



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 1101 Hillcrest Drive

Lot(s): _____ Block(s): 6 Subdivision: Hollywood Section Three 69-10

Folio Number(s): 514219270034, 514219171541, and 514219171651

Zoning Classification: PUD-R Land Use Classification: Medium (16) Residential

Existing Property Use: Office and Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Site plan for the development of 120 affordable housing units

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="120"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text" value="4303"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="20"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="148"/>)
Height (# of stories)	(# STORIES) <input type="text" value="8"/> (<input type="text" value="84'8"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="2.97"/> FT.)

Name of Current Property Owner: Harwin-Tobin 1101 LLC

Address of Property Owner: 1101 Ben Tobin Dr, Hollywood, FL, 33021

Telephone: 786-347-4553 Email Address: arielf@htgf.com

Applicant Greenspoon Marder LLP Consultant Representative Tenant

Address: 200 E. Broward Blvd., Suite 1800 Telephone: (954)527-2485

Email Address: julian.bobilev@gmlaw.com

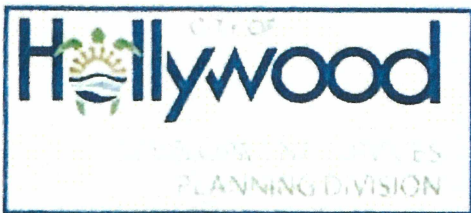
Email Address #2: elizabeth.somerstein@gmlaw.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 10/6/2024

PRINT NAME: Jason Tobin Date: 10/6/2024

Signature of Consultant/Representative: [Signature] Date: 10/4/2024

PRINT NAME: Julian Boblev, Greenspoon Marder LLP Date: 10/4/2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan to my property, which is hereby made by me or I am hereby authorizing Greenspoon Marder LLP to be my legal representative before the TAC, PDB, City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 6 day of October 2024

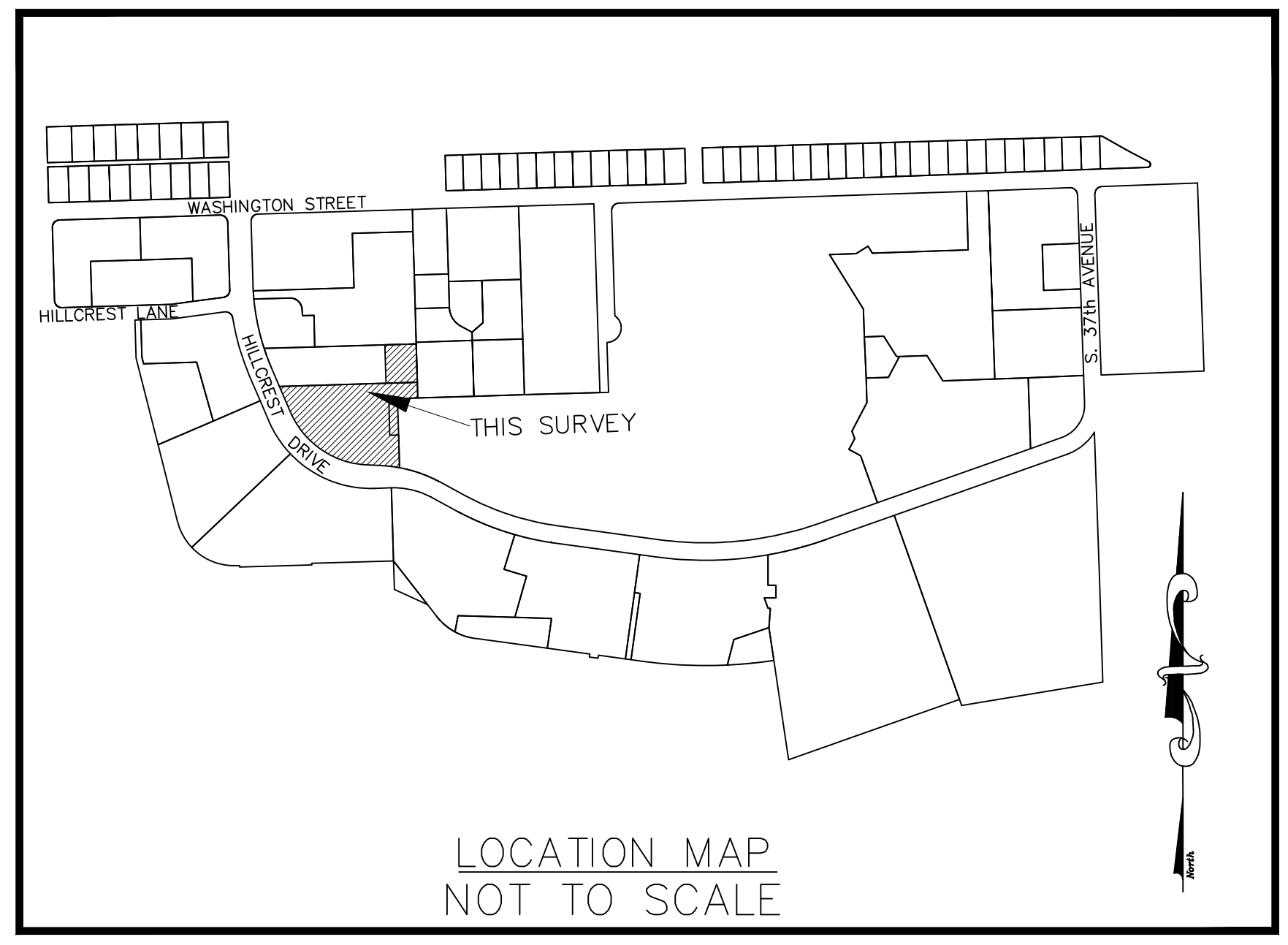
[Signature]
Notary Public



[Signature]
Signature of Current Owner

Jason Tobin
Print Name

My Commission Expires 3/16/28 (Check One) Personally known to me: OR Produced Identification _____



SURVEYOR'S NOTES:

- Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
- Lands shown hereon were not abstracted, by the Surveyor, for rights-of-way, easements, ownership or other instruments of record. This Survey was performed with the benefit of Commitment for Title Insurance prepared by First American Title Insurance Company under File Number Harwin-Tobin 1101 LLC and dated 11-09-2009.
- Unless otherwise noted, this firm has not attempted to locate underground utilities, to delineate any possible wetlands, footings and/or foundations.
- The elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD88) and referenced to Broward County Engineering Department (B.C.E.D.) Benchmark No. 1433., Elevation = 6.54' (NAVD88) (Published as Elevation = 8.14 (NGVD29)) being a square cut in NW corner of concrete sidewalk at #2550 Park Road, and to National Geodetic Survey (NGS) Designation - M 312, Elevation= 13.44' (NAVD88).
- Bearings shown hereon are assumed along on the East line of Block 6, "HILLWOOD SECTION THREE", recorded in Plat Book 69, Page 10, Broward County Records; having a reference bearing of South 01'38'31" East.
- The expected vertical accuracy of the hard shot elevations is ±0.03' and the soft shot elevations is ±0.1'
- The expected horizontal accuracy of the survey located features shown hereon is ±0.1'.
- The intended scale for this drawing is 1" = 30' or smaller.
- Horizontal feature location is to the center of the symbol and may be altered for clarity.
- Horizontal and vertical data shown hereon was obtained utilizing a "TOPCON ES-105" Total Station and "TDS-RANGER" Data Collection System. All data shown hereon was obtained by Calvin Giordano & Associates for the purpose of this Survey.
- The horizontal features shown hereon are plotted to within 1/30 of the map scale.

12. FLOOD ZONE INFORMATION
 Community Name: City of Hollywood
 Community Number: 125113
 County Name: Broward
 State: Florida
 Map & Panel Number: 12011C-0564
 Suffix: H
 F.I.R.M. Index Date: 8-18-14
 F.I.R.M. Panel Effective Date: 08-18-14
 Flood Zone: AH 9'

LEGAL DESCRIPTION:

Portions of Blocks 6 and 9 of " HILLWOOD SECTION THREE" as recorded in Plat Book 69, Page 10 of the Public Records of Broward County, Florida. Together with portions of Tracts OS-1 and OS-3, Hillcrest Country Club North, as recorded in Plat Book 163, Pages 16 through 24 of the Public Records of Broward County, Florida, said portions being more particularly described as follows;

Commencing at the Westerly Most Northwest corner of said Tract OS-1; Thence North 88°17'07" East, along the North line of said Tract OS-1, 29.91 feet to a point of intersection with the Northerly Prolongation of the Westerly line of said Tract OS-1 and the Point of Beginning; Thence South 01°43'26" East, along said Northerly Prolongation and said Westerly line, 236.74 feet to a point on a non-tangent curve concave to the Southwest (through which a radial line bears South 10°29'57" West to the radius point) lying on the Northerly right-of-way line of Hillcrest Drive also being the Southerly line of said Block 9; Thence, along the Northerly and Easterly right-of-way line of said Hillcrest Drive, the Southerly line of said Block 9 and the Southerly and Westerly line of said Block 6 the following four courses (4); (1) Northwesterly along the arc of said curve having a Radius of 468.63 feet, a Central Angle of 0°7'49'58" and an Arc distance of 64.07 feet to a point of Tangency; (2) North 87°20'01" West, 48.17 feet to a point of curvature of a curve concave to the Northwest; (3) Northwesterly along the arc of said curve having a Radius of 300.00 feet, a Central Angle of 64°06'35" and an Arc distance of 335.68 feet to a point of Tangency; Thence North 23°13'26" West, 94.61 feet; Thence, departing said Westerly right-of-way line and the Easterly line of said Block 6, North 88°17'07" East, 368.66 feet; Thence North 01°38'31" West, 185.00 feet; Thence North 88°17'07" East, 103.00 feet to a point on the East line of said Block 6 also being the West line of Parcel 4, Tallwood Amended as recorded in Plat Book 64, Page 39 of the Public Records of Broward County, Florida; Thence South 01°38'31" East, along said East and West line, 185.00 feet to a point on the North line of said Tract OS-1; Thence South 88°17'07" West, along said North line, 69.38 feet to the Point of Beginning.

Said lands lying in the City of Hollywood, Broward County, Florida and containing an area of 106,862 Square Feet, (2.453 Acres) more or less.

TITLE NOTES:

The following items are from Schedule B - Section 2 of the Title Insurance Commitment issued by First American Title Insurance Company, Agent File No. Harwin-Tobin 1101 LLC, Commitment Date: November 9, 2009 at 8:00 a.m.:

- The lands described hereon are affected by restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of HILLWOOD SECTION THREE, as recorded in Plat Book 69, Page 10 of the Public Records of Broward County, Florida. A 6' Utility easement, dedicated by the plat, is plotted and is on the property. It runs along the right-of-way line of Hillcrest Drive.
- The lands described hereon are affected by the 4' wide Cable T.V. Easement granted to Hollywood Cablevision, a joint venture of Storer Cable T.V. of Florida, Inc, and Hollywood Cable T.V., Inc., as recorded in Official Records Book 10044, Page 643 of the Public Records of Broward County, Florida. The easement is plotted and is on the property. It runs along the right-of-way line of Hillcrest Drive and is wholly contained inside the platted 6' Utility Easement.
- The lands described hereon are not affected by the 5' Sidewalk Easement granted to the City of Hollywood as recorded in Official Records Book 30217, Page 1608 of the public Records of Broward County, Florida. The easement is plotted but is not located on the subject property. It is located in the Southeast quadrant of the intersection of Washington Street and Hillcrest Drive.

THIS SURVEY IS CERTIFIED TO:
 HILLCREST - TOBIN
 FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATE:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 4, 7a, 8, 9, 10, 11a, 13 and 14. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

I ALSO HEREBY CERTIFY: that this "BOUNDARY SURVEY" of the property described hereon is true and correct to the best of my knowledge and belief as recently surveyed and drawn under my supervision. This Survey complies with the Standard of Practice set forth by the Florida State Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code pursuant to 472.027 Florida Statutes.

Date of Last Field Work: 6-01-2018
 CALVIN, GIORDANO & ASSOCIATES, INC.

Signed: _____
 Michael M. Mossey
 Professional Surveyor and Mapper
 Florida Registration No. 5660

P:\Projects\2018\181234-1101 Hillcrest Drive - Harwin-Tobin-1101 Hillcrest Drive - AL-181234-AL-Hillcrest-Tobin-2018.dwg

NO.	DATE	DESCRIPTION	BY
3	5-30-18	REVISED BOUNDARY	MMM
3	5-30-18	ADDED MODULAR OFFICE LOCATION	MMM
2	5-15-18	ADDED PAVEMENT ELEVATIONS	MMM
1	12-02-09	ADDED NEW TITLE INFORMATION AND TITLE NOTES	G.J.C.

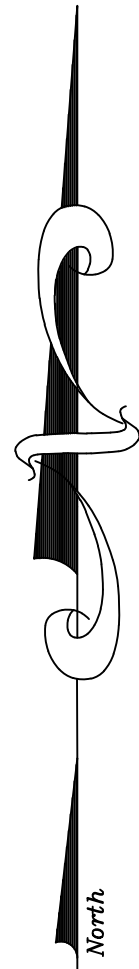
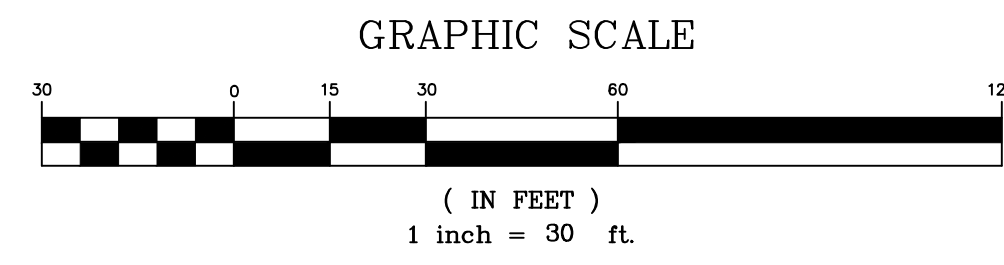
DESIGNED DATE 11-03-09 GJC
 DRAWN DATE 11-03-09 GYC
 CHECKED DATE 10-16-09 GJC
 BY

Calvin Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 1600 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954.921.7781 • Fax: 954.921.8807
 Certificate of Authorization 6791

1101 HILLCREST DRIVE
 TOBIN CONSTRUCTION GROUP
 City of Hollywood, Broward County, Florida

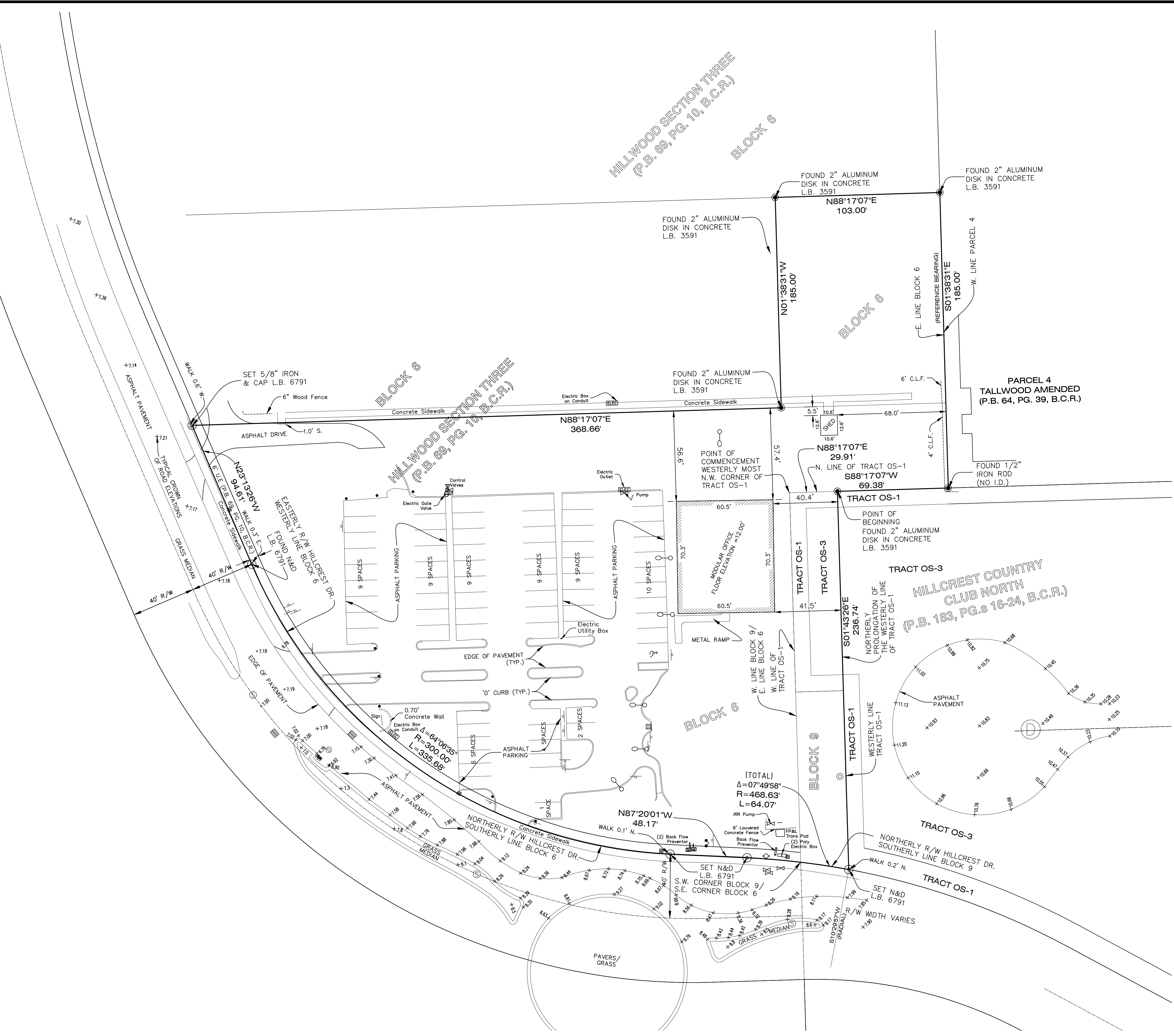
ALTA/ACSM
 LAND TITLE SURVEY

SCALE 1" = 30'	SHEET: 1
PROJECT No 09-2953	2
FIELD BOOK 09-L-47	



- LEGEND:**
- [Symbol] = BACKFLOW PREVENTOR
 - [Symbol] = BBQ GRILL
 - [Symbol] = CATCH BASIN
 - [Symbol] = CLEANOUT
 - [Symbol] = COLUMN
 - [Symbol] = CONC. POWER POLE
 - [Symbol] = CROSS WALK SIGNAL POLE
 - [Symbol] = DRAINAGE MANHOLE
 - [Symbol] = DOUBLE PREVENTION CHECK VALVE
 - [Symbol] = ELECTRIC HANDHOLE
 - [Symbol] = ELECTRIC METER/RACK
 - [Symbol] = FIBER OPTIC
 - [Symbol] = FIRE HYDRANT
 - [Symbol] = FLAG POLE
 - [Symbol] = FPL TRANSFORMER PAD
 - [Symbol] = GAS METER
 - [Symbol] = GAS VALVE
 - [Symbol] = GREASE TRAP/MANHOLE
 - [Symbol] = GUY ANCHOR
 - [Symbol] = IRRIGATION VALVE
 - [Symbol] = LAMP POST
 - [Symbol] = MAST ARM
 - [Symbol] = OVERHEAD ELECTRIC
 - [Symbol] = PARKING METER
 - [Symbol] = SANITARY MANHOLE
 - [Symbol] = BOLLARD
 - [Symbol] = SIGN
 - [Symbol] = CABLE TELEVISION RISER
 - [Symbol] = GATE VALVE
 - [Symbol] = SANITARY MANHOLE
 - [Symbol] = CATCH BASIN
 - [Symbol] = METAL LIGHT POLE
 - [Symbol] = Clean-out
 - [Symbol] = BELL SOUTH POLY VAULT
 - [Symbol] = SQUARE DRAIN
 - [Symbol] = ELECTRIC SWITCH
 - [Symbol] = SPRINKLER PUMP STATION
 - [Symbol] = HANDICAP SIGN
 - [Symbol] = WATER METER
 - [Symbol] = FIRE HYDRANT
 - [Symbol] = SIAMESE FIRE HYDRANT

- LEGEND:**
- C.B.S. CONCRETE BLOCK STRUCTURE
 - B.C.R. BROWARD COUNTY RECORDS
 - C.A.T.V. CABLE TELEVISION BOX
 - Δ CENTRAL ANGLE (DELTA)
 - CL. CENTERLINE (DELTA)
 - CONC. CONCRETE
 - D.B. DEED BOOK
 - D.C.R. DADE COUNTY RECORDS
 - F.P.L. FLORIDA POWER AND LIGHT
 - L. ARC LENGTH
 - L.B. LICENSED BUSINESS
 - /-/- NON-VEHICULAR ACCESS LINE
 - N&D NAIL AND DISK
 - N.T.S. NOT TO SCALE
 - No. NUMBER
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - PG. PAGE
 - R. RADIUS
 - R/W RIGHT-OF-WAY
 - SO.FT. SQUARE FEET
 - U.E. UTILITY EASEMENT



P:\Projects\2018\181234_1101 Hillcrest Drive - Harwin-Tabin\1101 Hillcrest Drive - Al-Hillcrest-Tabin-2018.dwg

NO.	DATE	DESCRIPTION	BY	DATE
3	5-30-18	REVISED BOUNDARY	MMM	
3	5-30-18	ADDED MODULAR OFFICE LOCATION	MMM	
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1	12-02-09	ADDED NEW TITLE INFORMATION AND TITLE NOTES	G.J.C.	

DESIGNED DATE 11-03-09 GJC
 DRAWN DATE 11-03-09 GJC
 CHECKED DATE 10-16-09 GJC
 BY

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 Certificate of Authorization 6791

1101 HILLCREST DRIVE
 TOBIN CONSTRUCTION GROUP
 City of Hollywood, Broward County, Florida

ALTA/ACSM
 LAND TITLE SURVEY

SCALE 1" = 30'
 PROJECT No 18-1234
 FIELD BOOK 09-L-47

SHEET: 2

PROJECT

HILLCREST APARTMENTS

LOCATED AT:
1101 HILLCREST DR
HOLLYWOOD, FL 33021

OWNER:



1101 BEN TOBIN DR.
HOLLYWOOD, FL 33021

ARCHITECT



1701 PONCE DE LEON BLVD. | SUITE 201
CORAL GABLES, FLORIDA 33134
o - 305.284.7325
e - info@realizationarchitects.com
w - www.realizationarchitects.com

PRELIMINARY TAC SUBMITTAL - 10.07.2024

PROJECT LOCATION



INDEX OF DRAWINGS

		PRE TAC: 10.07.24		
GENERAL				
	COVER SHEET	X		
SURVEY				
1	SURVEY	X		
2	SURVEY	X		
ARCHITECTURE				
A-100	AREA DIAGRAMS	X		
A-101	SITE PLAN	X		
A-200	GROUND LEVEL FLOOR PLAN	X		
A-201	LEVELS 2 - 3 FLOOR PLAN	X		
A-202	LEVEL 4 FLOOR PLAN	X		
A-203	LEVELS 5-8 FLOOR PLAN	X		
A-300	BUILDING ELEVATIONS	X		

GROSS FLOOR AREA CALCULATION

LEGEND

- UNIT AREAS
- BALCONIES/TERRACES
- COMMON AREA
- AMENITIES
- BOH, STAIRS, ELEVATORS
- LEASING OFFICE
- BUSINESS OFFICE
- POOL DECK

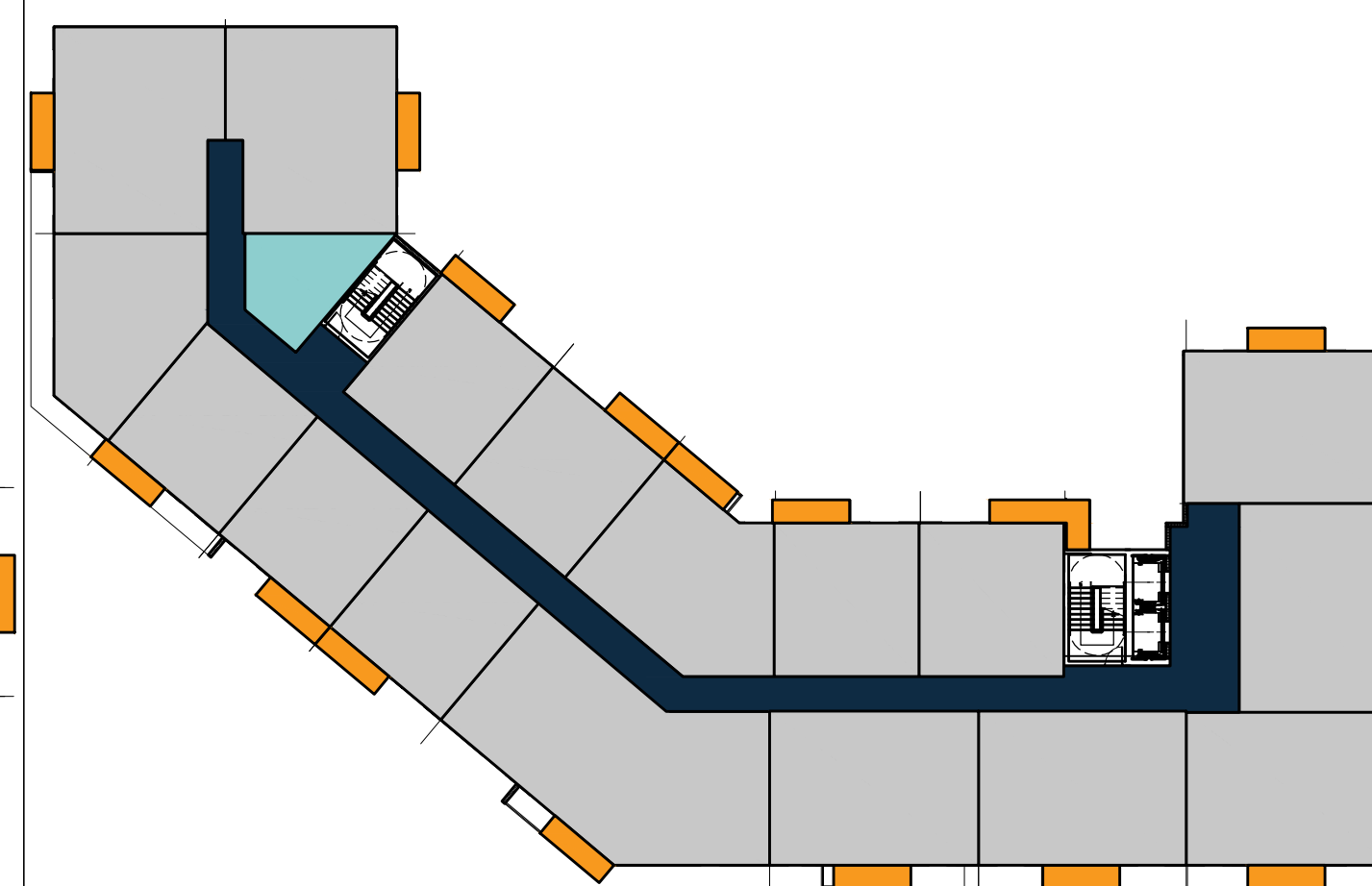
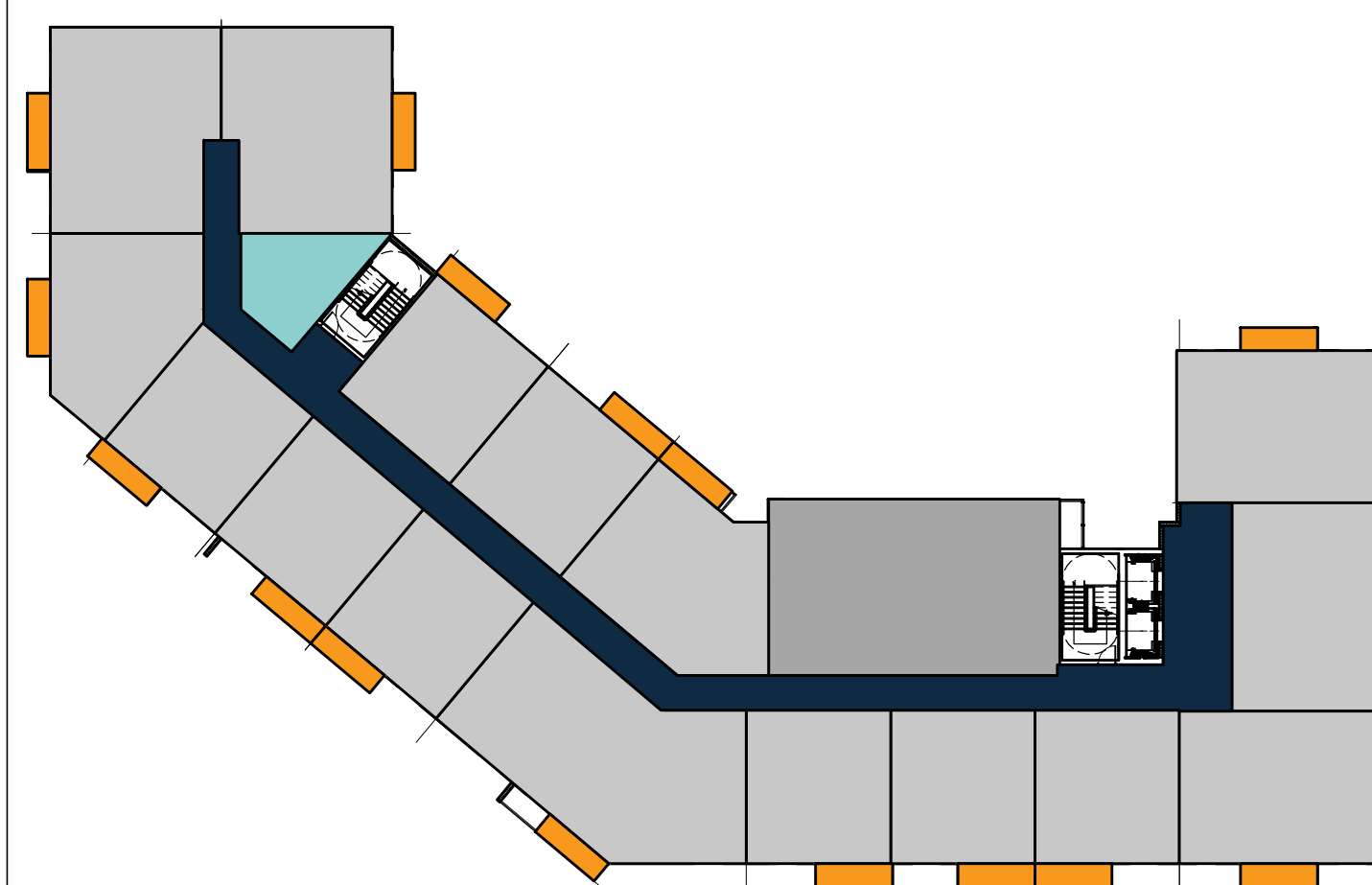
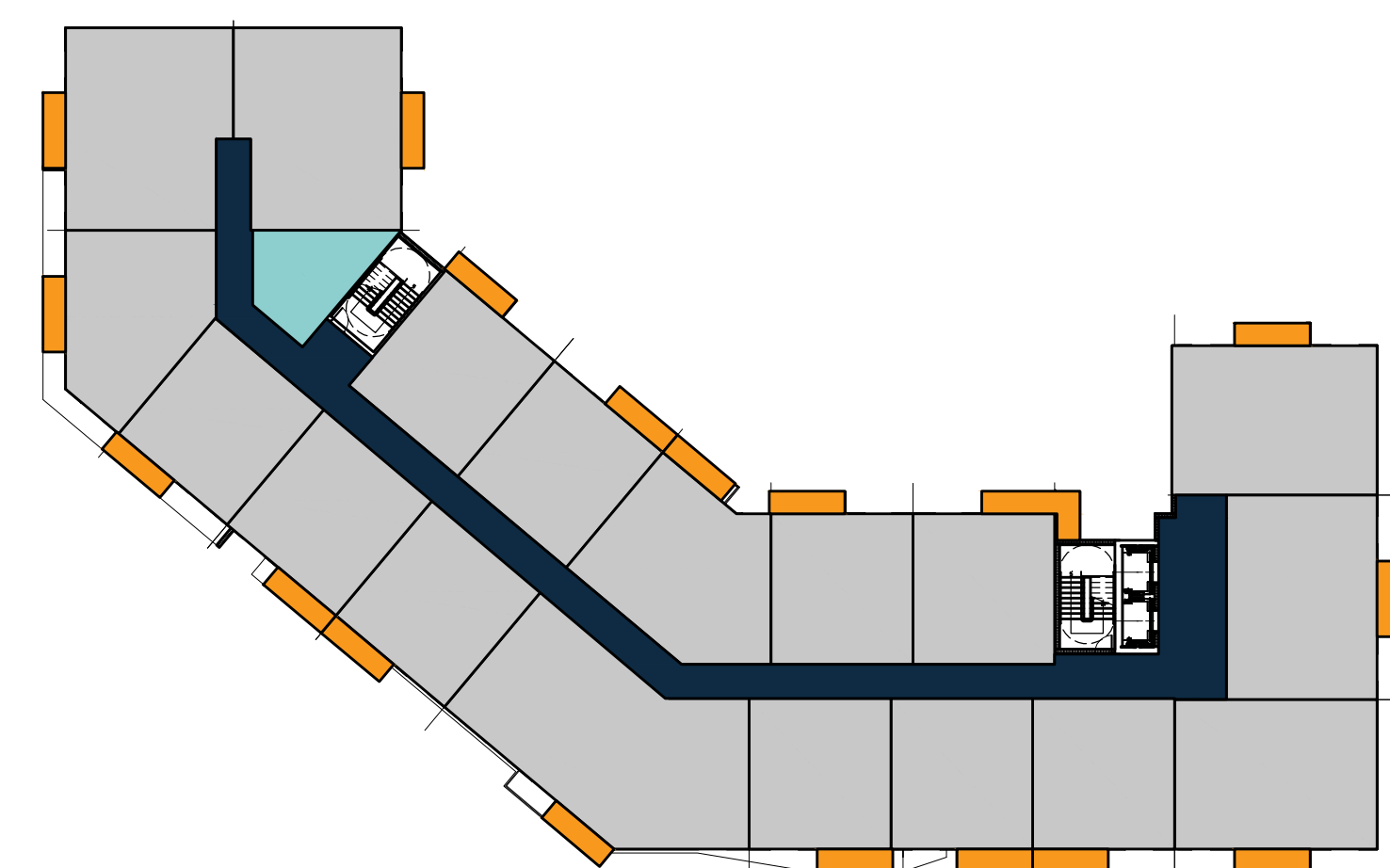
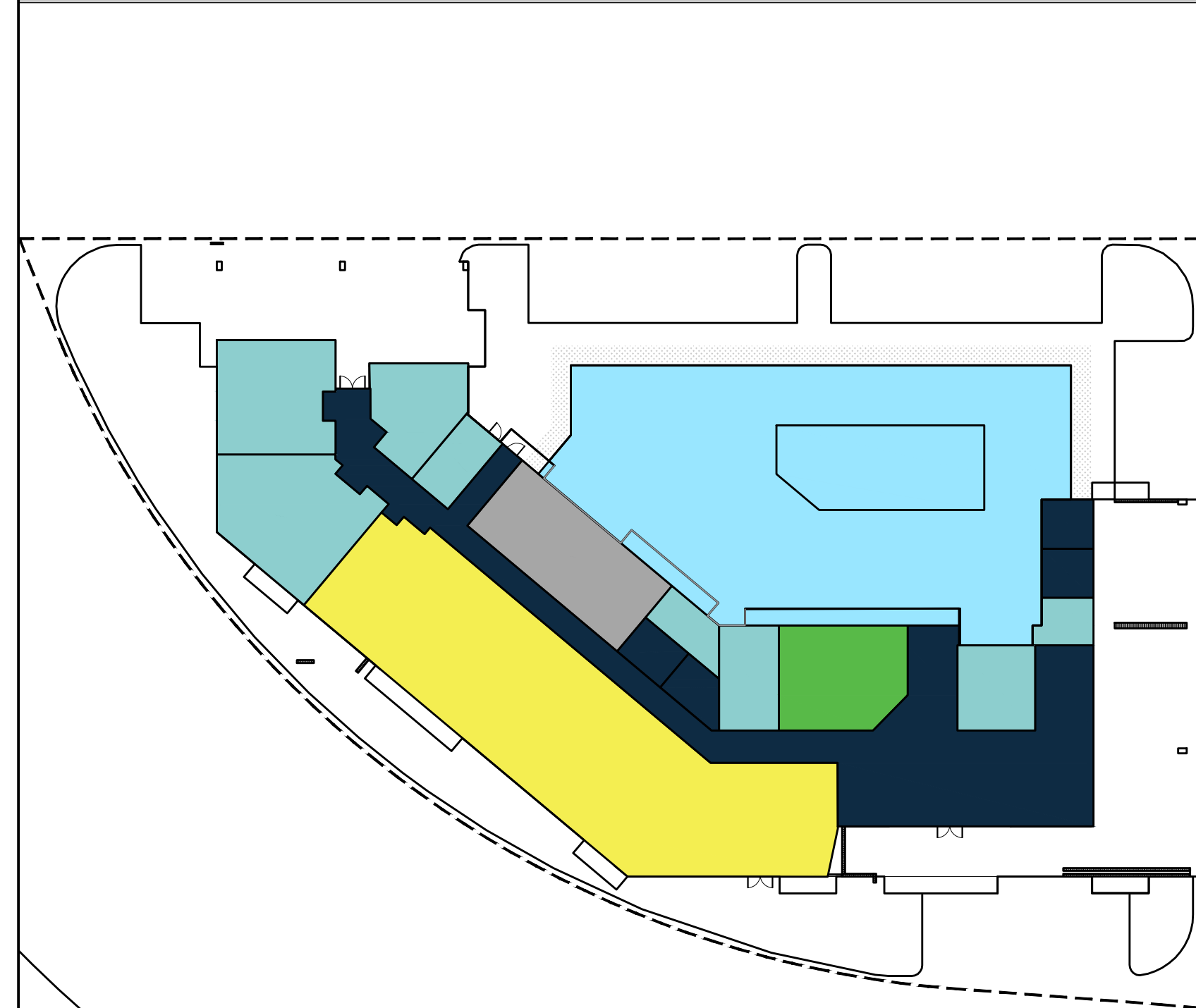


1701 PONCE DE LEON BLVD | SUITE 201
CORAL GABLES, FLORIDA 33134
P - 305.284.7325
E - ra@realizationarchitects.com
W - www.realizationarchitects.com

CLIENT / PROJECT:

HILLCREST APARTMENTS
1101 HILLCREST DRIVE,
HOLLYWOOD, FL 33021

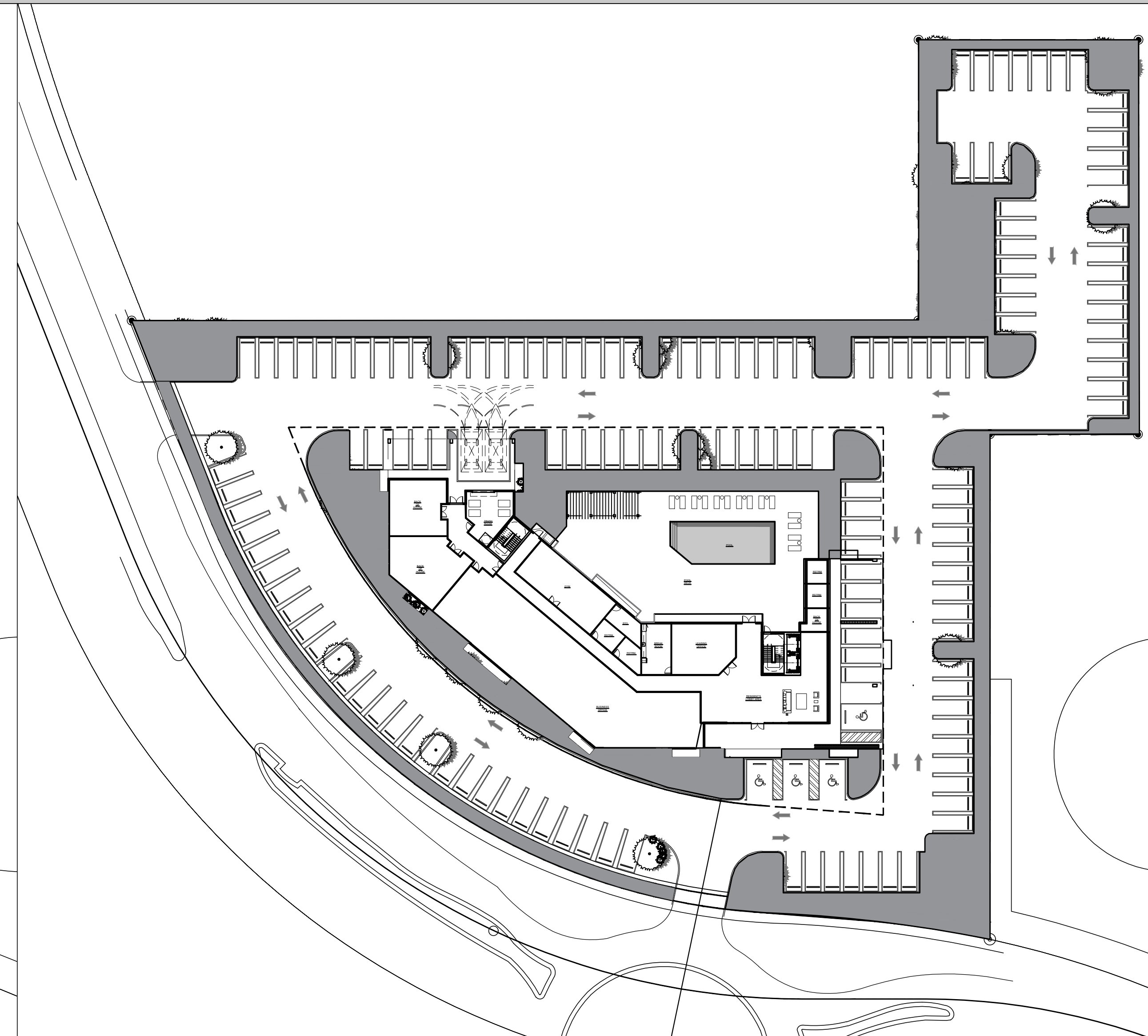
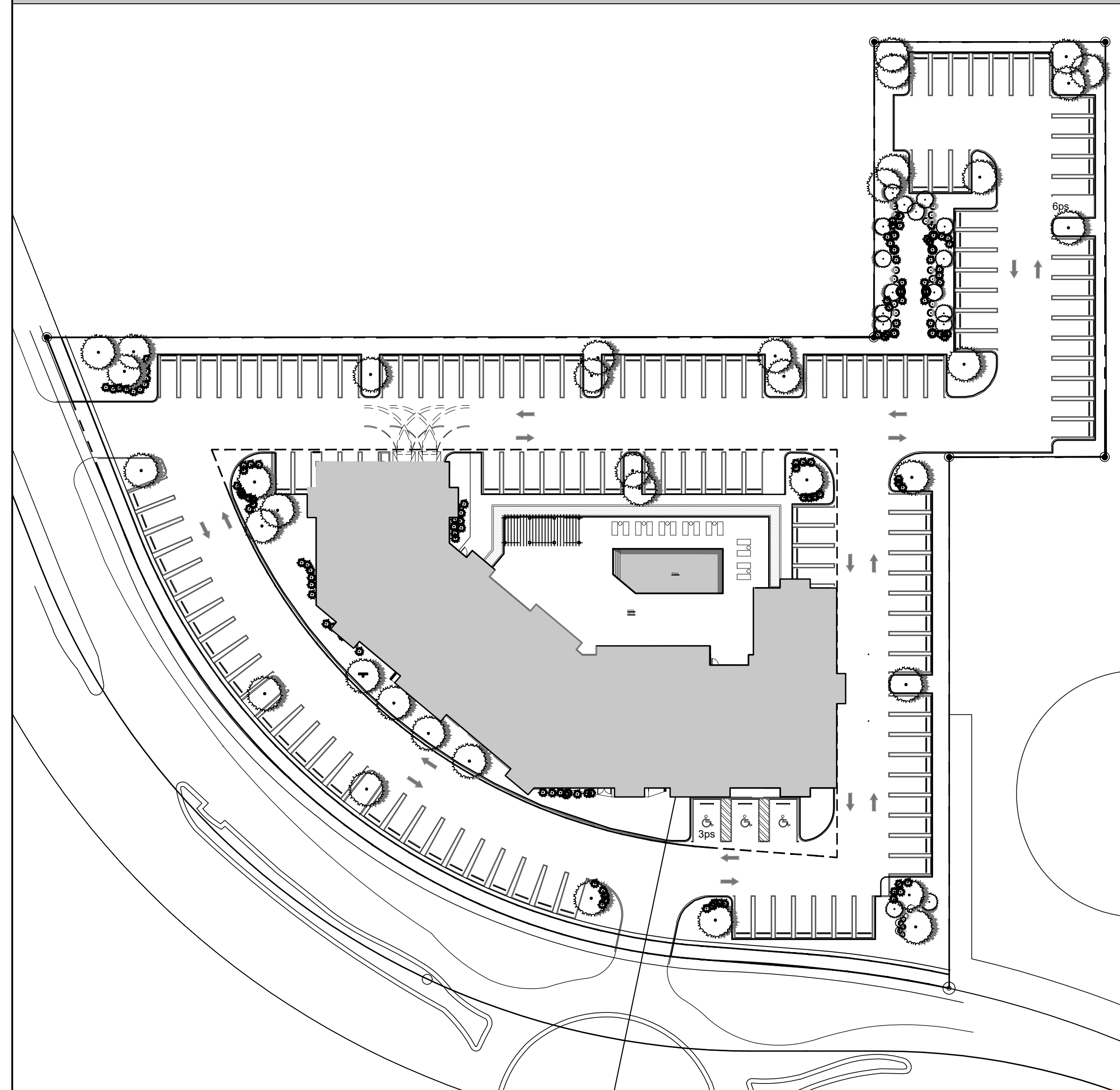
CONSULTANTS:



LEVEL 01	LEVEL 02-03		LEVEL 04	LEVEL 05-08	
UNIT AREAS = N/A	UNIT AREAS = 14,635 SF	UNIT AREAS = 14,635 x 2 = 29,270 SF	UNIT AREAS = 13,297 SF	UNIT AREAS = 14,635 SF	UNIT AREAS = 14,635 x 4 = 58,540 SF
BALCONIES/TERRACES = N/A	BALCONIES/TERRACES = 997 SF	BALCONIES/TERRACES = 997 x 2 = 1,994 SF	BALCONIES/TERRACES = 856 SF	BALCONIES/TERRACES = 890 SF	BALCONIES/TERRACES = 890 x 4 = 3,560 SF
COMMON AREA = 3,789 SF	COMMON AREA = 1,864 SF	COMMON AREA = 1,864 x 2 = 3,728 SF	COMMON AREA = 1,864 SF	COMMON AREA = 1,864 SF	COMMON AREA = 1,864 x 4 = 7,456 SF
AMENITIES = 932 SF	AMENITIES = N/A		AMENITIES = 1,551 SF		
BOH, STAIRS, ELEVATORS = 3,416 SF	BOH, STAIRS, ELEVATORS = 329 SF	BOH, STAIRS, ELEVATORS = 329 x 2 = 658 SF	BOH, STAIRS, ELEVATORS = 329 SF	BOH, STAIRS, ELEVATORS = 329 SF	BOH, STAIRS, ELEVATORS = 329 x 4 = 1,316 SF
LEASING OFFICE= 722 SF					
BUSINESS OFFICE= 4,303 SF					
POOL DECK = 5,744 SF					
GROSS FLOOR AREA = 18,906 SF	GROSS FLOOR AREA = 17,825 SF	GROSS FLOOR AREA = 17,825 x 2 = 35,650 SF	GROSS FLOOR AREA = 17,897 SF	GROSS FLOOR AREA = 17,718 SF	GROSS FLOOR AREA = 17,718 x 4 = 70,872 SF

PROJECT TOTAL

- UNIT AREAS = 101,107 SF
- BALCONIES/TERRACES = 6,410 SF
- COMMON AREA = 16,837 SF
- AMENITIES = 2,483 SF
- BOH, STAIRS, ELEVATORS = 5,719 SF
- LEASING OFFICE= 722 SF
- BUSINESS OFFICE= 4,303 SF
- POOL DECK = 5,744 SF
- TOTAL GROSS FLOOR AREA = 143,325 SF



LOT COVERAGE
LOT COVERAGE = 17,897 SF

OPEN SPACE
OPEN SPACE = 24,823 SF

REVISIONS

PRE TAC SUBMITTAL: 10.07.2024

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF REALIZATION ARCHITECTS, LLC. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT. WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF REALIZATION ARCHITECTS, LLC.

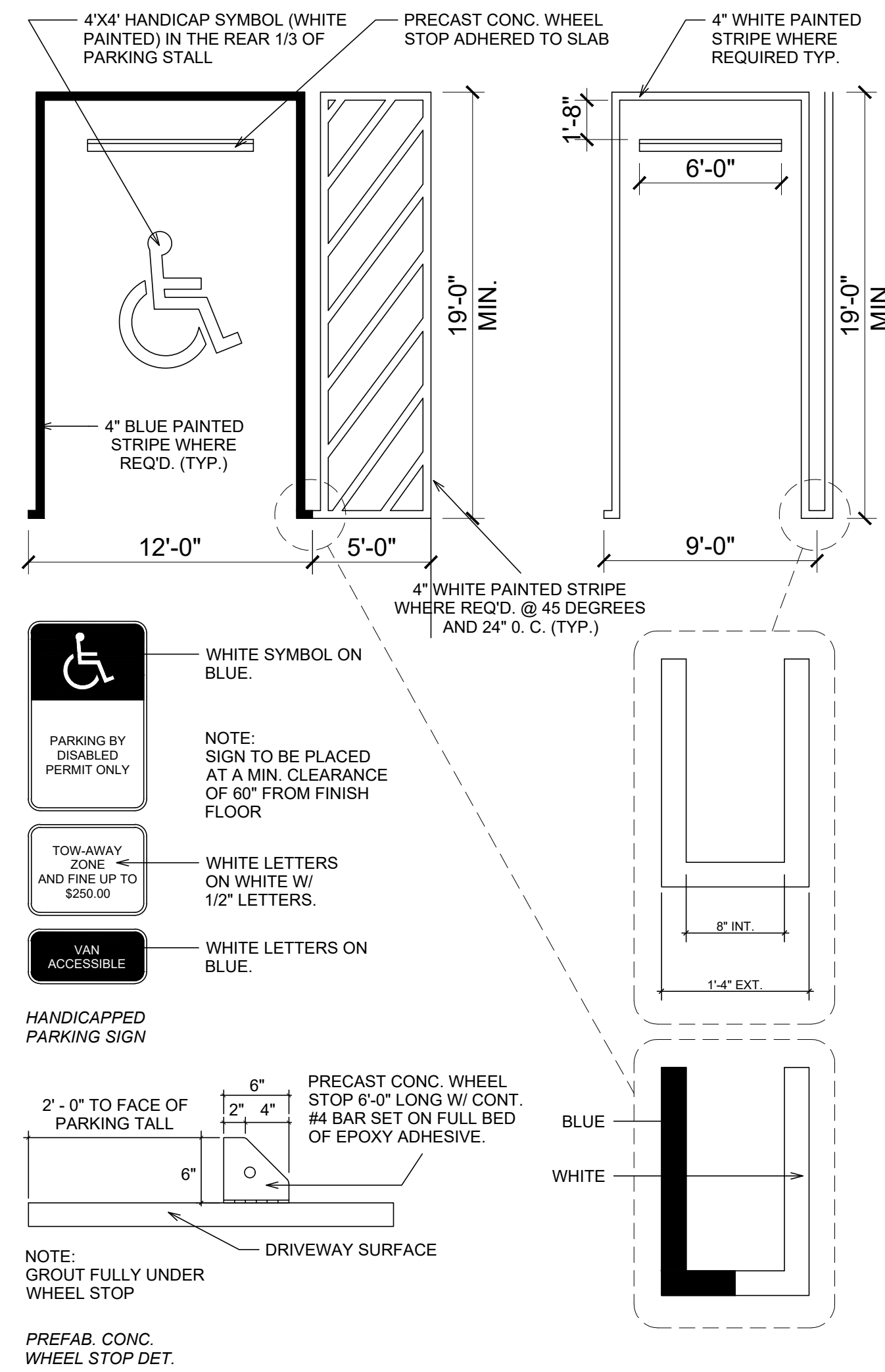
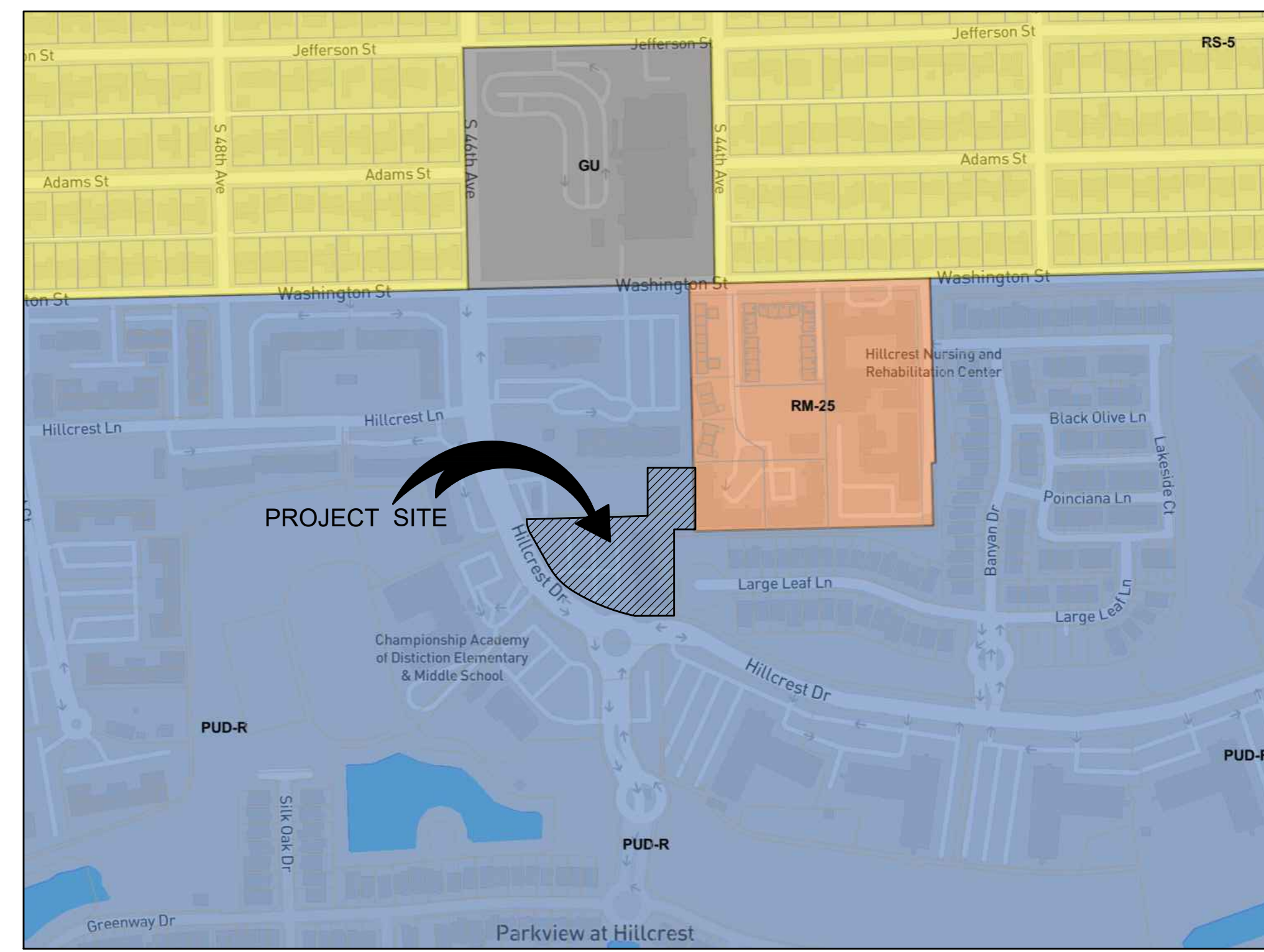
RAFAEL TAPANES AR 97896

DISCIPLINE / SHEET TITLE:

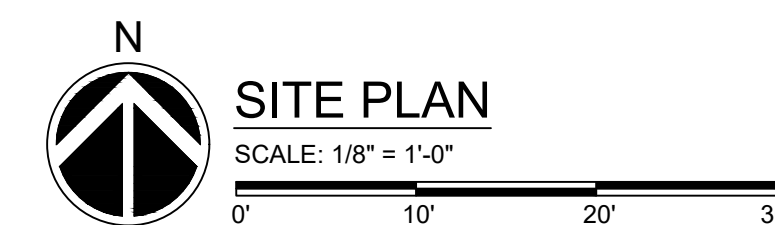
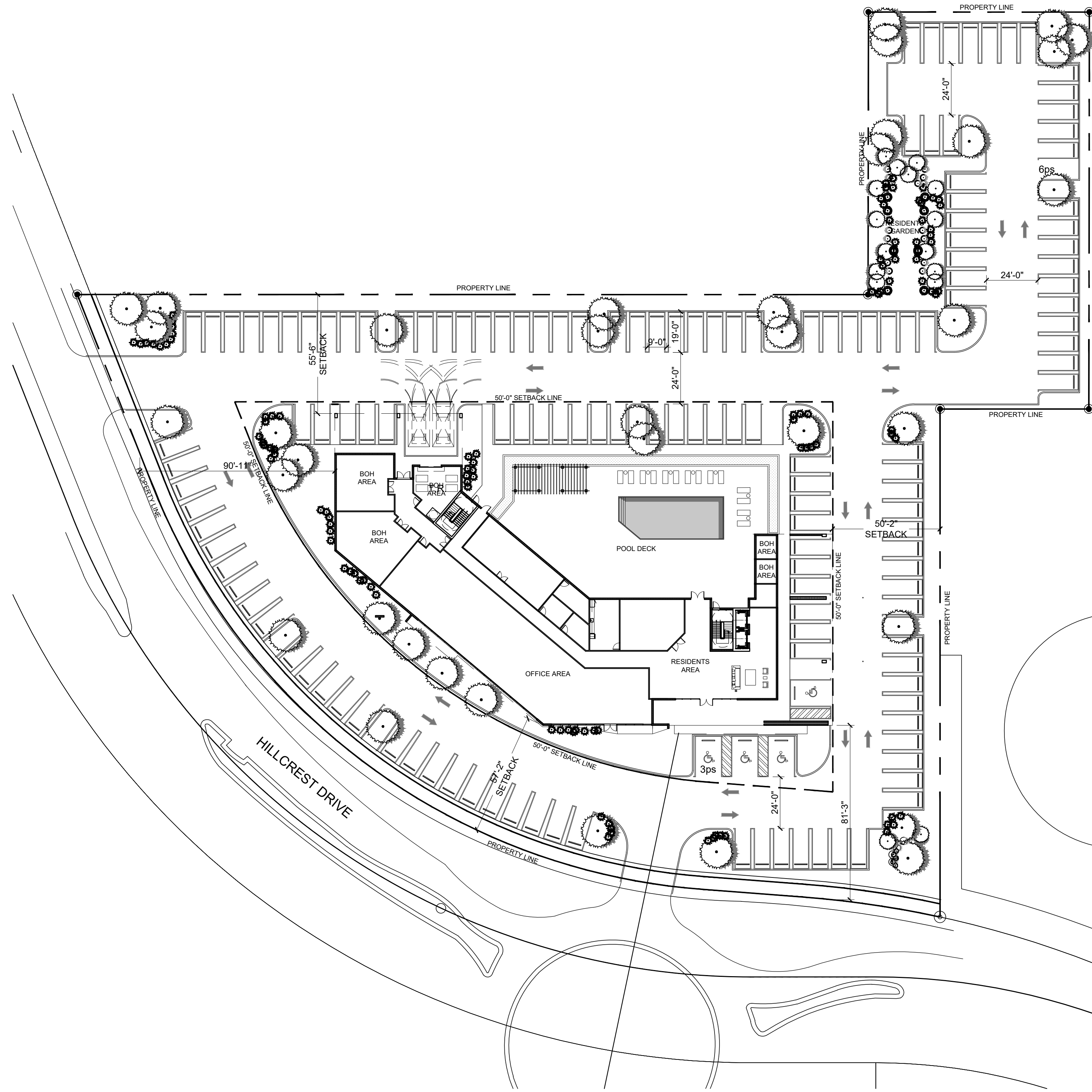
AREA DIAGRAMS

SCALE: AS SHOWN

SHEET NO: **A-100**



PARKING AND ADA STRIPING DETAILS
SCALE: NOT TO SCALE



APPLICABLE CODES:	
BUILDING	FLORIDA BUILDING CODE, BUILDING, 7th EDITION(2020)
LIFE SAFETY	N.F.P.A. 101 - LIFE SAFETY CODE (2018)
FIRE PREVENTION	FLORIDA FIRE PREVENTION CODE, 7th EDITION (2020)
ZONING:	
EXISTING:	PUD-R
LAND USE:	
EXISTING CLASSIFICATION:	MEDIUM (16) RESIDENTIAL
EXISTING USE:	OFFICE AND VACANT
SITE DATE:	
SITE AREA:	2.06 AC (89,566 SF)
DENSITY:	
PROPOSED:	58.26 UNITS / ACRE

LEGAL DESCRIPTION:

Portions of Blocks 6 and 9 of "HILLWOOD SECTION THREE as recorded in Plot Book 69, Page 10 of the Public Records of Broward County, Florida Together with portions of Tracts Osm and british, Hillcrest Club North, as recorded in Plot Book 163, Pages is through 24 of the Public Records or Broward County, Florida, sold portions being more particularly described as follows;

Commencing at the Westerly Most Northwest corner of said Tract OS-1; Thence North 88°17'07" East, along the North line of said Tract OS-1, 29.91 feet to a point of intersection with the Northerly Prolongation of the Westerly line of said Tract OS-1 and the Point of Beginning; Thence South 01°43'26" East, along said Northerly Prolongation and said Westerly line, 236.74 feet to a point on a non-tangent curve concave to the Southwest (through which a radial line bears South 10°29'57" West to the radius point) lying on the Northerly right-of-way line of Hillcrest Drive also being the Southerly line of said Block 9; Thence, along the Northerly and Easterly right-of-way line of said Hillcrest Drive, the Southerly line of said Block 9 and the Southerly and Westerly line of said Block 6 the following four courses (4); (1) Northwestwesterly, along the arc of said curve having a Radius of 488.63 feet, a Central Angle of 07°49'58" and an Arc distance of 64.07 feet to point of Tangency; (2) North 87°20'01" West, 48.17 feet to a point of curvature of a curve concave to the Northwest; (3) Northwestwesterly along the arc of said curve having Radius of 300.00 feet, a Central Angle of 64°06'35" and an Arc distance of 335.68 feet to a point of Tangency; Thence North 23°13'26" West, 94.61 feet; Thence, departing said Westerly right-of-way line and the Easterly line of said Block 6, North 88°17'07" East, 368.66 feet; Thence North 01°38'31" West, 185.00 feet; Thence North 88°17'07" East, 103.00 feet to point on the East line of said Block 6 also being the West line of Parcel 4, Tallwood Amended as recorded in Plat Book 64, Page 39 of the Public Records of Broward County, Florida; Thence South 01°38'31" East, along said East and West line, 185.00 feet to a point on the North line of said OS-1; Thence South 88°17'07" West, along said North line 69.38 feet to the Point of Beginning.

Said lands lying in the City of Hollywood, Broward County, Florida and containing an area of 106,862 Square Feet, (2.453 Acres) more or less.

BUILDING HEIGHT:	
PROPOSED HEIGHT:	8 STORIES
BUILDING SETBACKS:	
FRONT (HILL CREEK DR):	REQUIRED 50'-0" PROVIDED 57'-2"
SIDE (EAST):	REQUIRED 50'-0" PROVIDED 50'-2"
SIDE (NORTH):	REQUIRED 50'-0" PROVIDED 55'-6"

PARKING BREAKDOWN:		
PARKING REQUIREMENTS:	CRITERIA:	REQUIRED:
OFFICE: 4,303 SF	1 PER 250 SF	17 SPACES
MULTI-FAMILY	CRITERIA:	REQUIRED:
120 TOTAL UNITS	1.5 SPACE / UNIT	180 SPACES
GUEST PARKING	1 SPACE / 5 UNITS	24 SPACES
TOTAL PARKING SPACES REQUIRED:		221 SPACES
TOTAL PARKING SPACES PROVIDED:		148 SPACES (INCL. 4 ADA SPACES)

UNIT MATRIX					
UNIT TYPE	DESCRIPTION	PROJECT TOTAL (%)	UNIT AREA (S.F.)	BALCONY AREA (S.F.)	TOTAL UNITS
A1	1B/1B	47%	669	50	56
A2	1B/1B	6%	743	50	7
A3	1B/1B	6%	879	50	7
B1	2B/2B	11%	950	50	14
B2	2B/2B	13%	960	50	15
B3	2B/2B	11%	1,013	50	14
C1	3B/2B	6%	1,422	50	7
TOTAL UNITS IN PROJECT					120



HILLCREST APARTMENTS
1101 HILLCREST DRIVE,
HOLLYWOOD, FL 33021

CONSULTANTS:

PRE TAC SUBMITTAL: 10.07.2024

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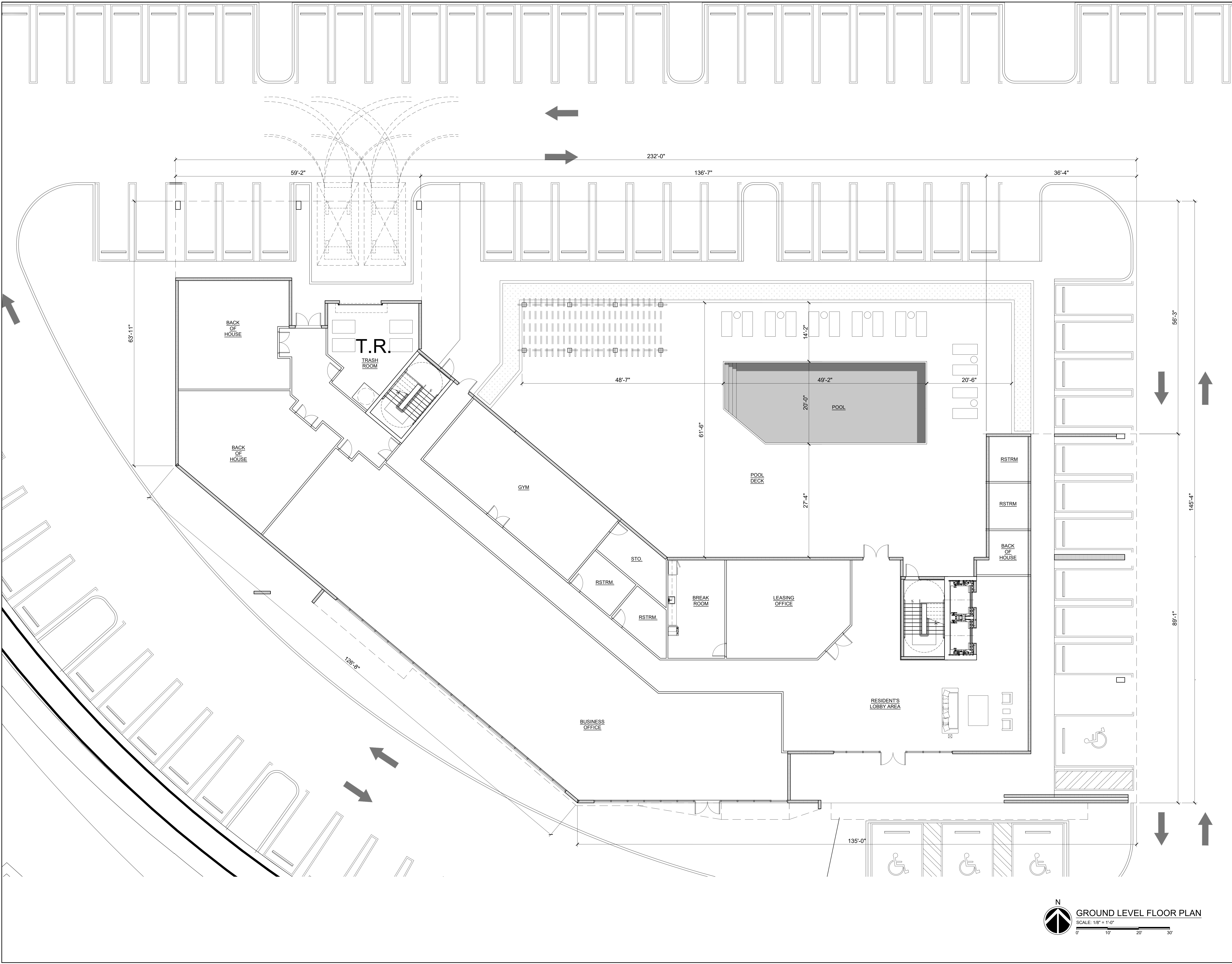
RAFAEL TAPANES AR 97896

DISCIPLINE / SHEET TITLE:

SITE PLAN

SCALE: AS SHOWN

SHEET NO: **A-101**



GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 10' 20' 30'



REVISIONS

PRE TAC SUBMITTAL: 10.07.2024

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RAFAEL TAPANES AR 97896

DISCIPLINE / SHEET TITLE:

LEVELS 2 & 3 FLOOR PLAN

SCALE: AS SHOWN

SHEET NO:

A-201

N
LEVELS 2 & 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 10' 20' 30'



REVISIONS

NO.	DESCRIPTION

PRE TAC SUBMITTAL: 10.07.20

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RAFAEL TAPANES AR 978

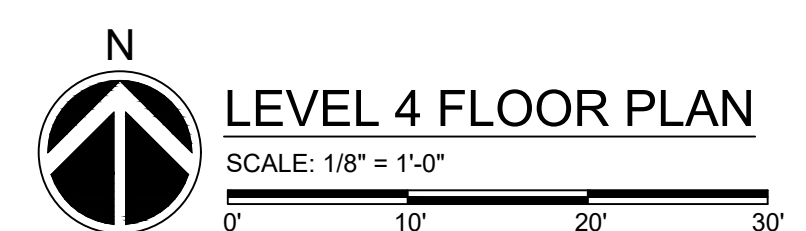
DISCIPLINE / SHEET TITLE

LEVEL 4 FLOOR PLAN

SCALE: AS SHOWN

SHEET NO:

A-202





REVISIONS

PRE TAC SUBMITTAL: 10.07.2024

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RAFAEL TAPANES AR 97896

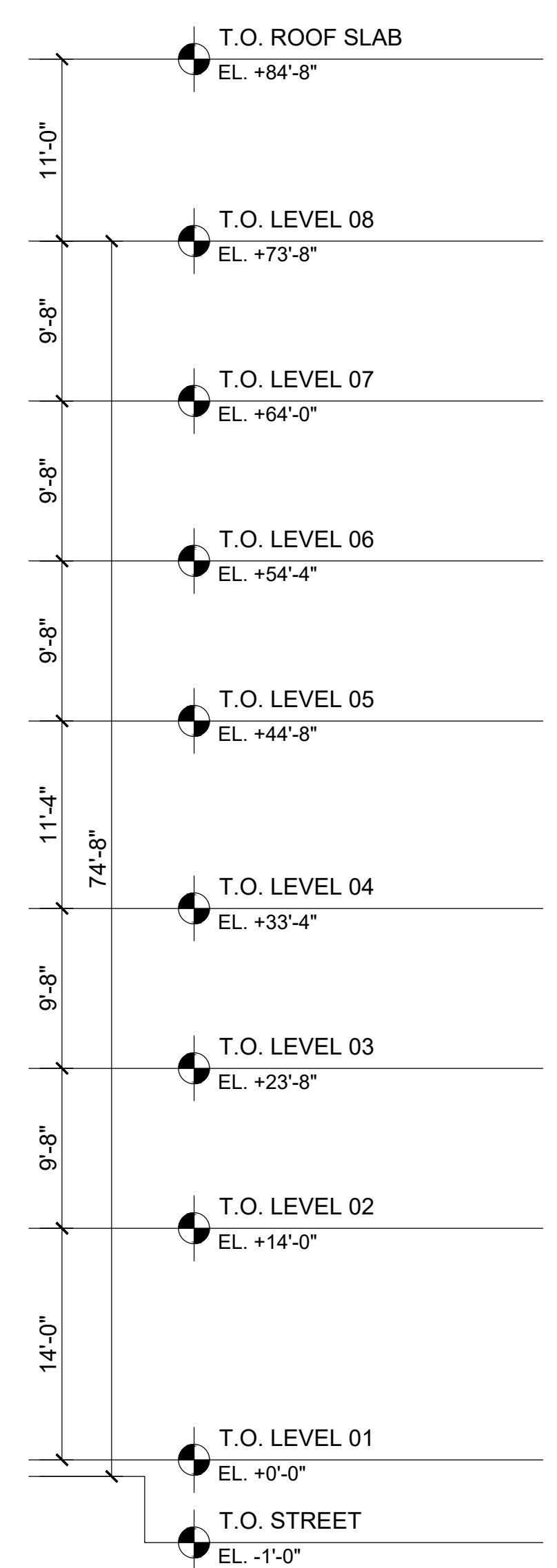
DISCIPLINE / SHEET TITLE:

TYP. LEVELS 5-8 FLOOR PLAN

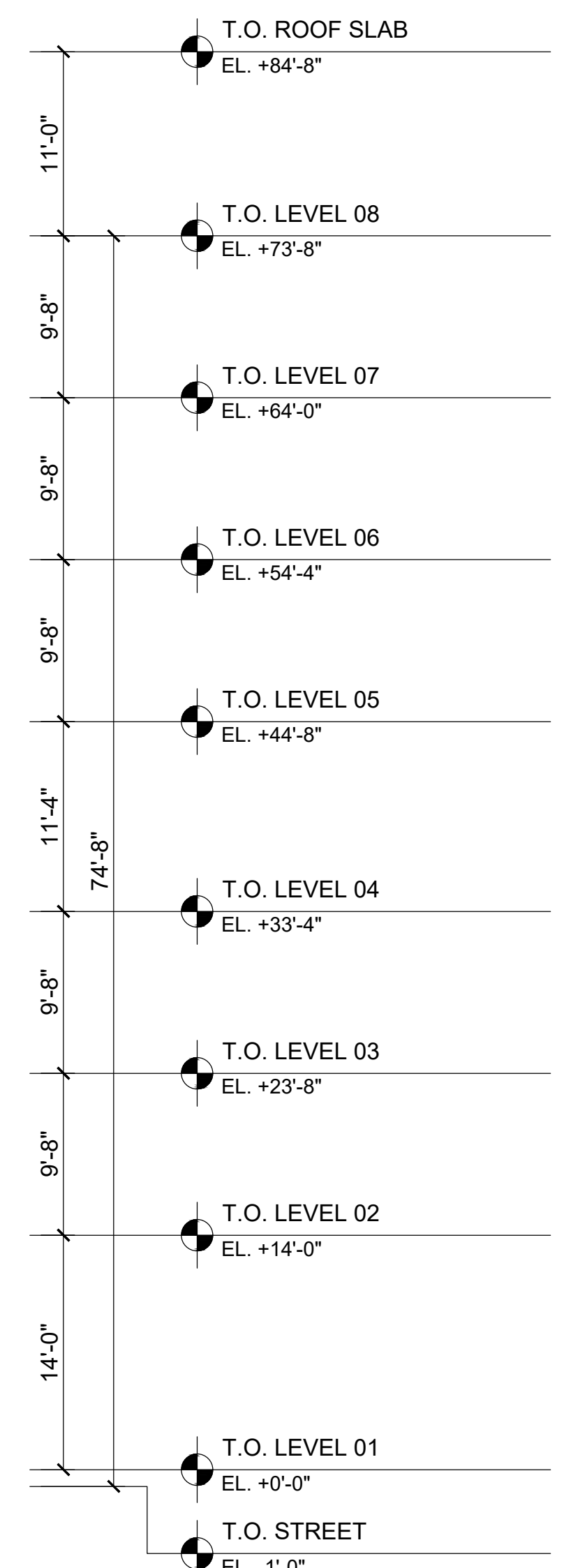
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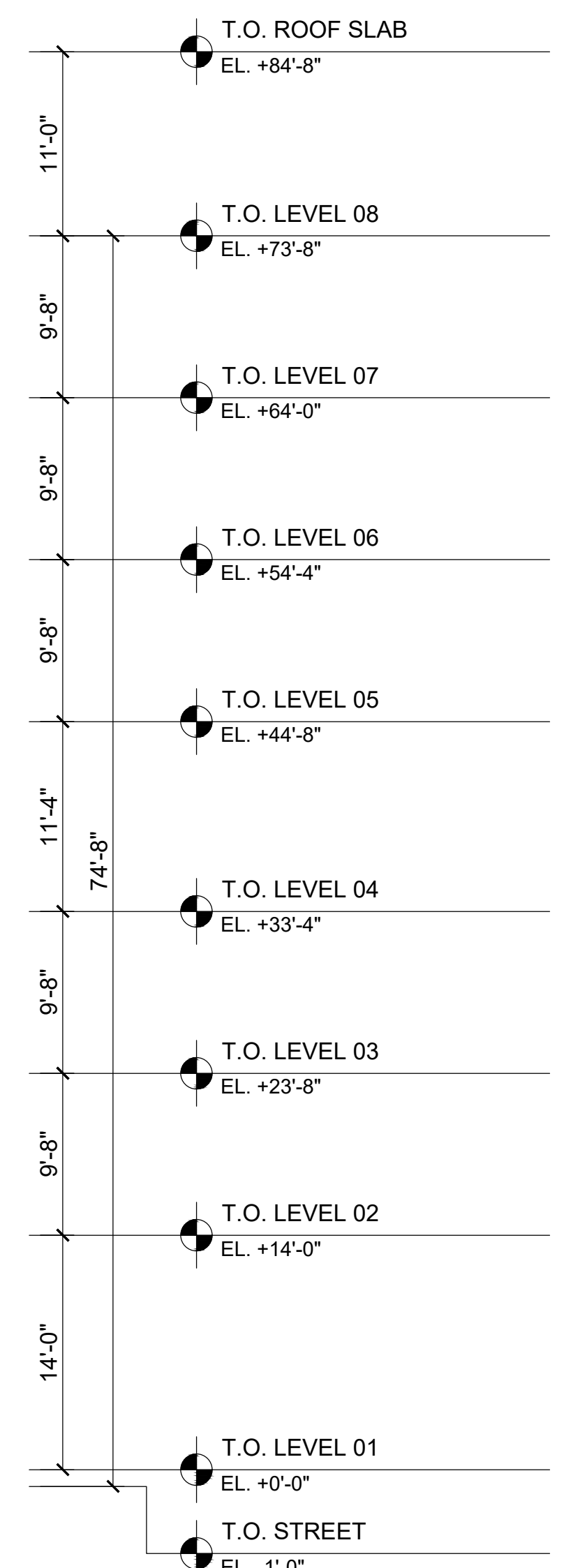
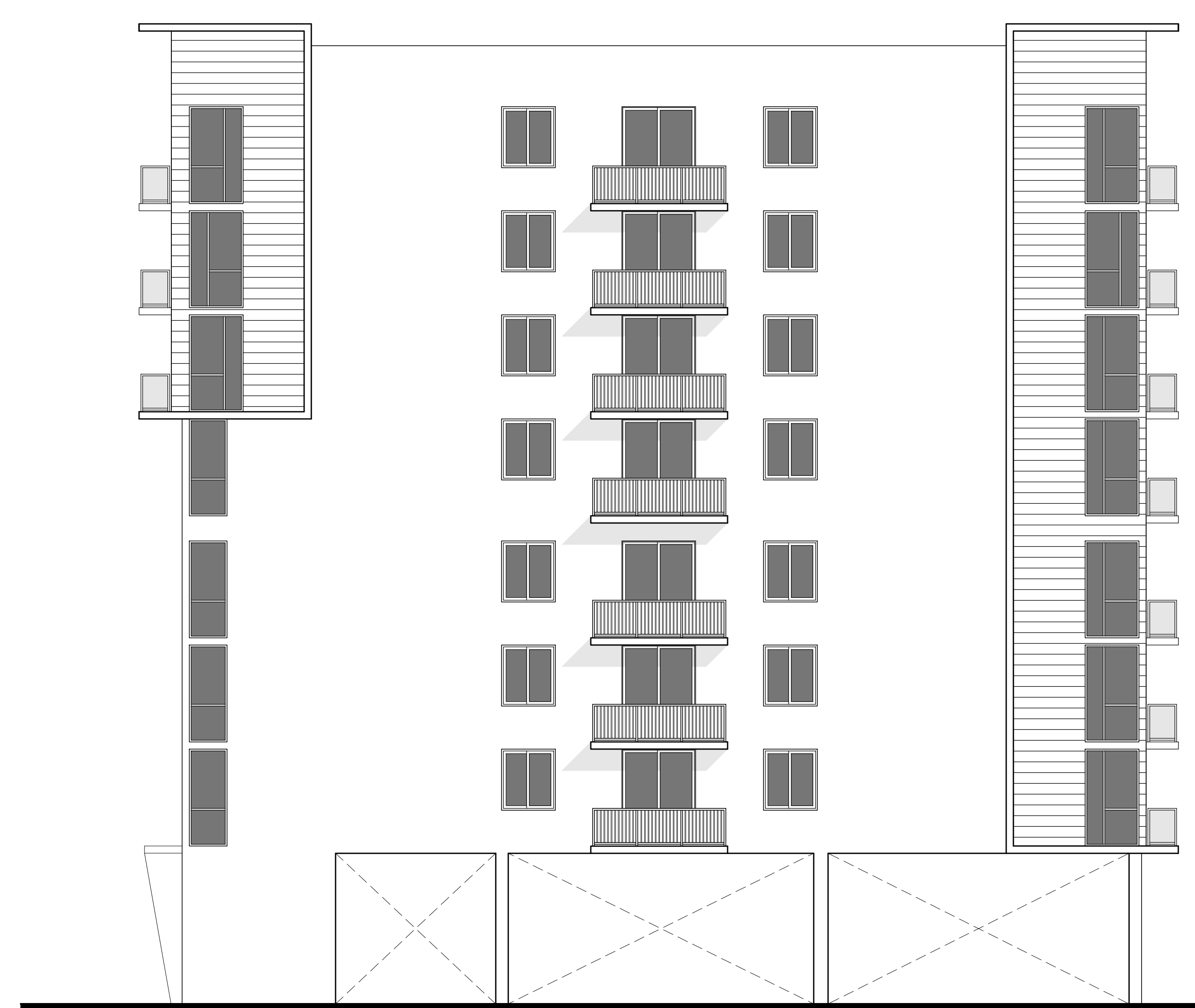
A-203



PROPOSED BUILDING SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED BUILDING WEST ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED BUILDING EAST ELEVATION
 SCALE: 1/8" = 1'-0"

REVISIONS

PRE TAC SUBMITTAL: 10.07.20

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RAFAEL TAPANES AR 978

DISCIPLINE / SHEET TITLE

PROPOSED BUILDING ELEVATIONS

SCALE: AS SHOWN

SHEET NO:

A-300