## **Historic Preservation Board**

Tuesday, July 11, 2023 3:00 PM

## **City of Hollywood**



Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

**Room 219** 

Thank you for demonstrating an interest in the City of Hollywood Historic Preservation Board Meeting. The public may view the meeting either in person or virtually http://hollywoodfl.org/calendar.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

#### In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

#### Virtually:

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call the Division of Engineering/Transportation & Mobility, Azita Behmardi, ADA Coordinator/City Engineer, five business days in advance at 954-921-3251 (voice). If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

#### A. Administration

- 1. Pledge of Allegiance
- 2. Roll Call
- 3. New Board Member Introductions and Elections
- 4. Approval of Previous Meeting Minutes

Attachments: 2023 0613 Minutes Draft HPB.pdf

- 5. Summary of Appeals to City Commission
- 6. Additions, Deletions and Withdrawals
- 7. City Attorney Announcements

Attachments: Witness List P-23-09.pdf

Quasi-Judicial Hearing Procedures.pdf

#### B. Applications

#### ITEM # 1 BELOW IS CONSIDERED QUASI-JUDICIAL

1. 2023 0711

**FILE NO.**: 23-C-24

**APPLICANT:** Brian Gruber/Kyle Mailoux. **LOCATION:** 1308 Harrison Street

**REQUEST:** Certificate of Appropriateness for Design for an addition to a

single-family home located in the Lakes Historic District.

Attachments: 2324 HPB Memo 2 2023 0711.pdf

2324 C Staff Report 2023 0613.pdf
Attachment B Aerial Map.pdf
Attachment C Permit History.pdf
Attachment D Correspondence.pdf

Attachment I Initial Application Package.pdf

Attachment II Revised Application Package 2023 0711.pdf

- C. Old Business
- D. New Business

#### E. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call the Division of Engineering/Transportation & Mobility, Azita Behmardi, ADA Coordinator/City Engineer, five business days in advance at 954-921-3251 (voice). If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).

City of Hollywood

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## **City of Hollywood**

#### **Staff Summary**

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

**Agenda Date:** 7/11/2023

To: Historic Preservation Board

Title:

City of Hollywood Page 1



## SUMMARY OF THE MINUTES HISTORIC PRESERVATION BOARD

CITY OF HOLLYWOOD 2600 HOLLYWOOD BOULEVARD HOLLYWOOD, FLORIDA 33020

#### A. ADMINISTRATION

- 1. Pledge of Allegiance
- 2. Roll Call

The meeting of the Historic Preservation Board was called to order by Terry Cantrell on **Tuesday**, **June 13, 2023 at 3:03 p.m.** in Room 219, 2600 Hollywood Blvd, Hollywood, Florida, with the following members present:

Terry Cantrell Dulce Conde Ari Sklar Steven Piper Steven Toth Fred Villiers-Furze William Treece

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett Deputy Director of Development Services

Anand Balram Planning Manager
Mawusi Khadija Watson Planning Administrator
Carmen Diaz Planning Administrator
Tasheema Lewis Associate Planner
Laura Gomez Associate Planner

Solange Baquero-Meza Administrative Assistant I

Also Present:

Denisse Manos Assistant City Attorney

3. Approval of the Meeting Minutes.

May 9, 2023 – approved with corrections.

- 4. Summary of City Commission actions None.
- 5. Additions, Deletions, Withdrawals, and Continuances None.
- City Attorney Announcements
   Denise Manos informed the Board of Quasi-Judicial Proceedings.



#### **B. APPLICATIONS**

**1. FILE NO.:** 23-C-24

**APPLICANT:** Brian Gruber/Kyle Mailoux.

**LOCATION:** 1308 Harrison Street

**REQUEST:** Certificate of Appropriateness for Design for an addition to a single-family home

located in the Lakes Historic District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings waived.

Tasheema Lewis, Associate Planner, made a presentation and answered questions from the Board.

The applicants, Rachel Daniels and Brian Gruber were present and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. Jessica Kooris and Dana Gallup commented. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY ARI SKLAR AND SECONDED BY DULCE CONDE TO APROVE THE APPLICATION AND ISSUANCE OF BUILDING PERMITS FOR INTERIOR NON-STRUCTURAL DEMOLITION, LEAD ABATEMENT AND THE REMOVAL AND BOARD-UP OF WINDOWS AND DOORS PRIOR APPROVAL OF A CERTIFICATE OF APPROPRIATENESS FOR DESIGN (COA) BEING ISSUED; AND CONTINUED THE COA TO THE JULY 11TH HISTORIC PRESERVATION BOARD MEETING TO INCORPORATE DESIGN FEATURES THAT BETTER ALIGN WITH THE HISTORIC DISTRICT GUIDELINES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

**2. FILE NO.**: 21-C-69

**APPLICANT:** Anthony Handley/Roberts Architecture & Construction Inc.

**LOCATION:** 845 North Northlake Drive

**REQUEST:** Certificate of Appropriateness for a front façade and rear addition to a single-

family home located in the Lakes Historic District (Handley Residence)

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings waived.

Tasheema Lewis, Associate Planner, made a presentation and answered questions from the Board.

Blaine Roberts, Applicant's architect addressed and answered questions from the Board.



Terry Cantrell opened the meeting to public comments. Tim Curtis and Ann Ralston commented. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY STEVEN PIPER AND SECONDED BY ARI SKLAR TO APPROVE THE CERTIFICATE OF APPROPRIATENESS FOR DESIGN WITH THE CONDITION THAT THE DESIGN FOLLOWS THE ELEVATION PLANS AND ARCHITECTURAL DRAWINGS SUBMITTED FOR THE PROJECT, AND NOT THE RENDERING. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

3. FILE NO.: 23-C-42
APPLICANT: Tzvi Pershin.

**LOCATION:** 1238 Madison Street

**REQUEST:** Certificate of Appropriateness for Design for alterations to an existing single-

family house in the Lakes Area Historic District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings waived.

Carmen Diaz, Planning Administrator, made a presentation and answered questions from the Board.

Mark Budd, applicant's Architect and the applicant Jim Pershin were present and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. Tim Curtis and Ann Ralston commented. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY ARI SKLAR AND SECONDED BY FRED VILLIERS-FURZE TO APPROVE THE CERTIFICATE OF APPROPRIATENESS FOR DESIGN WITH THE CONDITION THAT THE APPLICANT FOLLOWS THE RENDERING AT THE BACK OF THE PACKAGE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

**4. FILE NO.:** 22-C-66

**APPLICANT:** Mahan Bahmanpour/Yuriy Munarov.

**LOCATION:** 1108 Harrison Street

**REQUEST:** Certificate of Appropriateness for Design for an addition to a single-family home

located in the Lakes Historic District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings waived.



Tasheema Lewis, Associate Planner, made a presentation and answered questions from the Board.

Joe Bellnap, applicant's Architect and the applicant Ari Yuranov were present and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. Tim Curtis and Ann Ralston commented. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY ARI SKLAR AND SECONDED BY STEVEN TOTH TO APPROVE THE DESIGN WITH THE CONDITION THAT THE APPLICANT UPDATE THE LANDSCAPE AND SITE PLANS TO PROPERLY SHOW THE LOCATION AND SPECIES OF ALL EXISTING PALM TREES, AND TO WORK WITH STAFF TO ADJUST THE POOL TO SAVE AS MANY PALM TREES AS POSSIBLE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

#### C. OLD BUSINESS

#### **D. NEW BUSINESS**

- Andria Wingett provided an update on the Certificated Local Government report.

#### E. ADJOURNMENT

The meeting adjourned at 5:38 P.M.



## **City of Hollywood**

#### **Staff Summary**

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

Agenda Date: 7/11/2023 Agenda Number:

To: Historic Preservation Board

Title:

City of Hollywood Page 1

## CITY OF HOLLYWOOD MEMORANDUM

## DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

**DATE:** June 13, 2023 **MEMO NO.:** P-23-09

**TO:** City Clerk

**FROM:** Andria Wingett, Deputy Director of Development Services

**SUBJECT:** Witness List for Quasi-Judicial Items (Revised)

#### **EXPLANATION:**

Following is a list of Technical Advisory Committee members which may serve as witnesses for all **Planning and Development Board, Historic Preservation Board, and City Commission Quasi-Judicial items.** Resumes and credentials on file with the Office of Human Resources. The City may add additional witness for specific items as necessary in conformance with Quasi-Judicial procedures.

Donna Biederman Community Development Coordinator

Liliana Beltran Housing Inspector
Raelin Storey Assistant City Manager

Shiv Newaldass Director of Development Services
Azita Behmardi Deputy Director / City Engineer

Clarissa Ip Assistant City Engineer

Stanislav Tsysar Development Review Engineering Manager

Rick Mitinger Transportation Engineer
Lisa Bernstein Traffic Consultant

Favio Perez

Russell Long

Chief Building Official

Daniel Quintana

Assistant Building Official

Jovan Douglas

Parking Administrator

Elaine Franklin Environmental Sustainability Coordinator

Feng Jiang Assistant Director of Public Utilities

Alicia Verea-Feria Engineer, Public Utilities
Chris Clinton Fire Marshal / Division Chief

Marcy Hofle Deputy Fire Marshal

Christine Adamcik Community Service Officer, Police Department Crime

Doreen Avitabile Prevention Specialist

Annalie Holmes Assistant Director, Public Works

David Vazquez Assistant Director, Parks, Recreation, and Cultural Arts

Andria Wingett Deputy Director, Development Services

Anand Balram Planning Manager
Carmen Diaz Planning Administrator
Mawusi Watson Planning Administrator
Tasheema Lewis Associate Planner
Laura Gomez Associate Planner

## QUASI-JUDICIAL HEARING PROCEDURES AND RULES FOR EX-PARTE COMMUNICATIONS

- I. Scope and Applicability. These procedures shall apply to all quasi-judicial hearings held by the City Commission or by any Board or Committee (hereinafter referred to as "Boards") which holds quasi-judicial hearings. The City Attorney shall determine which matters are quasi-judicial in nature and shall direct the City Clerk or Board liaison to designate specially such matters on the agenda.
- II. Proceedings. Mayor, Vice Mayor or other presiding officer (hereafter, the "Presiding Officer") shall conduct the proceedings and maintain order. The City Attorney or legal advisor shall represent the City Commission or Board, rule on all evidentiary and procedural issues and objections, and advise the City Commission or Board as to the applicable law and necessary factual findings. Hearings shall be conducted informally, but with decorum. Formal rules of procedure shall not apply except as set forth herein; however, fundamental due process shall be accorded.
- **III. Unauthorized Communications.** In all quasi-judicial hearings, all rulings must be based only upon the evidence presented at the hearing. In accordance with Section 286.0115(1), Florida Statutes, ex parte communications with City Commissioners or Board members in quasi-judicial matters is permissible and the adherence to the following procedures shall remove the presumption of prejudice arising from ex parte communications with City Commissioners or Board members:
- 1. The substance of any ex parte communication with a City Commissioner or Board member which relates to a quasi-judicial action pending before the Commission or Board is not presumed prejudicial to the action if the subject of the communication and the identity of the person, group, or entity with whom the communication took place is disclosed and made a part of the record before the final action on the matter.
- 2. A City Commissioner or Board member may read a written communication from any person. However, a written communication that relates to a quasi-judicial action pending before the Commission or Board shall not be presumed prejudicial to the action, and such written communication shall be made a part of the record before final action on the matter.

- 3. City Commissioners or Board members may conduct investigations and site visits and may receive expert opinions regarding quasi-judicial action pending before them. Such activities shall not be presumed prejudicial to the action if the existence of the investigation, site visit, or expert opinion is made a part of the record before final action on the matter.
- 4. Disclosure made pursuant to subparagraphs 1, 2 and 3 must be made before or during the public meeting at which a vote is taken on such matters, so that persons who have opinions contrary to those expressed in the ex parte communication are give a reasonable opportunity to refute or respond to the communication.
- IV. Witnesses and Supporting Materials. At least eight <u>City business</u> days before a quasi-judicial hearing.
- A. Staff shall prepare a report, recommendation and supporting materials, a copy of which shall be available to the applicant, appellant and to the public at the City Clerk's Office. Included in the supporting materials will be copies of all exhibits and documents upon which staff's recommendation is based.
- B. The Applicant and the Appellant, if applicable, shall submit a detailed outline of the argument in support of their application, copies of all exhibits which will be presented at hearing and the names and addresses of all witnesses who will be called to testify in support of the application (including resumes for any witness the party intends to qualify as an expert).
- C. The eight <u>City business</u> day deadline is necessary to ensure the Commission or Board members are given sufficient opportunity to review the written submissions prior to the hearing, and shall be strictly observed. Should the eight-<u>day City business day</u> deadline be missed by either staff or the Applicant, the item may be continued at the discretion of the City Commission or Board to the next available agenda.

#### V. Party Intervenors.

The City Attorney may allow a person to intervene as a Party Intervenor if they meet the following requirements:

- A. The person must have an interest in the application, which is different than the public at large.
- B. At least eight three days prior to the hearing, the person shall submit a written request to intervene including: a detailed outline of their interest in the application and argument in favor or against it, copies of all exhibits which will be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).

#### VI. Conduct of Hearing.

- A. The Presiding Officer shall call the proceeding to order and announce that the hearing has begun.
- B. The Presiding Officer, City Attorney or legal advisor shall inquire whether all parties, members of the public and Commission or Board members agree to waiving the quasi-judicial hearing.
- C. When the quasi-judicial hearing is not waived, the City Attorney, legal advisor or Presiding Officer shall explain the rules concerning procedure, testimony, and admission of evidence.
- D. When the quasi-judicial hearing is not waived, the City Clerk or staff liaison shall swear in all witnesses who are to testify at the hearing.
  - E. The order of proof shall be as follows:
- 1. A representative of the City's staff (or outside counsel) shall briefly describe the Applicant's request, introduce and review all relevant exhibits and evidence, report staff's recommendation, and present any testimony in support of staff's recommendation. Staff shall have a maximum of 30 minutes to make their full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

- 2. The Appellant, if applicable, (or his/her representative or counsel) shall present evidence and testimony in support of the application. Appellant shall have a maximum of 30 minutes to make its full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.
- 3. Any Party Intervenor (or his/her representative or counsel) shall present evidence and testimony in support of or opposed to the application. A Party Intervenor shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board Member.
- 4. The Applicant (or his/her representative or counsel) shall present evidence and testimony in support of the application. Applicant shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.
- 5. Any other persons present who wish to submit relevant information to the City Commission or Board shall speak next for a maximum of three minutes each (excluding any cross-examination or questions from the Commission or a Board member). Members of the public will be permitted to present their non-expert opinions, but the Commission or board will be expressly advised that public sentiment is not relevant to the decision, which must be based only upon competent and substantial evidence.
- 6. The Appellant will be permitted to make final comments, if any (maximum of five minutes).
- 7. The Applicant will be permitted to make final comments, if any (maximum of five minutes).
- 8. The Party Intervenor will be permitted to make final comments, if any (maximum of five minutes).

- 9. The City's staff will make final comments, if any (maximum of five minutes).
- 10. At the discretion of the Presiding Officer, the Applicant may be permitted to respond to the final Party Intervenor and staff comments and recommendations (maximum of three minutes).
- G. The City Attorney or legal advisor will advise the City Commission or Board as to the applicable law and the factual findings that must be made to approve or deny the application.
- H. The City Commission or Board will conduct open deliberation of the application. The Presiding Officer shall have the discretion to reopen the proceeding for additional testimony or argument by the parties when an outcome substantially different than either the granting or denial of the application is being considered. After deliberations, a vote shall be taken to approve, approve with conditions or deny the application.

#### VII. Examination by Commissioners and City Attorney or Legal Advisor.

Commissioners, Board members and the City Attorney or Legal Advisor may ask questions of persons presenting testimony or evidence at any time during the proceedings until commencement of deliberation.

VIII. Cross-Examination of Witnesses. After each witness testifies, the City staff representative, the Applicant's representative, Appellant's representative, and/or the Party Intervenor's representative shall be permitted to question the witness, but such cross-examination shall be limited to matters about which the witness testified and shall be limited to five minutes per side. Members of the public will not be permitted to cross-examine witnesses. Cross-examination shall be permitted only as would be permitted in a Florida court of law.

#### IX. Rules of Evidence.

- A. All evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their affairs shall be admissible, whether or not such evidence would be admissible in a court of law in Florida. Irrelevant, immaterial, harassing, defamatory or unduly repetitive evidence shall be excluded.
- B. Hearsay evidence may be used for the purposes of supplementing or explaining other evidence, but it shall not be sufficient by itself to support a finding unless it would be admissible over objection in a civil action.
- C. Documentary evidence may be presented in the form of a copy or the original. Upon request, parties shall be given an opportunity to compare the copy with the original.
- **X.** Statements of Counsel. Statements of counsel, or any non-attorney representative, shall only be considered as argument and not testimony unless counsel or the representative is sworn in and the testimony if based on actual personal knowledge of the matters which are the subject of the statements.
- XI. Continuances and Deferrals. The City Commission or Board shall consider requests for continuances made by City staff, the Applicant, the Appellant or a Party Intervenor and may grant continuances in its sole discretion. If, in the opinion of the City Commission or Board, any testimony or documentary evidence or information presented at the hearing justifies allowing additional research or review in order to properly determine the issue presented, then the City Commission or Board may continue the matter to a time certain to allow for such research or review.

#### XII. Transcription of hearing.

A. The City Clerk or staff liaison shall preserve the official transcript of the hearing through tape recording and/or video recording.

- B. The Applicant, Appellant or Party Intervenor may arrange, at its own expense, for a court reporter to transcribe the hearing.
- C. The Applicant, Appellant or Party Intervenor may request that all or a part of the transcript of a hearing be transcribed into verbatim, written form. In such case, the Applicant, Appellant or Party Intervenor requesting the transcript shall be responsible for the cost of production of the transcription and the transcription shall become the official transcript.
- **XIII.** Maintenance of Evidence and Other Documents. The Office of the City Clerk or staff liaison shall retain all of the evidence and documents presented at the hearing unless any such evidence is too large to be stored by the City Clerk or staff liaison. In that event, such evidence will be stored in the Community Planning and Development Department.
- **XIV.** False Testimony. Any willful false swearing on the part of any witness or person giving evidence before the Commission or Board as to any material fact in the proceedings shall be deemed to be perjury and shall be punished in the manner prescribed by law for such offense.
- **XV. Failure of Applicant to Appear.** If the Applicant, the Appellant or Party Intervenor or their representative fails to appear at the time fixed for the hearing, and such absence is not excused by the Commission or Board, the Commission or Board may proceed to hear the evidence and render a decision thereon *in absentia*.
- **XVI.** Subpoena Power. The Applicant, the Appellant or Party Intervenor or City's staff shall be entitled to compel the attendance of witnesses through the use of subpoenas. All such subpoenas shall be issued by the City Clerk at the request of the Applicant, Appellant or City's staff.



### **City of Hollywood**

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

#### **Staff Summary**

File Number: 1.\_2023\_0711

Agenda Date: 7/11/2023 Agenda Number:

To: Historic Preservation Board

Title: FILE NO.: 23-C-24

APPLICANT: Brian Gruber/Kyle Mailoux.

LOCATION: 1308 Harrison Street

REQUEST: Certificate of Appropriateness for Design for an

addition to a single-family home located in the Lakes Historic District.

City of Hollywood Page 1

## CITY OF HOLLYWOOD MEMORANDUM DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

**DATE:** July 11, 2023 **MEMO NO.:** P-23-14

**TO:** Planning and Development Board

VIA: Anand Balram, Planning Manager

**FROM:** Tasheema Lewis, Associate Planner

**SUBJECT:** A Certificate of Appropriateness for Design for an addition to a single-family home located

in the Lakes Historic District

#### **EXPLANATION:**

Brian Gruber/Kyle Mailoux request a Certificate of Appropriateness for Design for an addition to a single-family home located at 1308 Harrison Street, within the Lakes Area Historic Multiple Resource Listing District.

The item was previously heard at the June 13, 2023 Historic Preservation Board (HBP) meeting. At the meeting the Board voted to continue the item time and date certain to the July 11, 2023 meeting in order to allow the Applicant an opportunity to incorporate design features that better align with the guidelines of the Historic District. The proposed changes to the design can be found in Attachment II.

Attachment I: Initial Application Package
Attachment II: Revised Application Package

## CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

**DATE:** June 13, 2023 **FILE:** 23-C-24

TO: Historic Preservation Board

**VIA:** Anand Balram, Planning Manager

**FROM:** Tasheema Lewis, Associate Planner

**SUBJECT:** Request for a Certificate of Appropriateness for Design for an addition to a single-family

home located at 1308 Harrison Street within the Lakes Area Multiple Resource Listing

District (HMPRLOD-1).

#### **APPLICANT'S REQUEST**

Certificate of Appropriateness for Design for an addition a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

#### STAFF'S RECOMMENDATION

Approval.

#### **BACKGROUND**

The original two-story single-family home was constructed in 1925 (Broward County Property Appraiser's) on an approximately 0.29 acre lot located at 1308 Harrison Street. Archival history indicates the property is historically significant because it was built for the Founder of the City of Hollywood, Joseph Young's accountant. The architecture of the home is of a Mediterranean Revival-style which corresponds to the 1917-1935 Period of Significance. The architectural design of this period is known for its irregular massing, square or circular towers, multi-level roofs, and jutting chimneys. Materials used were of heavy textured stucco, usually in light colors contrasting with terra cotta roof and ornamental trim. The roofs are usually low-pitched gable roofs or hipped roofs, and the openings are flamboyant with arches, semi-circular, segmental shapes.

In 1951, the owner was Maureen Hunt Piccirillo, who was a well-known local artist. During the home tour in 2004, many of the original interior features, textures, and built-in furniture. According to the Department of State Division of Archives History and Records Management, the architect is unknown, but the home is historically significant due to the architecture, streetscape, and twentieth century year of built.

#### **REQUEST**

The Applicant is requesting a Certificate of Appropriateness for Design for an addition to an existing single-family home. The proposed addition will mirror the architectural style and significance of the Mediterranean Revival Style Period of Significance. The addition uses architectural features such as flat roofs, textured stucco, flamboyant openings, creating some symmetry with the existing structure. The proposed landscaping further enriches the home's historical design serving for shade, and allowing visibility and framing of the property. The home also includes a pool and pool deck. Parking is primarily provided through cobble stone driveways from the front leading to the guest home oriented at the rear of the property.

The Applicant has worked with Staff to ensure that the design is not compromised by the requirements of the City's regulations. The home meets all applicable requirements including setbacks, height and exceeds the minimum open space requirement.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the District. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District.

#### SITE BACKGROUND

**Applicant/Owner:** Brian Gruber

Address/Location: 1308 Harrison Street
Size of Property: 12,805 sq.ft. (0.29 acres)

**Present Zoning:** Single-Family Residential (RS-6)

Lakes Area Multiple Resource Listing District (HMPRLOD-1)

Present Land Use: Low (5) Residential (LRES)

**Present Use of Land:** Single Family

**Year Built:** 1925 (Broward County Property Appraiser)

#### **ADJACENT ZONING**

**North:** Single-Family Residential District (RS-6)

Lakes Area Multiple Resource Listing District (HMPRLOD-1)

**South:** Single-Family Residential District (RS-6)

Lakes Area Multiple Resource Listing District (HMPRLOD-1)

**East:** Single-Family Residential District (RS-6)

Lakes Area Multiple Resource Listing District (HMPRLOD-1)

**West:** Single-Family Residential District (RS-6)

Lakes Area Multiple Resource Listing District (HMPRLOD-1)

#### **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

Within the Comprehensive Plan, the primary goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.

The proposed design is consistent with the scale and massing of the adjacent neighborhood; while allowing the Applicant to maximize the living area of their property. The addition to the proposed home is accomplishing the City's desired reinvestment in the Lakes Area Historic Multiple Resource Listing District.

#### CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed addition is sensitive to the character of the Historic Lakes Section through its design which possess similar characteristics to existing structure and is compatible with the surrounding neighborhood.

**Policy 2.46:** Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

**Policy CW.15:** Place a priority on protecting, preserving, and enhancing residential neighborhoods.

The CWMP also states the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements. The project enhances the streetscape and complies with all zoning requirements.

#### CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The existing home was constructed during the Mediterranean Revival-style period of significance and the addition carries the same architectural elements of that era.

#### **APPLICABLE CRITERIA**

**Analysis of criteria and finding for Certificate of Appropriateness of Design** as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

**CRITERION**: INTEGRITY OF LOCATION

**ANALYSIS:** Design Guidelines recommend maintaining consistent spacing and setbacks and further

state new construction should be compatible with existing buildings. The proposed

addition is compatible with the existing single-family home because it mirrors the existing architectural features. The proposed construction complies with required setbacks and site coverage and does not adversely affect the character of the neighborhood.

**FINDING:** Consistent.

**CRITERION:** DESIGN

ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible

with the character of the neighborhood with regard to scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape, and environment. The proposed design helps to enhance the design in the same architectural style. The design of the addition compliments the existing house while adding unique elements. The front and side façades match the existing house while also adding balconies and a raised entry to create depth and interesting massing.

The historic elements of the single-family home are preserved.

**FINDING:** Consistent

**CRITERION:** SETTING

ANALYSIS: As stated in the Design Guidelines, setting is the relationship of buildings within the

Historic District and the surrounding site and neighborhood. The setting and design of the proposed addition compliments the existing style of the home and is compatible with the

homes in the area.

**FINDING:** Consistent.

**CRITERION:** MATERIALS

**ANALYSIS:** Design Guidelines state materials are an important part of the fabric of any historic district

or property and help to maintain the historic character of the place. The proposed materials are compatible and consistent in quality, color, texture, finish, and dimension to other historic homes in the neighborhood. The proposed addition is structurally designed with CMU block, with the façade materials primarily consisting of stucco finish with decorative stucco bands. The proposed addition incorporates arches and columns that complement the existing residence. The stucco will be painted tan to match the

existing and the decorative bands will be gray.

**FINDING:** Consistent.

**CRITERION:** WORKMANSHIP

**ANALYSIS:** As this residence is going to be the homeowners long term residence, the intent is to

deliver the residence with the best standards available. The workmanship and quality of the construction will meet or exceed the standards in the area from a licensed

construction professional.

**FINDING:** Consistent.

**CRITERION:** ASSOCIATION

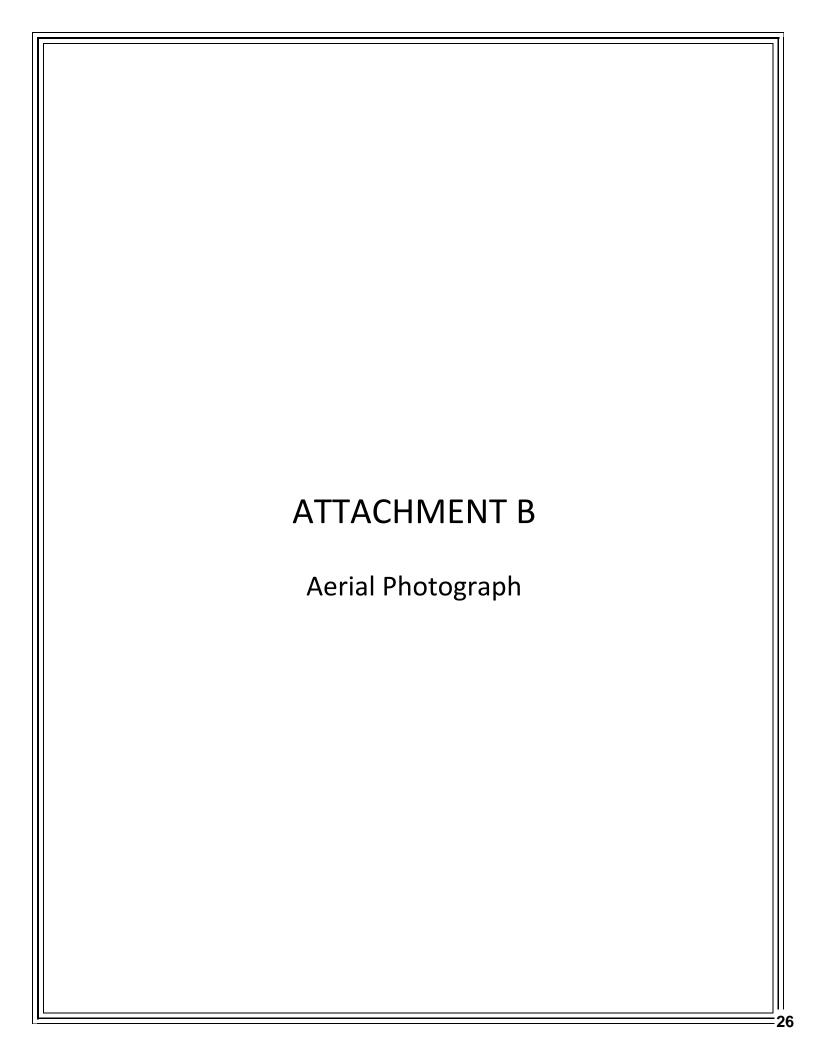
**ANALYSIS:** Design Guidelines recommend maintaining consistent spacing and setbacks and further

state new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district. Meeting all applicable code requirements, the proposed design is consistent with the scale and massing of the adjacent neighborhood. This project enhances the streetscape elements of the existing residence and the neighbors. Required parking is accommodated by the driveways. As such, the proposed addition will maintain and improve the character of the area.

**FINDING:** Consistent.

#### **ATTACHMENTS**

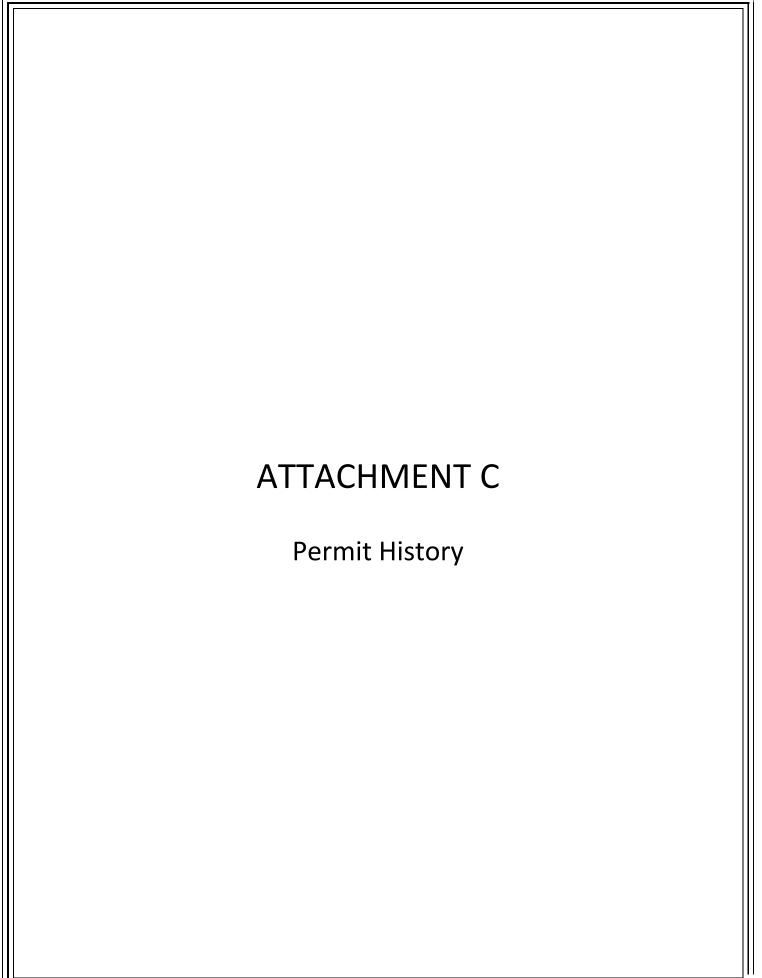
ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph
ATTACHMENT C: Permit History
ATTACHMENT D: Correspondence



## 1308 Harrison Street Hollywood, Florida 33020

Site Location Map

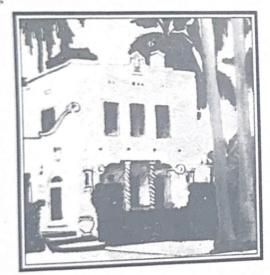




STATE OF FLORIDA MASTER SITE FILE DEPARTMENT OF STATE FLORIDA MASTER SITE FILE	
Division of Archives, History Site Inventory Form FDAHRM	802 = =
and Records Management	1009 = =
E.M. Rosenthal Res. Helen Walter Res. Site No.	820 = =
Site Name 1.4. Idines No.	905 = =
Address of Site: 1308 Harrison Street Hollywood, Florida Instruction for locating on the S. side of Harrison St. between 13th and	
Instruction for locating on the S. Side of harrison by	813 = =
14th Ave. 18,19	868 = =
subdivision name block no.	808 = =
County: Broward Pehort & Riccirillo	j
Owner of Site: Name: Robert A. Piccirillo  1308 Harrison Street	000
Hollywood, Florida 33020	902 = = 832 = =
Type of Ownership Private 848 = Recording Date	002
Pecorder:	į
Recorder: Name & Title: Marlyn Kemper, Director Name & Title: Historic Broward County Preservation Board Address: Historic Broward Florida 33020	6,50
Address: Florida 33020	818 = =
Condition of Site: Integrity of Site: Original Use Residence	838 = =
Condition of Cital	850 = =
Check One Check One or More Present Use Residence	844 = =
Excellent 863 = Altered 858 = Dates: Beginning c1925	840 = =
Good 863 = Unaltered 858 = Culture/Phase American Twentieth Century    Original Site   858 = Period   Twentieth Century	845 = =
X Fair 863 =	
Deteriorated 863 = Restored ( ) (Date: )( ) 858 = =	
Moved( )(Date: ) 858 = =	916 = =
NR Classification Category:Building	Marine Marine Commission
Threats to Site:	
Check One or More  ( ) 878 =   Transportation ( )	)( )878 = =
Zoning ( )	)( )878 = =
Development ( )	)( )878 = =
Deterioration ( )(	
Borrowing ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) (	
Other (See Remarks Below): Unknown 878 = =  Mistorical, Streetscape, Architectural  Areas of Significance:	910 = =
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Areas or organization	
Significance:	
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According to this publication,	
bookkeeper.	
HOLLYWOOD AND DANIA CITY DIRECTORY AND GUIDE 1933	
page 41: According to this publication, F.A. Yahner was a	
bookkeeper.	
c1925: As indicated on "Building Cards, Broward County	
Property Appraiser's Office."	
Gignificance attached.	
Additional Statement of Significance attached.	
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SECONDARY ROOF STRUCTURE(S): Unl	known	20 1 4 2 2		e ohasi	942 = =						
CHIMNEY LOCATION: NA		. 50.01.01.00.00			942 = =						
WINDOW TYPE: Jalousie, metal, gro	ouped	in 3	20		882 = =						
CHIMNEY: NA	-		I had to	12.6	882 = =						
ROOF SURFACING: Built-up			p 1	3 40	882 = =						
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Contact Print



House 7: 1308 Harrison Street

This two-story Mediterranean Revival-style house built in 1926, contains four bedrooms and three bathrooms. It is believed that this house was built for J. W. Young's accountant and is one of only a few of the grander houses from that period that still remains, along with its carriage house in the rear, in original condition.

Maureen Hunt Piccirillo, the current owner and well-know local artist, has resided in the home since the late 1970s. She indicated that efforts were made to retain all original features including light switches, door knobs and lighting fixtures as the house was restored.

Only the first floor of this house will be opened as part of the tour, but as you enter the house please take note of the staircase to the second floor where on the second floor landing is a Duncan Fyfe table that the Piccirillo's found in the carriage house when they moved in. There is another small table near the windows in the front of the living room that was also taken from the carriage house.

The rough interior stucco finish found in much of the living space of the house is original. Note the series of archways, also finished in this rough stucco treatment, that connect the living room and dining room. The hanging light fixture is the living room and dining room, as are the lighting thought to be original to the house, as are the lighting fixtures in the landing at the foot of the staircase and in the fover porch entry.

Maureen has told us the Venetian glass chandelier over the dining table was an inheritance from the Piccirilio family that her in-laws purchased on a trip to Venice in the 1950s. The Venetian glass cups and saucers were purchased to complement the chandelier.

As you look into the kitchen, note the alcove containing a booth for casual dining that may be original to the home. The use of breakfast nooks was a common feature in many 1920s Mediterranean Revival floor plans.

Beyond the dining room is the "blue room" that serves as a guest bedroom and contains a mural dated 1951 that was there when the Piccirillo's purchased the property. The "green room," originally another bedroom, serves as a home office. Please notice the attention to retaining original state and on the home, has also hardware. The bathroom, in this area of the home, has also been maintained in its original state and contains a maroon tille floor, walls tilled in shades of pink, and a sink on chrome tille floor, walls tilled in shades of pink, and a sink on chrome legs with a medicine cabinet above it.

The second floor contains two bedrooms and two bathrooms. Currently, the master bedroom and Maureen's art studio occupy this space. There is also a small room that has studio occupy this space. There is also a small room and studio occupy this space. There is also a small room and studio occupy this space. There is also a master bedroom and studio occupy this space. There is also a more interesting use, Best Thai Restaurant - New Times 2002 Best Restaurant\* - City Link 2001, 1996, 1995, 1994 Miami Metro Magazine - 2000, 1999 Readers Choice - Miami Herald 2002, 2001, 2000

Try our Complete Dinner Special
(Comes with Salad, Soup and Special Exotic Dessert)
DUCK STEAK WITH FRIED RICE
GRILLED PORK CHOPS
GRILLED SEAFOOD PLATTER



## Try My Thai Café

2003 Harrison Street Downtown Hollywood Phone (954) 926-5585

Lunch M to F 11 am till 2:30 • Dinner seven days 5 till 10:30 View our complete menu on www.FloridaRestaurantGuide.com

\*Voted for various categories

Lowest Prices & Largest Selection of Wine & Spirits.

We Meet All Local Liquor Ads

## Hollywood Discount Liquors

1011 N. Federal Highway Hollywood, FL 33020 Ph: (954) 922-5416 Open 7 Days



House 7: 1308 Harrison Street

This two-story Mediterranean Revival-style house built in 1926, contains four bedrooms and three bathrooms. It is believed that this house was built for J. W. Young's accountant and is one of only a few of the grander houses from that period that still remains, along with its carriage house in the rear, in original condition.

Maureen Hunt Piccirillo, the current owner and well-know local artist, has resided in the home since the late 1970s. She indicated that efforts were made to retain all original features including light switches, door knobs and lighting fixtures as the house was restored.

Only the first floor of this house will be opened as part of the tour, but as you enter the house please take note of the staircase to the second floor where on the second floor landing is a Duncan Fyfe table that the Piccirillo's found in the carriage house when they moved in. There is another small table near the windows in the front of the living room that was also taken from the carriage house.

The rough Interior stucco finish found in much of the living space of the house is original. Note the series of archways, also finished in this rough stucco treatment, that connect the living room and dining room. The hanging light fixture is thought to be original to the house, as are the lighting fixtures in the landing at the foot of the staircase and in the foyer porch entry.

Maureen has told us the Venetlan glass chandeller over the dining table was an inheritance from the Piccirillo family that her in-laws purchased on a trip to Venice in the 1950s. The Venetlan glass cups and saucers were purchased to complement the chandelier.

As you look into the kitchen, note the alcove containing a booth for casual dining that may be original to the home. The use of breakfast nooks was a common feature in many 1920s Mediterranean Revival floor plans.

Beyond the dining room is the "blue room" that serves as a guest bedroom and contains a mural dated 1951 that was there when the Piccirillo's purchased the property. The "green room," originally another bedroom, serves as a home office. Please notice the attention to retaining original details such as the closet door with beveled glass mirror and hardware. The bathroom, in this area of the home, has also been maintained in its original state and contains a maroon tile floor, walls tiled in shades of pink, and a sink on chrome legs with a medicine cabinet above it.

The second floor contains two bedrooms and two bathrooms. Currently, the master bedroom and Maureen's art studio occupy this space. There is also a small room that has been used as a nursery between the master bedroom and the other bedroom. But it was put to a more interesting use, the location for an oversized bath tub, when it is believed Sophile Tucker and her gentleman friend resided here.

Thanks to Maureen for allowing her historic home to be a part of the 2004 Home Tour,

Best Thai Restaurant - New Times 2002
Best Restaurant\* - City Link 2001, 1996, 1995, 1994
Miami Metro Magazine - 2000, 1999
Readers Choice - Miami Herald 2002, 2001, 2000

Try our Complete Dinner Special
(Comes with Salad, Soup and Special Exotic Dessert)
DUCK STEAK WITH FRIED RICE
GRILLED PORK CHOPS
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Lowest Prices & Largest Selection of Wine & Spirits.

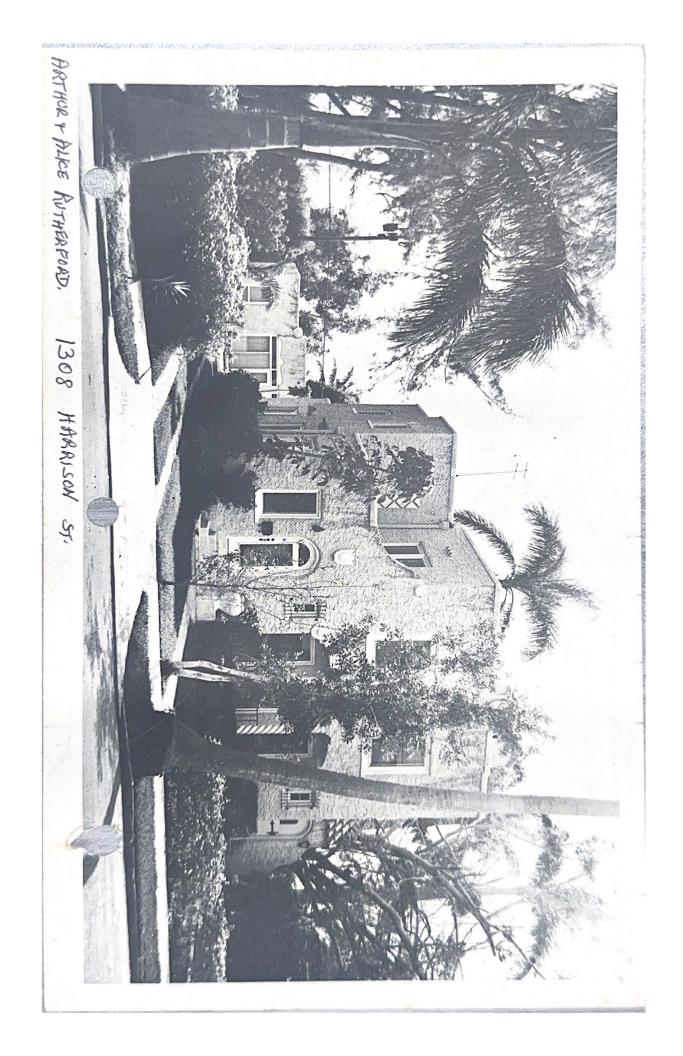
We Meet All Local Liquor Ads

## Hollywood Discount Liquors

1011 N. Federal Highway Hollywood, FL 33020 Ph: (954) 922-5416 Open 7 Days

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#### 12 permits were found for 1308 HARRISON ST

View	Process #	Permit #	<u>Description</u>	Appl. Date	<u>Permit</u> <u>Date</u>
<u>Details</u>		B21-105511	ADDITION & ALTERATIONS- RESIDENTIAL	8/3/2021	
<u>Details</u>		B15-101074	WINDOW &/OR DOOR REPLACEMENT	4/27/2015	4/27/2015
<u>Details</u>		B15-100864	HURRICANE SHUTTERS	2/18/2015	3/10/2015
<u>Details</u>		B13-103213	REROOF - FLAT	7/10/2013	7/18/2013
<u>Details</u>		B13-102454	REROOF - FLAT	6/3/2013	6/7/2013
Details		B9801152	EXTERIOR RENOVATIONS		2/23/1998
<u>Details</u>		B9708220	RE-ROOF-FLAT		12/8/1997
Details		B9607579	RE-ROOF-FLAT		10/29/1996
Details		B9600913	RE-ROOF-FLAT		2/14/1996
Details		м9100572	A/C-WINDOW/WALL UNIT		4/30/1991
Details		P21-101093	PLUMBING WORK		
Details		M21-100867	A/C CENTRAL (NEW)		37

#### **Permit Details**

Process #:	Process #: Permit :		Master Permit: B21-105511	
	Status:	NULL AND VOID		
	<u>List Al</u>	<u>  Subpermits</u>		
Site Information				
Address: 1308 HARRISON ST		Folio#: 5142140114	20	
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B ,		Value: \$140,000.00		
Lot: 18,19	Block: 7	<b>Sq Ft:</b> 0		
Permit Information				
Application Type: ADDITION & ALTERATIONS-RESIDENTIAL - REMODELING AND ADDITION TO SFH Job Name: DANIELS,RACHEL GRUBER,BRIAN Film Number:		Application Date: 8/ Permit Date: CO/CC Date: N/A Total Fees: Recorded Payments Balance:		

#### Applicant / Contact Information

Name: RETOS SERVICE PLUS LLC

Address: 15970 WEST ST RD 84 SE 244 SUNRISE, FL

#### Property Owner Information

Name: DANIELS,RACHEL GRUBER,BRIAN Address: 1308 HARRISON ST HOLLYWOOD, FL 33019

#### Contractor Information

Name: RETOS SERVICE PLUS LLC (Permits + Details)
Address: 15970 WEST ST RD 84 SE 244 SUNRISE, FL

## 2 subpermits were found for Master Permit

			B21-105511	
View	Process #	Permit #	<u>Description</u>	Appl. Date

ol.	<u>Permit</u>
te	<u>Date</u>

39

P21-101093

Details

Details

M21-100867 A/C CENTRAL

(NEW)

PLUMBING WORK

#### **Permit Details**

Process #:	Permit #: B9801152	Master Permit: B9801152	
	State	us: Closed	
	List All	<u>Subpermits</u>	
	Sita T	nformation	
Address: 1308 H	Control of the Contro	Folio#: 514214011420	
	DLLYWOOD LAKES SECTION	Value: \$2,000.00	
Lot: 18	Block: 7	Sq Ft: 0	
	Permit	Information	
Application Type Job Name: PICCI Film Number: 98		Application Date: 00/00/00 Permit Date: 02/23/98 CO/CC Date: Total Fees: \$50.70	
	Applicant / Co	ontact Information	
Name: PICCIRILL Address:	O,ROBERT A		
	Property Ov	vner Information	
Name: PICCIRILL Address:	O,ROBERT A		

## Contractor Information Name:

Address:

40

7.30-9.30 2-Survey 198 2-plans

# CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION

ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135

DATE 2-23-98	TAX FOLIO #	
DESCRIPTION: LOT BLOCK	SUBDIVISION	
JOB NAME	PHONE #	4-925-3422
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approximately 22 by 74	SQ.FTESTIMATED VALUE	E: \$ 6.000
	ZONONE PHONE	
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CERTIFICATE OF COMPETENCY #	FAX #	
CONTRACTOR'S STATE CERTIFICATION OR	REGISTRATION NO.	
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ARCHITECT/ENGINEER'S ADDRESS	CITY	STATEZIP
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MORTGAGE LENDER'S ADDRESS		
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sale or such over of more tion wa	stbuildings or one-family or two lease, or building or improving where and not offered for sales than one such structure by the sundertaken for purposes of its in the capacity of a contract of the capacity	or lease. In an act the owner-builder to sale or lease. The	es on such property folding at a cost of und tion brought under this within 1 year after co	or the occupancy der \$25,000 on so is part proof of the mpletion of same of exempt any per TURE	of use of such owners and not uch property for the occupancy sale or lease, or offering for sale prima facie evidence that the rson who is employed by such me Contractor (Owner/Builder)	offered for y or use of le or lease, construc- owner and
DATE_			DATE_			<del></del>
42	64-548-42-58 NOTARY as to Own	وعنوسير باسوالموانف بالبابا البارد في در النواكم المناسات الفادات الفروس الساكات الماكم فرازيا		و د در د	NOTARY as to Contractor	صبكان الشاوان فالماسان والمساور والمساور
My Co	mmission Expires			: <b>C</b> im		
Within writing notificathe peri	Fifteen (15) working days af that a permit is ready for issition, where such additional i	uance or that add information has no old. Once the per	submitted and acceptitional information is of been submitted of	required. Sixty (	permit, the applicant will be (60) calendar days after the days to been purchased, the applicant multi and void it will be discard	te of such ant and/or
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	PROCESS FEE PAID \$_		APPLICATION A	PPROVED BY		
					Permit Officer	1

# HISTORICAL

# AREA

# PLEASE DO REVIEW

# AND

# COMPUTER

Data: 2/23/98 REVIEWER: 25,				
Property Address: 1308 3	Muceo			
DAFPROVED AS SHOWN	D BEVIEW NOT NEEDEN			
Conditions on back of sheet)				
DENIED	SHEET OF			

## BOUNDARY SURVEY FOR:

## MAUREEN PICCIRILLO

### LEGAL DESCRIPTION:

LOTS 18 AND 19, BLOCK 7, "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF; AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### ADDRESS:

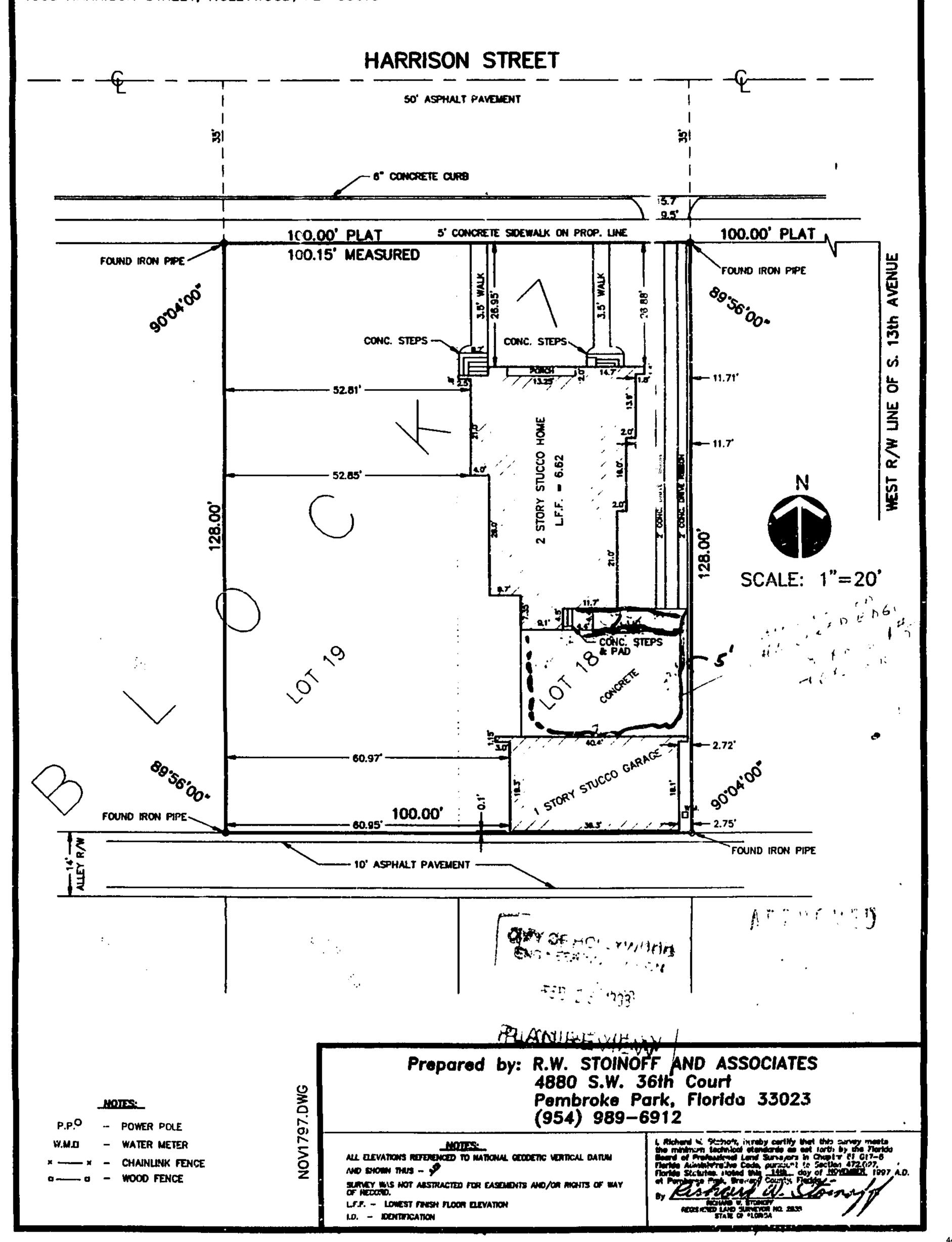
1308 HARRISON STREET, HOLLYWOOD, FL 33019

FLOOD ZONE INFORMATION:

COMMUNITY PANEL NUMBER: 125113 0317 G ZONE AE; ELEVATION — 6.00 EFFECTIVE DATE: JULY 21, 1995

CERTIFIED TO:

MAUREEN PICCIRILLO



## BOUNDARY SURVEY FOR:

## MAUREEN PICCIRILLO

### **LEGAL DESCRIPTION:**

LOTS 18 AND 19, BLOCK 7, "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF; AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## ADDRESS:

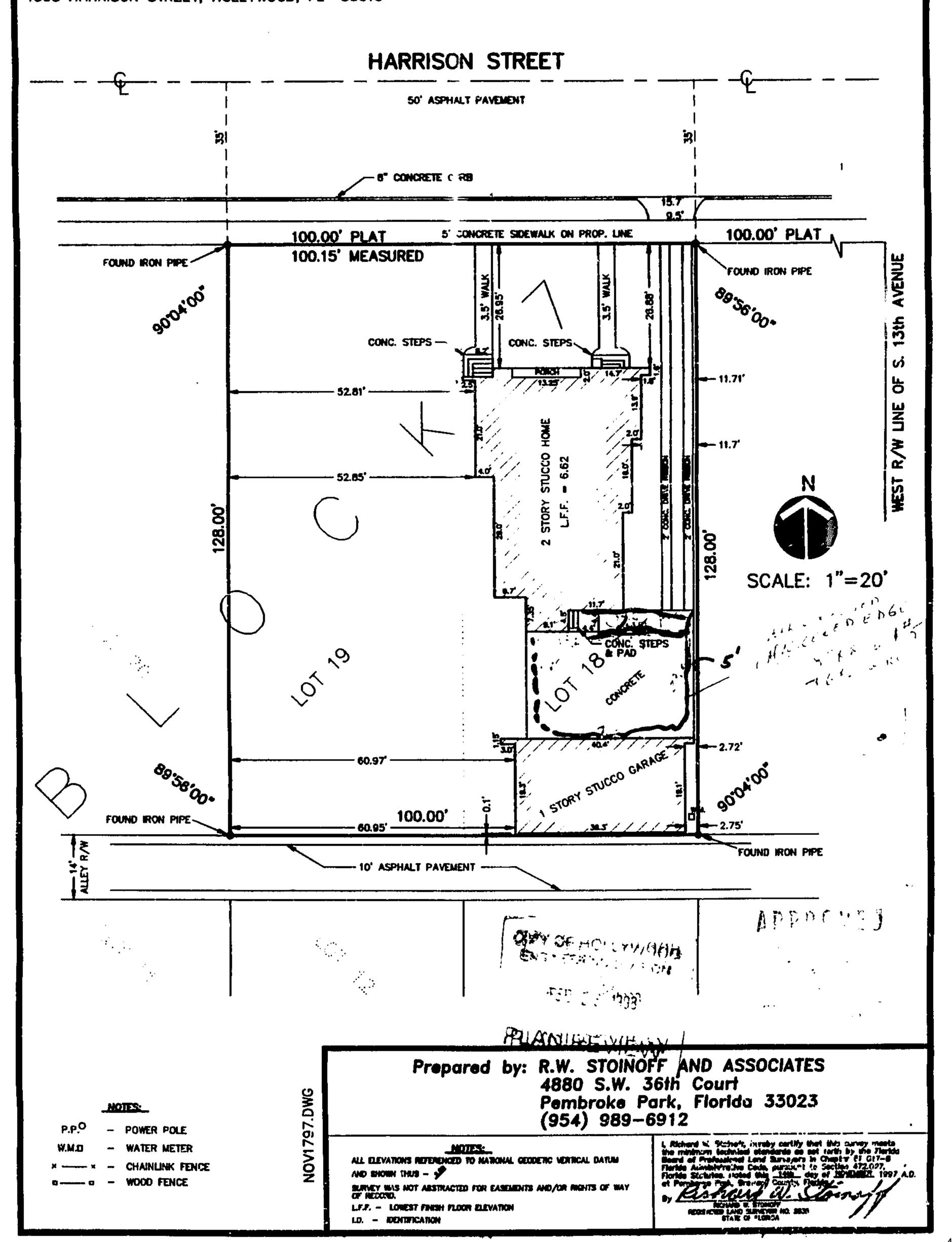
1308 HARRISON STREET, HOLLYWOOD, FL 33019

FLOOD ZONE INFORMATION:

COMMUNITY PANEL NUMBER: 125113 0317 G ZONE AE; ELEVATION — 6.00 EFFECTIVE DATE: JULY 21, 1995

CERTIFIED TO:

MAUREEN PICCIRILLO



2 Story Stucco Home

Conc. Steps
31.7

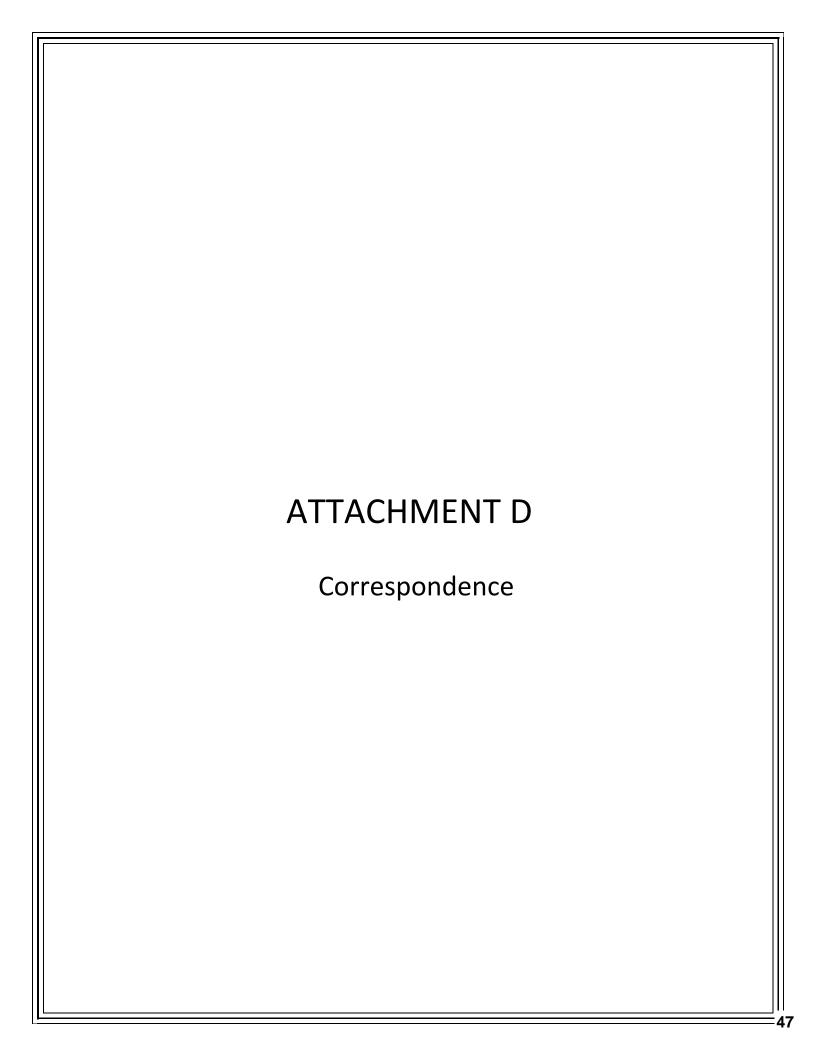
Concrete Area
to be paved

32.4

1 Story Stuccor Garage

Lot 18

Maureen Kunt Liccin!!s 1308 Karrisan St. Kallywaad, Fl 33019



From: Andria Wingett
To: Tasheema Lewis
Cc: Anand Balram

Subject: Fwd: [EXT]1308 Harrison Street

Date: Monday, May 22, 2023 5:43:51 AM

Attachments: <u>image001.png</u>

image002.png

Please share as appropriate

Sent from my iPhone

Begin forwarded message:

From: Dana Gallup <dgallup@gallup-law.com>

**Date:** May 18, 2023 at 6:42:47 PM EDT

**To:** Andria Wingett < A Wingett @hollywoodfl.org>

Cc: Caryl Shuham < CSHUHAM@hollywoodfl.org>, Gus Zambrano

<GZAMBRANO@hollywoodfl.org>, Shiv Newaldass

<SNEWALDASS@hollywoodfl.org>, Russell Long <RLong@hollywoodfl.org>,

Anand Balram < ABALRAM@hollywoodfl.org>, Clive Taylor

<clive\_taylor@bellsouth.net>, alex.bruno@earthlink.net, Amy Gallup
<amycliftongallup@gmail.com>, Terry Cantrell <terry@nstpower.com>

Subject: Re: [EXT]1308 Harrison Street

#### Andria

Thank you for the follow-up, and for sending the plans.

As I indicated, our main objection to this proposal is that the addition will be flush with the existing building and will result in the removal of architectural elements on the facade and west side of the existing building. I note that the plan contemplates a pool in back of the addition. My suggestion would be that the owner consider having the pool in the front of the property (where the proposed addition now is), with the addition being where the pool is now showing on the plans. Obviously the pool could be fenced and landscaped so as to be attractive from the street, but, in this way, the addition would be set back from the historic existing home, which is consistent with the guidelines.

I appreciate you passing this along to the staff, who can hopefully work with the homeowner to submit a plan in conformity with the City's guidelines.

Thank you.

#### Dana M. Gallup, Esq.

Labor & Employment Attorney, Certified Mediator and Arbitrator

Labor & Employment Law
p (954) 894-3035 • tf (888) 545-2325
e dgallup@gallup-law.com • w www.gallup-law.com
a 4000 Hollywood Blvd. Suite 265 South, Hollywood, FL 33021

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### On Thu, May 18, 2023 at 6:12 PM Andria Wingett <a href="https://dww.ndf.org">AWingett@hollywoodfl.org</a> wrote:

Dana – I was so focused on the permits I overlooked checking in on pending Historic Preservation Board (HPB) applications before responding to you. Yes, staff is working with the homeowner to bring the addition before the HPB in an upcoming month or two. At your request, attached is the most recent submittal. This is not the final submittal. Your comments will be shared, as requested.

Sincerely,

Andria Wingett

**Deputy Director** 

**Development Services** 

awingett@hollywoodFL.org

2600 Hollywood Blvd. P.O. Box 229045, RM 422 Hollywood, FL 33022 O: 954.921.3471/6621

F: 954.921.3347



A Please consider the environment before printing this email.

From: Dana Gallup < dgallup@gallup-law.com>

**Sent:** Thursday, May 18, 2023 5:44 PM

**To:** Andria Wingett < <u>AWingett@hollywoodfl.org</u>>

Cc: Caryl Shuham < CSHUHAM@hollywoodfl.org>; Gus Zambrano

<<u>GZAMBRANO@hollywoodfl.org</u>>; Shiv Newaldass < <u>SNEWALDASS@hollywoodfl.org</u>>; Russell Long

<<u>RLong@hollywoodfl.org</u>>; Anand Balram <<u>ABALRAM@hollywoodfl.org</u>>; Clive Taylor <<u>clive taylor@bellsouth.net</u>>; <u>alex.bruno@earthlink.net</u>; Amy Gallup < amycliftongallup@gmail.com >; Terry Cantrell < terry@nstpower.com >

Subject: Re: [EXT]1308 Harrison Street

Thank you, Andria.

I greatly appreciate you monitoring this.

#### Dana M. Gallup, Esq.

Labor & Employment Attorney, Certified Mediator and Arbitrator



This message is confidential, intended only for the named recipient(s) and may contain information that is privileged, attorney work product or exempt from disclosure under applicable law. If you are not the intended recipient(s), you are notified that the dissemination, distribution or copying of this message is

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On Thu, May 18, 2023 at 4:41 PM Andria Wingett <a href="https://xww.edu.nu/months.com/">AWingett@hollywoodfl.org</a> wrote:

Good afternoon – Thank you for looping me in. I do not see any recent permits for an addition at 1308 Harrison St. There is one from 2021 that is null and void.

I will make field staff aware to ensure no work is done without a permit.

Building Permit Self-Service | Hollywood, FL - Official Website (hollywoodfl.org)

Sincerely,

Andria Wingett

**Deputy Director** 

**Development Services** 

awingett@hollywoodFL.org

<image001.png>

From: Caryl Shuham < <u>CSHUHAM@hollywoodfl.org</u>>

**Sent:** Thursday, May 18, 2023 3:40 PM

**To:** Dana Gallup (<u>dgallup@gallup-law.com</u>) < <u>dgallup@gallup-law.com</u>>

Cc: Andria Wingett < <u>AWingett@hollywoodfl.org</u>>

Subject: Fw: [EXT]1308 Harrison Street

Thanks Dana - I am copying Andria Wingett with this email chain.

Andria is our deputy Director of Development Services. Hopefully, she can shed some light on the sign in question.

Caryl -

#### Caryl S. Shuham

Commissioner, District 1

City of Hollywood

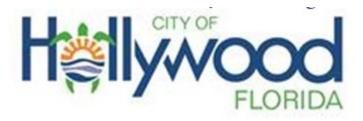
P.O. Box 229045

2600 Hollywood Blvd.

Hollywood, FL 33022-9045

Telephone: 954.921.3321

Email: cshuham@hollywoodfl.org



Notice: Florida has a broad public records law. All correspondence sent to the

City of Hollywood via e-mail may be subject to disclosure as a matter of public record.

From: Dana Gallup < dgallup@gallup-law.com>

**Sent:** Wednesday, May 17, 2023 3:47 PM

**To:** Caryl Shuham < <u>CSHUHAM@hollywoodfl.org</u>> **Cc:** Amy Gallup < <u>amycliftongallup@gmail.com</u>>; Clive Taylor

<cire taylor@bellsouth.net>; Terry Cantrell <terry@nstpower.com>;

<u>alex.bruno@earthlink.net</u> <<u>alex.bruno@earthlink.net</u>>

**Subject:** [EXT]1308 Harrison Street

#### Good afternoon Commissioner Shuham:

As you know, my wife and I own a historic home located at 1309 Harrison Street. The property directly across the street from us, at 1308 Harrison Street, is also a historic home from the 1920s built by the Joseph Young Construction Company with his chosen architects, Rubbish and Hunter. It is one of the few remaining historic homes in the Harrison - Tyler Streets Special Historic District, has not been materially altered (at least on the exterior) and has been remarkably well-preserved. Attached here is a picture of the home.

Yesterday, a sign was placed on the property with a rendering of a proposed addition. I am attaching a picture of the sign. There does not appear to be any identifying information on the sign as to who might be proposing the addition. Also, I did not see that there has been any application for a permit or that this has been placed on the agenda of the Historic Preservation Board for review and approval to date.

Candidly, I am not opposed to an addition being done to the home, as we did an addition to our house on the empty half lot back in 2002. However, what concerns me is that the proposed addition

seems to be flush with the facade of the house rather than set back. My understanding is that, based on historic guidelines, the City generally requires that an addition to a historic property be set back from the facade so that the original historic building remains intact and distinguishable from the addition. We were asked to setback our addition 25 feet from the facade, and I feel that a similar setback should be required for 1308 Harrison.

I would greatly appreciate it if you could look into this further and perhaps forward my email to the appropriate personnel or board members of the City so that this matter can be on the radar of those who can ensure that this beautiful historic property is preserved.

Thank you for your attention to this matter.

Dana M. Gallup, Esq.

Labor & Employment Attorney, Certified Mediator and Arbitrator



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**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Andria Wingett

Assistant Director, Development Services City of Hollywood Department of Development Services 2600 Hollywood Blvd, Suite 315 P.O. Box 229045 Hollywood, FL 33022-9045

Office: 954-921-3471 x6621 E-mail: <u>AWingett@hollywoodfl.org</u>



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2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only)

## **GENERAL APPLICATION**



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all document to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At feast one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website

http://www.hollywoodfl.org/Do .cumentCenter/Home/View/21



APPLICATION TYPE (CHECK	K ONE):
☐ Technical Advisory Committee	☑ Historic Preservation Board
City Commission	☐ Planning and Development Board
Date of Application: 02.27.23	
Location Address: 1308 Harrison St F	Hollywood Fl 33019
	(s):Subdivision:
Folio Number(s): 5142 14 01 1420	Outdivision.
	Land Use Classification:
Existing Property Use: Residential	Sq Ft/Number of Units: 2,474 sf
	notice? ( ) Yes (x) No If yes, attach a copy of violation.
	the City before? If yes, check all that apply and provide File
☐ Economic Roundtable ☐ Techn☐ City Commission ☐ Plann	nical Advisory Committee
Explanation of Request: Renovation	and modification.
Number of units/rooms: 2	Sq Ft: 3,837 sf
Value of Improvement: 150,000.00	0 Estimated Date of Completion: 05/27/2024
	o If Phased, Estimated Completion of Each Phase
Name of Current Property Owner: B	RIAN GRUBER
Address of Property Owner: 1308 Harr	
	Email Address: bgruber@hey.com
	enant (circle one); David Van Hoeven
	30 Telephone: 904-525-9188
Fax: Email Add	
	s there an option to purchase the Property? Yes ( ) No ( )
If Yes, Attach Copy of the Contract.	
List Anyone Else Who Should Receive	e Notice of the Hearing:
14 1 24 31	Address: 443 SW 2nd ave Ft Lauderdale 33301
	Email Address: kyle@bluehorizonengineering.com
Pia Van Hoeven 125	555 orange dr davie fl 33330 pia.totalcof@gmail.com

#### PLANNING DIVISION



2600 Hollywood Boulevard Room 315

File No. (internal use only)

### **GENERAL APPLICATION**

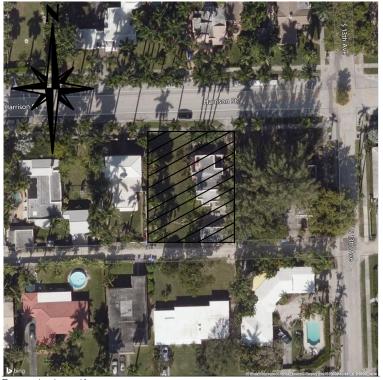
#### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <a href="www.hollywoodfl.org">www.hollywoodfl.org</a>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Brian Stuber	Date: 2/15/2023
PRINT NAME: BRIAN GRUBER	Date:
Signature of Consultant/Representative:	Date:
PRINT NAME: David Van Hoeven	Date:02/16/2023
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
l am the current owner of the described real property and that I am aware o to my property, which is hereby m David Van Hoeven to be my legal representative before the  Committee) relative to all matters concerning this application.	ade by me or I am hereby authorizing
Sworn to and subscribed before me	Brion Guber
this 22 day of February 2023	Signature of Current Owner
MARIA D MONTANEZ Notary Public - State of Florida Commission # HH 278943	Brian Gruber
Notary Public  My Comm. Expires Jun 21, 2026  Bonded through National Notary Assn.	Print Name
State of Florida	
My Commission Expires: Tune 2 (Check One) Personally known to me; OR F	Produced Identification

SURVEY MAP SCALE: 1"= 20'



COOPERATIV

COOPERATIVE TITLE
AGENCY OF FLORIDA, INC.
Where good "deeds" are donel
9700 Griffin Road
Cooper City, FL 33328
954-392-9994
info@CoopTitle.com



1308 Harrison Street Hollywood, Florida 33019

Survey Date: 12/14/2020 Job Number: 20-2184 Order Number:

National Flood Insurance Community Panel: 12011 C 0569 H Flood Zone: X Base Flood Elevation: N/A Firm Date: 08/18/2014

Legal Description
Lot 18 & 19 Block 7 of HOLLYWOOD LAKES SE4CTION 1, according to the map or plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

# Found 1/2 Pipe No ID Single Story Residence 749.8 Sq.ft.± 0.3 Acres ± 12800.0 Sq.ft.± Two Story Multi Family 1308 Harrison Stree Owner: TILLES,ELLEN & DAVID Situs Address: 1300 HARRISON ST HOLLYWOOD FL 33019 Owner: PALUMBO,AUGUSTINE R & TERESA R PALUMBO FAM TR Situs Address: 1318 HARRISON ST HOLLYWOOD FL 330191514 Legal: HOLLYWOOD LAKES SECTION 1-32 B LOT 16 & 17 BLK 7 Legal: HOLLYWOOD LAKES SECTION 1—32 B LOT 20 BLK 7 Found 1/2 Pipe No ID A . A . A . . A 4 100.00 5 concrete sidewalk 4 - Harrisøn Street ±41' asphalt roadway

15' Ally by Plat Book 1, Page 32 (BCR)

<u>Certified to:</u> Keith Burza and Tamara Townsend, husband and wife US Bank N.A., Its Successors And/Or Assigns As Their Interest May Appear Cooperative Title Agency of Florida, Inc. Old Republic National Title Insurance Company

SURVEYORS NOTES

-This is a Boundary survey.

-Legal description used for this survey was provided by others.

-This Survey has been prepared for the exclusive use of the entities named hereon and do not extend to any unnamed parties.

-No title policy, title commitment, abstract, or certificate of title was available; therefore easements and other matters of record may not be reflected in this survey. Obtain current title work and verify easements before constructing improvements

-Bearings, if any, shown hereon are based on Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

-All dimensions and directions shown hereon are in substantial agreement with record values unless otherwise noted.

—Due to varying construction standards, house dimensions are approximate.

- All ties to property line are perpendicular to it, unless otherwise noted.

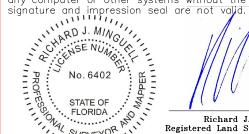
- In all cases dimensions shall control location over scaled positions.

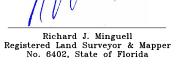
- Elevations, if shown, are based of NAVD 88.

- Benchmark No. Elevation: feet, located at

- This survey does not determine or imply ownership.

- Inis survey does not determine or imply ownership.
- Underground improvements and utilities were not located.
- Not valid without the signature & raised seal of a Florida licensed surveyor and mapper.
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON, AS RECENTLY SURVEYED AND
DRAWN UNDER MY SUPERVISION, MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH
IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE FOR THE BOARD OF PROFESSIONAL
SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUES.
No part of this drawing may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other systems without the prior written permission of R. Minguell Land Surveyors. Copies of this plan without an original signature and impression seal are not valid.







R. Minguell, Inc. Land Surveyors & Planners L.B.7272 954-298-8935 Minguell@bellsouth.net RMinguell.com

591 S.W. 112 Avenue Plantation, Florida 33325

<u>Encroachments</u> -None visible.

Property Line 

Pool pump

Air Conditioner

 $\underline{\text{Legend}}$ 

Existing Elevation

Instr# 117110895 , Page 1 of 2, Recorded 03/10/2021 at 09:11 AM

Broward County Commission Deed Doc Stamps: \$4718.00

1

PREPARED BY: Stacy G. Mager, Esq. SPINK, SHROUDER & KARNS, P.A. 9700 Griffin Road, Cooper City, FL 33328 (954) 392-9994 File No.: 2021-3330

RETURN TO: Kramer. Golden & Brook, P.A. 12000 Biscayne Blvd, Suite 700 Miami, FL 33181 Parcel Identification No.: 51-42-14-01-1420

Griber 24-21R

File No.: 2021-3330

#### WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 25th day of February, 2021 between Lydia Castillo, a single woman, whose post office address is 1308 Harrison Street, Hollywood, FL 33019, Grantor, to Brian Gruber and Rachel Daniels, husband and wife, whose post office address is 1308 Harrison St, Hollywood FL, Grantees:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Broward, Florida, to-wit:

LOTS 18 AND 19, BLOCK 7, HOLLYWOOD LAKES SECTION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Parcel Identification No. 51-42-14-01-1420

Street Address: 1308 Harrison Street, Hollywood, FL 33019

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenants with the Grantees that the Grantor is lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.



WARRANTY DEED

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Lydia Castillo

Signed, sealed and delivered in our presence:

WITNESS

PRINT NAME:

WITNESS

PRINT NAME: EVELYN HUELLER

STATE OF FLORIDA COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of (\*) physical presence or () online notarization this <u>24</u> day of February, 2021, by Lydia Castillo.

Signature of Notary Public

Print, Type/Stamp Name of Notary

STACY G. MAGER

Notary Public - State of Florida
Commission # GG 274147
My Comm. Expires Dec 26, 2022
Bonded through National Notary Assn.

Personally Known: OR Produced Identification:

Type of Identification

Produced:

File No.: 2021-3330

ORIVERS

UUMSE

Blue Horizon Engineering

Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



#### LEGAL DESCRIPTION & PROJECT INFORMATION

Project Owner: BRIAN GRUBER

Project Address: 1308 HARRISON STREET, HOLLYWOOD FL 33019

Folio: 5142 14 01 1420

Legal Description: HOLLYWOOD LAKES SECTION 1-32 B LOT 18,19 BLK 7

Zoning classification: RS-6 Land use: Residential

Site Square Footage: 12,800 Sq. FT.

The design intent for this Project is to add a two story addition to an existing (2) two story home while maintaining the historic Spanish architecture of the house. The massing and height of the addition match that of the existing home and the surrounding area. This design is features the following:

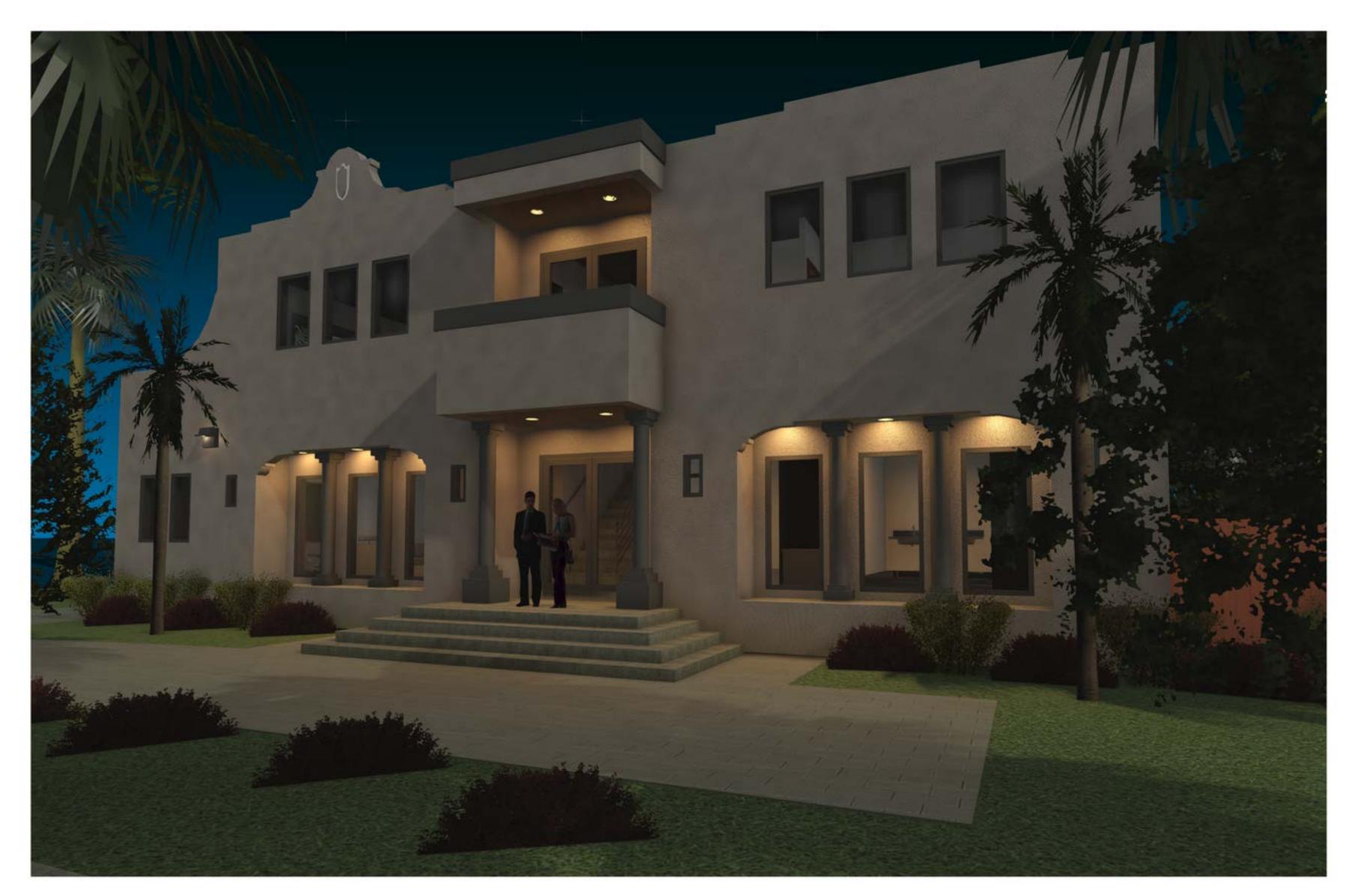
- Large pool with deck and balconies
- Columns and arches that match the existing design of the home
- Stucco finish to match existing with dark stucco bands.

The total A/C are of the new house is 4,260 square feet. The house is located on the south side of Harrison St five blocks east of Young's Circle

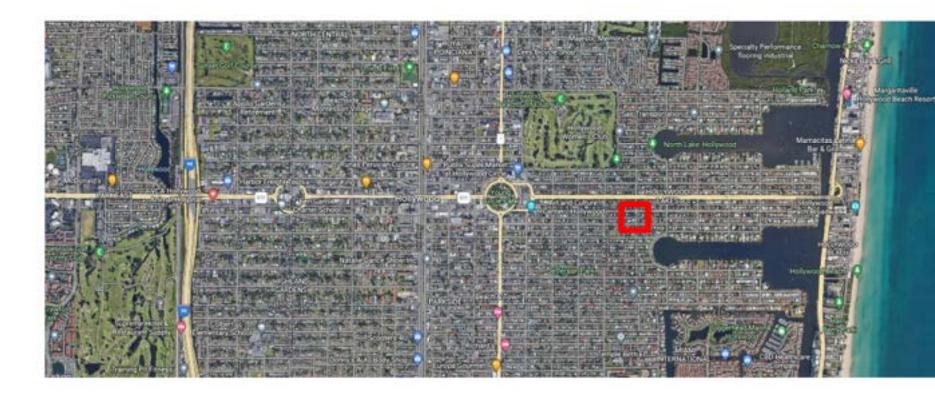
# RESIDENTIAL RENOVATION & ADDITON

PLANS FOR HISTORIC PRESERVATION BOARD: FOLIO # 5142-14-01-1420

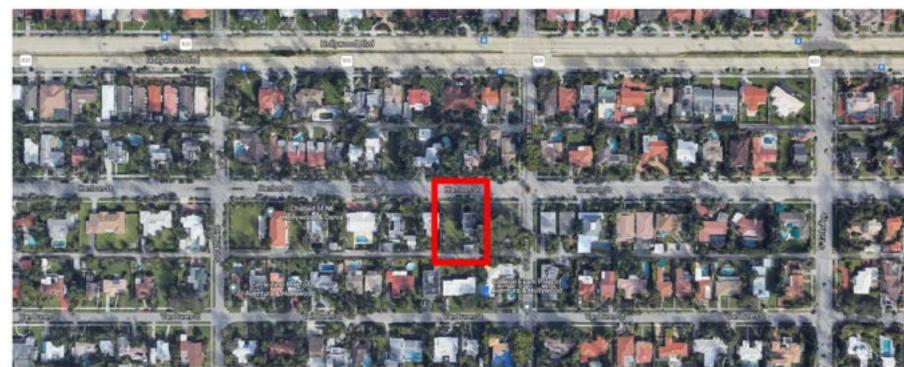
1308 HARRISON STREET HOLLYWOOD, FLORIDA 33019

















A-0.0.....COVER PAGE / LOCATION

A-0.1.....SITE PLAN

A-0.2.....SITE PHOTOS / STREET PROFILE

A-0.3.....EXISTING LANDSCAPING PLAN

A-0.4.....LANDSCAPING PLAN

A-0.5.....DRAINAGE PLAN

A-1.0.....FIRST FLOOR PLAN

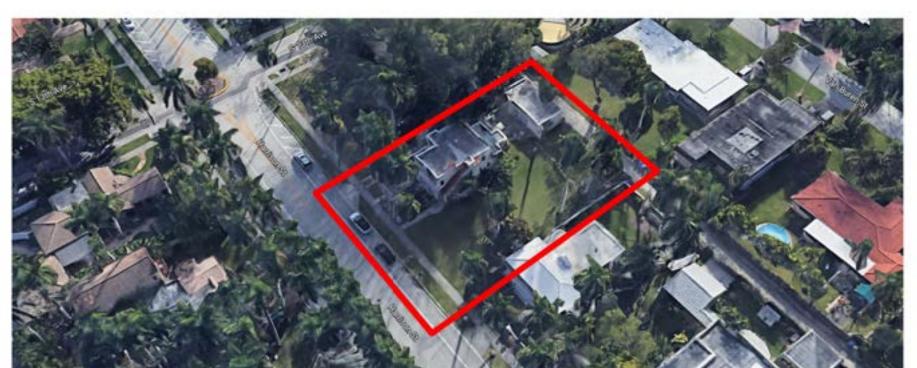
A-1.1....SECOND FLOOR PLAN

A-2.0.....EAST & NORTH ELEVATIONS

A-2.1.....WEST & SOUTH ELEVATIONS

A-3.0....RENDERINGS





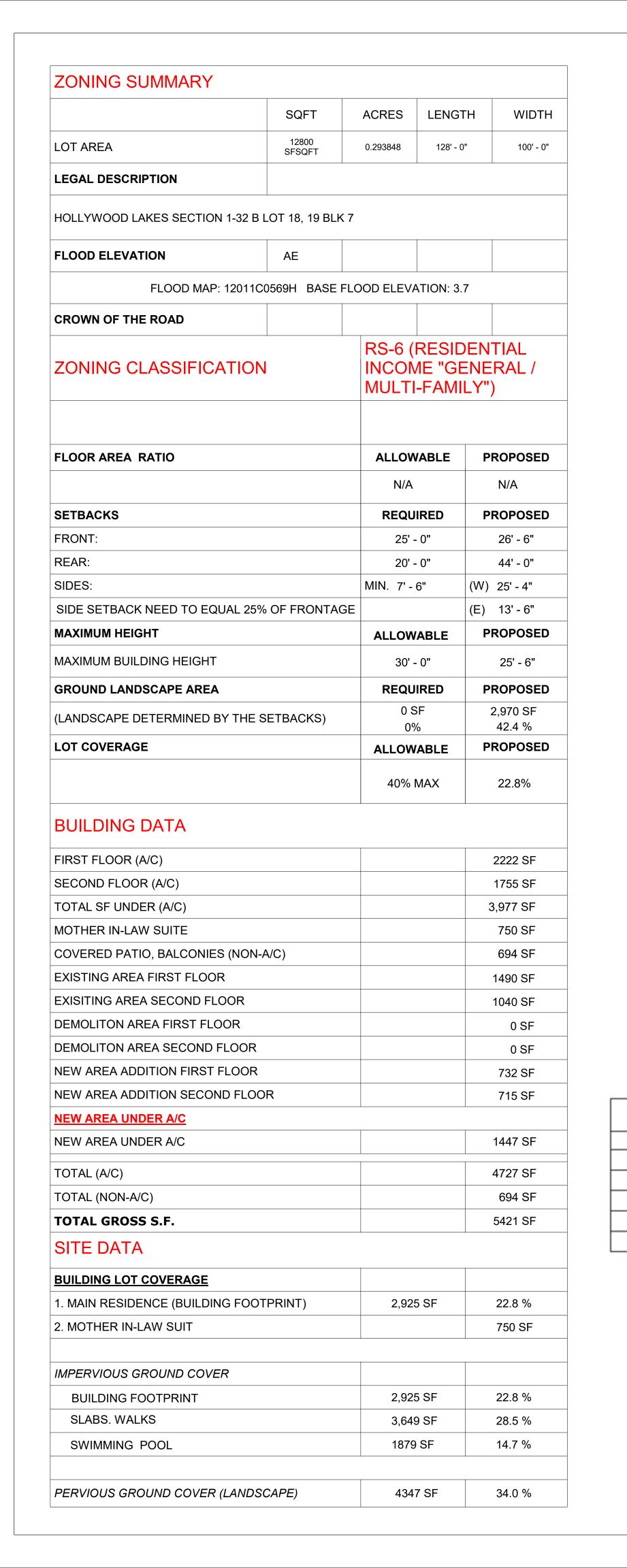
 $2 \frac{\text{VICINITY / LOCATION MAP}}{1" = 50'-0"}$ 

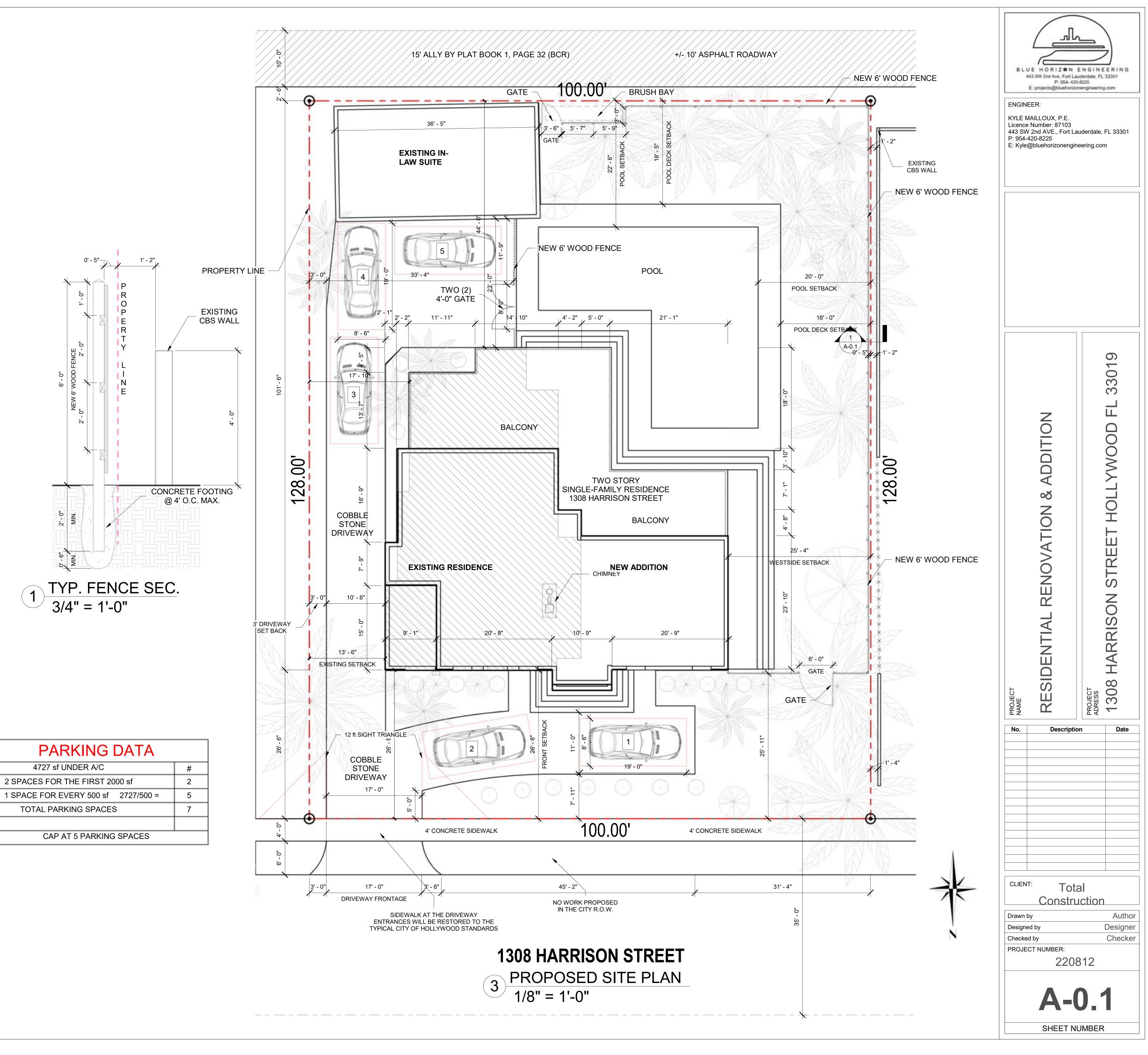
KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301

E: Kyle@bluehorizonengineering.com

PROJECT ADRESS 1308 HARRISON S

Total Construction PROJECT NUMBER: 220812 A-0.0







ENGINEER:

**ADDITION** 

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com



1308 Harrison Street

1318 Harrison Street

25' - 4" 17' - 1"

1318 Harrison Street

1300 Harrison Street

13' - 6"

1300 Harrison Street

1 STREET PROFILE 1/8" = 1'-0"

1308 Harrison Street

100'

8' - 3"

Total CLIENT: Construction Author Designer Designed by Checker Checked by PROJECT NUMBER:

RENOVATION PROJECT ADRESS 1308 HARRISON STRE RESIDENTIAL Date Description

33019

HOLLYWOOD

220812



COOPERATIVE TITLE AGENCY OF PLORIDA, INC. Where good "deeds" are done! 9700 Griffin Road Cooper City, PL 33328 954-392-9994



1308 Harrison Street Hollywood, Florida 33019

National Flood Insurance Community Panel: 12011 C 0569 H Flood Zone: X Base Flood Elevation: N/A Firm Date: 08/18/2014

Survey Date: 12/14/2020 Job Number: 20-2184 Order Number:

Revision: a. Added Trees 05/17/2023

Legal Description
Lot 18 & 19 Block 7 of HOLLYWOOD LAKES SE4CTION 1, according to the map or plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County,

Tree #	Species	±Dia @ Breast	±Height	±Canopy Dia
1	Palm	20*	70'	20°
2	Palm	20"	70'	20°
3	Palm	20"	70'	20"
4	Palm	20°	70'	20"
5	Palm	20"	70'	20'
6	Palm	20"	70'	20'
7	Palm	20"	70'	20"
8	Tree	16"	35'	25'
9	Palm	22"	70'	20"
10	Palm	20*	70'	20"
11	Palm	20*	55'	20"
12	Palm	20"	55'	20'
13	Palm	20*	70'	20"
14	Tree	5*	12'	12'
15	Tree	5"	12'	22'
16	Palm	10"	24'	18'
17	Palm	10*	30'	18'
18	Palm	12*	40'	24'
19	Palm	12*	40'	18'

Certified to: Keith Burza and Tamara Townsend, husband and wife US Bank N.A., Its Successors And/Or Assigns As Their Interest May Appear

#### Cooperative Title Agency of Florida, Inc. Old Republic National Title Insurance Company

## SURVEYORS NOTES —This is a Boundary survey.

-Legal description used for this survey was provided by others.

-This Survey has been prepared for the exclusive use of the entities named hereon and do not extend to any unnamed parties. -No title policy, title commitment, abstract, or certificate of title was available; therefore easements and other matters of

record may not be reflected in this survey. Obtain current title work and verify easements before constructing improvements

—Bearings, if any, shown hereon are based on Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

—All dimensions and directions shown hereon are in substantial agreement with record values unless otherwise noted.

-Due to varying construction standards, house dimensions are approximate. -All ties to property line are perpendicular to it, unless otherwise noted.

-In all cases dimensions shall control location over scaled positions. -Elevations, if shown, are based of NAVD 88.

-Benchmark No. Elevation: feet, located at

-This survey does not determine or imply ownership.

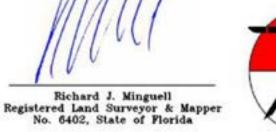
-Underground improvements and utilities were not located.

-Not valid without the signature & raised seal of a Florida licensed surveyor and mapper.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE FOR THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUES.

No part of this drawing may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other systems without the prior written permission of R. Minguell Land Surveyors. Copies of this plan without an original signature and impression seal are not valid.

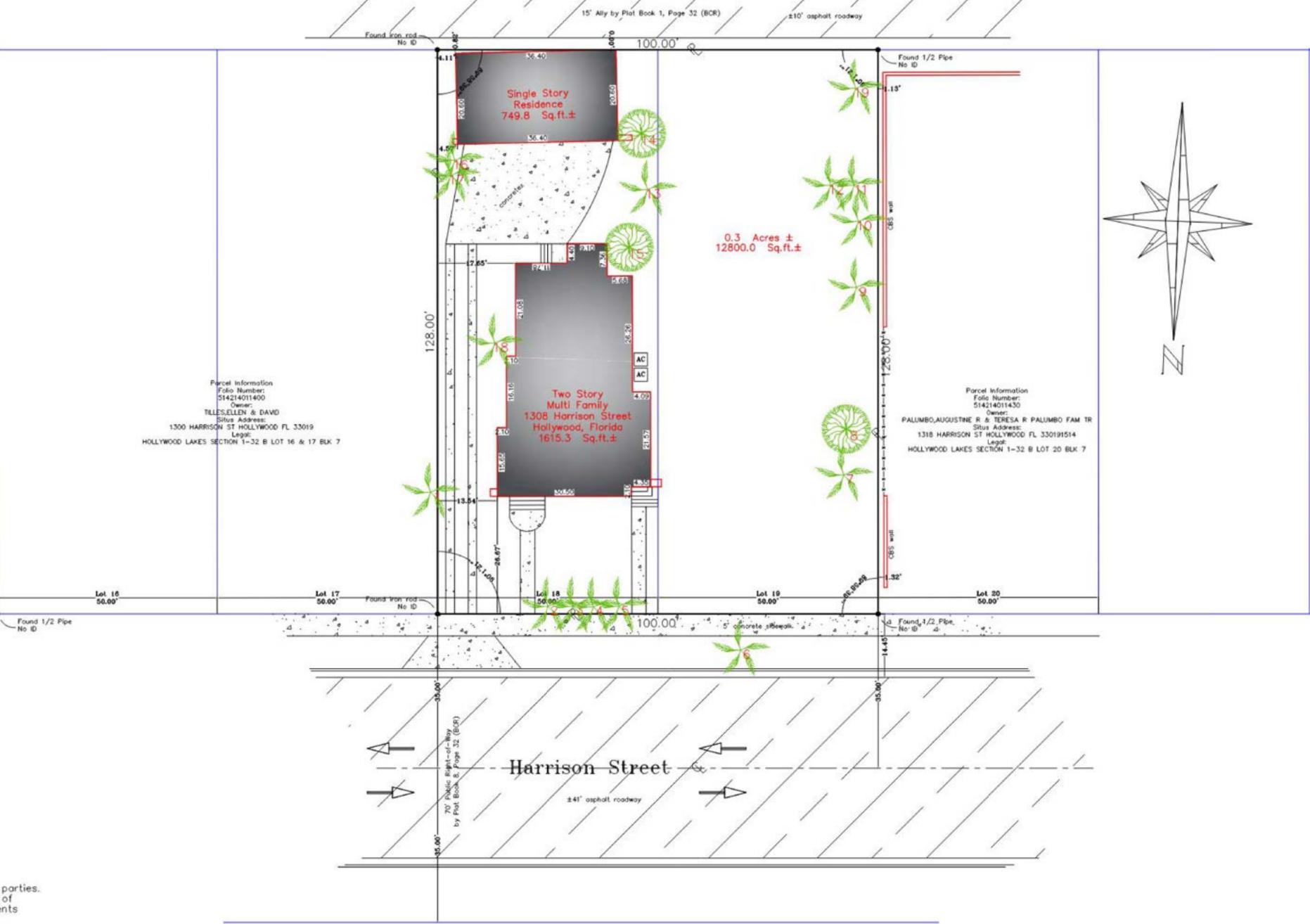




## Minguell, Inc.

Land Surveyors & Planners L.B.7272 954-298-8935 Minguell@bellsouth.net RMinguell.com 591 S.W. 112 Avenue Plantation, Florida 33325

## SURVEY MAP SCALE: 1"= 20'



BLUE HORIZON ENGINEERING 443 SW 2nd Ave, Fort Lauderdale, FL 33301 P: 954-420-8225

E: projects@bluehorizonengineering.com

KYLE MAILLOUX, P.E. Licence Number: 87103

443 SW 2nd Ave., Fort Lauderdale, FL 33301 E: Kyle@bluehorizonengineering.com

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3301

HARRISON . И SID PROJECT ADRESS 1308 R Description

Total Construction

Designer Designed by Checker Checked by PROJECT NUMBER:

Legend

Air Conditioner

Property Line

Existing Elevation

Center Line

-x-x-x- chain link fence

220812

## NOTE:

TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD



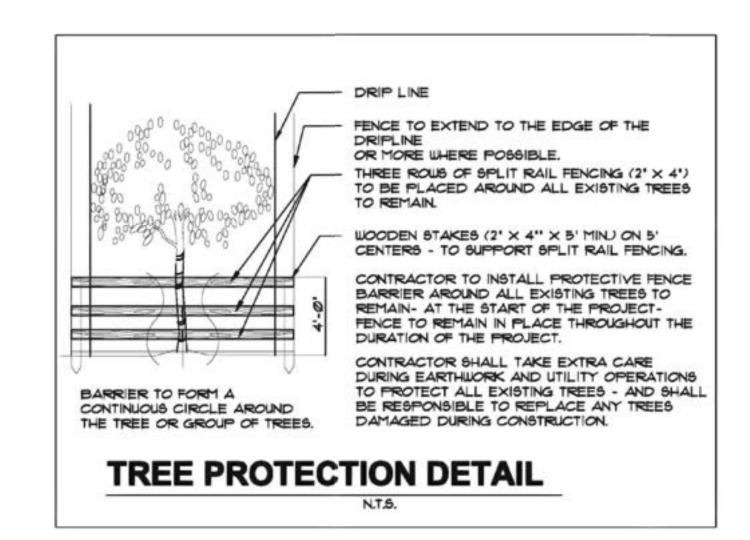
Burfordii Holly (Small Shrub)

## SITE CALCULATION

TOTAL SITE......12,800 SF IMPERVIOUS......8,636 SF PERVIOUS......4,164 SF

Bottlebrush - dwarf (Small Shrub)

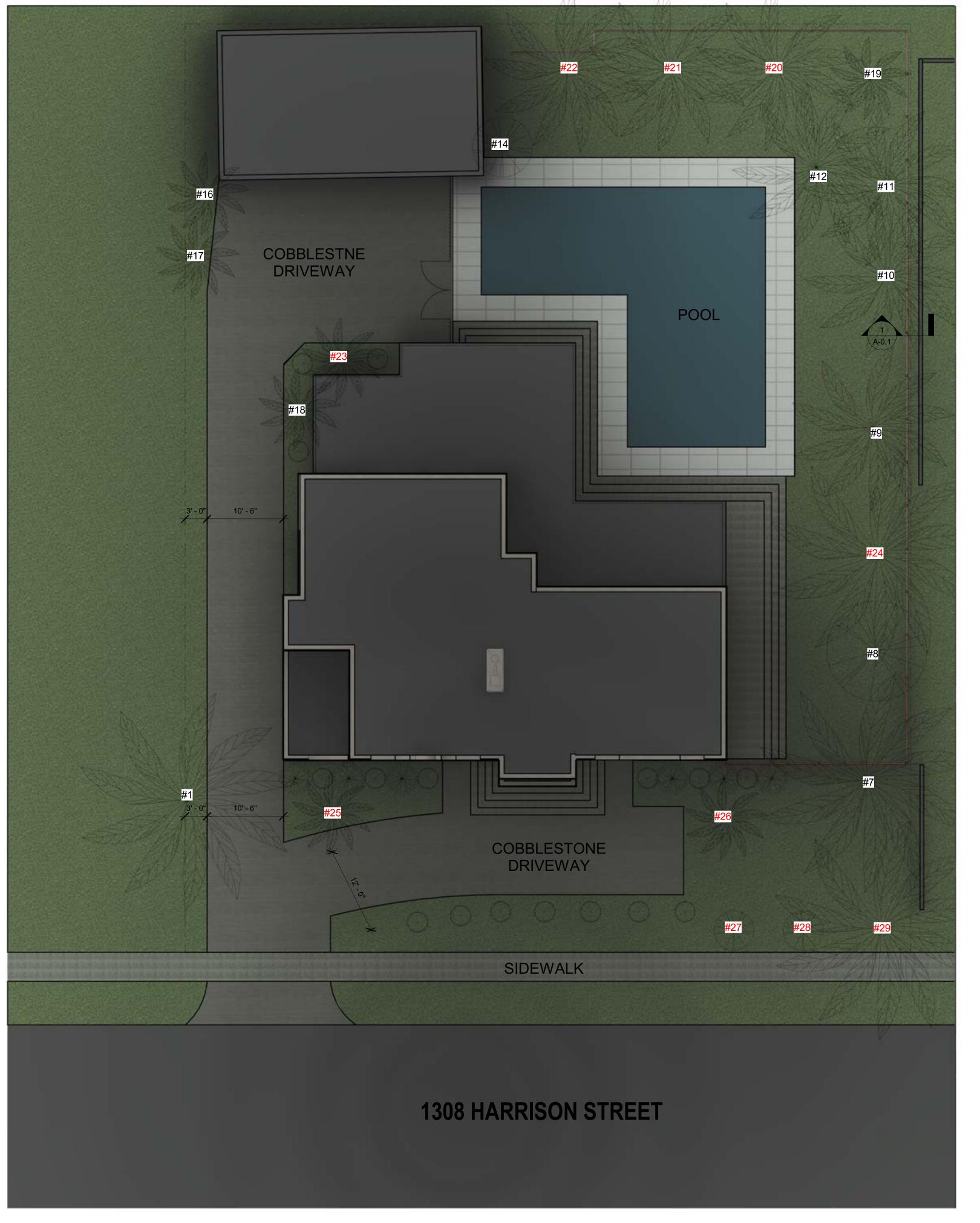
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CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES	S AND P	ALMS		
2	1	Roystonea Regia	Royal Palm	60' OA. HT.
3	1	Roystonea Regia	Royal Palm	60' OA. HT.
4	1	Roystonea Regia	Royal Palm	60' OA. HT.
5	1	Roystonea Regia	Royal Palm	60' OA. HT.
6	1	Roystonea Regia	Royal Palm	60' OA. HT.
7	1	Roystonea Regia	Royal Palm	60' OA. HT.
8	1	Psidium Cattleyanum	Stawberry Guava Tree	4" dbh, 20' OA, 20' SPR.

#### **EXISTING TREE & PALM REMOVAL LIST** CODE QTY BOTANICAL NAME COMMON NAME **SPECIFICATIONS** TREES AND PALMS 1 Roystonea Regia Royal Palm 60' OA. HT. Roystonea Regia Royal Palm 60' OA. HT. Roystonea Regia Royal Palm 60' OA. HT. 25' OA. HT. Ravenala Madagascariensis Travelers Palm Royal Palm 60' OA. HT. Travelers Palm 25' OA. HT. Ravenala Madagascariensis Ravenala Madagascariensis Travelers Palm 25' OA. HT. Silk Floss Tree 5.5" dbh, 14' OA, 6' SPR. Ceiba Speciosa Stawberry Guava Tree 4" dbh, 20' OA, 20' SPR. Psidium Cattleyanum 29 1 Psidium Cattleyanum Stawberry Guava Tree 4" dbh, 20' OA, 20' SPR.

PROPOSED TREE & PALM LIST





KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301

E: Kyle@bluehorizonengineering.com

33019 냅 **ADDITION** HOLLYWOOD STRE RENOVA PROJECT ADRESS 1308 HARRISON RESIDENTIAL

Total CLIENT: Construction KM Designed by Checked by PROJECT NUMBER: 220812

SHEET NUMBER

Description

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE

APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN

ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND **EXCAVATION IN** 

COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION

OPERATION. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO

BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL

BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION

OPERATIONS. THIS

WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND **NO ADDITIONAL** 

COMPENSATION SHALL BE ALLOWED.



## GENERAL CONST. NOTES

- THE PURPOSE OF THE NATURAL GRADE IS TO PROVIDE FLOOD PROTECTION THROUGH PERIODIC INUNDATION. ANY IMPROVEMENTS, MATERIALS OR LANDSCAPING PLACED WITHIN THE NATURAL AREA MAY BE SUBJECT TO DAMAGE
- FROM THE PERIODIC INUNDATION. PERIMETER AND ROADWAY SWALES AND CURVETS SHALL BE CONSTRUCTED AND MAINTAINED BY OWNER IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE AND SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. IF A TEMPORARY OBSTRUCTION IS UNAVOIDABLE, OWNER SHALL OBTAIN APPROVAL FROM THE DISTRICT FOR THE TEMPORARY OBSTRUCTION.
- . DURING THE IMPROVEMENT OF THE PROPERTY FROM LAND IN ITS NATURAL CONDITION TO DEVELOP LAND, OWNER MAY BE REQUIRED TO IMPROVE THE SWALES BETWEEN THE PROPERTY AND THE NEAREST DISTRICT CANAL/CULVERT
- . PLACEMENT OF ANY PERMANENT MATERIAL OR IMPROVEMENT WITHIN DISTRICT'S EASEMENTS, SWALES, AND THE NATURAL AREA MAY BE PROHIBITED. SUCH PLACEMENT IS SUBJECT TO DISTRICT REVIEW, APPROVAL, AND/OR PERMIT IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTIVE IN USE AT THE TIME PLACEMENT IS TO TAKE PLACE.

## P.A.I.D STATEMENT NOTES.

FINISHED GRADE OF TURF/SOD SHALL BE 2" BELOW EDGE OF PAVEMENT

ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTION AND SHALL BE RESPONSIBLE FOR THE SAME. . ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCT. BY THE CONTRACTOR AND/OR SUB-CONTRACTOR CONTRACTOR AND/OR SUB-CONTRACTOR

2. CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN

- SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- I. SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
- 5. MAXIMUM SLOPE SHALL NOT EXCEED 4.(H):1(V). 6. CONTACT P.AI.D. DISTRICT MANAGER PRIOR TO INSTALLATION OF CULVERT AND

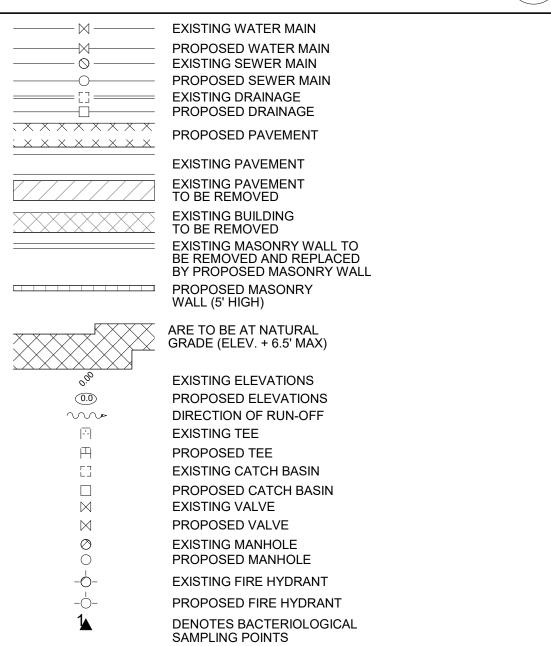
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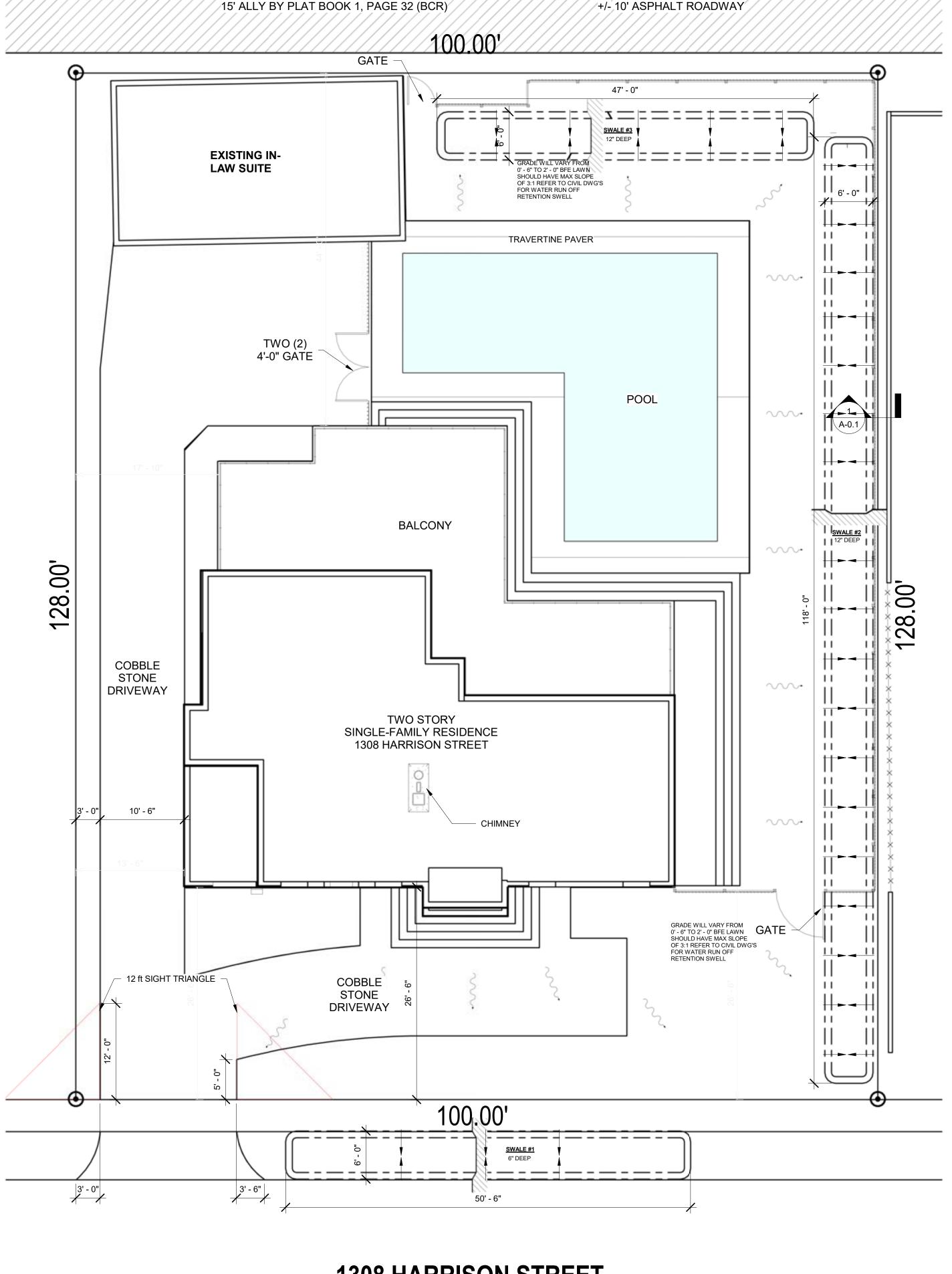
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#### FINAL GRADING OF PROPERTY.

## **NOTES**

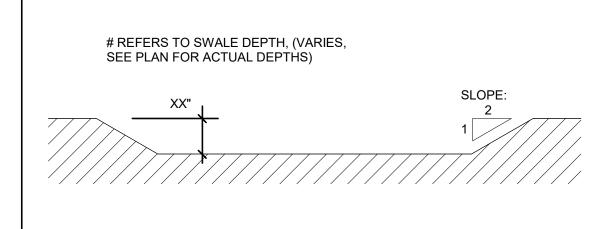
SCALE: NTS





## 1308 HARRISON STREET

PROPOSED DRAINAGE PLAN



#### ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301 P: 954-420-8225

E: Kyle@bluehorizonengineering.com

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BLUE HORIZ#N ENGINEERING 443 SW 2nd Ave, Fort Lauderdale, FL 33301 P: 954-420-8225

E: projects@bluehorizonengineering.com

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# TYP. SWALE CROSS SECTION 6

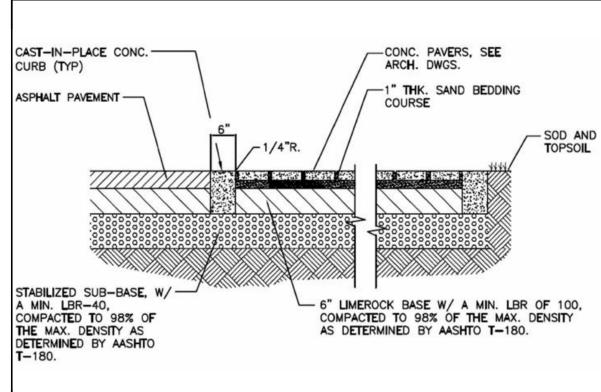
DURING CONSTRUCTION, DRAINAGE INLETS ON SITE AND INLETS ADJACENT TO THE SITE IN THE RIGHT OF WAY TO BE PROTECTED USING GUTTER BUDDY INLET PROTECTORS. INLETS TO BE CLEANED REGULARLY. GUTTER BUDDIES SHALL BE PLACED SO THEY DO NOT CAUSE A FLOOD BY COMPLETELY BLOCKING THE STORM INLET.

## NOTES

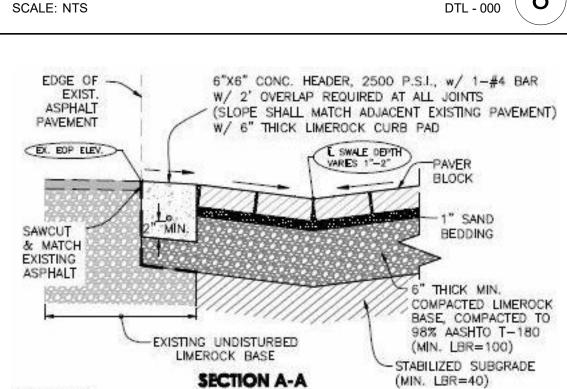
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SCALE: NTS

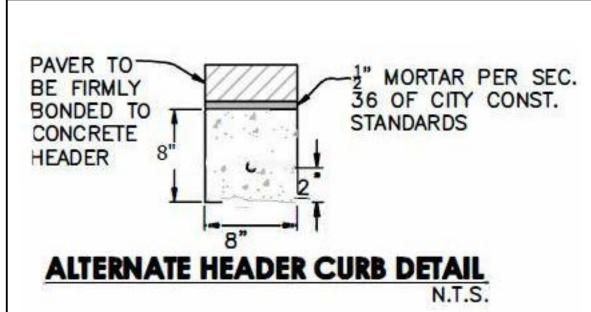
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## COBBLE STONE PAVERS



### SECTION C-C DTL - 000 9



**HEADER CURB DETAIL** 

(MIN. LBR=40)

308 R Description Date Total CLIENT: Construction

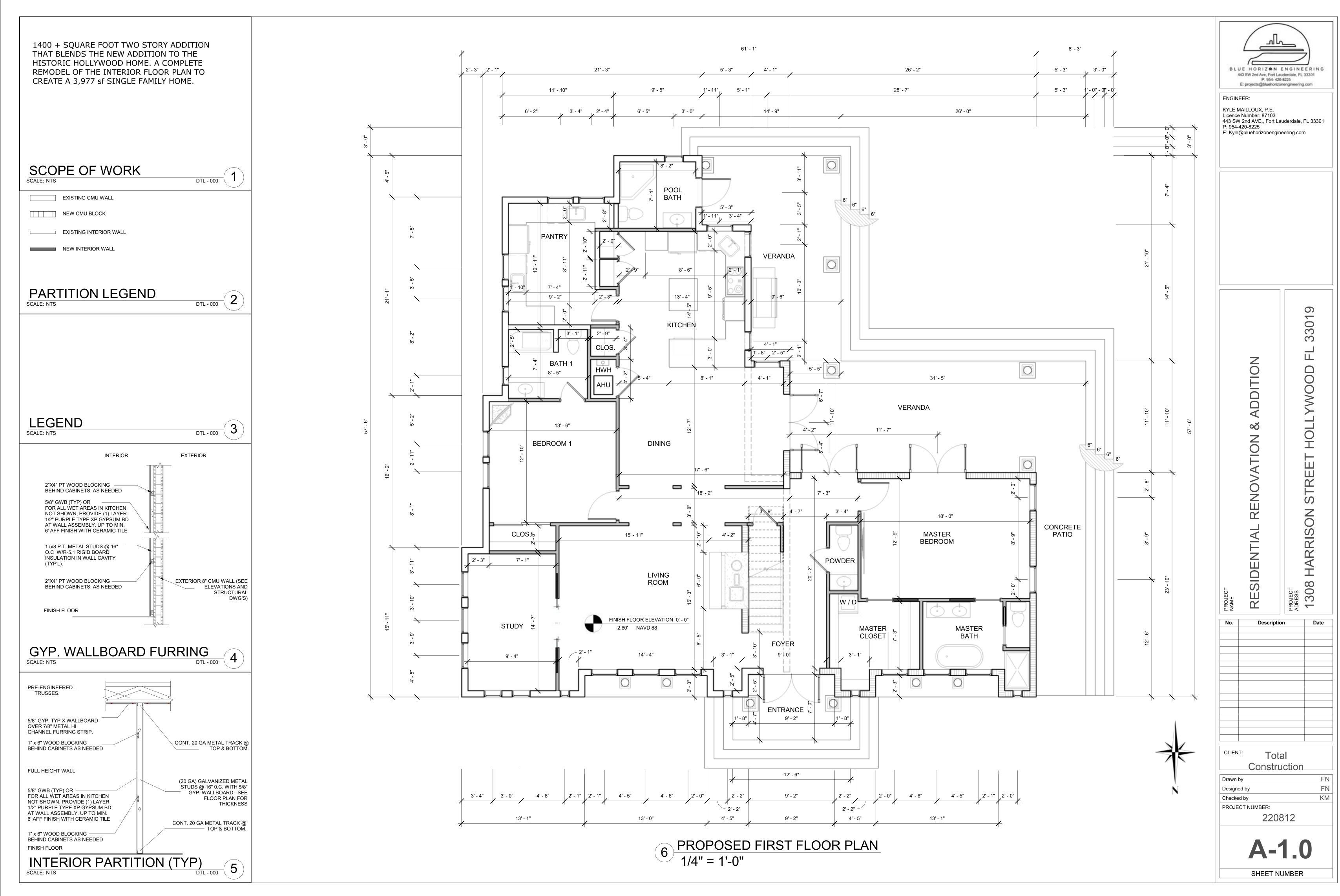
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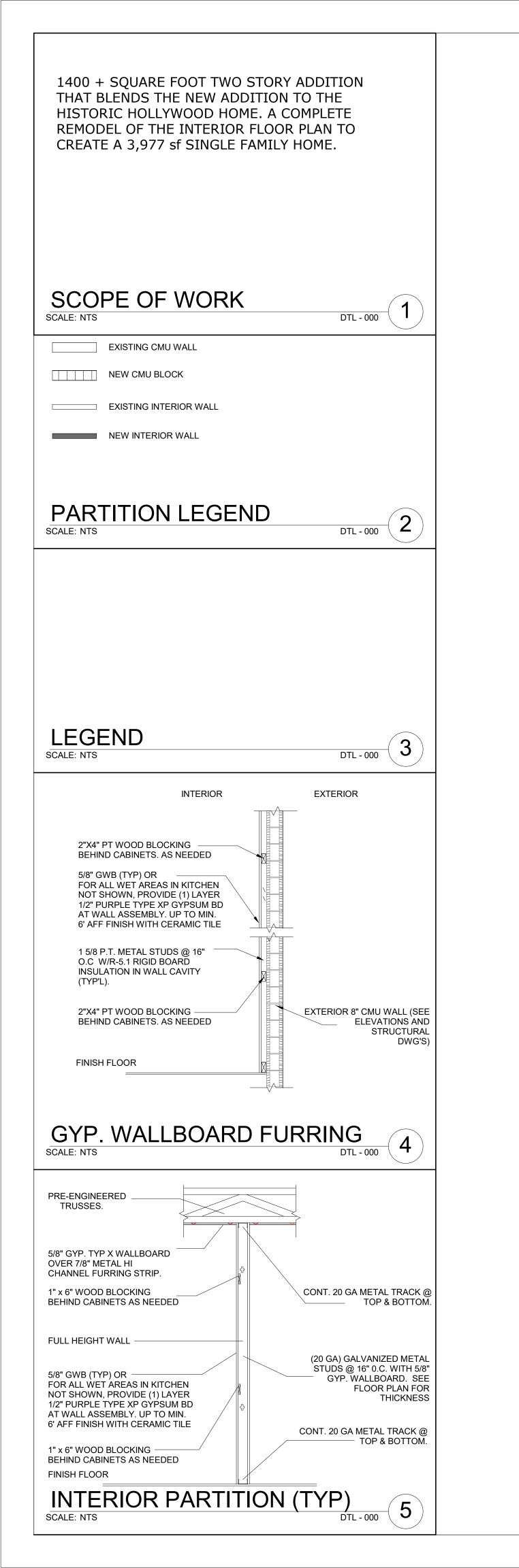
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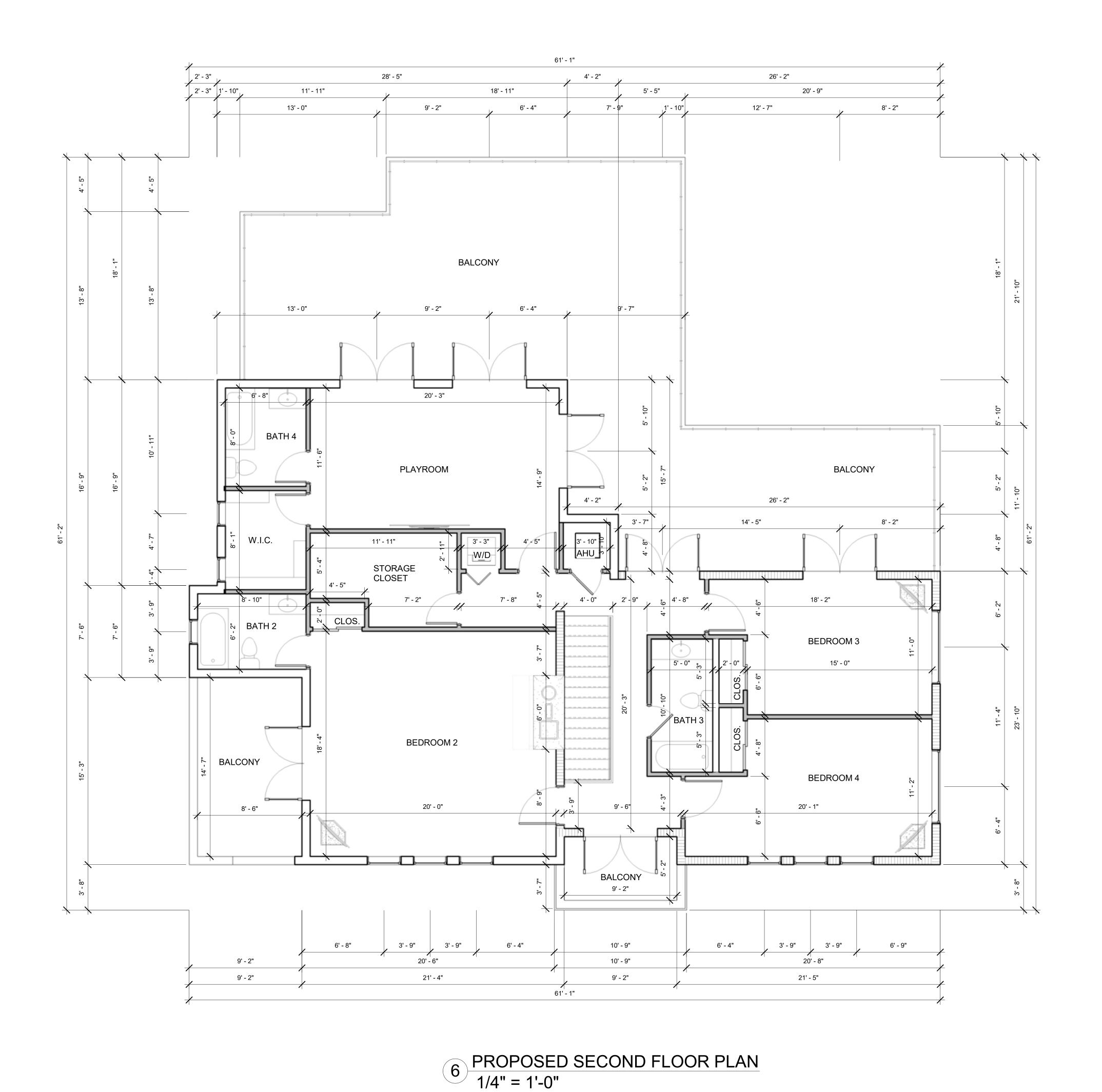
SHEET NUMBER

**LEGENDS** 

SCALE: NTS

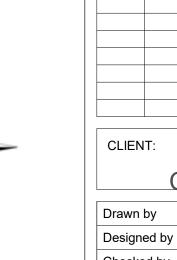








RESIDENTIAL RENOVATION & ADDITION
PROJECT
ADRESS
1308 HARRISON STREET HOLLYWOOD F



Designed by FN
Checked by KM
PROJECT NUMBER:
220812

A-1.1
SHEET NUMBER

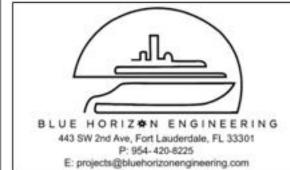
Total

Construction





2 ELEVATION SOUTH
1/4" = 1'-0"



ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com

ADDITION Š RENOVATION

RESIDENTIAL

PROJECT ADRESS 1308 HARRISON STRE

33019

ET HOLLYWOOD FL

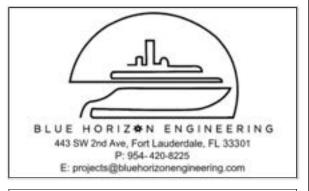
Date Description CLIENT: Total Construction AG KM Designed by KM Checked by PROJECT NUMBER: 220812



1 ELEVATION EAST 1/4" = 1'-0"



2 ELEVATION WEST 1/4" = 1'-0"



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ENGINEER:

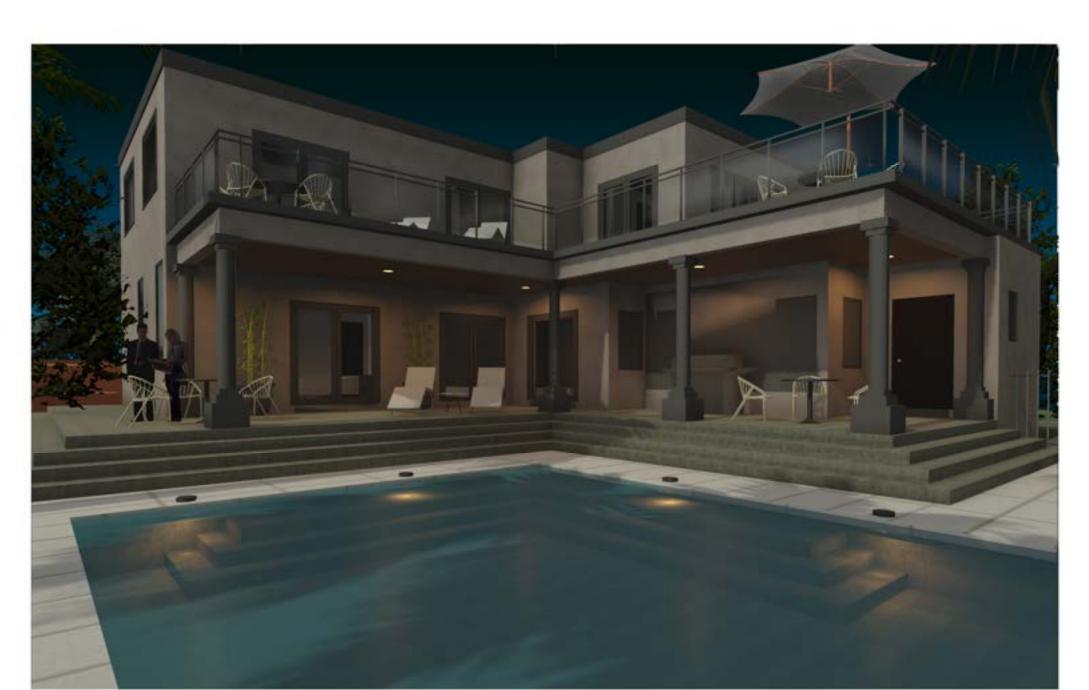
RESIDENTIAL RENOVATION & ADDITION

PROJECT
ADDITION

1308 HARRISON STREET HOLLYWOOD FL 33019







2 3D RENDER 3



3 3D RENDER 1 Copy 1



Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



Planning and Zoning Board

City of Hollywood

2600 Hollywood Boulevard

Hollywood FL, 33022

RE: CRITERIA STATEMENTS FOR CRITERIA FOR HISTORIC PRESERVATION BOARD 1308 HARRISON ST

Dear Planning and Zoning Board,

This firm represents Brian Gruber (the Applicant), owners of the lot located at 1308 Harrison St Hollywood. (Property). Please consider this letter the apllicant's letter of intent in support of an apllication seeking a certificate of appropriateness of design for a new proposed single family residence on such lot mentioned above.

Property: The property is located at 1308 Harrison St Hollywood. The lot is 12,800 square feet in size and is identified by the Broward County Property Appraiser by ID No. 5142 14 01 1420. The property is a an existing two story single family home and the proposed project is a two story, 1,230 square foot addition with a deck, balcony and pool.

Criteria Statement Analysis:

The applicant satisfies the variance criteria delineated in Section 5.5.6.3.2 as follows:

### 1. Integrity of Location

The proposed historic spanish style typology of the proposed addition respects all the zoning setbacks and heights. The design intent includes a large pool deck and balcony for the owner to enjoy an inviting recreational area.

### 2. Setting

The setting and design of the proposed addition compliments the existing style of the home and is compatible with the homes in the area.

### 3. Materials

The proposed residence is structurally designed with cmu block, with the façade materials primarily consisting of stucco finish with decorative stucco bands. The proposed addition incorporates arches and columns that compliment the existing residence. The balconies on the front and side façades provide depth to break up the massing of the addition. The stucco will be painted tan to match the existing and the decorative bands will be gray. All these materials are compatible with the homes in the neighborhood.

Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



### 4. Workmanship

As this residence is going to be the homeowners long term residence, the intent is to deliver the residence with the best standards available. The workmanship and quality of the construction will meet or exceed the standards in the area from a licensed construction professional.

#### 5. Association

We believe this design intent will adhere to the requirements of the Historic Board in the City of Hollywood.

### 6. Design

The design of the addition compliments the existing house while adding unique elements. The front and side façads match the existing house while also adding balconies and a raised entry to create depth and interesting massing. The historic element of the house is preserved while providing a function and aesthetically please master suite and additional bedrooms.



### John W. Allred Consulting Arborist Country Bills Lawn Maintenance Inc ISA Certified Arborist # FL-1252A 13363 NE 16th Avenue North Miami, Florida, 33161 305.785.0180 JohnAllred22@me.com Miami-Arborist.com



January 23, 2021

This Arborist report/observation was prepared at the request of Brian Gruber and Rachel Daniels. Property address 1308 Harrison Street Hollywood, Florida 33019. The trees and palms were assessed by me on Saturday, January 23, 2021. The purpose of this report was to inspect and document the size, specie, and provide an Arborist's opinion as to the overall condition of the trees and palms.

**Note:** During this assessment, all observations were taken from the ground; there were no technical equipment used or the assistance of laboratory analysis sought.

### **Definitions**

**DBH** = Diameter at Breast Height, Breast height is defined as 4.5 feet (1.37m) above the ground.

**OA** = Overall height

**Spread** = Width

### **Trees and Palms**

- 1. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 2. Guava tree, Psidium guava, less than 1"dbh, 4' oa with a 4' spread. This tree is is in poor condition due to extensive weedeater damage at the base. Recommendation, remove.
- 3. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 4. Golden shower tree, Cassisa fistula. 1.5"dbh, 10' oa with a 6' spread. This tree is is in good condition. Recommendation, remain.
- 5. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 6. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 7. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 8. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 9. Silk floss tree, Ceiba speciosa. 5.5"dbh, 14' oa with a 6' spread. This tree is is in poor condition due to extensive weedeater damage at the base. Recommendation, remove.
- 10. Phoenix roebelenii, 14' OA. This palm is in good condition. Recommendation, remain.
- 11. Phoenix roebelenii, 8' OA. This palm is in fair condition with a curved trunk. Recommendation, remain or remove.
- 12. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 13. Loquat tree, Eriobotrya japonica, This tree is is in fair to good condition due to insect damage chewing on the leaves. Recommendation, remain and treat with insecticide.
- 14. Live oak, Quercus virginiana. 2"dbh, 16' oa with a 4' spread. This tree is is dead due to extensive weedeater damage at the base. Recommendation, remove.

- 15. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 16. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 17. Mango tree, Mangifera indica. very small planting. Recommendation remain or relocate.
- 18. Royal palm, Roystonea regia, approximately 50' OA. This palm is in good condition. Recommendation, remain.
- 19. Royal palm, Roystonea regia, approximately 50' OA. This palm is in good condition. Recommendation, remain.
- 20. Phoenix reclinata, 35' OA. This palm is in good condition. Recommendation, remain.
- 21. Travelers palm, Ravenala madagascariensis. 25' OA. This palm is in good condition. Recommendation, remain.
- 22. Travelers palm, Ravenala madagascariensis. 25' OA. This palm is in good condition. Recommendation, remain.
- 23. Strawberry guava tree, Psidium cattleyanum. multi leader, 4"dbh, 20' oa with a 20' spread. This tree is is in good condition. Recommendation, remain.
- 24. Jatrophia tree, Jatropha cruces. multi leader 2"dbh, 8' oa with a 8' spread. This tree is is in fair condition. Recommendation, remain.
- 25. Laurel oak, Quercus imbricaria. 2"dbh, 10' oa with a 8' spread. This tree is is in good condition. Recommendation, remain.
- 26. Livistona chinensis, Chinese fan palm: 25' OA. This palm is in good condition. Recommendation, remain.
- 27. Livistona chinensis, Chinese fan palm: 35' OA. This palm is in good condition. Recommendation, remain.
- 28. Royal palm, Roystonea regia, approximately 45' OA. This palm is in good condition but the roots are damaging property, the driveway. Recommendation, remain or remove as this palm **a danger to property** and the owners may decide to avail themselves of their rights under Florida law to have the palm removed. FL statute 163.045.
- 29. Powder puff, Calliandra haematocephala, 2.5"dbh, 16' oa with a 12' spread. This tree is is in good condition. Recommendation, remain.

30. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition but the roots are damaging property, the driveway. Recommendation, remain or remove as this palm **a danger to property** and the owners may decide to avail themselves of their rights under Florida law to have the palm removed. FL statute 163.045

### FL Statute 163.045 Tree pruning, trimming, or removal on residential property.—

- (1) A local government may not require a notice, application, approval, permit, fee, or mitigation for the pruning, trimming, or removal of a tree on residential property if the property owner obtains documentation from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect that the tree presents a danger to persons or property.
- (2) A local government may not require a property owner to replant a tree that was pruned, trimmed, or removed in accordance with this section.
- (3) This section does not apply to the exercise of specifically delegated authority for mangrove protection pursuant to ss. <u>403.9321-403.9333</u>.

Palms should be fertilized four times per year in the months of February, May, August, and November. Fertilizer to be a granular "Palm Special" 8-2-12+4mg product, with at least 50% of the nitrogen and potassium in the slow-release form, preferably sulfur-coated. Fertilizer mix shall also contain micronutrients, specifically magnesium (kieserite, at least 3%), manganese sulfate (at least 1%), chelated iron (Trachelene, at least 1%), and trace amounts (less than 1%) of boron (boric acid), copper sulfate, and zinc sulfate.

### **Limit of Observations**

There are many factors that may contribute to limb or total tree and palm failure. Factors include, decay (in the trunk, crown or branch junctions), extensive damage to branches leading to decay, poor branch taper, included bark, root rot/decay. Not all these symptoms are visible i.e. internal decay; of these some external symptoms may indicate the presence of dead internal wood but not the existence or extent of decay.

The most solid looking piece of timber may be riddled with breaks in continuity of growth caused by insect damage or poor pruning practices many years previous. Trees do not heal; they simply box in the damaged area (CODIT Compartmentalization of Decay in Trees) and continue to expand in girth, completely disguising the fact that the branch or trunk has a hollow or decayed section. Having said this, not all areas of decay, past or present suggests a point of failure. Only sophisticated equipment i.e. Resitograph ® or Tomograph ® can detect the existence of decay or compartments within a trees' branch or trunk. The use of this highly technical equipment is expensive and is usually required when a dispute over the soundness of a tree part is made. Caution must be practice when using a Resitograph as the method requires drilling through boundary walls within the tree and may in fact contribute to the continuance of the decaying organism.

### **Certification of Performance**

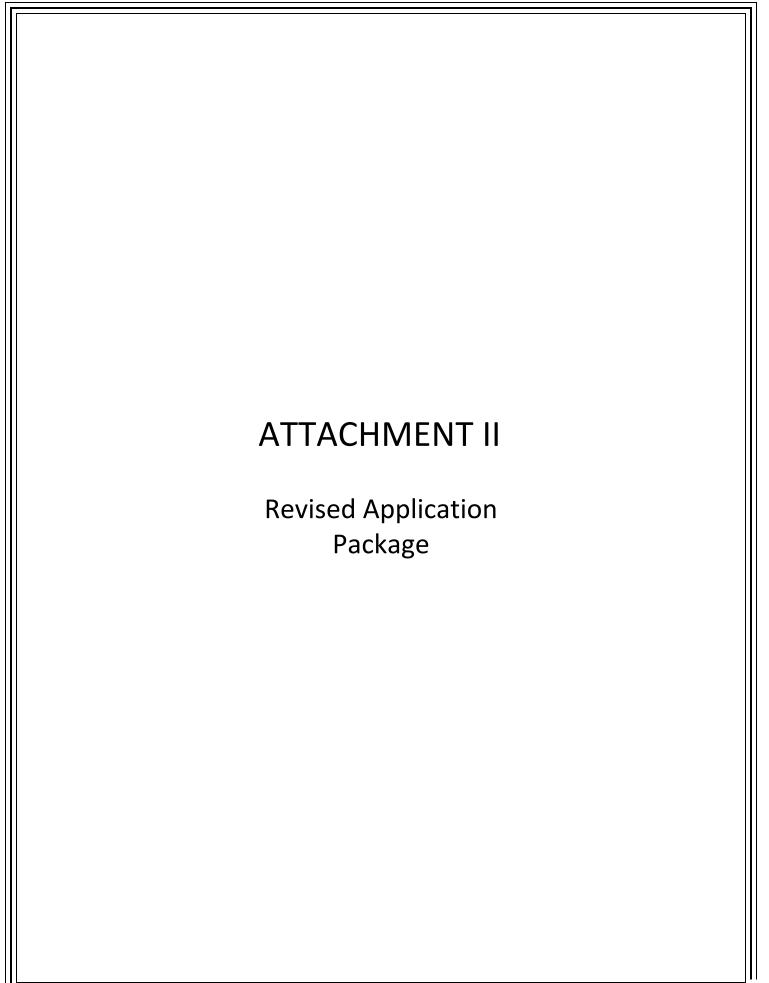
### I, John Allred, certify that:

) Ww

- I have inspected the tree(s)/palm(s) referred to in this report and have stated my findings accurately and to the best of my knowledge.
- I have no current or prospective interest in the tree(s)/palm(s) or the property that is the subject of this report and have no personal interest or bias with respect to the party or parties involved.
- I am not an attorney and the opinions and conclusions stated herein are my own and are based on current scientific procedures, my 30 years of experience and facts.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of one party or any other party nor upon the results of the assessment, the attainment of stipulated results or the occurrence of any subsequent events.
- Arborists are tree and palm specialists who use their education, knowledge, training and
  experience to examine, recommend measures to enhance the beauty and health of trees
  and palms, and attempt to reduce the risk of living near them. Clients may choose to
  accept or disregard the recommendations of the arborists, or to seek additional advice.
- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees/palms are living organisms that fail in ways we do not fully understand. Conditions are often hidden within, below ground or are not visible from the vantage point of standing on the ground. Arborists cannot guarantee that a tree/palm will be healthy, safe or adequately protected under all circumstances or for a specified period of time. Likewise, remedial, protective and mitigating treatments and recommendations cannot be guaranteed.

I further certify that I'm a member in good standing with the International Society of Arborists and an ISA Certified Arborist, FL-1252A

John W. Allred Consulting Arborist ISA, Certified Arborist # FL-1252A





2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only)

### **GENERAL APPLICATION**



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriationactive for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer),

Documents and forms can be accessed on the City's website at

http://www.hollyvoodfl.org/Do



APPLICATION TYPE (CHECK ONE	Ξ):			
☐ Technical Advisory Committee	☑ Historic Preservation Board			
☐ City Commission	☐ Planning and Development Board			
Date of Application: 02.27.23				
100011				
Location Address: 1308 Harrison St Hollyw				
	Subdivision:			
Folio Number(s): 5142 14 01 1420				
Zoning Classification:	Land Use Classification:			
Existing Property Use: Residential	Sq Ft/Number of Units: 2,474 sf			
Is the request the result of a violation notice	e? ( ) Yes (x) No If yes, attach a copy of violation			
	ity before? If yes, check al that apply and provide Fi			
Number(s) and Resolution(s):				
☐ Economic Roundtable ☐ Technical A	Advisory Committee  Historic Preservation Board			
☐ City Commission ☐ Planning an	nd Development			
Explanation of Request: Renovation and m	nodification.			
Number of units/rooms: 2	Sq Ft: 3,837 sf			
Value of Improvement: 150,000.00	Estimated Date of Completion: 05/27/2024			
	If Phased, Estimated Completion of Each Phase			
	in Fideou, Estimated Completion of Each Fideou			
Name of Course A Day at Co. REIAN	CPLIRED			
Name of Current Property Owner: BRIAN				
Address of Property Owner: 1308 Harrison S				
	Email Address: bgruber@hey.com			
Name of Consultan Representative/ enant				
As the second of	Telephone:904-525-9188			
Fax: Email Address:				
	e an option to purchase the Property? Yes ( ) No (			
If Yes, Attach Copy of the Contract.				
List Anyone Else Who Should Receive Noti				
	Address: 443 SW 2nd ave Ft Lauderdale 33301			
	Email Address: kyle@bluehorizonengineering.com			
ria van rineven 1/555 0f3	nice or davie it 5.5.5.50 Dia.totalCol@dffal			

### PLANNING DIVISION



2600 Hollywood Boulevard Room 315

File No. (internal use only):

### **GENERAL APPLICATION**

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <a href="https://www.hollywoodfl.org">www.hollywoodfl.org</a>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Brian Stuber	Date: 2/15/2023
PRINT NAME: BRIAN GRUBER	Date:
Signature of Consultant/Representative:	Date:
PRINT NAME: David Van Hoeven	Date:02/16/2023
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
l am the current owner of the described real property and that I am aware o to my property, which is hereby m David Van Hoeven to be my legal representative before the  Committee) relative to all matters concerning this application.	ade by me or I am hereby authorizing
Sworn to and subscribed before me	Brion Guber
this 22 day of February 2023	Signature of Current Owner
MARIA D MONTANEZ Notary Public - State of Florida Commission # HH 278943	Brian Gruber
Notary Public  My Comm. Expires Jun 21, 2026  Bonded through National Notary Assn.	Print Name
State of Florida	
My Commission Expires: Tune 2 (Check One) Personally known to me; OR F	Produced Identification

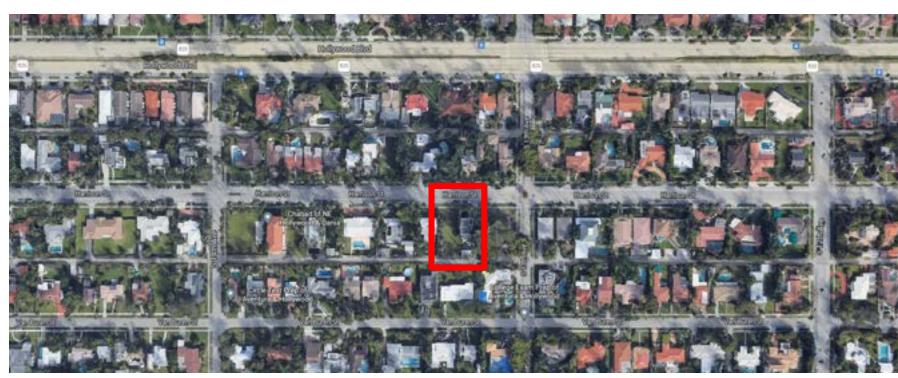
# RESIDENTIAL RENOVATION & ADDITON

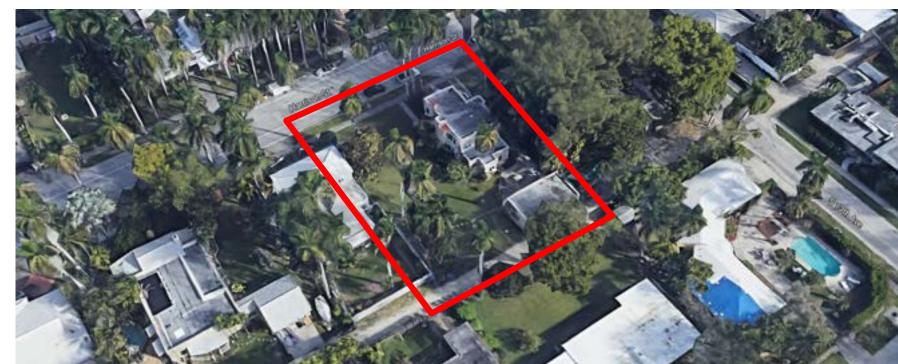
PLANS FOR HISTORIC PRESERVATION BOARD: FOLIO # 5142-14-01-1420

1308 HARRISON STREET HOLLYWOOD, FLORIDA 33019









## SHEET INDEX:

A-0.0.....COVER PAGE / LOCATION

A-0.1.....SITE PLAN

A-0.2.....SITE PHOTOS / STREET PROFILE

A-0.3.....EXISTING LANDSCAPING PLAN

A-0.4....LANDSCAPING PLAN

A-0.5.....DRAINAGE PLAN

A-0.6.....DEMO PLAN

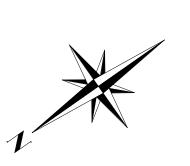
A-1.0.....FIRST FLOOR PLAN

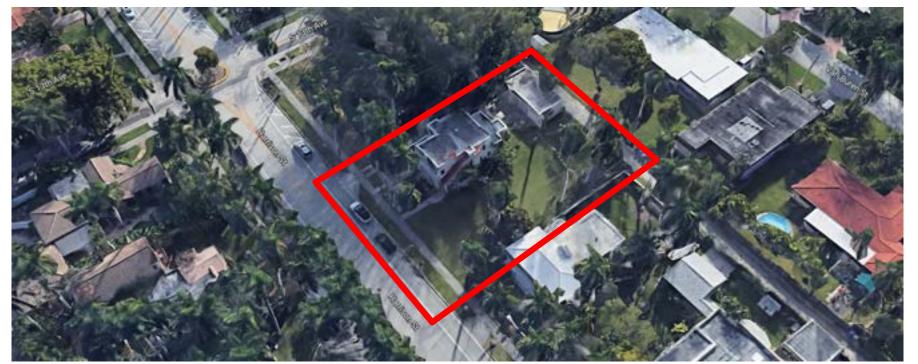
A-1.1.....SECOND FLOOR PLAN

A-2.0.....EAST & NORTH ELEVATIONS

A-2.1.....WEST & SOUTH ELEVATIONS

A-3.0.....RENDERINGS





 $2 \frac{\text{VICINITY / LOCATION MAP}}{1" = 50'-0"}$ 



ENGINEE

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301

P: 954-420-8225
E: Kyle@bluehorizonengineering.com

ENOVALION & ADDITION

PROJECT ADRESS 1308 HARRISON S

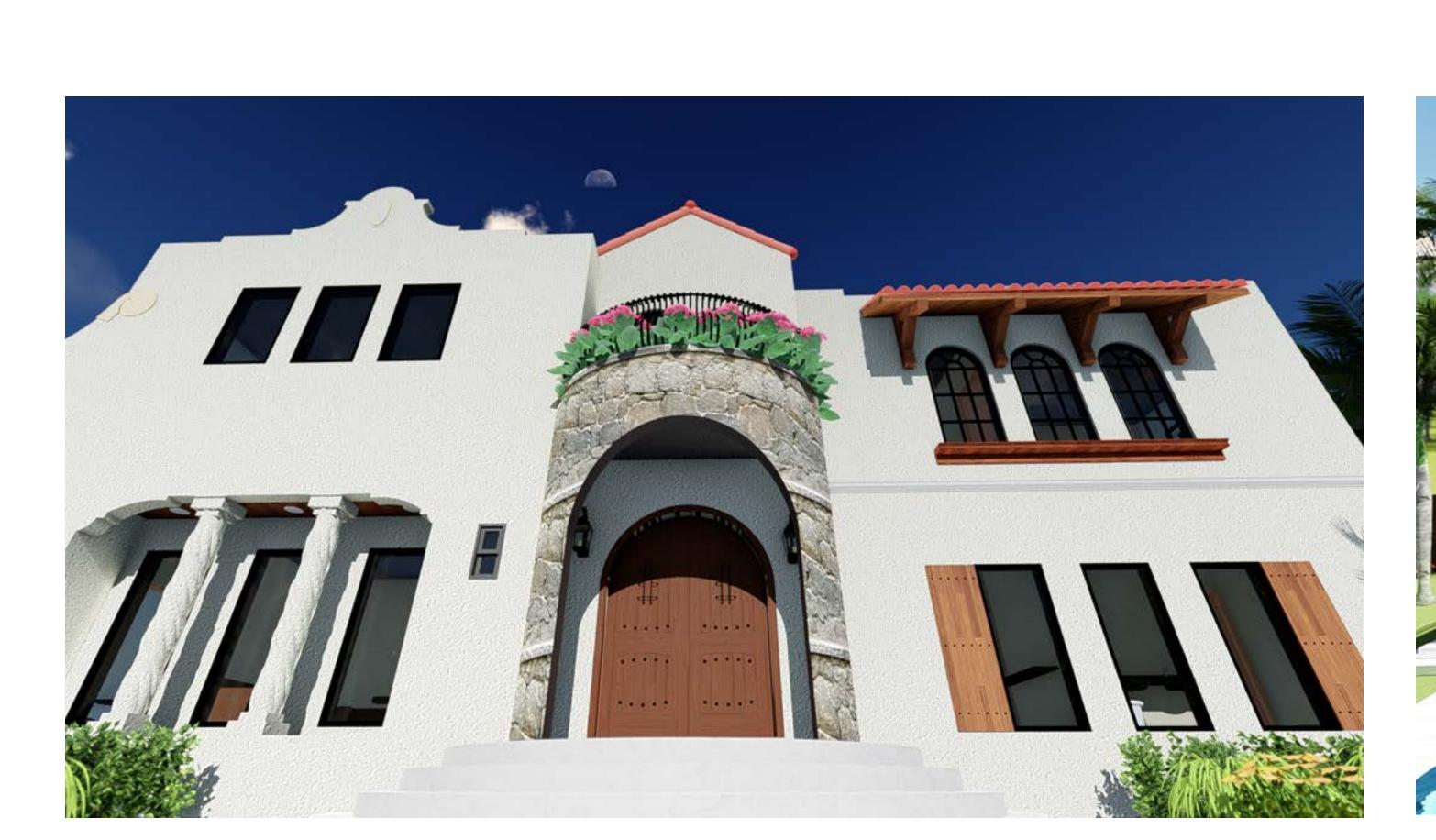
No. Description Date

CLIENT: Total
Construction

Drawn by FJN
Designed by KM
Checked by KM
PROJECT NUMBER:
220812











### ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com

33019

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HOLLYWOOD

**ADDITION** 

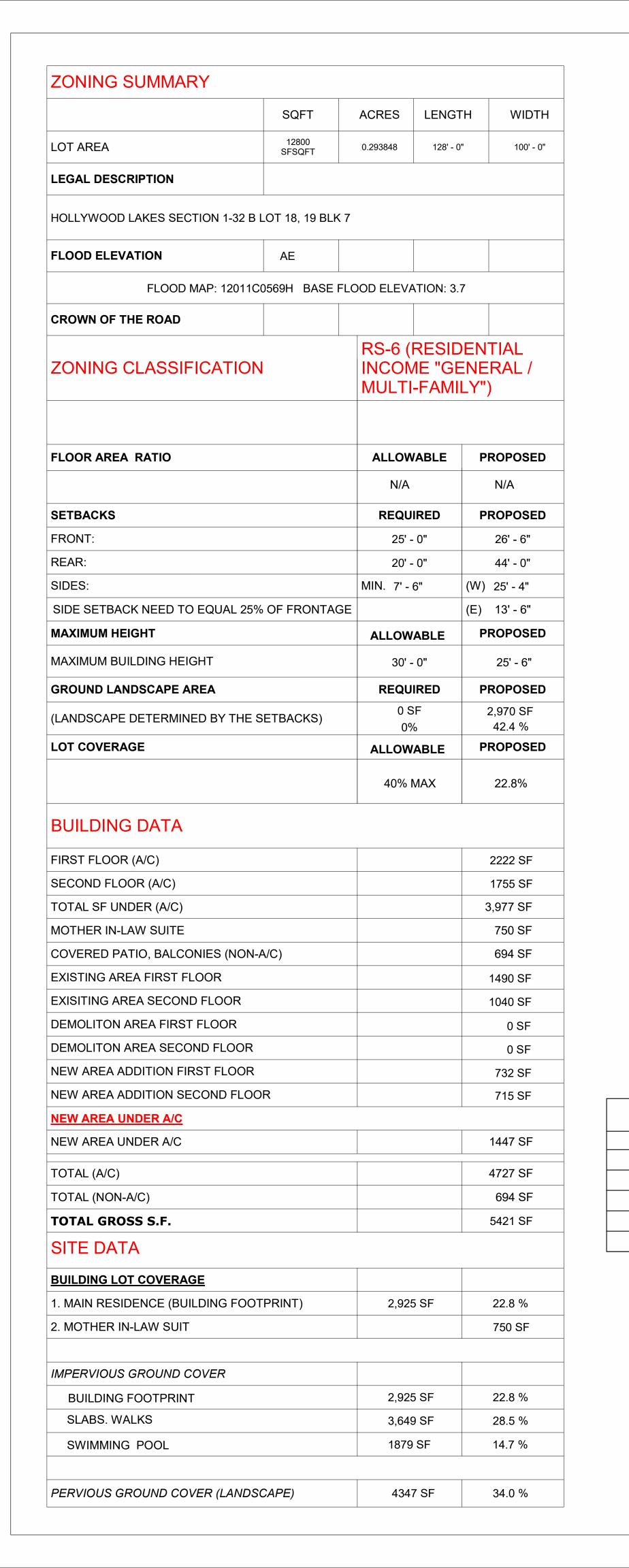
PROJECT ADRESS 1308 HARRISON STRE Description

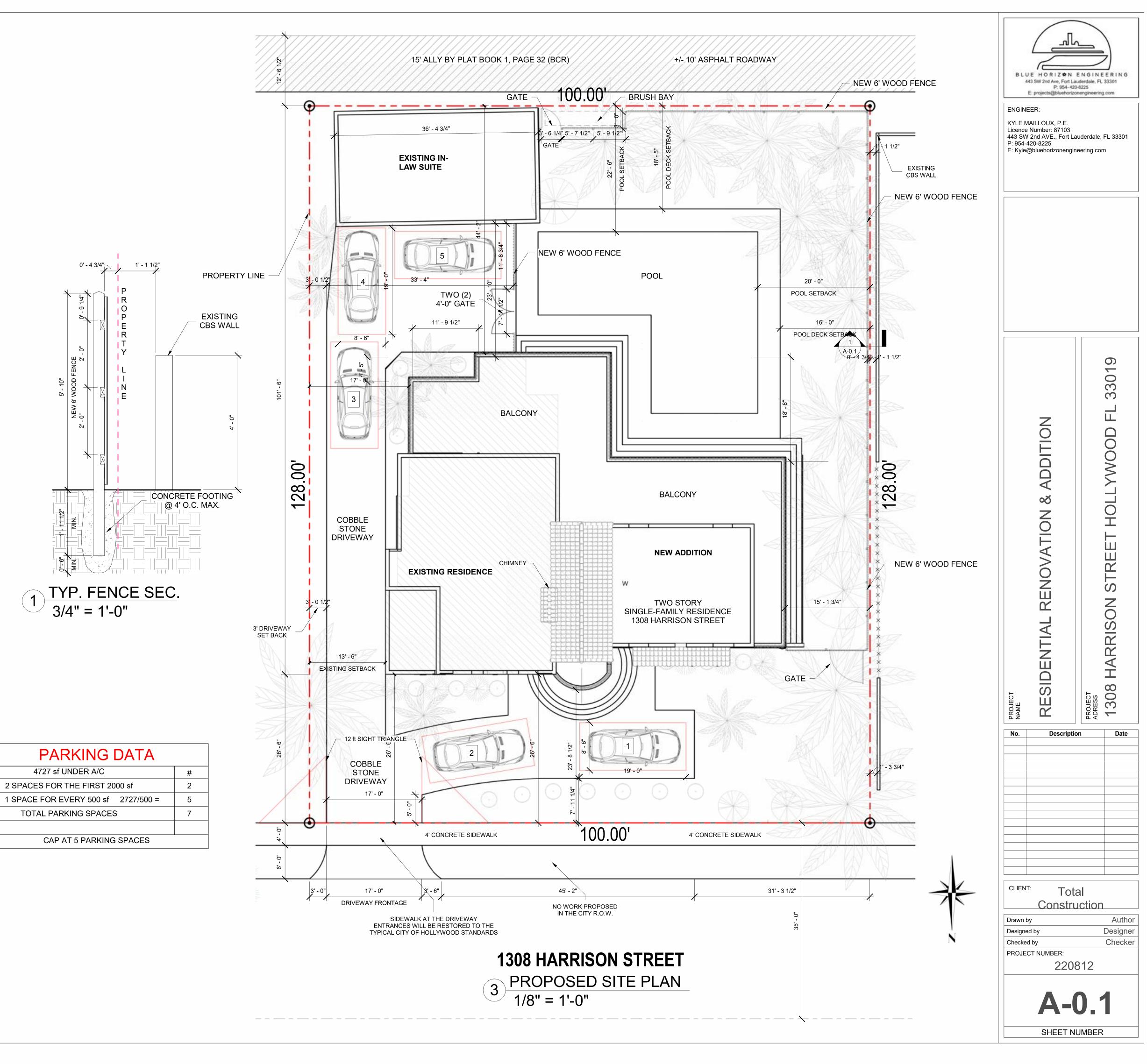
Total CLIENT:

Construction Author Designer Designed by Checker

Checked by PROJECT NUMBER:

220812







ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com

**ADDITION** 

33019

RENOVATION RESIDENTIAL

PROJECT ADRESS 1308 HARRISON STRE

Date Description

Total CLIENT: Construction

Designed by

Checked by PROJECT NUMBER:

220812

SHEET NUMBER





1318 Harrison Street

1318 Harrison Street

1300 Harrison Street

1308 Harrison Street

13' - 6"

12' - 1"

1308 Harrison Street

100'

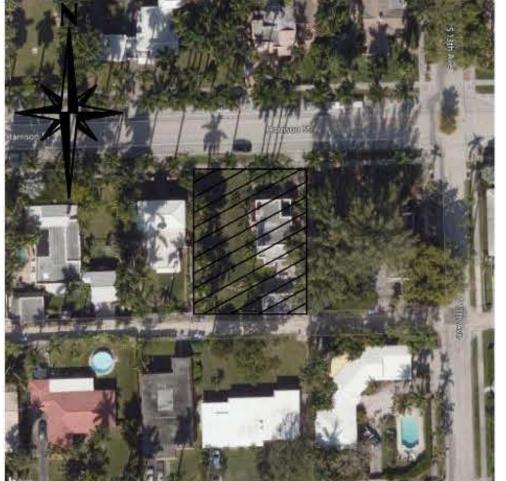
1 STREET PROFILE 1/8" = 1'-0"

1300 Harrison Street

Author

Designer

Checker



COOPERATIVE TITLE AGENCY OF FLORIDA, INC. Where good "deeds" are donel 9700 Griffin Road Cooper City, FL 33328 954-392-9994



1308 Harrison Street Hollywood, Florida 33019

<u>National Flood Insurance</u> Community Panel: 12011 C 0569 H Flood Zoné: X Base Flood Elevation: N/A Firm Date: 08/18/2014

Survey Date: 12/14/2020 Job Number: 20–2184 Order Number:

a. Added Trees 05/17/2023

Legal Description
Lot 18 & 19 Block 7 of HOLLYWOOD LAKES SE4CTION 1, according to the map or plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County,

Tree #	Species	±Dia @ Breast	±Height	±Canopy Dia
1	Palm	20*	70'	20'
2	Palm	20*	70'	20'
3	Palm	20*	70'	20'
4	Palm	20*	70'	20'
5	Palm	20*	70'	20'
6	Palm	20*	70'	20'
7	Palm	20*	70'	20'
8	Tree	16"	35'	25'
9	Palm	22*	70'	20'
10	Palm	20"	70'	20'
11	Palm	20"	55'	20'
12	Palm	20"	55'	20'
13	Palm	20*	70'	20'
14	Tree	5"	12'	12'
15	Tree	5"	12'	22'
16	Palm	10*	24'	18'
17	Palm	10*	30'	18'
18	Palm	12*	40'	24'
19	Palm	12*	40'	18'

Certified to:
Keith Burza and Tamara Townsend, husband and wife US Bank N.A., Its Successors And/Or Assigns As Their Interest May Appear Cooperative Title Agency of Florida, Inc. Old Republic National Title Insurance Company

This is a Boundary survey.
Legal description used for this survey was provided by others.
This Survey has been prepared for the exclusive use of the entities named hereon and do not extend to any unnamed parties.

-No title policy, title commitment, abstract, or certificate of title was available; therefore easements and other matters of record may not be reflected in this survey. Obtain current title work and verify easements before constructing improvements -Bearings, if any, shown hereon are based on Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

-All dimensions and directions shown hereon are in substantial agreement with record values unless otherwise noted.

-Due to varying construction standards, house dimensions are approximate.

-All ties to property line are perpendicular to it, unless otherwise noted. -In all cases dimensions shall control location over scaled positions.

-Elevations, if shown, are based of NAVD 88.

-Benchmark No. Elevation: feet, located at This survey does not determine or imply ownership.

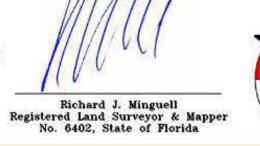
-Underground improvements and utilities were not located.

-Not valid without the signature & raised seal of a Florida licensed surveyor and mapper.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE FOR THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUES.

No part of this drawing may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other systems without the prior written permission of R. Minguell Land Surveyors. Copies of this plan without an original signature and impression seal are not valid.

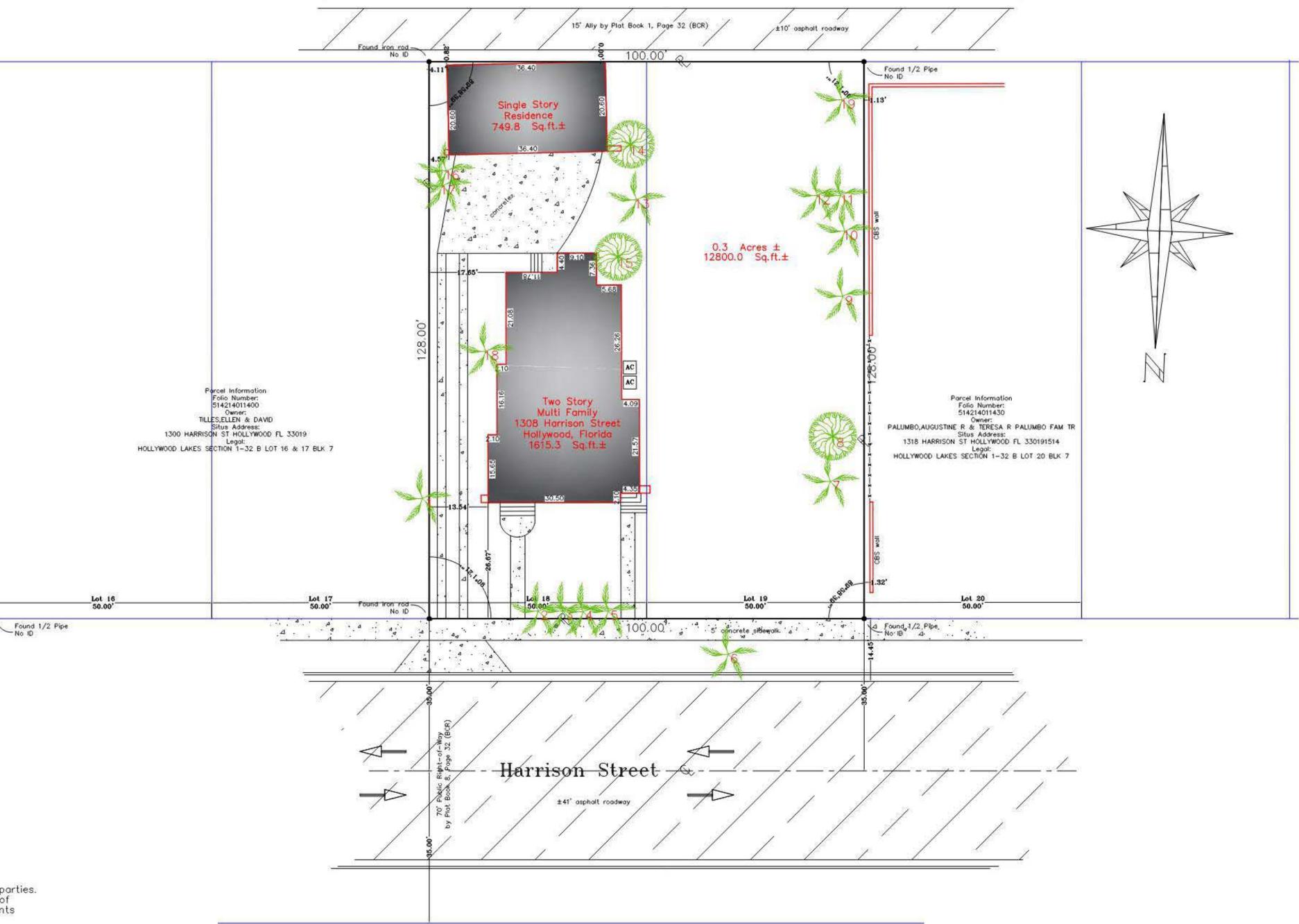




## Minguell, Inc.

Land Surveyors & Planners L.B.7272 954-298-8935 Minguell@bellsouth.net RMinguell.com 591 S.W. 112 Avenue Plantation, Florida 33325

## SURVEY MAP SCALE: 1"= 20"



BLUE HORIZON ENGINEERING 443 SW 2nd Ave, Fort Lauderdale, FL 33301 P: 954-420-8225

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301

E: Kyle@bluehorizonengineering.com

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33019

HOLLYWOOD

HARRISON

R Description Total

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Construction

Designer Designed by Checker Checked by PROJECT NUMBER:

Property Line

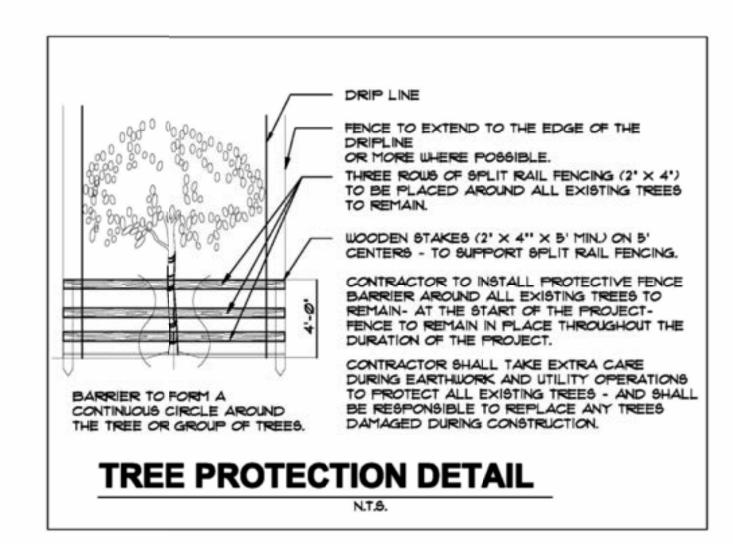
Center Line

Existing Elevation

220812

### NOTE:

TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD

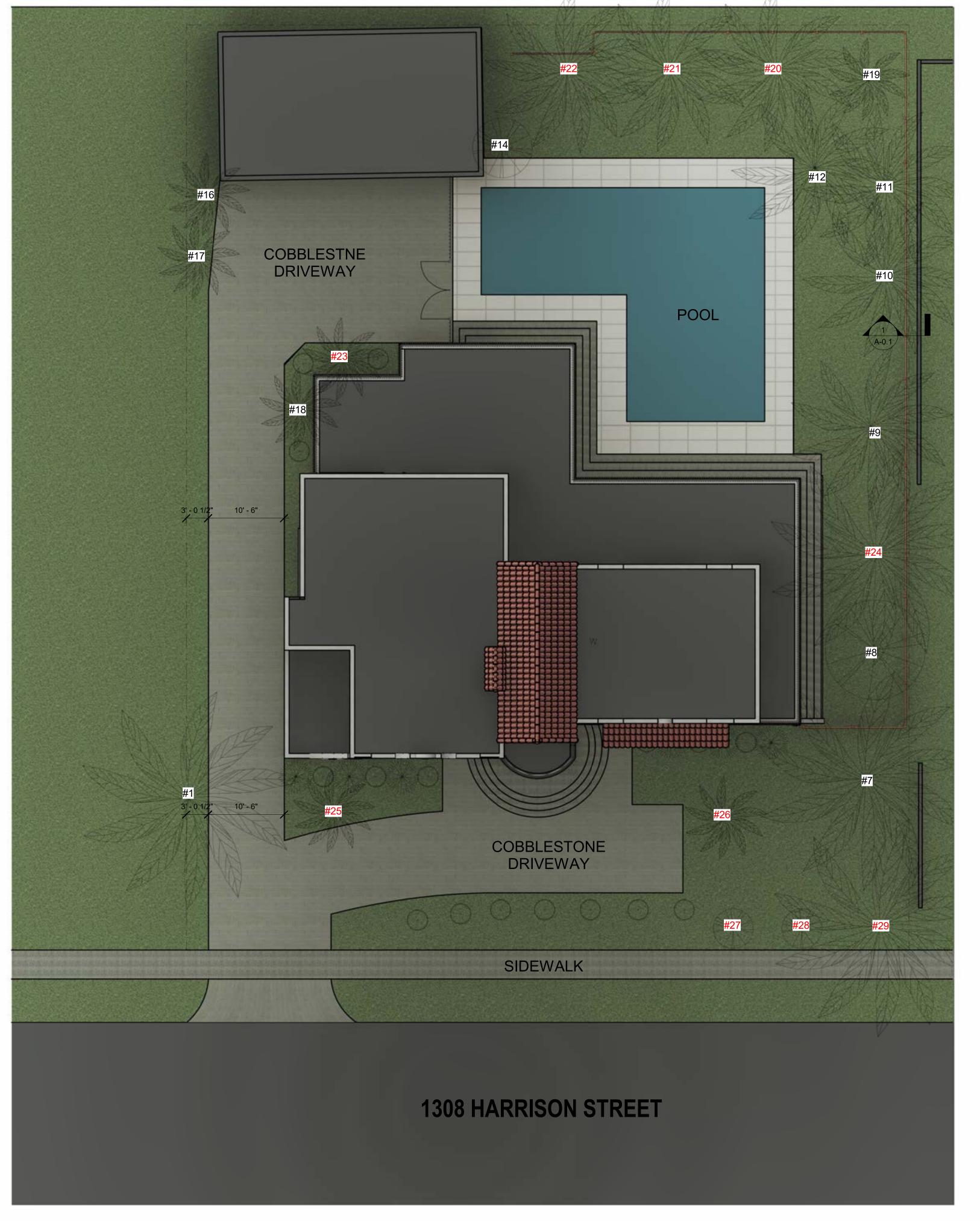


CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES AND PALMS				
2	1	Roystonea Regia	Royal Palm	60' OA. HT.
3	1	Roystonea Regia	Royal Palm	60' OA. HT.
4	1	Roystonea Regia	Royal Palm	60' OA. HT.
5	1	Roystonea Regia	Royal Palm	60' OA. HT.
6	1	Roystonea Regia	Royal Palm	60' OA. HT.
7	1	Roystonea Regia	Royal Palm	60' OA. HT.
8	1	Psidium Cattleyanum	Stawberry Guava Tree	4" dbh, 20' OA, 20' SPR.

#### **EXISTING TREE & PALM REMOVAL LIST** CODE QTY BOTANICAL NAME COMMON NAME **SPECIFICATIONS** TREES AND PALMS 60' OA. HT. 1 Roystonea Regia Royal Palm Roystonea Regia Royal Palm 60' OA. HT. Roystonea Regia Royal Palm 60' OA. HT. 25' OA. HT. Ravenala Madagascariensis Travelers Palm Royal Palm 60' OA. HT. Travelers Palm 25' OA. HT. Ravenala Madagascariensis 25' OA. HT. Travelers Palm Ravenala Madagascariensis Ceiba Speciosa Silk Floss Tree 5.5" dbh, 14' OA, 6' SPR. Stawberry Guava Tree 4" dbh, 20' OA, 20' SPR. Psidium Cattleyanum 29 1 Psidium Cattleyanum Stawberry Guava Tree 4" dbh, 20' OA, 20' SPR.

2

PROPOSED TREE & PALM LIST





ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301

P: 954-420-8225
E: Kyle@bluehorizonengineering.com

RESIDENTIAL RENOVATION & ADDITION

PROJECT
ADDITION

1308 HARRISON STREET HOLLYWOOD FL 330

No. Description Date

CLIENT: Total
Construction

Drawn by FN
Designed by KM
Checked by KM
PROJECT NUMBER:
220812

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE

APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN

ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND **EXCAVATION IN** 

COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION.

CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK.

ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY

THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS

WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND

NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

# ALWAYS CALL 811 TWO FULL BUINESS DAYS BEFORE

### GENERAL CONST. NOTES

- THE PURPOSE OF THE NATURAL GRADE IS TO PROVIDE FLOOD PROTECTION THROUGH PERIODIC INUNDATION. ANY IMPROVEMENTS, MATERIALS OR LANDSCAPING PLACED WITHIN THE NATURAL AREA MAY BE SUBJECT TO DAMAGE
- FROM THE PERIODIC INUNDATION. PERIMETER AND ROADWAY SWALES AND CURVETS SHALL BE CONSTRUCTED AND MAINTAINED BY OWNER IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE AND SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. IF A TEMPORARY OBSTRUCTION IS UNAVOIDABLE, OWNER SHALL OBTAIN APPROVAL FROM THE DISTRICT FOR THE TEMPORARY OBSTRUCTION.
- . DURING THE IMPROVEMENT OF THE PROPERTY FROM LAND IN ITS NATURAL CONDITION TO DEVELOP LAND, OWNER MAY BE REQUIRED TO IMPROVE THE SWALES BETWEEN THE PROPERTY AND THE NEAREST DISTRICT CANAL/CULVERT
- . PLACEMENT OF ANY PERMANENT MATERIAL OR IMPROVEMENT WITHIN DISTRICT'S EASEMENTS, SWALES, AND THE NATURAL AREA MAY BE PROHIBITED. SUCH PLACEMENT IS SUBJECT TO DISTRICT REVIEW, APPROVAL, AND/OR PERMIT IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTIVE IN USE AT THE TIME PLACEMENT IS TO TAKE PLACE.

### P.A.I.D STATEMENT NOTES.

FINISHED GRADE OF TURF/SOD SHALL BE 2" BELOW EDGE OF PAVEMENT

ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTION AND SHALL BE RESPONSIBLE FOR THE SAME. . ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCT. BY THE CONTRACTOR AND/OR SUB-CONTRACTOR CONTRACTOR AND/OR SUB-CONTRACTOR

2. CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN

- SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- I. SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.

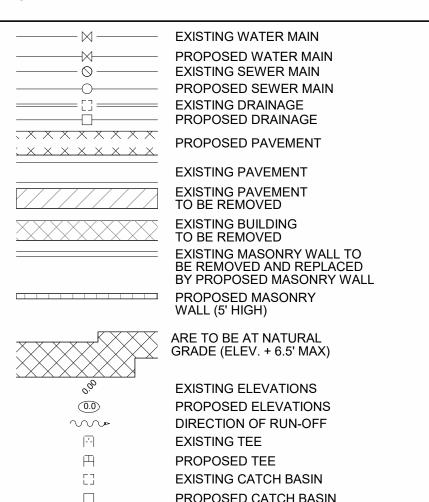
DTL - 000

5. MAXIMUM SLOPE SHALL NOT EXCEED 4.(H):1(V). 6. CONTACT P.AI.D. DISTRICT MANAGER PRIOR TO INSTALLATION OF CULVERT AND FINAL GRADING OF PROPERTY.

### **NOTES**

SCALE: NTS

SCALE: NTS

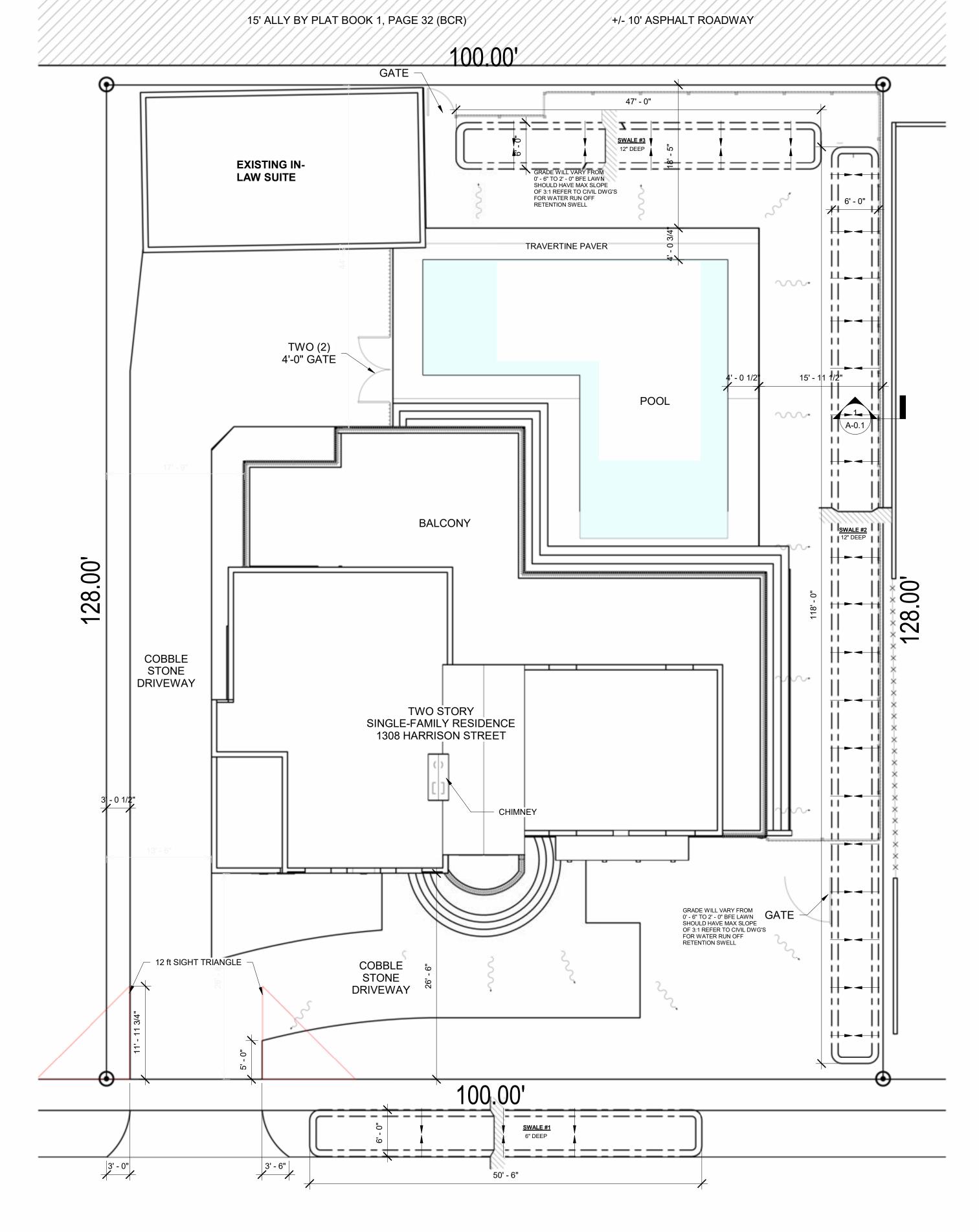


PROPOSED CATCH BASIN EXISTING VALVE PROPOSED VALVE

**EXISTING MANHOLE** PROPOSED MANHOLE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT

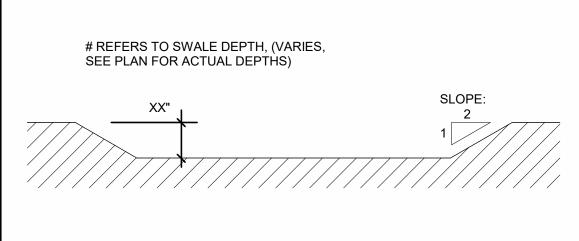
DENOTES BACTERIOLOGICAL SAMPLING POINTS **LEGENDS** 

DTL - 000



### **1308 HARRISON STREET**

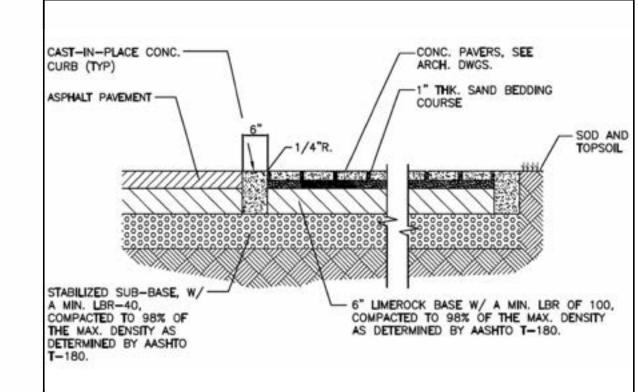
PROPOSED DRAINAGE PLAN



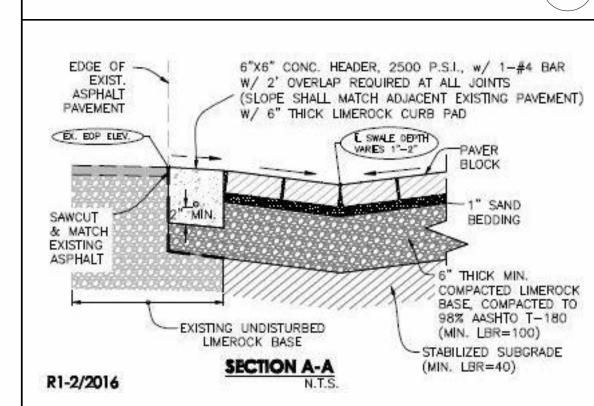
## TYP. SWALE CROSS SECTION 6

DURING CONSTRUCTION, DRAINAGE INLETS ON SITE AND INLETS ADJACENT TO THE SITE IN THE RIGHT OF WAY TO BE PROTECTED USING GUTTER BUDDY INLET PROTECTORS. INLETS TO BE CLEANED REGULARLY. GUTTER BUDDIES SHALL BE PLACED SO THEY DO NOT CAUSE A FLOOD BY COMPLETELY BLOCKING THE STORM INLET.

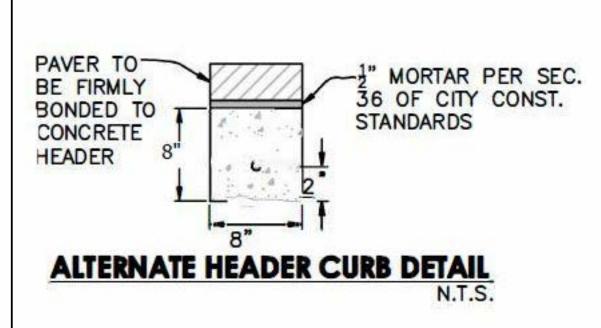
### NOTES SCALE: NTS



### COBBLE STONE PAVERS DTL - 000



### SECTION C-C DTL - 000 9



**HEADER CURB DETAIL** SCALE: NTS

BLUE HORIZON ENGINEERING 443 SW 2nd Ave, Fort Lauderdale, FL 33301 P: 954-420-8225 E: projects@bluehorizonengineering.com

### ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd Ave., Fort Lauderdale, FL 33301

### P: 954-420-8225 E: Kyle@bluehorizonengineering.com

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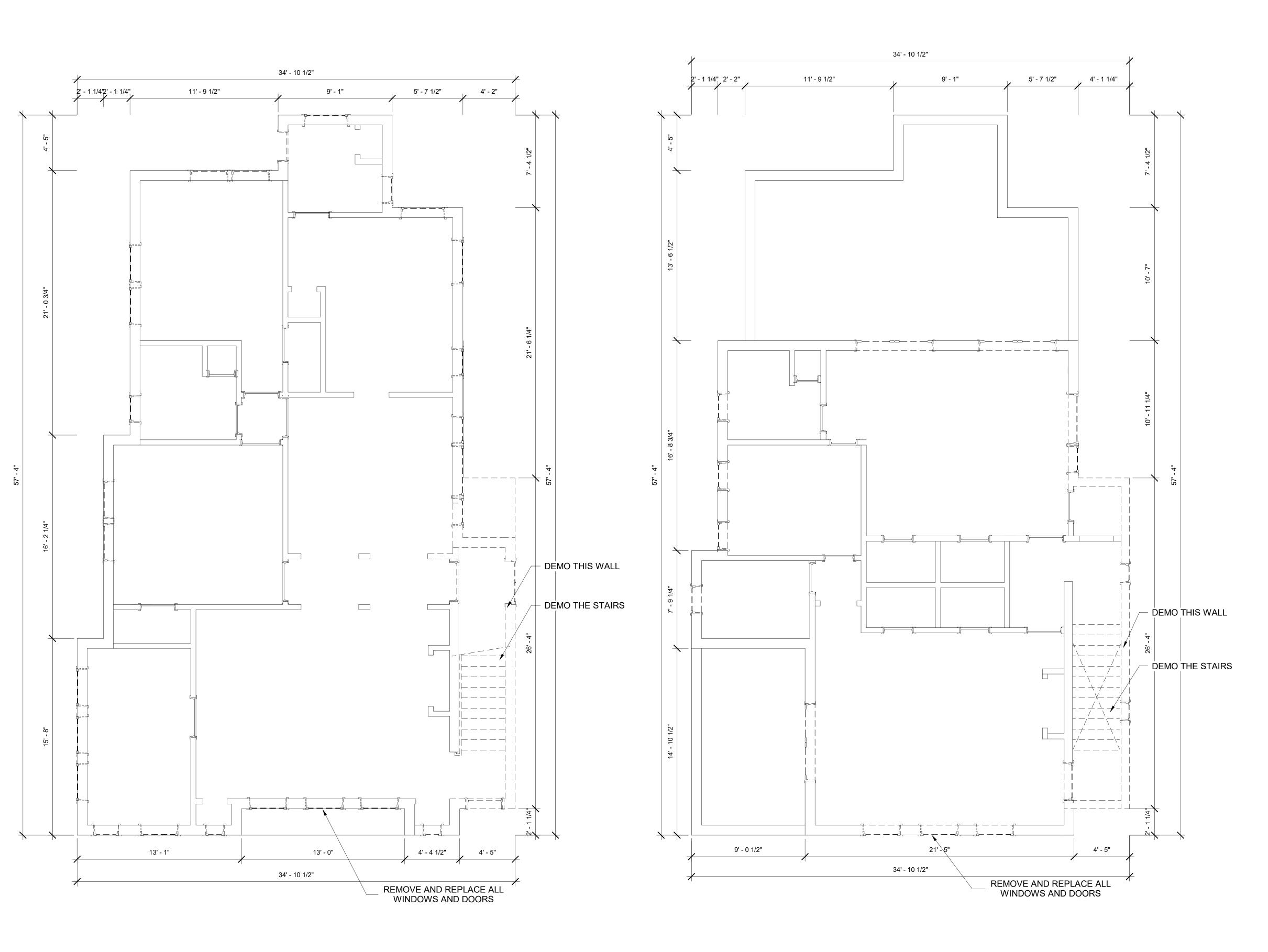
330

HARRISON . И SID 308 R Description Date

Total CLIENT: Construction

Drawn by Author Designer Designed by Checker Checked by PROJECT NUMBER:

220812



1 EXISTING FIRST FLOOR 1/4" = 1'-0"

BLUE HORIZON ENGINEERING 443 SW 2nd Ave, Fort Lauderdale, FL 33301 P: 954-420-8225 E: projects@bluehorizonengineering.com ENGINEER: KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PREFORMING A WALK THROUGH OF THE PROJECT TO IDENTIFY POSSIBLE CRITICAL ITEMS NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL/RELOCATION PRIOR TO SUBMITTING A BID TO THE OWNER. CUT, REMOVE, PATCH, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATIFACTORY CONDITION. CONTRACTOR IS TO PROTECT ALL CONCEALED UTILITIES, ASSURE PROPER IDENTIFICATION OF ALL UTILITIES AND CAP AS REQUIRED. DEMOLISHION & REPAIR WORK MAY ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK IN VARIOUS AREAS WITHIN THE SCOPE. IT MAY REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, COMMUNICATION, DATA, ETC.) ANY WORK IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK SHALL BE ALL-INCLUSIVE, PROVIDING ALL UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RETORE THE AREA TO FULLY OPERATIONAL CONDITIONS. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AS REQUIRED, TO MATCH ADJACENT SURFACES. COORDINATE WITH OWNER PRIOR TO DEMOLITION FOR ALL ITEMS WHICH WILL REQUIRE RELOCATION, STORAGE OR TURN OVER TO OWNER FOR ALL MATERIAL REMOVED FROM EXISTING CONSTRUCTION. PLANS SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO COMMENCING WORK FOR ALL PHASING, STAGING, CONSTRUCTION AREAS AND MAINTENANCE OR REQUIRED CLEARANCES FOR OPERATIONS, EXITING AND ACCESS AT THE EXITING SITE IN ACCORDANCE WITH ALL APPLICABLE CODES. PRIOR TO START OF WORK, CONTRACTOR SHALL CONFIRM ALL EXISITNG CONDITIONS. CONFIRM ALL UTILITIES. SHOULD ANY PROBLEMS BE EVIDENT, NOTIFY THE OWNER AND ARCHITECT FOR DIRECTION. THE FIRE ALARM AND COVERAGE FOR THE SURROUNDING AREAS SHALL REMAIN IN OPERATION AT ALL TIMES. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IF ANY DISCREPANCIES ARE FOUND. ALL AREAS OF DEMOLITION OPERATIONS SHALL BE PROPERLY POSTED WITH SIGNS WARNING OF DANGER. SUFFICIENT WATCH PERSONS SHALL BE PROVIDED TO WARN WORKERS OF IMPENDING DANGERS, AND ALL UNAUTHORIZED PERSONS SHALL BE EXCLUDED FROM PLACES WHERE DEMOLITION IS IN PROGRESS. 13. ALL TREES & STUMPS DESIGNED FOR RELOCATION OR REMOVAL TO REMOVE ENITE ROOT STRUCTURE AND SHALL BE EXCAVATED AS REQUIRED. 14. TREE STUMPS SHALL BE REMOVED TO THEIR FULL DEPTH. ROOTS 3" AND LARGER SHALL BE REMOVED TO A DEPTH OF 2 ft BELOW FINISHED GRADE. STUMPS SHALL BE LEGALLY DISPOSED OF OFF SITE. CONTRACTOR TO MAINTAIN SAFE INGRESS AND EGRESS TO THE SITE AT ALL TIMES. COORDINATE WITH THE OWNER FOR PHASING. CONTRACTOR SHALL COORDINATE WITH OWNER FOR RELOCATION OF ANY EXISTING UTILITIES. REMOVE ALL FOUNDATIONS AND UNDERGROUND UTILITIES. CAP AND TERMINATE AS REQUIRED. 17. CONTRACTOR TO COORDINATE SUVEY, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION DRAWINGS FORUTILITY CONNECTIONS, TRENCHING, AND REQUIRED DEMOLITION. COORDINATE WITH OWNER FOR ALL TIE-INS AND SYSTEMS CONNECTIONS. CONTRACTOR TO COORDINATE AND PROVIDE MAINTENANCE OF TRAFFIC OPERATIONS PLANS (WITH ALL APPLICABLE MUNICIPAL APPROVALS) FOR ALL TEMPORARY SIDEWALK/ROADWAY/UTILITES WORK TO MAINTAIN EGRESS

CONTRACTOR TO REVIEW ALL EXISTING PARTIALLY BUILT WALL AND LOOK FOR DETERIATION OF REINFORCED STEEL, CONCRETE & MASONRY. CHANGE ALL RUCTED REBARS TIES. REMOVE ALL DEBRIS FROM CMU CELLS AND REMOVE RUST OF STEEL DOWELS. ANY EXISITING DOWEL TO BE REUSED SHALL HAVE MIN. 94% OF THE ORIGINAL SECTION AREA & MIN. 96% OF THE DIAMETER OTHERWISE REPLACE

AND ACCESS FOR THE SITE DURING CONSTRUCTION AND COORDINATE REPLACEMENT OF TEMPORARY SIDEWALK PRIOR TO COMPLETION OF

DRILLING & SETTING IN EPOXY. A NEW ONE PER STRUCTURE DRAWINGS INSTRUCTIONS. CUT ALL EXISTING DOWLS THAT WILL NOT BE USED, GRIND BELOW SURFACE,

CLEAN AND COVER WITH EPOXY MORTAR. EXISTING FOOTS MAY REMAIN AND BE CONNETED TO NEW PER STRUCTURAL

**DEMOLITION NOTES** 

CONSTRUCTION. SEE CIVIL DRAWINGS.

-DTL - 000  $\left(3\right)$ --- EXISTING EXTERIOR 8" CMU WALLS TO DEMOLISH. (SEE ———— PARTITION DETAILS TYPES FOR ADDITIONAL INFORMATION) EXISTING INTERIOR PARTITION WALLS TO BE DEMOLISHED. (SEE NEW PARTITION DETAILS TYPES FOR ADDITIONAL **INFORMATION**) EXISTING DOORS TO BE DEMOLISHED. (SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION)

EXISTING WINDOWS TO BE DEMOLISHED/ REPLACED/ BLOCKED. (SEE WINDOW SCHEDULE FOR ADDITIONAL

INFORMATION)

**LEGENDS** 

SCALE: NTS

SCALE: NTS

DTL - 000

Total Construction

REN

RESIDEN

Description

Author Drawn by Designer Designed by Checker Checked by PROJECT NUMBER: 220812

30

3

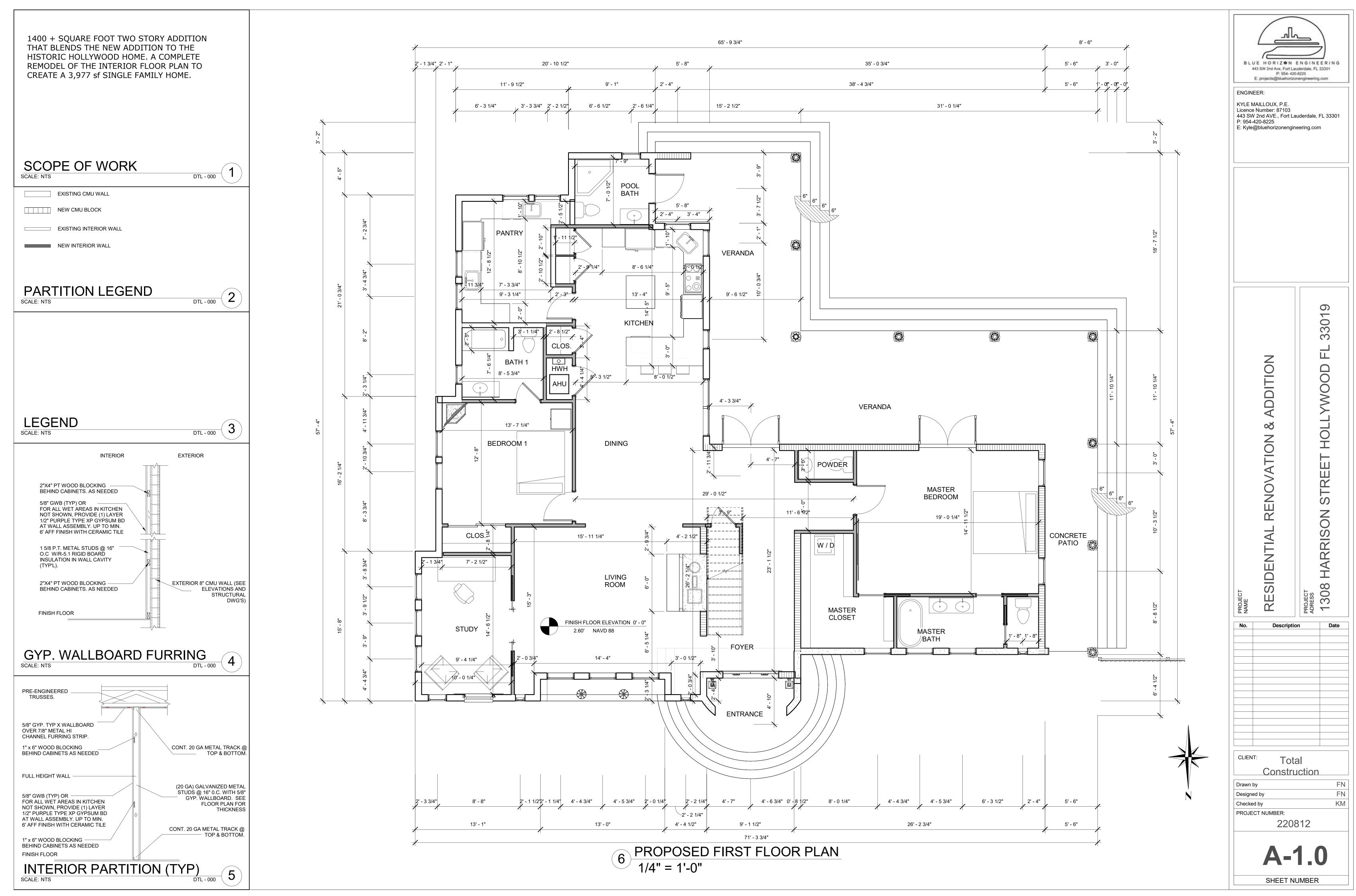
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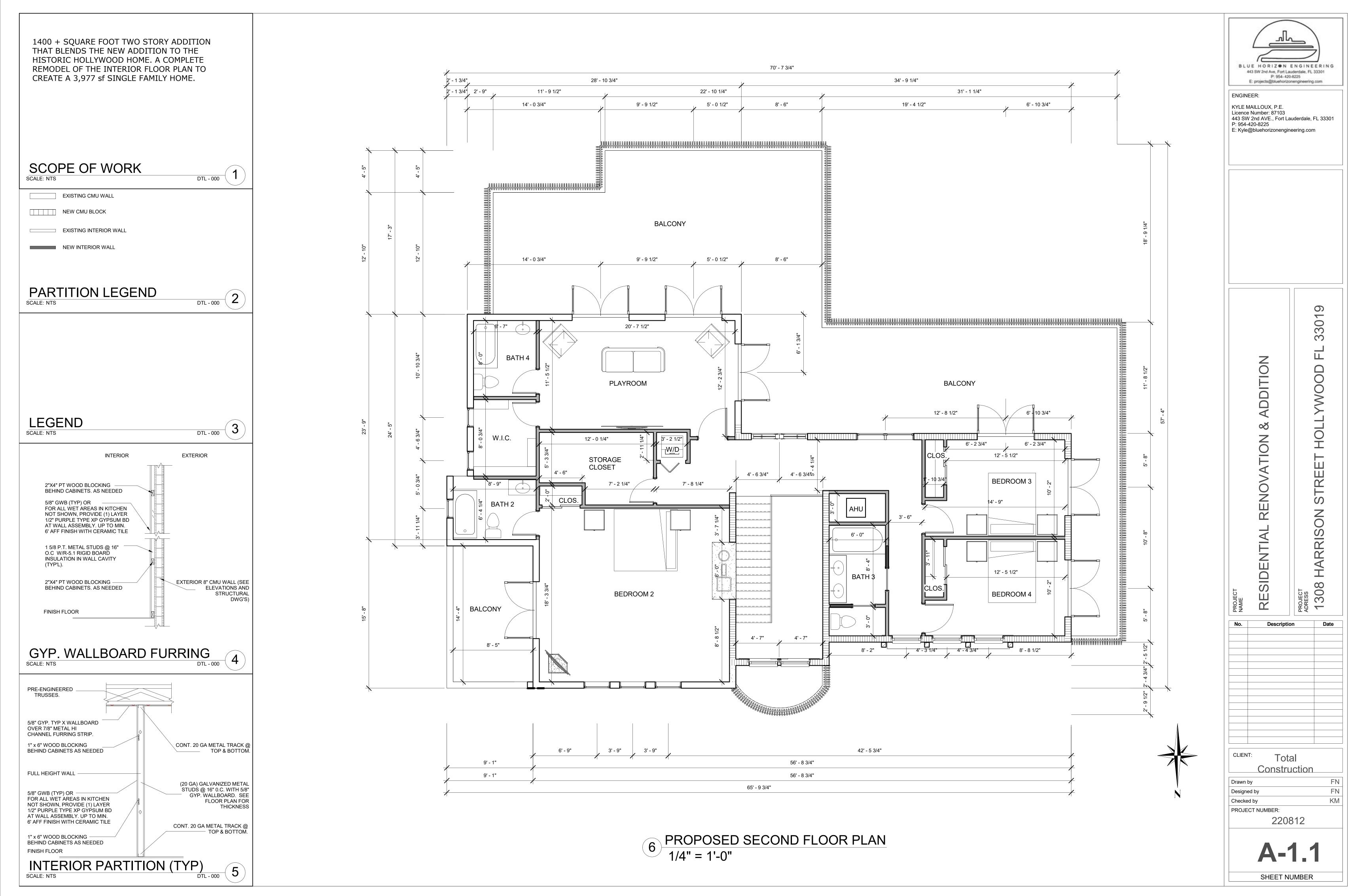
PROJECT ADRESS 1308 HARRISON S

Date

SHEET NUMBER

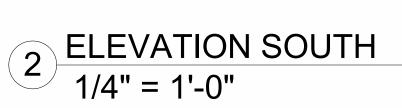
2 EXISTING SECOND FLOOR













ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com

**ADDITION** Š RENOVATION 33019

HOLLYWOOD FL

PROJECT ADRESS 1308 HARRISON STRE

RESIDENTIAL

Date Description CLIENT: Total Construction AG KM Designed by KM Checked by PROJECT NUMBER: 220812



1 ELEVATION EAST 1/4" = 1'-0"



2 ELEVATION WEST 1/4" = 1'-0"



ENGINEER:

KYLE MAILLOUX, P.E. Licence Number: 87103 443 SW 2nd AVE., Fort Lauderdale, FL 33301 P: 954-420-8225 E: Kyle@bluehorizonengineering.com

**ADDITION** Š

33019

HOLLYWOOD FL

RENOVATION PROJECT ADRESS 1308 HARRISON STRE RESIDENTIAL

Description Date CLIENT: Total Construction FN KM Designed by

Checked by PROJECT NUMBER: 220812

SHEET NUMBER

KM

Instr# 117110895 , Page 1 of 2, Recorded 03/10/2021 at 09:11 AM

Broward County Commission Deed Doc Stamps: \$4718.00

1

PREPARED BY: Stacy G. Mager, Esq. SPINK, SHROUDER & KARNS, P.A. 9700 Griffin Road, Cooper City, FL 33328 (954) 392-9994 File No.: 2021-3330

RETURN TO: Kramer. Golden & Brook, P.A. 12000 Biscayne Blvd, Suite 700 Miami, FL 33181 Parcel Identification No.: 51-42-14-01-1420

Griber ay-air

File No.: 2021-3330

### WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 25th day of February, 2021 between Lydia Castillo, a single woman, whose post office address is 1308 Harrison Street, Hollywood, FL 33019, Grantor, to Brian Gruber and Rachel Daniels, husband and wife, whose post office address is 1308 Harrison St, Hollywood FL, Grantees:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Broward, Florida, to-wit:

LOTS 18 AND 19, BLOCK 7, HOLLYWOOD LAKES SECTION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Parcel Identification No. 51-42-14-01-1420

Street Address: 1308 Harrison Street, Hollywood, FL 33019

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenants with the Grantees that the Grantor is lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.



In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS

PRINT NAME:

WITNESS

PRINT NAME: EVELYN HUELLER

Lydia Castillo

STATE OF FLORIDA COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of (\*) physical presence or () online notarization this <u>24</u> day of February, 2021, by Lydia Castillo.

Signature of Notary Public

Print, Type/Stamp Name of Notary

STACY G. MAGER

Notary Public - State of Florida
Commission # GG 274147
My Comm. Expires Dec 26, 2022
Bonded through National Notary Assn.

Personally Known:\_\_\_

OR Produced Identification:

Type of Identification

Produced:

File No.: 2021-3330

ORIVERS

UUMSE

Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



#### LEGAL DESCRIPTION & PROJECT INFORMATION

Project Owner: BRIAN GRUBER

Project Address: 1308 HARRISON STREET, HOLLYWOOD FL 33019

Folio: 5142 14 01 1420

Legal Description: HOLLYWOOD LAKES SECTION 1-32 B LOT 18,19 BLK 7

Zoning classification: RS-6 Land use: Residential

Site Square Footage: 12,800 Sq. FT.

The design intent for this Project is to add a two story addition to an existing (2) two story home while maintaining the historic Spanish architecture of the house. The massing and height of the addition match that of the existing home and the surrounding area. This design is features the following:

- Large pool with deck and balconies
- Columns and arches that match the existing design of the home
- Stucco finish to match existing with dark stucco bands.

The total A/C are of the new house is 4,260 square feet. The house is located on the south side of Harrison St five blocks east of Young's Circle

Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



Planning and Zoning Board

City of Hollywood

2600 Hollywood Boulevard

Hollywood FL, 33022

RE: CRITERIA STATEMENTS FOR CRITERIA FOR HISTORIC PRESERVATION BOARD 1308 HARRISON ST

Dear Planning and Zoning Board,

This firm represents Brian Gruber (the Applicant), owners of the lot located at 1308 Harrison St Hollywood. (Property). Please consider this letter the apllicant's letter of intent in support of an apllication seeking a certificate of appropriateness of design for a new proposed single family residence on such lot mentioned above.

Property: The property is located at 1308 Harrison St Hollywood. The lot is 12,800 square feet in size and is identified by the Broward County Property Appraiser by ID No. 5142 14 01 1420. The property is a an existing two story single family home and the proposed project is a two story, 1,230 square foot addition with a deck, balcony and pool.

Criteria Statement Analysis:

The applicant satisfies the variance criteria delineated in Section 5.5.6.3.2 as follows:

### 1. Integrity of Location

The proposed historic spanish style typology of the proposed addition respects all the zoning setbacks and heights. The design intent includes a large pool deck and balcony for the owner to enjoy an inviting recreational area.

### 2. Setting

The setting and design of the proposed addition compliments the existing style of the home and is compatible with the homes in the area.

### 3. Materials

The proposed residence is structurally designed with cmu block, with the façade materials primarily consisting of stucco finish with decorative stucco bands. The proposed addition incorporates arches and columns that compliment the existing residence. The balconies on the front and side façades provide depth to break up the massing of the addition. The stucco will be painted tan to match the existing and the decorative bands will be gray. All these materials are compatible with the homes in the neighborhood.

Phone: 954-420-8225

Email: sales@bluehorizonengineering.com

Address: 443 SW 2<sup>nd</sup> Ave, Fort Lauderdale, FL 33301



### 4. Workmanship

As this residence is going to be the homeowners long term residence, the intent is to deliver the residence with the best standards available. The workmanship and quality of the construction will meet or exceed the standards in the area from a licensed construction professional.

#### 5. Association

We believe this design intent will adhere to the requirements of the Historic Board in the City of Hollywood.

### 6. Design

The design of the addition compliments the existing house while adding unique elements. The front and side façads match the existing house while also adding balconies and a raised entry to create depth and interesting massing. The historic element of the house is preserved while providing a function and aesthetically please master suite and additional bedrooms.



### John W. Allred Consulting Arborist Country Bills Lawn Maintenance Inc ISA Certified Arborist # FL-1252A 13363 NE 16th Avenue North Miami, Florida, 33161 305.785.0180 JohnAllred22@me.com Miami-Arborist.com



January 23, 2021

This Arborist report/observation was prepared at the request of Brian Gruber and Rachel Daniels. Property address 1308 Harrison Street Hollywood, Florida 33019. The trees and palms were assessed by me on Saturday, January 23, 2021. The purpose of this report was to inspect and document the size, specie, and provide an Arborist's opinion as to the overall condition of the trees and palms.

**Note:** During this assessment, all observations were taken from the ground; there were no technical equipment used or the assistance of laboratory analysis sought.

### **Definitions**

**DBH** = Diameter at Breast Height, Breast height is defined as 4.5 feet (1.37m) above the ground.

**OA** = Overall height

**Spread** = Width

### **Trees and Palms**

- 1. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 2. Guava tree, Psidium guava, less than 1"dbh, 4' oa with a 4' spread. This tree is is in poor condition due to extensive weedeater damage at the base. Recommendation, remove.
- 3. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 4. Golden shower tree, Cassisa fistula. 1.5"dbh, 10' oa with a 6' spread. This tree is is in good condition. Recommendation, remain.
- 5. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 6. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 7. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 8. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 9. Silk floss tree, Ceiba speciosa. 5.5"dbh, 14' oa with a 6' spread. This tree is is in poor condition due to extensive weedeater damage at the base. Recommendation, remove.
- 10. Phoenix roebelenii, 14' OA. This palm is in good condition. Recommendation, remain.
- 11. Phoenix roebelenii, 8' OA. This palm is in fair condition with a curved trunk. Recommendation, remain or remove.
- 12. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 13. Loquat tree, Eriobotrya japonica, This tree is is in fair to good condition due to insect damage chewing on the leaves. Recommendation, remain and treat with insecticide.
- 14. Live oak, Quercus virginiana. 2"dbh, 16' oa with a 4' spread. This tree is is dead due to extensive weedeater damage at the base. Recommendation, remove.

- 15. Royal palm, Roystonea regia, approximately 60° OA. This palm is in good condition. Recommendation, remain.
- 16. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition. Recommendation, remain.
- 17. Mango tree, Mangifera indica. very small planting. Recommendation remain or relocate.
- 18. Royal palm, Roystonea regia, approximately 50' OA. This palm is in good condition. Recommendation, remain.
- 19. Royal palm, Roystonea regia, approximately 50' OA. This palm is in good condition. Recommendation, remain.
- 20. Phoenix reclinata, 35' OA. This palm is in good condition. Recommendation, remain.
- 21. Travelers palm, Ravenala madagascariensis. 25' OA. This palm is in good condition. Recommendation, remain.
- 22. Travelers palm, Ravenala madagascariensis. 25' OA. This palm is in good condition. Recommendation, remain.
- 23. Strawberry guava tree, Psidium cattleyanum. multi leader, 4"dbh, 20' oa with a 20' spread. This tree is is in good condition. Recommendation, remain.
- 24. Jatrophia tree, Jatropha cruces. multi leader 2"dbh, 8' oa with a 8' spread. This tree is is in fair condition. Recommendation, remain.
- 25. Laurel oak, Quercus imbricaria. 2"dbh, 10' oa with a 8' spread. This tree is is in good condition. Recommendation, remain.
- 26. Livistona chinensis, Chinese fan palm: 25' OA. This palm is in good condition. Recommendation, remain.
- 27. Livistona chinensis, Chinese fan palm: 35' OA. This palm is in good condition. Recommendation, remain.
- 28. Royal palm, Roystonea regia, approximately 45' OA. This palm is in good condition but the roots are damaging property, the driveway. Recommendation, remain or remove as this palm **a danger to property** and the owners may decide to avail themselves of their rights under Florida law to have the palm removed. FL statute 163.045.
- 29. Powder puff, Calliandra haematocephala, 2.5"dbh, 16' oa with a 12' spread. This tree is is in good condition. Recommendation, remain.

30. Royal palm, Roystonea regia, approximately 60' OA. This palm is in good condition but the roots are damaging property, the driveway. Recommendation, remain or remove as this palm **a danger to property** and the owners may decide to avail themselves of their rights under Florida law to have the palm removed. FL statute 163.045

### FL Statute 163.045 Tree pruning, trimming, or removal on residential property.—

- (1) A local government may not require a notice, application, approval, permit, fee, or mitigation for the pruning, trimming, or removal of a tree on residential property if the property owner obtains documentation from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect that the tree presents a danger to persons or property.
- (2) A local government may not require a property owner to replant a tree that was pruned, trimmed, or removed in accordance with this section.
- (3) This section does not apply to the exercise of specifically delegated authority for mangrove protection pursuant to ss. 403.9321-403.9333.

Palms should be fertilized four times per year in the months of February, May, August, and November. Fertilizer to be a granular "Palm Special" 8-2-12+4mg product, with at least 50% of the nitrogen and potassium in the slow-release form, preferably sulfur-coated. Fertilizer mix shall also contain micronutrients, specifically magnesium (kieserite, at least 3%), manganese sulfate (at least 1%), chelated iron (Trachelene, at least 1%), and trace amounts (less than 1%) of boron (boric acid), copper sulfate, and zinc sulfate.

### **Limit of Observations**

There are many factors that may contribute to limb or total tree and palm failure. Factors include, decay (in the trunk, crown or branch junctions), extensive damage to branches leading to decay, poor branch taper, included bark, root rot/decay. Not all these symptoms are visible i.e. internal decay; of these some external symptoms may indicate the presence of dead internal wood but not the existence or extent of decay.

The most solid looking piece of timber may be riddled with breaks in continuity of growth caused by insect damage or poor pruning practices many years previous. Trees do not heal; they simply box in the damaged area (CODIT Compartmentalization of Decay in Trees) and continue to expand in girth, completely disguising the fact that the branch or trunk has a hollow or decayed section. Having said this, not all areas of decay, past or present suggests a point of failure. Only sophisticated equipment i.e. Resitograph ® or Tomograph ® can detect the existence of decay or compartments within a trees' branch or trunk. The use of this highly technical equipment is expensive and is usually required when a dispute over the soundness of a tree part is made. Caution must be practice when using a Resitograph as the method requires drilling through boundary walls within the tree and may in fact contribute to the continuance of the decaying organism.

### **Certification of Performance**

### I, John Allred, certify that:

) Ww

- I have inspected the tree(s)/palm(s) referred to in this report and have stated my findings accurately and to the best of my knowledge.
- I have no current or prospective interest in the tree(s)/palm(s) or the property that is the subject of this report and have no personal interest or bias with respect to the party or parties involved.
- I am not an attorney and the opinions and conclusions stated herein are my own and are based on current scientific procedures, my 30 years of experience and facts.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of one party or any other party nor upon the results of the assessment, the attainment of stipulated results or the occurrence of any subsequent events.
- Arborists are tree and palm specialists who use their education, knowledge, training and experience to examine, recommend measures to enhance the beauty and health of trees and palms, and attempt to reduce the risk of living near them. Clients may choose to accept or disregard the recommendations of the arborists, or to seek additional advice.
- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees/palms are living organisms that fail in ways we do not fully understand. Conditions are often hidden within, below ground or are not visible from the vantage point of standing on the ground. Arborists cannot guarantee that a tree/palm will be healthy, safe or adequately protected under all circumstances or for a specified period of time. Likewise, remedial, protective and mitigating treatments and recommendations cannot be guaranteed.

I further certify that I'm a member in good standing with the International Society of Arborists and an ISA Certified Arborist, FL-1252A

John W. Allred Consulting Arborist ISA, Certified Arborist # FL-1252A