by Danial Vercetti. Mr. Vercetti has over 18 years of successful experience in the South Florida construction industry. Under Danial's guidance and leadership Vercetti Enterprises currently has approximately a financially healthy amount of project on-going and completed projects in the last year alone. Vercetti Enterprises acts as the general contractor on all projects and 100% ownership is solely retained by Danial Vercetti.

Vercetti Enterprises currently has a bonding capacity of \$20 million per project and \$40 million aggregate. Vercetti Enterprises is comprised of an experienced and highly motivated team of 23 full-time employees and is able to include additional staff on a per project basis as needed.

The Vercetti Enterprises team has over 100 years of combined construction experience across almost all project types with clients such as the Hialeah Housing Authority, Optimum Development USA, Sun Holdings, Popeyes, Excel Sports Management, Popular Bank, Maguina Group, University of Miami, Florida International University, Burger King, Slim Chickens, City of Hialeah, Hialeah Park Casino, and many more.

Best regards,

Danny Vercetti
President





Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

VERCETTI, DANIAL A

VERCETTI ENTERPRISES, LLC
7296 SW 48TH STREET
MIAMI FL 33155

LICENSE NUMBER: CGC1524967

EXPIRATION DATE: AUGUST 31, 2024

Always verify licenses online at [MyFloridaLicense.com](https://myfloridalicense.com)



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
VERCETTI ENTERPRISES, LLC

Filing Information

Document Number L16000182879
FEI/EIN Number 81-4022045
Date Filed 09/30/2016
State FL
Status ACTIVE

Principal Address

7296 SW 48 Street
Miami, FL 33155

Changed: 06/17/2020

Mailing Address

7296 SW 48 Street
Miami, FL 33155

Changed: 06/17/2020

Registered Agent Name & Address

VERCETTI, DANIAL A
7296 SW 48 Street
Miami, FL 33155

Address Changed: 06/12/2020

Authorized Person(s) Detail

Name & Address

Title P

VERCETTI, DANIAL
7296 SW 48 Street
Miami, FL 33155

Annual Reports

Report Year	Filed Date
2020	02/03/2020

2021	02/03/2021
2022	01/24/2022

Document Images

01/24/2022 -- ANNUAL REPORT	View image in PDF format
02/03/2021 -- ANNUAL REPORT	View image in PDF format
06/12/2020 -- AMENDED ANNUAL REPORT	View image in PDF format
02/03/2020 -- ANNUAL REPORT	View image in PDF format
04/05/2019 -- ANNUAL REPORT	View image in PDF format
03/31/2018 -- ANNUAL REPORT	View image in PDF format
03/03/2017 -- ANNUAL REPORT	View image in PDF format
09/30/2016 -- Florida Limited Liability	View image in PDF format





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

02/09/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Merchant Insurance Solutions 12326 Isabella Drive Bonita Springs FL 34135		CONTACT NAME: Jennifer McDonald PHONE (A/C, No, Ext): (239) 273-2931 E-MAIL ADDRESS: nealm@merchantinsurancesolutions.com FAX (A/C, No): (866) 406-4983	
INSURED VERCETTI ENTERPRISES, LLC 7296 S.W. 48th Street Miami FL 33155		INSURER(S) AFFORDING COVERAGE INSURER A: GEMINI INSURANCE COMPANY INSURER B: STATE NATIONAL INSURANCE COMPANY INSURER C: LLOYDS OF LONDON INSURER D: INSURER E: INSURER F:	
		NAIC # 10833 12831	

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			VGGP006987	11/01/2022	11/01/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			VGGP006987	11/01/2022	11/01/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Aggregate Limit \$ 1,000,000
A	UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$			VGFX001636	11/01/2022	11/01/2023	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y / N <input checked="" type="checkbox"/> N	N / A	NXTCDAKKPR-02-WC	11/02/2022	11/02/2023	<input checked="" type="checkbox"/> PER STATUTE E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Professional Liability			ANE4551456.21	08/04/2021	08/04/2023	Each Claim \$250,000 Aggregate \$250,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**City Of Hollywood
2600 Hollywood Blvd, Hollywood, FL 33020

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Company Experience – Similar Project Components

Construction within Existing Active Community

Homestead Housing Authority - Redland Phase V & VI is a new ground up project consisting of four separate buildings with a total of 40 townhomes. The total project size is approximately 6 acres and includes all new utilities including primary electrical from Homestead Energy Services, MEP, fire alarm, and a complete sitework.

Client Contact: Shane White – 305.247.0639 – swhite@hhahousing.org

Project Cost: \$9,500,000.00



Addition and Expansion to an Existing Active Facility

Hialeah Housing Authority – Distribution Warehouse Expansion is a 3,000 square foot addition to an existing facility, interior expansion and stairwell. The project includes improvements to the existing stairwells for life safety improvements, interior connection and expansion, new loading dock, walkways, asphalt connection, overhead coiling door, doors, mechanical, plumbing and electrical.

Owner: Hialeah Housing Authority

Client Contact: Miguel Hernandez – 305.888.9744 – Miguel.hernandez@hialeahhousing.org

Project Cost: \$550,000.00



Addition and Expansion to an Existing Active Facility

Fairlawn Elementary is a two-story addition and cafetorium mechanical renovation project. The project includes complete landscaping, concrete structure, metal joists, metal deck, casework, roofing, gutters, windows, doors, stucco, painting, acoustical ceilings, luxury vinyl flooring, plumbing, mechanical packaged units, split air conditioning units with exposed ductwork, decorative drop ceilings, window treatments, electrical, low voltage, smart board and clocks.

Owner: Miami-Dade County Public Schools

Client Contact: Albert Marin – 305.995.4706 – almarin@dadeschools.net

Contract Amount: \$700,000.00



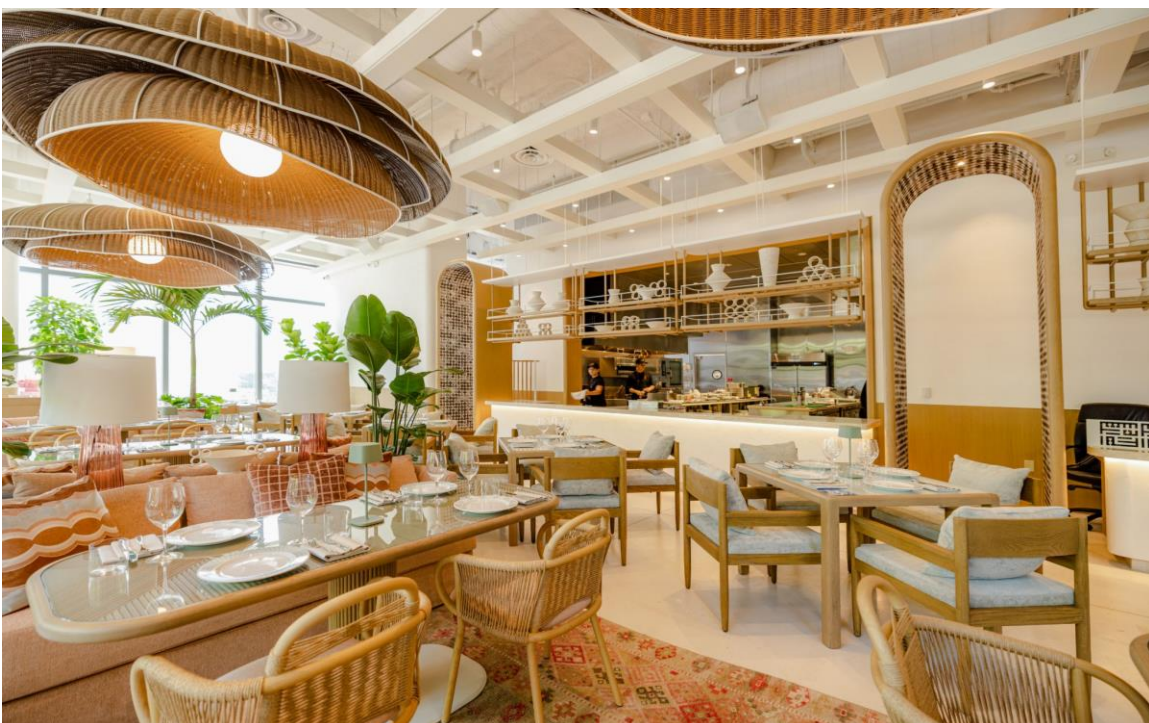
Construction within Existing Office Building
High End Interior Finishes and Low Voltage

Amal Grove Ink – Amal Restaurant, Bar and Office Building Lobby – Ground Floor at Coconut Grove is an 10,000 square foot interior build out of the entire ground floor lobby of the 3480 Main Highway boutique office building. The project entailed multiple phases to maintain the active lobby. The project includes new finishes, MEP, audio system, security system, complete internet and WiFi, fire alarm, ansul, kitchen equipment, kitchen hoods and lift stations.

Owner: Ink Entertainment

Client Contact: Fadi Abdulnour – 725.400.3800 – fadi.a@inkentertainment.com

Contract Amount: \$5,500,000.00



Construction within Existing High Traffic Mall
High End Interior Finishes and Low Voltage

Sofia DD – Sofia at Design District – Ground Floor is a 5,500 square foot interior and exterior renovation within an active boutique mall. The restaurant has both interior and exterior bar and courtyard dining. The project includes new finishes, MEP, audio system, security system, complete internet and WiFi, fire alarm, ansul, kitchen equipment, kitchen hoods, solid and grease interceptors.

Owner: Ink Entertainment

Client Contact: Fadi Abdulnour – 725.400.3800 – fadi.a@inkentertainment.com

Contract Amount: \$4,500,000.00



Restoration and Envelope Upgrades to Existing Facility

J Robert Dean Water Treatment K2 Building is a building renovation and hardening project. The project includes complete concrete restoration, new canopy foundations, stucco, painting, waterproofing, new metal roofing, hollow metal doors, insulated windows, overhead coiling doors with electrical motors, new gable metal framing and sheathing.

Owner: Florida Keys Aqueduct Authority

Client Contact: David Hackworth – 305.295.2152 – dhackworth@fkaa.com

Contract Amount: \$900,000.00



Steel Building Construction

Dollar Tree Store at Homestead is a 10,000 square foot ground up retail store including wrap around parking lot, loading bay and dumpster enclosure. The project included soil removal, new soil import, monitoring, landscaping, irrigation, site paving, concrete foundations, structural steel envelope with metal framing, EIFs, stone, interior finishes, signage, canopies, plumbing, mechanical, electrical, fire alarm and low voltage.

Owner: Dollar Tree Stores

Client Contact: Charles Gomez – 757-376-0058 – cgomez@dollartree.com

Contract Amount: \$2,000,000.00









Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Company Experience

Popeyes Homestead at Homestead is a ground up 2,500 square foot quick serve restaurant along the historic Krome Avenue highway.

Verdad Real Estate, Inc.

Client Contact: Shawn Burkett – 972-787-0014 - sburkett@avangc.com

Contract Amount: \$1,250,000.00



Popeyes at Palmcoast is a ground up 2,400 square foot quick serve restaurant on over an acre site. The fast pace project included all new sitework, integral black concrete driveway, concrete structure, finishes, stone, stucco, signage, canopies, menu-boards, plumbing, mechanical, electrical, fire alarm and complete low voltage.

Owner: Sun Holdings, Inc.

Client Contact: Alejandro Orfanos – 972-620-2287 – aorfanos@sunholdings.net

Contract Amount: \$1,250,000.00



Spin Car Wash – North Lauderdale, FL is a ground-up construction of an all-new 3,100 sq. ft. flex-serve car wash with 20 vacuum stations, an elongated wash tunnel, and three 2000-gallon reclamation tanks on over an acre. Project includes all new sitework, utilities, primary power, concrete building, finishes, canopies, plumbing, mechanical, electrical and low voltage.

Owner: Spin Car Wash

Client Contact: Sasha Palmer – 954.552.2959 – sashapalmer08@yahoo.com

Project Cost: \$1,800,000.00



Spin Car Wash – Oakland Park, FL is a conversion/renovation of an existing full-service car wash to a flex serve car wash with 12 vacuum stations, elongated wash tunnel and three 3000-gallon tanks. The project included completion of the sitework package, plumbing, electrical and misc. vehicle cleaning accessories.

Owner: Spin Car Wash

Client Contact: Sasha Palmer – 954.552.2959 – sashapalmer08@yahoo.com

Project Cost: \$250,000.00



5500 High Pines Residence is a two story 5,000 square foot custom spec residence with a detached garage, pool and privacy fence. The home features four bedroom, four in a half bathroom, laundry room, barbeque covered terrace, covered walkway trellis and 4' extended balconies. The residence included all new sanitary main along 74th street and water main along 55th avenue.

Owner: Thermal Group

Client Contact: Edward Kiejliches – 305-873-3451 – ek@thethermalgroup.com

Bid Amount: \$2,500,000.00



Popular Bank - Miami Beach is a 2,000 square foot renovation of a previous retail space at a historical building and district. The project included full interior and exterior façade demolition, doors, new interior finishes, MEPs and exterior storefront glass, concrete knee wall, structural steel, paint, awning and signage.

Owner: Popular Bank

Client Contact: Kenyata Allain – kallain@popular.com – 786-953-1271

Contract Amount: \$475,000.00



Popular Bank - Sunrise is a 2,500 square foot renovation of a previous retail space. The project included full interior and exterior façade demolition, doors, new interior finishes, MEP and exterior storefront glass, paint and signage.

Owner: Popular Bank

Client Contact: Kenyata Allain – kallain@popular.com – 786-953-1271

Contract Amount: \$450,000.00



Ink Entertainment – North America Headquarters at Miami Beach is a 4,000 square foot office renovation that included interior demolition, drywall, painting, acoustical ceilings, glass interior doors, wall paper, interior signage, custom reception desk, casework, fire sprinklers, mechanical units, plumbing for kitchen/lounge, electrical, data and cabling, audio and visual system.

Owner: Ink Entertainment

Client Contact: Ricardo Tabet – 305.587.3007 – rt@synergy8capital.com

Contract Amount: \$1,250,000.00



5550 High Pines Residence is a two story 5,000 square foot custom spec residence with a two-car garage, pool and privacy fence. The home features five bedrooms, five bathrooms, laundry room, barbeque covered terrace, 2nd floor terrace and 4' extended balconies. The residence included all new sanitary main along 74th street and water main along 55th avenue.

Owner: Thermal Group

Client Contact: Edward Kiejliches – 305-873-3451 – ek@thethermalgroup.com

Bid Amount: \$2,500,000.00



Jersey Mike's at Carter Square is a 1,250 square foot renovation for a new fast casual restaurant. The project included complete interior demolition, interior finishes, casework, walk-in cooler and freezers, new plumbing solid and grease interceptors, sanitary sewer, mechanical system, kitchen hoods, Ansul fire suppression, fire sprinklers and low voltage.

Owner: JM Valley Group

Client Contact: Jair Neciosup Paz – 818.414.6556 – jair@jmvalley.com

Bid Amount: \$350,000.00

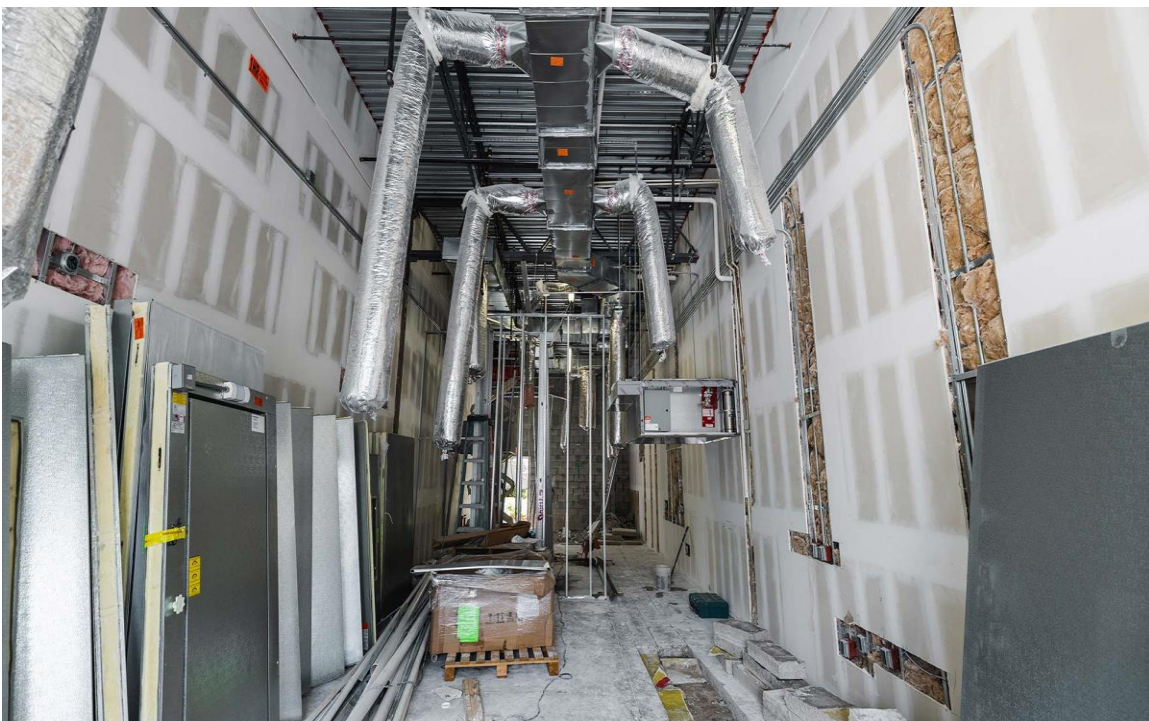


Jersey Mike's at Carter Square is a 1,200 square foot renovation for a new fast casual restaurant. The project included selective interior demolition, interior finishes, casework, walk-in cooler and freezers, new plumbing solid and grease interceptors, sanitary sewer, mechanical system, kitchen hoods, Ansul fire suppression, fire sprinklers, fire alarm and low voltage.

Owner: StoveTop Restaurant Group

Client Contact: Eric Houseman – 844.894.6757 – erichouseman@rocketmail.com

Bid Amount: \$400,000.00

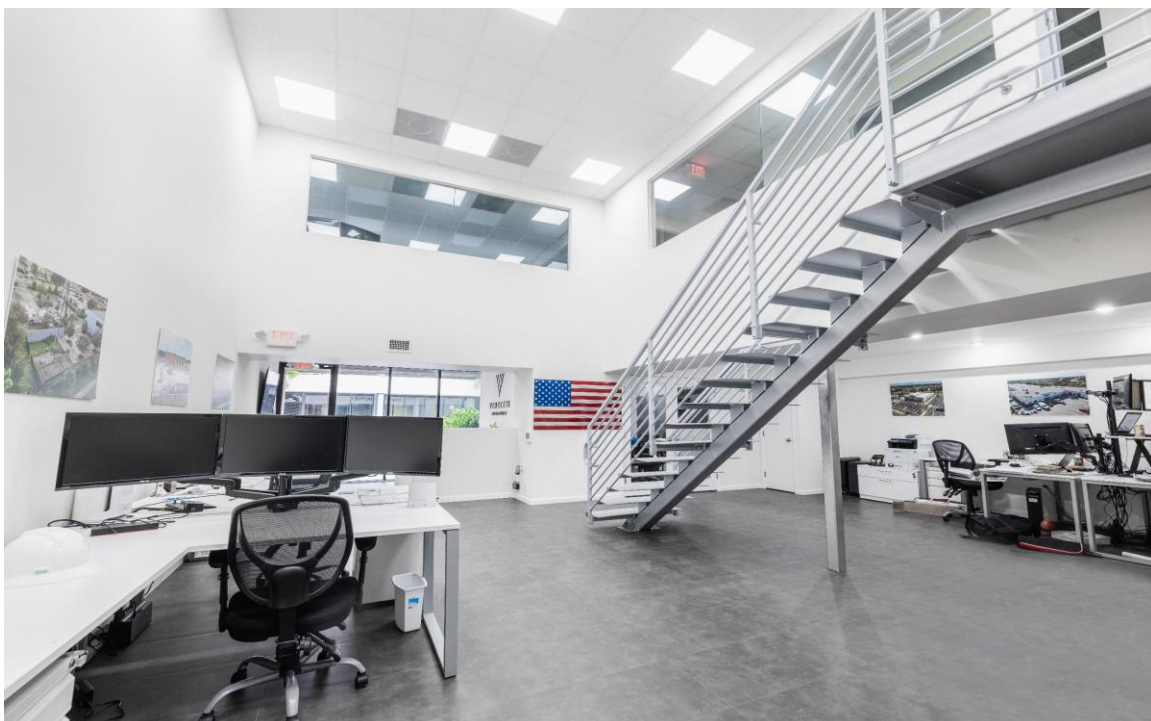


TRG Headquarters is a 2,400 square foot renovation and expansion of an existing commercial suite. The work includes a new second floor, interior stairs, emergency stairwell, all new finishes, plumbing, mechanical, electrical and low voltage.

Owner: TRG 7296, LLC

Client Contact: Edward Kiejliches – 305.873.3451 – ek@thethermalgroup.com

Bid Amount: \$500,000.00

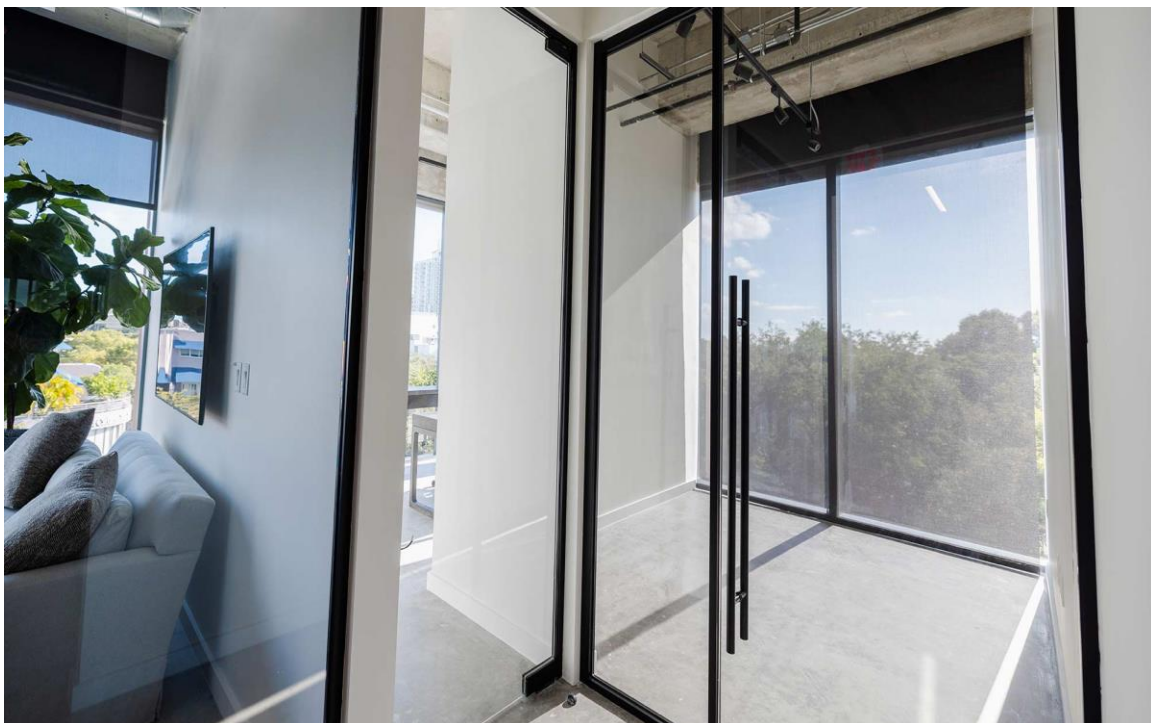
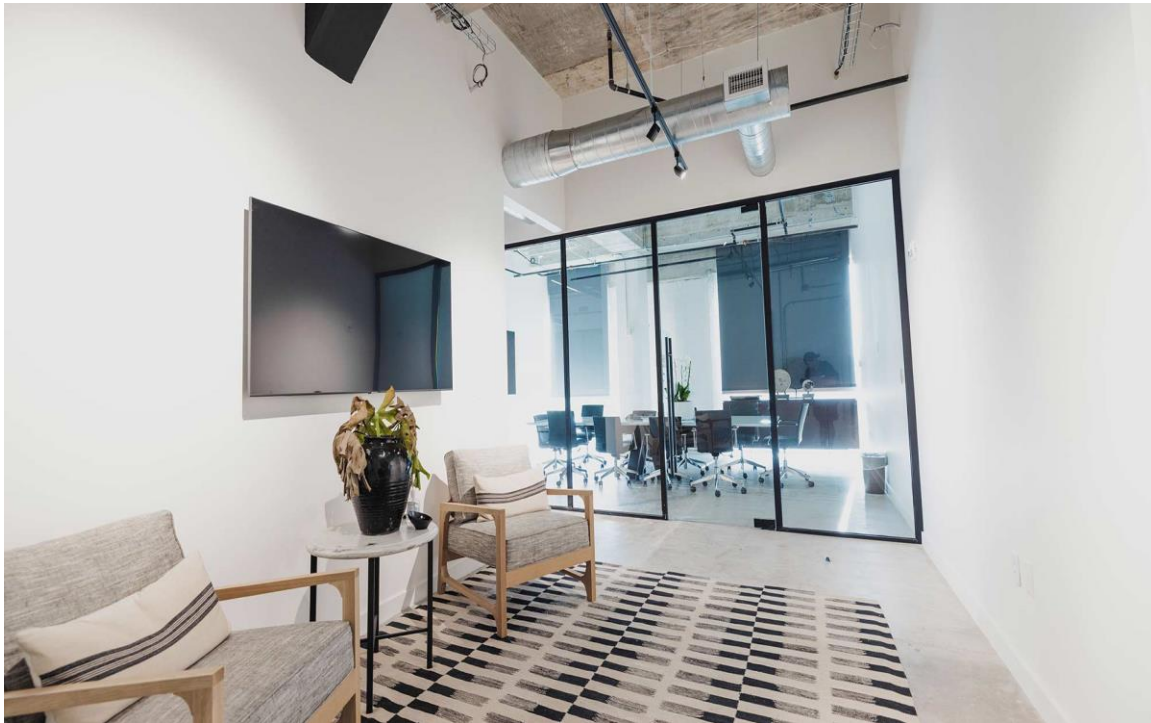


Excel Sports Management Headquarters at Coconut Grove is a 1,000 square foot renovation and expansion of an existing commercial office suite. The project scope included new finishes, window blinds, interior storefront glazing, mechanical and electrical.

Owner: Excel Sports Management

Client Contact: Ricardo Tabet – 305.587.3007 – rt@synergy8capital.com

Bid Amount: \$100,000.00



Maguina Residence at Oasis Downtown Doral is a 5,000 square foot site expansion of the existing residence. The project included all new pool, landscaping, irrigation, pergola, outdoor kitchen, driveway, site drainage and lighting.

Owner: Mag USA

Client Contact: Carlos Maguina - carlos@magusa.us

Bid Amount: \$350,000.00



Dollar Tree at Hollywood, FL is a 14,000 square foot renovation for a new commercial retail store. The project included doors, interior glass, storefront, interior finishes, interior and exterior signage, plumbing, mechanical, electrical, fire alarm and low voltage.

Owner: Dollar Tree Stores

Client Contact: Carlos Gomez – 757.376.0058 – cgomez@dollartree.com

Bid Amount: \$400,000.00



Dollar Tree at Hypoluxo, FL is a 10,500 square foot renovation for a new commercial retail store. The project included exterior concrete ramp, structural steel, doors, interior glass, storefront, interior finishes, interior signage, plumbing, mechanical, electrical, fire alarm and low voltage.

Owner: Dollar Tree Stores

Client Contact: Carlos Gomez – 757.376.0058 – cgomez@dollartree.com

Bid Amount: \$400,000.00



Popeyes at West Miami is a ground up 3,300 square foot quick serve restaurant on over an acre site. The fast pace project included all new sitework, integral black concrete driveway, concrete structure, finishes, stone, stucco, signage, canopies, menu-boards, plumbing, mechanical, electrical, fire alarm and complete low voltage.

Owner: Sun Holdings, Inc.

Client Contact: Alejandro Orfanos – 972.620.2287 – aorfanos@sunholdings.net

Contract Amount: \$1,250,000.00



6331 Miramar Retail is a reroofing of entire phase B, façade and walkway addition. The project includes selective demolition, concrete foundations, steel columns and beams, asphalt repairs, concrete walkway, rough carpentry, metal framing from the ground level columns, metal framing at parapet, roof demolition, new roofing, stucco, decorative stone, painting and electrical.

Owner: Miramar Pembroke Management Partners

Client Contact: Parker Israeli – 732.705.7360 – parker.israeli@gmail.com

Contract Amount: \$800,000.00



Dalia Restaurant and Bar at Miami Beach is an 8,500 square foot interior renovation and exterior bar at the new historic Gabriel Hotel. The project includes selective demolition, drywall, painting, historic terrazzo repairs, stone, kitchen equipment, kitchen hoods, repairs to lift stations, mechanical, plumbing, electrical, complete low voltage system including audio system, security system, complete internet, WiFi and fire alarm connections.

Owner: Ink Entertainment

Client Contact: Fadi Abdulnour – 725.400.3800 – fadi.a@inkentertainment.com

Contract Amount: \$3,500,000.00





Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – State and Federal Regulation Experience

Vercetti Enterprises has experience working with the U.S. Department of Housing and Urban Development, Miami-Dade County Public Housing & Community Development Department, Section 3, U.S. Department of Agricultural, Davis-Bacon Act, Federal Labor Standards Provisions, Equal Employment Opportunity Certification and American Disabilities Act.

- Homestead Housing Authority – Redland Phase V & VI – Row House Community
 - United States Department of Agricultural
 - Davis-Bacon Act
 - Federal Labor Standards
 - Equal Employment Opportunity Certification
 - American Disabilities Act
- Hialeah Housing Authority – Hoffman Gardens - Distribution Warehouse Expansion
 - United States Department of Housing and Urban Development
 - Indian Self-Determination and Education Assistance Act
 - Section 3
 - Davis-Bacon Act
 - Federal Labor Standards
 - Equal Employment Opportunity Certification
 - American Disabilities Act
- Sunrise Community, Inc. – Eureka Adult Day Training Center – Sunrise Emergency Power Plan
 - United States Department of Housing and Urban Development
 - Miami-Dade Public Housing and Community Development
 - Section 3
 - Davis-Bacon Act
 - Federal Labor Standards
 - Equal Employment Opportunity Certification
 - American Disabilities Act

- Fairlawn Elementary – Two Story Classroom Addition and Cafetorium HVAC Upgrades
 - Miami Dade County Public Schools
 - Jessica Lunsford Act (HB 1877)
 - Federal Labor Standards
 - Equal Employment Opportunity Certification
 - American Disabilities Act

- 6331 Miramar Parkway – Exterior Renovation, Expansion and New Roof
 - Federal Wage and Labor Standards
 - Davis Bacon Act
 - HUD-4010
 - Federal Labor Standards Provision
 - Equal Employment Opportunity Certification
 - American Disabilities Act



VERCETTI ENTERPRISES

Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Organizational Profile & Project Team Qualifications

Danny Vercetti – President

- Hands on in both the Preconstruction Phase and Construction Phase
- Overall preconstruction management
 - Constructability analysis
 - Cost estimating
 - Value Engineering
 - Project scheduling
- Overall project management
 - Constructability analysis
 - Cost estimating
 - Value Engineering
 - Project scheduling

Maximo Perez – Senior Preconstruction Manager

- Preconstruction management
 - Design review and options analysis of plans and specifications
 - Cost estimating
 - Value engineering
 - Life cycle cost analysis
 - Project scheduling – lead times, procurement and milestones
 - Quality control (design)
 - Bidding and subcontractor relationships

Alexander Iturrey – Project Manager

- Partial Preconstruction Phase and 100% Construction Phase
- Overall Project management
 - Project scheduling
 - Quality control (construction)
 - Cost controls and change order management
 - Review of shop drawings
 - Project mobilization
 - Project punch list management and close-out



Christian Del Castillo – Assistant Project Manager

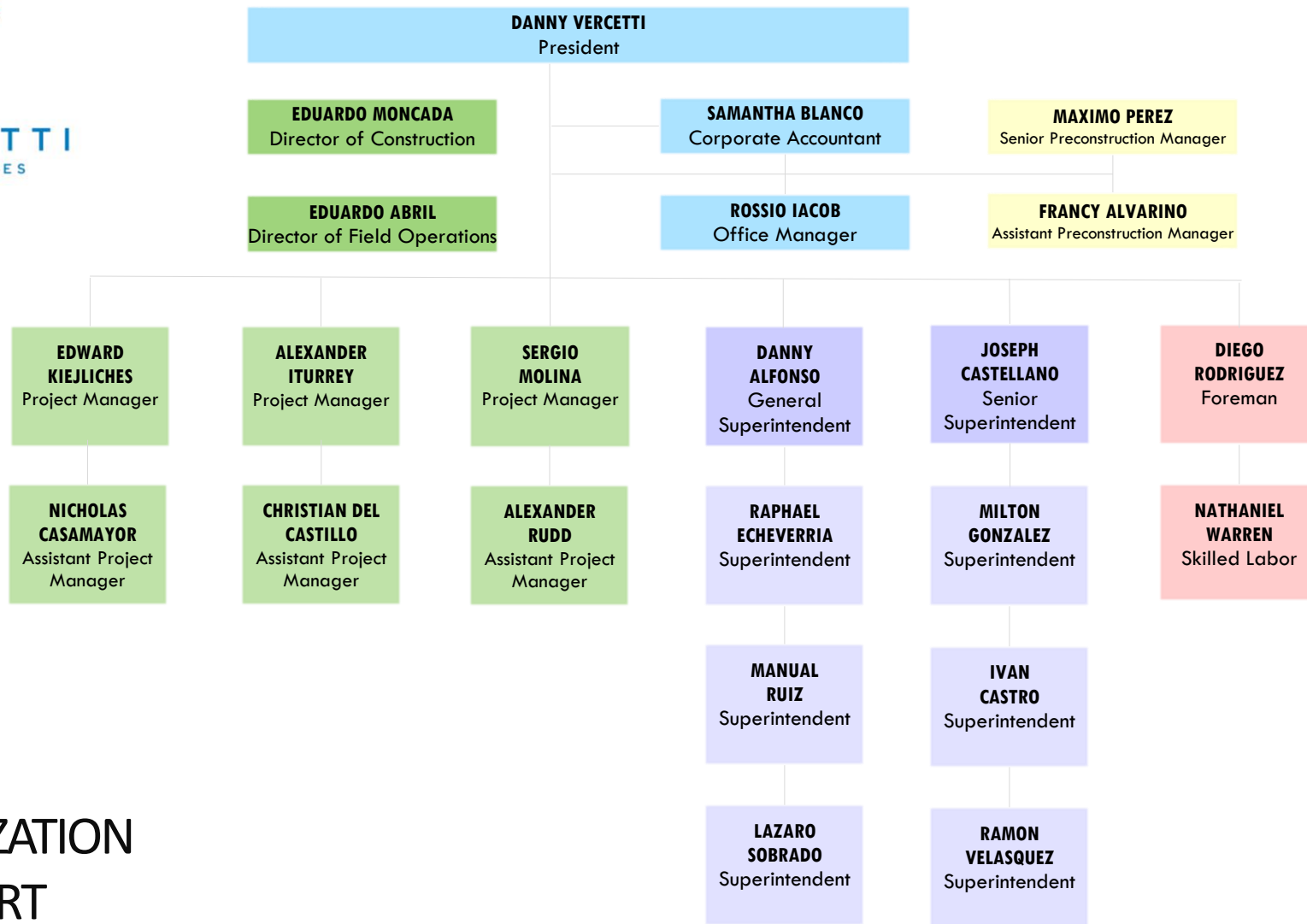
- Partial Preconstruction Phase and 50% Construction Phase
- Overall Project management
 - Cost controls and change order management
 - Preparation and review of shop drawings
 - Project mobilization
 - Project punch list management and close-out

Joseph Castellano – Senior Superintendent

- 100% Construction Phase
- Overall Project management
 - Project scheduling
 - Quality control (construction)
 - Assist with cost control for on-site field change orders
 - Review of shop drawings
 - Project mobilization
 - Project punch list management and close-out

Eduardo Abril – Director of Field Operations

- 25% Construction Phase
- Overall Project management
 - Project scheduling
 - Quality control (construction)
 - Assist with cost control for on-site field change orders
 - Review of shop drawings
 - Project mobilization
 - Project punch list management and close-out



ORGANIZATION CHART

■ Operations
 ■ Project Management
 ■ On-Site Supervision
 ■ On-Site Assistance
 ■ Preconstruction



DANNY VERCETTI
PRESIDENT

CERTIFICATIONS

Certified Florida General Contractor
Community Association Manager
Sales Associate
OSHA 10 & 30 Hour Certified

EDUCATION

Florida International University
– *Master of Science in Real Estate*
– *Bachelor of Science in Construction Management*

COLLABORATIONS

Homestead Housing Authority
Hialeah Housing Authority
Miami Dade County Public Schools
Dollar Tree Stores
Popeye's Louisiana Kitchen
Jersey Mikes
Sunrise Community
Allen Morris Company
Ink Entertainment
Sun Holdings
Baptist Hospital

ROLES AND RESPONSIBILITIES

As President of Vercetti Enterprises, Danny oversees a team of construction professionals who manage the design and construction phases of each project by incorporating their development and general contracting experience to ensure each project is delivered on time and within budget.

EXPERIENCE SUMMARY

With over 18 years of professional experience in both development and construction, Danny has experience working in all stages of construction projects. From handling the design and programming in the initial stages to shepherding the project through the construction phases, he is fully capable of providing such services as the relationship requires.

NOTABLE PROJECT EXPERIENCE

■ Redland Phase V & VI - \$9.5m



■ Spin Car Wash – \$1.8m



■ High Pines Residence I - \$2.5m



■ Ink Entertainment Office - \$1.25m



■ Sofia Restaurant & Bar - \$4.5m



■ Amal Restaurant & Bar – \$5.5m





MAXIMO "MAX" PEREZ

SENIOR PRECONSTRUCTION
MANAGER

CERTIFICATIONS

Certified General Contractor
Florida Home Inspector
OSHA 10 & 30 Hour Certified

EDUCATION

Cuc University –
*Bachelors of Science in Civil
Engineer*

Florida International
University –
*Master of Science in
Construction Management*

COLLABORATIONS

Miami Dade County
Ink Entertainment
Hialeah Housing Authority
Terrace of The Isles
Oasis in The Gables, LLC
1013 Castile Avenue Corp.

PREVIOUS EMPLOYERS

Engineering & Construction
SA Corp.

ROLES AND RESPONSIBILITIES

As Senior Preconstruction Manager, Max's primary responsibility is to oversee all items related the preconstruction phase including material procurement lead times, subcontractor qualifications, value engineering, construction feasibility studies, phasing plans, project development, cost and schedule analysis, including owner and subcontractor negotiations.

EXPERIENCE SUMMARY

Max is the Project Executive at Vercetti Enterprises, bringing over 30 years of hands-on experience to the firm. Prior to joining the team, Max owned and operated a well-known construction firm which has built over 20 residences, 200 condo units and over 1m square feet of projects valued at over \$200m. His projects have ranged from 250k to \$20m+. Both his accomplishments and experience are instrumental to each project's success.

NOTABLE PROJECT EXPERIENCE

■ Amal at Coconut Grove - \$5.5m



■ Hoffman Gardens Addition - \$550k



■ Terrace of The Isles - \$15m



■ 1013 Castile Ave Residence – \$2.7m



■ 5250 SW 114 Ct. - \$1.65m



■ 6130 SW 44th Terrace - \$1.2m





ALEXANDER ITURREY
PROJECT MANAGER

CERTIFICATIONS

OSHA 10 & 30 Hour Certified
Florida State Notary

EDUCATION

Florida International
University – *Bachelor of
Science in Construction
Management*

COLLABORATIONS

Homestead Housing
Authority
Hialeah Housing Authority
Miami Dade County Public
Schools
Dollar Tree Stores
Popeye's Louisiana Kitchen
Key Development Group
Sunrise Community
Spin Car Wash
QSR Enterprises
Sun Holdings

PREVIOUS EMPLOYERS

All About Doors and Windows

ROLES AND RESPONSIBILITIES

Alexander Iturrey is a project manager with Vercetti Enterprises and is responsible for the creation and management of RFI's, pay applications, change order requests, plan revisions, submittals, shop drawings, cost and schedule tracking, monthly reports, and general project oversight and coordination with the jobsite superintendent.

EXPERIENCE SUMMARY

Alexander has been a part of multiple projects with Vercetti beginning with estimating, to contracting, procurement, construction and finally closeout. His experience of working in a team setting starting from a bid set of documents makes him an integral part of our team.

NOTABLE PROJECT EXPERIENCE

■ Redland Phase V & IV - \$9.5m



■ Hoffman Gardens Addition - \$550k



■ Fairlawn Elementary Addition - \$1m



■ Sunrise Emergency Power – \$250k



■ Dollar Tree Homestead - \$2m



■ Popeyes Remodel – \$1.2m





JOSEPH CASTELLANO
SENIOR SUPERINTENDENT

CERTIFICATIONS

OSHA 10 & 30 Hour Certified
Florida State Notary

EDUCATION

Miami Dade College –
Construction Technology

COLLABORATIONS

Hialeah Housing Authority
City of Doral
Homestead Housing
Authority
The Thermal Group
Miami Dade County Public
Schools

PREVIOUS EMPLOYERS

Campus Construction
Critical Path Construction
Forbes Construction

ROLES AND RESPONSIBILITIES

Joseph oversees field staff, construction equipment and materials, scheduling, cost efficiency, safety, quality, and productivity. He is responsible for on-site planning, coordinating, and directing all of the day-to-day project related field activities. His duties include coordinating with other superintendents, subcontractors and vendors, as well as ensuring that all personnel on site follow OSHA regulations and compliance.

EXPERIENCE SUMMARY

Joseph has over 15 years of professional experience as a superintendent. His ground up experience ranges from apartments buildings to charter schools to warehouses and residential homes. This allows him to utilize a turnkey approach that maximizes construction efficiency and minimizes delays and cost overruns.

NOTABLE PROJECT EXPERIENCE

■ Distribution Facility Addition - \$550k



■ Redland Phase V & IV - \$9.5m



■ 5500 SW 74th Street - \$2.5m



■ Doral College - \$18.250m



■ Coconut Grove Residence - \$2.2m



■ Downtown Doral Charter – \$16m





EDUARDO ABRIL
DIRECTOR OF FIELD
OPERATIONS

CERTIFICATIONS

Certified General Contractor
Florida Certified Public
Accountant
OSHA 10 & 30 Hour Certified

EDUCATION

University of Miami –
*Bachelors of Science in
Accounting*

COLLABORATIONS

City of Hialeah
City of Hialeah Gardens
City of Miami Springs
Homestead Housing
Authority
Hialeah Housing Authority
Miami Dade County Public
Schools
Thermal Group
Sabal Development

PREVIOUS EMPLOYERS

ELA Construction

ROLES AND RESPONSIBILITIES

As Director of Field Operations, Eduardo is responsible for the oversight and management of both project managers and field staff. From initial planning to completion, Eduardo is involved with coordinating all construction activities, schedule and contract adherence, project planning, and sequencing. He is a leader, coach, negotiator, and arbitrator.

EXPERIENCE SUMMARY

Eduardo is the Director of Operations at Vercetti Enterprises, bringing over 30 years of construction experience to the firm. Prior to joining the team, Eduardo owned and operated a development and construction firm which built over 5 million square feet of projects valued at over \$300m. His projects have ranged from 500k to \$30m+. Both his accomplishments and experience are instrumental to each project's success. He has been with Vercetti Enterprises for 5 years.

NOTABLE PROJECT EXPERIENCE

■ Redland Phase V & IV - \$9.5m



■ Hoffman Gardens Addition - \$550k



■ ELA Medical Office Building - \$7m



■ High Pines Residence – \$2.5m



■ 7311 Belle Meade - \$5m



■ Blue Building Office - \$8.5m





Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Approach to Scope of Work

Vercetti Enterprises understands from experience that a successful project requires a very hands-on approach to ensure the project is not only within schedule but also hits the target budget. Our team has focused on building specialty projects from car washes, restaurants, banks, custom spec homes and multi-family. Following a project award, our team immediately begins communication with the local building municipality, utility providers, and vendors in order to coordinate connections, permitting, and costs early on to eliminate unforeseeable obstacles. Vercetti plans to utilize these same tactics applied on previous projects to ensure that this project is executed quickly and seamlessly.

We use the following steps to ensure the project is completed on-time and exceeds the expected quality and budgetary standards:

Options Analysis

Vercetti Enterprises recognizes that a ground-up project where there was an existing structure and utilities requires a detailed initial investigation and evaluation of all available building variations in order to avoid surprises down the road. As a standard, we research any options through value engineering, constructability, bidding, scheduling and quantity estimating to develop a proper proposal that takes into account the clients and individual entities needs and concerns.

Design Review

We leverage our experience with different methods and approaches to construction so that we exceed our client's expectations while reducing overall costs, time, and often improving the core of the original concept. Vercetti Enterprises assists in identifying alternative means and methods utilizing our teams experience and subcontractors experience to assist in identifying alternative materials.

Estimate

By utilizing the latest construction take-off software, we are able to create quick and accurate estimates followed closely by material cost and labor details to develop a cost basis and options on industry standards against the subcontractor and suppliers estimate. This allows us to be ahead of the estimate and begin analyzing cost from multiple angles such as labor, materials, and stage of work. The culmination are final specific reports of material lists, subcontract amounts, detailed bill of materials and/or unit prices.

Subcontracting Practices

Vercetti Enterprises has strong relationships with subcontractors that have been developed from over a decade of partnerships on successful projects. A critical component to any project is seamless communication and relationships as a vehicle to solving and eliminating any issues.

Information Distribution

We apply the most up-to date web-based automated bid solicitation software allowing us to distribute project information to each and every subcontractor and vendor with receipt confirmation of invitation and participation.

Scope and Project Review

The estimating team provides a detailed comprehensive scope sheet identifying each of the project requirements for each subcontractor and trade. Vercetti team works hand in hand with subcontractors through constant email and phone conversations to weed out any grey areas and scope gaps.

Subcontractor Award

Our estimating arm reviews all proposals upon final incorporation of each process mentioned above and holds a final meeting prior to executing the subcontract agreement.

Cost Control

Vercetti Enterprises goes step by step on each item in the construction process, from every detailed RFI and potential change order to identifying value engineering opportunities and solutions. We are actively entrenched on a proactive and solution-based attitude to each project.

Security Plan

Jobsite safety and security are both critical aspects necessary for the successful completion of each project. We employ a culture of being proactive rather than reactive from as early as the bid preparation to understand what could occur throughout the duration of construction and then using our teams experience, we strategize to create realistic solutions. As a company standard, each project has meshed fencing with top support bars, superintendent with master key, barricades, secure storage, off-site storage, live cameras, possible on-site security and coordination with local law enforcement to periodically patrol during off hours. As construction progresses, the Vercetti team revises and updates the security and safety plans as necessary. By taking a proactive approach from the very beginning, we are able to prevent loss claims and frequently receive praise from our clients.

Scheduling and Procurement

Our team utilizes the latest project scheduling software to provide accurate and detailed schedules along with industry standard accounting software for cost control measures. We begin by thoroughly reviewing the construction documents, overlaying each discipline, and assessing the site to begin coordinating activities. At this stage we then create the master schedule along with each necessary activity and begin to incorporate key project partners experience while reviewing all information related to permitting, shop drawings, submittals, fabrication, delivery, staging, and constructability. With this information we logistically tie in all activities along with their allotted durations. Effective management of the project relies on the experience and skill of our on-site staff to monitor, manage, and enforce schedules, contracting and costs. As a company standard, the project manager is responsible for reviewing and scheduling each project with the superintendent and president weekly. The project manager tracks detailed procurement activities for durations from suppliers, fabricators, and freight companies. They will also review and incorporate the most up-to date submittal log to properly access submittals; when they need to be submitted, reviewed and approved for accurate fabrication and delivery timelines which in turn helps to better assist the A/E team on when key items require review. During the weekly subcontractor meetings, the project manager and superintendent meet with on-site subcontractors and anyone involved in the three-week lookahead. This schedule is generated by the superintendent and emailed weekly to all the subcontractors along with a breakdown of expected dates to be on-site.

Quality Control, Issue Anticipation and Resolution

Vercetti Enterprises takes on a motivated approach to create an acceptable base-line from the start of each project. This baseline level is detailed and created from the various amount of our successful owner approved projects. From the bid stages, we utilize qualified subcontractors and materials from trusted vendors. Our team is thoroughly educated on the Vercetti project quality standard and expectations are constantly communicated with the project team; from subcontractors to material fabricators. This stringent core of upholding our standard is very well known amongst our subcontractors. During construction, we perform daily quality inspections, catalogue hundreds of photos, and often times resolve issues immediately, on the spot. We do not wait around for weekly meetings or till the end of the project to discuss and fix necessary corrections. During our regular owner and design professional meetings, we request project walkthroughs to ensure any questions are quickly addressed. This proactive and hands on approach eliminates problems from escalating. To add onto this, the president visits the job-site regularly to inspect and review workmanship.



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Knowledge of the Site and Location Conditions

South Florida Experience

Vercetti Enterprises is a South Florida based, General Contractor with offices in Broward County and Miami-Dade.

Local Subcontractor and Suppliers

Vercetti Enterprises focuses on work solely within those two counties.

To assist with expediting material procurement, Vercetti Enterprises holds active and good standing accounts with vendors listed below.

- Lopefra (soil, excavation and hauling)
- G Proulx (rebar)
- Cemex (concrete)
- T&J Pavement (concrete)
- Superior Concrete Mix (concrete)
- American Roofing Supply (metal roofing)
- Gulf Eagle Roofing Supply (roofing)
- Soprema (roofing and waterproofing)
- Sika (waterproofing)
- Marjam (drywall, framing, FRP and Acoustical)
- Banner Supply (wood, drywall, framing and insulation)
- John Abell (wood, drywall and framing)
- Dal Tile (flooring)
- D&B Tile (flooring)
- Floor and Décor (flooring)
- Sherwin Williams (painting)
- Benjamin Moore (painting)
- Soprema (roofing and waterproofing)
- Sika (waterproofing)
- Captive Aire (kitchen hood)
- Kilowatts Electric (wiring and switchgear)
- Anixter (wiring and switchgear)

Knowledge of Local Permitting Agencies, Procedures and Testing Protocols.

Vercetti Enterprises has successfully worked with various municipalities. Below is a short list of past municipalities.

- Broward County
- City of North Lauderdale
- City of Pembroke Pines
- City of Sunrise
- City of Hypoluxo
- City of Palm Coast
- City of Hialeah
- Miami-Dade County Public Schools
- Miami-Dade County
- City of Coral Gables
- City of Miami Beach
- City of Homestead
- City of Miami
- City of Doral
- City of Oakland Park
- Florida Keys Aqueduct Authority
- Miami Dade County Water and Sewer
- Miami-Dade County Environmental Resources Management
- Broward County Water and Wastewater Engineering Division
- Florida Power & Light
- Homestead Energy Services

Construction Constraints due to Non-Documented Underground Utility Lines and Other Existing Non-Documented Elements

Vercetti Enterprises will call out Sunshine One Call for surrounding site utility locates as required by Florida State Law

Vercetti Enterprises will contract Ground Hound for Utilities Locates for inside the property utility searches and outside the property line for areas where there will be connections and or utility removals.



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Client References

Ricardo Tabet – Managing Director - Synergy 8 Capital
305.587.3007 / rt@synergy8capital.com

- The Celino Hotel – Ground-up & renovation of historic hotel(s) on Ocean Drive
- 3480 Main Highway – Ground-up building in Coconut Grove including restaurant, bar, offices, and parking garage

Fadi Abdulnour – Managing Director U.S. Development – Ink Entertainment
725.400.3800 / fadi.a@inkentertainment.com

- Amal Restaurant – New construction of ground floor and rooftop restaurant and bar
- Sofia Restaurant – Renovation of existing restaurant and bar

Shane R. White Sr. – Executive Director – Homestead Housing Authority
305.247.0639 / swhite@hhahousing.org

- Redland West – Phase V & VI – Under construction of 40 ground-up townhomes

Jair Neciosup Paz – President JM Valley Group
818.414.6556 / jair@jmvalley.com

- Jersey Mike's / Carter Square – Restaurant build-out
- Jersey Mike's / Doral – Under construction of restaurant build-out

Kenyata Allain – Popular Bank – Director of Construction
917.653.8587 / kallain@popular.com

- Popular Bank / Sunrise – Renovation of existing space
- Popular Bank / Miami Beach – Renovation of existing space

Parker Israeli – Asset Management – Miramar Pembroke Management Partners
732.705.7360 / parker.israeli@gmail.com

- Miramar Retail Center – Renovation and expansion of a retail plaza

Miguel Hernandez – Director of Construction – Hialeah Housing Authority
305.888.9744 / miguel.hernandez@hialeahhousing.org

- HHA Warehouse Addition – Ground-up construction of new warehouse facility

Edward Kiejliches – Managing Director – The Thermal Group
305.873.3451 / ek@thethermalgroup.com

- 5500 Residence – ground up custom residence
- 5550 Residence – ground up custom residence

Charles Gomez – Project Manager – Dollar Tree / Family Dollars
757.321.5218 / cgomez@dollartree.com

- Dollar Tree / Hypoluxo – Renovation of existing space
- Dollar Tree / Biscayne Shores – Renovation of existing space
- Dollar Tree / Pembroke Pines – Renovation of existing space
- Dollar Tree / Homestead – Ground-up construction of new store

Richard Hughes – Assistant Director – City of Miramar
954.602.3267 / rhughes@miramarfl.gov

- Miramar Retail Center – Renovation and expansion of a retail plaza

Margaret Feldman – Vice President – Sunrise Community
305.273.3071 / mfeldman@sunrisegroup.org

- Eureka Power Plan – Emergency power plan for Eureka campus

Sasha Palmer – Project and Development Manager for Spin Car Wash
954.552.2959 / sasha@spincarwash.com

- Spin Car Wash / North Lauderdale – Ground-up construction of new car wash

Eric Houseman – Owner – StoveTop Restaurant Group
844.894.6757 ext. 706 / erichouseman@rocketmail.com

- Jersey Mike's / Doral – Under construction of restaurant build-out

Carlos Maguina – Owner – Mag USA
305.342.3333 / carlos@magusa.us

- Maguina Residence – New Pool, landscaping, pergola, BBQ, drainage and driveway

Michel El Haddad – Director of Design and Construction for Sun Holdings
972.620.2287 / melhaddad@sunholdings.net

- Popeye's / West Miami – Renovation of existing restaurant

Alejandro Orfanos – Development Manager for Sun Holdings
972.620.2287 / aorfanos@sunholdings.net

- Popeye's / West Miami - Renovation of existing restaurant
- Popeye's / Palm Coast – Ground-up construction of new restaurant

Alberto Marin – Project Manager – Miami-Dade County Public Schools
305.995.4706 / almarin@dadeschools.net

- Fairlawn Elementary School – Ground-up construction of two-story addition

Gavert Bucknor – South Florida Regional Manager for Sailorman
786.318.6287 / gbucknor@sailormen.com

- Popeye's / Homestead – Ground-up construction of new restaurant

Shawn Burkett – Senior Manager at Verdad Real Estate / Vertical CM
504.266.6738 / sburkett@verticalcm.com

- Emergency Power - Delivered and connected temporary power to various Burger King locations
- Popeye's / Homestead – Ground-up construction of new restaurant

Key Development Group – Real Estate Investment Fund
keydevgroup@gmail.com

- Provided development management & acquisition advisement on multiple real estate properties
- Properties range from multi-family to student housing

Michael Adrian Hernandez – VisualForm Associates – Designer & Owner's Representative
786.985.7124 – michael@visualformassociates.com

- Luxury Residence / Miami Beach – Design-build of custom home



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Architect References

Alyssa Kriplen – Principal – MAKwork, Inc.
305.310.2602 / alyssa@makwork.com

- **Amal Restaurant** – New construction of ground floor and rooftop restaurant and bar
- **Sofia Restaurant** - Renovation of existing restaurant and bar

Manuel D. Fernandez – Principal – V3 Architectural Group
305.559.1496 / manuel@v3architecturalgroup.com

- **HHA Warehouse Addition** – Ground-up construction of new warehouse facility

Emilio Lebolo III – President – One A Architecture
954.464.7201 / el@oneaarchitecture.com

- **Eureka Power Plan** – Emergency power plan for Eureka campus

Jose Miguel Silva – Principal – CMA Design Studio, Inc.
305.448.4200 / jsilva@cmadsi.com

- **Luxury Home / High Pines** – Under construction of 5,500 square foot residence

Lazaro Jose Rodriguez – President – LJR Architecture and Design Group, Inc.
786.556.9663 / ljrod71@gmail.com

- **Redland West – Phase V & VI** – Under construction of 40 ground-up townhomes

Chris Vidal – President – Gershen Associates
305.661.7122 / chris.vidal@gerschenassociates.com

- **Jersey Mike's** – Under construction of restaurant build-out



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Landlord and Property Management References

Nicola Termini – Project Manager / Tenant Coordination – Miami Design District Associates
954.232.6792 / Nicola@designdistrict.com

- **Sofia Restaurant** - Renovation of existing restaurant and bar

Alejandro Bonilla – Asset Management – The Allen Morris Company
305.343.6689 / Alejandro@allenmorris.com

- **Alhambra Corridors** – Construction of exterior storefront and ground floor corridor.

Gregory Zambrana – Assistant Property Manager – Jones Long LaSalle
305.338.6819 / Gregory.zambrana@am.jll.com

- **Amal Restaurant** – New construction of ground floor and rooftop restaurant and bar
- **Excel Sports Management** – Interior renovation
- **3480 Main Highway** – Renovation of lobby and entrance

Gerry Zambrana – Director of Facilities – Jones Long LaSalle
305.281.3457 / Gerry.zambrana.jr@@am.jll.com

- **Amal Restaurant** – New construction of ground floor and rooftop restaurant and bar
- **Excel Sports Management** – Interior renovation
- **3480 Main Highway** – Renovation of lobby and entrance

Jonathon Pavlov – Director of Asset Management - CGI
786.791.3136 / jpavlov@cgimg.com

- **Amal Restaurant** – New construction of ground floor and rooftop restaurant and bar

Brendan Fagan – Assistant Project Manager – Terra Group
305.379.5000 / bfagan@terragroup.com

- **Jersey Mike's** – Buildout of new Jersey Mike's Restaurant

Parker Israeli – Asset Management – Miramar Pembroke Management Partners
732.705.7360 / parker.israeli@gmail.com

- **Miramar Retail Center** – Renovation and expansion of a retail plaza



VERCETTI ENTERPRISES

Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Subconsultants

Vercetti Enterprises will contract the below subconsultants to assist in the design review, options analysis, constructability analysis, life cycle cost analysis and value engineering.

Vercetti Enterprises has worked together with each subconsultant on multiple projects.



JAVAD AHMAD PE, inc

Javad Ahmad P.E. Inc.

- Glazing
- Steel



Paramount Consulting and Engineering

- Glazing
- Waterproofing
- Roofing



Design AV, Inc.

- Low Voltage



Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Financial Resources

Bonding Capacity

Vercetti Enterprises currently has a bonding capacity of \$20 million per project and \$40 million aggregate.

Financial Capacity

Vercetti Enterprises has completed over \$40 million in projects and has financial means to purchase materials and equipment in advance to accelerate and maintain project schedules.

Credit Lines

Vercetti Enterprises has a \$1.5 million in credit line with Popular Bank. Vercetti has not used more than 25% in its history. The relationship between Vercetti and Popular Bank is very healthy. As such, Vercetti was chosen to build two of the latest bank branches; Sunrise and Miami Beach.



www.altersurety.com

March 29, 2022

Building Better Communities, Inc.
4780 North State Road 7
Lauderdale Lakes, FL. 33319

RE: VERCETTI ENTERPRISES LLC
Project: Construction Services For Tequesta Reserve

To Whom It May Concern:

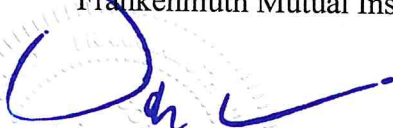
This is to advise you that our office provides Bid, Performance, and Payment Bonds for Vercetti Enterprises LLC. Their surety is Frankenmuth Mutual Insurance Company, which carries an A.M. Best Rating of A XI and listed in the Department of the Treasury's Federal Register.

Based upon normal and standard underwriting criteria at the time of the request, we anticipate providing Performance and Payment Bonds for single size jobs in the \$20,000,000 range and \$40,000,000 in the aggregate. These amounts should not be construed as a limit but rather a guide to handle their day-to-day needs. We obviously reserve the right to review all contractual documents, bond forms, and obtain satisfactory evidence of funding prior to final commitment to issue any bonds.

Vercetti Enterprises LLC., is an excellent contractor and we hold them in high regard. Obviously, we feel extremely confident in our contractor and encourage you to offer them an opportunity to execute the above referenced project.

This letter is not an assumption of liability. It is issued only as a bonding reference requested by our respected client. If you should have any questions, please do not hesitate to give me a call.

Sincerely,
Frankenmuth Mutual Insurance Company


Warren M. Alter
Attorney-in-Fact

FRANKENMUTH MUTUAL INSURANCE COMPANY

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, that Frankenmuth Mutual Insurance Company (the "Company"), a corporation duly organized and existing under the laws of the State of Michigan, having its principal office at 1 Mutual Avenue, Frankenmuth, Michigan 48787, does hereby nominate, constitute and appoint:

Warren M. Alter, Jonathan A. Bursevich, David T. Satine, Dawn Auspitz

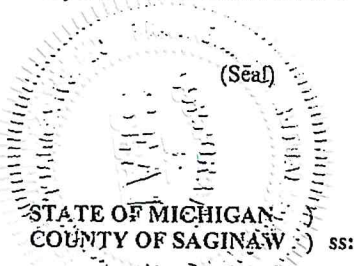
Their true and lawful attorney(s)-in-fact, each in their separate capacity if more than one is named above, to make, execute, seal, acknowledge and deliver any and all bonds, contracts and undertakings of suretyship, with the exception of Financial Guaranty Insurance, provided, however, that the penal sum of any one such instrument shall not exceed the sum of:

Fifty Million and 00/100 Dollars (\$50,000,000)

This Power of Attorney is granted pursuant to the following Resolution duly adopted at a meeting of the Board of Directors of Frankenmuth Mutual Insurance Company:

"RESOLVED, that the President, Senior Vice President or Vice President and each of them under their respective designations, hereby is authorized to execute powers of attorney, and such authority can be executed by use of facsimile signature, which may be attested or acknowledged by any officer of the Company, qualifying the attorney(s) named in the given power of attorney, to execute on behalf of, and acknowledge as the act and deed of Frankenmuth Mutual Insurance Company on all bonds, contracts and undertakings of suretyship, and to affix the corporate seal thereto."

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 10th day of September, 2018.



Frankenmuth Mutual Insurance Company

By Frederick A. Edmond, Jr.
Frederick A. Edmond, Jr.,
President and Chief Operating Officer

Sworn to before me, a Notary Public in the State of Michigan, by Frederick A. Edmond, Jr., to me personally known to be the individual and officer described in, and who executed the preceding instrument, deposited and said the Corporate Seal and his signature as Officer were affixed and subscribed to said instrument by the authority of the Company.

IN TESTIMONY WHEREOF, I have set my hand, and affixed my Official Seal this 10th day of September, 2018.

Dianne L. Voss (Seal)
Dianne L. Voss, Notary Public
Saginaw County, State of Michigan
My Commission Expires July 23, 2024

I, the undersigned, Vice President of Frankenmuth Mutual Insurance Company, do hereby certify that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and is in full force and effect as of this date.

IN WITNESS WHEREOF, I have set my hand and affixed the Seal of the Company, this 29th day of March, 2022.

Andrew H. Knudsen
Andrew H. Knudsen, Vice President

ALL CORRESPONDENCE RELATED TO BOND VALIDATION AND/OR A CLAIM SHOULD BE DIRECTED
TO THE DIRECTOR OF SURETY, 701 US ROUTE ONE, SUITE 1, YARMOUTH, ME 04096



VERCETTI ENTERPRISES

Design-Build | Construction | General Contracting

RE: RFP-4763-23-WV – Construction Manager at Risk Services for the Arts and Culture Center Expansion Project – Legal Proceedings and Performance

Vercetti Enterprises has not been terminated and has not been subject to liquidated damages from a project.

Vercetti Enterprises has no lawsuits, administrative proceedings or hearings initiated by the National Labor Relations Board.

Vercetti Enterprises has no lawsuits, administrative proceedings or hearings initiated by the Occupational Safety and Health Administration.

Vercetti Enterprises has never filed for bankruptcy.

Vercetti Enterprises has never had to use bonding moneys to complete a project or pay a subconsultant or supplier.

FORM 2

ACKNOWLEDGMENT AND SIGNATURE PAGE

This form must be completed and submitted by the date and the time of bid opening.

Legal Company Name (include d/b/a if applicable): Vercetti Enterprises, LLC

If Corporation - Date Incorporated/Organized: 9/30/2016 Federal Tax Identification Number: 81-4022045

State Incorporated/Organized: 9/30/2016

Company Operating Address: 7296 SW 48 Street

City: Miami State: FL Zip Code: 33155

Remittance Address (if different from ordering address):


City: _____ State: _____ Zip Code: _____

Company Contact Person: Danial Vercetti Email Address: DV@Vercetti.net

Phone Number (include area code): (305)517-3772 Fax Number (include area code): _____

Company's Internet Web Address: vercetti.net

IT IS HEREBY CERTIFIED AND AFFIRMED THAT THE BIDDER/PROPOSER CERTIFIES ACCEPTANCE OF THE TERMS, CONDITIONS, SPECIFICATIONS, ATTACHMENTS AND ANY ADDENDA. THE BIDDER/PROPOSER SHALL ACCEPT ANY AWARDS MADE AS A RESULT OF THIS SOLICITATION. BIDDER/PROPOSER FURTHER AGREES THAT PRICES QUOTED WILL REMAIN FIXED FOR THE PERIOD OF TIME STATED IN THE SOLICITATION.

Bidder/Proposer's Authorized Representative's Signature:  Date: 2/13/2023

Type or Print Name: Danial Vercetti

THE EXECUTION OF THIS FORM CONSTITUTES THE UNEQUIVOCAL OFFER OF BIDDER/PROPOSER TO BE BOUND BY THE TERMS OF ITS PROPOSAL. FAILURE TO SIGN THIS SOLICITATION WHERE INDICATED BY AN AUTHORIZED REPRESENTATIVE SHALL RENDER THE BID/PROPOSAL NON-RESPONSIVE. THE CITY MAY, HOWEVER, IN ITS SOLE DISCRETION, ACCEPT ANY BID/PROPOSAL THAT INCLUDES AN EXECUTED DOCUMENT WHICH UNEQUIVOCALLY BINDS THE BIDDER/PROPOSER TO THE TERMS OF ITS OFFER.

SUBMISSION

How to submit bids/proposals: Vendor's solicitation response may be submitted electronically through OpenGov, the City's designated electronic bidding system. It is the Vendor's sole responsibility to assure its response is submitted and received by the date and time specified in the solicitation. Any timeframe references are in Eastern Standard Time. The official time for electronic submittals is OpenGov's servers, as synchronized with the atomic clock. All parties without reservation will accept the official time.

Important Notice:

The Procurement Services Division shall distribute all official changes, modifications, responses to questions or notices relating to the requirements of this document. Any other information of any kind from any other source shall not be considered official, and bidders relying on other information do so at their own risk.

The responsibility for submitting a bid/proposal on or before the time and date is solely and strictly the responsibility of the bidder/proposer, the City will in no way be responsible for delays caused by technical difficulty or caused by any other occurrence. No part of a bid/proposal can be submitted via FAX or via direct Email to the City. No variation in price or conditions shall be permitted based upon a claim of ignorance.

FORM 5

HOLD HARMLESS AND INDEMNITY CLAUSE

Vercetti Enterprises, LLC / Danial Vercetti /



(Company Name and Authorized Signature, Print Name)

, the contractor, shall indemnify, defend and hold harmless the City of Hollywood, its elected and appointed officials, employees and agents for any and all suits, actions, legal or administrative proceedings, claims, damage, liabilities, interest, attorney's fees, costs of any kind whether arising prior to the start of activities or following the completion or acceptance and in any manner directly or indirectly caused, occasioned or contributed to in whole or in part by reason of any act, error or omission, fault or negligence whether active or passive by the contractor, or anyone acting under its direction, control, or on its behalf in connection with or incident to its performance of the contract.



Signature

Danial Vercetti

Printed Name

Vercetti Enterprises, LLC

Name of Company

President

Title

FORM 6

NON-COLLUSION AFFIDAVIT

STATE OF: FL

COUNTY OF: Miami Dade, being first duly sworn, deposes and says that:

- (1) He/she is President of Vercetti Enterprises, LLC, the Proposer that has submitted the attached Proposal.
- (2) He/she has been fully informed regarding the preparation and contents of the attached Proposal and of all pertinent circumstances regarding such Proposal;
- (3) Such Proposal is genuine and is not a collusion or sham Proposal;
- (4) Neither the said Proposer nor any of its officers, partners, owners, agents, representatives, employees or parties in interest, including this affiant has in any way colluded, conspired, connived or agreed, directly or indirectly with any other Proposer, firm or person to submit a collusive or sham Proposal in connection with the contractor for which the attached Proposal has been submitted or to refrain from bidding in connection with such contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Proposer, firm or person to fix the price or prices, profit or cost element of the Proposal price or the Proposal price of any other Proposer, or to secure an advantage against the City of Hollywood or any person interested in the proposed Contract; and
- (5) The price or prices quoted in the attached Proposal are fair and proper and are not tainted by any collusion, conspiracy, connivance or unlawful agreement on the part of the Proposer or any of its agents, representatives, owners, employees, or parties in interest, including this affiant.



Danial Vercetti

Signature

Printed Name

Vercetti Enterprises, LLC

President

Name of Company

Title

FORM 7

SWORN STATEMENT PURSUANT TO SECTION 287.133 (3) (a) FLORIDA STATUTES ON PUBLIC ENTITY CRIMES

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY
PUBLIC OR OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS

1. This form statement is submitted to the City of Hollywood by
Danial Vercetti for Vercetti Enterprises, LLC
(Print individual's name and title) (Print name of entity submitting sworn statement)
whose business address is
7296 SW 48th Street, Miami, FL 33155
and if applicable its Federal Employer Identification Number (FEIN) is 81-4022045. If the
entity has no FEIN, include the Social Security Number of the individual signing this sworn
statement.
-

2. I understand that "public entity crime," as defined in paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States, including, but not limited to, any bid, proposal, reply, or contract for goods or services, any lease for real property, or any contract for the construction or repair of a public building or public work, involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misinterpretation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in an federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that "Affiliate," as defined in paragraph 287.133(1)(a), Florida Statutes, means:
1. A predecessor or successor of a person convicted of a public entity crime, or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
- 5 I understand that "person," as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or any entity organized under the laws of any state or of the

United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

6. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Please indicate which statement applies.)

X Neither the entity submitting sworn statement, nor any of its officers, director, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime, but the Final Order entered by the Hearing Officer in a subsequent proceeding before a Hearing Officer of the State of the State of Florida,

Division of Administrative Hearings, determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. (attach a copy of the Final Order).

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THAT PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017 FLORIDA STATUTES FOR A CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.



(Signature)

Sworn to and subscribed before me this 13th day of February, 2023.

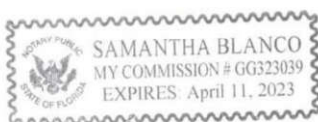
Personally known X

Or produced identification Notary Public-State of FL

my commission expires 4/11/2023
(Type of identification)



(Printed, typed or stamped commissioned name of notary public)



FORM 8

CERTIFICATIONS REGARDING DEBARMENT, SUSPENSION AND OTHER RESPONSIBILITY MATTERS

The applicant certifies that it and its principals:

- (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible, sentenced to a denial of Federal benefits by a State or Federal court, or voluntarily excluded from covered transactions by any Federal department or agency;
- (b) Have not within a three-year period preceding this application been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State, or local) transaction or contract under a public transaction, violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
- (c) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (b) of this certification; and
- (d) Have not within a three-year period preceding this application had one or more public transactions (Federal, State, or local) terminated for cause or default.

Applicant Name and Address:

Vercetti Enterprises, LLC

7296 SW 48th Street, Miami, FL 33155

Application Number and/or Project Name:

RFP-4763-23-WV

CMAR Services for the Art and Culture Center Expansion Project

Applicant IRS/Vendor Number: FEI/EIN Number :81-4022045



Signature

Danial Vercetti

Printed Name

Vercetti Enterprises, LLC

Name of Company

President

Title

FORM 9

DRUG-FREE WORKPLACE PROGRAM

IDENTICAL TIE PROPOSALS - Preference shall be given to businesses with drug-free workplace programs. Whenever two or more bids which are equal with respect to price, quality, and service are received by the State or by any political subdivision for the procurement of commodities or contractual services, a bid received from a business that certifies that it has implemented a drug-free workplace program shall be given preference in the award process. Established procedures for processing tie proposals will be followed if none of the tied vendors have a drug-free workplace program. In order to have a drug-free workplace program, a business shall:

1. Publish a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the workplace and specifying the actions that will be taken against employees for violations of such prohibition.
2. Inform employees about the dangers of drug abuse in the workplace, the business's policy of maintaining a drug-free workplace, any available drug counseling, rehabilitation, and employee assistance programs, and the penalties that may be imposed upon employees for drug abuse violations.
3. Give each employee engaged in providing the commodities or contractual services that are under bid a copy of the statement specified in subsection (1).
4. In the statement specified in subsection (1), notify the employee that, as a condition of working on the commodities or contractual services that are under bid, the employee will abide by the terms of the statement and will notify the employer of any conviction of, or plea of guilty or nolo contendere to, any violation of chapter 893 or of any controlled substance law of the United States or any state, for a violation occurring in the workplace no later than five (5) days after such conviction.
5. Impose a sanction on, or require the satisfactory participation in a drug abuse assistance or rehabilitation program (if such is available in the employee's community) by, any employee who is so convicted.
6. Make a good faith effort to continue to maintain a drug-free workplace through implementation of these requirements.

As the person authorized to sign the statement, I certify that this firm complies fully with the above requirements.



Signature

Danial Vercetti

Printed Name

Vercetti Enterprises, LLC

Name of Company

President

Title

FORM 10

SOLICITATION, GIVING, AND ACCEPTANCE OF GIFTS POLICY

Florida Statute 112.313 prohibits the solicitation or acceptance of Gifts. "No Public officer, employee of an agency, local government attorney, or candidate for nomination or election shall solicit or accept anything of value to the recipient, including a gift, loan, reward, promise of future employment, favor, or service, based upon any understanding that the vote, official action, or judgment of the public officer, employee, local government attorney, or candidate would be influenced thereby." The term "public officer" includes "any person elected or appointed to hold office in any agency, including any person serving on an advisory body."

The City of Hollywood/Hollywood CRA policy prohibits all public officers, elected or appointed, all employees, and their families from accepting any gifts of any value, either directly or indirectly, from any contractor, vendor, consultant, or business with whom the City/CRA does business.

The State of Florida definition of "gifts" includes the following:

- Real property or its use,
- Tangible or intangible personal property, or its use,
- A preferential rate or terms on a debt, loan, goods, or services,
- Forgiveness of indebtedness,
- Transportation, lodging, or parking,
- Food or beverage,
- Membership dues,
- Entrance fees, admission fees, or tickets to events, performances, or facilities,
- Plants, flowers or floral arrangements
- Services provided by persons pursuant to a professional license or certificate.
- Other personal services for which a fee is normally charged by the person providing the services.
- Any other similar service or thing having an attributable value not already provided for in this section.

Any contractor, vendor, consultant, or business found to have given a gift to a public officer or employee, or his/her family, will be subject to dismissal or revocation of contract.

As the person authorized to sign the statement, I certify that this firm will comply fully with this policy.



Signature

Danial Vercetti

Printed Name

Vercetti Enterprises, LLC

Name of Company

President

Title