

ATTACHMENT A
Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF
submission (max. 25mb)
- Completed Application
Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- | | | |
|---|---|--|
| ☐ Technical Advisory Committee | ☐ Art in Public Places Committee | ☐ Variance |
| ☐ Planning and Development Board | ☐ Historic Preservation Board | ☐ Special Exception |
| ☐ City Commission | ☐ Administrative Approval | |

PROPERTY INFORMATION

Location Address: 824 POLK STREET

Lot(s): 25 Block(s): 72 Subdivision: SECTION 1-32 B

Folio Number(s): 514214024270

Zoning Classification: RS-6 Land Use Classification: RESIDENTIAL

Existing Property Use: RESIDENTIAL - VACANT LAND Sq Ft/Number of Units: 6,400 SQFT

Is the request the result of a violation notice? ☐ Yes ☐ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): YES / RESOLUTION PENDING / LOT DIVISION APPROVED #24-V-17

DEVELOPMENT PROPOSAL

Explanation of Request: NEW SINGLE FAMILY HOME

Phased Project: Yes ☐ No ☒ Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: 1 #Rooms 5
Proposed Non-Residential Uses	S.F.)
Open Space (% and SQ.FT.)	Required %: 45.69 (Area: 2,922 S.F.)
Parking (# of spaces)	PARK. SPACES: (# 5)
Height (# of stories)	(# STORIES) 2 (30 FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (3,465 FT.)

Name of Current Property Owner: BIDASK LADRILLO LLC

Address of Property Owner: 2501 S OCEAN DR STE 105, HOLLYWOOD, FL 33019

Telephone: (786) 262-7546 Email Address: oscar@lobainc.com

Applicant YOANN ANDREU Consultant ☐ Representative ☐ Tenant ☐

Address: 1025 92ND ST, #701, BAY HARBOR IS., FL 33154 Telephone: (786) 218-3072

Email Address: yoann@andreustudio.com

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Christian Rene Gardel Date: 05/17/2024

PRINT NAME: Christian Rene Gardel Date: 05/17/2024

Signature of Consultant/Representative: YOANN ANDREU Date: 5/14/2024

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me 05/17/2024
this 17th day of May

Notary Public - State of Florida
Signature of Notary Public
Bruce Toledo

Bruce Toledo
Commission # HH 284846
Notary Public - State of Florida
My Commission Expires Sep 09, 2026

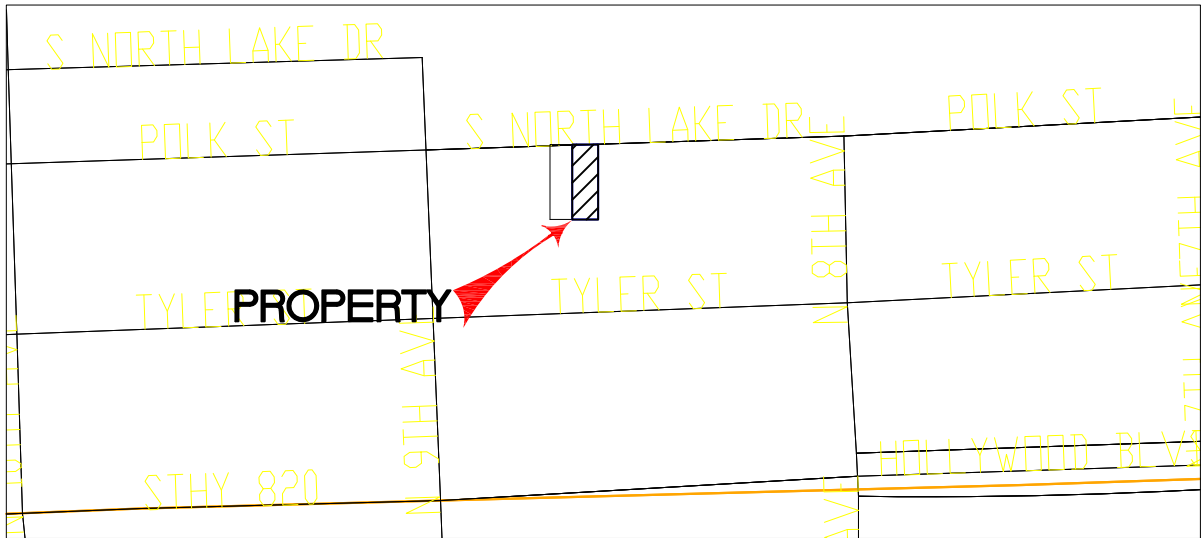
Signature of Current Owner

Print Name

My Commission Expires: 9-26 (Check One) ☐ Personally known to me; OR ☐ Produced Identification Passport

LOCATION SKETCH

SCALE: NTS



JOB No. 24-03824L25 CLIENT: BIDASK LADRILLO LLC

PROPERTY ADDRESS 824 POLK ST HOLLYWOOD FL 33019 FOLIO: 514214024270

LEGAL DESCRIPTION: (FURNISHED BY CLIENT)

LOT 25, BLOCK 72

SUBDIVISION HOLLYWOOD LAKES

ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 32

OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHT-OF-WAY OF RECORD, UNDERGROUND ENCROACHMENTS IF ANY, NOT LOCATED.

SURVEYOR'S NOTES:

- 1-) IF SHOWN, BEARINGS AND ANGLES ARE REFEREED TO SAID PLAT IN LEGAL DESCRIPTION.
- 2-) THE RELATIVE CLOSURE IN THE FIELD MEASURED BOUNDARY IS BETTER THAN: 1 FOOT IN 7,500 FEET; LINEAR (SUBURBAN).
- 3-) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. THEREFORE, THERE MAY BE RESTRICTIONS ON THIS PARCEL THAT ARE NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. NO EXPRESSED OR IMPLIED DETERMINATION OF TITLE OR OWNERSHIP TO THE LAND DESCRIBED IS MADE.
- 4-) THERE MAY BE UNDERGROUND UTILITY LOCATIONS AND SUBSURFACE FEATURES WITHIN THE PARCEL THAT ARE NOT SHOWN. THERE IS NO VISIBLE SURFACE OR OVERHEAD ENCROACHMENT, OTHER THAN SHOWN ON THIS SURVEY.
- 5-) IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY DRAWING WITHOUT THE PRIOR WRITTEN CONSENT OF THE SURVEYOR.
- 6-) INFORMATION OF TREE IF PROVIDED: DIAMETER (Ø), HEIGHT (H), CANOPY SHADE (CS). ALL NAMES ARE NOTED TO SURVEYORS ABILITY. SURVEYOR IS NOT AN ARBORIST AND CANNOT PROVIDE SCIENTIFIC NAMES OF TREE AND OR PLANTS.
- 7-) SURVEYOR DOES NOT DETERMINE OWNERSHIP OF FENCE, ONLY EXISTING LOCATION IS REPRESENTED.
- 8-) FLOOD ZONE DETERMINATION MUST BE CONFIRMED BY AUTHORIZED OFFICIAL PRIOR TO CONSTRUCTION AND/OR DESIGN.
- 9-) ELEVATION INFORMATION: (IF APPLICABLE): THESE ELEVATIONS WERE MEASURED USING SURVEY- GRADE GLOBAL POSITION SYSTEM EQUIPMENT, THAT UTILIZES THE F.D.O.T. PERMANENT REFERENCE NETWORK AS ITS HIGH ACCURACY REFERENCE NETWORK (H.A.R.N)

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR

REVISED ON 08-18-14 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE

BASE FLOOD ELEVATION 5.0 COMMUNITY 125113 PANEL NUMBER 0588 SUFFIX H

ELEVATIONS(WHEN SHOWN) REFER TO N.A.V.D. 1988 DATUM,

COUNTY BENCHMARK USED #1915 ELEVATIONS 1.67' FEET B.M. LOCATION HWY A-1-A
SR 820

CERTIFIED TO:

BIDASK LADRILLO LLC



Professional Land Surveyors, Mapper
CERTIFICATE No.L.B. 8064
STATE OF FLORIDA
Main Line: (305) 901-1317
Fax: (305) 901-1323

BY: _____

LEONARDO MAQUEIRA, P.S.M
CERTIFICATE No.L.S.-6992
STATE OF FLORIDA

SURVEY DATE: 03-05-2024

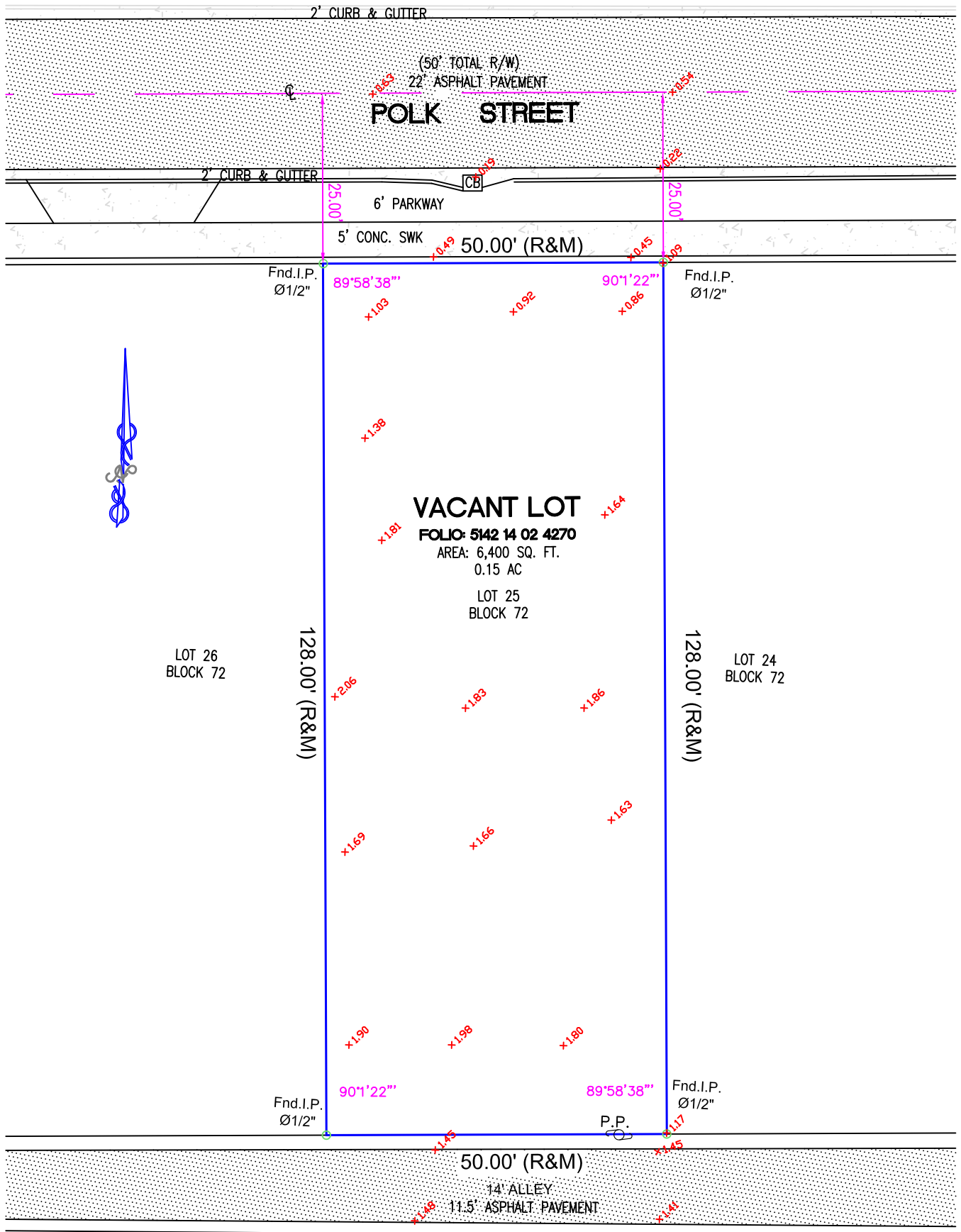
"NOT VALID WITHOUT THE SIGNATURE, DATE AND THE ORIGINAL RAISED SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS DIGITALLY SIGNED WITH
SIGNATURE & CERTIFICATE"



MAQ SERVICES, INC.
Professional Land Surveyors, Mapper
CERTIFICATE No.L.B. 8064
STATE OF FLORIDA
Main Line: (305) 901-1317
Fax: (305) 901-1323

PAGE 2 OF 2
NOT VALID WITHOUT PAGE 1 OF 2
JOB No. 24-03824L25
SCALE: 1" = 20'

BOUNDARY SURVEY



LEGEND AND ABBREVIATIONS

0.00 = ELEVATION	F.N. = FOUND NAIL	E.M. = ELECTRIC METER	 = CONCRETE FOUNDATION
DRWY. = DRIVEWAY	P.O.C. = POINT OF COMMON-CEMENT	P.I. = POINT OF INTERSECTION	Δ = CENTRAL ANGLE
U.P. = UTILITY POLE	F.D.H. = FOUND DRILL HOLE	P.R.C. = POINT OF REVERSE CURVE	-//-- = WOOD FENCE
B.O.B. = BASIS OF BEARINGS	P.T. = POINT OF TANGENCY	P.C. = POINT OF CURVATURE	-X- = CHAIN LINK FENCE
A/C = AIR CONDITIONING PAD	E.N.C. = ENCROACHMENT	F.N.D. = FOUND NAIL/DISK	 = C.B.S. WALL
A = ARC DISTANCE	F.H. = FIRE HYDRANT	P.C.C. = POINT OF COMPOUND CURVE	B/C = BLOCK CORNER
BLDG. = BUILDING	F.I.P. = FOUND IRON PIPE	M/L = MONUMENT LINE	R = RADIUS
C.B. = CATCH BASIN	F.I.R. = FOUND REBAR	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	RAD. = RADIAL
C.B.S. = CONCRETE BLOCK STRUCTURE	I.F.E. = LOWEST FLOOR ELEVATION	O.E. = OVERHEAD ELECTRIC LINE	RES. = RESIDENCE
CH. = CHORD DISTANCE	I.P. = LIGHT POLE	P.B. = PLAT BOOK	R/W = RIGHT OF WAY
CL. = CLEAR	(M) = MEASURED	P.C.P. = PERMANENT CONTROL POINT	SEC. = SECTION
C/L = CENTER LINE	(R) = RECORD	P.G. = PAGE	S.I.P. = SET IRON PIPE
CONC. = CONCRETE	(R & M) = RECORD & MEASURED	P.O.B. = POINT OF BEGINNING	STY = STORY
		P/L = PROPERTY LINE	SWK = SIDEWALK
		N.T.S. = NOT TO SCALE	UE. = UTILITY EASEMENT
			 = OVERHEAD ELECTRIC
			 = UTILITY CONC. POLE
			 = WATER METER

BELLE COAST GROUP, Inc.

2475 NE 135th Street, North Miami, FL 33181

Phone: (786) 218-3072 www.bellecoast.com

License #AR102136

CERTIFICATE OF APPROPRIATENESS FOR DESIGN

The applicant is proposing the construction of a new two-story single-family residence located at 824 Polk Street in the Single Family Residential District (RS-6).

According to information from the Broward County Property Appraiser, the subject property is currently a vacant lot and does not contain any existing structure.

The proposed design consists of a two-story modern subtropical residence with approximately 3,500 square feet of air-conditioned space, a pool and deck, landscaping, and vehicular access from both the street and rear alleyway.

The proposed design adheres to all current zoning and building code requirements, including setbacks, height limitations, and flood elevation standards. The project is designed to enhance the architectural quality of the Lakes District while maintaining compatibility with the surrounding neighborhood.

This application for the Certificate of Appropriateness for Design is submitted to ensure compliance with the standards set forth by the City of Hollywood's Zoning and Land Development Regulations, specifically Section 5.6.F., and to demonstrate the project's consistency with the Lakes Area Multiple Resource Listing District guidelines.

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DESIGN

A decision on an application for a Certificate of Appropriateness for Design for new building construction shall be based on the evaluation of the compatibility of the proposed alteration or improvement with and adherence to the criteria for designation listed in SS 5.6.F.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed development is consistent with the goals, objectives, and policies of the City of Hollywood Comprehensive Plan. The new single-family residence supports low-density residential land use, reinforces neighborhood character, and enhances the long-term sustainability of the Lakes District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The proposed project aligns with the City-wide Master Plan by promoting architectural quality, residential reinvestment, and context-sensitive design. The home's orientation, scale, and landscape integration contribute to the pedestrian character and livability of the neighborhood.

CONSISTENCY WITH THE LAKES AREA MULTIPLE RESOURCE LISTING DISTRICT NEIGHBORHOOD PLAN

The design for 824 Polk Street adheres to the intent of the Lakes Area District guidelines by preserving neighborhood continuity while encouraging contemporary expressions of coastal architecture. The project contributes to the visual diversity and architectural evolution of the district through scale, proportion, and refined subtropical detailing.

MANDATORY CRITERIA: INTEGRITY OF LOCATION, DESIGN, SETTING, MATERIALS, WORKMANSHIP, AND ASSOCIATION

Criteria: Integrity of Location

Analysis:

The integrity of the location will not be compromised. The proposed residence conforms to all zoning requirements, including setbacks, height, and green space provisions.

The scale of the home is proportional to adjacent properties and will be smaller in massing compared to several neighboring two-story homes.

The design situates the home naturally within the context of the block, maintaining alignment with established street patterns and open space rhythm.

Finding: Consistent

Criteria: Design

Analysis:

The proposed design reflects a modern subtropical aesthetic characterized by clean lines, layered planes, and shaded volumes that respond to light and climate.

The home's composition incorporates horizontal slab projections, screened terraces, and warm material finishes, creating a sense of refined tropical minimalism.

The design is compatible with other contemporary residences within the Lakes District while avoiding direct imitation of historic styles, consistent with preservation guidelines.

Finding: Consistent

Criteria: Setting

Analysis:

The property's setting will be enhanced by the introduction of landscaped open areas, a front setback garden, and a side and front pool terraces.

The massing along Polk Street is mitigated through first-floor recesses, side setbacks, and reducing perceived height and bulk.

The project maintains visual harmony with the streetscape and complements both the historic character and modern evolution of the district.

Finding: Consistent

Criteria: Materials

Analysis:

The proposed materials include stucco finishes, composite wood, and aluminum-framed windows with clear glazing.

The driveway and walkways will utilize permeable grass block pavers, promoting environmental sustainability and minimizing impervious coverage.

The project integrates 40% green space at grade level as required by zoning, and sustainability measures such as solar panel installation and energy-efficient glazing systems.

Finding: Consistent

Criteria: Workmanship

Analysis:

All construction will be executed by licensed and insured contractors, meeting or exceeding standards established by the Florida Building Code and the City of Hollywood.

Workmanship will be monitored to maintain a high level of quality control, ensuring durability, precision, and compliance with architectural intent.

Finding: Consistent

Criteria: Association

Analysis:

The new residence's massing, proportion, and rhythm are compatible with existing homes in the neighborhood. The project's architectural language—defined by balance, proportion, and subtropical simplicity—strengthens the area's evolving identity while preserving the sense of scale and residential continuity. The design contributes positively to the Lakes District's architectural diversity and long-term neighborhood character.

Finding: Consistent

CONCLUSION

The proposed new residence at 824 Polk Street meets all requirements for a Certificate of Appropriateness for Design under the City of Hollywood's Historic Preservation Ordinance. The project demonstrates architectural compatibility, contextual sensitivity, and compliance with all relevant zoning and historic district criteria.

Recommendation: Approval of Certificate of Appropriateness for Design.

HOLLYWOOD RESIDENCE

824 POLK ST, HOLLYWOOD, FL 33019
FOLIO: 514214024270 , HOLLYWOOD LAKES SECTION 1-32 B LOT 25 BLK 72



PROJECT TEAM

DESIGNER
BELLE COAST GROUP, Inc.
Yoann Andreu
1025 92nd St #701
Bay Harbor Islands, FL 33154
andreu@bellescoast.com
(786) 218-3072

ARCHITECT OF RECORD
Dennis Lytkine
lytkinedennis@gmail.com
16 Monroe St #J0D3
New York, NY 10002
(347) 830-5763
License #AR102136

CIVIL ENGINEER
Catarina Engineering, LLC
Enelise Michaels
6330 N Andrews Ave #271
Fort Lauderdale, FL 33309
emichaels@catarinaengineering.com
(561) 929-0876
License #84162

LANDSCAPE ARCHITECT
Flora Landscape Architecture, Inc.
Shaylin Castillo
11431 Northwest 21st Street
Pembroke Pines, FL 33026
ShayC@floraladesign.com
(786) 660-1097
License #LA6667593

DRAWING INDEX

ARCHITECTURAL

T-1	COVER SHEET + PROJECT INFORMATION
SP-1	SITE PLAN AND SITE DATA
SP-2	NEIGHBORS PHOTOGRAPHY
SP-3	STREET PROFILE VIEW
SP-3.1	STREET VIEW
SP-4	SUBJECT PROPERTY
A-101	GARAGE FLOOR PLAN
A-102	GROUND FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-104	ROOF PLAN
A-301	NORTH ELEVATIONS
A-302	WEST ELEVATION
A-303	EAST ELEVATION
A-304	SOUTH ELEVATION
A-401	SECTION VIEWS
A-402	SECTION VIEW
A-501	RENDERINGS
A-502	RENDERINGS
A-503	MATERIAL SCHEDULES
A-504	MID-CENTURY MODERN INSPIRATIONS

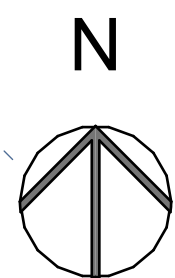
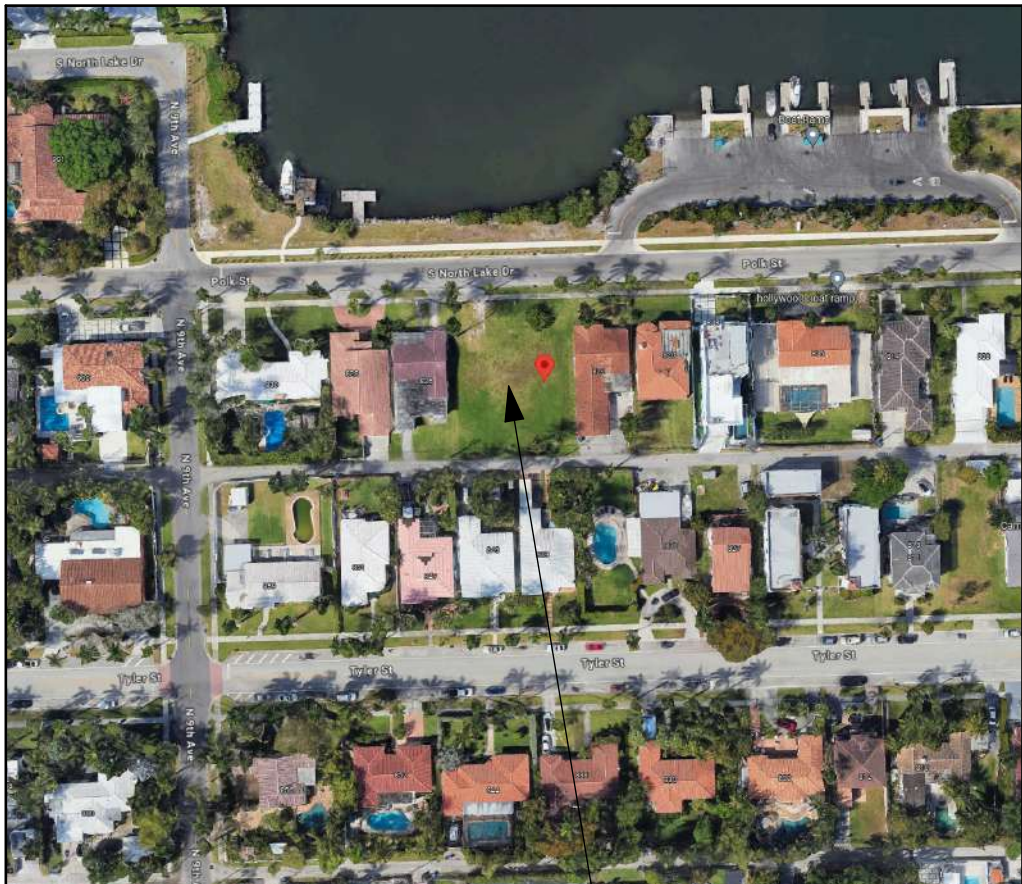
CIVIL

C-1	EROSION CONTROL PLAN
C-2	ENGINEERING PLAN & SECTIONS
C-3	CONSTRUCTION NOTES & DETAILS
C-4	CONSTRUCTION NOTES & DETAILS

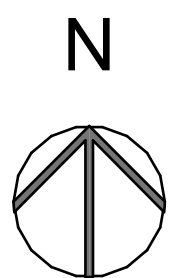
LANDSCAPE

TD-1	TREE DESPOSITION PLAN
L-1	PROPOSED LANDSCAPE PLAN
L-2	TYPICAL LANDSCAPE DETAILS
L-3	COLORLED LANDSCAPE PLAN

LOCATION MAP



AERIAL



BELLE COAST
LIFESTYLE PROPERTIES

THE DRAWINGS AND INFORMATION CONTAINED
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BELLE COAST GROUP, Inc.

1025 92nd St #701
Bay Harbor Islands, FL 33154
andreu@bellescoast.com
(786) 218-3072

PROJECT:

824 POLK ST
HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

DATE: 11/15/2024

REVISION

DATE:

DRAFTED BY:

SCALE:

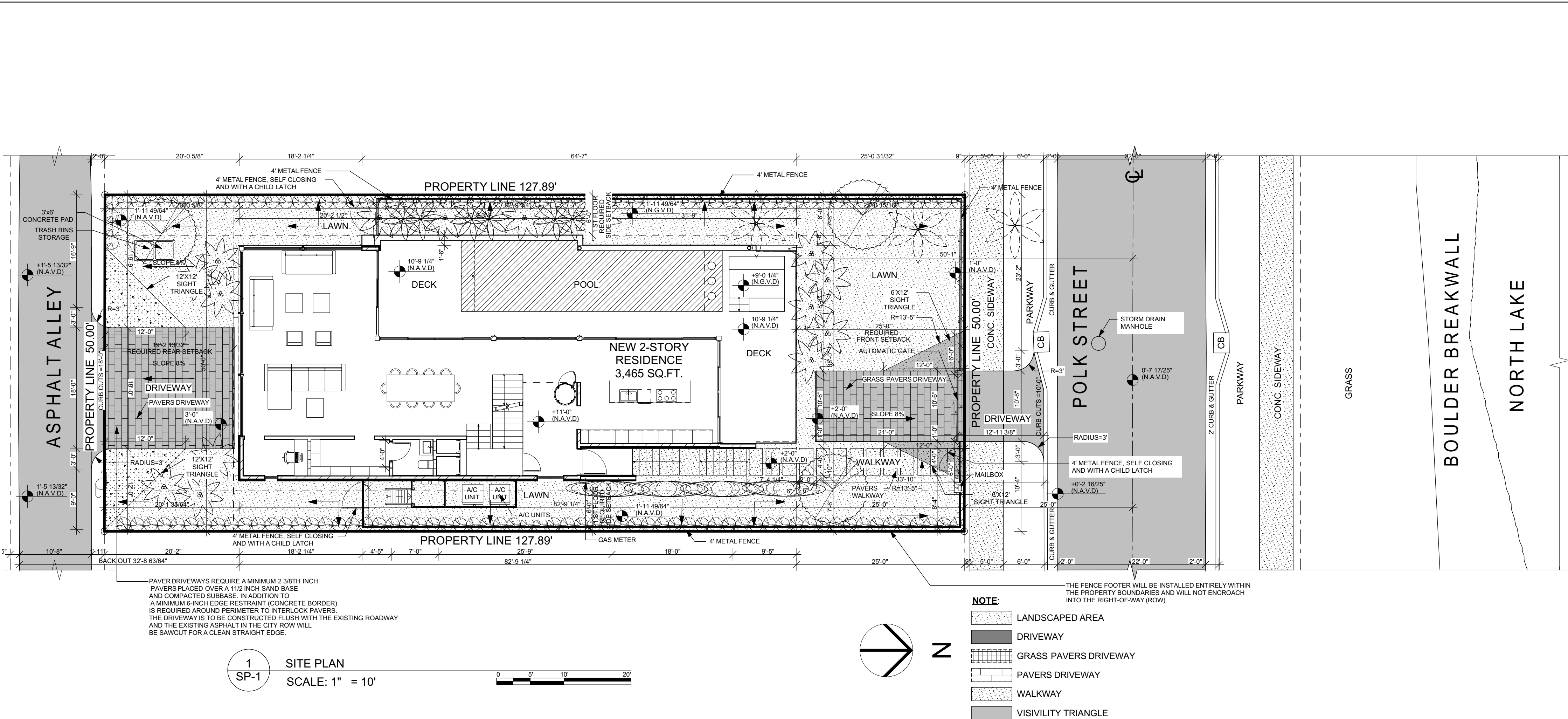
CONSULTANTS:

COVER SHEET +
PROJECT
INFORMATION

T-1

DRAWN BY:

B.C.



GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #0-2015-06	
1. RADIANT BARRIER ROOF - SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL REFLECTIVE 2. WINDOWS AND GLAZING LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25 3. DOORS INSULATED AND FIRE RATED 4. ENERGY STAR ROOFING SEALOFLEX COOL ROOF - REFLECTO WHITE. 5.PROGRAMMABLE THERMOSTATS 6. OCCUPANCY SENSORS 7. DUAL FLUSH TOILETS 8. 80% OF PLANT MATERIAL NATIVE 9. ENERGY EFFICIENT OUTDOOR LIGHTING 10. INSULATED PIPING 11. RECYCLING AREA 12. ENERGY STAR APPLIANCES 13. ONE LOW FLOW SHOWERHEAD 14. ENERGY EFFICIENT OUTDOOR LIGHTING 15. ENERY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE. 16. MERV 8 AC FLITERS	
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLYUSED AREAS.	
SITE LIGHTING NOTE: SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONE OR RESIDENTIALLYUSED AREAS.	

PER NFPA 1, 12.3.2* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.	NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIERS THAT MINIMUM RADIO SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTANED ATA LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYNG WITH NFPA T2 (2013 EDITOR) BDA SYSTEM MAY BE REQUIERED	A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA SYSTEM	ALL CHANGES TO THE DESIGN WILL REQUIRE PLANING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.	FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.	ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
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NOTE: BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION	ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE MC-1 ZONING DISTRICT. SEPARATE PERMIT ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.	NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.	FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS . AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.	FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS.AT THE TIME OF BUILDING PERMIT THE FEMABASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLAINT	TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.	NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT	ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE HOLLYWOOD LAKES SECTION 1-32 B LOT 12.13 BLK 74 RS-6 ZONING DISTRICT
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PROPERTY ADDRESS		
824 POLK STREET HOLLYWOOD, FL 33019		
FOLIO # 514214024270		
LEGAL DESCRIPTION HOLLYWOOD LAKES SECTION 1-32 B LOT 25 BLK 72		
SITE INFORMATION	EXISTING	PROPOSED
ZONING	RS-6	RS-6
SUB-DISTRICT	N/A	N/A
BUILDING USE	VACANT LOT	SINGLE FAMILY HOME
LAND USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
COUNTY USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
NET LOT AREA	6,395 SQFT- 0.146 ACRES 6,395 SQFT- 0.146 ACRES	6,395 SQFT- 0.146 ACRES 6,395 SQFT- 0.146 ACRES
BASE FLOOD ZONE	AE - 8'-0" NAVD	
BUILDING INTENSITY	ALLOWED	PROVIDED
FAR	N/A	N/A
A/C AREA	1000 SF	3465.65 SF
BUILDING FOOTPRINT	N/A	2912.00 SF
PROPOSED DWELLING	1	1
NUMBER OF FLOORS	2	2
BUILDING HEIGHT	30'-0"	26'-2 1/2"
PARKING CALCULATION	REQUIRED	PROVIDED
PARKING SPACE	5	5
SETBACKS:	REQUIRED	PROVIDED
FRONT (NORTH)	25'-0"	25'-0"
REAR (SOUTH)	19.17'	19.17'
EAST SIDE 1ST FLOOR	6'-0"	7'-6"
EAST SIDE 2ND FLOOR	7'-6"	7'-6"
WEST SIDE 1ST FLOOR	6'-0"	6'-0"
WEST SIDE 2ND FLOOR	7'-6"	7'-6"
LANDSCAPE	REQUIRED	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, WALKWAYS & DRIVEWAYS	N/A	3584.08 SF (56.04%)
PERVIOUS AREA LANDSCAPE AREAS	2238.25 SF (40%)	3271.01 SF (51.14%)
FRONT LANDSCAPE AREA	250.00 SF (20%)	923.00 SF (73.84%)
BUILDING AREA	REQUIRED	PROVIDED
FIRST FLOOR (A/C AREA)	N/A	1,578.87 SF
SECOND FLOOR (A/C AREA)	N/A	1,923.12 SF
TOTAL (A/C AREA)		3501.99 SF

BELLE COAST

LIFESTYLE PROPERTIES

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BELLE COAST GROUP, Inc.

1025 92nd St #701
Bay Harbor Islands, FL 33154
andreu@bellescoast.com
(786) 218-3072

PROJECT:

824 POLK ST
HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

DATE:

11/15/2024

REVISION

DATE:

DRAFTED BY:

SCALE:

CONSULTANTS:

SITE PLAN AND SITE
DATA

SP-1

DRAWN BY:

B.C.



1 826 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



3 830 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



5 820 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



7 816 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



2 828 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



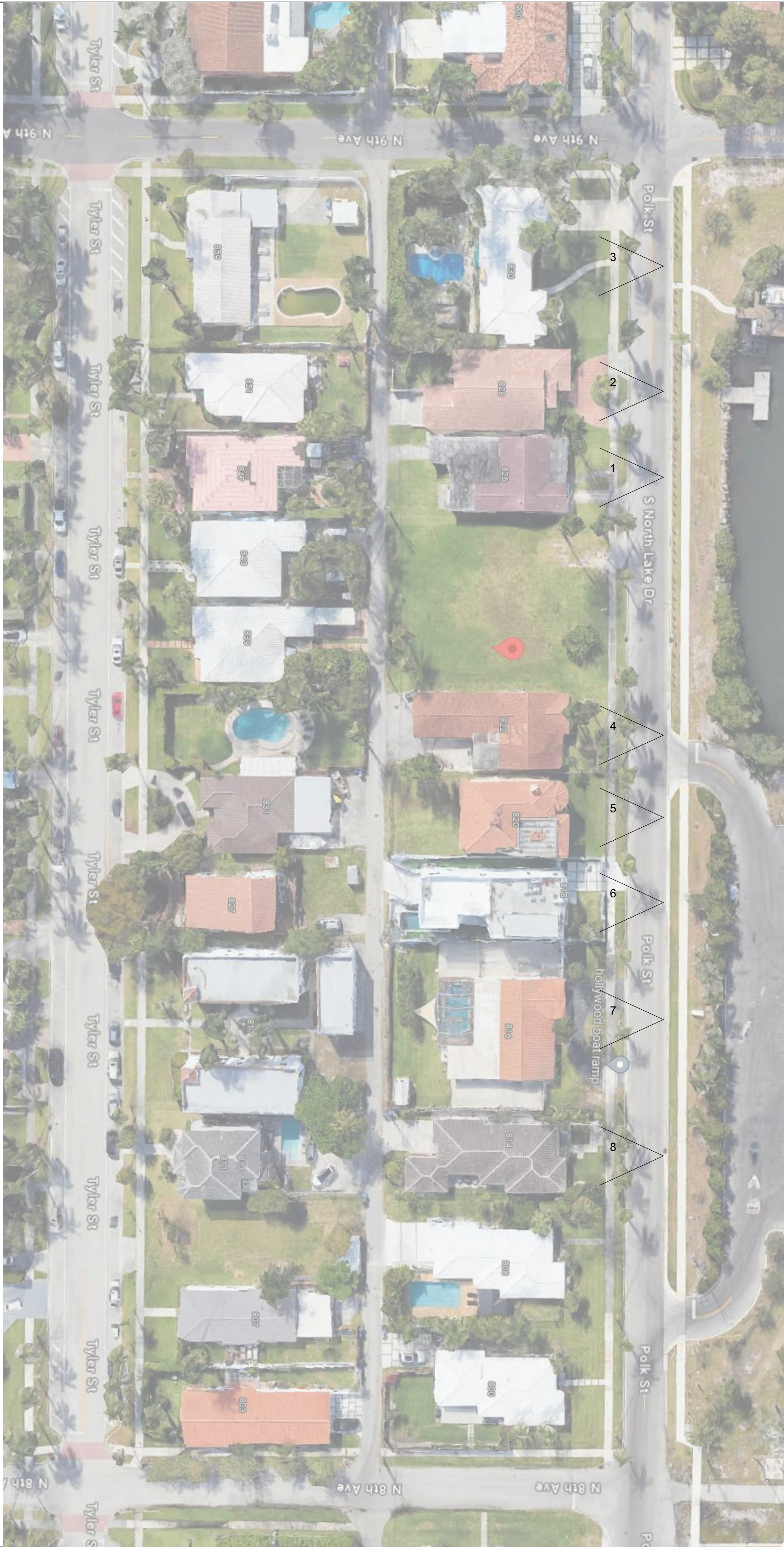
4 822 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



6 818 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



8 814 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



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SCALE:

CONSULTANTS:

NEIGHBORS
PHOTOGRAPHY

SP-2

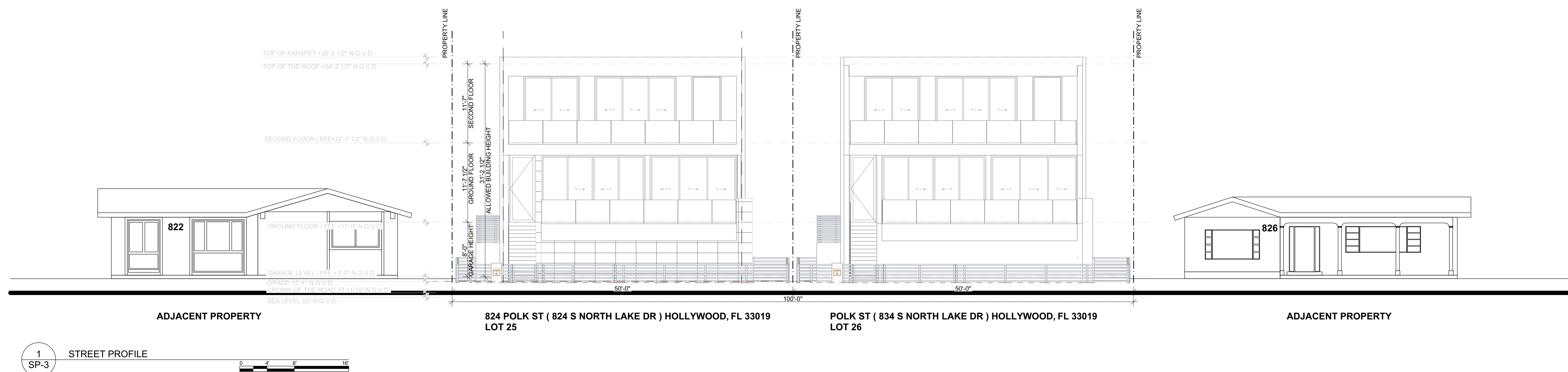
DRAWN BY:

B.C.



1	SOUTH-EAST - RENDER
---	----------------------------

2 SOUTH-WEST - RENDER



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SCALE:

CONSULTANTS:

STREET PROFILE
VIEW

SP-3

DRAWN BY:

B.C.

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SCALE:

CONSULTANTS:

STREET VIEW

SP-3.1

DRAWN BY:

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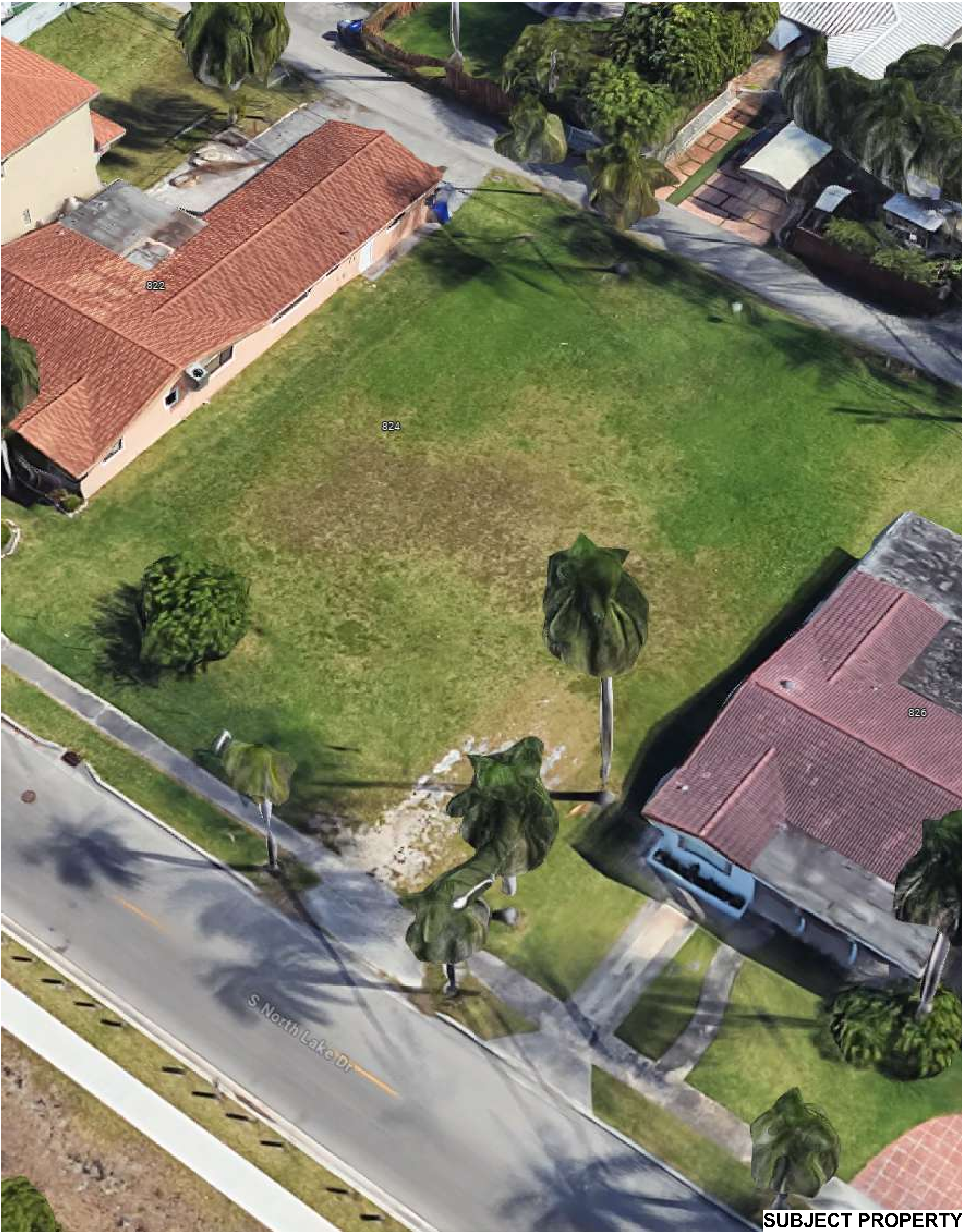
822 POLK STREET

824 POLK STREET

834 POLK STREET

826 POLK STREET

STREET VIEW ALONG POLK STREET



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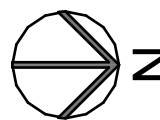
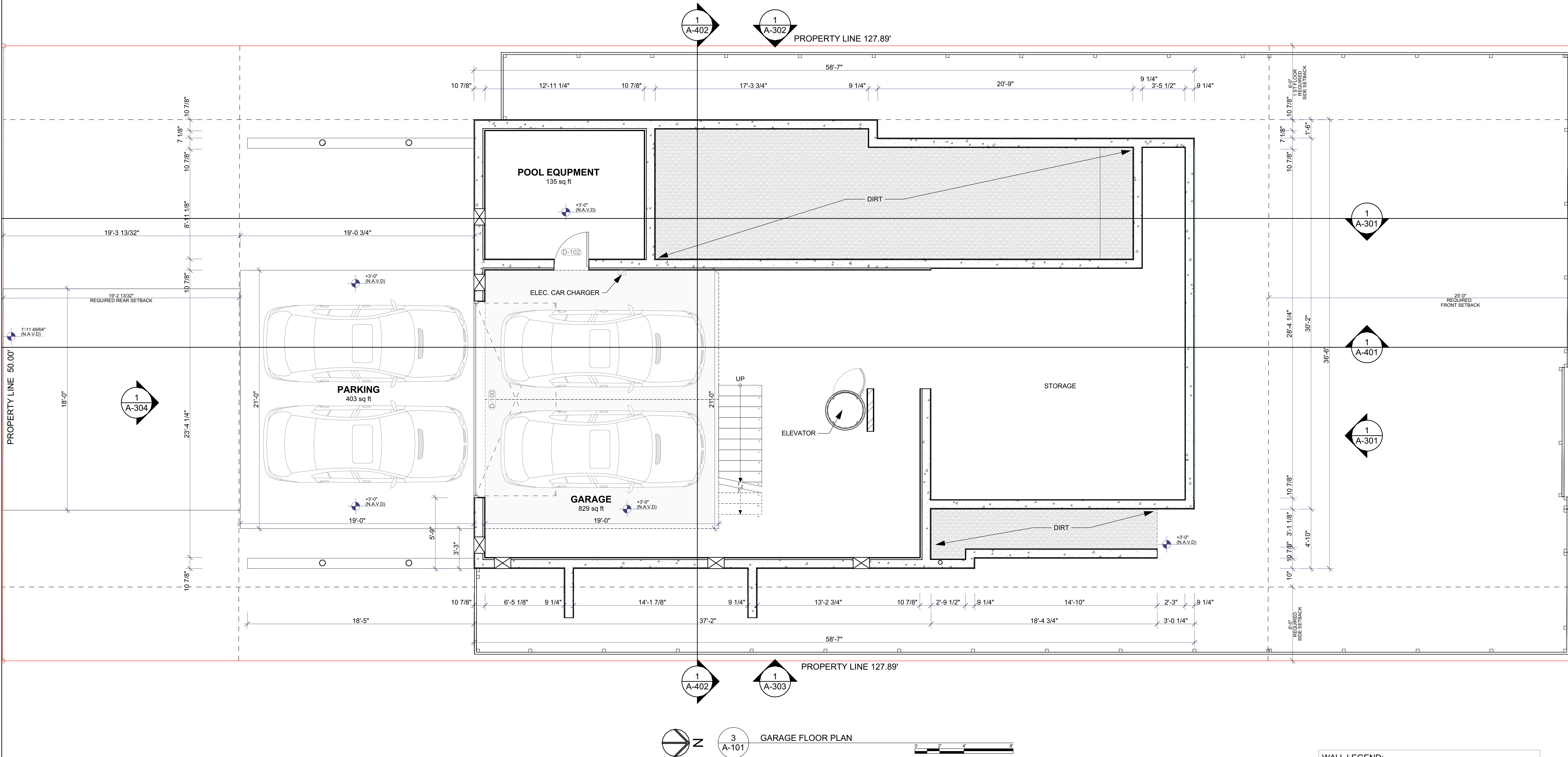
CONSULTANTS:

GARAGE FLOOR
PLAN

A-101

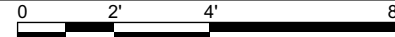
DRAWN BY:

B.C.



3
A-101

GARAGE FLOOR PLAN



WALL LEGEND:

	- EXTERIOR WALL
	- INTERIOR WALL
	- RETAINING WALL
	- INTERIOR WALL
	- STRUCTURAL WALL

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REVISION

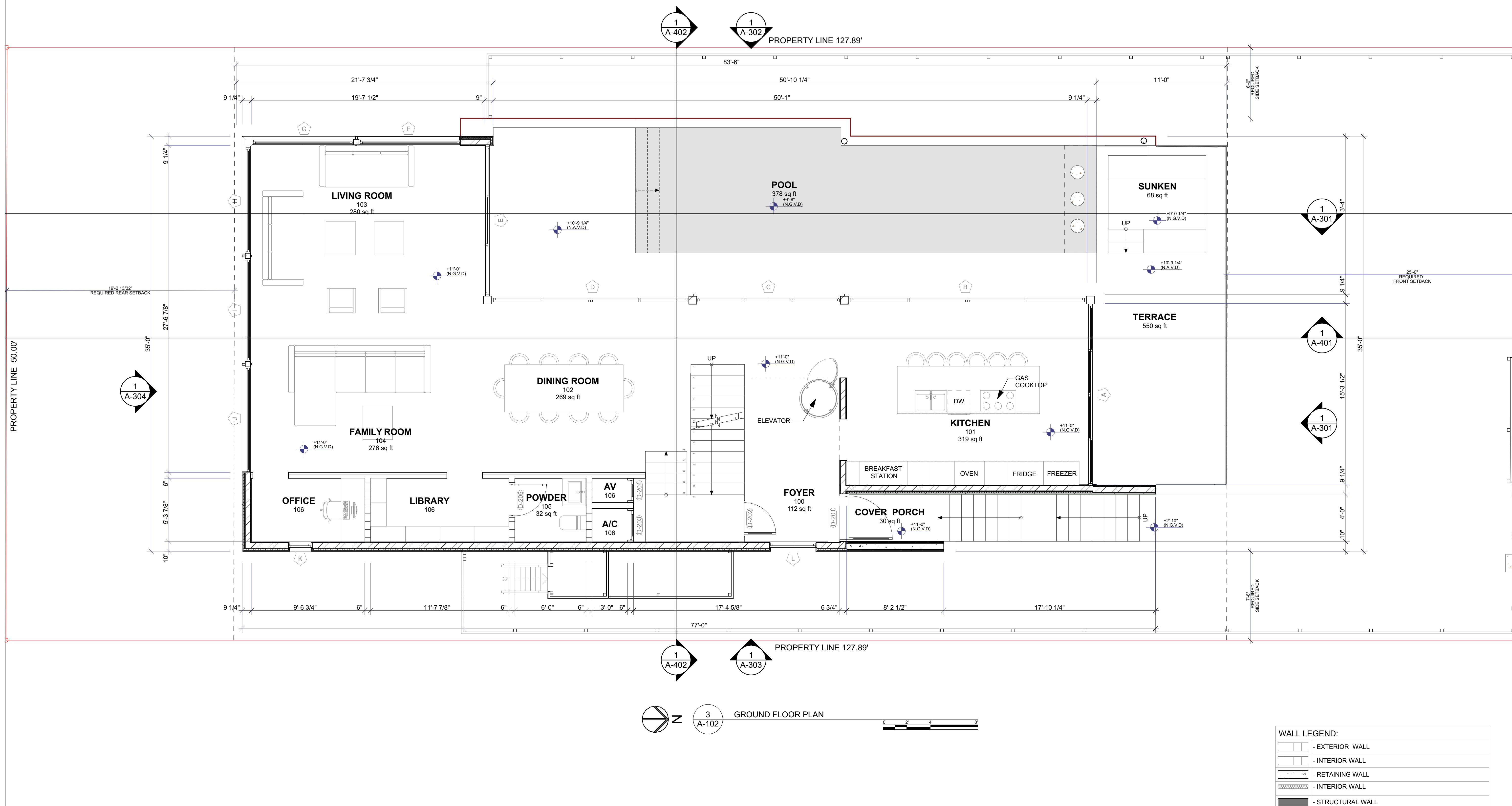
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DRAFTED BY:
SCALE:

CONSULTANTS:

GROUND FLOOR
PLAN

A-102

DRAWN BY: B.C



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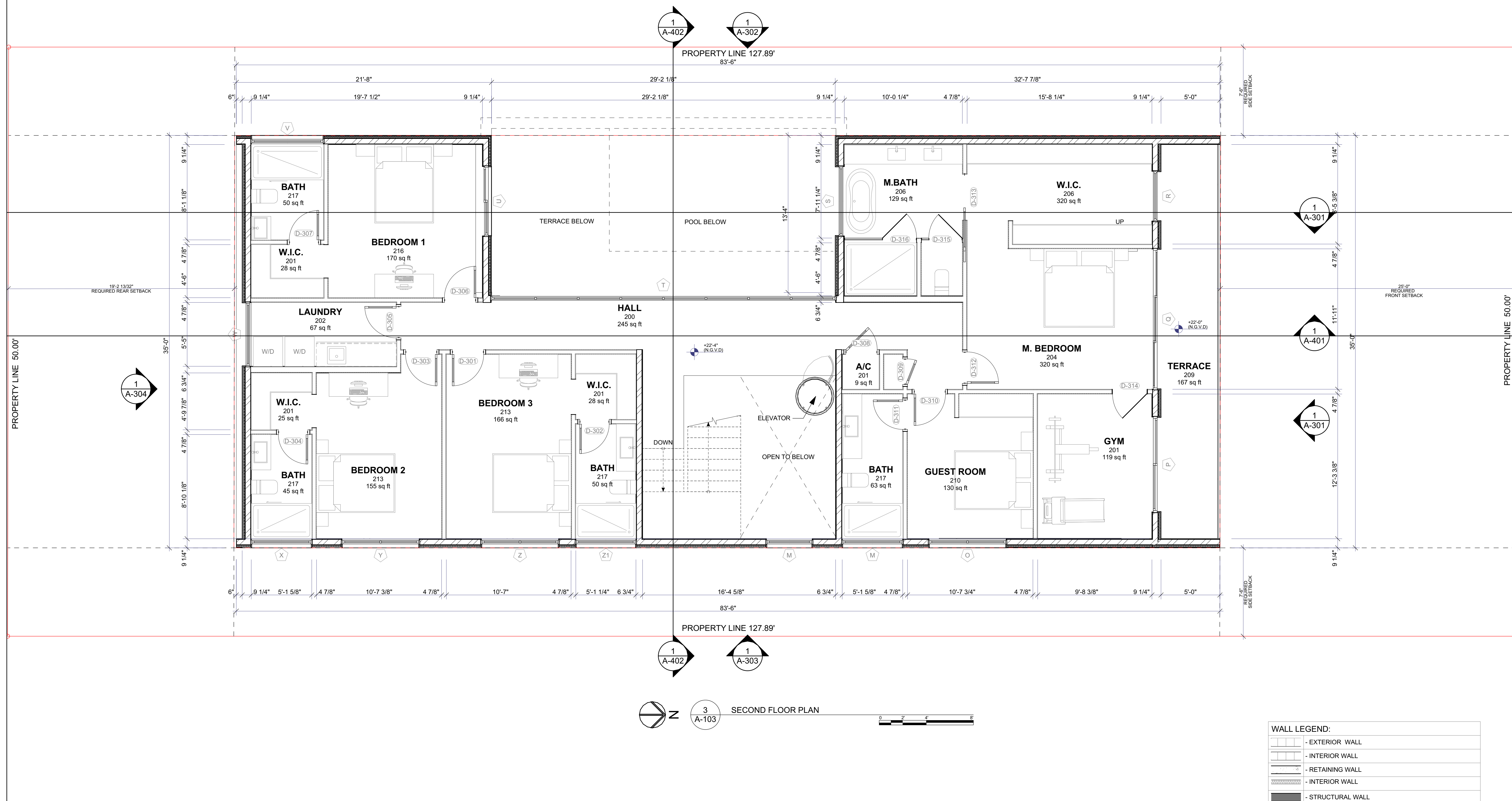
CONSULTANTS:

SECOND FLOOR
PLAN

A-103

DRAWN BY:

B.C



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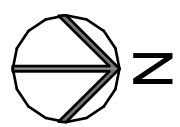
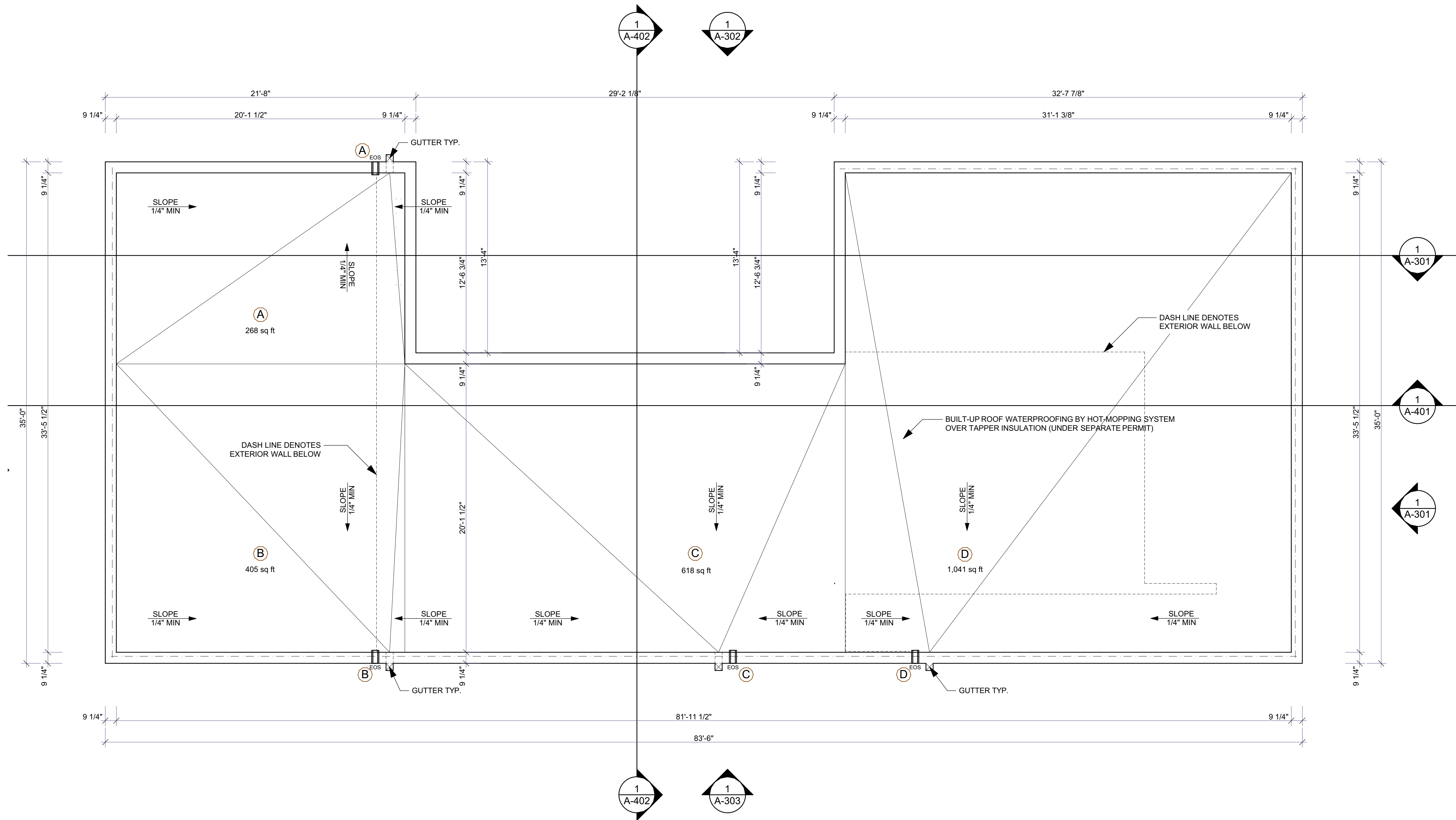
CONSULTANTS:

ROOF PLAN

A-104

DRAWN BY:

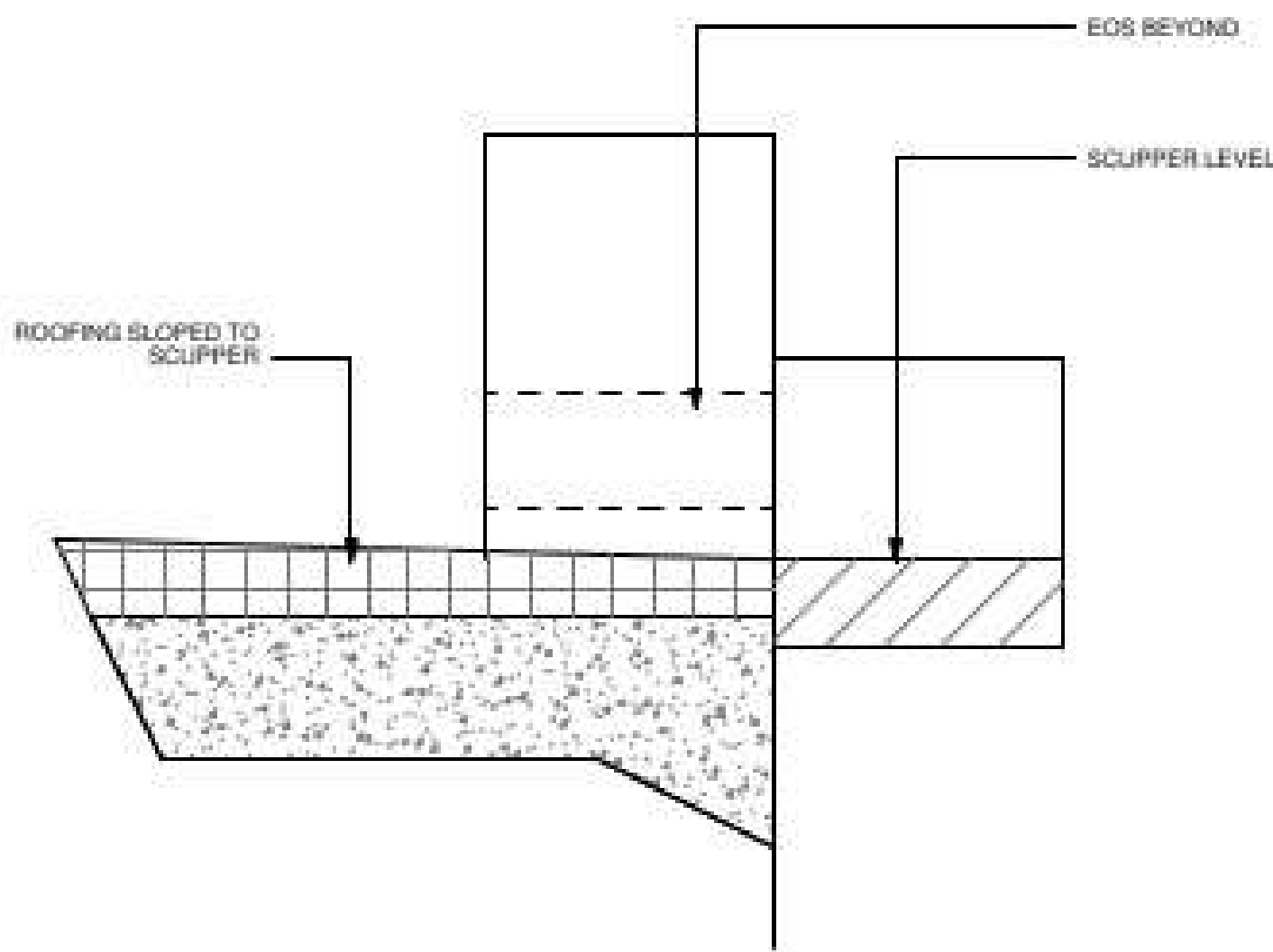
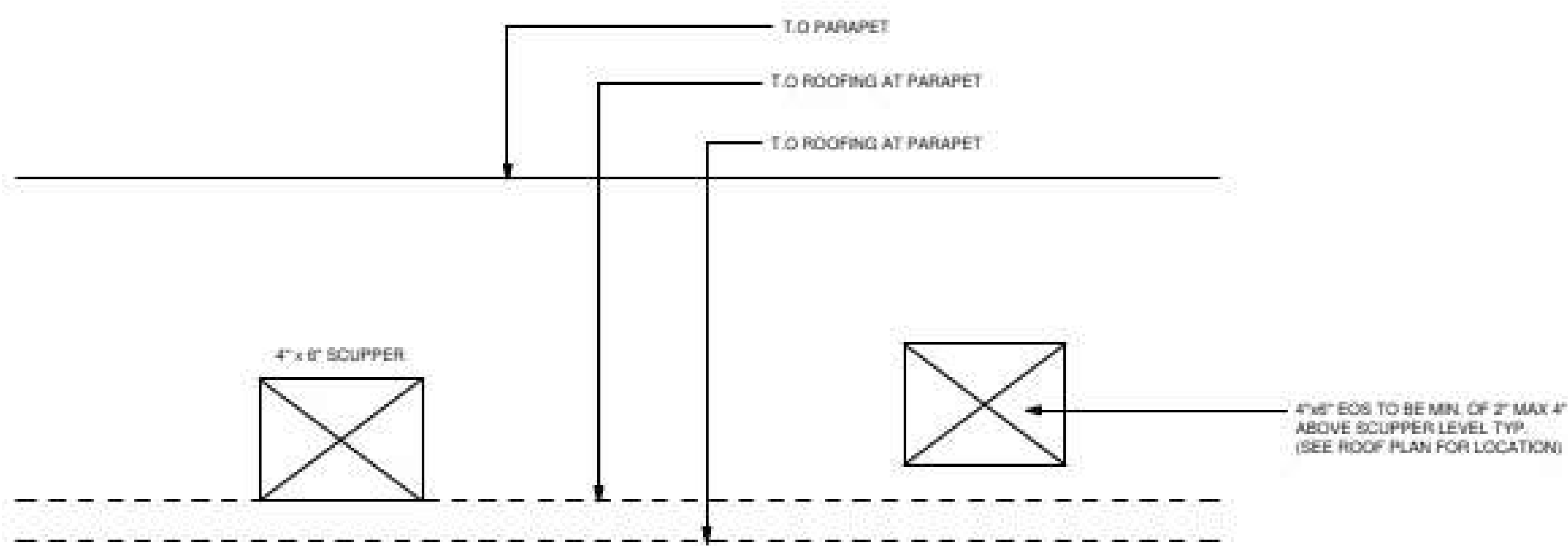
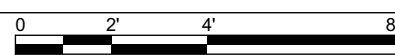
B.C.



1
A-104

ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF DRAINAGE CALCULATIONS

(100 YEAR, 1-HOUR RAINFALL - 5 INCHES AS PER PFBC2020)
5 INCHES = 0.0520 GPM PER 1 SQ.FT. HORIZONTAL 1/4" PER LF

ROOF AREA A-268 SF x 0.0520 = 13.94 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM

ROOF AREA B-405 SF x 0.0520 = 21.06 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM

ROOF AREA C-618 SF x 0.0520 = 32.14 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM

ROOF AREA D-1041 SF x 0.0520 = 54.13 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM

PER TABLE 1106.7, ROOF AREAS A,B,C,D. "4h x 6w"
SCOOER DRAINS W/4h x 6w EMERGENCY SCUPPER DRAINS.

NOTES:

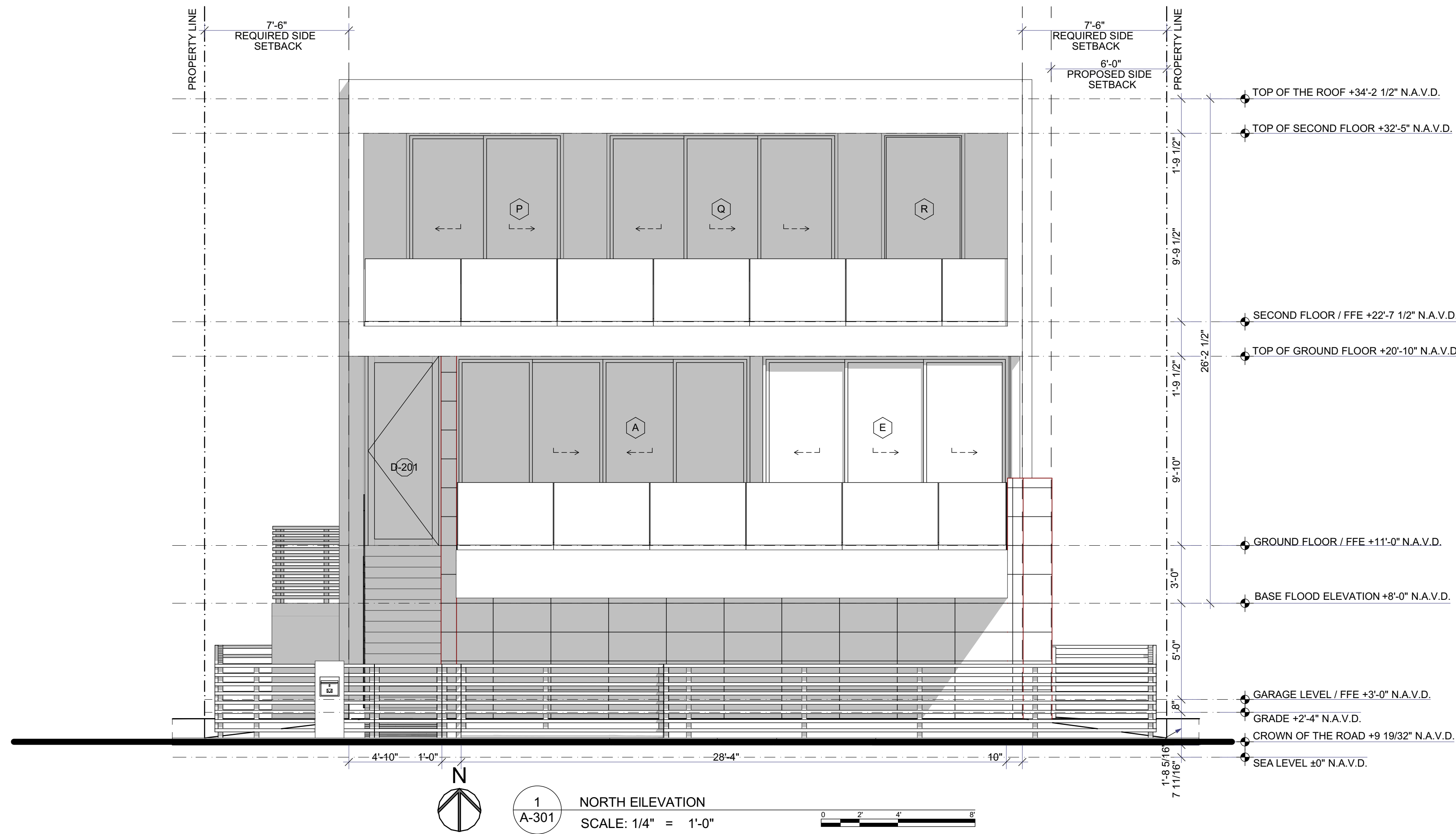
ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION SHALL BE USED SOLELY FOR PARKING,
BUILDING ACCESS OR STORAGE AS PER ASCE 4.6.

ROOFING SYSTEM NOTES:

ALL ROOFING SYSTEM SHALL BE PAINTED "WHITE" AS PER URBAN HEAT ISLAND ORDINANCE.

WATERPROOFING NOTE:

- WATERPROOFING TESTED SHALL BE FLOOD TESTED IN ACCORDANCE WITH ASTM D5957.
- WATERPROOFING WILL COMPLY WITH F.B.C. 1519.16.6
- WATERPROOFING WILL BE SUBMITTED WITH A SEPARATE PERMIT
- FLASHING SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURERS PUBLISHED STANDARD DETAILS, SPECIFIC DETAILS, APPROVED BY THE MANUFACTURE; AND SHALL COMPLY WITH F.B.C. 1519.16



REVISION	

REVISION	

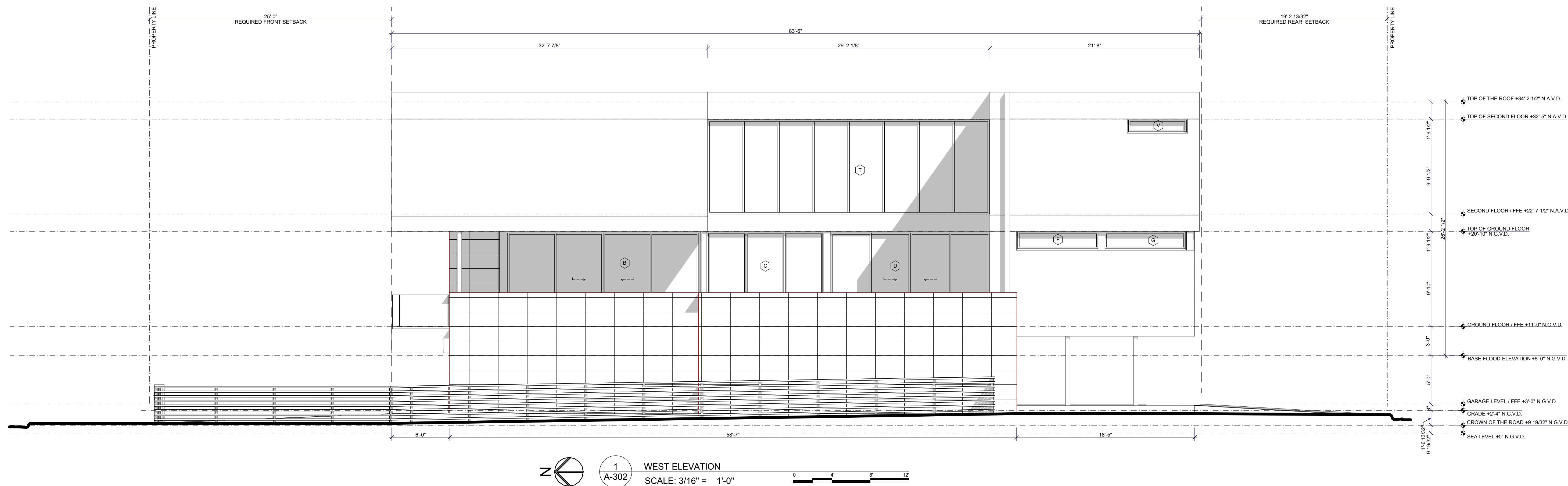
DATE:
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SCALE:

CONSULTANTS

WEST ELEVATION

A-302

DRAWN BY: B.C



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DATE: 11/15/2024

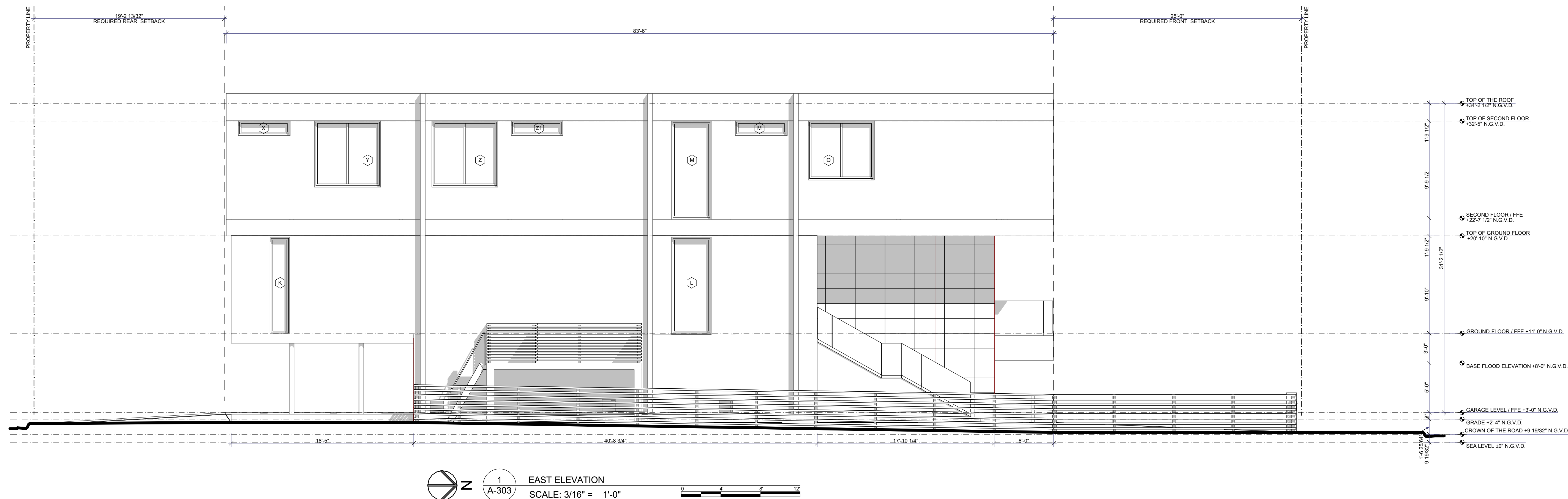
REVISION	

DRAFTED BY:
SCALE:

EAST ELEVATION

A-303

B.C



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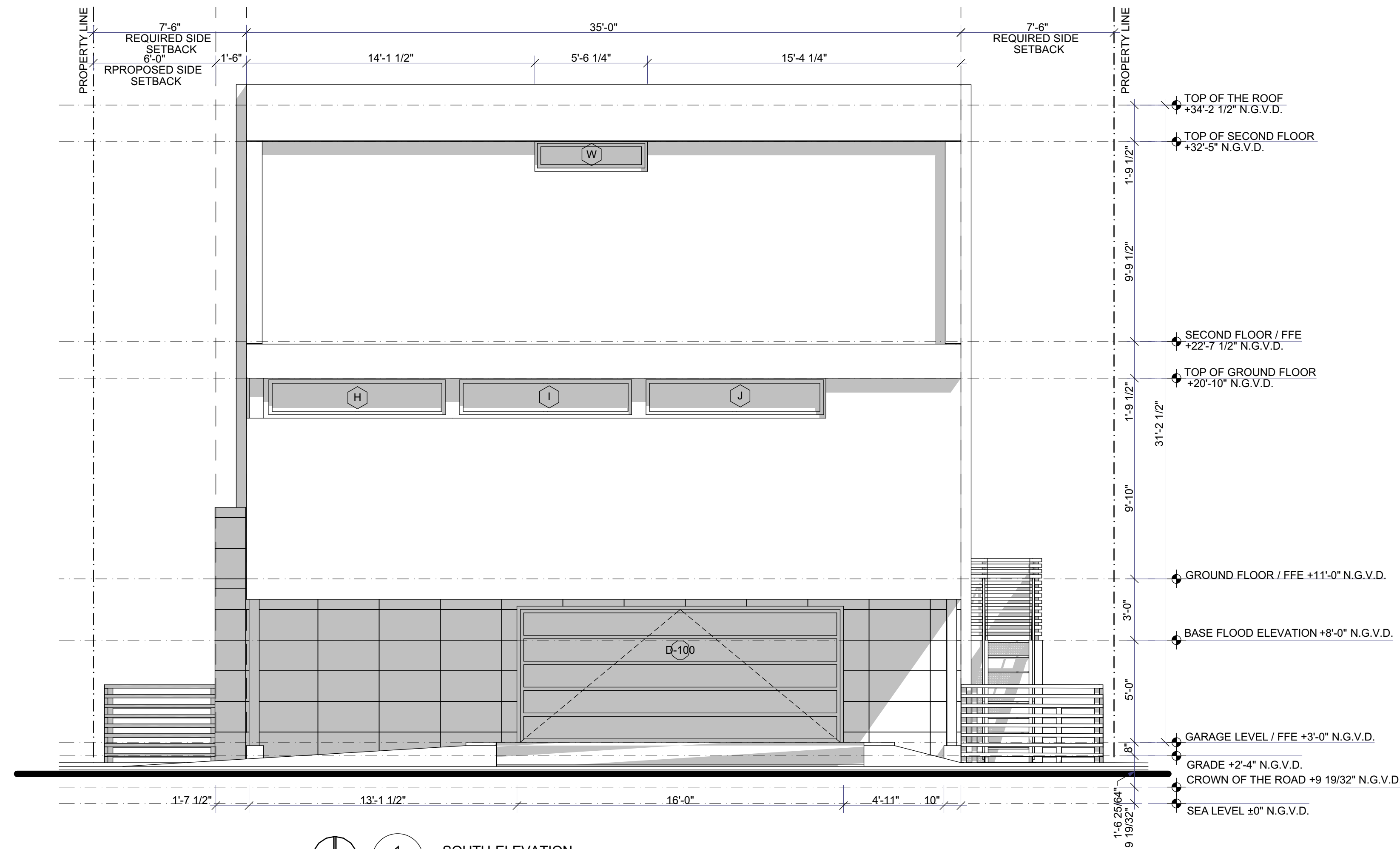
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SCALE:

CONSULTANTS:

SOUTH ELEVATION

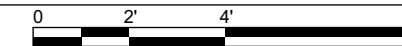
A-304

DRAWN BY: B.C.



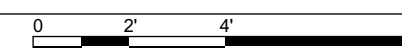
1
A-304

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-304

SOUTH COLORED ELEVATION
SCALE: 1/4" = 1'-0"



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SCALE:

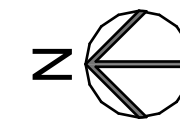
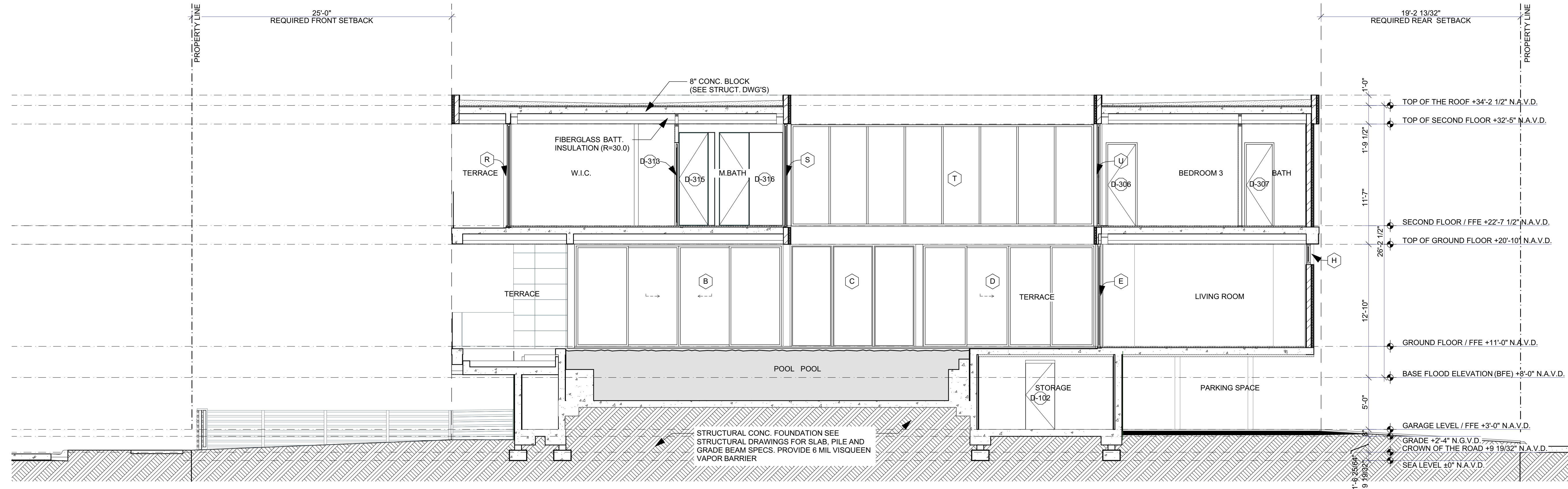
CONSULTANTS:

SECTION VIEWS

A-401

DRAWN BY:

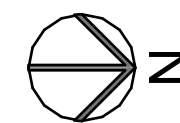
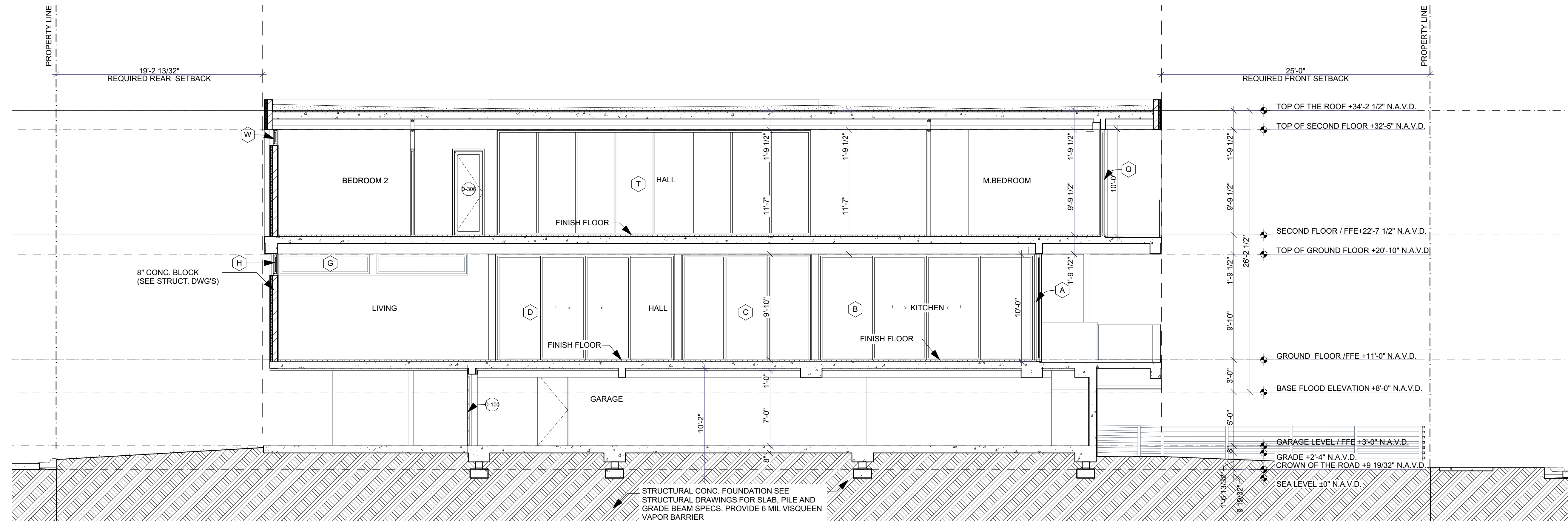
B.C.



2
A-401

BUILDING SECTION A

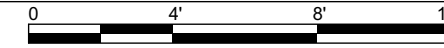
SCALE: 3/16" = 1'-0"



1
A-401

BUILDING SECTION C

SCALE: 3/16" = 1'-0"



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SCALE:

CONSULTANTS:

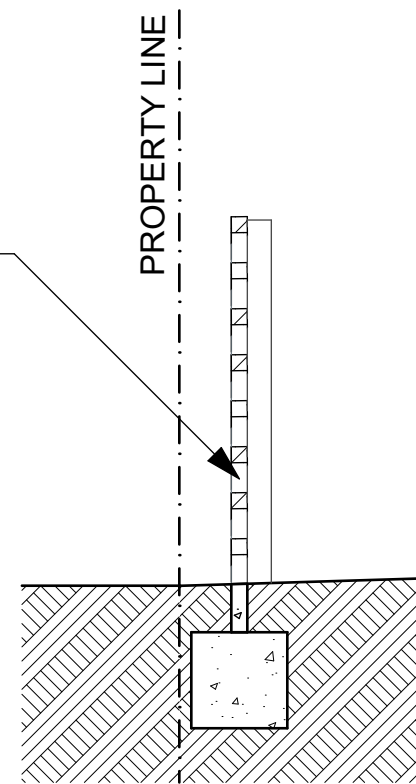
SECTION VIEW

A-402

DRAWN BY:

B.C.

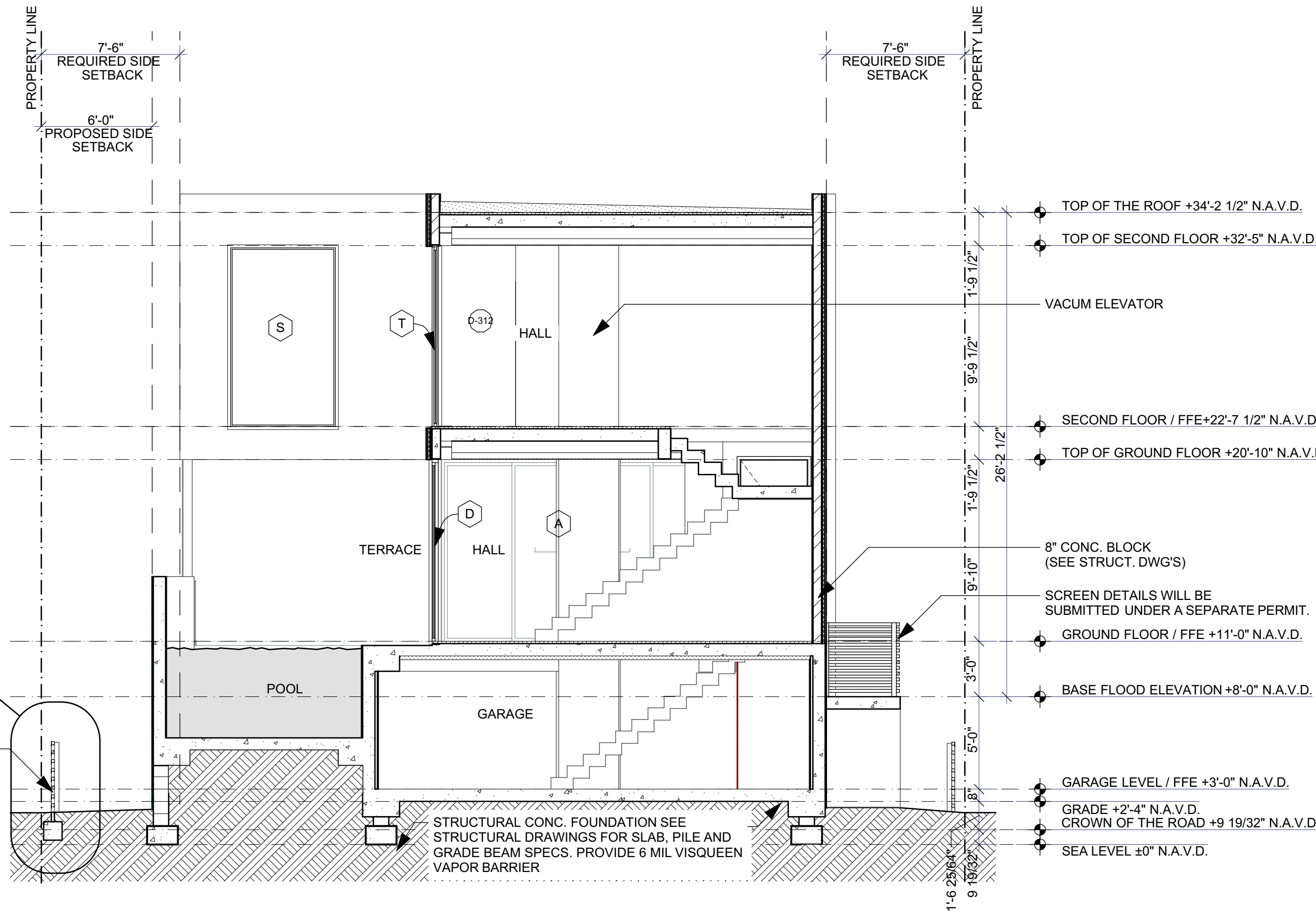
FENCE AND GATES DETAILS WILL BE
SUBMITTED UNDER A SEPARATE PERMIT.



A
A-402
DETAIL

FENCE AND GATES DETAILS WILL BE
SUBMITTED UNDER A SEPARATE PERMIT.

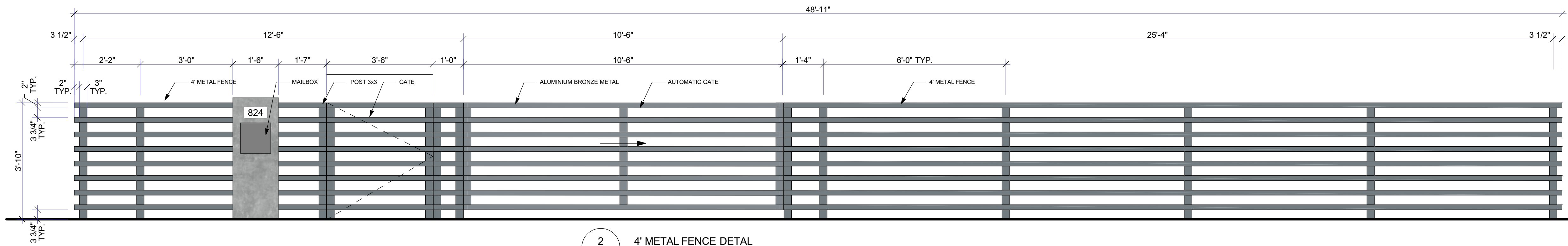
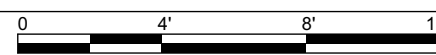
A
A-402



1
A-402

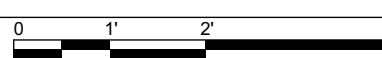
BUILDING SECTION B

SCALE: 3/16" = 1'-0"



2
A-402

4' METAL FENCE DETAIL





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CONSULTANTS:

RENDERINGS

A-501

DRAWN BY:

B.C.



BELLE COAST

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RENDERINGS

A-502

DRAWN BY: B.C.

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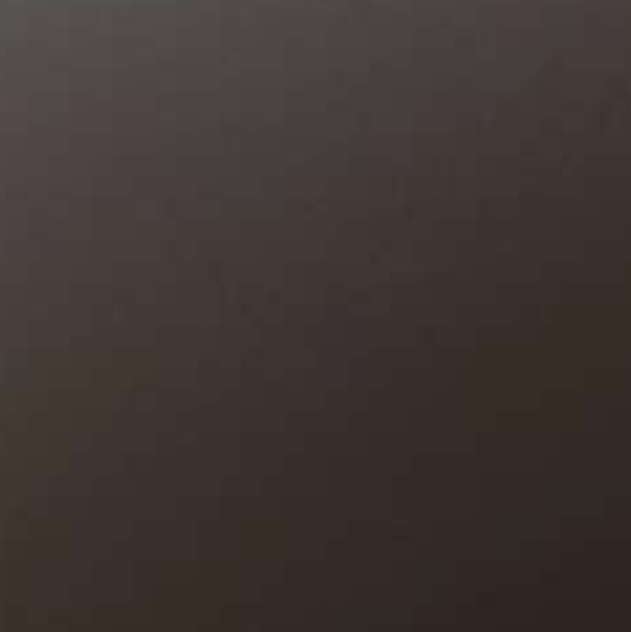
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CONSULTANTS:

MATERIAL SCHEDULES

A-503

DRAWN BY: B.C



A close-up photograph of a dark grey, textured surface, possibly a brick or stone wall. The image shows a repeating pattern of rectangular blocks, likely bricks, arranged in a staggered or herringbone pattern. The texture is rough and granular, and the lighting creates subtle shadows between the blocks, emphasizing their three-dimensional form.

07 - PAVERS DRIVEWAY



NOTE:

- **Flat Roof:** The clean, flat roof is a defining feature of Mid-Century Modern architecture, minimizing visual clutter and emphasizing horizontal lines.
- **Large Rectangular Volume in Cantilever:** The cantilevered rectangular volume creates a striking, modern silhouette that reflects Mid-Century Modern's architectural boldness, adding both functionality and visual interest.
- **Thin Metal Columns:** Inspired by Mid-Century Modern's minimalist approach, these slender columns provide structural support while maintaining an open, airy aesthetic.
- **Large Windows:** Expansive glass is a hallmark of Mid-Century design, connecting indoor and outdoor spaces seamlessly and enhancing natural light.
- **Neutral Tones & Natural Materials:** The use of muted colors and natural materials, like wood, reflects Mid-Century Modern's emphasis on simplicity and harmony with nature.

This concept brings a subtle Mid-Century Modern influence, creating a structure that respects the historic district's aesthetic without overwhelming it.



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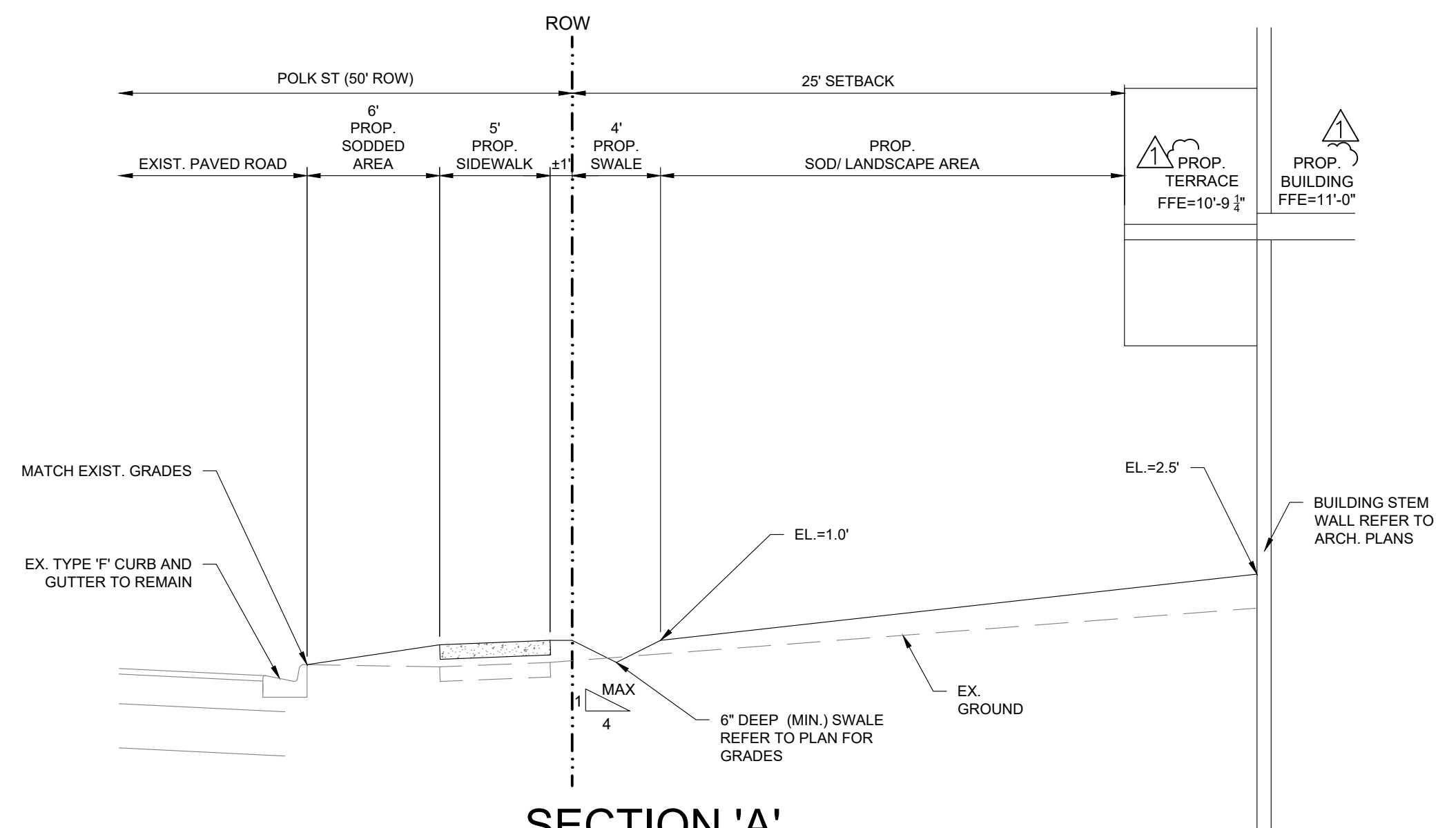
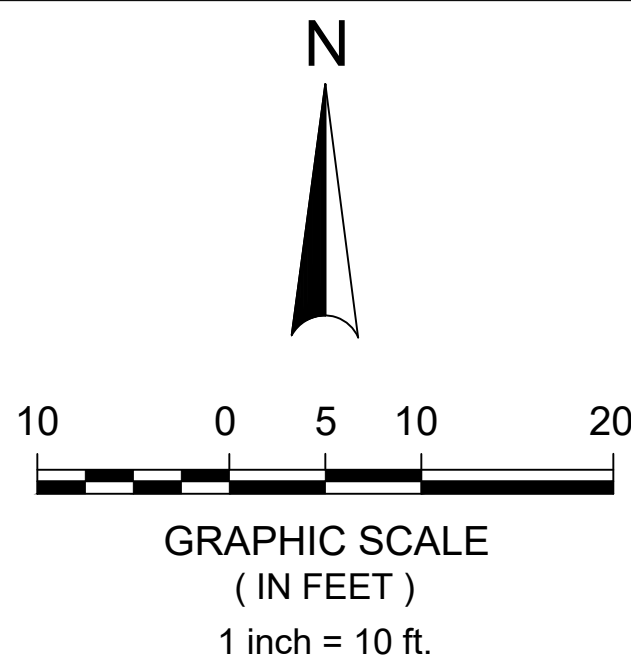
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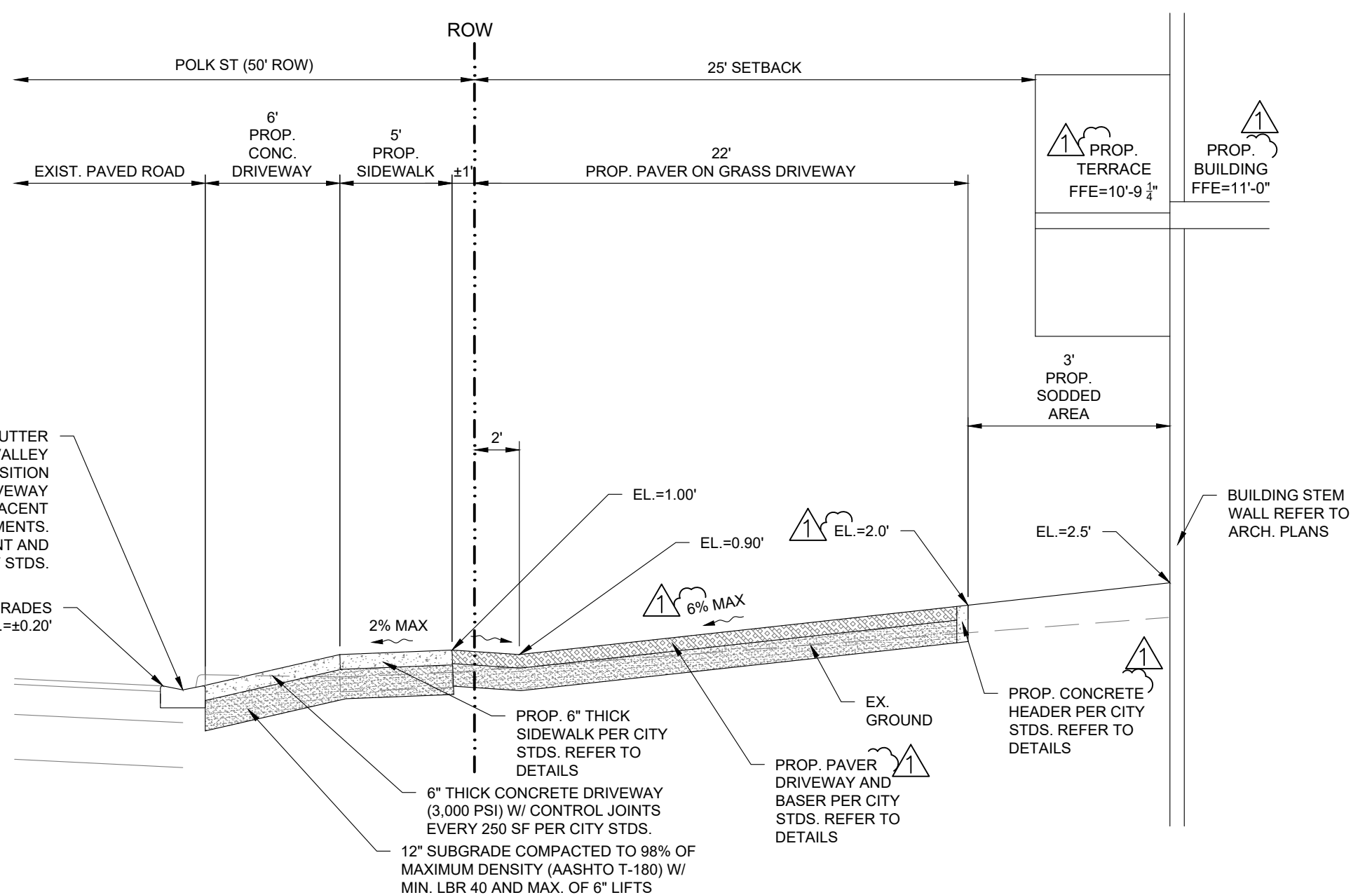
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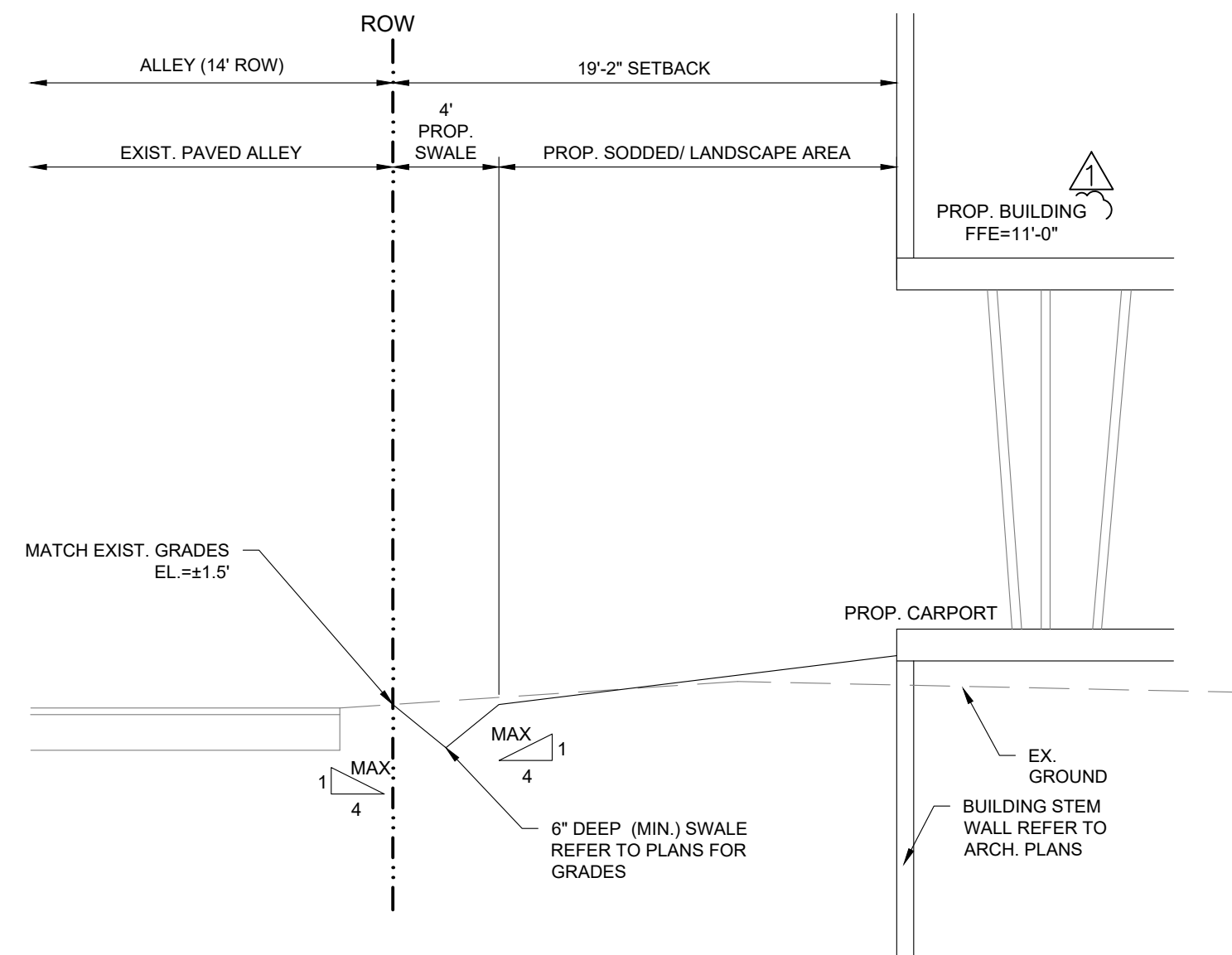
CONSULTANTS:



SECTION 'A'
N.T.S

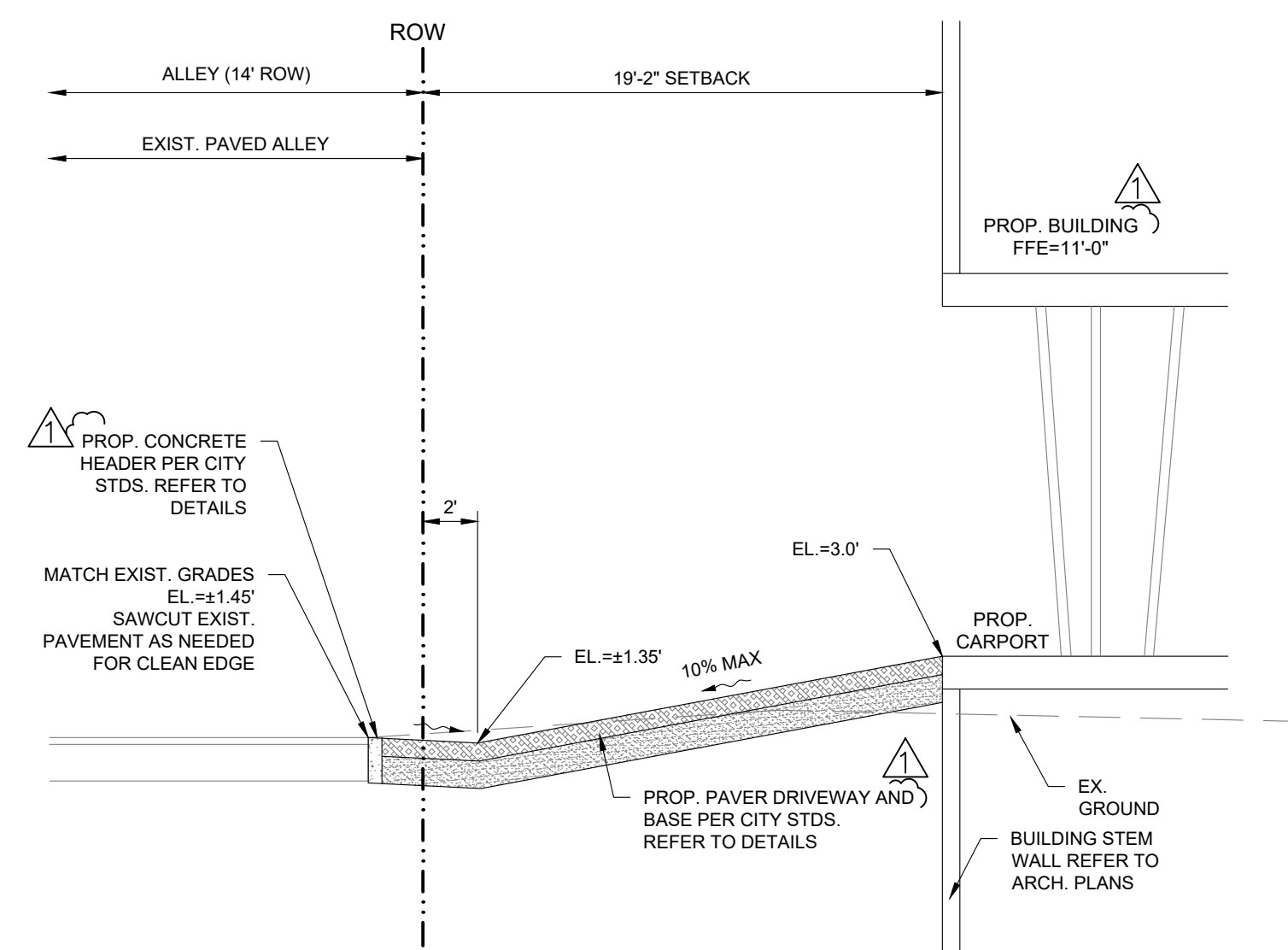


SECTION 'B'
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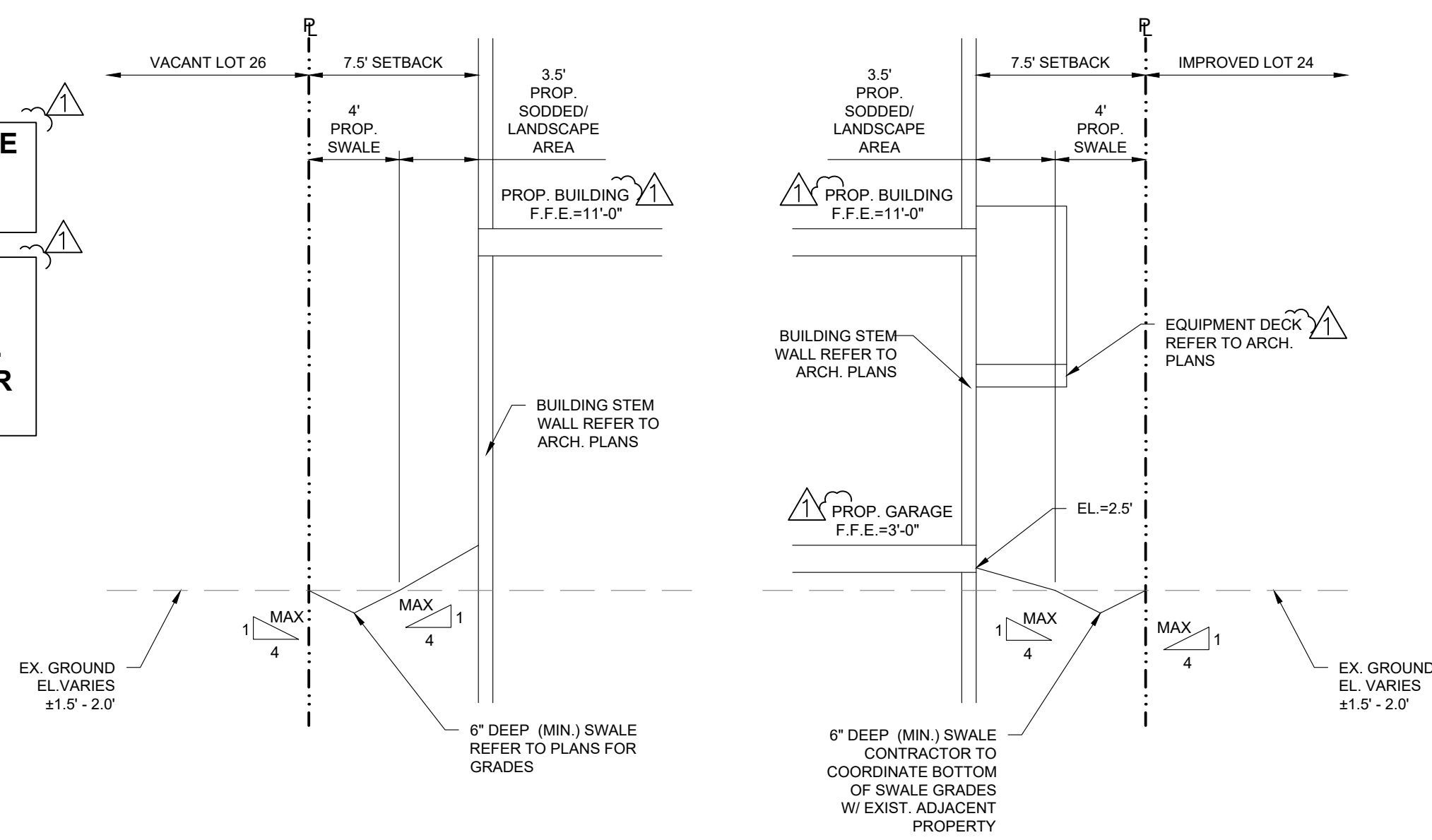


SECTION 'E'

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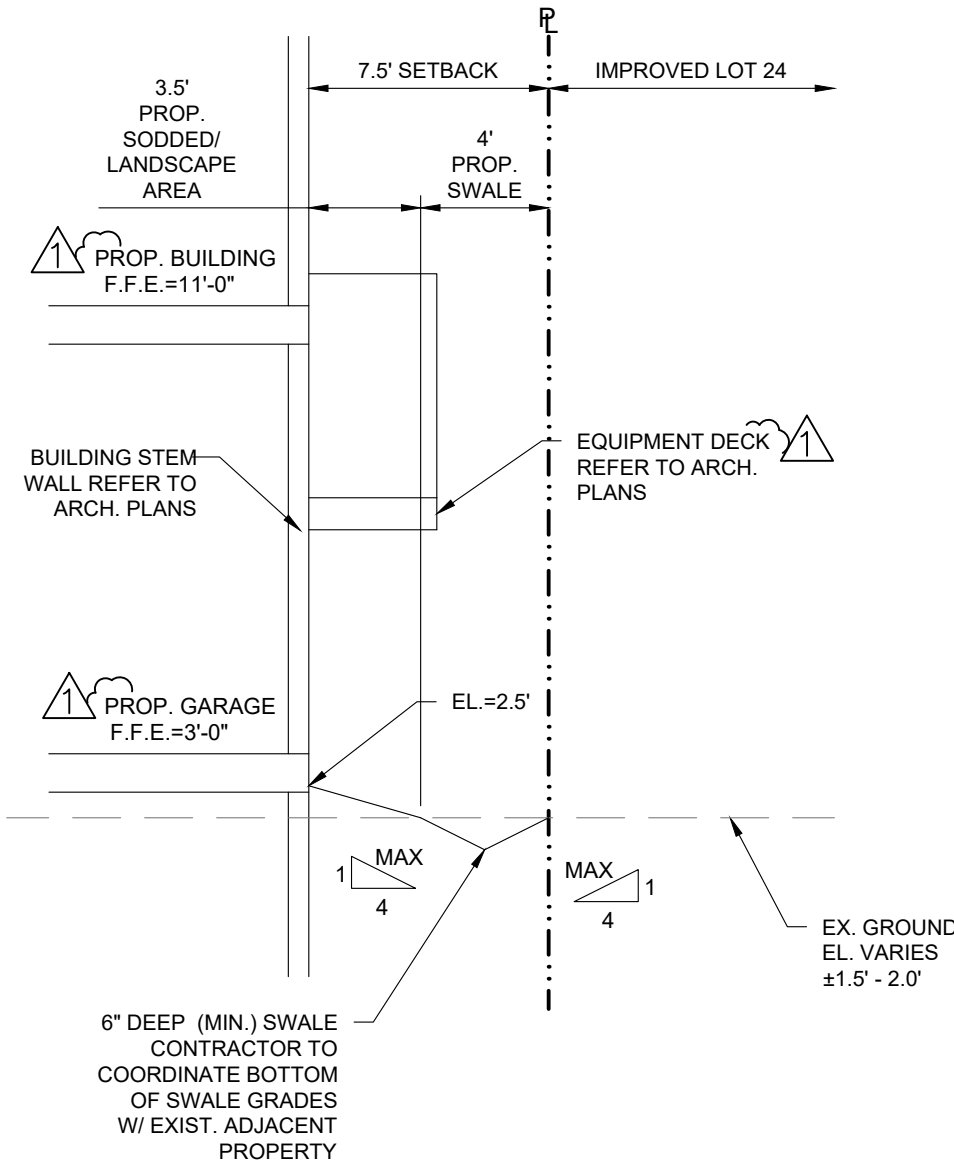


SECTION 'F'
N.T.S



SECTION 'C'

N.T.S



SECTION 'D'
N.T.S

STORMWATER CALCULATIONS				
PROPOSED SITE INFORMATION				
Impervious Area (Ai)	3,600 sf	0.083 ac	Ai%	56%
Roof Area (RA)=	2,921 sf	0.067 ac		
Other Impervious Area (OIA)=	679 sf	0.016 ac		
Pervious Area (Ap)	2,800 sf	0.064 ac	Ap%	44%
Landscape Area (LA)=	2,800 sf	0.064 ac		
Water Area (WA)=	- sf	0.000 ac		
Total Area (A)=	6,400 sf	0.147 ac	A%	100%
% Impervious for Water Quality (%WQ)=	OIA = 19.5%			
	OIA+LA			
SPFWM WATER QUALITY REQUIREMENTS				
Retain the greater runoff volume of:				
1st inch of runoff from the entire site, or	1"xA= 0.147 ac-in	533 ft ³		
2.5 times times the percentage of imperviousness	2.5"x%WQxA= 0.072 ac-in	260 ft ³		
WQ Volume required (wet retention) =	533 ft ³			
WQ Volume required (dry retention) = 50% wet retention	267 ft ³			
PROPOSED RETENTION AREAS				
<u>Swales 1 and 2</u>				
Area (A)	1228.0 sf			
Depth (D)	0.5 ft			
Volume= (AxD)/2	307 ft ³			
Total Volume Provided=	307 ft ³			
The required dry retention volume will be provided within the proposed swales.				

ALL EXISTING/PROPOSED ELEVATIONS
SHOWN ARE BASED ON NAVD 1988

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emichaels@catarinaengineering.com

ENELISE L. MICHAELS, P.E.
FLORIDA LICENSE # 84162

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any electronic copies.

Client:

BELLE
COAST

Project Name and Address:

CUSTOM HOME

824 POLK ST
LOT 25

CITY OF HOLLYWOOD
BROWARD COUNTY

[illegible]

Sheet Title:

ENGINEERING PLAN AND SECTIONS

CONSTRUCTION DRAWINGS

Date: 08/08/24

Scale: AS NOTED

Drawn by: EM

Designed/ Approved by: EM

Project Number: 24-026-03

Sheet Number:

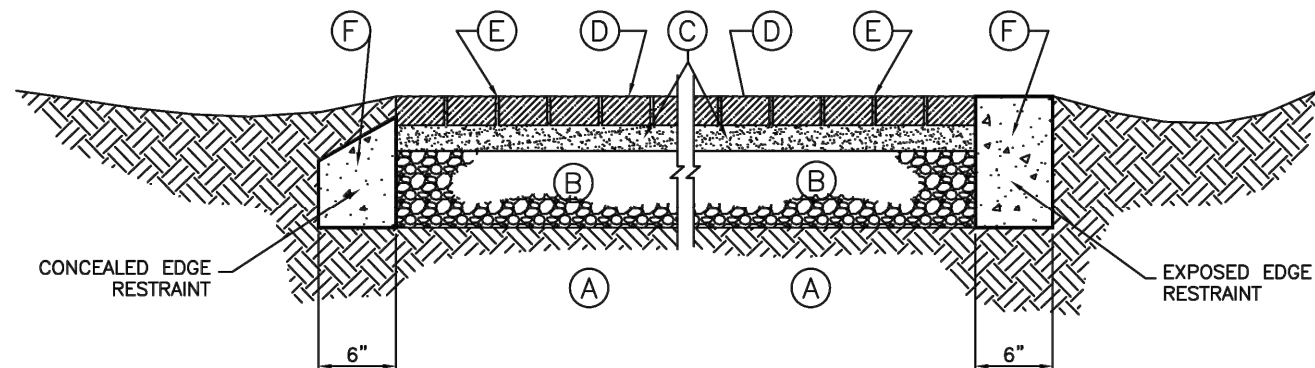
C-2

Drawing name: C:\Catarina Engineering\00_Projects\26 Yoarm Andreu\03 824 Polk St - Hollywood\CAD\24-026-03-CP-Paving Grading and Drainage Plans.dwg C-3-1a25 Nov 15, 2024 12:18pm by: eneli

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES, ENGINEERING, TRANSPORTATION & MOBILITY DIVISION, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
7. ELEVATIONS SHALL BE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
8. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE STAGING/STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
9. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
10. CONTRACTOR SHALL CLEAN/SWEEP THE ROAD AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
11. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
12. CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
13. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
14. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL NOT ENCRROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF DEVELOPMENT SERVICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
17. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.

18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION, AND CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES STANDARDS.
19. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
21. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CITY ENGINEER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
23. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
24. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/VEHICULAR TRAFFIC.
25. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
26. ALL RAMPS, SIDEWALK CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT AND SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION.
27. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
29. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
30. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
31. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
32. THE CITY PREFERS THAT ITS OWN POLICE OFFICERS PROVIDE TRAFFIC CONTROL TO ENSURE SAFE AND EFFICIENT INTERSECTION OPERATIONS IS MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THEREFORE, PLEASE CONTACT MR. JANEL DIXON AT jrdixon@hollywoodfl.org. HE MAY BE REACHED AT 954-967-4500 OR VIA EMAIL AT jrdixon@hollywoodfl.org.
33. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED, REFER TO BCTED, PAVING MARKINGS AND SIGNS DETAILS PLAN, LATEST EDITION.
34. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE--CALL OF FLORIDA).

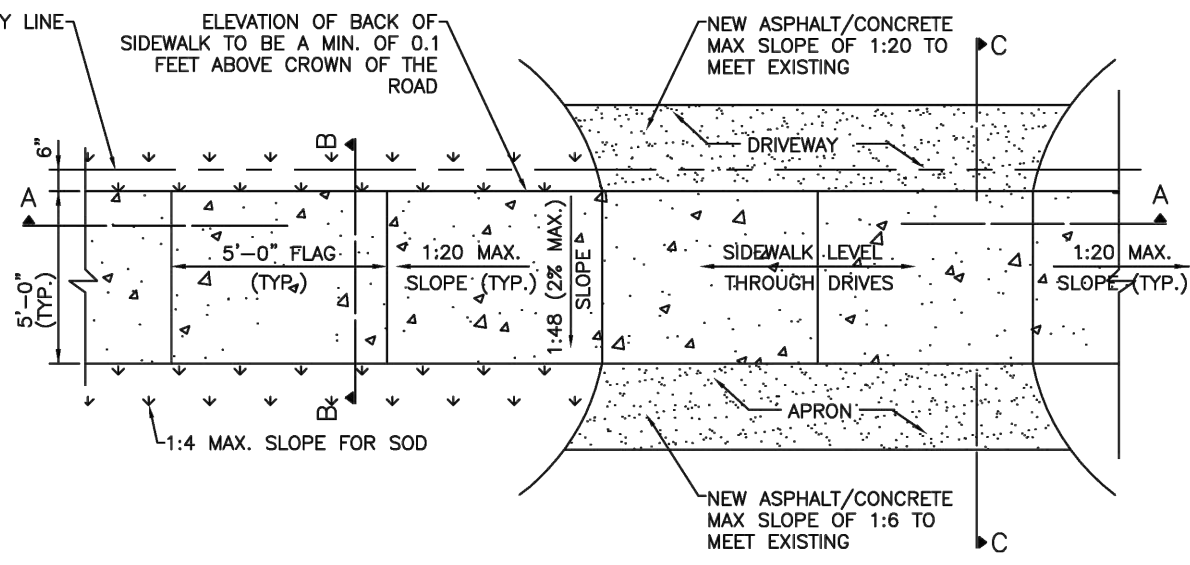


LEGEND:

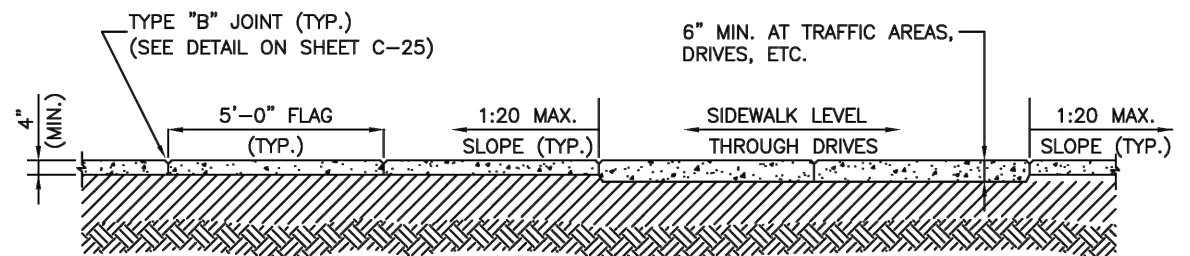
- (A) SUITABLE SUBGRADE (SEE NOTE NO. 1)
- (B) LIMEROCK BASE COMPACTED TO A MIN. OF 98% OF MAX. DENSITY AS DETERMINED BY AASHTO T-180 MINIMUM THICKNESS REQUIRED:
 - 6" IN THE PUBLIC RIGHT OF WAY
 - 4" ON PRIVATE PROPERTY
- (C) SAND BEDDING COURSE, 2" TYPICAL
- (D) CONCRETE SEGMENTAL PAVING UNITS
- (E) JOINT-FILLING SAND
- (F) 3,000PSI CONCRETE (CONTINUOUS EXPOSED EDGE RESTRAINT REQUIRED IN THE PUBLIC RIGHT-OF-WAY.

LIMITATIONS:

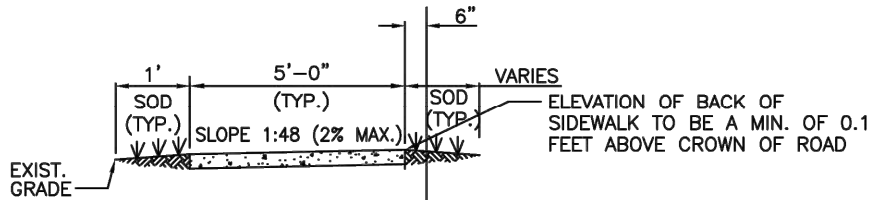
1. LIGHT TRAFFIC AND DOMESTIC USE ONLY. HEAVIER TRAFFIC OR UNSUITABLE SOIL CONDITIONS REQUIRE SPECIAL PAVEMENT STRUCTURE AND THICKNESS DESIGN.
2. SURFACE DRAINAGE: RECOMMENDED MINIMUM GRADE OF 2% TO SWALE PERVIOUS AREA
3. THIS IS A NON-STANDARD TYPE OF DRIVEWAY CONSTRUCTION AND AN AFFIDAVIT IS REQUIRED FROM THE OWNER FOR WORK IN PUBLIC RIGHT-OF-WAY OR EASEMENT.



PLAN



SECTION A-A



SECTION B-B

NOTE:

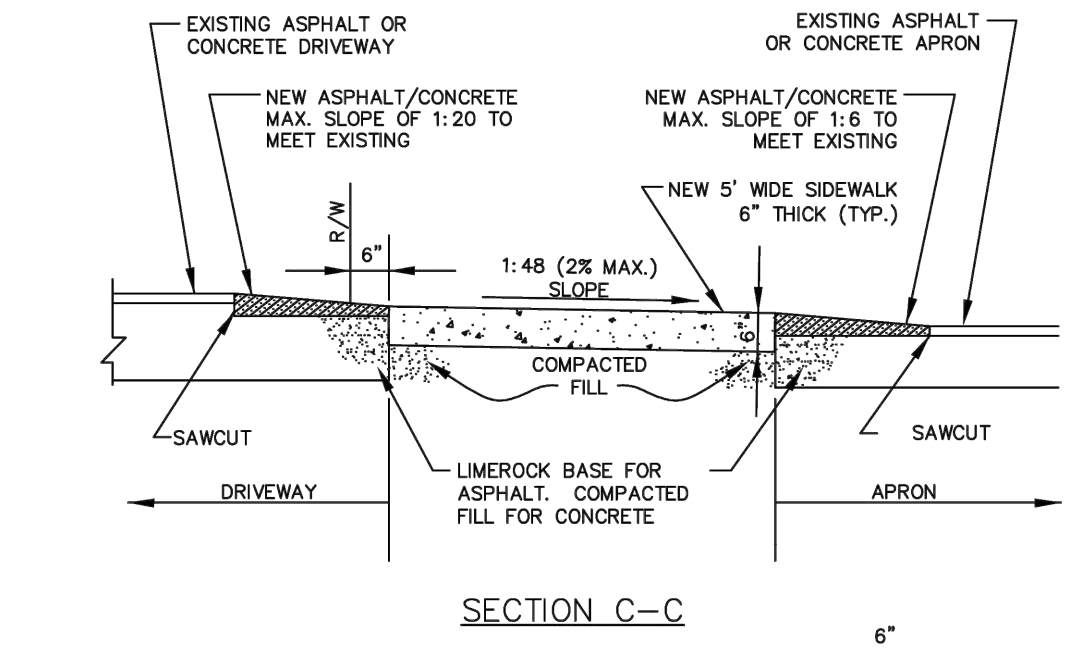
1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	GENERAL NOTES (1 OF 2)	DRAWING NO.: C-01
APPROVED: JG		

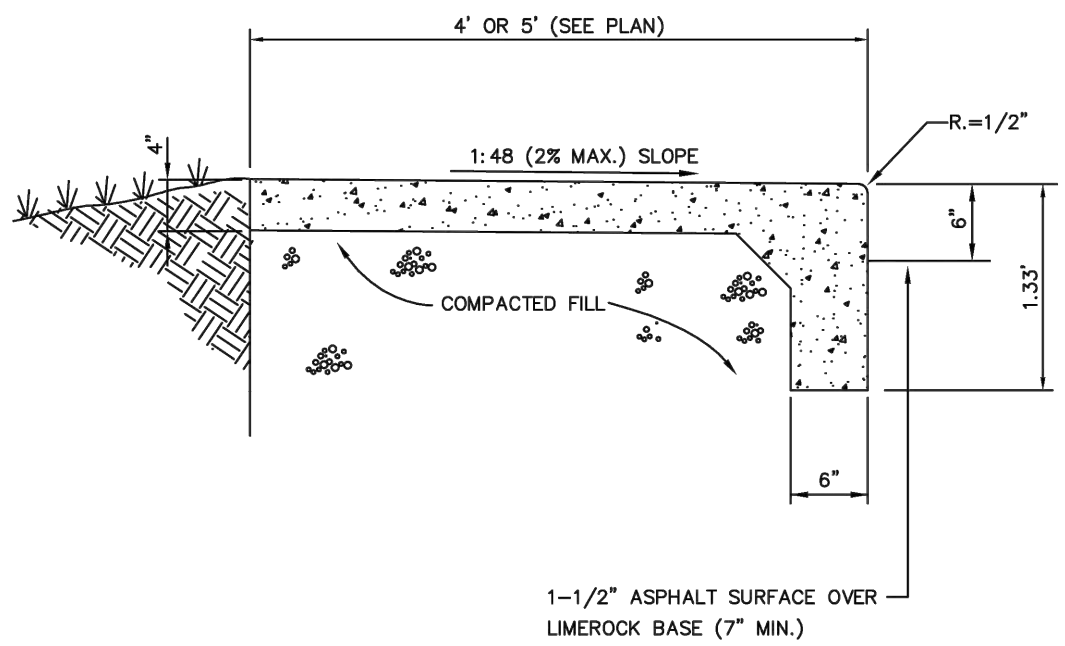
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	GENERAL NOTES (2 OF 2)	DRAWING NO.: C-02
APPROVED: JG		

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	CONCRETE PAVERS DETAIL	DRAWING NO.: C-14
APPROVED: JG		

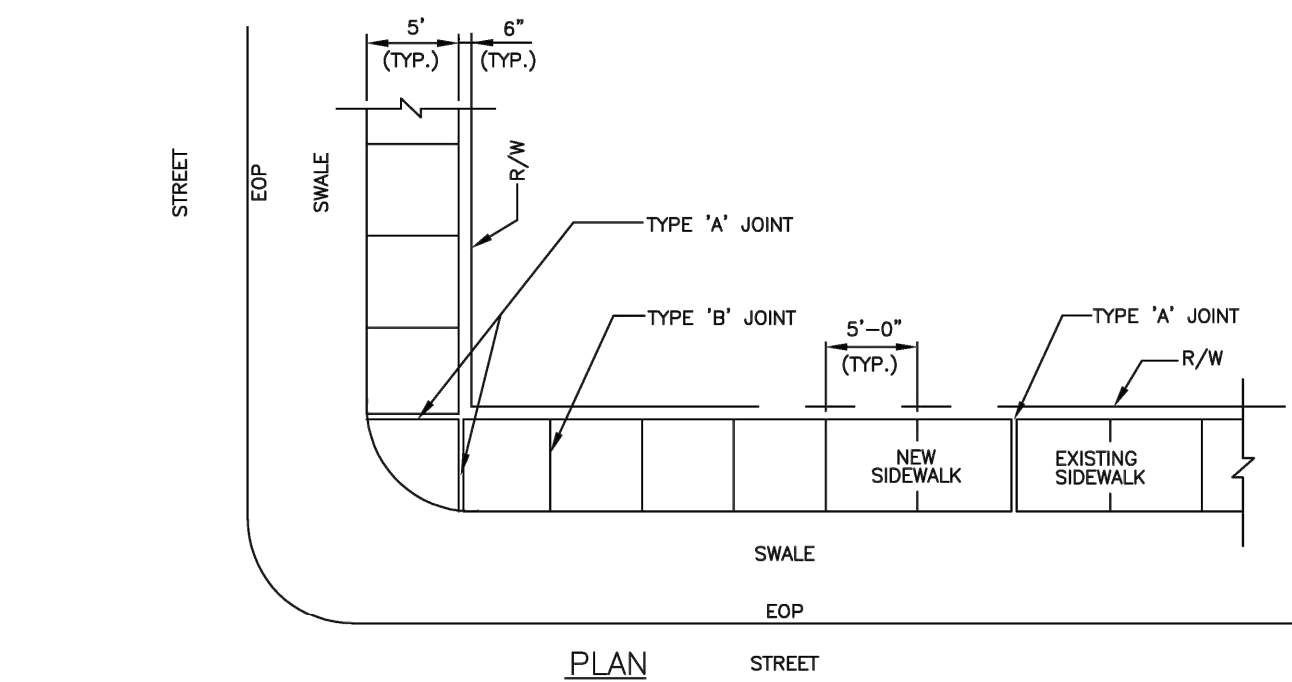
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C-23
APPROVED: JG		



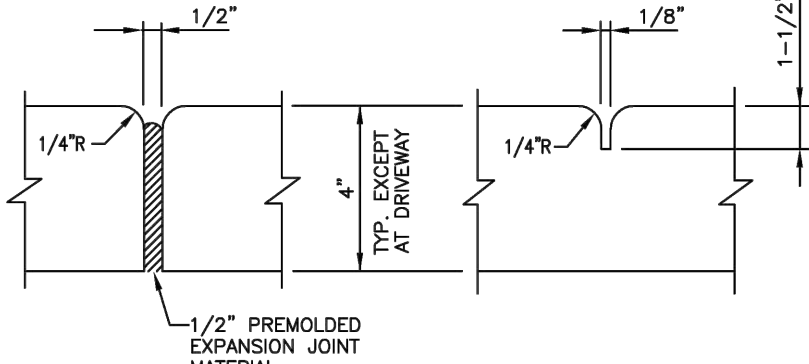
SECTION C-C



SIDEWALK WITH CURB



PLAN

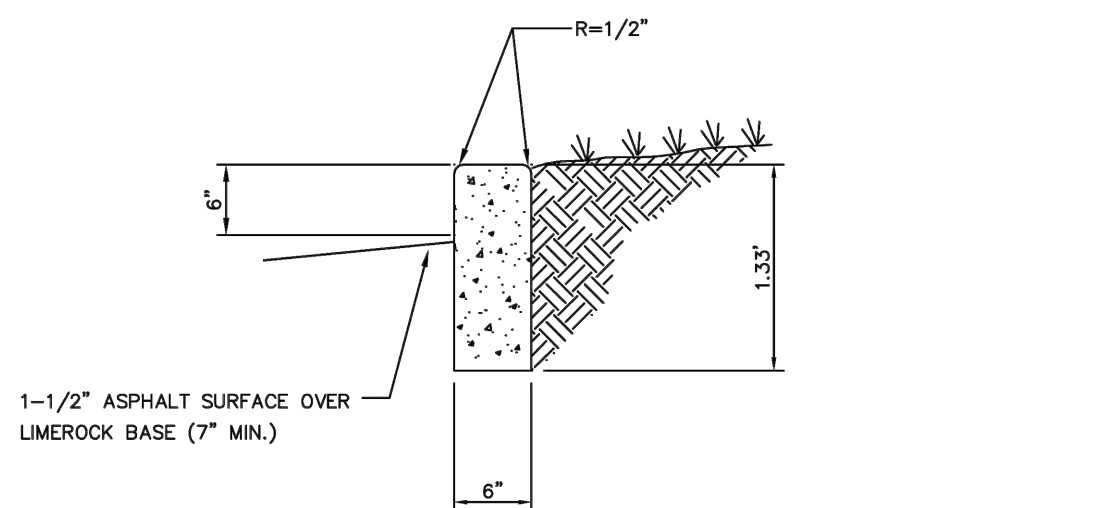


SIDEWALK JOINTS

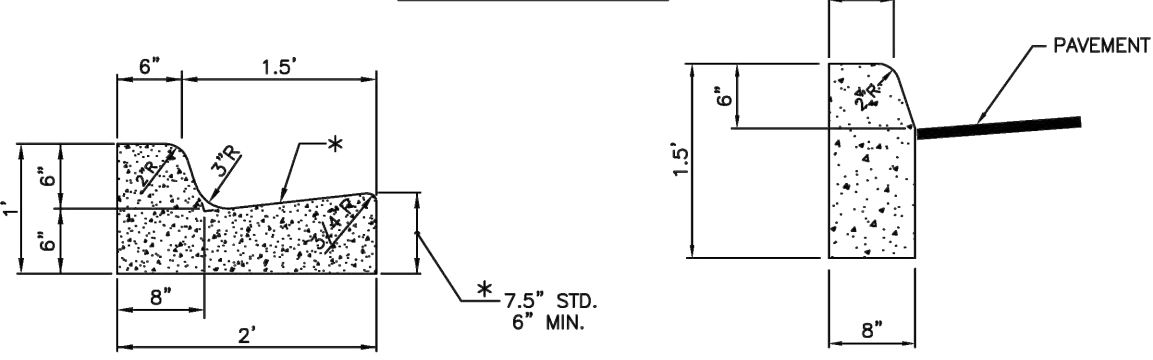
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5' CENTER TO CENTER ON SIDEWALKS.

NOTES:

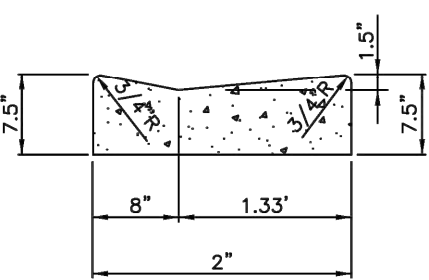
1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
4. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.



STANDARD CURB

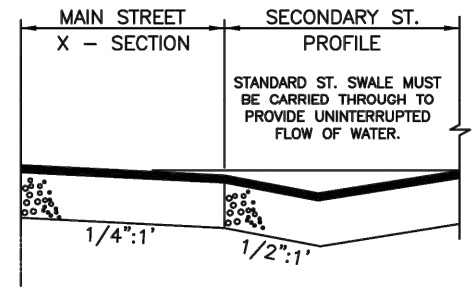


6" CURB & GUTTER (FDOT TYPE "F")



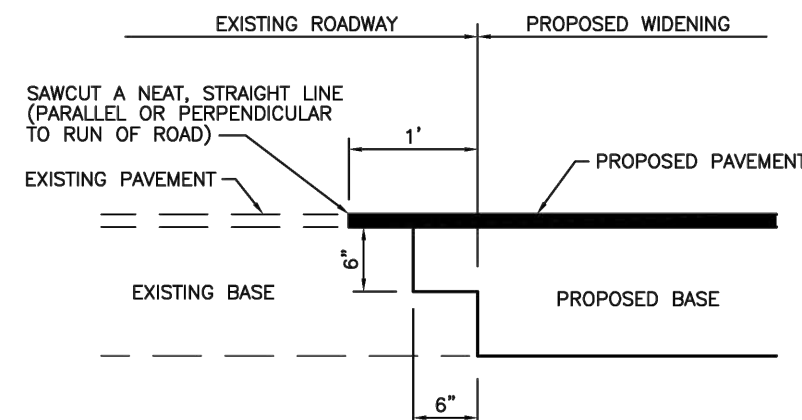
DRIVEWAY CURB & GUTTER

TYPE 'D' CURB



VALLEY GUTTER

- * WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	DRAWING NO.: C-24
APPROVED: JG		

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C-25
APPROVED: JG		

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	CURB AND GUTTER DETAILS	DRAWING NO.: C-26
APPROVED: JG		

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SAWCUT DETAIL	DRAWING NO.: C-28
APPROVED: JG		



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FLORIDA LICENSE # 84162

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Client:

BELLE
COAST

Project Name and Address:

CUSTOM HOME

824 POLK ST
LOT 25
CITY OF HOLLYWOOD
BROWARD COUNTY

Rev.	Date	Description
△	CITY COMMENTS	10/31/2024

Sheet Title:

CONSTRUCTION
NOTES AND
DETAILS

CONSTRUCTION DRAWINGS

Date: 08/08/24

Scale: AS NOTED

Drawn by: EM

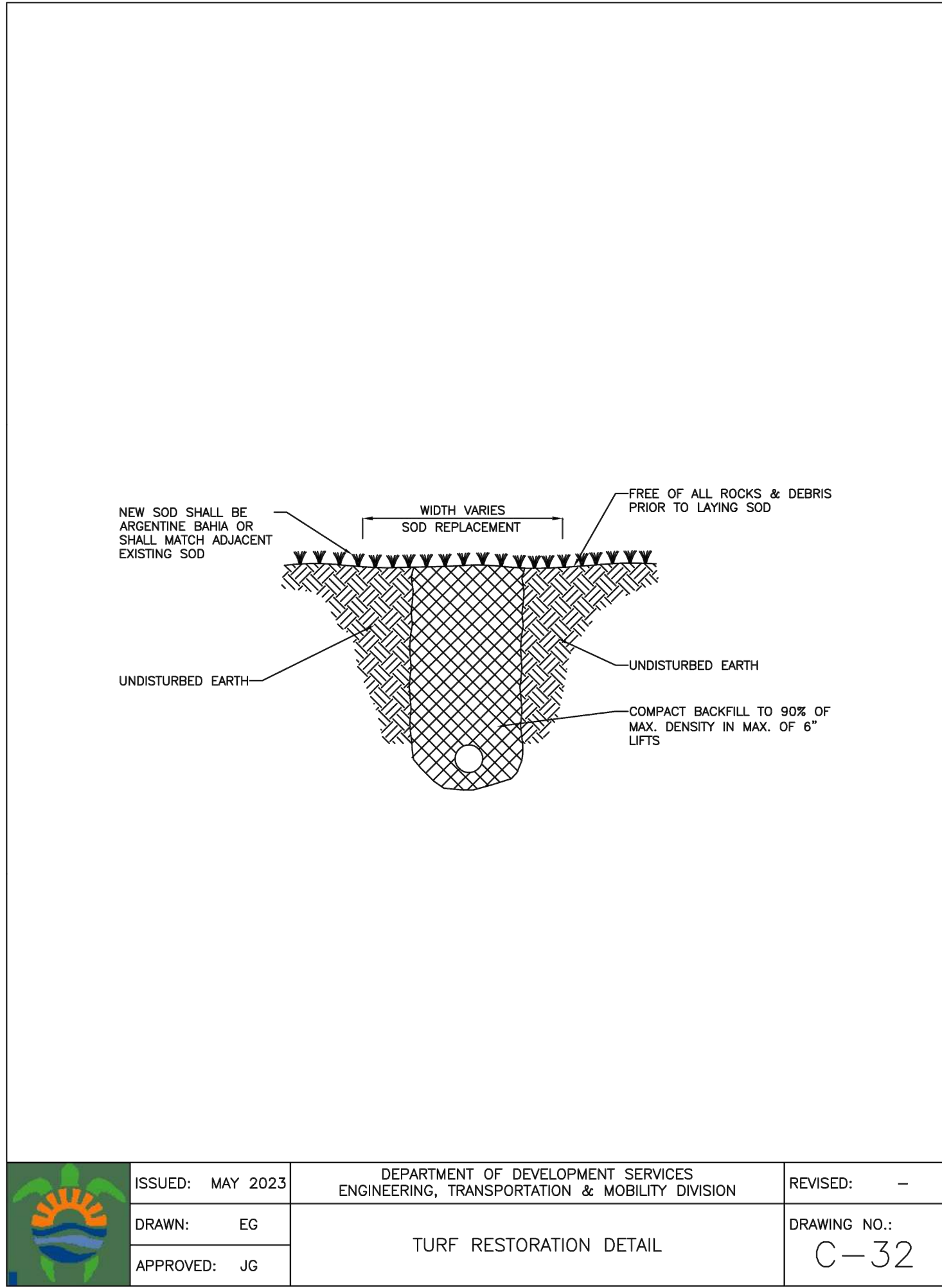
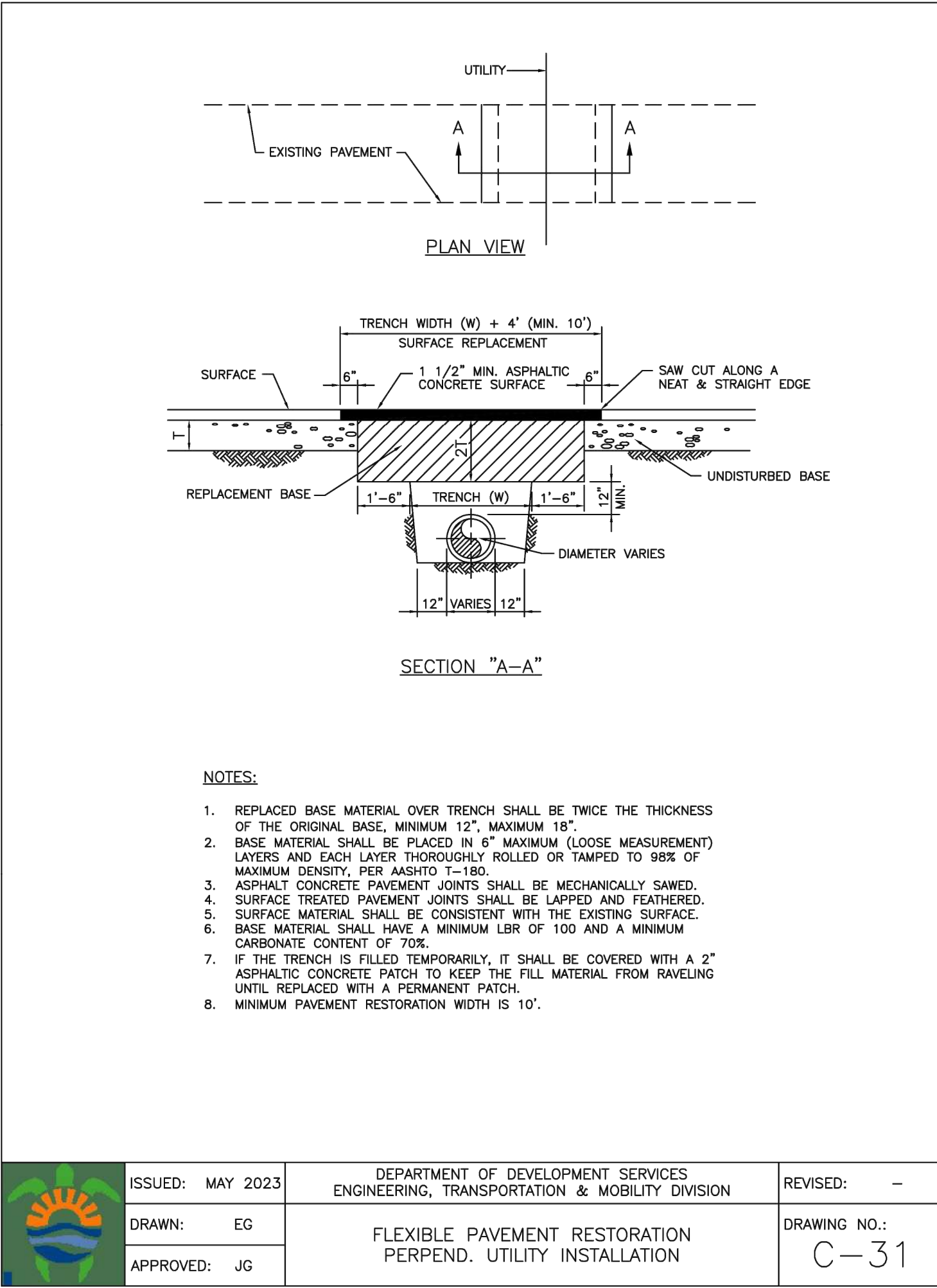
Designed/ Approved by: EM

Project Number: 24-026-03

Sheet Number:

C-3

Drawing name: C:\Catarina Engineering\00_Projects\26_Yoarm Andreu\03 824 Polk St - Hollywood\CAD\24-026-03-CP-Paving Grading and Drainage Plans.dwg C-3.1 lot 25 Nov 15, 2024 12:19pm by: eneli



CATARINA
ENGINEERING

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ENELISE L. MICHAELS, P.E.
FLORIDA LICENSE # 84162

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Client:

**BELLE
COAST**

Project Name and Address:

CUSTOM HOME

824 POLK ST
LOT 25
CITY OF HOLLYWOOD
BROWARD COUNTY

Rev.	Date	Description
△	CITY COMMENTS	10/31/2024

Sheet Title:

**CONSTRUCTION
NOTES AND
DETAILS**

CONSTRUCTION DRAWINGS

Date: 08/08/24

Scale: AS NOTED

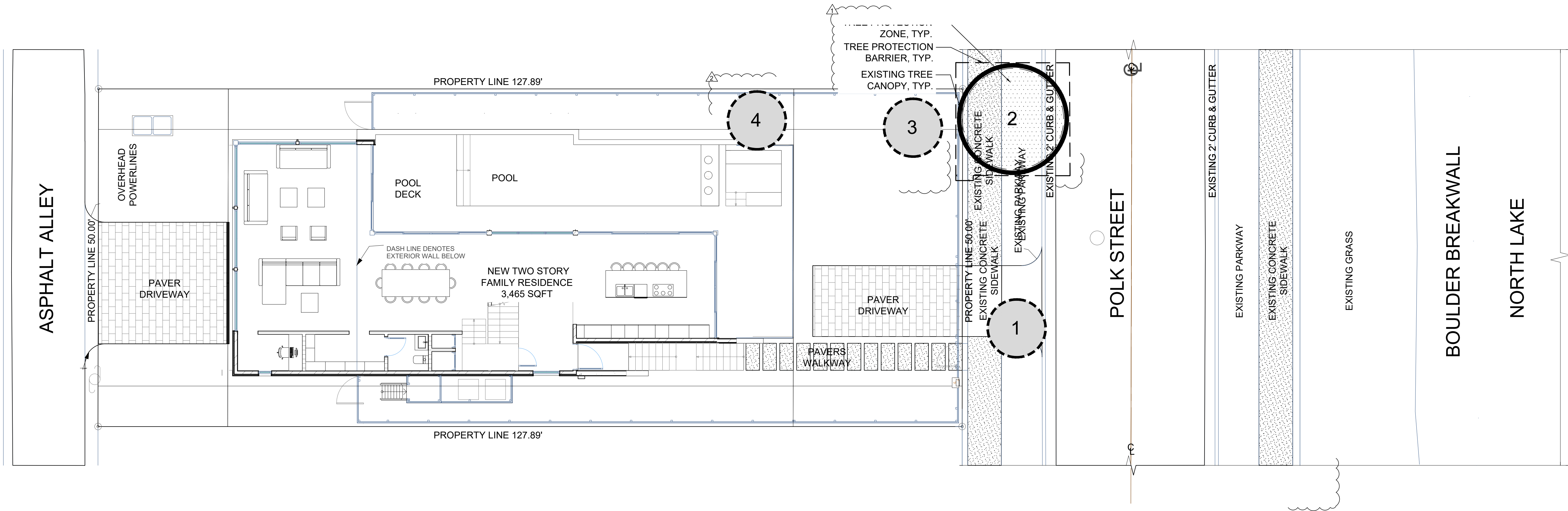
Drawn by: EM

Designed/ Approved by: EM

Project Number: 24-026-03

Sheet Number:

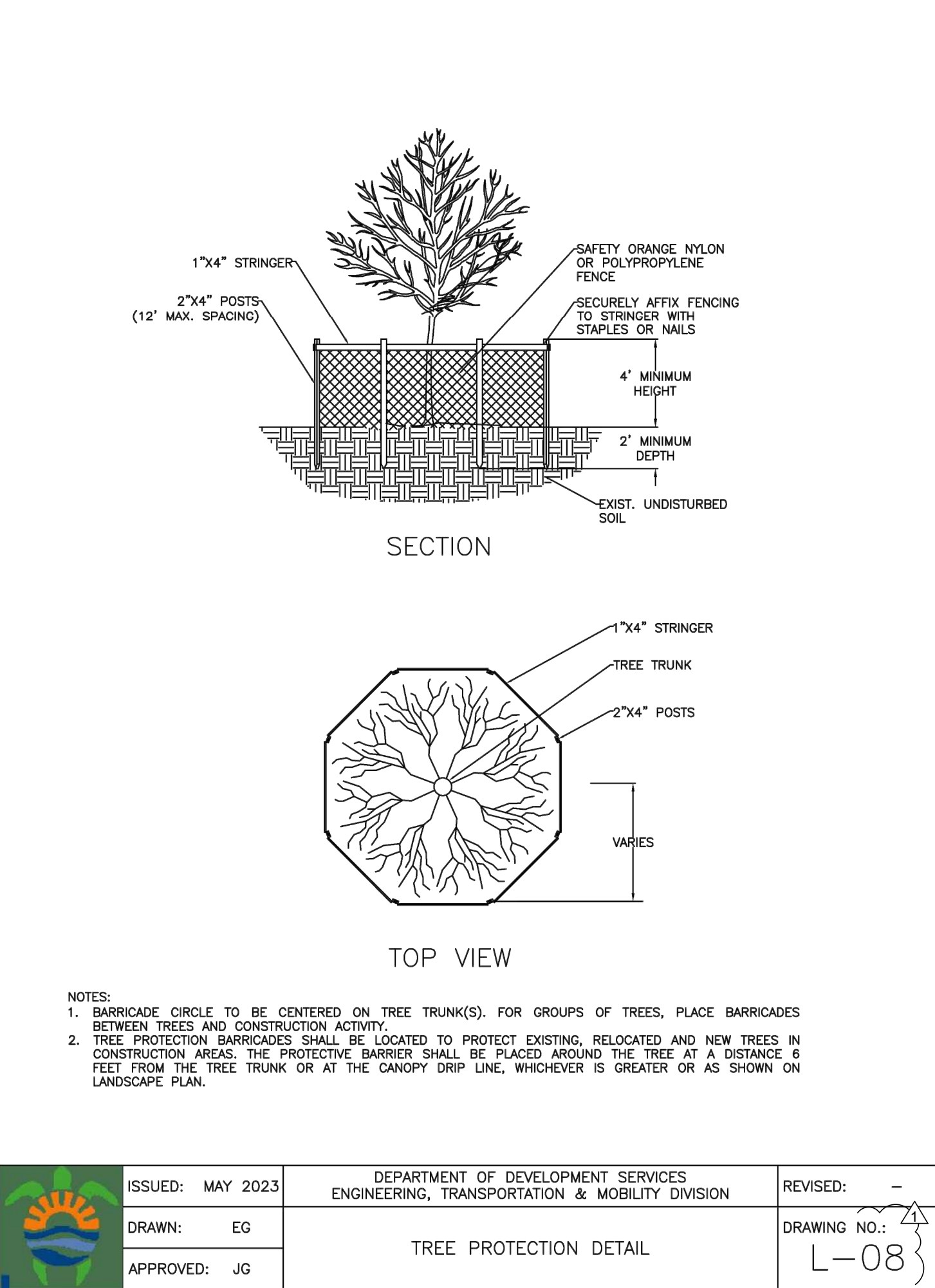
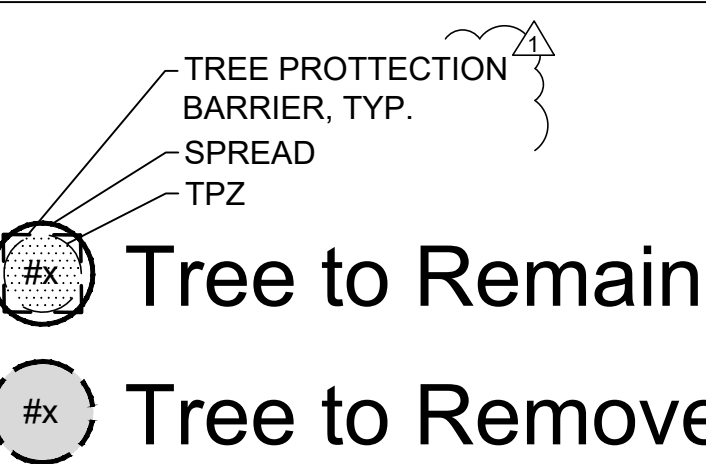
C-3.1



TREE DISPOSITION PLAN - LOT 02

Scale: 1" = 8'-0"

SYMBOL LEGEND



TREE SURVEY CHART									
TREE #	SCIENTIFIC NAME	COMMON NAME	DBH (INCHES)	CT HEIGHT (FEET)	CANOPY (FEET)	TREE PROTECTION ZONE (TPZ)	DISPOSITION	CONDITION	NOTES
1	Roystonea regia	Royal Palm	24"	25'	10'	--	REMOVE	GOOD	IN CONFLICT WITH PROPOSED DRIVEWAY
2	Roystonea regia	Royal Palm	24	30'	15'	15'	REMAIN	GOOD	
3	Roystonea regia	Royal Palm	24	35'	15'	15'	REMOVE	GOOD	
4	Roystonea regia	Royal Palm	24	50'	15'	15'	REMOVE	GOOD	

MITIGATION REQUIRED: 0" TREE DBH REMOVED, 3 PALMS REMOVED = 0" DBH AND (3) 8' CLEAR TRUNK PALMS

MITIGATION BREAKDOWN	REQ.	PROV.
TREE DBH REPLACEMENT: No trees will be removed therefore there is no DBH needed towards mitigation.	0" DBH	
PALM REPLACEMENT: We are using (8) 8' C.T. towards mitigation.	3 PALMS	3 PALMS

- TREE PROTECTION NOTES:
- PROTECTION AREA SHALL BE KEPT UP AT ALL TIMES DURING THE CONSTRUCTION PHASE.
 - NO ENCROACHMENT OR CONSTRUCTION DEBRIS SHALL BE ALLOWED IN THE PROTECTION ZONE.
 - ZONE SHALL EXTEND TO THE TREE CANOPY DRIPLINE.
 - KEEP IN PLACE ALL TREE PROTECTION BARRIERS UNTIL THE PROJECT IS COMPLETED.

FLORÁ
LANDSCAPE
ARCHITECTURE
+ DESIGN

SHAYC@FLORALADESIGN.COM
786-660-1097

2024 FLORA LANDSCAPE ARCHITECTURE
THE DESIGN AND DRAWINGS HEREIN ARE THE
INTELLECTUAL PROPERTY OF THIS
LANDSCAPE ARCHITECT AND ARE PROTECTED
UNDER THE COPYRIGHT PROTECTION ACT

TREE DISPOSITION PLAN

LOT 26: NO ADDRESS

HOLLYWOOD, FLORIDA 33019

Revisions:

1) HPB Comments 08.11.2024 DM

2) HPB Comments 11.04.2024 SC

Seal:

Digitally signed by Shaylin Castillo

Date: 2024.11.18 14:25:08 -05'00'

Lic. # LA6667593

Sheet Description:

TREE DISPOSITION PLAN

Release Date:

05.14.2023

Project Number:

2024-15

Drawing Number:

TD-1

ISSUED: MAY 2023

DRAWN: EG

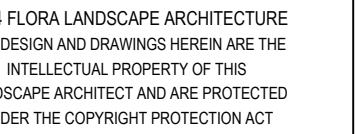
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

TREE PROTECTION DETAIL

REVISED: -

DRAWING NO.: L-08



HULLYWOOD, FLORIDA 33019

[illegible]

Digitally signed by Shaylin Castillo
Date: 2024.11.18 14:25:21 -05'00'

PROPOSED LANDSCAPE PLAN

08.12.2024

2024-15

-1



PROPOSED LANDSCAPING WILL NOT
OBSTRUCT ONSITE DRAINAGE OF
RETENTION SWALES ALONG
PROPERTY LINES

*Property is within a Historic Preservation District, proposed land use requires Historic Preservation Board review requirements.

AWN	As	Stenotaphrum secundatum 'Floratum'	SOLID EVEN SOD
-----	----	------------------------------------	----------------

* DENOTES NATIVE SPECIES

