



GENERAL APPLICATION

APPLICATION DATE:			
APPLICATIO	N TYPE (CHECK ALL THAT APPLIES):		
	visory Committee Art in Public Places Committee Variance		
Room 315 Planning and	Development Board Historic Preservation Board Special Exception		
Hollywood, FL 33022	Sion Administrative Approval		
Tel: (954) 921-3471 PROPERTY	INFORMATION		
Email: Development@ Location Add	Iress: 824 POLK STREET		
HOIIVWOODII Ord	Block(s): 72 Subdivision: SECTION 1-32 B		
SUBMISSION REQUIREMENTS: Folio Number(s): <u>514214024270</u>		
One set of signed & Zoning Classif	ication: RS-6 Land Use Classification: RESIDENTIAL		
(i.e. Architect or Engineer) Existing Proper	rty Use: RESIDENTIAL - VACANT LAND Sq Ft/Number of Units: 6,400 SQFT		
One electronic Is the request	the result of a violation notice? \square Yes \square No If yes , attach a copy of violation.		
combined PDF submission (max. 25mb) Has this prope	erty been presented to the City before? If yes, check al that apply and provide File		
Completed Application Number(s) and	Resolution(s): YES / RESOLUTION PENDING / LOT DIVISION APPROVED #24-V-17		
Checklist	ENT PROPOSAL		
• Application for	Request: NEW SINGLE FAMILY HOME		
Explanation of	rtequest.		
Discood Discood	t. Van Die William of Diagon		
Phased Project	t: Yes ☐ No ☑ Number of Phases: ☐		
Phased Project	t: Yes No Number of Phases: Proposal		
· · · · · · · · · · · · · · · · · · ·	Proposal		
Project Units/rooms (Proposal		
NOTE: Note: Project Units/rooms (Proposed Note: Proposed Note: Open Space:	# of units) # UNITS: 1 #Rooms 5		
NOTE: Note: This application must be completed in full and submitted with all Project Units/rooms (Proposed No Open Space Parking (# of	Proposal # of units) # UNITS: 1 #Rooms 5 n-Residential Uses S.F.) (% and SQ.FT.) Required %: 45.69 (Area: 2,922 S.F.)		
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1E8EAFBBEC3DA





GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

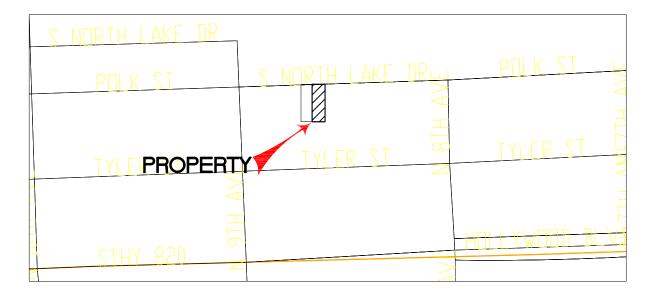
Signature of Current Owner: Christian Rene Gardel Sympton 2020406917 (2)22-13-800	Date: 05/17/2024
Christian Rene Gardel PRINT NAME:	Date: 05/17/2024
Signature of Consultant/Representative: YOANN ANDREU	Date: 5/14/2024
PRINT NAME:	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of the to my property, which is hereby made I to be my legal representative before the Committee) relative to all matters concerning this application.	by me or I am hereby authorizing
Sworn to and subscribed before me 05/17/2024	
Bruce Toledo Commission # HH 284846 Notary Public - State of Florida My Commission Expires Sep 09, 2026	ature of Current Owner
My Commission Expires: (Check One) Personally known to me; OR Produc	ed Identification Passport



2E8EAFBBEC3DA

OCATION SKETCH

SCALE: NTS





JOB No. 24-03824L25 CLIENT: BIDASK LADRILLO LLC
PROPERTY ADDRESS 824 POLK ST HOLLYWOOD FL 33019 FOLIO: 514214024270
LEGAL DESCRIPTION: (FURNISHED BY CLIENT)
LOT 25, BLOCK 72
SUBDIVISIONHOLLYWOOD LAKES
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK $_1$ AT PAGE 32
OF THE PUBLIC RECORDS OFBROWARD COUNTY, FLORIDA.
SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHT-OF-WAY OF RECORD, UNDERGROUND
ENCROACHMENTS IF ANY, NOT LOCATED.
SURVEYOR'S NOTES:

- 1-) IF SHOWN, BEARINGS AND ANGLES ARE REFEREED TO SAID PLAT IN LEGAL DESCRIPTION.
 2-) THE RELATIVE CLOSURE IN THE FIELD MEASURED BOUNDARY IS BETTER THAN: 1 FOOT IN 7,500 FEET; LINEAR (SUBURBAN).
 3_) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. THEREFORE, THERE MAY BE RESTRICTIONS ON THIS PARCEL THAT ARE NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. NO EXPRESSED OR IMPLIED DETERMINATION OF TITLE OR OWNERSHIP TO THE LAND DESCRIBED IS MADE.
 4-) THERE MAY BE UNDERGROUND UTILITY LOCATIONS AND SUBSURFACE FEATURES WITHIN THE PARCEL THAT ARE NOT SHOWN. THERE IS NO VISIBLE SURFACE OR OVERHEAD ENCROCACHMENT, OTHER THAN SHOWN ON THIS SURVEY.

- IS NO VISIBLE SURFACE OR OVERHEAD ENCROACHMENT, OTHER THAN SHOWN ON THIS SURVEY.

 5-) IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY DRAWING WITHOUT THE PRIOR WRITTEN CONSENT OF THE SURVEYOR.

 6-) INFORMATION OF TREE IF PROVIDED: DIAMETER (Ø), HEIGHT (H), CANOPY SHADE (CS). ALL NAMES ARE NOTED TO SURVEYORS ABILITY. SURVEYOR IS NOT AN ARBORIST AND CANNOT PROVIDE SCIENTIFIC NAMES OF TREE AND OR PLANTS.

 7-) SURVEYOR DOES NOT DETERMINE OWNERSHIP OF FENCE, ONLY EXISTING LOCATION IS REPRESENTED.

 8-) FLOOD ZONE DETERMINATION MUST BE CONFIRMED BY AUTHORIZED OFFICIAL PRIOR TO CONSTRUCTION AND/OR DESIGN.

 9-) ELEVATION INFORMATION: (IF APPLICABLE): THESE ELEVATIONS WERE MEASURED USING SURVEY- GRADE GLOBAL POSITION SYSTEM EQUIPMENT, THAT UTILIZES THE F.D.O.T. PERMANENT REFERENCE NETWORK AS ITS HIGH ACCURACY REFERENCE NETWORK (H.A.R.N)

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 08-18-14 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE _ BASE FLOOD ELEVATION $\underline{5.0}$ COMMUNITY $\underline{125113}$ PANEL NUMBER $\underline{-0588}$ SUFFIX . ELEVATIONS(WHEN SHOWN) REFER TO N.A.V.D. 1988 DATUM, HWY A-1-A COUNTY BENCHMARK USED $_{-}\#1915$ ELEVATIONS $_{-}1.67'$ FEET B.M. LOCATION $_{-}$ SR 820

CERTIFIED TO:

BIDASK LADRILLO LLC

CERTIFICATE No.L.B. 8064 STATE OF FLORIDA Main Line: (305) 901-1317 Fax: (305) 901-1323

LEONARDO MAQUEIRA, P.S.M CERTIFICATE No.L.S.-6992 STATE OF FLORIDA

"NOT VALID WITHOUT THE SIGNATURE, DATE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS DIGITALLY SIGNED WITH SIGNATURE & CERTIFICATE"

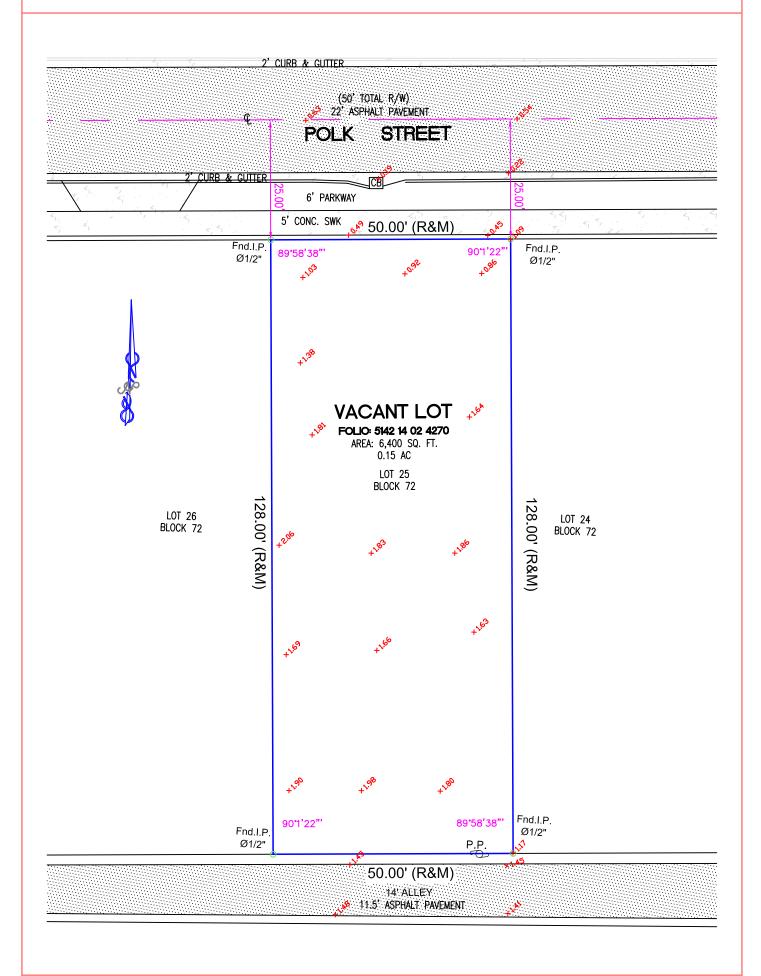


PAGE 2 OF 2 NOT VALID WITHOUT PAGE 1 OF 2

JOB No. <u>24-03824L25</u>

SCALE: 1" = 20'

BOUNIDAIRY SUIRVEY



BELLE COAST GROUP, Inc.

2475 NE 135th Street, North Miami, FL 33181 Phone: (786) 218-3072 www.bellecoast.com

License #AR102136

CERTIFICATE OF APPROPRIATENESS FOR DESIGN

The applicant is proposing the construction of a new two-story single-family residence located at 824 Polk Street in the Single Family Residential District (RS-6).

According to information from the Broward County Property Appraiser, the subject property is currently a vacant lot and does not contain any existing structure.

The proposed design consists of a two-story modern subtropical residence with approximately 3,500 square feet of air-conditioned space, a pool and deck, landscaping, and vehicular access from both the street and rear alleyway.

The proposed design adheres to all current zoning and building code requirements, including setbacks, height limitations, and flood elevation standards. The project is designed to enhance the architectural quality of the Lakes District while maintaining compatibility with the surrounding neighborhood.

This application for the Certificate of Appropriateness for Design is submitted to ensure compliance with the standards set forth by the City of Hollywood's Zoning and Land Development Regulations, specifically Section 5.6.F., and to demonstrate the project's consistency with the Lakes Area Multiple Resource Listing District guidelines.

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DESIGN

A decision on an application for a Certificate of Appropriateness for Design for new building construction shall be based on the evaluation of the compatibility of the proposed alteration or improvement with and adherence to the criteria for designation listed in SS 5.6.F.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed development is consistent with the goals, objectives, and policies of the City of Hollywood Comprehensive Plan. The new single-family residence supports low-density residential land use, reinforces neighborhood character, and enhances the long-term sustainability of the Lakes District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The proposed project aligns with the City-wide Master Plan by promoting architectural quality, residential reinvestment, and context-sensitive design. The home's orientation, scale, and landscape integration contribute to the pedestrian character and livability of the neighborhood.

CONSISTENCY WITH THE LAKES AREA MULTIPLE RESOURCE LISTING DISTRICT NEIGHBORHOOD PLAN

The design for 824 Polk Street adheres to the intent of the Lakes Area District guidelines by preserving neighborhood continuity while encouraging contemporary expressions of coastal architecture. The project contributes to the visual diversity and architectural evolution of the district through scale, proportion, and refined subtropical detailing.

MANDATORY CRITERIA: INTEGRITY OF LOCATION, DESIGN, SETTING, MATERIALS, WORKMANSHIP, AND ASSOCIATION

Criteria: Integrity of Location

Analysis:

The integrity of the location will not be compromised. The proposed residence conforms to all zoning requirements, including setbacks, height, and green space provisions.

The scale of the home is proportional to adjacent properties and will be smaller in massing compared to several neighboring two-story homes.

The design situates the home naturally within the context of the block, maintaining alignment with established street patterns and open space rhythm.

Finding: Consistent

Criteria: Design

Analysis:

The proposed design reflects a modern subtropical aesthetic characterized by clean lines, layered planes, and shaded volumes that respond to light and climate.

The home's composition incorporates horizontal slab projections, screened terraces, and warm material finishes, creating a sense of refined tropical minimalism.

The design is compatible with other contemporary residences within the Lakes District while avoiding direct imitation of historic styles, consistent with preservation guidelines.

Finding: Consistent

Criteria: Setting

Analysis:

The property's setting will be enhanced by the introduction of landscaped open areas, a front setback garden, and a side and front pool terraces.

The massing along Polk Street is mitigated through first-floor recesses, side setbacks, and reducing perceived height and bulk.

The project maintains visual harmony with the streetscape and complements both the historic character and modern evolution of the district.

Finding: Consistent

Criteria: Materials

Analysis:

The proposed materials include stucco finishes, composite wood, and aluminum-framed windows with clear glazing.

The driveway and walkways will utilize permeable grass block pavers, promoting environmental sustainability and minimizing impervious coverage.

The project integrates 40% green space at grade level as required by zoning, and sustainability measures such as solar panel installation and energy-efficient glazing systems.

Finding: Consistent

Criteria: Workmanship

Analysis:

All construction will be executed by licensed and insured contractors, meeting or exceeding standards established by the Florida Building Code and the City of Hollywood.

Workmanship will be monitored to maintain a high level of quality control, ensuring durability, precision, and compliance with architectural intent.

Finding: Consistent

Criteria: Association

Analysis:

The new residence's massing, proportion, and rhythm are compatible with existing homes in the neighborhood. The project's architectural language—defined by balance, proportion, and subtropical simplicity—strengthens the area's evolving identity while preserving the sense of scale and residential continuity. The design contributes positively to the Lakes District's architectural diversity and long-term neighborhood character.

Finding: Consistent

CONCLUSION

The proposed new residence at 824 Polk Street meets all requirements for a Certificate of Appropriateness for Design under the City of Hollywood's Historic Preservation Ordinance. The project demonstrates architectural compatibility, contextual sensitivity, and compliance with all relevant zoning and historic district criteria.

Recommendation: Approval of Certificate of Appropriateness for Design.

HOLLYWOOD RESIDENCE

824 POLK ST, HOLLYWOOD, FL 33019

FOLIO: 514214024270 , HOLLYWOOD LAKES SECTION 1-32 B LOT 25 BLK 72



PROJECT TEAM

DESIGNER BELLE COAST GROUP, Inc. Yoann Andreu 1025 92nd St #701 Bay Harbor Islands, FL 33154 andreu@bellecoast.com (786) 218-3072

ARCHITECT OF RECORD Dennis Lytkine

lytkinedennis@gmail.com 16 Monroe St #J0D3 New York, NY 10002 (347) 830-5763 License #AR102136

CIVIL ENGINEER

Catarina Engineering, LLC Enelise Michaels 6330 N Andrews Ave #271 Fort Lauderdale, FL 33309 emichaels@catarinaengineering.com (561) 929-0876 License #84162

LANDSCAPE ARCHITECT

Flora Landscape Architecture, Inc. Shaylin Castillo 11431 Northwest 21st Street Pembroke Pines, FL 33026 ShayC@floraladesign.com (786) 660-1097 License #LA6667593

DRAWING INDEX

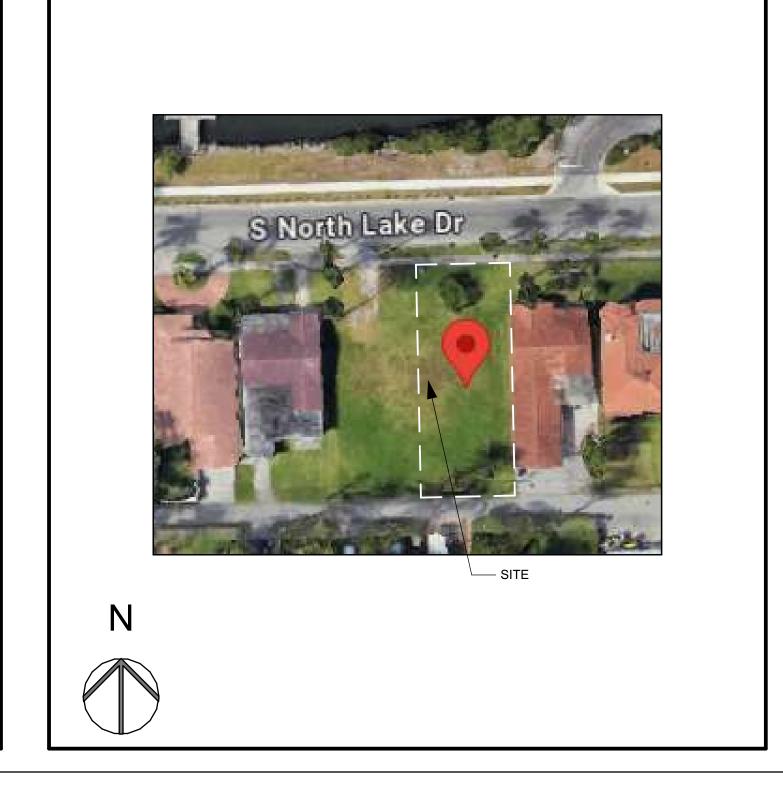
COVER SHEET + PROJECT INFORMATION

SP-1 SITE PLAN AND SITE DATA SP-2 NEIGHBORS PHOTOGRAPHY SP-3 STREET PROFILE VIEW SP-3.1 STREET VIEW SP-4 SUBJECT PROPERTY A-101 GARAGE FLOOR PLAN A-102 GROUND FLOOR PLAN A-103 SECOND FLOOR PLAN A-104 **ROOF PLAN** A-301 NORTH ELEVATIONS A-302 WEST ELEVATION A-303 EAST ELEVATION A-304 SOUTH ELEVATION A-401 SECTION VIEWS A-402 SECTION VIEW A-501 RENDERINGS A-502 RENDERINGS A-503 MATERIAL SCHEDULES A-504 MID-CENTURY MODERN INSPIRATIONS CIVIL C-1 EROSION CONTROL PLAN C-2 ENGINEERING PLAN & SECTIONS C-3 CONSTRUCTION NOTES & DETAILS C-4 CONSTRUCTION NOTES & DETAILS LANDSCAPE TD-1 TREE DESPOSITION PLAN L-1 PROPOSED LANDSCAPE PLAN L-2 TYPICAL LANDSCAPE DETAILS L-3 COLORED LANDSCAPE PLAN

ARCHITECTURAL

LOCATION MAP





AERIAL



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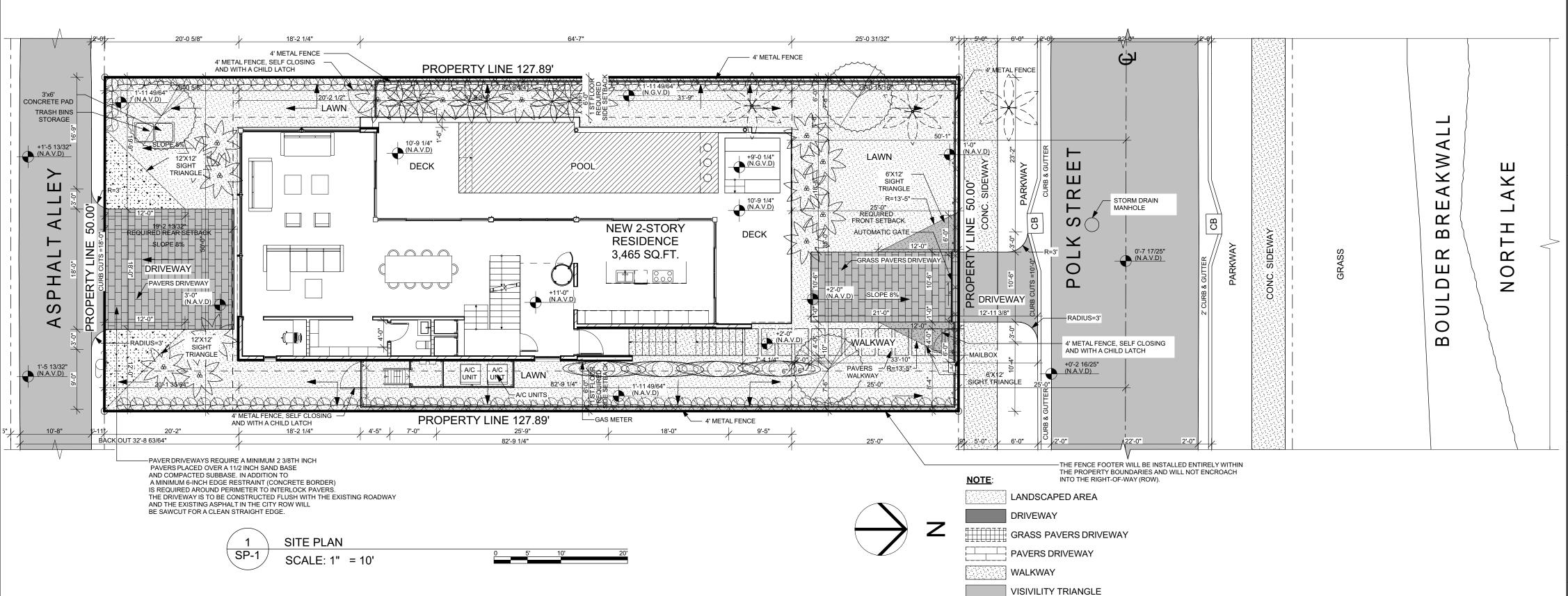
BELLE COAST GROUP, Inc. 1025 92nd St #701 Bay Harbor Islands, FL 33154 andreu@bellecoast.com (786) 218-3072

824 POLK ST HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

REVISION SCALE:

CONSULTANTS:



GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #0-2015-06

- 1. RADIANT BARRIER ROOF SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL
- REFLECTIVE
 2. WINDOWS AND GLAZING LOW E, TINTED DOUBLE
- GLAZING- U FACTOR 0.56, SHGC 0.25 3. DOORS INSULATED AND FIRE RATED
- 4. ENERGY STAR ROOFING SEALOFLEX COOL
- ROOF REFLECTO WHITE.
- 5.PROGRAMMABLE THERMOSTATS
- 6. OCCUPANCY SENSORS
- 7. DUAL FLUSH TOILETS 8. 80% OF PLANT MATERIAL NATIVE
- 9. ENERGY EFFICIENT OUTDOOR LIGHTING
- 10. INSULATED PIPING
- 11. RECYCLING AREA
- 12. ENERGY STAR APPLIANCES
- 13. ONE LOW FLOW SHOWERHEAD
- 14. ENERGY EFFICIENT OUTDOOR LIGHTING 15. ENERY EFFICIENCY 10% BETTER THAN
- STANDARD ESTABLISHED BY ASHRAE.
- 16. MERV 8 AC FLITERS

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLYUSED AREAS.

SITE LIGHTING NOTE:

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SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONE OR RESIDENTIALLY USED AREAS.

PER NFPA 1, 12.3.2* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES

AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL

RESPONSIBLE FOR DESIGN.
INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE

BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIERS THAT MINIMUM RADIO

SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTANED AT A

LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING

COMPLYNG WITH NFPAT2 (2013 EDITOR) BDA SYSTEM MAY BE REQUIERED

A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA

ALL CHANGES

SYSTEM

JOINT SYSTEMS SHALL

TO THE DESIGN WILL REQUIRE PLANING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

FEMA NOTE:

THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED

TO ENSURE IT IS STILL COMPLIANT.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

NOTE:

BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS
OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT
CODE BASED ON THE MC-1 ZONING DISTRICT. SEPARATE PERMIT
ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY
ILLUMINATED, SHALL REQUIRE A SEPARATE
ELECTRICAL PERMIT AND INSPECTION.

NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.

FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS
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TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.

NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE HOLLYWOOD LAKES SECTION 1-32 B LOT 12.13 BLK 74 RS-6 ZONING DISTRICT

PROPERTY ADDRESS

824 POLK STREET HOLLYWOOD, FL 33019

FOLIO

514214024270

BUILDING INTENSITY

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B LOT 25 BLK 72

SITE INFORMATION EXISTING PROPOSED ZONING SUB-DISTRICT VACANT LOT SINGLE FAMILY HOME **BUILDING USE** RESIDENTIAL RESIDENTIAL LAND USE DESIGNATION RESIDENTIAL RESIDENTIAL **COUNTY USE DESIGNATION** 6.395 SQFT- 0.146 ACRES 6,395 SQFT- 0.146 ACRES **NET LOT AREA** 6,395 SQFT- 0.146 ACRES 6,395 SQFT- 0.146 ACRES BASE FLOOD ZONE AE - 8'-0" NAVD

 FAR
 N/A
 N/A

 A/C AREA
 1000 SF
 3465.65 SF

 BUILDING FOOTPRINT
 N/A
 2912.00 SF

 PROPOSED DWELLING
 1
 1

 NUMBER OF FLOORS
 2
 2

 BUILDING HEIGHT
 30'-0"
 26'-2 1/2"

 PARKING CALCULATION
 REQUIRED
 PROVIDED

 PARKING SPACE
 5
 5

<u>ALLOWED</u>

PROVIDED

REQUIRED SETBACKS: <u>PROVIDED</u> FRONT (NORTH) 25'-0" 25'-0" **REAR (SOUTH)** 19.17' 19.17' **EAST SIDE 1ST FLOOR** 6'-0" 7'-6" 7'-6" 7'-6" **EAST SIDE 2ND FLOOR** 6'-0" 6'-0" **WEST SIDE 1ST FLOOR** 7'-6" **WEST SIDE 2ND FLOOR LANDSCAPE REQUIRED PROVIDED**

 IMPERVIOUS AREA BUILDING FOOTPRINT, WALKWAYS & DRIVEWAYS
 N/A
 3584.08 SF (56.04%)

 PERVIOUS AREA LANDSCAPE AREAS
 2238.25 SF (40%)
 3271.01 SF (51.14%)

 FRONT LANDSCAPE AREA
 250.00 SF (20%)
 923.00 SF (73.84%)

BUILDING AREAREQUIREDPROVIDEDFIRST FLOOR (A/C AREA)N/A1,578.87 SFSECOND FLOOR (A/C AREA)N/A1,923.12 SFTOTAL (A/C AREA)3501.99 SF

BELLE COAST
LIFESTYLE PROPERTIES

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BELLE COAST GROUP, Inc.

1025 92nd St #701
Bay Harbor Islands, FL 33154
andreu@bellecoast.com

(786) 218-3072

DATE:

PROJECT:

824 POLK ST
HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

11/15/2024

DATE:
DRAFTED BY:
SCALE:

CONSULTANTS:

SITE PLAN AND SITE DATA

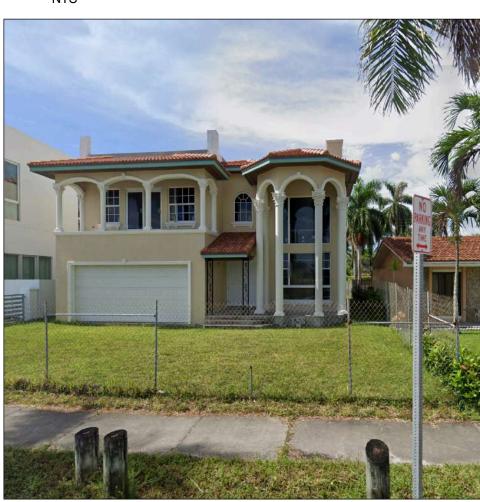
SP-1



826 S NORTH LAKE DR, HOLLYWOOD, FL 33019



3 830 S NORTH LAKE DR, HOLLYWOOD, FL 33019



5 820 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



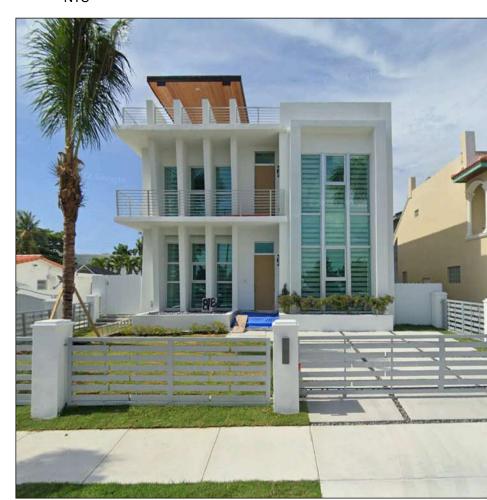
7 816 S NORTH LAKE DR, HOLLYWOOD, FL 33019 NTS



828 S NORTH LAKE DR, HOLLYWOOD, FL 33019



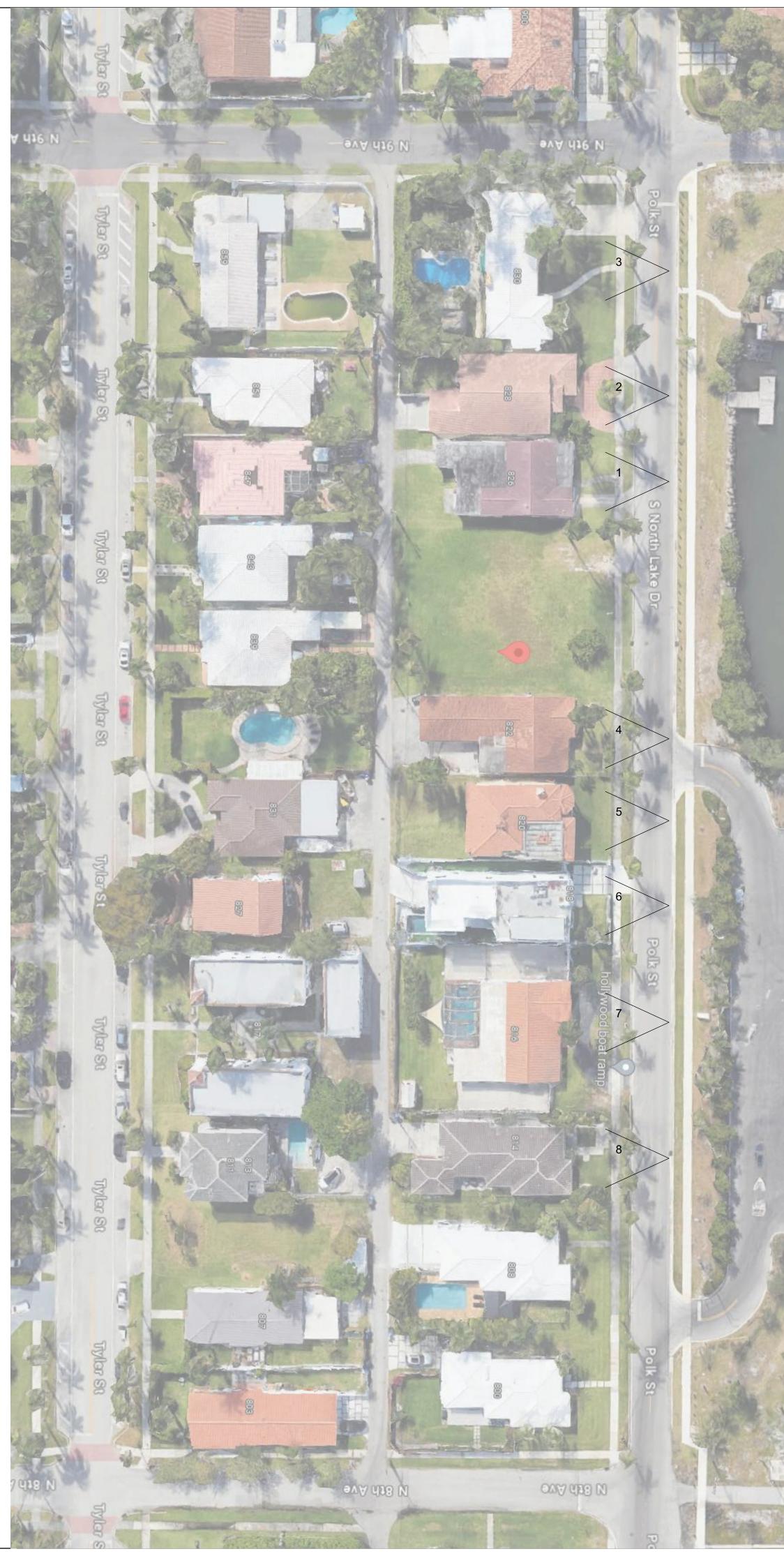
4 822 S NORTH LAKE DR, HOLLYWOOD, FL 33019



6 818 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



8 814 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



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PROJECT: 824 POLK ST HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

REVISION

11/15/2024

CONSULTANTS:

NEIGHBORS PHOTOGRAPHY

SP-2



STREET PROFILE



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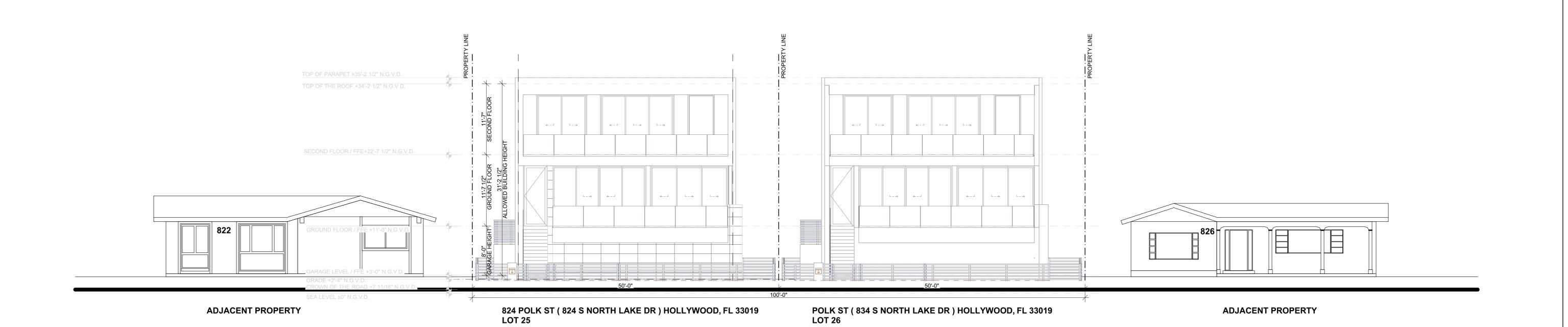
DATE:
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SCALE:

CONSULTANTS:

STREET PROFILE

SP-3

1 SOUTH-EAST - RENDER 2 SOUTH-WEST - RENDER





STREET VIEW ALONG POLK STREET

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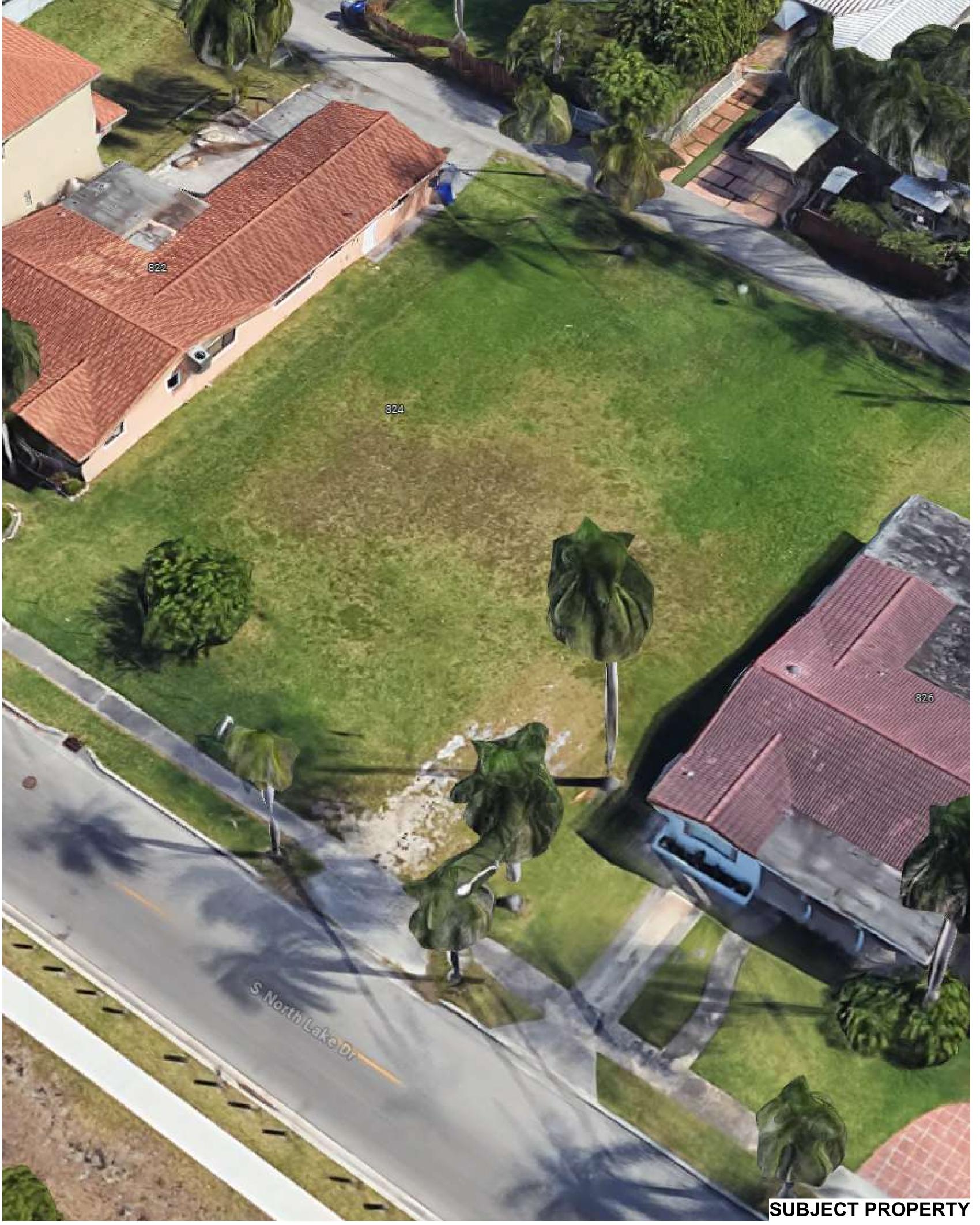
STREET VIEW

SP-3.1









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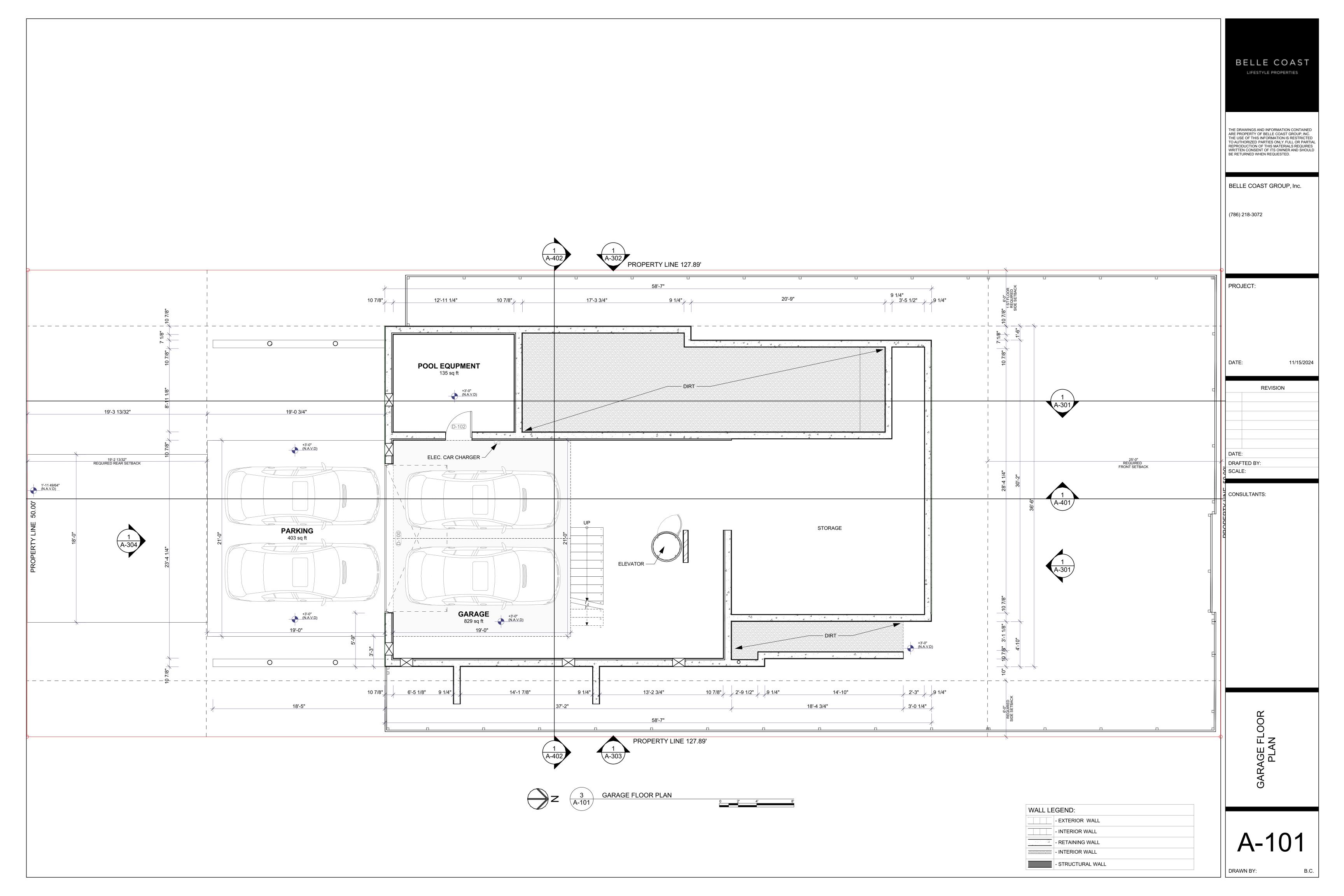
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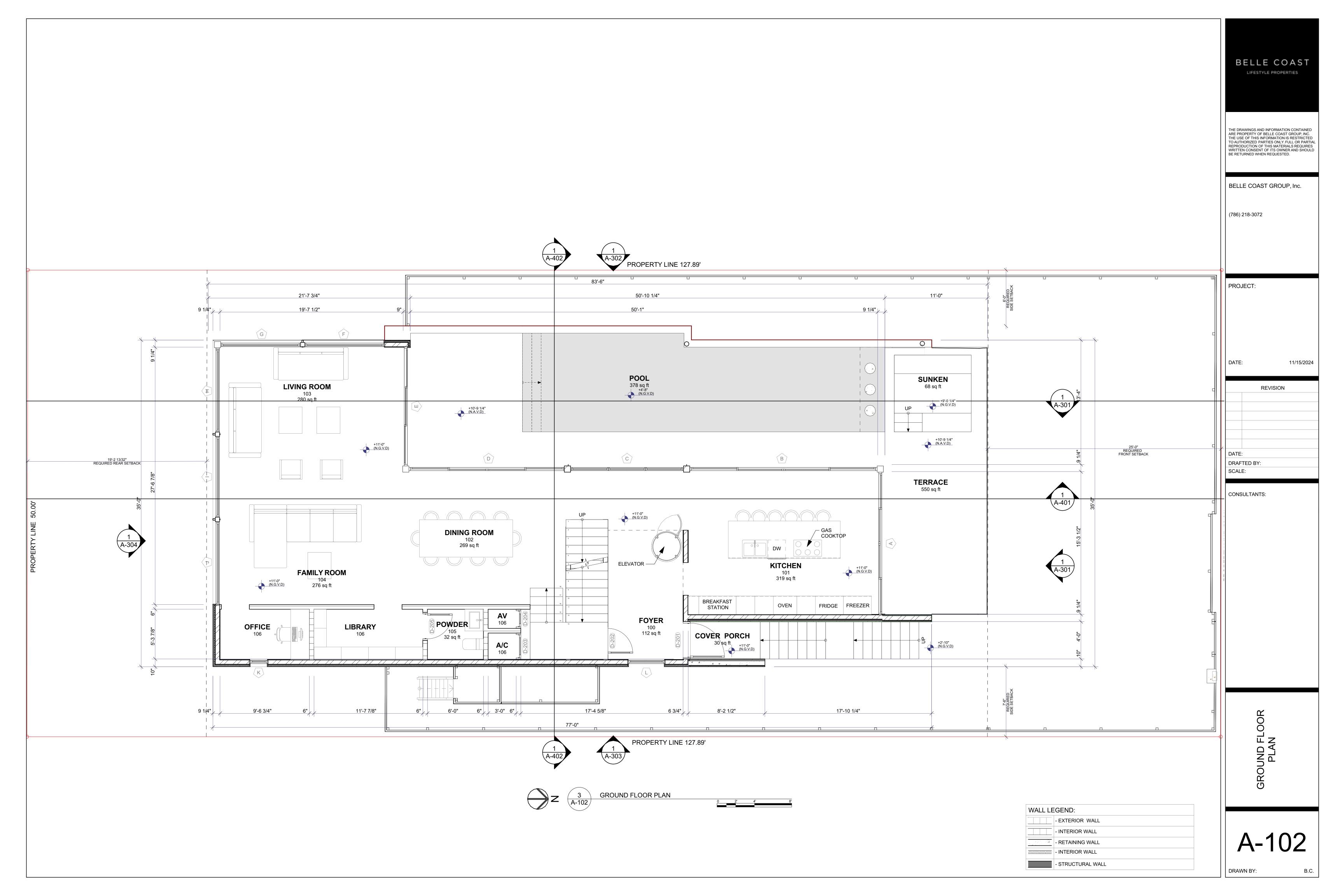
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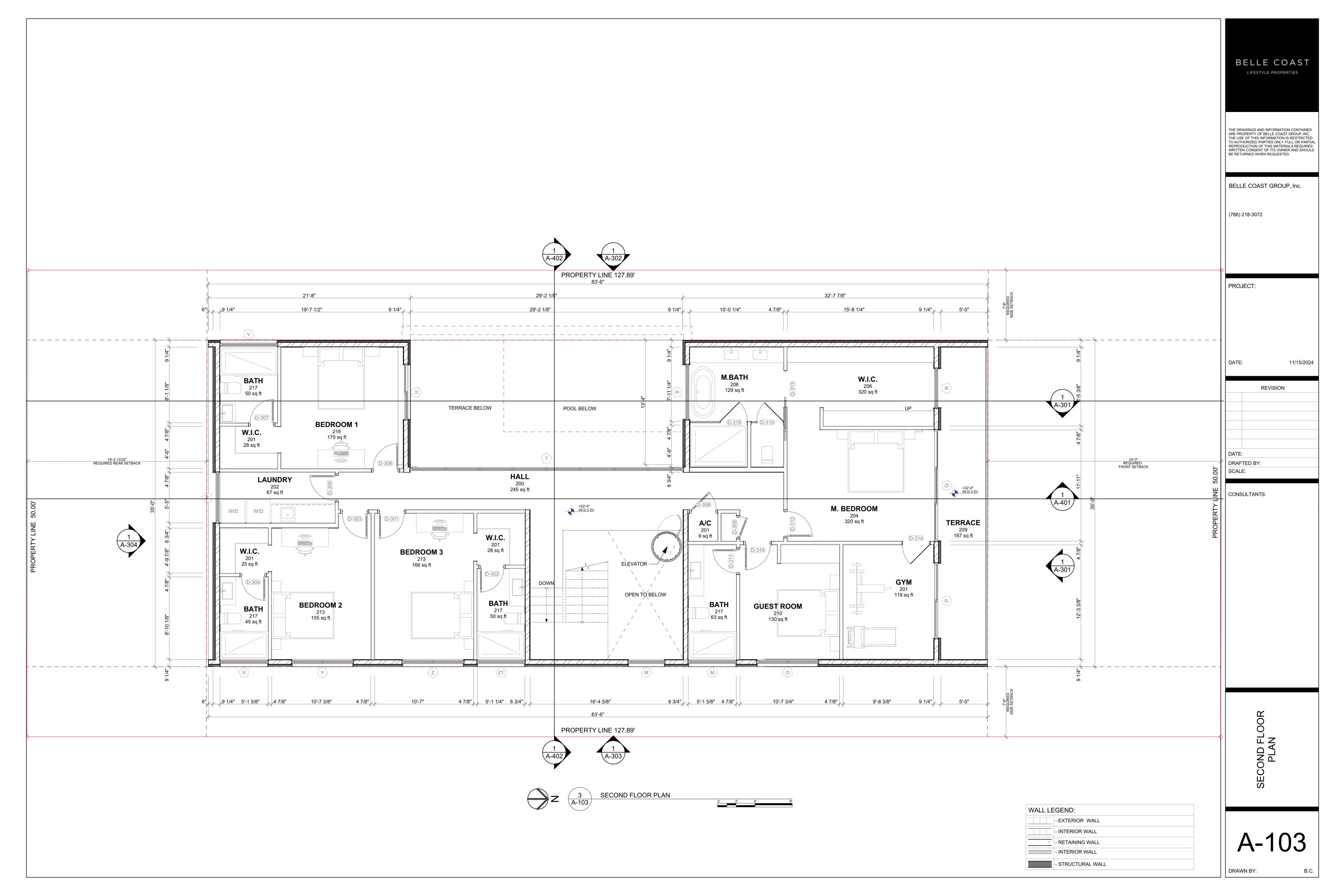
CONSULTANTS

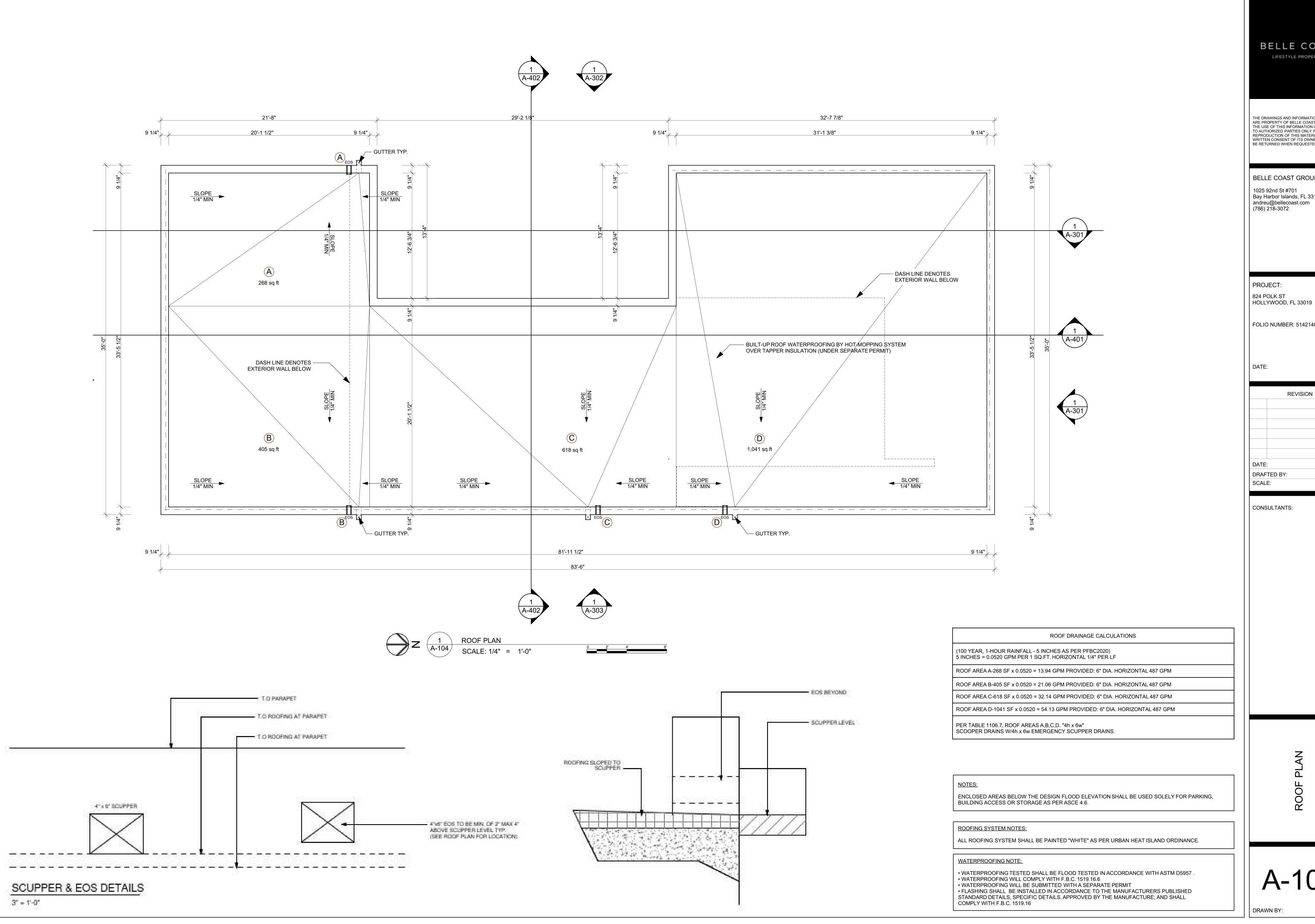
UBJECT PROPERT

SP-4









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BELLE COAST GROUP, Inc. 1025 92nd St #701 Bay Harbor Islands, FL 33154

PROJECT: 824 POLK ST

FOLIO NUMBER: 514214024270

11/15/2024

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PROJECT: 824 POLK ST HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

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11/15/2024

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A-301



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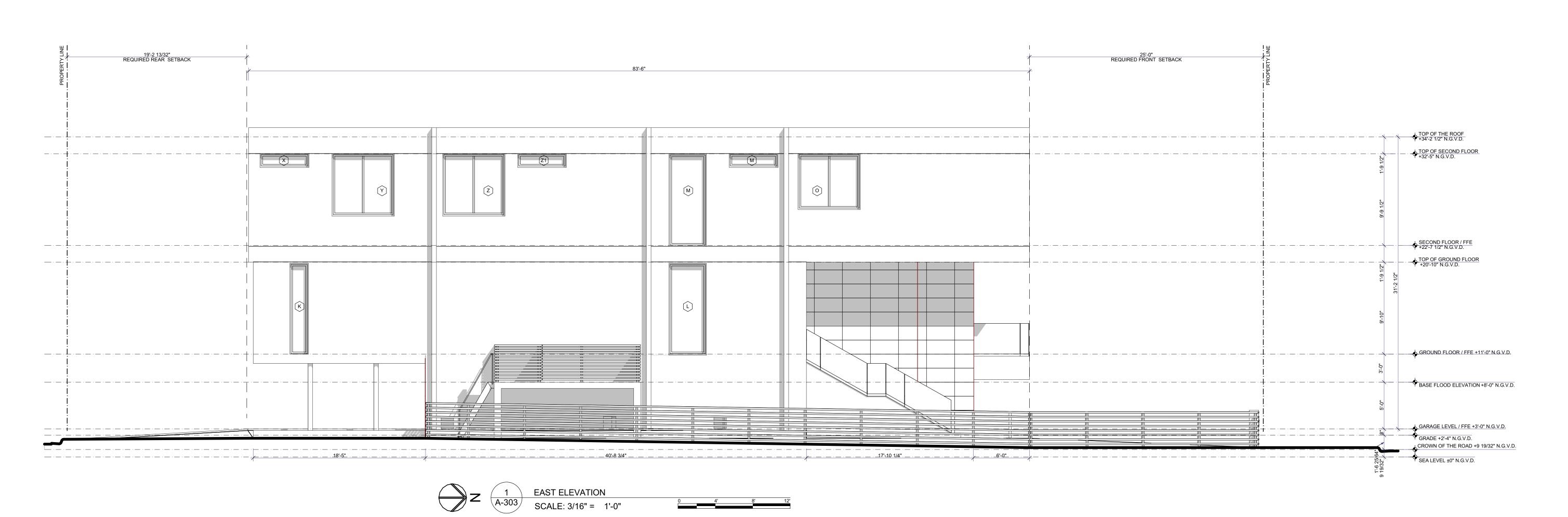
824 POLK ST HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

11/15/2024

REVISION

CONSULTANTS:





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FOLIO NUMBER: 514214024270

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DATE:
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CONSULTANTS:

EAST ELEVATION

A-303



BELLE COAST
LIFESTYLE PROPERTIES

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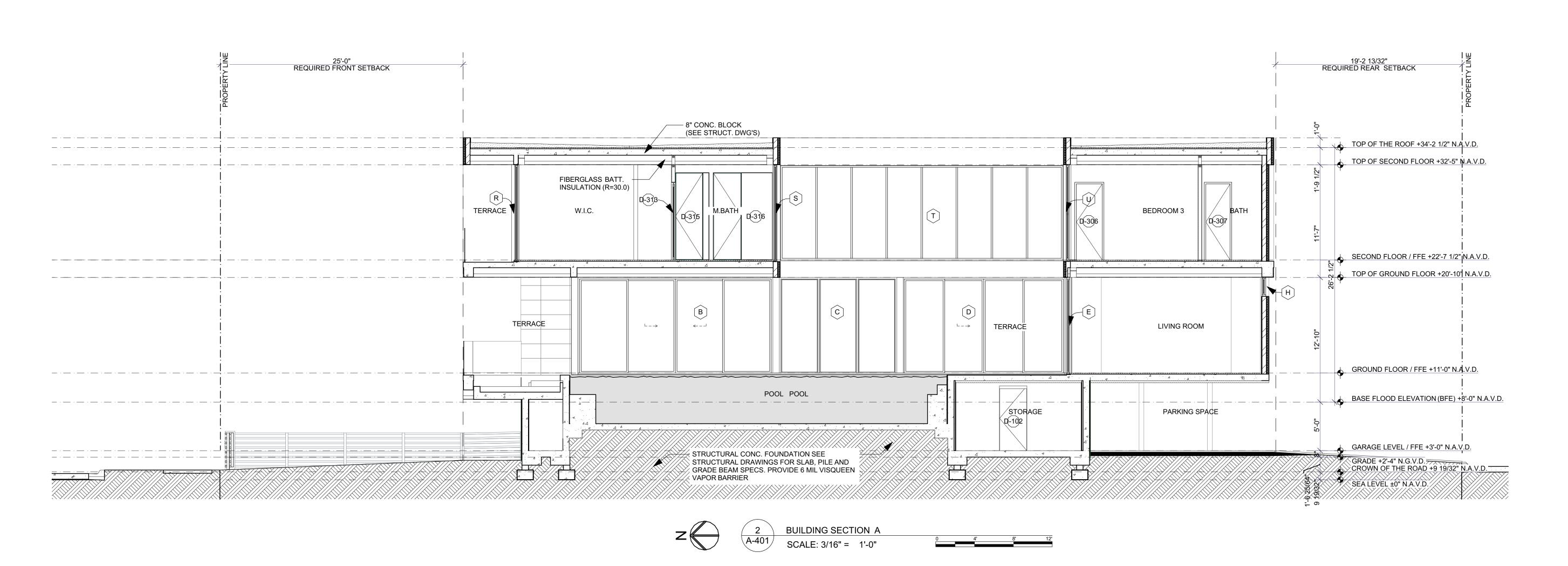
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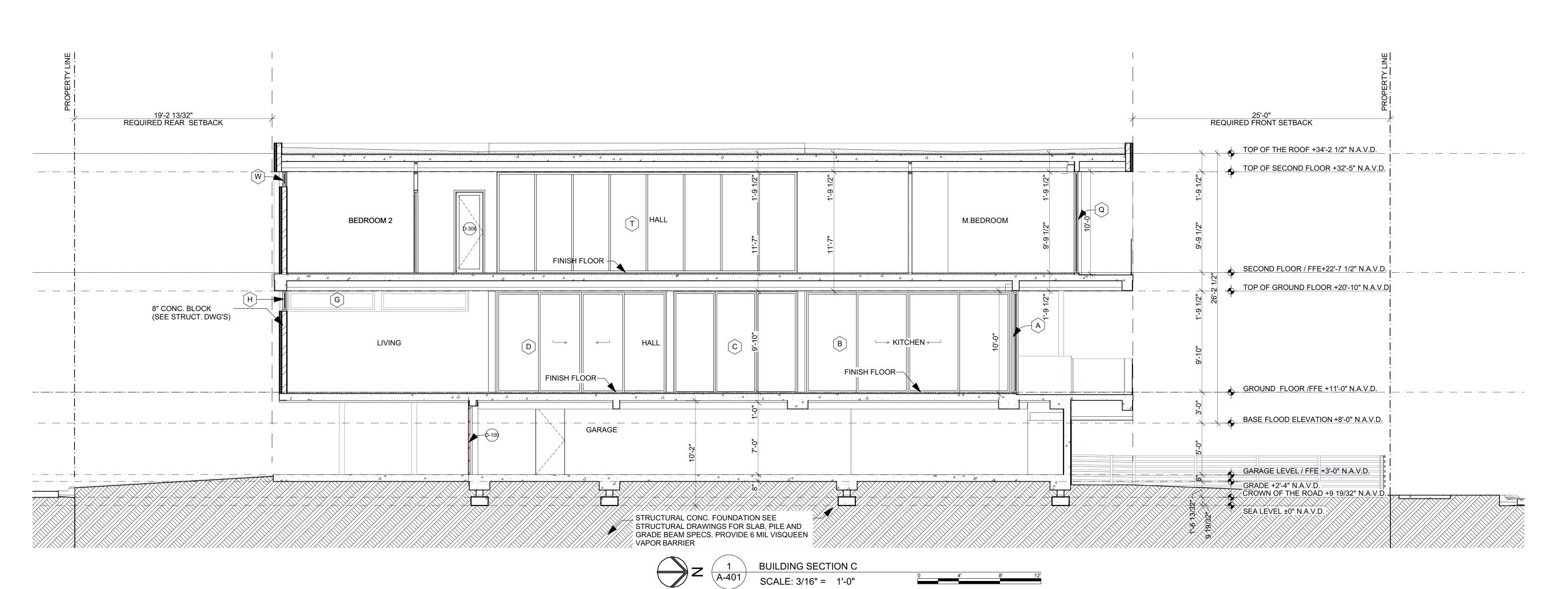
CONSULTANTS:

SCALE:

SOUTH ELEVATION

A-304





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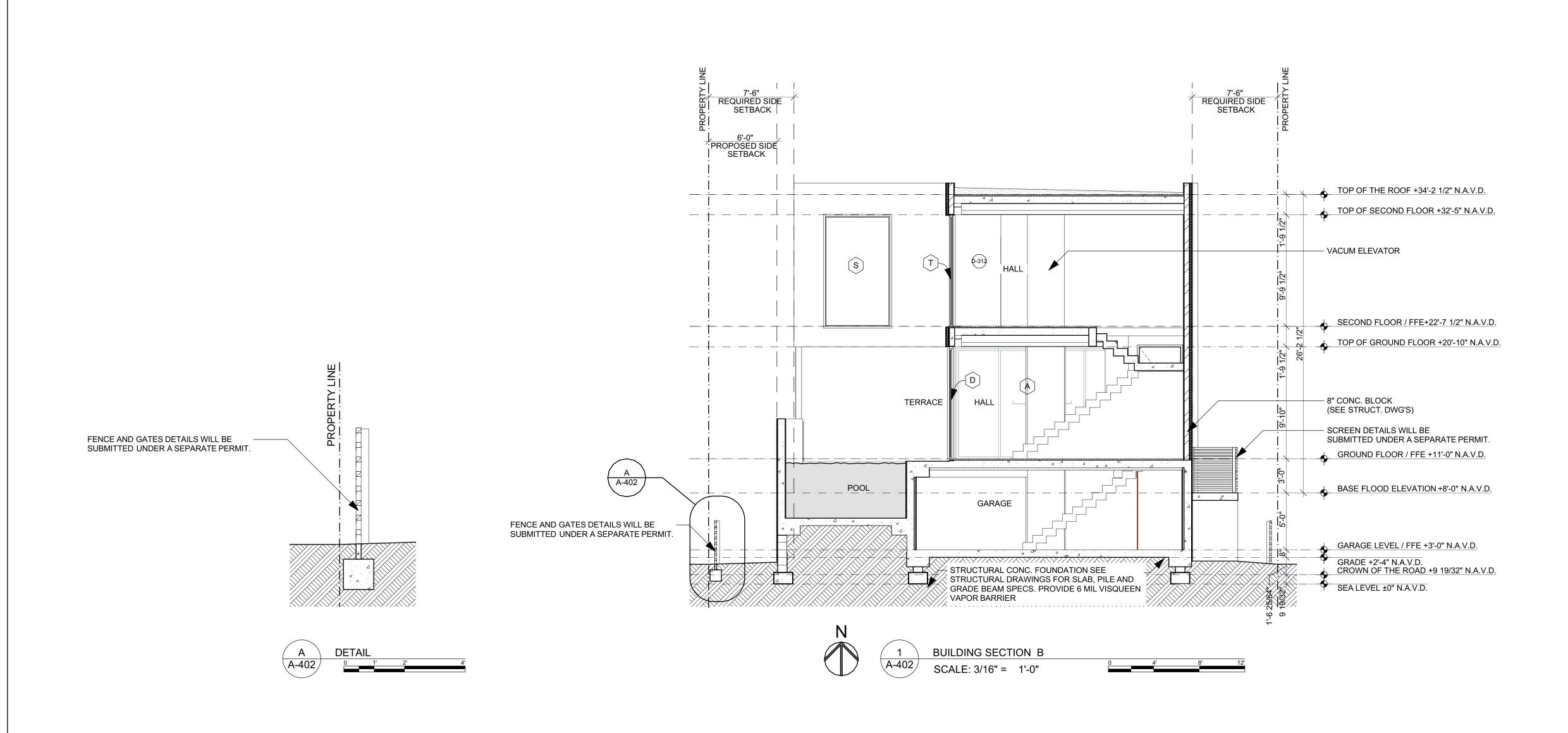
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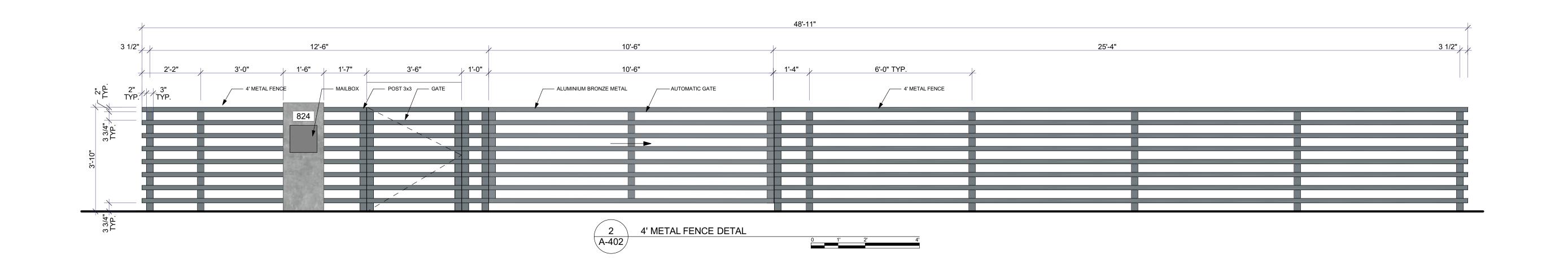
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SCALE:

SECTION VIEWS

A-401





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FOLIO NUMBER: 514214024270

11/15/2024

REVISION

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CONSULTANTS:

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DATE:

SECTION VIEW

A-402



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DATE:

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ENDERINGS

A-502











BELLE COAST LIFESTYLE PROPERTIES

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PROJECT:

DRAFTED BY:

CONSULTANTS:

824 POLK ST HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024270

REVISION

11/15/2024

01 WHITE STUCCO

02 - BEIGE LIMESTONE

03 - OAK COMPOSITE WOOD

06 - CLEAR IMPACT GLASS

07 - PAVERS DRIVEWAY

04 - BRONZE ALUMINIUM

05 - GREY IMPACT GLASS



NOTE:

- Flat Roof: The clean, flat roof is a defining feature of Mid-Century Modern architecture, minimizing visual clutter and emphasizing horizontal lines.
- Large Rectangular Volume in Cantilever: The cantilevered rectangular volume creates a striking, modern silhouette that reflects Mid-Century Modern's architectural boldness, adding both functionality and visual interest.
- Thin Metal Columns: Inspired by Mid-Century Modern's minimalist approach, these slender columns provide structural support while maintaining an open, airy aesthetic.
- Large Windows: Expansive glass is a hallmark of Mid-Century design, connecting indoor and outdoor spaces seamlessly and enhancing natural light.
- Neutral Tones & Natural Materials: The use of muted colors and natural materials, like wood, reflects Mid-Century Modern's emphasis on simplicity and harmony with nature.

This concept brings a subtle Mid-Century Modern influence, creating a structure that respects the historic district's aesthetic without overwhelming it.



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REVISION

11/15/2024

CONSULTANTS:

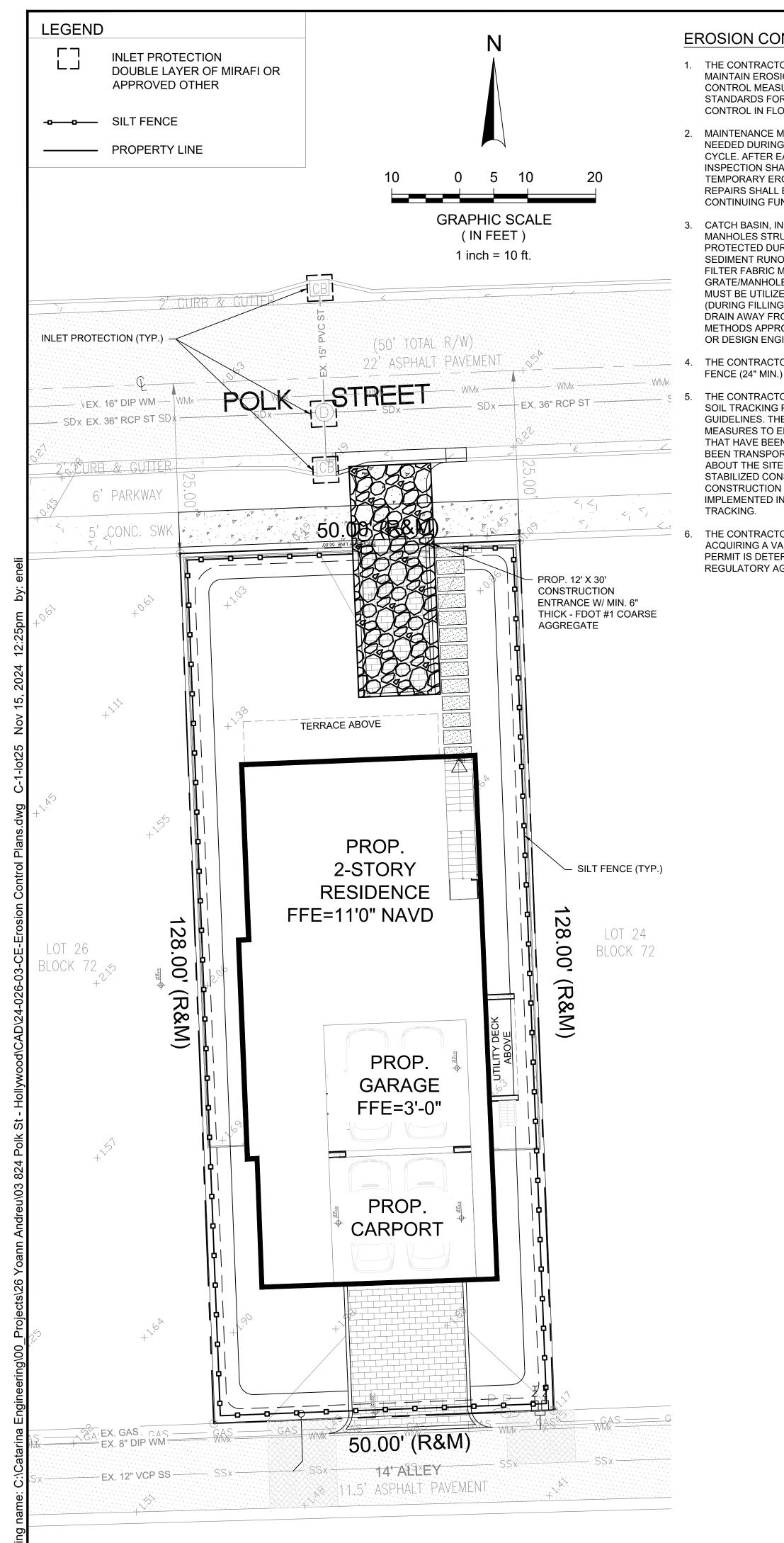
DRAFTED BY:

MID-CENTURY MODERN

A-504

DRAWN BY:

B.C



EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL INSTALL TEMPORARY AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA
- 2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED TEMPORARY EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
- 3. CATCH BASIN, INLETS AND STORM SEWER MANHOLES STRUCTURES WITHIN SITE WILL BE PROTECTED DURING FILLING OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING FILLING OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE COUNTY ENGINEER OR DESIGN ENGINEER.
- THE CONTRACTOR SHALL INSTALL A TYPE 3 SILT FENCE (24" MIN.) AS PER FL GUIDELINES.
- 5. THE CONTRACTOR SHALL INSTALL A TEMPORARY SOIL TRACKING PREVENTION DEVICE AS PER FL GUIDELINES. THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THE CLEANUP OF SEDIMENT THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORMWATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING A VALID NPDES PERMIT, UNLESS SUCH PERMIT IS DETERMINED TO BE NON-APPLICABLE BY REGULATORY AGENCY WITH JURISDICTION.

Florida Erosion and Sediment Control Inspector's Manual

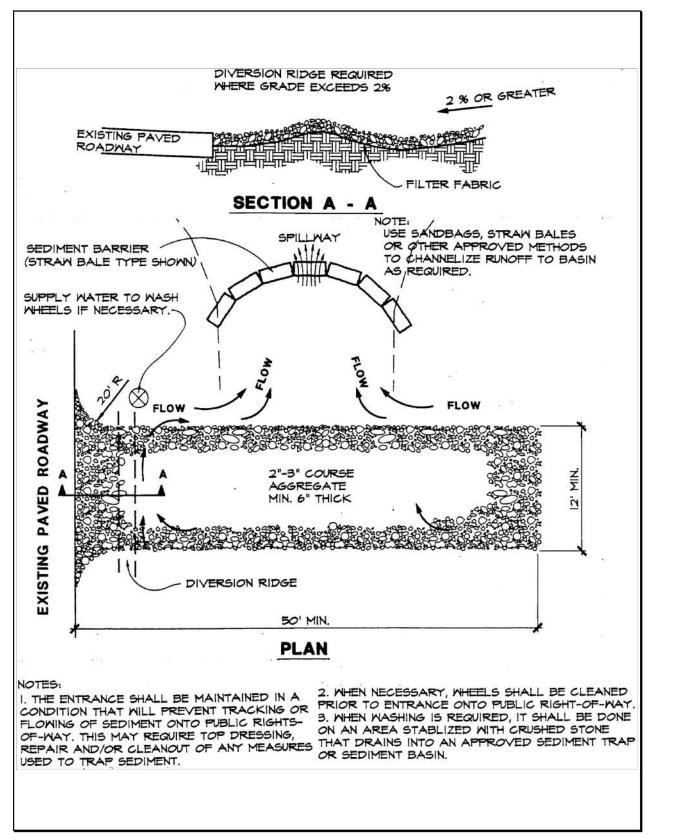


Plate 4.03a Temporary Gravel Construction Entrance Source: Erosion Draw

Florida Erosion and Sediment Control Inspector's Manual

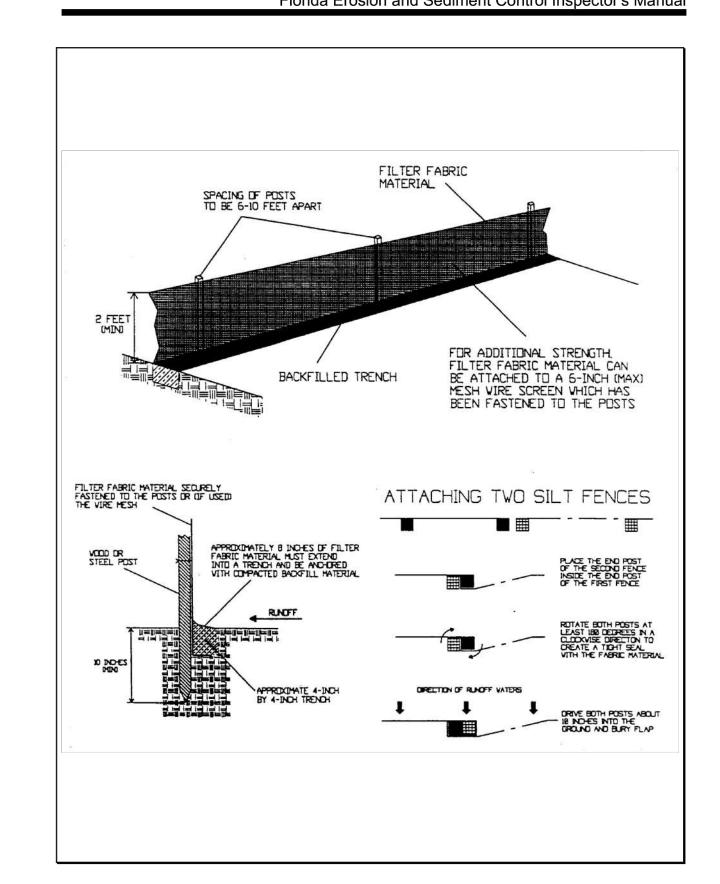


Plate 4.06d Installing a Filter Fabric Silt Fence Source: HydroDynamics, Inc.

Chapter 4 - Best Management Practices for Erosion and Sediment Control

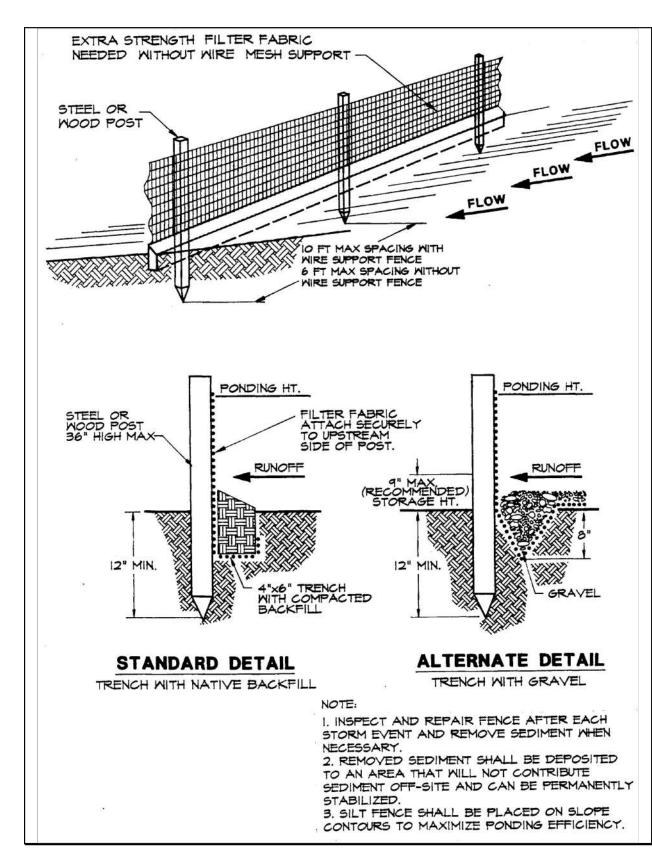


Plate 4.06e Silt Fence Source: Erosion Draw

Florida Erosion and Sediment Control Inspector's Manual

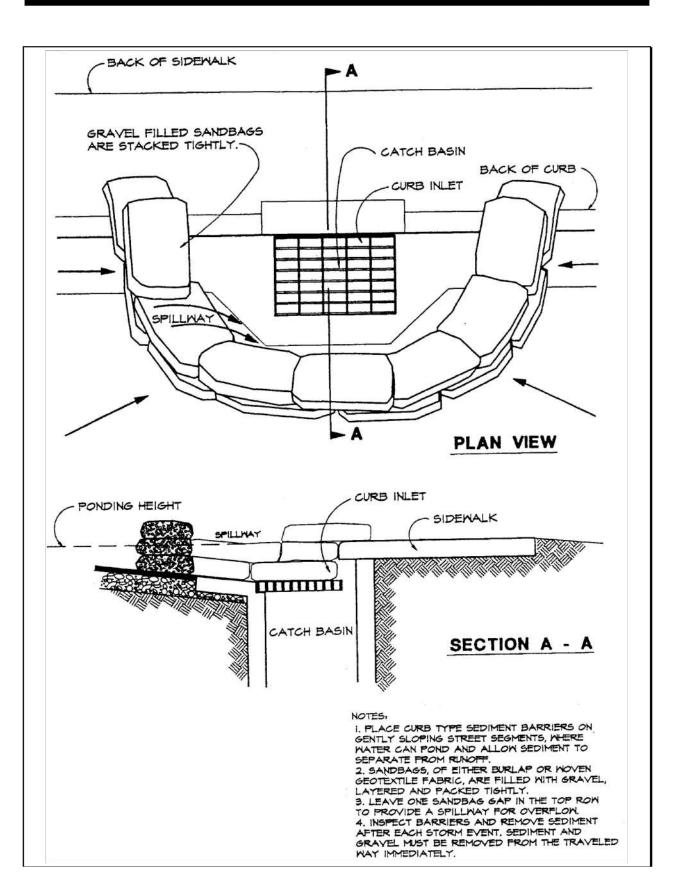


Plate 4.08o Curb Inlet Sediment Barrier

Source: Erosion Draw

ENGINEERING

Fort Lauderdale, FL (561) 929-0876 emichaels@catarinaengineering.com

ENELISE L. MICHAELS, P.E. FLORIDA LICENSE # 84162

This item has been digitally signed and sealed by Enelise L. Michaels, P.E., on the date above. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Client:

BELLE COAST

Project Name and Address:

CUSTOM HOME

824 POLK ST LOT 25

CITY OF HOLLYWOOD

BROWARD COUNTY

Rev.	Date	Description
\triangle	CITY COMMENTS	10/31/2024
·		

Sheet Title:

EROSION CONTROL PLAN

CONSTRUCTION DRAWINGS

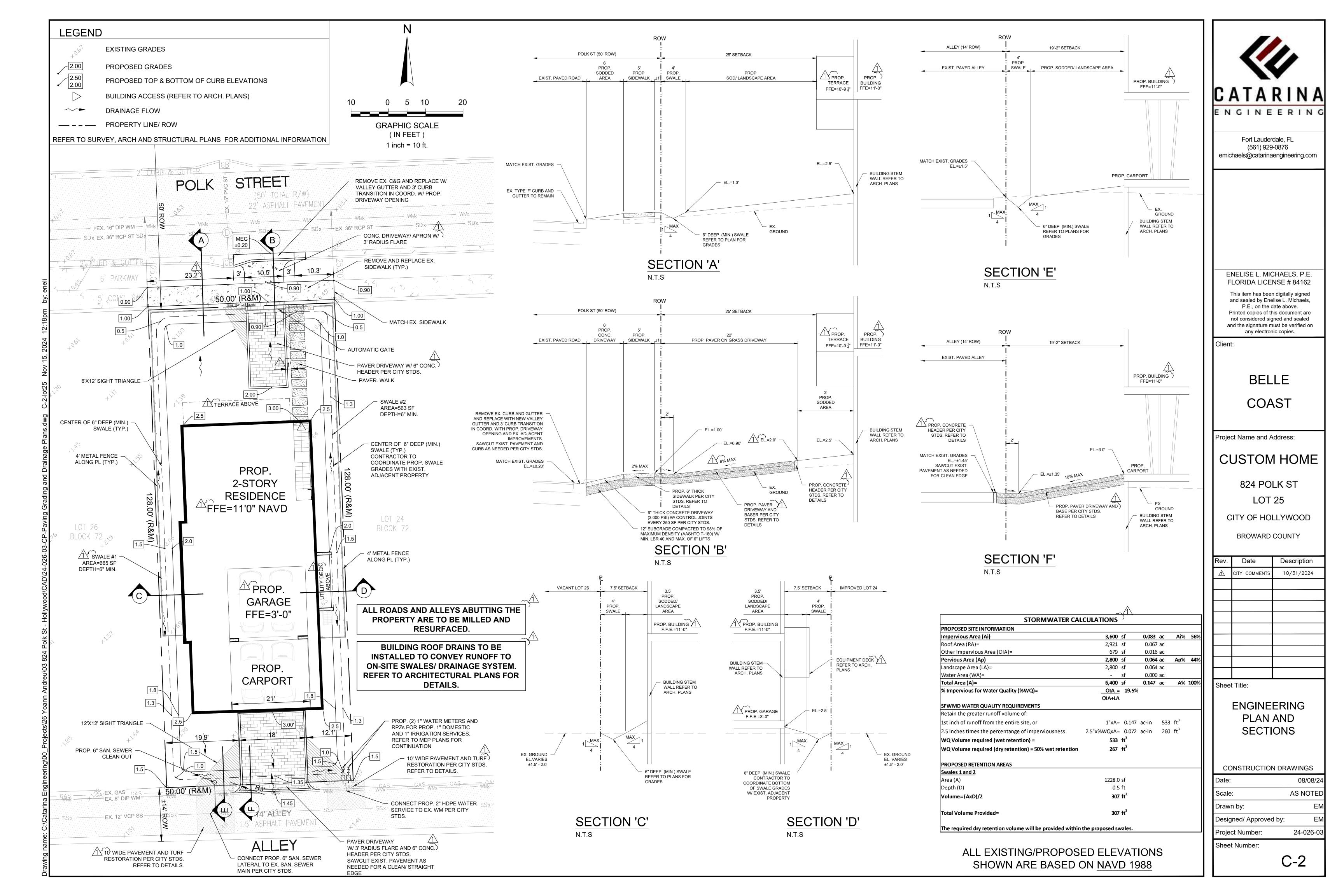
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Designed/ Approved by: Project Number:

Sheet Number:

C-1

24-026-03



BY NPDES REGULATIONS.

SSUED: MAY 2023

APPROVED: JG

EG

RAWN:

2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES, ENGINEERING, TRANSPORTATION & MOBILITY DIVISION, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE

3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY

4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.

5. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.

7. ELEVATIONS SHALL BE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

8. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE

STAGING/STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK. 9. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO

STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT. 10. CONTRACTOR SHALL CLEAN/SWEEP THE ROAD AT LEAST ONCE A DAY OR AS REQUIRED BY THE

ENGINEER. 11. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED

12. CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY. 13. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.

14. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION.

15. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF DEVELOPMENT SERVICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.

DEPARTMENT OF DEVELOPMENT SERVICES

ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

GENERAL NOTES (1 OF 2)

REVISED:

DRAWING NO .:

17. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.

18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION, AND CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES STANDARDS.

19. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER. 20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.

21. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CITY ENGINEER.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY

23. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.

24. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/VEHICULAR TRAFFIC.

25. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

26. ALL RAMPS, SIDEWALK CURB RAMPS, AND, ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT AND SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION.

27. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED. 28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION. THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.

29. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.

30. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.

31. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED. 32. THE CITY PREFERS THAT IT'S OWN POLICE OFFICERS PROVIDE TRAFFIC CONTROL TO ENSURE SAFE AND EFFICIENT INTERSECTION OPERATIONS IS MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION, THEREFORE, PLEASE CONTACT MR. JANEL DIXON TO ARRANGE FOR A DETAIL TO PROVIDE THIS SERVICE. HE MAY BE REACHED AT 954-967-4500 OR VIA EMAIL AT jdixon@hollywoodfl.org.

33. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED, REFER TO BCTED, PAVING MARKINGS AND SIGNS DETAILS PLAN, LATEST EDITION.

34. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).

DEPARTMENT OF DEVELOPMENT SERVICES

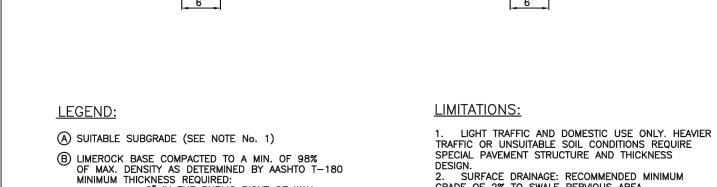
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

GENERAL NOTES (2 OF 2)

REVISED:

5' CENTER TO CENTER ON SIDEWALKS.

DRAWING NO.



CONCEALED EDGE -

(E) JOINT-FILLING SAND

F 3,000PSI CONCRETE © CONTINUOUS EXPOSED EDGE RESTRAINT REQUIRED IN THE PUBLIC RIGHT-OF-WAY

SSUED: MAY 2023

APPROVED: JG

EG

DRAWN:

2. SURFACE DRAINAGE: RECOMMENDED MINIMUM GRADE OF 2% TO SWALE PERVIOUS AREA. " IN THE PUBLIC RIGHT OF WAY THIS IS A NON-STANDARD TYPE OF DRIVEWAY 4" ON PRIVATE PROPERTY CONSTRUCTION AND AN AFFIDAVIT IS REQUIRED FROM THE OWNER FOR WORK IN PUBLIC RIGHT-OF-WAY OR © SAND BEDDING COURSE, 2" TYPICAL. (D) CONCRETE SEGMENTAL PAVING UNITS

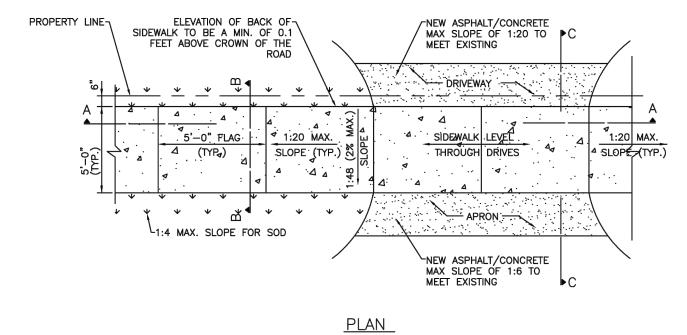
DEPARTMENT OF DEVELOPMENT SERVICES

ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

CONCRETE PAVERS DETAIL

REVISED:

RAWING NO.



DRIVES, ETC. SIDEWALK LEVEL

THROUGH DRIVES

SECTION A-A

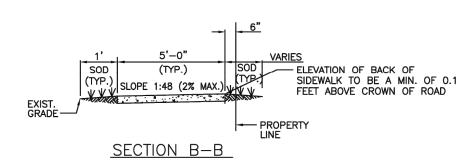
TYPE "B" JOINT (TYP.)

SSUED: MAY 2023

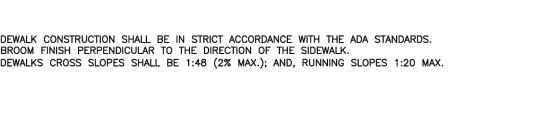
PPROVED: JG

RAWN:

(SEE DETAIL ON SHEET C-25)



1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS. 2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK. 3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.



DEPARTMENT OF DEVELOPMENT SERVICES

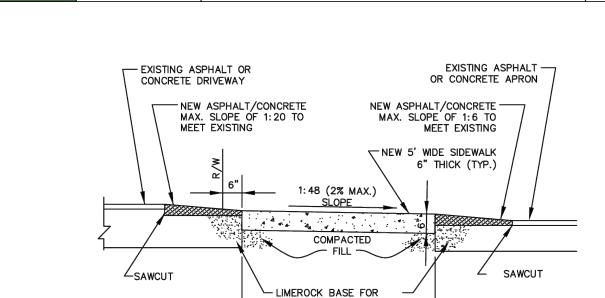
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

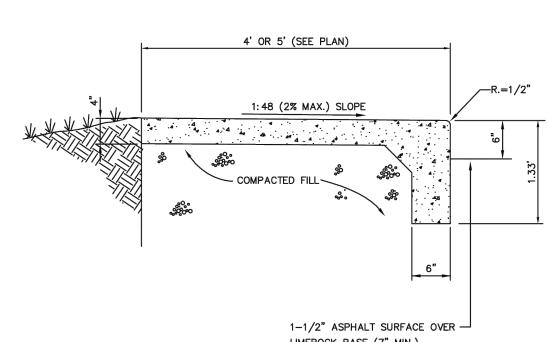
SIDEWALK CONSTRUCTION DETAILS (1 OF 3)

PROPOSED WIDENING

- PROPOSED PAVEMENT

PROPOSED BASE





SIDEWALK WITH CURB

STREET EOP	TYPE 'A' JOINT TYPE 'B' JOINT TYPE 'B' JOINT NEW SIDEWALK SWALE EOP
	<u>PLAN</u> STREET
1/2"	1/8" 1/4"R 1/4"R
'4"R	TABLE OF SIDEWALK JOINTS
1/2" PREMOLDE	TYPE LOCATION
1/2" PREMOLDED EXPANSION JOINT MATERIAL TYPE 'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.

NOTES:

SSUED: MAY 2023

APPROVED: JG

EG

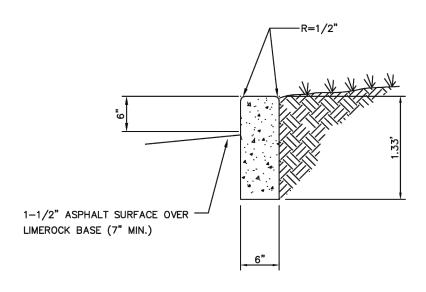
DRAWN:

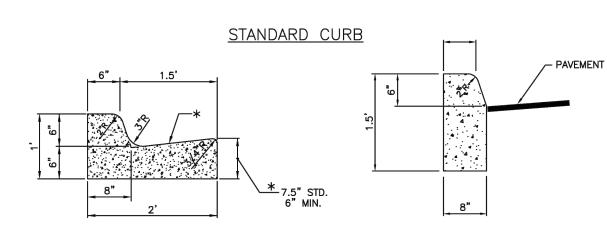
. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.

SIDEWALK JOINTS

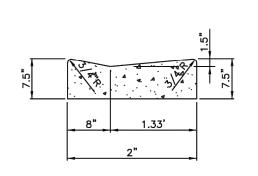
- SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
- 5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A ¼" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
- 6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE

DEPARTMENT OF DEVELOPMENT SERVICES

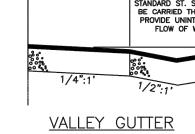




6" CURB & GUTTER (FDOT TYPE "F")



DRIVEWAY CURB & GUTTER



TYPE 'D' CURB

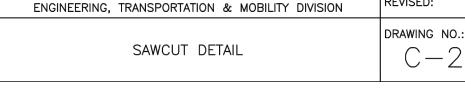
MAIN STREET ___ SECONDARY ST.

PROFILE

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

DR
AP

		LINGINELININ
DRAWN:	EG	
APPROVED:	JG	



DEPARTMENT OF DEVELOPMENT SERVICES



ENGINEERIN

Fort Lauderdale, FL (561) 929-0876 emichaels@catarinaengineering.com

> ENELISE L. MICHAELS, P.E. FLORIDA LICENSE # 84162

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l Client:

REVISED:

DRAWING NO.:

Project Name and Address:

CUSTOM HOME

824 POLK ST

CITY OF HOLLYWOOD

BROWARD COUNTY

Rev. Date D		Description
A	CITY COMMENTS	10/31/2024

Sheet Title:

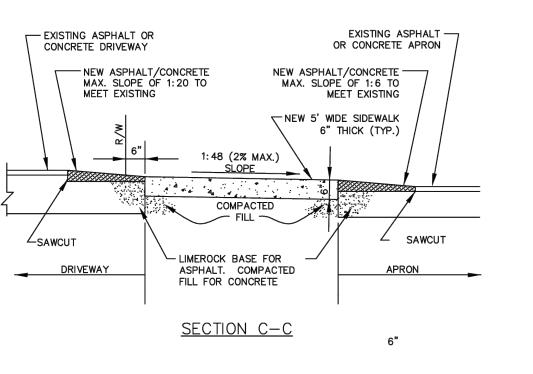
CONSTRUCTION NOTES AND **DETAILS**

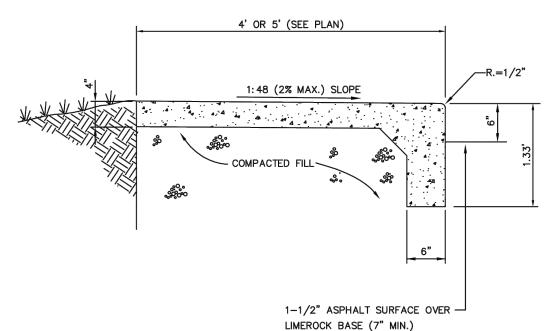
CONSTRUCTION DRAWINGS

Date:	08/08/24
Scale:	AS NOTED
Drawn by:	EM
Designed/ Approved by:	EM
Project Number:	24-026-03

Sheet Number:

U-3



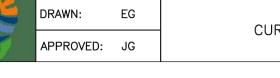


ISSUED: M.	AY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN:	EG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	DRAWING NO.:
APPROVED:	JG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	C-24



ENGINEERING, TRANSPORTATION & MOBILITY DIVISION SIDEWALK CONSTRUCTION DETAILS (3 OF 3)





CURB AND GUTTER DETAILS

DEPARTMENT OF DEVELOPMENT SERVICES

ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

RAWING NO.:

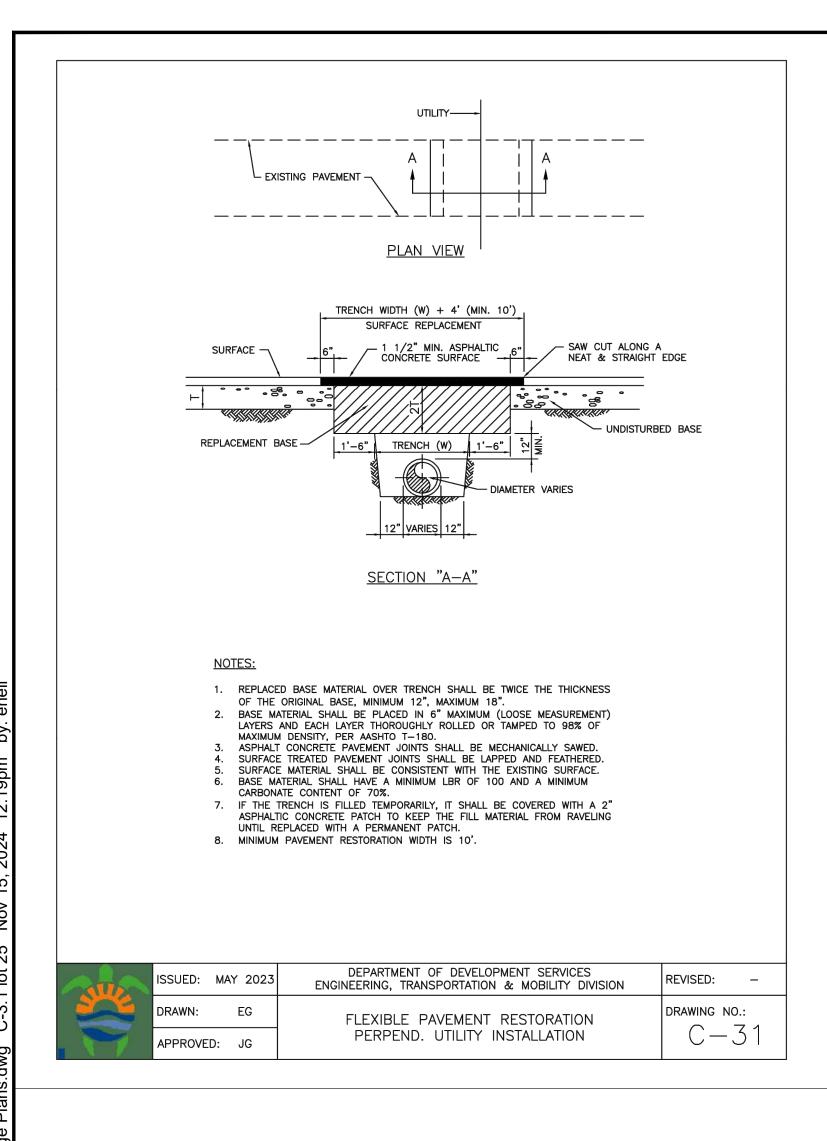
ISSUED: MAY 2023

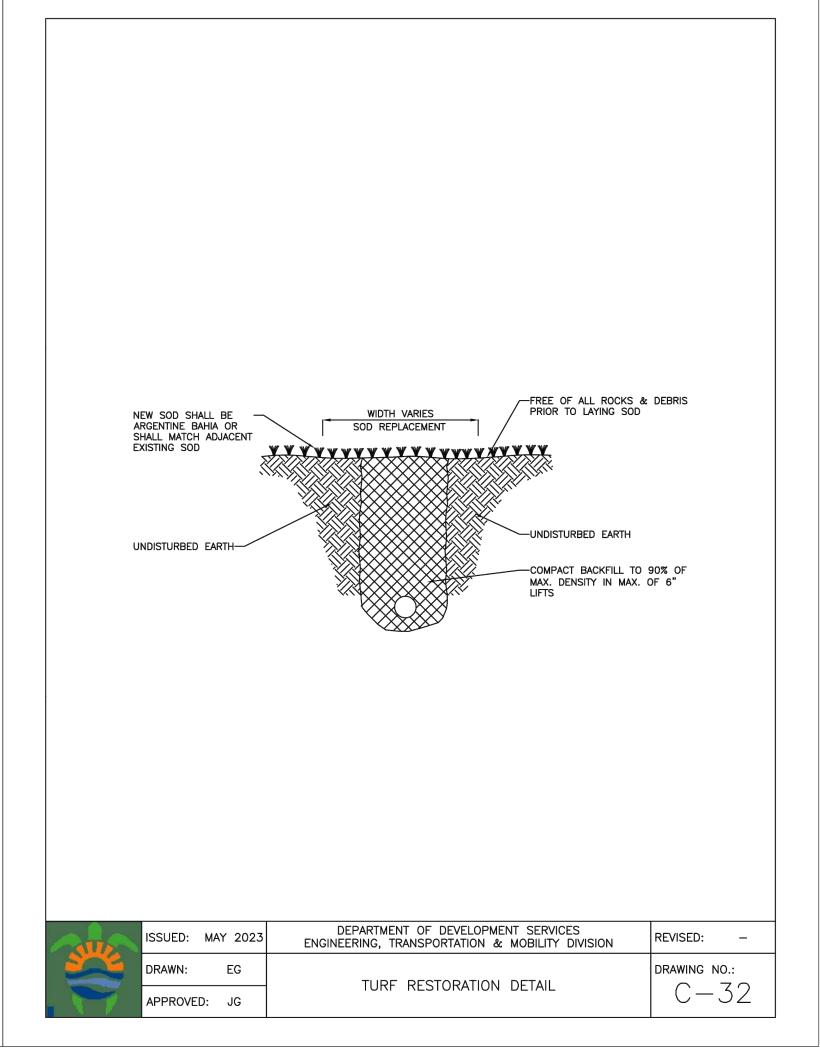
EXISTING ROADWAY

SAWCUT A NEAT, STRAIGHT LINE (PARALLEL OR PERPENDICULAR TO RUN OF ROAD) —

EXISTING PAVEMENT -

Project Number.







ENGINEERING

Fort Lauderdale, FL (561) 929-0876 emichaels@catarinaengineering.com

ENELISE L. MICHAELS, P.E. FLORIDA LICENSE # 84162

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Client:

BELLE COAST

Project Name and Address:

CUSTOM HOME

824 POLK ST LOT 25

CITY OF HOLLYWOOD

BROWARD COUNTY

Rev.	Date	Description
A	CITY COMMENTS	10/31/2024

Sheet Title:

CONSTRUCTION NOTES AND DETAILS

CONSTRUCTION DRAWINGS

Date: 08/08/24

Scale: AS NOTED

Drawn by: EM

Designed/ Approved by: EM

Project Number:

Sheet Number:

C-3.1

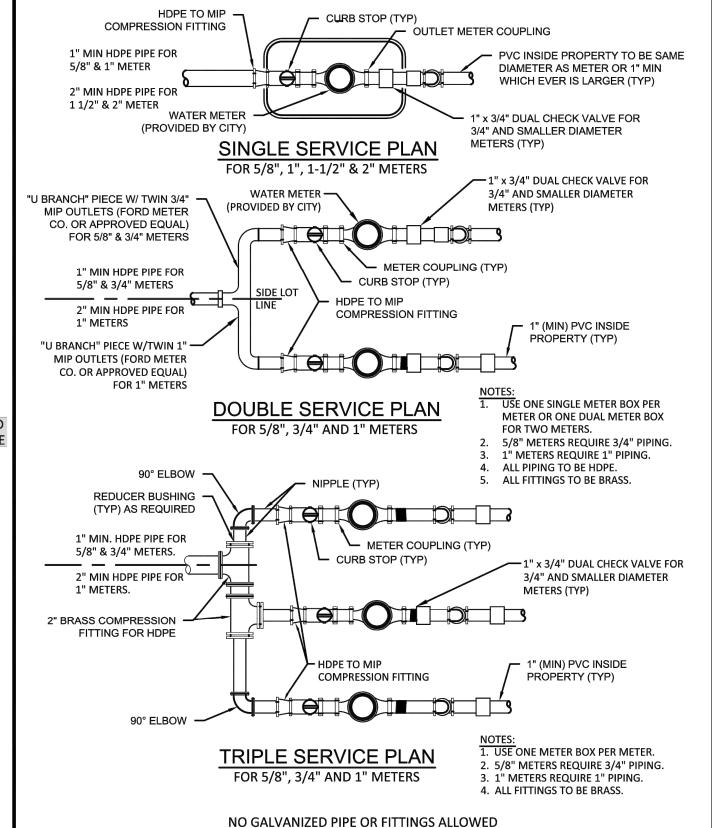
24-026-03

FLEXIBLE PAVEMENT RESTORATION NOTES:

- 1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
- 3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF

- 9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH
- MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE

TACK COAT ALL SURFACES, AND PROVIDE 1" SP 9.5 MIN. SUPERPAVE ASPHALTIC CONC. OVERLAY AS SHOWN ON THE PAVEMENT RESTORATION PLANS TRENCH WIDTH (W) + 4' SURFACE REPLACEMENT SAW CUT ALONG A— SIII RECYCLE TO BE FLUSH **NEAT AND STRAIGHT** W/EXIST. ASPHALT. 1" MIN. EDGE. TACK COAT THICK IF MILLING IS NOT ALL SURFACES AND REQUIRED. 2" THICK IF EDGES. MILLING IS REQUIRED EXIST. **ASPHALT** EXIST. ASPHALT-SURFACE SURFACE UNDISTURBED 12" THICK (MIN.) LIMEROCK — **EXISTING BASE TACK COAT** BASE W/MIN. LBR 100 **ALL EDGES** COMPACTED TO NO LESS THAN 100% OF MAX. DENSITY PER ASHTO T-180 12" TYPE "B" STABILIZED — ∠ IF THE DISTANCE TO SUBGRADE W/MIN. LBR 40 THE EDGE OF THE COMPACTED TO 100% OF **EXISTING LIMEROCK** MAX. DENSITY PER ASHTO BASE IS 2' OR LESS, T-180 **EXTEND THE LIMEROCK** COMPACTED FILL **BASE RECONSTRUCTION** (REFER TO DETAILS MAX. O.D. MAX. TO THE EDGE. G-02 AND G-03) TRENCH WIDTH



WATER METER SERVICE NOTES:

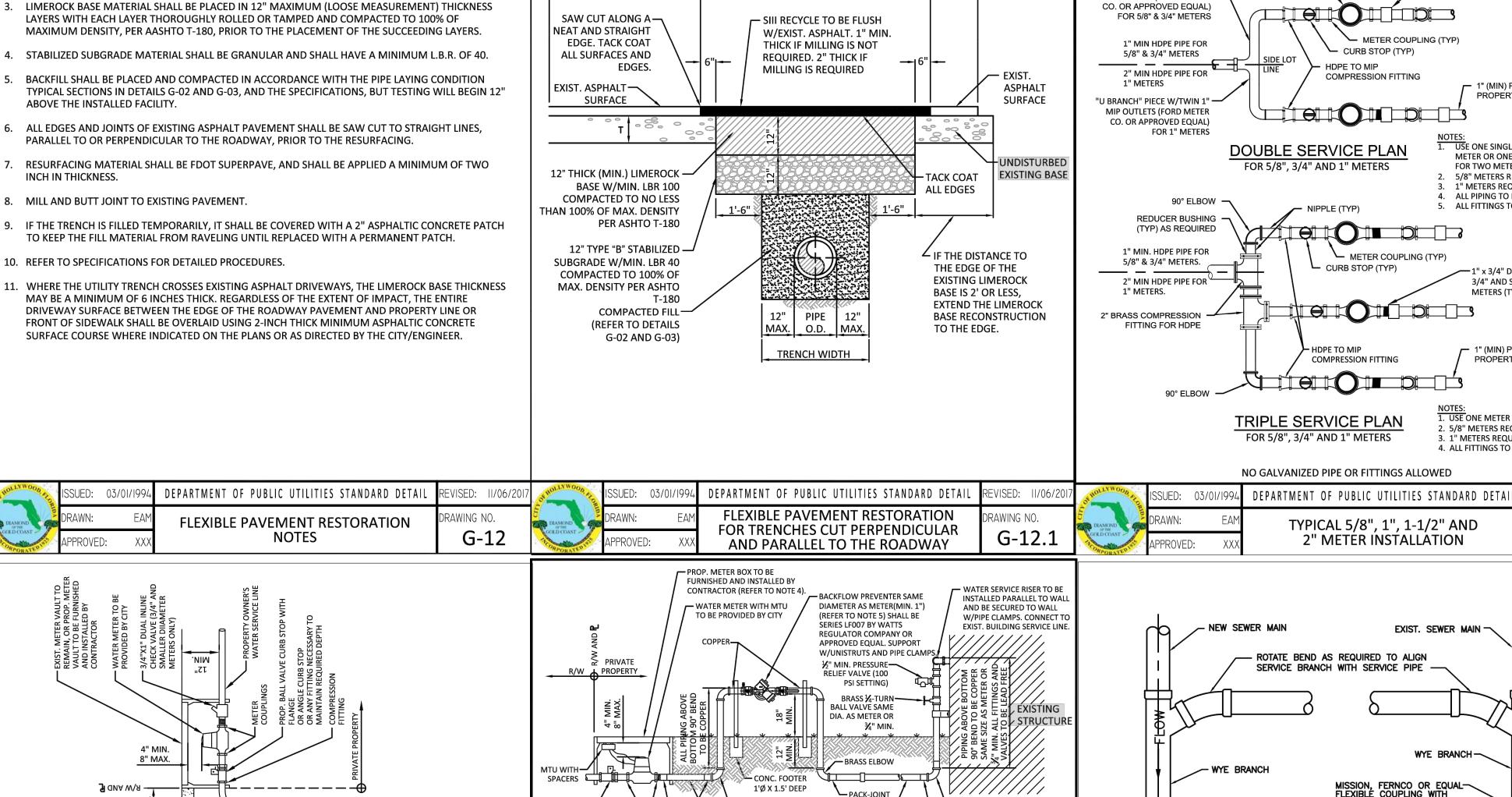
- 1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- 2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL %" OR SINGLE 1" DIAMETER METERS.
- 4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL $1-\frac{1}{2}$ " OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION
- 7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- 8. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- 12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- 13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

WATER METER SERVICE NOTES FOR

5/8" THROUGH 2" METERS

14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.



PROP. BALL -

VALVE CURB

STOP WITH

FLANGE COUPLINGS

PRIVATE

R/W A PROPERTY

SPACERS CHILD

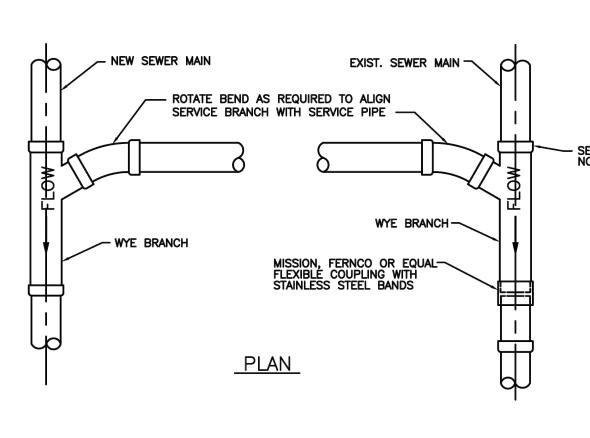
NOTES FOR ALL SERVICES:

. ALL FITTINGS TO BE BRASS.

VALVE CURB

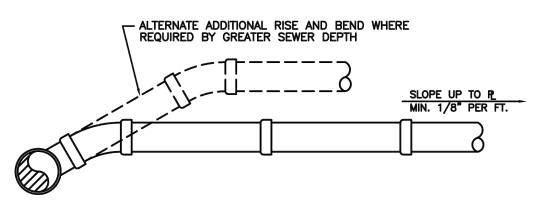
STOP WITH

FLANGE



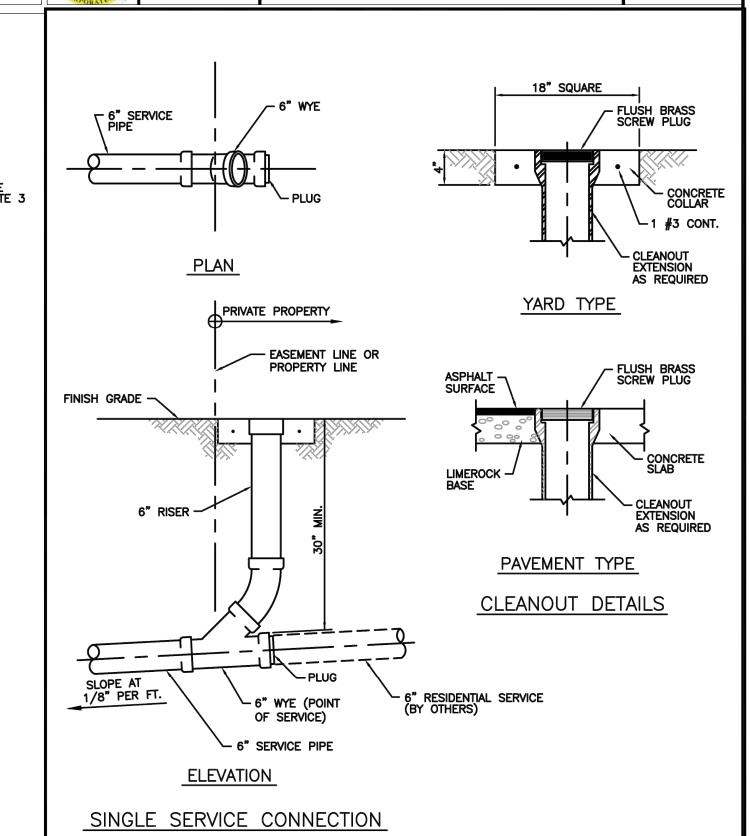
TYPICAL 5/8", 1", 1-1/2" AND

2" METER INSTALLATION



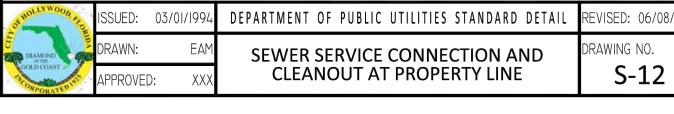
ELEVATION

- 1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
- WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.



USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAI AWING NO. WYE BRANCH CONNECTION



ENGINEERING

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ENELISE L. MICHAELS. P.E. FLORIDA LICENSE # 84162

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Client

VISED: 11/06/2

W-07

RAWING NO.

Project Name and Address:

CUSTOM HOME

824 POLK ST LOT 25

CITY OF HOLLYWOOD

BROWARD COUNTY

Rev.	Date	Description
A	CITY COMMENTS	10/31/2024
Chart Title:		

Sheet Title:

CONSTRUCTION NOTES AND **DETAILS**

CONSTRUCTION DRAWINGS

Date: 08/08/2 **AS NOTE** Scale: Drawn by: Designed/ Approved by: 24-026-03 Project Number:

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS

24" MIN. COVER

:VISED: 11/06/20

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAI

COUPLINGS. THIS INCLUDES PVC CONNECTIONS TO INLINE CHECK VALVE AND BACKFLOW PREVENTER.

4. IF EXISTING CONCRETE METER BOX IS IN ACCEPTABLE CONDITION (AS DETERMINED BY ECSD) IT MAY BE RE-USED.

5. ALL PRIVATE SERVICE LINE INSTALLATIONS SHALL COMPLY WITH THE LATEST REVISION OF THE FLORIDA BUILDING CODE.

TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS

► BRASS ELBOW

► BRASS ELBOW

- PACK-JOINT

PACK-JOINT

COUPLING

WATER SERVICE RISER TO BE INSTALLED —

WALL W/PIPE CLAMPS. CONNECT TO

RELIEF VALVE (100

EXIST. BUILDING SERVICE LINE.

PSI SETTING)

BRASS 1/4-TURN-

USE PVC SLEEVE WHERE -CONC. SLAB IS USED

PROPERTY OWNER'S WATER

SERVICE LINE (1" SCH. 80 PVC)

BALL VALVE SAME

DIA. AS METER OR

PARALLEL TO WALL AND BE SECURED TO

PROPERTY OWNER'S WATER SERVICE LINE SCH. —

FOR 1", 1-1/2" & 2" RESIDENTIAL METERS, AND FOR ALL COMMERCIAL PROPERTIES REGARDLESS OF METER DIAMETER

FOR 5/8" RESIDENTIAL METERS ONLY

THREADED PVC FITTINGS (MALE OR FEMALE) NOT ALLOWED. ALL TRANSITIONS FROM PVC TO METAL PIPING/FITTINGS SHALL USE COMPRESSION PACK-JOINT

1. IF EXISTING HOSE BIB IS REMOVED, DAMAGED, OR NO HOSE BIB EXISTS, ONE MUST BE INSTALLED: A HOSE BIB VACUUM BREAKER MUST BE INSTALLED AS

3. PIPE CLAMPS FOR ATTACHING WATER SERVICE RISER TO WALL SHALL BE HOT-DIPPED GALVANIZED, WITH ISOLATION MATERIAL BETWEEN THE PIPE AND

5. IF EXISTING BACKFLOW PREVENTER IS DETERMINED TO BE IN ACCEPTABLE CONDITION IT MAY BE RE-USED PROVIDED IT IS RE-CERTIFIED.

80 PVC SAME DIAMETER AS METER OR 1" MIN.

PACK-JOINT COUPLING

PROP. METER BOX

TO BE FURNISHED AND INSTALLED BY

(REFER TO NOTE 4).

∠_{METER}

COUPLINGS

REQUIRED TO COMPLY WITH THE LATEST REVISION OF THE FLORIDA BUILDING CODE.

WATER METER

PACK JOINT

COUPLING INTO

CHECK VALVE

WITH MTU TO BE

PROVIDED BY CITY

W-10

VISED: 02/14/20

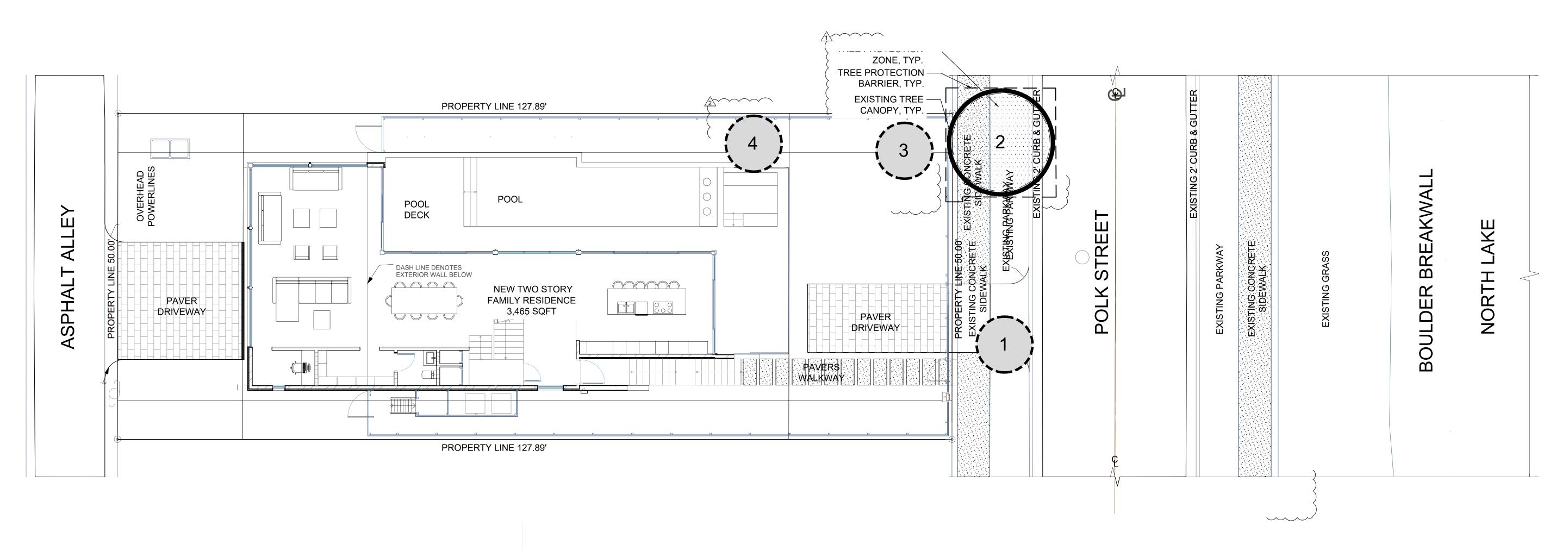
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VISED: 11/06/20

DRAWN:

AWING NO.

Sheet Number:



TREE DISPOSITION PLAN - LOT 02

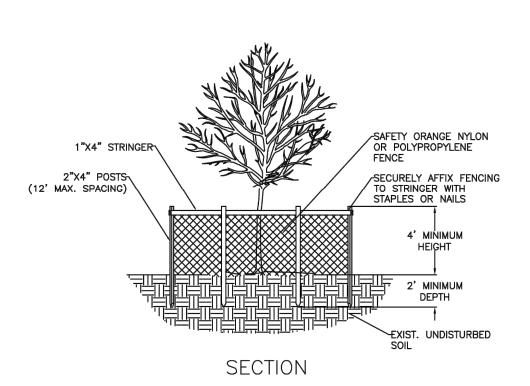
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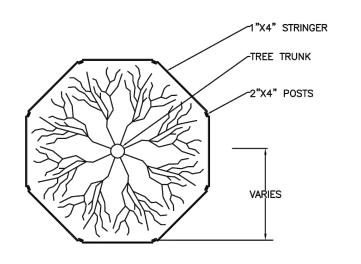
SYMBOL LEGEND

TREE PROTTECTION

Tree to Remain

Tree to Remove





TOP VIEW

NOTES:

1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.

2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

ALC:	ISSUED:	MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN:	EG	TREE PROTECTION DETAIL	DRAWING NO.: 71
	APPROVE	D: JG	TREE PROTECTION DETAIL	L-08)

				TREE SUR	VEY CHART	B			
TREE #	SCIENTIFIC NAME	COMMON NAME	DBH (INCHES)	CT HEIGHT (FEET)	CANOPY (FEET)	TREE PROTECTION ZONE (TPZ)	DISPOSITION	CONDITION	NOTES
1	Roystonea regia	Royal Palm	24"	25'	10'		REMOVE	GOOD	IN CONFLICT WITH PROPOSED DRIVEWAY
2	Roystonea regia	Royal Palm	24	30'	15'	15'	REMAIN	GOOD	
3	Roystonea regia	Royal Palm	24	35'	15'	15'	REMOVE	GOOD	
4	Roystonea regia	Royal Palm	24	50'	15'	15'	REMOVE	GOOD	

MITIGATION REQUIRED: 0" TREE DBH REMOVED, 3 PALMS REMOVED = 0" DBH AND (3) 8' CLEAR TRUNK PALMS

MITIGATION BREAKDOWN	REQ.	PROV.
TREE DBH REPLACEMENT: No trees will be removed therefore there is no DBH needed towards mitigation.	0" DBH	
PALM REPLACEMENT: We are using (8) 8' C.T. towards mitigation.	3 PALMS	3 PALMS

- PROTECTION AREA SHALL BE KEPT UP AT ALL TIMES DURING THE CONSTRUCTION PHASE.
- 2. NO ENCROACHMENT OR CONSTRUCTION DEBRIS SHALL BE ALLOWED IN THE PROTECTION ZONE.
- 3. ZONE SHALL EXTEND TO THE TREE CANOPY DRIPLINE.
- $^{\circ}$ 4. KEEP IN PLACE ALL TREE PROTECTION BARRIERS UNTIL THE PROJECT IS COMPLETED.

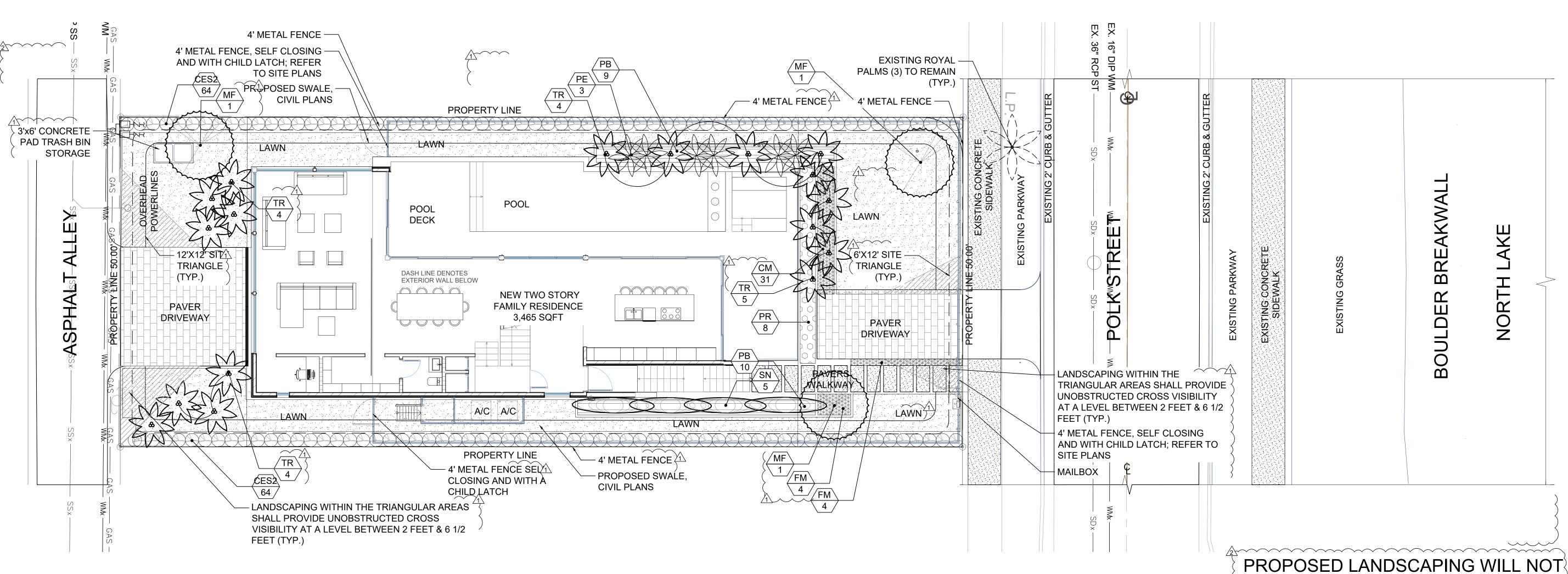
+ DESIGN SHAYC@FLORALADESIGN.COM THE DESIGN AND DRAWINGS HEREIN ARE THE INTELLECTUAL PROPERTY OF THIS LANDSCAPE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT



Sheet Description: TREE DISPOSITION PLAN

05.14.2023

Project Number: 2024-15



LANDSCAPE PLAN - LOT 02 NORTH

Scale: 1" = 8'-0"

LANDSCAPE LEGEN CITY OF HOLLYWOO		
ZONE DISTRICT: RS-6		
Pervious Landscape area 3,182 sq. ft.		
Street Tree distance 50 linear feet		
		T
TREES:	REQ.	PROV.
A. No. trees required per pervious landscape area 1 tree per 1,250 sq. ft. 6,395 sq ft. / 1,250 sq.ft. = 6 trees	6	6***
B. Percentage palms allowed Palms permitted count as 3 palms = 1 tree Up to 50%, but more than 20% all trees must be shade natives	9	9**
C. Street trees (maximum spacing 50' o.c.) 50 linear feet along street / 50 lf = 1 trees	1	1**
D. Total Trees Required A + C + D = Total Trees(60% NATIVE REQUIRED)	7	7**
E. Percentage Natives Required 60% of total trees required must be Florida Native	5	5+**
SHRUBS A. 15 shrubs in front half of plot 10 shrubs in back half of plot	25	25+
B. Total Shrubs Provided	205	
C. 50% of total shrubs required to be Florida Native	103	103+

*Property is within a Historic Preservation District, proposed landscaping comply's with the Historic Preservation Board review requirements.

**EXISTING TREES AND PALMS TO COUNT TOWARDS REQUIREMENTS

***9 PALMS COUNTING TOWARDS LOT TREES WHERE 3 PALMS = 1 TREE

MITIGATION REQUIREMENTS: REQUIRED DBH TO MITIGATE: 0" REQUIRED PALMS TO MITIGATE: 1

PROVIDED DBH: 0" PROVIDED PALMS: 1

OBSTRUCT ONSITE DRAINAGE OF RETENTION SWALES ALONG PROPERTY LINES

LANDSCAPE LIST

		TREES	
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	2	*Myrcianthis fragrans	10' HT. X 4' SPR., 2" DBH
\bigvee MF	3	SIMPSON'S STOPPER	SINGLE TRUNK, STD.
M	47	*Thrinax radiata	8' C.T., SINGLE
ZW TR	17	FLORIDA THATCH PALM	
	3	Ptychosperma elegans 'double'	18' O.A. HT., DOUBLE
PE	3	DOUBLE ALEXANDER PALMS	
		SHRUBS AND GROUNDCO\	/ERS
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
0500	128	*Conocarpus erectus 'serecius'	24" HT. X 24" SPR. / 24" O.C.
CES2		SILVER BUTTONWOOD	
СМ	31	Carissa macrocarpa	10" HT. X 10" SPR. / 15" O.C.
Civi		DWARF NATAL PLUM	
FM	8	Ficus microcarpa	24" HT. X 24" SPR. / 24" O.C.
LIAI		GREEN ISLAND FICUS	
PB	20	Philodendron 'Burle Marx'	24" HT. X 24" SPR. / 36" O.C.
וט		BURLE MARX PHILODENDRON	
PR	8	Philodendron 'Rojo Congo'	24" HT. X 24" SPR. / 36" O.C.
1 11		CONGO RED PHILODENDRON	
SN	5	Strelitzia nicolai	10' O.A. HT. X 5' SPR.
SIN		GIANT BIRD OF PARADISE	FULL INTACT FOLIAGE
LAWN	As	Stenotaphrum secundatum 'Floratam'	SOLID EVEN SOD
LAVVIN	Required	ST. AUGUSTINE GRASS	SOLID EVEN SOD

ENOTES NATIVE SPECIE



UNDER THE COPYRIGHT PROTECTION ACT

OT 26: NO ADDRES

Revisions: 1) HPB Comments 2) HPB Comments	Date: 08.11.2024 11.04.2024	By: DM SC

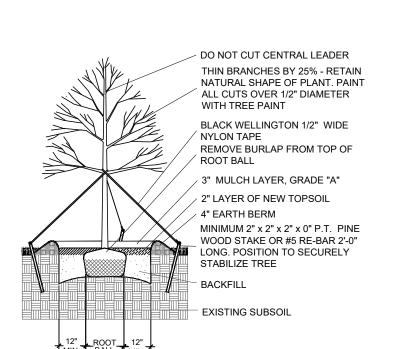


neet Description:
PROPOSED LANDSCAPE PLAN

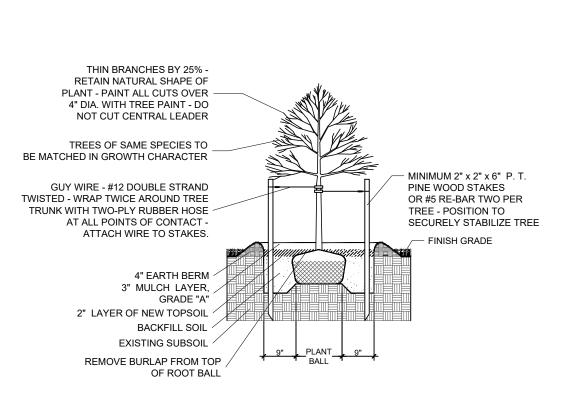
Release Date: 08.12.2024

Project Number: 2024-15

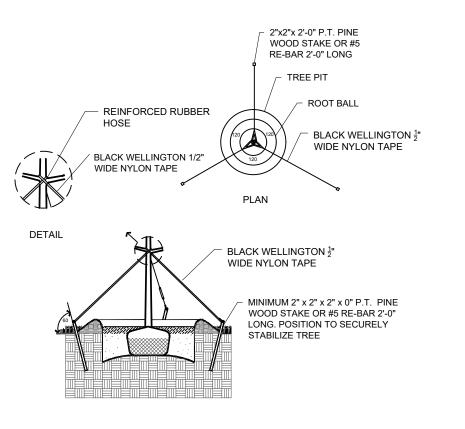
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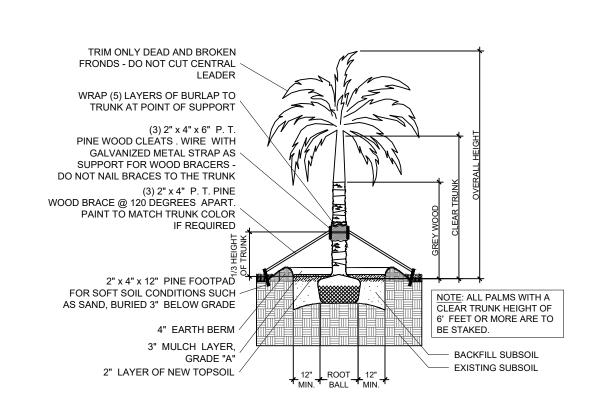
LARGE TREE PLANTING DETAIL



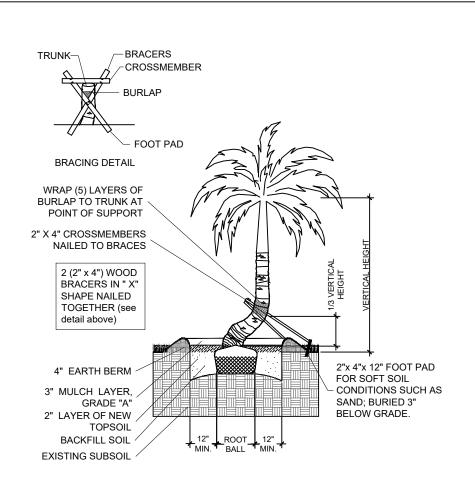
SMALL TREE PLANTING DETAIL



TYPICAL TREE GUYING DETAIL



STRAIGHT TRUNK PALM PLANTING DETAIL



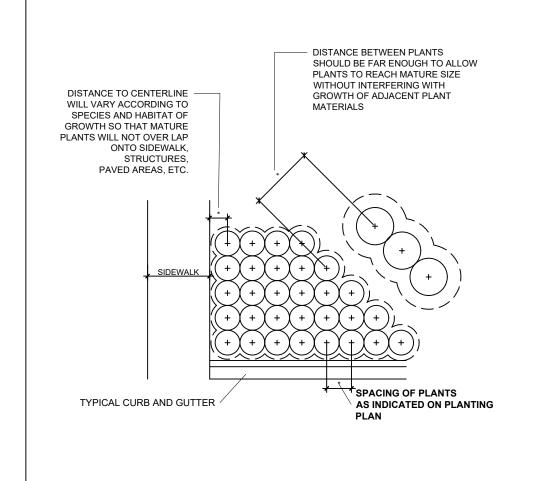
PLANT MATERIAL SHALL NOT BE
PRUNED PRIOR TO INSTALLATION AFTER PLANT HAVE BEEN INSTALLED,
EACH PLANT SHALL BE PRUNED FOR
UNIFORMITY

3" MULCH AS SPECIFIED
OVER ALL PLANTING BEDS
LIMIT OF SOD LINE - ALL
SOD TO BE LAID AS PER
DRAWINGS
(SEE LANDSCAPE PLAN)

EXISTING SUBSOIL

MULCH EDGING - ALL PLANTING
BEDS ADJACENT TO SOD AREAS
SHALL RECEIVE A 4"-6" DEEP
LAYER OF MULCH

TYPICAL SHRUB PLANTING DETAIL



NOTE: IN MOST CASES, TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS. TRIANGULAR SPACING SQUARE SPACING MULCH EDGING - ALL PLANT BEDS ADJACENT TO SOD AREAS SHALL RECEIVE A 3" DEEP LAYER OF MULCH TOP OF MULCH SHALL BE 1/2" LIMIT OF SOD LINE - ALL BELOW PAVEMENT SOD IS TO BE LAID AS PER DRAWINGS (SEE LANDSCAPE PAVED WALK PLANTING SOIL MIX AS SUBSOIL **SPECIFIED** OF 12" AND BACKFILL WITH ~ PREPARED PLANTING SOIL TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES:

CURVED TRUNK PALM PLANTING DETAIL

- -All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- --No Cypress mulch is to be used on site. Provide Eucalyptus or Melaleuca mulch in a 3" consistent layer in all planting beds.
- -Planting plans shall take precedence over plant list in case of discrepancies.
- -No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- -Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.
- All landscaping shall be warranted for 1 year after final inspection.
- -No landscape substitutions shall be made without the City of Hollywood approval.
- -No tree removal or planting allowed until subpermits are fully approved by city.

SOD NOTES:

TYPICAL CONTAINER SPACING DETAIL

-Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratam' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.

-Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

-Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.

-Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.

-Sod Shall be watered immediatley after installation to uniformily wet the soil to at least 2" below the bottom of the sod strips.

-Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.



OT 26: NO ADDRESS



2) HPB Comments 11.04.2024 SC



TYPICAL

Sheet Description:

DETAILS

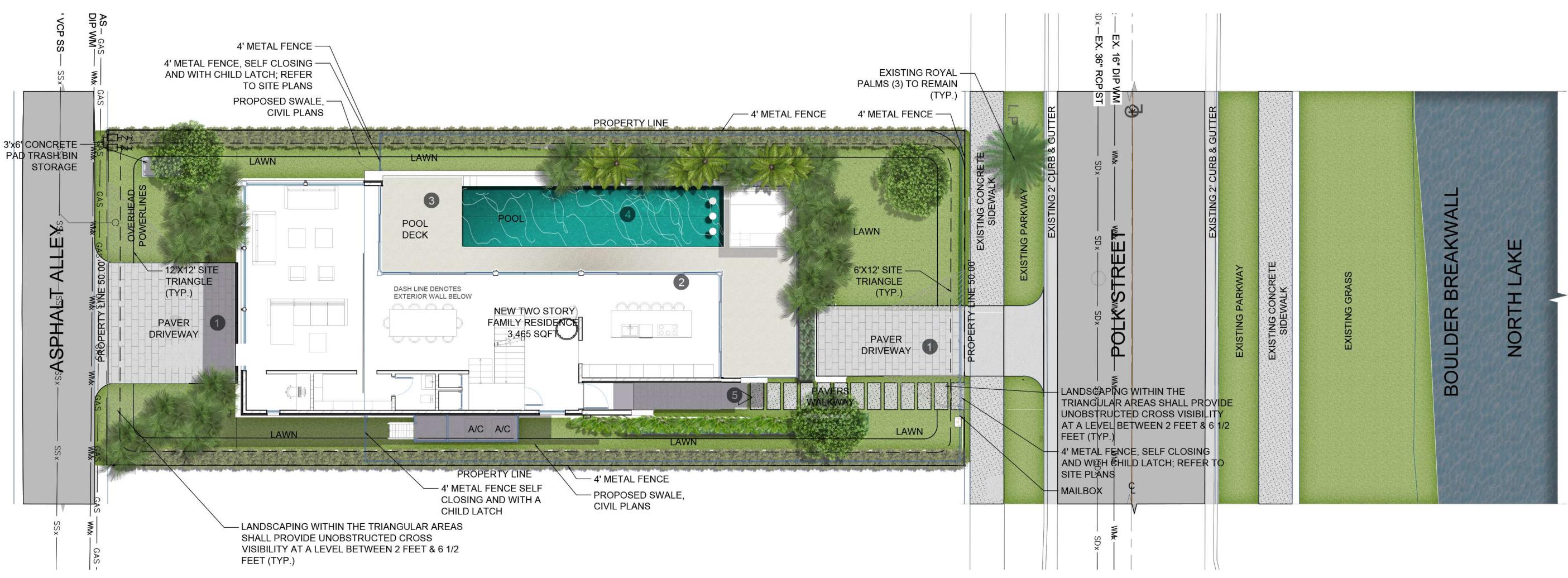
LANDSCAPE

Release Date: 08.12.2024

Project Number: 2024-15

Drawing Number:

L-2



LANDSCAPE PLAN - LOT 02 NORTH

Scale: 1" = 8'-0"

LEGEND

PAVER DRIVEWAY
 POOL

2 SINGLE FAMILY RESIDENCE 5 RESIDENCE ACCESS

O POOL DECK

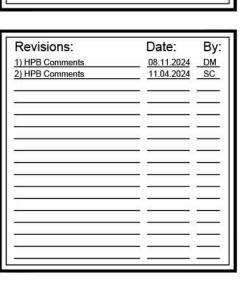
PROPOSED LANDSCAPING WILL NOT OBSTRUCT ONSITE DRAINAGE OF RETENTION SWALES ALONG PROPERTY LINES



COLOR LANDSCAPE PLAN

LOT 26: NO ADDRESS

HOLLYWOOD, FLORIDA 33019





COLOR
LANDSCAPE
PLAN

Release Date: 08.12.2024

Project Number: 2024-15

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L-3