

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: _____

Location Address: Chase Bank - Young Circle, FL

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 10 62 0010

Zoning Classification: SS (in RAC) Land Use Classification: Vacant

Existing Property Use: Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: Request for the construction of a new freestanding Chase Bank with a drive thru ATM and variance for drive-thru stacking

Number of units/rooms: N/A Sq Ft: 3,550 SF

Value of Improvement: \$1,340,000.00 Estimated Date of Completion: 8/12/2018

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Real Sub LLC. % Publix Super Markets Inc.

Address of Property Owner: 3300 Publix Corporate Prky, Lakeland, FL 33811

Telephone: 800-242-1227 Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Core States Group (Zach Thornton)

Address: 110 N. 11th Street Ste. 101 Tampa, FL 33602 Telephone: 813-490-1755

Fax: _____ Email Address: zthornton@core-eng.com

Date of Purchase: 5/26/15 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Real Sub, LLC
By: William W Rayburn Date: 5-18-2017

PRINT NAME: William W. Rayburn, Director of RE Assets Date: 5-18-2017

Signature of Consultant/Representative: Z Thornton Date: 5/22/2017

PRINT NAME: Zach H. Thornton, P.E. (Core States Group) Date: 5/22/2017

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the Director of Real Estate Assets for Real Sub, LLC, the current owner of the described real property and I am aware of the nature and effect the request for Approval of JPMorgan Chase Bank's plans to improve Real Sub, LLC's property, which is hereby made by me or I am hereby authorizing Zach H. Thornton, P.E. to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application; provided: (1) such representative shall not have the authority to bind owner to any monetary or non-monetary obligations, or to in any way affect the zoning or land use of the property, (2) this power of attorney only applies to land folio #514210620010; and (3) owner reserves the right to revoke the power at any time upon written notice.

Sworn to and subscribed before me this 18th day of May 2017

Patricia Cooley
Notary Public
State of Florida



PATRICIA COOLEY
MY COMMISSION # FF 114839
EXPIRES: August 20, 2018
Bonded Thru Budget Notary Services

Real Sub, LLC

By: William W Rayburn, LLC
William W. Rayburn, Director of Real Estate Assets
Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

May 12, 2017

Alexandra Carcamo
Principal Planner
City of Hollywood
Department of Development Services
2600 Hollywood Blvd.
Hollywood, FL 33022

Re: Proposed Chase Bank Store No. 55203 – Young’s Circle
Preliminary Technical Advisory Committee (TAC) Submission
1700 Sheridan Street, Hollywood, FL

Dear Ms. Carcamo:

On behalf of JPMorgan Chase, N.A., Core States Group (“CSG”) is requesting that the proposed 4,453 sf Chase Bank be considered for Preliminary Technical Advisory Committee approval. The subject property is an outparcel within the West Lakes Commons Shopping Center located at the southeast corner of Sheridan Street and US1 (Federal Highway), more specifically at 1700 Sheridan Street, Hollywood, FL 33020.

The proposed parcel encompasses 0.696 acres and is currently zoned Sheridan Street Mixed Use District (SS) located within the Regional Activity Center Overlay District per Ordinance O-2016-22. Per the PACO meeting held on March 13, 2017, the site was requested to conform to the Federal Highway Medium-High Intensity, Mixed Use District (FH-2) regulations as well as the SS regulations. Therefore, the site layout was revised and the building was relocated to the maximum building setback of thirty (30) feet from Federal Highway.

Based on an additional meeting held with City staff on April 27, 2017, the site was revised to provide a fifteen (15) feet wide drive aisle on the west side of the building, adjacent to Federal Highway, and a landscape strip along the west side of the building which would visually enhance the building elevation facing Federal highway. The site design includes an enhanced pedestrian entrance of concrete pavers from the existing sidewalk along Federal Highway to the front entrance and will also incorporate other elements to make the building more interactive with the pedestrian traffic on Federal Highway, such as bicycle parking and possible future benches.

The project proposes two (2) variances. One for a reduction in the total vehicular use area landscaping from the required 3,891 sf to 3,284 sf, based on the restraints of the site. The second variance is for the reduction of the Land Development Regulations required stacking from six (6) spaces to four (4) spaces. The City Land Development Regulations does not make a distinction between a banking facility drive thru with teller line and a drive-up ATM. Please note other municipalities have eliminated stacking requirements for Chase banks based on the self-service, automated system not being a typical teller service. Also, please note that per Chase Operational standards, the typical self-service ATM queue does not exceed four (4) stacking positions. In fact, Chase does not offer check cashing or deposits at their ATMs which reduces the transaction time for stopped vehicles. Please refer to the attached Chase Bank Queuing Analysis prepared by a licensed professional engineer in the State of Florida.

Please accept this letter as a request for review and approval of the project documents and variances. The granting of the requested variances will not cause conflicts with other sections of the County Land Regulations and will not adversely affect public safety. No feasible engineering or construction solutions can be applied to satisfy the regulations at this time. In addition, it is Core States belief that the proposed development will greatly improve the appearance, functionality, and value of the subject parcel and the surrounding parcels. The proposed project within West Lake Commons will bring both revenue and jobs to this area and the City. The proposed development will create a site that is both aesthetically pleasing and function.

If you should have any questions, please do not hesitate to contact me directly at (813)319-8753.

Sincerely,



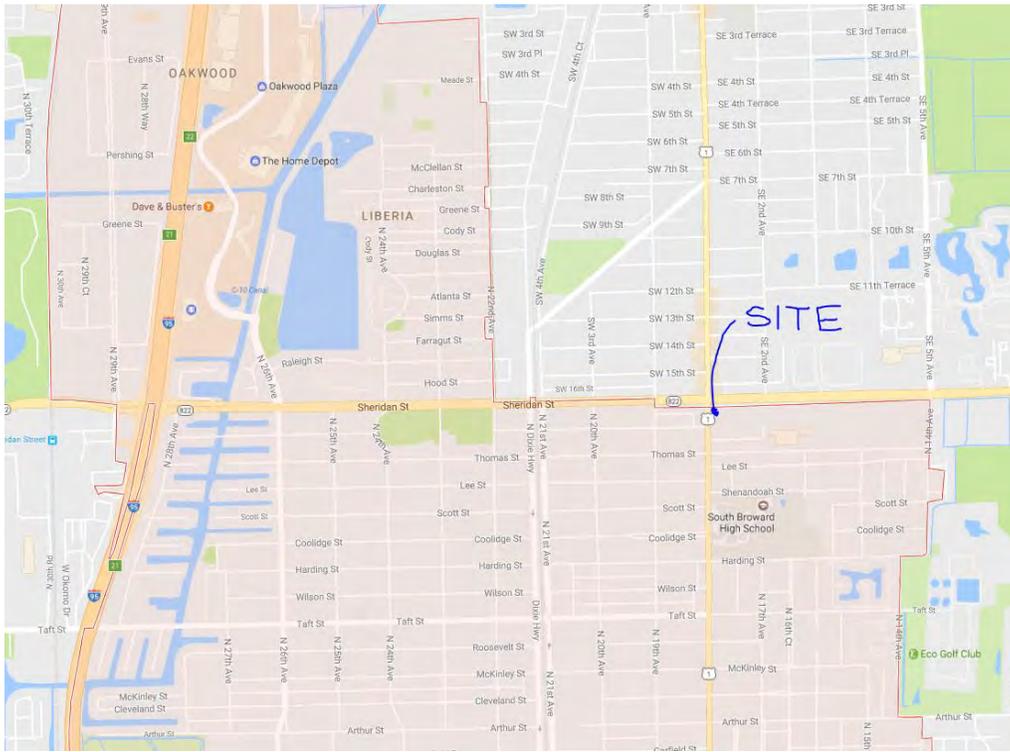
Zach H. Thornton, P.E.
Civil Engineer
Core States Group

Attachments:

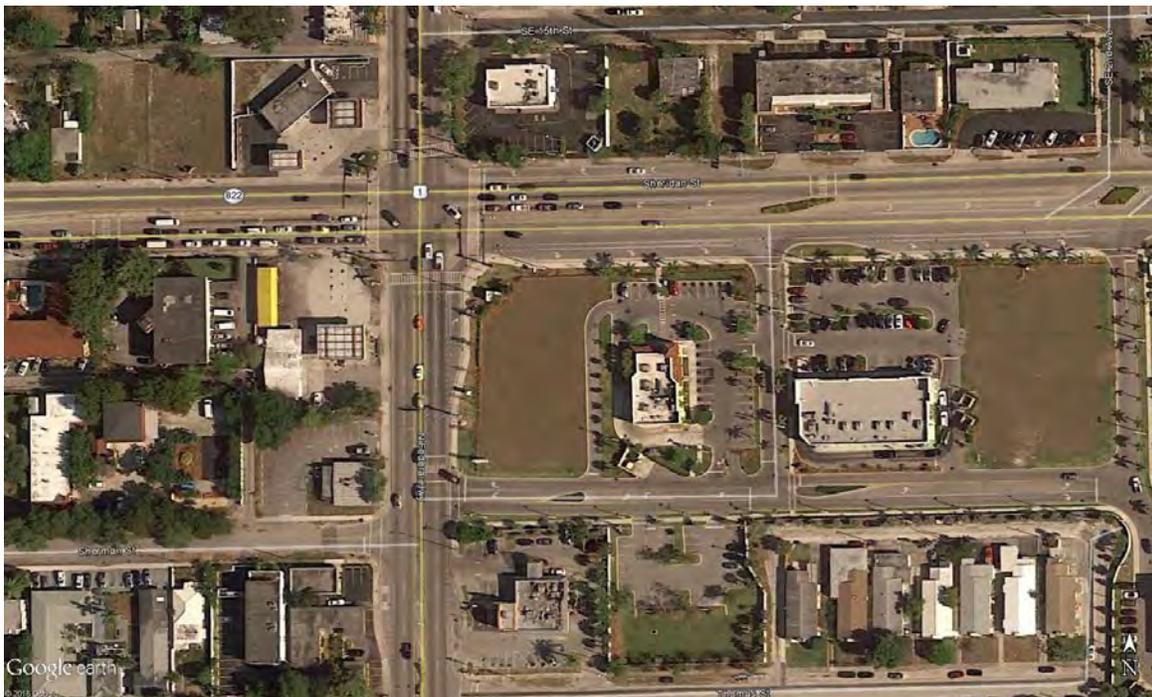
1) Location and Aerial Maps

Attachment 1

LOCATION MAP:



AERIAL MAP:



May 12,2017

Ms. Clarissa M. Ip, P.E.
Engineering Support Services Manager
City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022

RE: Chase Bank Queuing Analysis - 1700 Sheridan Street, Hollywood, FL 33020

Dear Ms. Ip:

The purpose of this letter is to analysis the drive-up ATM typical operational characteristics and the anticipated queuing at a Chase Bank retail banking facility. Chase provided drive up ATM transaction history for a 30 day period preceding May 8, 2017 at two local branches. Reference the attachment for hourly transaction history at 1701 Hollywood Blvd, Hollywood, FL 33020 (FL7527) and 193 US-1, Dania Beach, FL 33004 (FL7643). The average day was determined by averaging the transactions at the two locations and dividing by 30. Chase operating hours are 9 am to 6 pm M-F. The peak hour weekday average transaction at the drive-up ATM were 16.20 at 4-5 pm during operating hours and 17.80 at 6-7 pm after hours.

Chase drive-up ATM transaction time is typically 1-2 minutes. Previous studies have been completed in the Florida Market indicating average observed times of 2:03 at drive-up ATMs. Using a single-server waiting line model, the following average number of customers in the queuing system can be determined;

λ = arrival rate = 17.80 average transactions per peak hour

μ = service rate = 2 minute average ATM transaction time = 30 transactions per hour

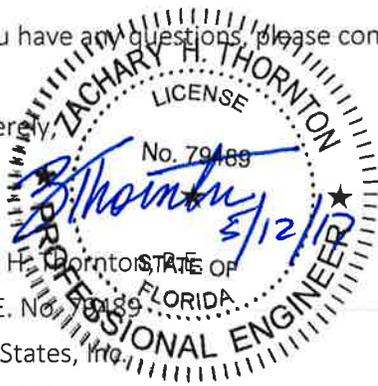
L = average number of customers in the waiting line

$$L = \lambda / (\mu - \lambda)$$

Therefore, during the peak hour transaction period it is anticipated 1.5 cars will be in the queuing system. Conservatively, if 2:30 is used as the average service time then less than 3 cars would be in the queue system during the peak hour.

If you have any questions, please contact me at 813.490.1755.

Sincerely,



Zach H. Thornton

FL PE. No. 79189

CoreStates, Inc.

CA# 9578

Attachments:

1. Drive-up ATM Transactions by Hour and Single Server Waiting Line Model

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

| TERM_ID | Type | Access | MST_STATE_CD | MODEL_TP_CD | Hour0Ct | Hour1Ct | Hour2Ct | Hour3Ct | Hour4Ct | Hour5Ct | Hour6Ct | Hour7Ct | Hour8Ct | Hour9Ct | Hour10Ct | Hour11Ct |
|---------------------------------------|------|----------|--------------|-------------|---------|---------|---------|---------|---------|---------|---------|---------|---------|----------|----------|----------|
| FL7527 | ATM | DRIVE UP | FL | 6634 D | 154 | 137 | 92 | 71 | 32 | 34 | 60 | 108 | 255 | 361 | 329 | 358 |
| FL7643 | ATM | DRIVE UP | FL | 2043 | 160 | 90 | 48 | 20 | 19 | 34 | 28 | 130 | 210 | 310 | 317 | 379 |
| TIME | | | | | 1:00 AM | 2:00 AM | 3:00 AM | 4:00 AM | 5:00 AM | 6:00 AM | 7:00 AM | 8:00 AM | 9:00 AM | 10:00 AM | 11:00 AM | 12:00 PM |
| AVG DAY | | | | | 5.23 | 3.78 | 2.33 | 1.52 | 0.85 | 1.13 | 1.47 | 3.97 | 7.75 | 11.18 | 10.77 | 12.28 |
| 2 min avg transaction time L (CARS) | | | | | 0.21 | 0.14 | 0.08 | 0.05 | 0.03 | 0.04 | 0.05 | 0.15 | 0.35 | 0.59 | 0.56 | 0.69 |
| 2.5 min avg transaction time L (CARS) | | | | | 0.28 | 0.19 | 0.11 | 0.07 | 0.04 | 0.05 | 0.07 | 0.20 | 0.48 | 0.87 | 0.81 | 1.05 |

Drive-up ATM Transactions by Hour and Single Server Waiting Line Model.xlsx

| TERM_ID | Type | Access | MST_STATE_CD | MODEL_TP_CD | Hour12Ct | Hour13Ct | Hour14Ct | Hour15Ct | Hour16Ct | Hour17Ct | Hour18Ct | Hour19Ct | Hour20Ct | Hour21Ct | Hour22Ct |
|---------|------|----------|--------------|---------------------------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| FL7527 | ATM | DRIVE UP | FL | 6634 D | 424 | 451 | 390 | 449 | 489 | 492 | 513 | 456 | 435 | 360 | 293 |
| FL7643 | ATM | DRIVE UP | FL | 2043 | 471 | 483 | 447 | 458 | 483 | 477 | 555 | 428 | 383 | 326 | 217 |
| | | | | TIME | 1:00 PM | 2:00 PM | 3:00 PM | 4:00 PM | 5:00 PM | 6:00 PM | 7:00 PM | 8:00 PM | 9:00 PM | 10:00 PM | 11:00 PM |
| | | | | AVG DAY | 14.92 | 15.57 | 13.95 | 15.12 | 16.20 | 16.15 | 17.80 | 14.73 | 13.63 | 11.43 | 8.50 |
| | | | | 2 min avg transaction time L (CARS) | 0.99 | 1.08 | 0.87 | 1.02 | 1.17 | 1.17 | 1.46 | 0.97 | 0.83 | 0.62 | 0.40 |
| | | | | 2.5 min avg transaction time L (CARS) | 1.64 | 1.85 | 1.39 | 1.70 | 2.08 | 2.06 | 2.87 | 1.59 | 1.32 | 0.91 | 0.55 |

| TERM_ID | Type | Access | MST_STATE_CD | MODEL_TP_CD | Hour23Ct |
|---------|------|----------|--------------|---------------------------------------|----------|
| FL7527 | ATM | DRIVE UP | FL | 6634 D | 294 |
| FL7643 | ATM | DRIVE UP | FL | 2043 | 210 |
| | | | | TIME | 12:00 AM |
| | | | | AVG DAY | 8.40 |
| | | | | 2 min avg transaction time L (CARS) | 0.39 |
| | | | | 2.5 min avg transaction time L (CARS) | 0.54 |

ALTA/NSPS LAND TITLE SURVEY
 A PORTION OF PARCEL 'A', WEST LAKE COMMONS
 PLAT BOOK 180, PAGE 147
 HOLLYWOOD, BROWARD COUNTY, FLORIDA

LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET; THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25, 2017 AT 5:00 PM.
- PLAT BOOK 180, PAGES 127-130 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- ORB 49450, PG 972 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 49650, PG 1109; INSTRUMENT # 113020931 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB ORB 49650, PG 1210; ORB 51142, PG 1361 - AFFECTS PROPERTY - BOUNDARY
- ORB 50263, PG 891 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- ORB 50631, PG 1596 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- ORB 50690, PG 1996 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
- INSTRUMENT #113020930 - AFFECTS PROPERTY, UNPLOTTABLE
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'
- SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.
- THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
- LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE SHOWN.
- OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.
- HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26, 2014.
 SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ROBERT BLOOMSTER JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 L.B. #6018

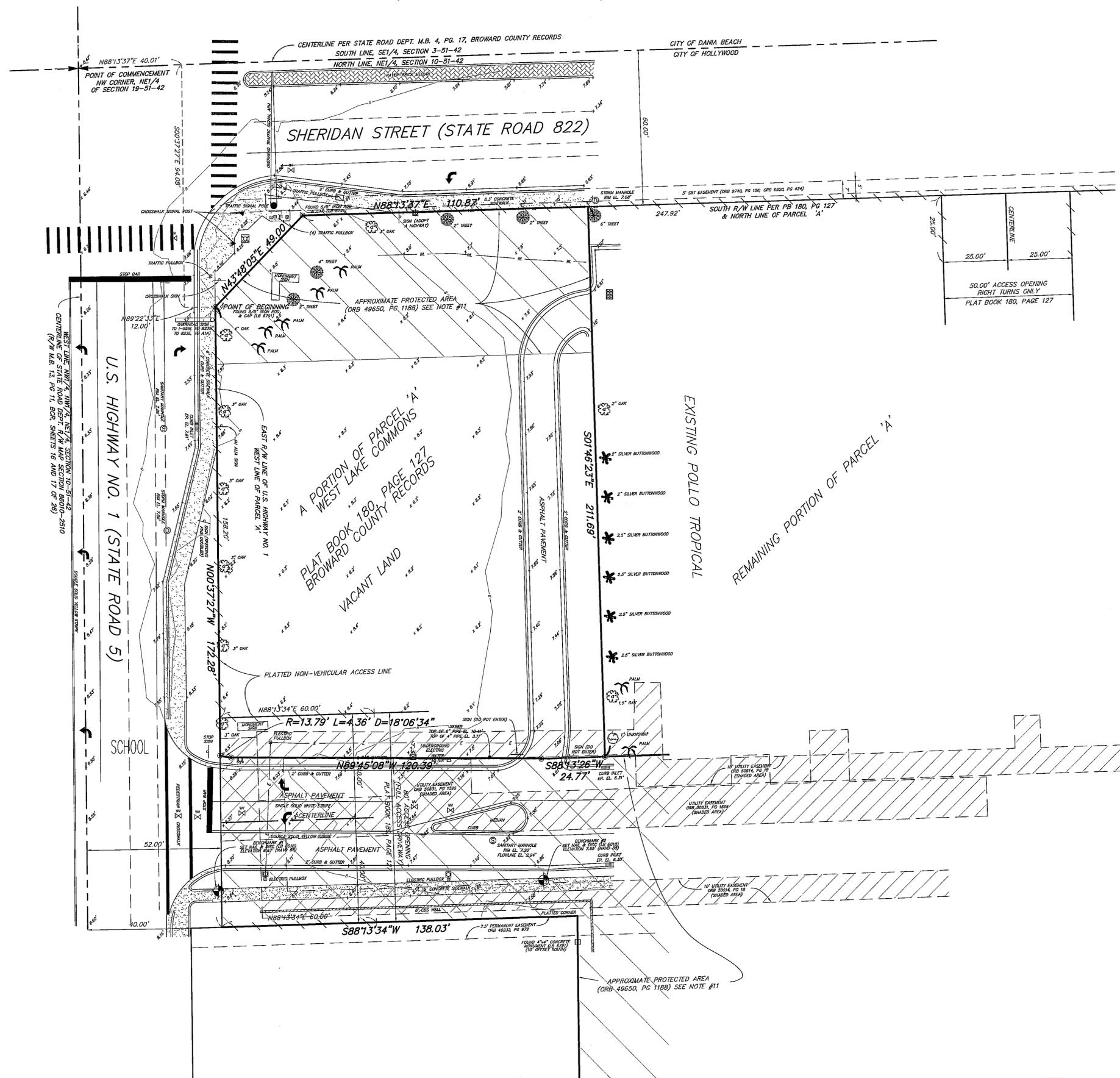
641 NORTHEAST SPENCER STREET
 JENSEN BEACH, FLORIDA 34957
 PHONE 772-334-0868

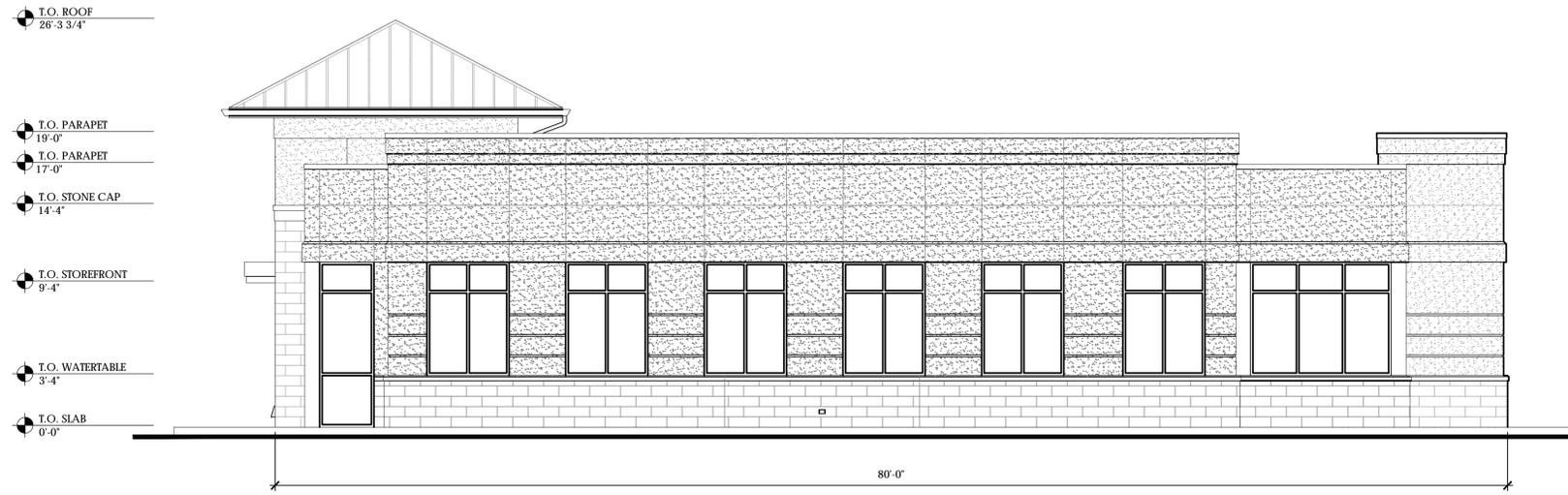
SHEET 1 OF 1
 DRAWN BY: DPK
 SCALE: 1" = 20'
 FIELD WORK COMPLETED: 7/26/2016
 FIELD BOOK: SKETCH
 JOB NO. 13652

| REVISIONS | | |
|-----------|-----------------|-----|
| DATE | DESCRIPTION | BY |
| 12/9/16 | EXC#15 CORR. | DPK |
| 5/8/17 | TREES | DPK |
| 5/18/17 | ALTA O&E UPDATE | DPK |

CORE STATES GROUP
 1790 SHERIDAN STREET
 HOLLYWOOD, BROWARD COUNTY, FLORIDA

- LEGEND
- CLEAN OUT
 - ⊗ MANHOLE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - SPOT ELEVATIONS
 - ⊕ LIGHT POST
 - ⊕ GAS VALVE
 - INV. INVERT
 - EL. ELEVATION
 - DEPT. DEPARTMENT
 - CBS CONCRETE BLOCK STRUCTURE
 - EP EDGE OF PAVEMENT
 - R/W RIGHT OF WAY
 - M.B. MAP BOOK
 - PG. PAGE
 - ORB OFFICIAL RECORDS BOOK
 - PB PLAT BOOK
 - LB LICENSED BUSINESS
 - BCR BROWARD COUNTY RECORDS
 - E UNDERGROUND ELECTRIC
 - HL UNDERGROUND WATER LINE
 - NAVD NORTH AMERICAN VERTICAL DATUM

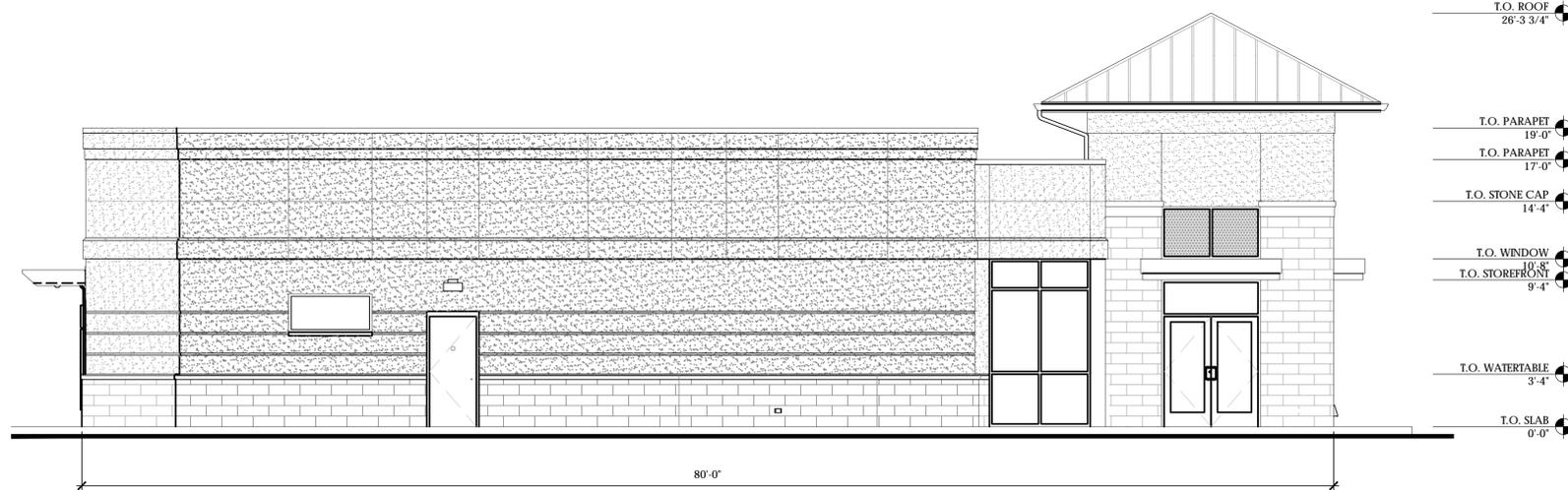




WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PAINT - EPT1
APPLICATION: EXTERIOR MATERIAL
COLOR: MATCH TO SHERWIN WILLIAMS
SW-7045 "INTELLECTUAL GRAY"

PAINT - EPT2
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 "ACCESSIBLE BEIGE"

PAINT - EPT4
APPLICATION: EIFS
COLOR: TO MATCH SHERWIN WILLIAMS
SW-6108 "LATTE"

ROOF
APPLICATION: BERTRIDGE METAL ROOF
COLOR: ZINC GREY

MULLIONS
APPLICATION: EXTERIOR MATERIAL
COLOR: ANODIZED ALUMINUM

STONE - ST1
APPLICATION: SAVANNA STONE
COLOR: LIMESTONE #3

METAL
APPLICATION: CANOPY/TRIM
COLOR: BLUE

CHASE
SHERIDAN STREET &
FEDERAL HIGHWAY

PROPOSED EXTERIOR ELEVATIONS

MAY 18, 2017
SCALE: $\frac{3}{16}$ " = 1'-0"

110 N. 11TH ST.
SUITE 101,
TAMPA, FL 33602
Contact: James Lalli
jlalli@core-eng.com

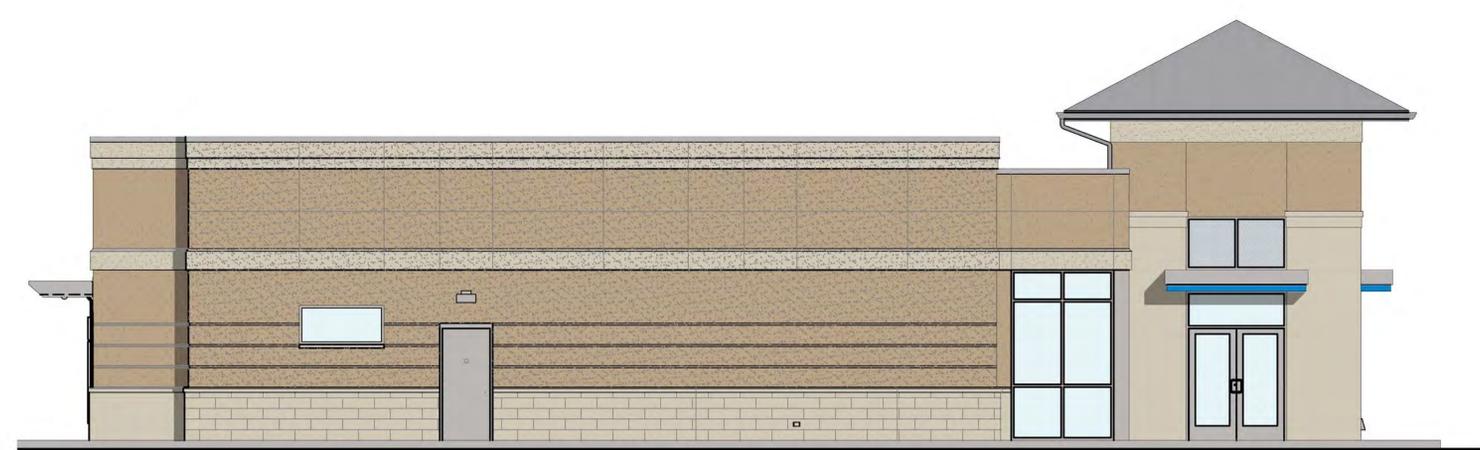
CORE STATES
GROUP



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

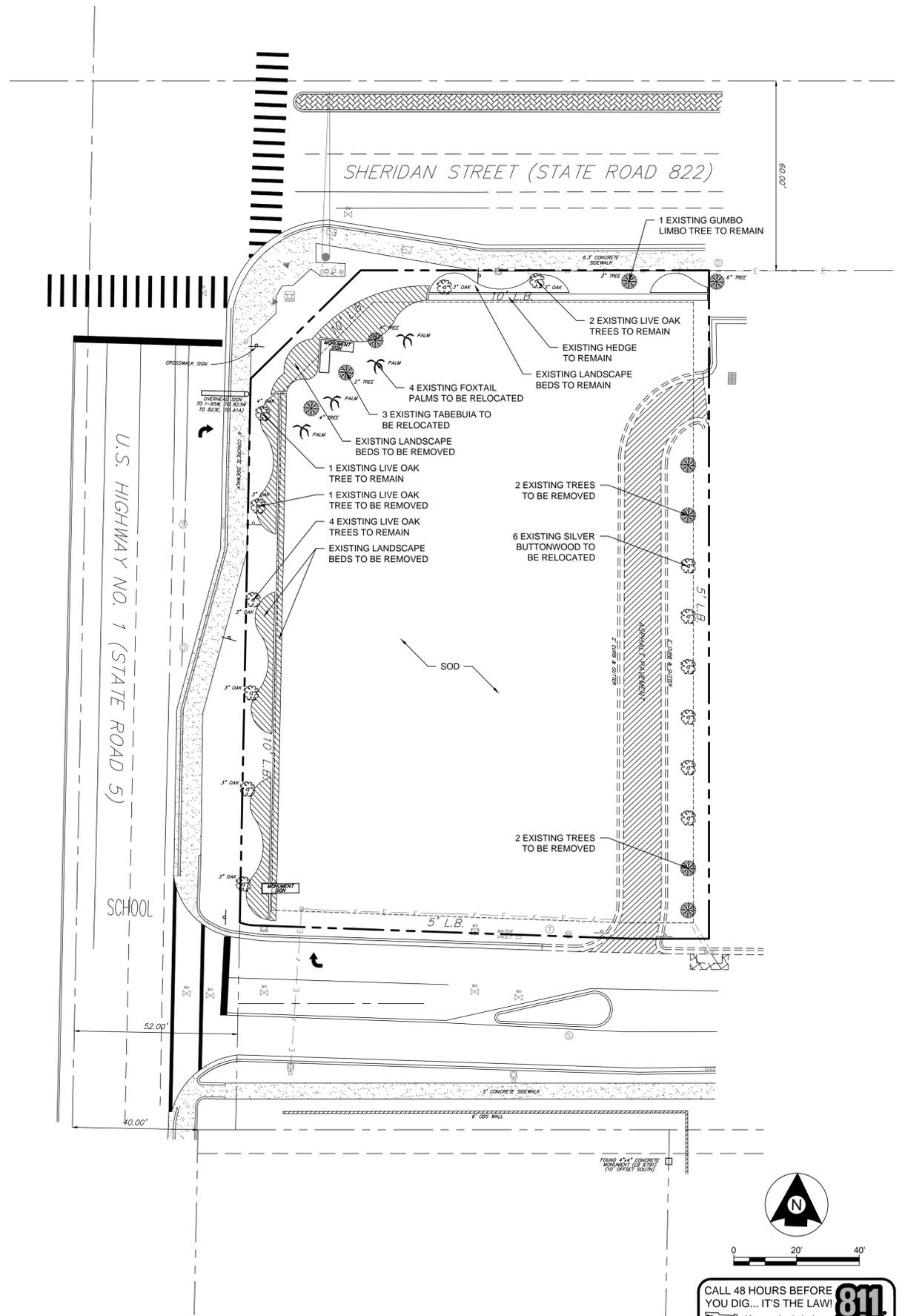
- 
 PAINT - EPT1
 APPLICATION: EXTERIOR MATERIAL
 COLOR: MATCH TO SHERWIN WILLIAMS
 SW-7045 "INTELLECTUAL GRAY"
- 
 PAINT - EPT2
 APPLICATION: EIFS
 COLOR: TO MATCH SHERWIN WILLIAMS
 SW-7036 "ACCESSIBLE BEIGE"
- 
 PAINT - EPT4
 APPLICATION: EIFS
 COLOR: TO MATCH SHERWIN WILLIAMS
 SW-6108 "LATTE"
- 
 ROOF
 APPLICATION: BERRIDGE METAL ROOF
 COLOR: ZINC GREY
- 
 MULLIONS
 APPLICATION: EXTERIOR MATERIAL
 COLOR: ANNOXIDIZED ALUMINUM
- 
 STONE - ST1
 APPLICATION: SAVANNA STONE
 COLOR: LIMESTONE #3
- 
 METAL
 APPLICATION: CANOPY/TRIM
 COLOR: BLUE



PROPOSED FLOOR PLAN

MAY 18, 2017
 SCALE: $\frac{3}{16} = 1'-0"$

This document, together with the contracts and design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC.
 Drafted by Charles Bailey, Creative CAD Source, 851 628-9822



CALL 48 HOURS BEFORE YOU DIG... IT'S THE LAW!
 Know what's below.
 Call before you dig.

 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

EXISTING LANDSCAPE PLAN

CHASE
 CHASE BANK - STORE NO. 55203
 SHERIDAN ST. & US HWY 1
 HOLLYWOOD, FLORIDA 33020

DATE: 05/10/2017
 PROJECT NUMBER: CSG17-05CBH
 SHEET NUMBER: L-01

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
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| | | | |
| | | | |

LANDSCAPE ARCHITECT:
 SCALE: AS NOTED
 DESIGNED BY: P/MC
 DRAWN BY: CMB
 CHECKED BY: P/MC
 LANDSCAPE ARCHITECT:
 PATRICIA M. CASTELLANO, R.L.A.
 LICENSE NUMBER: 1667

SimplyVerde
 SV Landscape Architecture
 829 38th Avenue North, St. Petersburg, FL 33704
 727.521.7290 License Number: LC26000392

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC. Drafted by Charles Bailey, Creative CAD Source, 851 628-9822

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES
 PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES
 PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA
 PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUESTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY.

MINIMUM OF ONE TREE PER 1,000 S.F. OF PVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

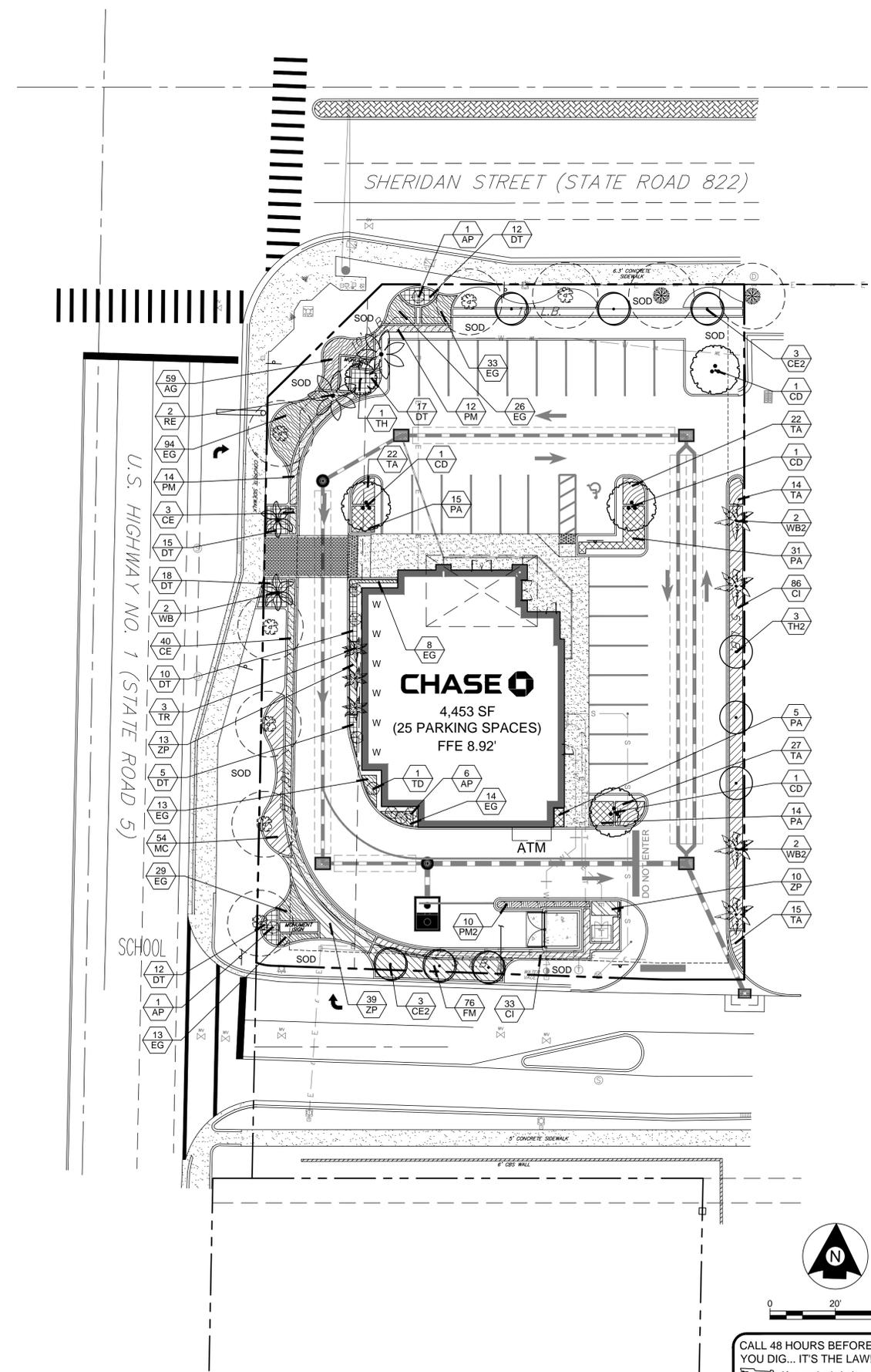
REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF
 PROVIDED: 7 TREES AND 66% OF PVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
 REQUIRED: 11-20 TREES = 3 REQUIRED
 PROVIDED: 6 SPECIES OF TREES AND PALMS
- PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
 REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
 PROVIDED: 14 TREES AND 278 SHRUBS
- A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.
 REQUIRED: 19 X .50 = 10 OR 20% = 4
 PROVIDED: 4 RELOCATED FOXTAIL PALMS
- THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
- GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
- IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



CALL 48 HOURS BEFORE YOU DIG... IT'S THE LAW! Know what's below. Call before you dig. SUNSHINE STATE ONE CALL OF FLORIDA, INC. 811

| NO. | REVISIONS | DATE | BY |
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| LANDSCAPE ARCHITECT: | PATRICIA M. CASTELLANO, R.L.A. LICENSE NUMBER: 1687 |
| SCALE: AS NOTED | DESIGNED BY: P/MC |
| CHECKED BY: P/MC | DRAWN BY: CMB |

LANDSCAPE PLAN

CHASE
 CHASE BANK - STORE NO. 55203
 SHERIDAN ST. & US HWY 1
 HOLLYWOOD, FLORIDA 33020

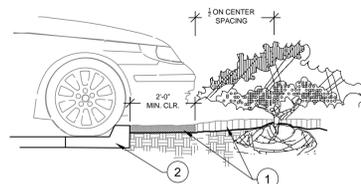
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|----------------|-------------|
| DATE | 05/10/2017 |
| PROJECT NUMBER | CSG17-05CBH |
| SHEET NUMBER | L-02 |

PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | NATIVE | DROUGHT TOLERANT | |
|---------------|------|-----|--|--------------------------------------|----------|------------------|------------------|
| | CD | 4 | Coccoloba diversifolia / Pigeon Plum | FG., MIN. 14' HT. x 6' SPR., 4" CAL. | YES | HIGH | |
| | CE2 | 6 | Conocarpus erectus sericeus / Silver Buttonwood | RELOCATED | YES | HIGH | |
| | TH | 1 | Tabebuia heterophylla / Pink Trumpet Tree | FG., MIN. 14'-16' x 6'-8', 4" CAL. | NO | HIGH | |
| | TH2 | 3 | Tabebuia heterophylla / Pink Trumpet Tree | RELOCATED | NO | HIGH | |
| PALM TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | NATIVE | DROUGHT TOLERANT | |
| | RE | 2 | Roystonea elata / Florida Royal Palm | FG., MIN. 10' GW, MATCHED | YES | HIGH | |
| | TR | 3 | Thrinax radiata / Florida Thatch Palm | FG., 8'-9' HT., SINGLE, STRAIGHT | YES | HIGH | |
| | WB | 2 | Wodyetia bifurcata / Foxtail Palm | FG., MIN. 10' GW, MATCHED | NO | MEDIUM | |
| | WB2 | 4 | Wodyetia bifurcata / Foxtail Palm | RELOCATED | NO | MEDIUM | |
| SHRUBS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | AP | 8 | Alocasia 'Portora' / Portora Elephant Ear | 15 GAL., MIN. 5'-6" HT., FULL | AS SHOWN | NO | MEDIUM |
| | TD | 1 | Tabernaemontana divaricata / Crape Jasmine | FG., MIN. 4' HT., FULL | AS SHOWN | NO | MEDIUM |
| SHRUB AREAS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | CE | 43 | Conocarpus erectus sericeus / Silver Buttonwood | 10 GAL., MIN. 42" HT., FULL | 30" O.C. | YES | HIGH |
| | CI | 119 | Chrysobalanus icaco / Coco Plum | 7 GAL., MIN. 24" HT., FULL | 30" O.C. | YES | HIGH |
| | DT | 89 | Dianella tasmanica 'Variegata' / Variegated Flax Lily | 3 GAL., MIN. 16" x 16", FULL | 24" O.C. | NO | HIGH |
| | FM | 76 | Ficus microcarpa 'Green Island' / Green Island Ficus | 3 GAL., MIN. 12" x 12", FULL | 24" O.C. | NO | HIGH |
| | MC | 54 | Muhlenbergia capillaris / Pink Muhly Grass | 3 GAL., MIN. 18" x 18", FULL | 24" O.C. | YES | HIGH |
| | PA | 65 | Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago | 3 GAL., MIN. 14" x 14", FULL | 24" O.C. | NO | HIGH |
| | PM | 26 | Podocarpus macrophyllus / Podocarpus | 7 GAL., MIN. 42" HT., FULL | 30" O.C. | NO | HIGH |
| | PM2 | 10 | Podocarpus macrophyllus / Podocarpus | 15 GAL., MIN. 6'-7" HT., FULL | 30" O.C. | NO | HIGH |
| | ZP | 62 | Zamia pumila / Coontie | 3 GAL., MIN. 14'-16" x 14'-16", FULL | 24" O.C. | YES | HIGH |
| GROUND COVERS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | AG | 59 | Arachis glabrata 'Ecoturf' / Ecoturf Perennial Peanut | 1 GAL., FULL | 18" O.C. | NO | MEDIUM |
| | EG | 230 | Evolvulus glomeratus 'Blue My Mind' / Blue My Mind Blue Daze | 1 GAL., FULL | 18" O.C. | NO | MEDIUM |
| | TA | 100 | Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine | 1 GAL., FULL | 18" O.C. | NO | YES |

LANDSCAPE SPECIFICATION REQUIREMENTS:

- ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL.
- ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
- ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM FLORATAM).
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.



- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB OR PARKING LOT EDGE, BY OTHERS.

Parking Space/Curb Planting

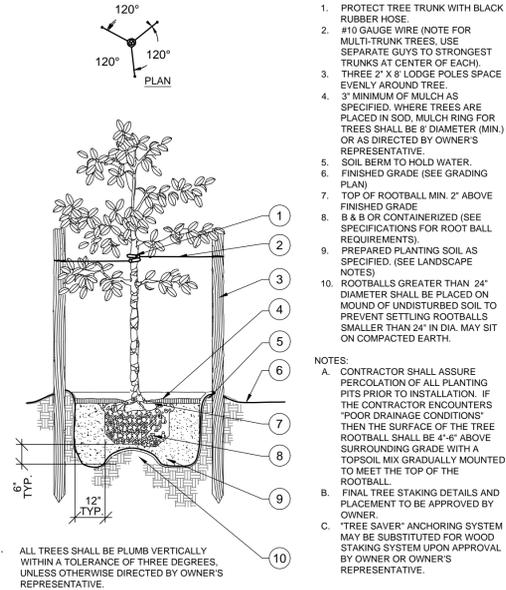
SECTION NTS

Plantings Adjacent to Buildings

SECTION NTS

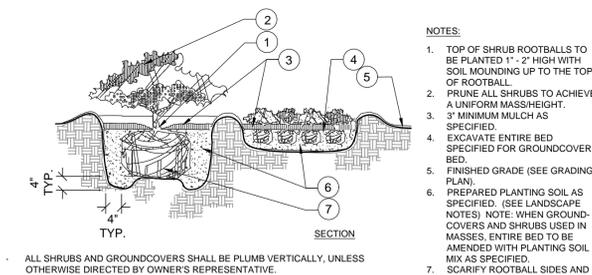
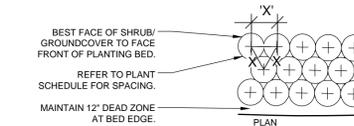
Tree/Shrub Protector

BARRIER DETAIL NTS



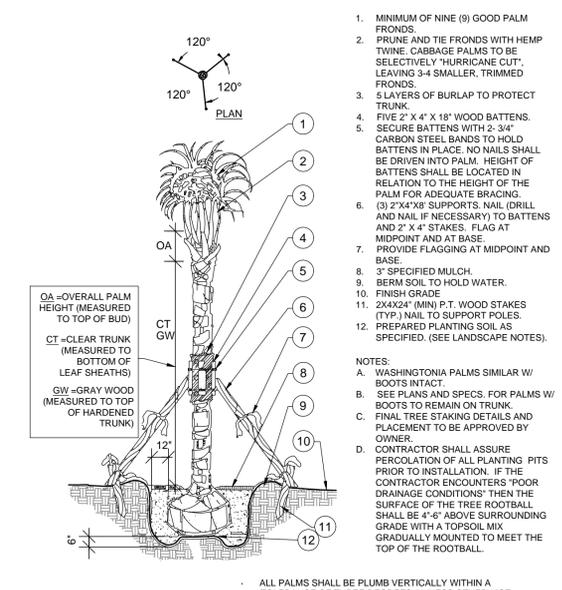
Small Tree Planting

SECTION (Less Than 14") NTS



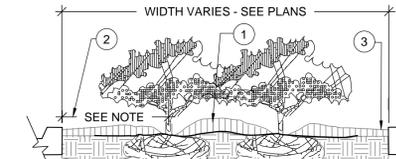
Shrub/Groundcover Planting

PLAN/SECTION NTS



Palm Planting

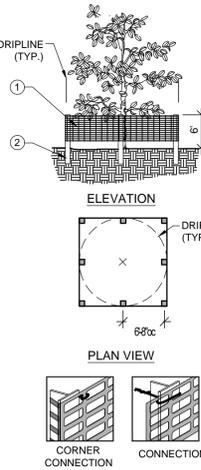
SECTION NTS



- PLANTER ISLAND NOTES**
- CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
 - CLEAR ZONE: 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS.
 - 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- NOTES:**
- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
 - PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATIONS PRIOR TO PLANTING.

Planted Parking Lot Islands/Medians

SECTION NTS

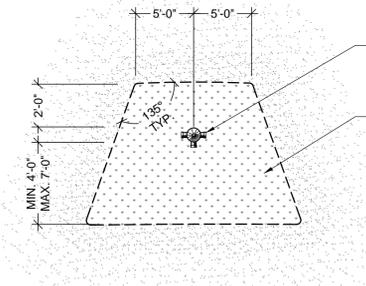


- 6H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONVEX PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
 - 8 TALL METAL "T" POSTS OR 2" x 2" x 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.
- INSTALLATION NOTES:**
- POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
 - POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
 - SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
 - SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONVEX PLASTICS). WOOD STRIPS MAY BE ALSO USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

Tree/Shrub Protector

BARRIER DETAIL NTS



- FIRE HYDRANT.
- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

Fire Hydrant Area

PLAN NTS

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LANDSCAPE ARCHITECT:
PATRICIA M. CASTELLANO, R.L.A.
LICENSE NUMBER: 1667

SCALE: AS NOTED
DESIGNED BY: P/MC
DRAWN BY: CMB
CHECKED BY: P/MC

NO. _____ DATE _____ REVISIONS _____ BY _____

LANDSCAPE DETAILS

CHASE BANK - STORE NO. 55203
SHERIDAN ST. & US HWY 1
HOLLYWOOD, FLORIDA 33020

DATE: 05/10/2017
PROJECT NUMBER: CSG17-05CBH
SHEET NUMBER: L-03

GENERAL LANDSCAPE NOTES

1. SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.

2. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

3. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100 PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES (OR PER PROJECT JURISDICTIONAL CODE, WHICHEVER IS MORE STRINGENT), CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

4. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

5. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

6. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

7. LAWN MAINTENANCE

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER, OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

8. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MOON BASIS.

9. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

10. WARRANTY

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
B. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
C. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
D. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PLANT SPECIFICATION NOTES

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. UPON SAMPLES' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL and SAMPLE SIZE. Rows include MULCH, PLANTING / TOPSOIL MIX, and PLANTS.

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER OR OWNER'S REPRESENTATIVE.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. ALL TREE ROOTBALLS SHALL BE SHAVED 1" - 1 1/2" OFF ON ALL SIDES WITH EITHER A SHARP SPADE OR BLADE BEFORE PLANTING OR FROM TOP TO BOTTOM WITH A BALLING SPADE AFTER THE TREE HAS BEEN PLANTED TO ELIMINATE CIRCLING ROOTS.

SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL. IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

RP# = "ROOTS PLUS GROWER" CONTAINER WHERE SPECIFIED.

E. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

F. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPANTING INTO THE NURSERY ROW.

3. DIGGING AND HANDLING

A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

C. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.

D. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

E. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

4. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.

B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.

D. WHEN UNSUITABLE SOILS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR THE OWNER OR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

PLANT SPECIFICATION NOTES CONTINUED

5. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE. AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO CHECK TO SEE IF WATERING/IRRIGATION RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

6. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER OR OWNER'S REPRESENTATIVE, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. CONTRACTOR TO CHECK TO SEE IF FERTILIZER RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

7. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN (BASE). SEE PLANT LIST FOR TYPE OF MATERIAL ("FLORIMULCH," EUCALYPTUS MULCH, OR PINE STRAW/BARK/NUCKET) AND GRADE.

8. SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

PLANTING PROCEDURE NOTES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES OR REFER TO THE CIVIL PLANS IF APPLICABLE.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.

8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

9. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

10. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN THE PLANT SPECIFICATIONS NOTES. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, INSTALL AS NOTED IN THE TREE AND/OR PALM PLANTING DETAILS. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

11. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

12. SOIL MIXTURE SHALL BE AS SPECIFIED UNDER PLANT SPECIFICATION NOTES.

13. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

14. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. SUBMIT PRODUCT INFORMATION PRIOR TO INOCULATION FOR APPROVAL.

15. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. ALL NON-BIODEGRADABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE PLANTING PIT PRIOR TO BACKFILLING AND DISPOSED OF PROPERLY.

16. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

17. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" WITH THE PLANTING SOIL MIXTURE AND THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

PLANTING PROCEDURE NOTES CONTINUED

18. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

19. PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

20. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

21. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

22. CONTRACTOR TO PROVIDE A CLEAN, SHARP EDGE ON ALL LANDSCAPE BEDS AND TREE PITS. A SHARP, SPADE CUT EDGE (MINIMUM 3" DEEP) SHALL BE PROVIDED UNLESS OTHER BED EDGING METHODS ARE SPECIFICALLY IDENTIFIED ON THE PLANS.

23. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

24. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

25. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL, AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

SCHEMATIC IRRIGATION NOTES

1. GENERAL

A. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES, LARGE SHRUBS AND UTILITIES.

B. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIED CABLE. ALL WIRE SPLICES SHALL BE MADE IN WIRE BOXES ONLY USING RAIN BIRD SNAP-TITE CONNECTORS AND SEALANT. A SEPARATE NEUTRAL WIRE (MIN. NO.14) SHALL BE RUN WITH ALL OTHER WIRING.

C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.

D. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE ROTORS/SPRAYS ARC AND RADIUS TO ASSURE 100 PERCENT COVERAGE AND TO MINIMIZE OVERSPRAY. DRIP SHALL BE UTILIZED IN ALL BEDS AND BUBBLERS ON ALL TREES.

F. NO LINES ARE TO BE LOCATED WITHIN THE PROTECTIVE RADIUS OF TREES.

G. CONTRACTOR IS TO MATCH PRECIPITATION RATES FOR ALL HEADS.

H. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT A COPY OF THE IRRIGATION PLAN PRIOR TO COMMENCING WORK.

I. THE CONTRACTOR SHALL PROVIDE A RAIN SENSOR DEVICE OR SWITCH TO PREVENT IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.

2. PIPE

A. ALL IRRIGATION PIPE INCLUDING MAINLINE AND CONDUITS IS TO BE SCHEDULE 40 PVC. ALL WIRING TO BE IN CONDUIT IF NOT WITHIN THE MAINLINE TRENCH.

B. ALL PIPING SHALL BE ROUTED TO AVOID ABOVE AND BELOW GROUND FEATURES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.

C. DUCT TAPE AND OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION DURING INSTALLATION.

2. CONTROLLER

A. CONTRACTOR TO RUN ONE STATION AT A TIME UNLESS TWO IS ALLOWED. CONTRACTOR SHALL PROVIDE A CONTROLLER SCHEDULE TO MINIMIZE PRESSURE LOSSES THROUGHOUT THE SITE.

B. THE CONTROLLER LOCATION TO BE COORDINATED WITH THE OWNER. CONTROLLER TO BE HUNTER OR RAINBIRD. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATION.

C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER FOR THE CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE THE POWER TO THE CONTROLLER.

4. BACKFILL

A. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 24". ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".

5. TESTING

A. PRIOR TO BACKFILLING, OPEN THE VALVE AND OPERATE EACH CIRCUIT TO CHECK FOR LEAKAGE AROUND PVC FITTINGS. MAKE NECESSARY CORRECTIONS TO STOP LEAKS.

B. REPEAT THOSE SYSTEMS WHERE LEAKS WERE CORRECTED BEFORE COMMENCING BACK FILLING OPERATION.

C. UPON COMPLETION, TEST THE ENTIRE SYSTEM FOR OPERATION INCLUDING ELECTRICALLY ACTUATING THE VALVE. RUN THE SYSTEM UNTIL WATER BEGINS TO PUDDLE AND/OR RUN OFF TO DETERMINE THE INITIAL CONTROLLER RUN TIME TO DETERMINE THE NUMBER OF IRRIGATION CYCLES NECESSARY TO MEET WEEKLY EVAPOTRANSPIRATION RATES FOR THE PLANT MATERIAL INSTALLED.

6. ASBUILTS

UPON COMPLETION OF "AS-BUILT" DRAWINGS, PREPARE CONTROLLER CHARTS - ONE PER CONTROLLER. INDICATE IN THE CHART EACH AREA CONTROLLED BY A VALVE. THIS CHART SHALL BE REDUCED TO A SIZE THAT WILL FIT WITHIN THE CONTROLLER DOOR OR A UTILITY BASKET WITHIN THE ENCLOSURE. THE REDUCTION SHALL BE A BLACK AND WHITE COPY THAT IS HERMETICALLY SEALED BETWEEN TWO 20.MIL PIECES OF CLEAR PLASTIC.

7. INSPECTION

A. BEFORE ACCEPTANCE OF THE IRRIGATION SYSTEM, THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL: FINAL WALK-THROUGH AND CORRECTION OF ANY PUNCH-LIST ITEMS COMPLETION AND ACCEPTANCE OF ACCURATELY DRAFTED "AS-BUILT" DRAWINGS ACCEPTANCE OF CONTROLLER CHARTS AND PLACEMENT IN THE CONTROLLER

B. MANUAL FLUSH VALVES OR FLUSH-OUTS SHOULD BE FLUSHED THREE (3) TIMES EACH IRRIGATION SEASON FOR A PERIOD OF 30 TO 60 SECONDS OR UNTIL THE WATER IS VISIBLY CLEAN, WHILE THE VALVE IS ACTIVATED. THE SYSTEM SHOULD BE FLUSHED MONTHLY OR MORE FREQUENTLY. FLUSHING IS ALSO RECOMMENDED ANY TIME THE SYSTEM IS REPAIRED.

This document, together with the concepts and design presented herein, is an instrument of service, as intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC. Drafted by Charles Bailey, Creative CAD Source, 861.628.9822

SimplyVerde Landscape Architecture logo and contact information: 829 98th Avenue North, St. Petersburg, FL 33704, License Number: LC26000392

Table with 4 columns: NO., REVISIONS, DATE, BY.

Table with 4 columns: SCALE, AS NOTED, DESIGNED BY, DRAWN BY, CHECKED BY, LANDSCAPE ARCHITECT, PATRICIA M. CASTELLANO, RLA, LICENSE NUMBER: 1667

LANDSCAPE NOTES title and CHASE logo

CHASE BANK - STORE NO. 55203 SHERIDAN ST. & US HWY 1 HOLLYWOOD, FLORIDA 33020

Table with 2 columns: DATE (05/10/2017), PROJECT NUMBER (CSG17-05CBH), SHEET NUMBER (L-04)

DESIGN AND DEVELOPMENT CONTACTS:

OWNER: REAL SUB LLC.
 PUBLIX SUPERMARKETS, INC.
 3300 PUBLIX CORPORATE PARKWAY
 LAKELAND, FL 33811
 TEL: 800.490.1227

DEVELOPER: JPMORGAN CHASE, N.A.
 1450 BRICKELL AVENUE, 3RD FLOOR
 MIAMI, FL 33131
 CONTACT: MAURICIO DELGADO
 TEL: 786.473.1769

CIVIL ENGINEER: CORE STATES GROUP
 101 NORTH 11TH STREET, SUITE 101
 TAMPA, FL 33602
 CONTACT: ZACH THORNTON, P.E.
 TEL: 813.490.1755

ARCHITECT: CORE STATES GROUP
 101 NORTH 11TH STREET, SUITE 101
 TAMPA, FL 33602
 CONTACT: JAMES LALLII, AIA
 TEL: 813.490.1755

LANDSCAPE ARCHITECT: SIMPLYVERDE
 829 38TH AVENUE NORTH
 SAINT PETERSBURG, FL 33704
 CONTACT: PATRICIA CASTELLANO, RLA, ASLA
 TEL: 727.521.7290

SURVEYOR: BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC.
 791 NORTHEAST DIXIE HIGHWAY
 JENSEN BEACH, FL 34957
 CONTACT: ROBERT BLOOMSTER, JR, PSM
 TEL: 772.334.0868

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: CITY OF HOLLYWOOD COMMUNITY DEVELOPMENT DEPARTMENT
 2600 HOLLYWOOD BOULEVARD, ROOM 315
 HOLLYWOOD, FL 33021
 TEL: 954.921.3471

FIRE DEPARTMENT: CITY OF HOLLYWOOD FIRE DEPARTMENT
 2741 STIRLING ROAD
 HOLLYWOOD, FL 33312
 TEL: 954.907.4357

WATER/WASTEWATER: CITY OF HOLLYWOOD PUBLIC UTILITIES
 1621 N. 14TH AVENUE
 HOLLYWOOD, FL 33020
 TEL: 954.967.4455

STORMWATER: BROWARD COUNTY ENVIRONMENTAL PROTECTION
 AND GROWTH MANAGEMENT DEPARTMENT
 1 N. UNIVERSITY DRIVE, SUITE 201-A
 PLANTATION, FL 33324
 TEL: 954.519.1483

UTILITY CONTACTS:

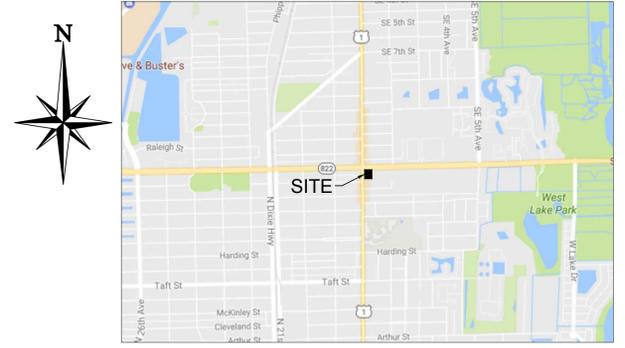
ELECTRIC COMPANY: FFL
 4000 DAVIE ROAD EXTENSION
 HOLLYWOOD, FL 33024
 CONTACT: ERIC DOAN
 TEL: 954.442.6369

TELEPHONE / INTERNET: COMCAST
 4571 SHERIDAN STREET
 HOLLYWOOD, FL 33021
 TEL: 800.266.2278

CIVIL CONSTRUCTION PLANS

FOR CHASE

CHASE BANK - STORE NO. 55203
YOUNG CIRCLE
 1700 SHERIDAN STREET
 HOLLYWOOD, FL 33020
 SECTION 10, TOWNSHIP 51 S., RANGE 42 E.
 BROWARD COUNTY, FLORIDA



FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF HOLLYWOOD, FLORIDA, COMMUNITY NUMBER 125113 0567H EFFECTIVE DATE 8/18/2014.

ALERT TO CONTRACTOR:

- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

| SHEET INDEX | | | | |
|------------------|--|-------|-------|-------|
| SHEET NUMBER | DESCRIPTION | REV 1 | REV 2 | REV 3 |
| C1 | COVER SHEET | | | |
| C2 | GENERAL NOTES | | | |
| C3 | PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN | | | |
| C4 | PHASE 2 EROSION AND SEDIMENTATION CONTROL PLAN | | | |
| C5 | EROSION CONTROL DETAILS | | | |
| C6 | DEMOLITION PLAN | | | |
| C7 | SITE PLAN | | | |
| C8 | GRADING AND DRAINAGE PLAN | | | |
| C9 | UTILITY PLAN | | | |
| C10-C12 | CONSTRUCTION DETAILS | | | |
| C13 | PHOTOMETRIC PLAN | | | |
| REFERENCE SHEETS | | | | |
| SHEET NUMBER | DESCRIPTION | REV 1 | REV 2 | REV 3 |
| SHEET 1 OF 1 | ALTA/ACSM LAND TITLE SURVEY BY BLOOMSTER | | | |
| L-01 | EXISTING LANDSCAPE PLAN | | | |
| L-02 | LANDSCAPE PLAN | | | |
| L-03 | LANDSCAPE DETAILS | | | |
| L-04 | LANDSCAPE NOTES | | | |

LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10;
 THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET;
 THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 84.08 FEET;
 THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING;
 THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET;
 THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET;
 THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT;
 THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°05'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1);
 THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.
 SAID TRACT OR PARCEL OF LAND CONTAINING 0.696 ACRES.

CORE STATES GROUP
 110 NORTH 11TH STREET, SUITE 101
 TAMPA, FL 33602
 PHONE (813) 490-1755
 FAX (813) 490-1759
 CCARDEN@CORE-ENG.COM
 CORESTATES, INC.
 CA # 5872

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what's below. Call before you dig.

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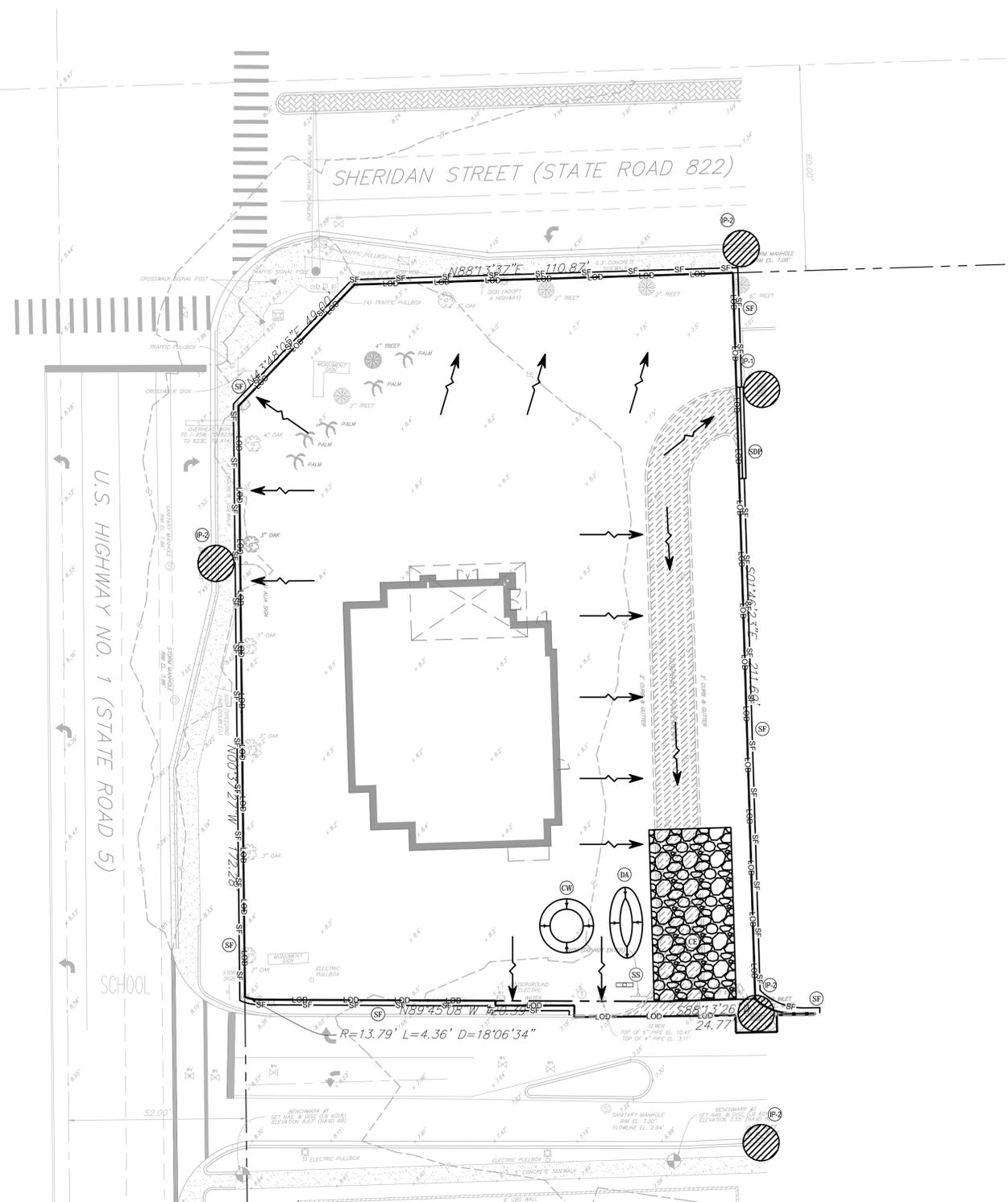
DOCUMENT
 CIVIL
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 PLANS FOR
 CHASE BANK AT
 YOUNG CIRCLE, FL
 SITE LOCATION
 1700 SHERIDAN
 STREET
 HOLLYWOOD, FL
 33020

ENGINEER SEAL

SHEET TITLE
 COVER SHEET

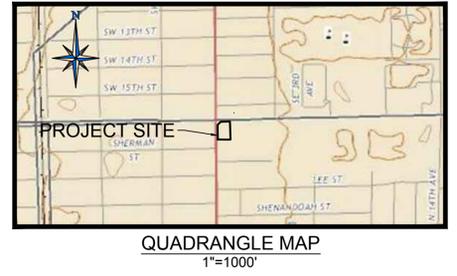
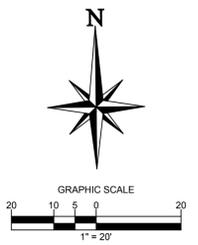
JOB #: JPM 19067
 DATE: 05.12.2017
 SCALE: N/A
 DRAWN BY: CED
 CHECKED BY: ZHT

SHEET NO.
C1



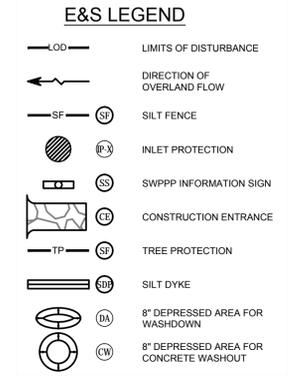
NOTE: SILT FENCE IS SHOWN OUTSIDE THE LIMITS OF DISTURBANCE FOR CLARITY ONLY. ALL SILT FENCE TO BE INSTALLED ON SITE.

| SOIL EROSION/SEDIMENTATION CONTROL TIME SCHEDULE | | | | | | | | | | | | |
|---|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE | | | | | | | | | | | | |
| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC |
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | |
| STRIP AND STOCKPILE TOPSOIL | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | |
| TEMPORARY CONSTRUCTION ROADS | | | | | | | | | | | | |
| FOUNDATION/BUILDING CONSTRUCTION | | | | | | | | | | | | |
| SITE CONSTRUCTION | | | | | | | | | | | | |
| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL STABILIZATION | | | | | | | | | | | | |



- ### SEQUENCE OF CONSTRUCTION
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
 2. INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE, AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
 3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
- PHASE II**
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
 4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 6. PREPARE SITE FOR PAVING.
 7. PAVE SITE.
 8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
 10. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 12. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
 13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE FDEP AND SHALL PROVIDE A COPY OF FDEP APPROVAL TO THE OWNER AND ENGINEER OF RECORD.
- NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

- ### BEST MANAGEMENT PRACTICES:
1. STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
 2. DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
 3. CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE.
 4. COPY OF SWPPP SHALL BE KEPT ON SITE.
 5. PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT.
- I. WASTE MATERIALS**
- ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LOADED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9 04 (SOLID WASTE MANAGEMENT AND THE TRASH BE HAULED TO A LICENSED LANDFILL.
- II. HAZARDOUS WASTE**
- AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CLURING, COMPOUNDS AND ADDITIVES, IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.
- III. SANITARY WASTE**
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IV. SPILL PREVENTION**
- THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
- V. GOOD HOUSEKEEPING**
- A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
 - B. NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
 - C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
 - D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
 - E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING F THE CONTAINER
 - F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL
- VI. HAZARDOUS CONDITIONS**
- PRACTICES TO REDUCE RISKS:
- A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
 - B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
 - C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS
- VII. PETROLEUM PRODUCTS**
- PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.
- VIII. SPILL CONTROL PRACTICES:**
- A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURE
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE
 - C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
 - D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN
 - E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY
 - F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING
- IX. MAINTENANCE AND INSPECTION PROCEDURES**
- ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE
- X. REMARKS**
- DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS, CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS



ACREAGE SUMMARY (IN ACRES)

| | |
|---------------------------------------|-------|
| TOTAL PROJECT AREA | 0.704 |
| ON-SITE DISTURBED AREA | 0.696 |
| OFF-SITE DISTURBED AREA | 0.008 |
| TOTAL DISTURBED AREA (MUST MATCH NOI) | 0.704 |
| IMPERVIOUS AREA AT COMPLETION | 0.529 |
| PREVIOUS/ SEEDED AREA AT COMPLETION | 0.175 |

CORE STATES GROUP
 170 NORTH 11TH STREET, SUITE 101
 HOLLYWOOD, FL 33020
 PHONE (813) 490-1755
 FAX (813) 490-1759
 CCARDEN@CORE-ENG.COM
 CA # 5872

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

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REVISIONS

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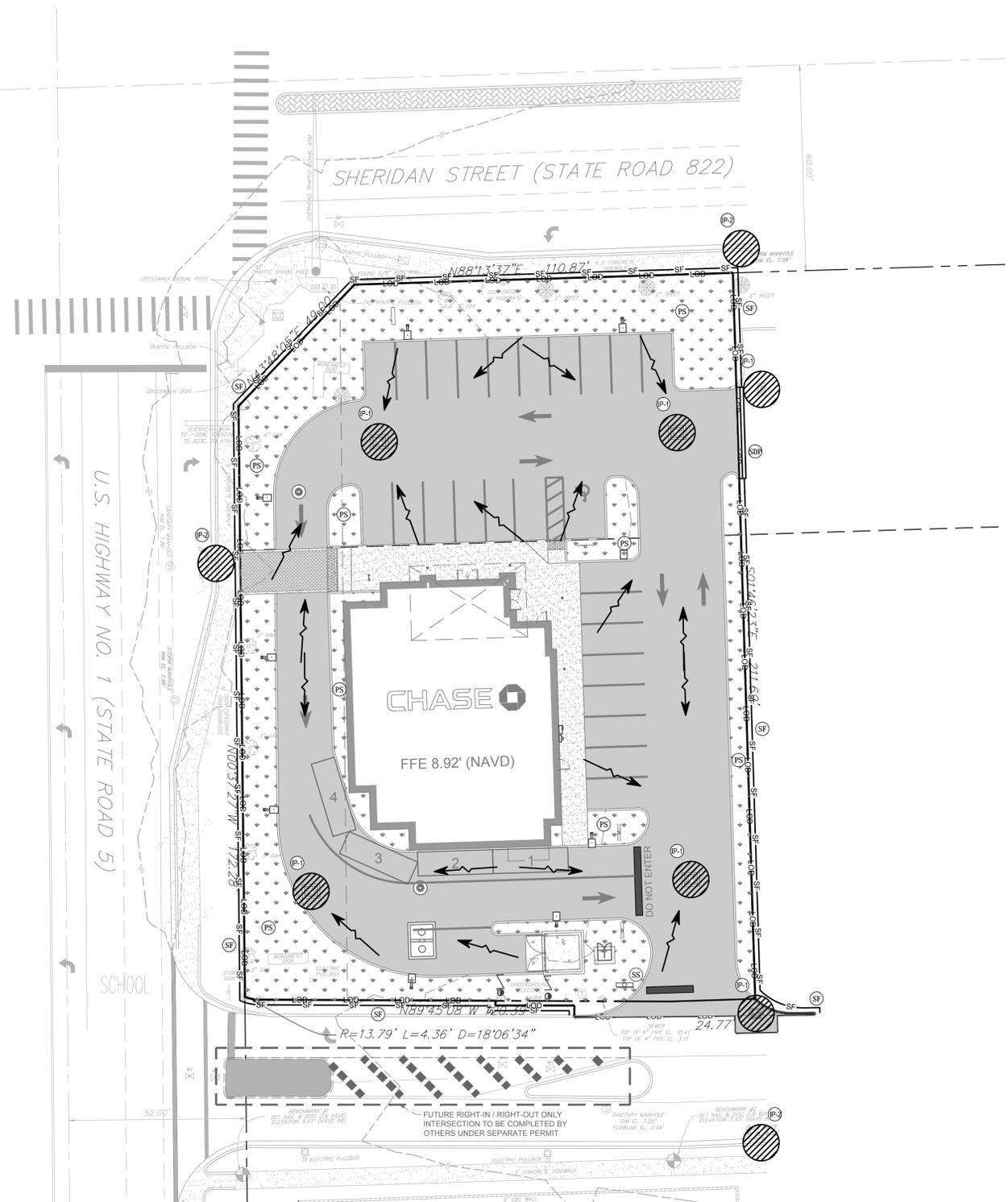
DOCUMENT CIVIL
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 SITE LOCATION
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 HOLLYWOOD, FL
 33020

ENGINEER SEAL

SHEET TITLE
 EROSION AND SEDIMENTATION CONTROL PLAN
 PHASE I

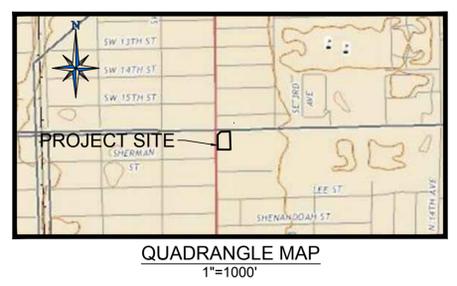
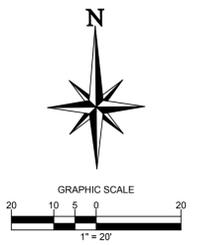
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 DATE: 05.12.2017
 SCALE: 1"=20'
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 CHECKED BY: ZHT

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NOTE: SILT FENCE IS SHOWN OUTSIDE THE LIMITS OF DISTURBANCE FOR CLARITY ONLY. ALL SILT FENCE TO BE INSTALLED ON SITE.

| SOIL EROSION/SEDIMENTATION CONTROL TIME SCHEDULE | | | | | | | | | | | | |
|---|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
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| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC |
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | |
| STRIP AND STOCKPILE TOPSOIL | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | |
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| FOUNDATION/BUILDING CONSTRUCTION | | | | | | | | | | | | |
| SITE CONSTRUCTION | | | | | | | | | | | | |
| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL | | | | | | | | | | | | |
| STABILIZATION | | | | | | | | | | | | |



- ### SEQUENCE OF CONSTRUCTION
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
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 4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 6. PREPARE SITE FOR PAVING.
 7. PAVE SITE.
 8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUT LOTS.
 10. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 12. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
 13. CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE FDEP AND SHALL PROVIDE A COPY OF FDEP APPROVAL TO THE OWNER AND ENGINEER OF RECORD.
- NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

- ### BEST MANAGEMENT PRACTICES:
1. STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
 2. DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
 3. CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE.
 4. COPY OF SWPPP SHALL BE KEPT ON SITE.
 5. PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT.
- I. WASTE MATERIALS**
- ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LOADED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9 04 (SOLID WASTE MANAGEMENT AND THE TRASH BE HAULED TO A LICENSED LANDFILL.
- II. HAZARDOUS WASTE**
- AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CLURING, COMPOUNDS AND ADDITIVES, IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.
- III. SANITARY WASTE**
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IV. SPILL PREVENTION**
- THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
- V. GOOD HOUSEKEEPING**
- A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
 - B. NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
 - C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
 - D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
 - E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING F THE CONTAINER
 - F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL
- VI. HAZARDOUS CONDITIONS**
- PRACTICES TO REDUCE RISKS:
- A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
 - B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
 - C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS
- VII. PETROLEUM PRODUCTS**
- PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.
- VIII. SPILL CONTROL PRACTICES:**
- A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURE
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE
 - C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
 - D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN
 - E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY
 - F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING
- IX. MAINTENANCE AND INSPECTION PROCEDURES**
- ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE
- X. REMARKS**
- DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS, CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS



ACREAGE SUMMARY (IN ACRES)

| | |
|---------------------------------------|-------|
| TOTAL PROJECT AREA | 0.704 |
| ON-SITE DISTURBED AREA | 0.696 |
| OFF-SITE DISTURBED AREA | 0.008 |
| TOTAL DISTURBED AREA (MUST MATCH NOI) | 0.704 |
| IMPERVIOUS AREA AT COMPLETION | 0.529 |
| PREVIOUS/ SEEDED AREA AT COMPLETION | 0.175 |

CORE STATES GROUP
 110 NORTH 11TH STREET, SUITE 101
 HOLLYWOOD, FL 33020
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 FAX (813) 490-1759
 CCARDEN@CORE-ENG.COM
 CORESTATES, INC.
 CA # 5872

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REVISIONS

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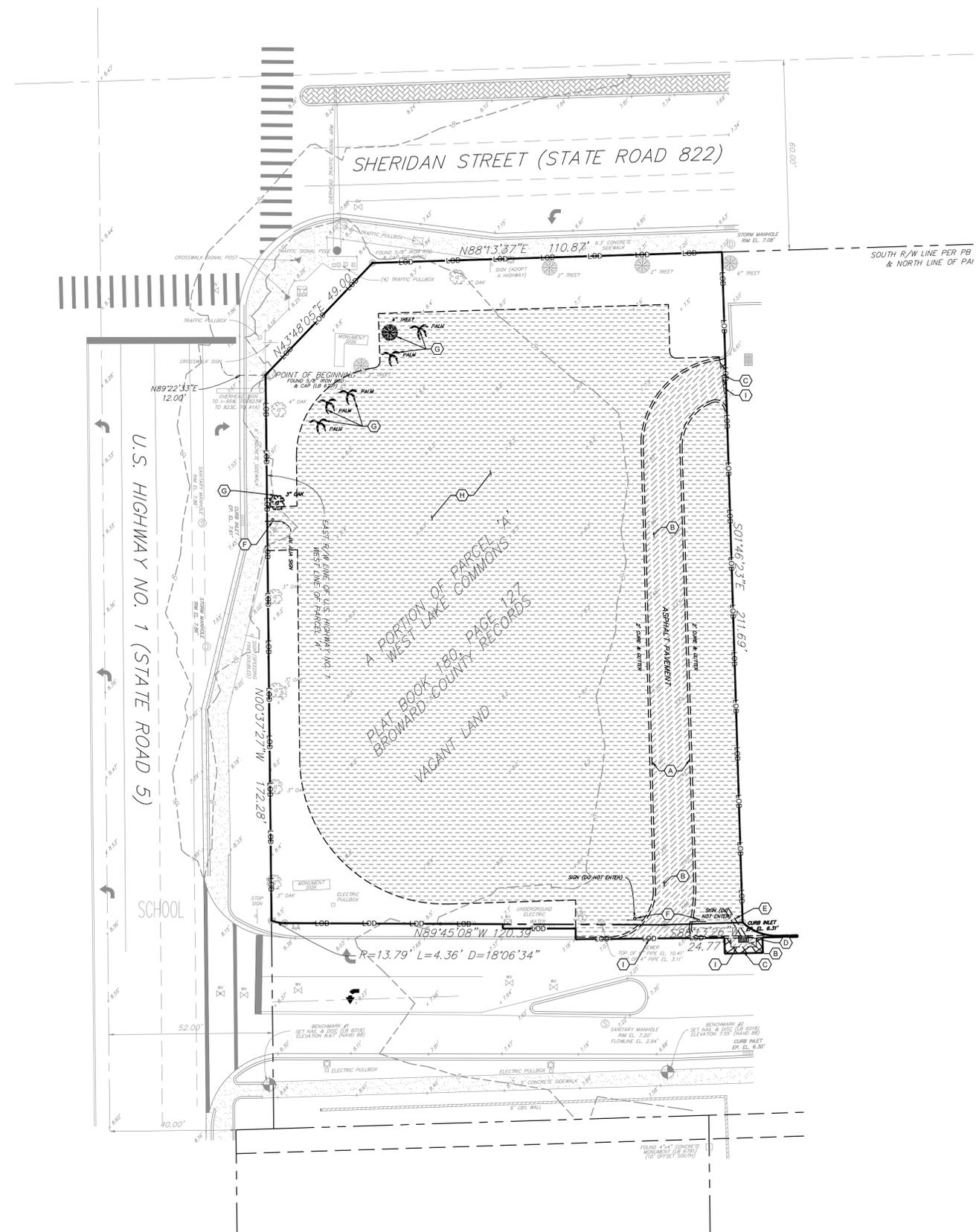
DOCUMENT CIVIL
 CONSTRUCTION PLANS FOR
 CHASE BANK AT
 YOUNG CIRCLE, FL
 SITE LOCATION
 1700 SHERIDAN STREET
 HOLLYWOOD, FL
 33020

ENGINEER SEAL

SHEET TITLE
 EROSION AND SEDIMENTATION CONTROL PLAN
 PHASE II

JOB #: JPM 19067
 DATE: 05.12.2017
 SCALE: 1"=20'
 DRAWN BY: CED
 CHECKED BY: ZHT

SHEET NO.
C4



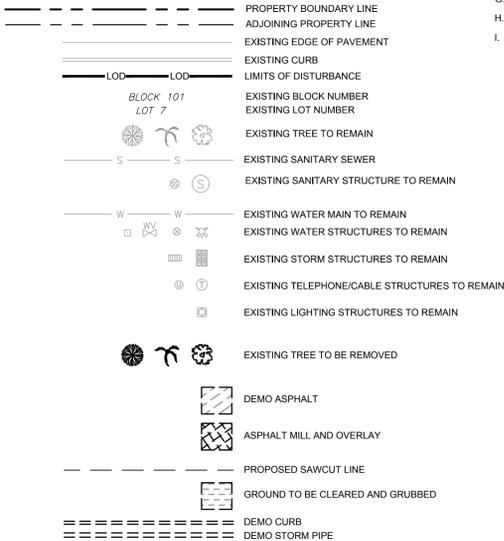
DEMOLITION NOTES:

1. CONTRACTOR TO FIELD LOCATE ALL EXISTING ON-SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
2. ALL ITEMS DARK AND DASHED TO BE REMOVED OR REPLACED PER KEYED NOTES.
3. ALL PROPER EROSION CONTROL METHODS SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
4. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.

KEYED NOTES:

- A. EXISTING CONCRETE CURB TO BE REMOVED (430 LF ±).
- B. EXISTING ASPHALT PAVEMENT TO BE REMOVED (2,300 SF ±).
- C. EXISTING ASPHALT PAVEMENT TO BE MILLED (50 SF ±).
- D. EXISTING STORM INLET STRUCTURE TO BE REMOVED. CONTRACTOR SHALL ENSURE EXISTING STORMWATER FLOW IS PUMPED AND CONTAINED ON-SITE DURING INSTALLATION OF PROPOSED STRUCTURE.
- E. EXISTING 15" STORM SEWER STUB TO BE REMOVED (10 LF ±).
- F. EXISTING SIGN TO BE REMOVED.
- G. EXISTING TREE TO BE REMOVED.
- H. GROUND TO BE CLEARED AND GRUBBED (22,680 SF ±).
- I. SAWCUT LINE.

DEMOLITION LEGEND



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Know what's below. Call before you dig.
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO OBTAIN THE NECESSARY INFORMATION.

REVISIONS

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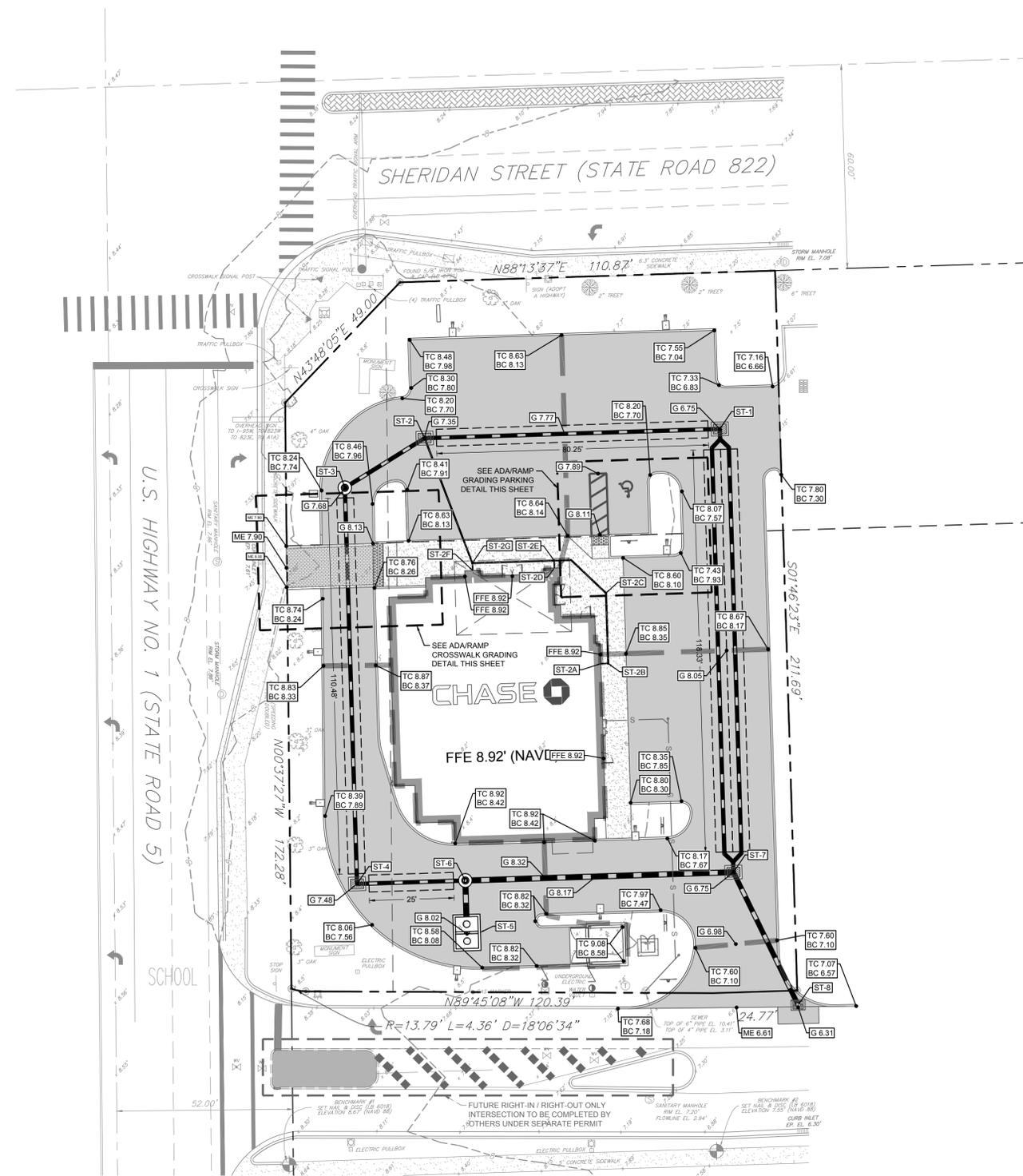
DOCUMENT CIVIL
 CONSTRUCTION PLANS FOR
 CHASE BANK AT
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 SITE LOCATION
 1700 SHERIDAN
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 HOLLYWOOD, FL
 33020

ENGINEER SEAL

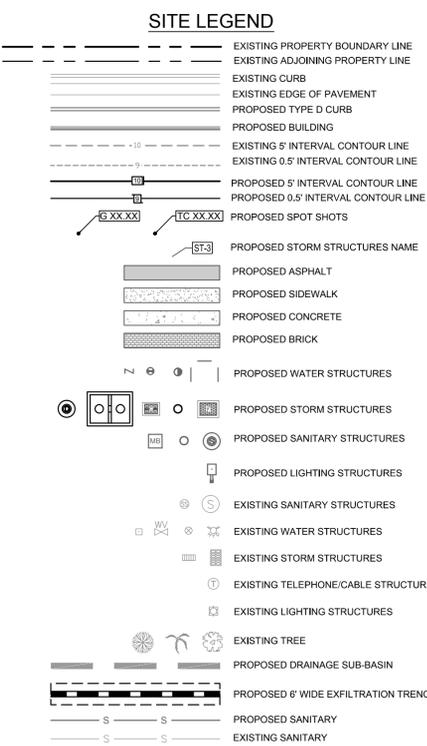
SHEET TITLE
 DEMOLITION PLAN

JOB #: JPM.19067
 DATE: 05.12.2017
 SCALE: 1"=20'
 DRAWN BY: CED
 CHECKED BY: ZHT

SHEET NO.
C6



- GRADING NOTES:**
- REFER TO SHEET C2 FOR GENERAL NOTES.
 - ALL DIMENSIONS ARE TO GROUND LEVEL. IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 - ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO INSTALL MEDIUM DUTY ASPHALT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY C&GS BM DISC. ELEVATION 11.076' (NGVD 29). CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'.
 - THIS SITE LIES IN FLOOD ZONE "X" AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
 - THE MINIMUM FINISHED FLOOR ELEVATION IS 10.50 (NGVD) [8.92 NAVD] PER THE APPROVED MASTER STORMWATER SYSTEM. THE PARCEL SHALL PROVIDE 436 LF OF EXFILTRATION TRENCH.
 - PER THE APPROVED MASTER STORMWATER SYSTEM, THE PARCEL SHALL PROVIDE 436 LF OF EXFILTRATION TRENCH.
 - REFER TO SHEET C12 FOR DRAINAGE WELL DETAILS.



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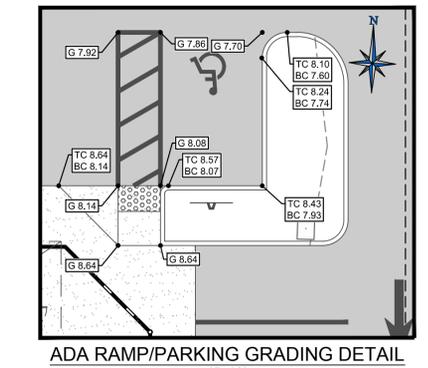
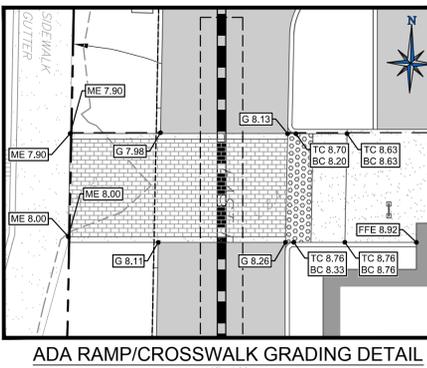
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811
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REVISIONS

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DOCUMENT
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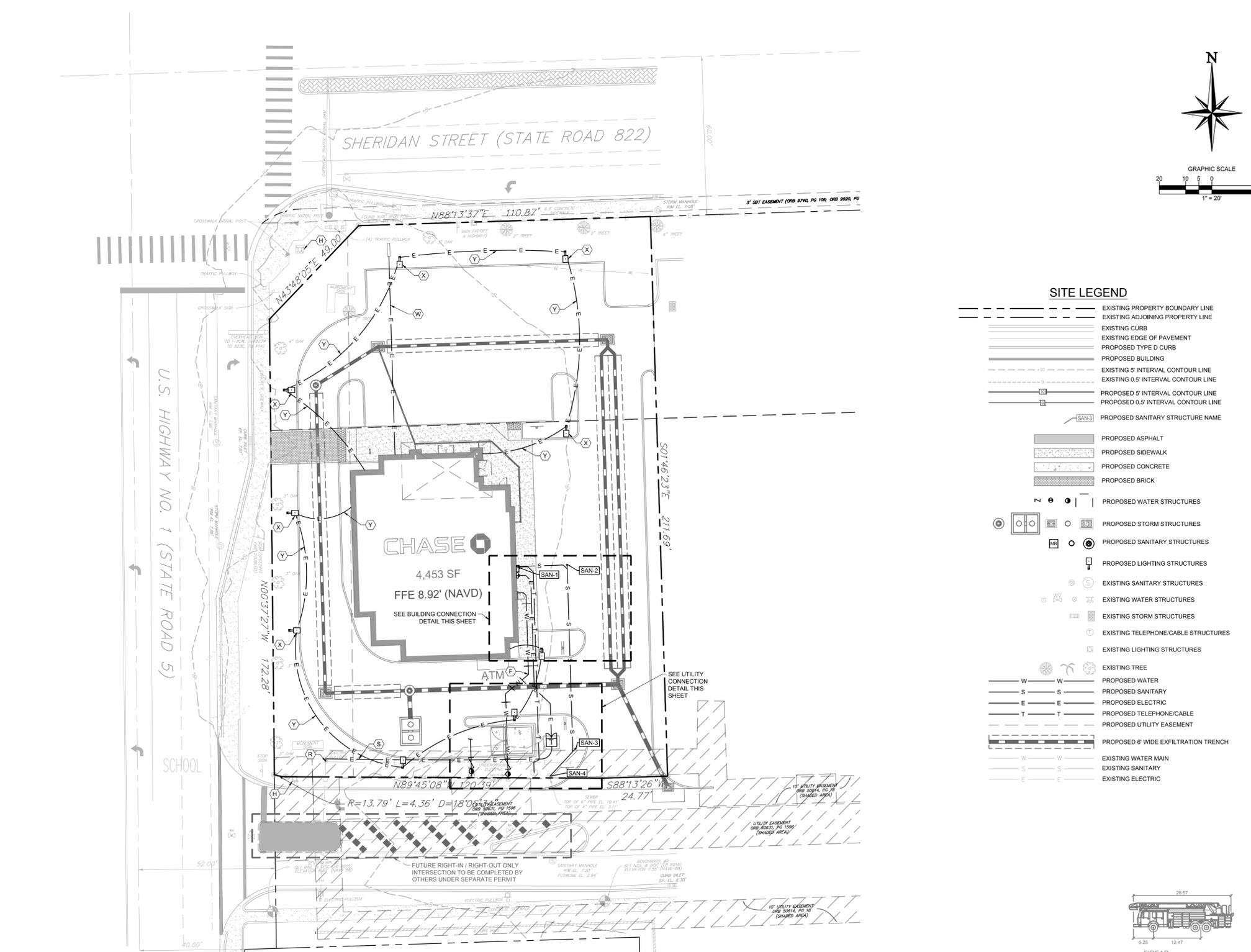


DRAINAGE SCHEDULE

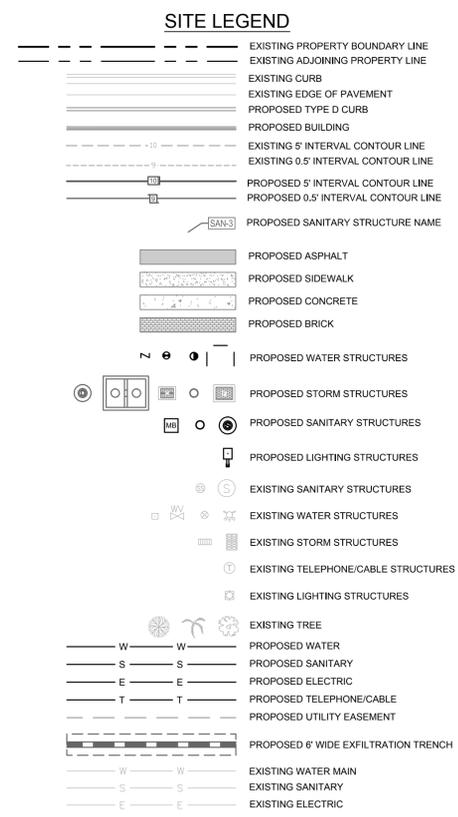
| STRUCTURE NUMBER | STRUCTURE TYPE | DRAINAGE AREA TO STRUCTURE (AC.) | GRATE/E.O.P./RIM ELEV. | INVERT ELEV. | DOWNSTREAM PIPE INFORMATION | | |
|------------------|----------------|----------------------------------|------------------------|--------------|-----------------------------|------------------------------|---------------|
| | | | | | PIPE LENGTH (FEET) | PIPE SIZE / TYPE | PERCENT SLOPE |
| ST-1 | TYPE F | 0.1250 | 6.75 | 2 | 87 (WEST) 132 (SOUTH) | 18" HDPE EXFILTRATION TRENCH | 0.00% |
| ST-2A | STUB | 0.090 | -- | 5.42 | 2 | 4" PVC | 2.50% |
| ST-2B | CLEANOUT | -- | 8.90 | 5.37 | 21 | 4" PVC | 2.50% |
| ST-3C | CLEANOUT | -- | 8.85 | 4.85 | 19 | 4" PVC | 2.50% |
| ST-2D | STUB | 0.008 | -- | 4.42 | 2 | 4" PVC | 2.50% |
| ST-2E | CLEANOUT | -- | 8.90 | 4.37 | 24 | 4" PVC | 2.50% |
| ST-2F | STUB | 0.008 | -- | 3.82 | 2 | 4" PVC | 2.50% |
| ST-2G | CLEANOUT | -- | 8.90 | 3.77 | 39 | 4" PVC | 2.50% |
| ST-2 | TYPE F | 0.116 | 7.35 | 2 | 28 | 15" HDPE | 0.00% |
| ST-3 | MANHOLE | -- | 7.68 | 2 | 116 | 18" HDPE EXFILTRATION TRENCH | 0.00% |
| ST-4 | TYPE F | 0.082 | 7.48 | 2 | 32 | 18" HDPE EXFILTRATION TRENCH | 0.00% |
| ST-5 | DRAINAGE WELL | -- | 8.02 | 2 | -- | 24" WELL | 0.00% |
| ST-6 | MANHOLE | -- | 7.97 | 2 | 11 | 18" HDPE | 0.00% |
| ST-7 | TYPE F | 0.107 | 6.75 | 2 | 79 (WEST) 43 (SOUTHEAST) | 18" HDPE | 0.00% |
| ST-8 | TYPE C | EXISTING | 6.31 | 2 | EXISTING | EXISTING | EXISTING |

NOTE TO THE CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

SHEET TITLE
 GRADING AND
 DRAINAGE PLAN
 JOB #: JPM 19067
 DATE: 05.12.2017
 SCALE: 1"=20'
 DRAWN BY: CED
 CHECKED BY: ZHT
 SHEET NO.
C8



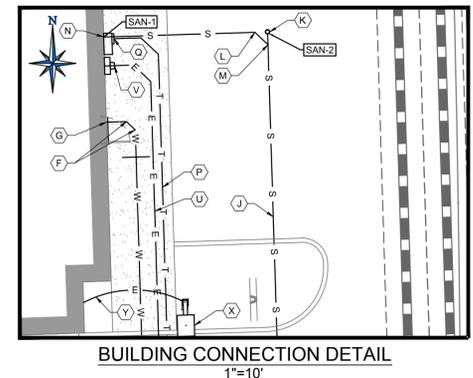
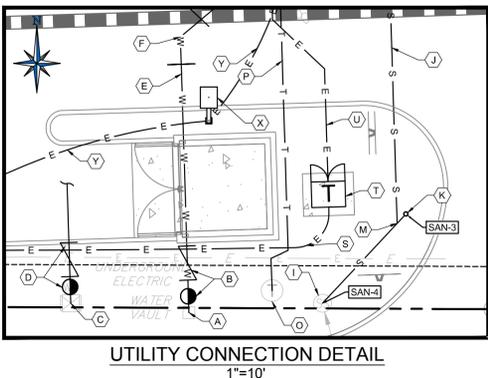
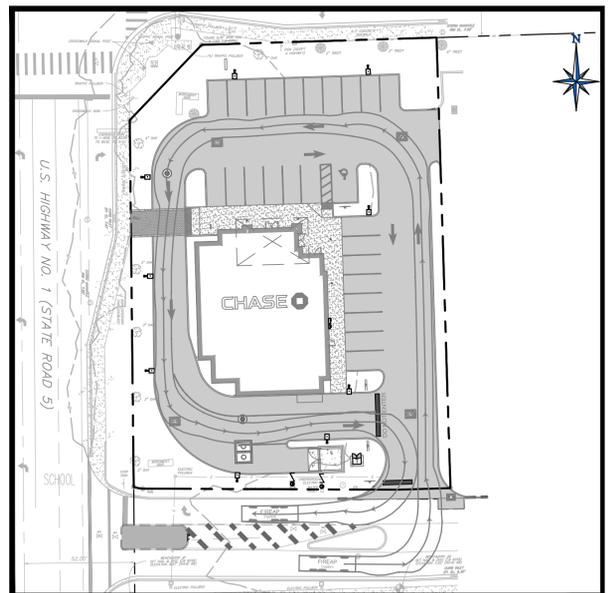
- UTILITY NOTES:**
- REFER TO SHEET C2 FOR GENERAL NOTES.
 - REFER TO SHEET C6 FOR DEMOLITION PLAN.
 - REFER TO SHEET C7 FOR SITE PLAN.
 - REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
 - REFER TO SHEET L-01 FOR LANDSCAPE PLAN.
 - REFER TO SHEET IR-01 FOR IRRIGATION PLAN.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM BROWARD COUNTY, C&GS BM DISC: ELEVATION 11.076' (NGVD 29); CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'.



- KEY NOTES:**
- PROPOSED POTABLE WATER CONNECTION POINT TO EXISTING 2" SERVICE STUB.
 - PROPOSED 1" POTABLE WATER METER AND 1" BACKFLOW PREVENTOR FOR SINGLE SERVICE. REFER TO SHEET C12 FOR DETAIL.
 - PROPOSED IRRIGATION WATER CONNECTION POINT TO EXISTING 4" SERVICE PLUG WITH 2" BLOWOFF.
 - PROPOSED 1" IRRIGATION METER AND 1" BACKFLOW PREVENTOR FOR IRRIGATION SERVICE. REFER TO SHEET C12 FOR DETAIL.
 - PROPOSED 1" (DR-28) DOMESTIC WATER SERVICE. MAINTAIN 36" OF COVER. (78 LF TOTAL)
 - PROPOSED 1" PVC - 45' BEND.
 - PROPOSED LOCATION FOR 1" PVC POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - EXISTING FIRE HYDRANT ASSEMBLY.
 - CONNECT TO EXISTING 6" PVC SANITARY SEWER CLEANOUT. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERTS PRIOR TO CONSTRUCTION. (SEE NOTE #7)
 - PROPOSED 4" (SDR 26) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT A MINIMUM SLOPE OF 2.00% (102 LF TOTAL)
 - PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.
 - PROPOSED 4" - 45' BEND.
 - PROPOSED 4" - 45' WYE BEND.
 - PROPOSED LOCATION FOR 4" PVC SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED POINT OF CONNECTION FOR TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.
 - CONTRACTOR TO PROVIDE (2) 4" UNDERGROUND CONDUITS FOR TELEPHONE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.
 - PROPOSED LOCATION FOR UNDERGROUND TELEPHONE AND CABLE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE BY ELECTRIC COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
 - ELECTRIC COMPANY TO INSTALL UNDERGROUND CONDUITS FOR ELECTRICAL SERVICE TO TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY (FPL).
 - PROPOSED TRANSFORMER WITH CONCRETE PAD TO BE INSTALLED BY ELECTRICAL COMPANY (FPL). CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
 - CONTRACTOR SHALL PROVIDE (6) 4" UNDERGROUND SECONDARY CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (FPL).
 - PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED 3/4" ELECTRICAL CONDUIT FOR MONUMENT SIGN.
 - PROPOSED SITE LIGHT FIXTURE. 25' MOUNTING HEIGHT (SEE PHOTOMETRIC ALIGNMENT). REFER TO SHEET C13 FOR DETAIL.
 - PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR SITE LIGHTING. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATE PROPOSED WIRING SCHEMATIC.

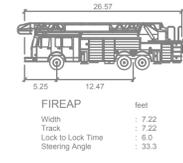
WATER AND SEWR DEMAND FLOWS PER CHAPTER 64E-6 F.A.C.

OFFICE BUILDING: 15 GPD PER 100 SF
 4,453 SF X 15 GPD/100 = 668 GPD
 668 GPD X 2.5 (PEAKING FACTOR) = 1,670 GPD = 70 GPH = 1.17 GPM



SANITARY SEWER SCHEDULE

| STRUCTURE NUMBER | STRUCTURE TYPE | GRATE/E.O.P./RIM ELEV. | INVERT ELEV. | DOWNSTREAM PIPE INFORMATION | | |
|------------------|-------------------|------------------------|--------------|-----------------------------|------------------|---------------|
| | | | | PIPE LENGTH (FEET) | PIPE SIZE / TYPE | PERCENT SLOPE |
| SAN-1 | STUB | | 5.42 | 20 | 4" PVC | 2.25% |
| SAN-2 | CLEANOUT | | 4.97 | 69 | 4" PVC | 2.25% |
| SAN-3 | CLEANOUT | | 3.42 | 13 | 4" PVC | 2.38% |
| SAN-4 | EXISTING CLEANOUT | | 3.11 | -- | 4" PVC | -- |



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CHASE

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REVISIONS

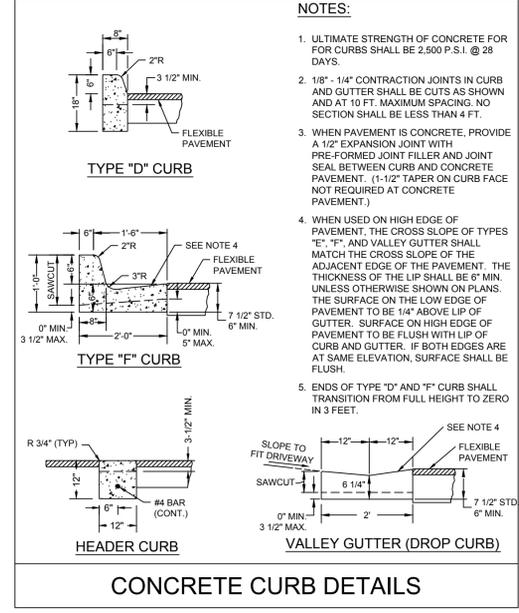
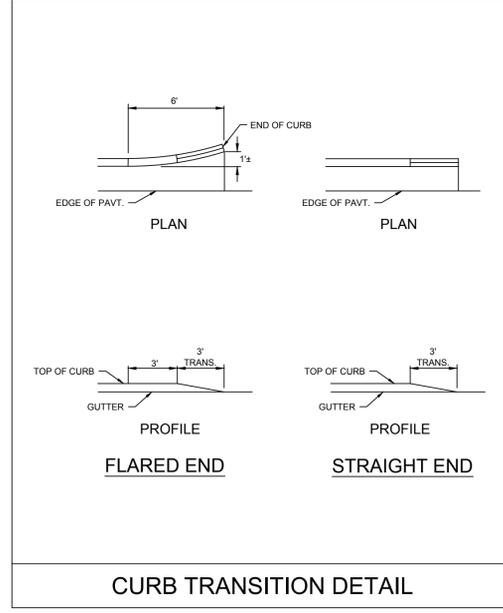
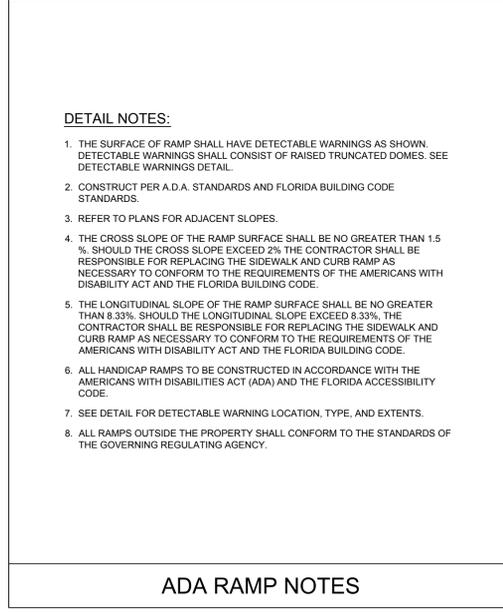
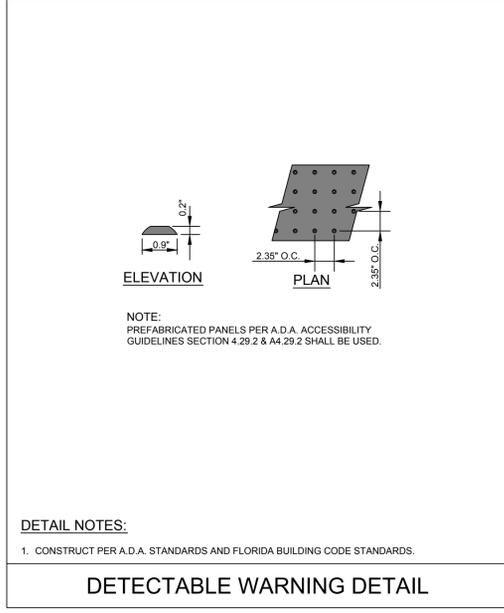
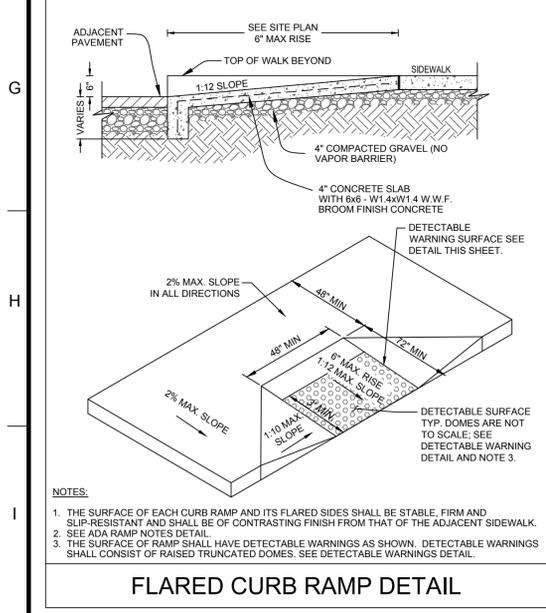
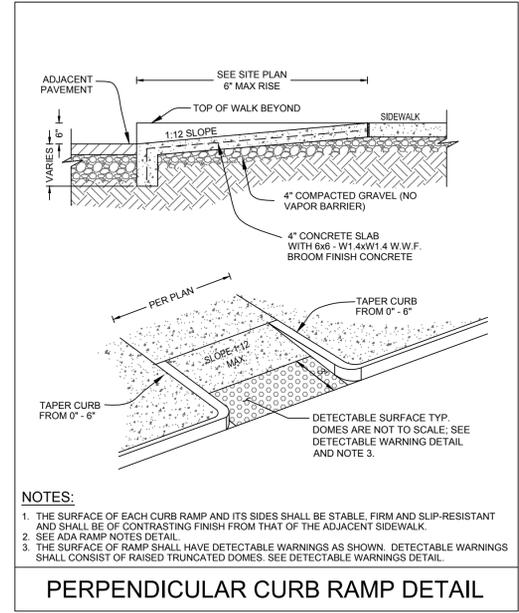
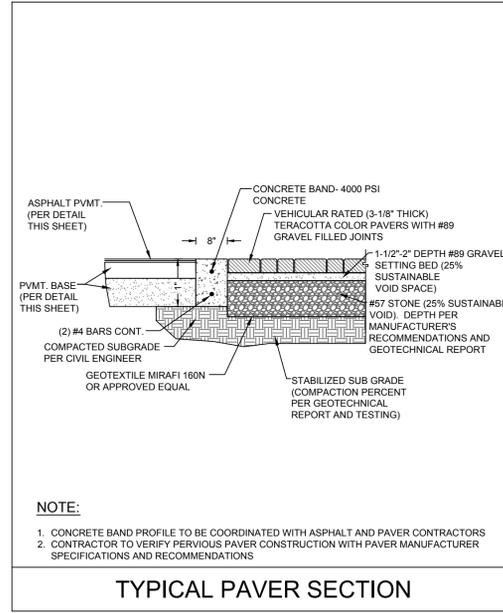
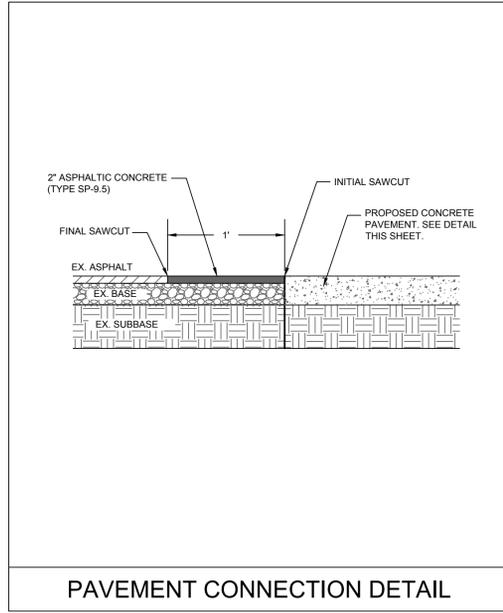
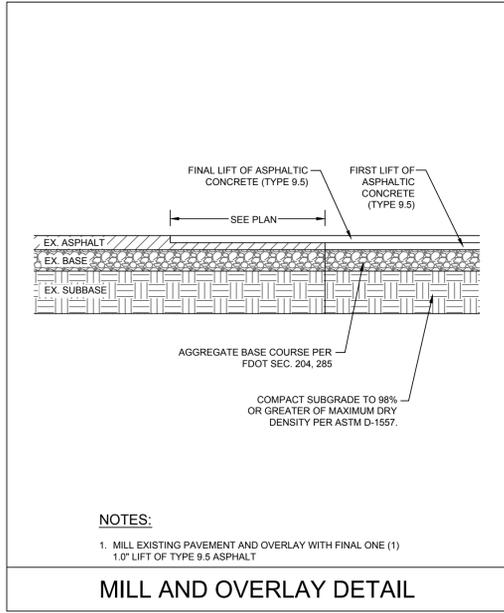
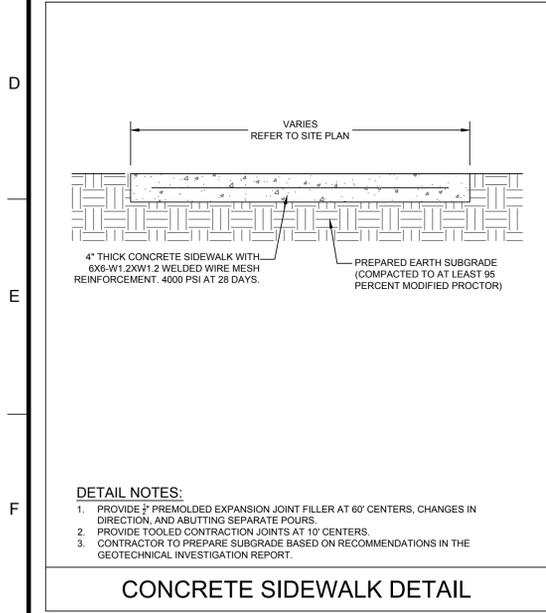
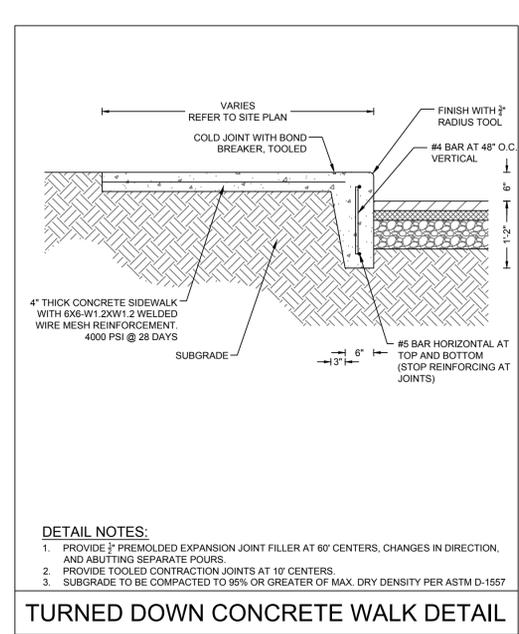
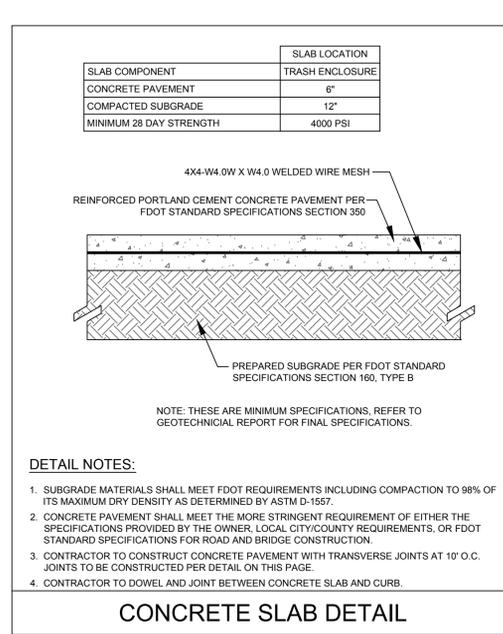
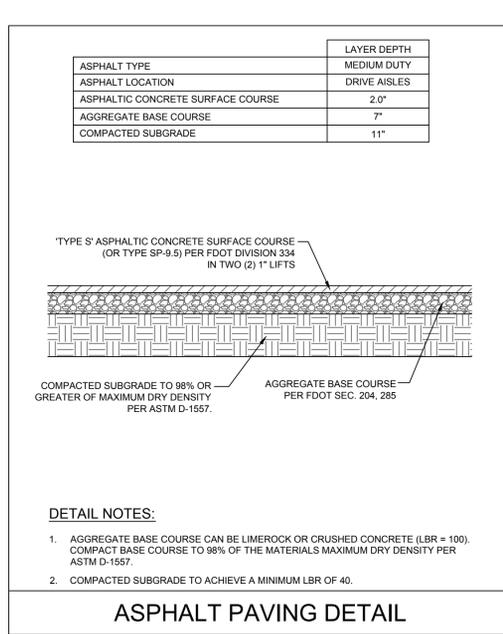
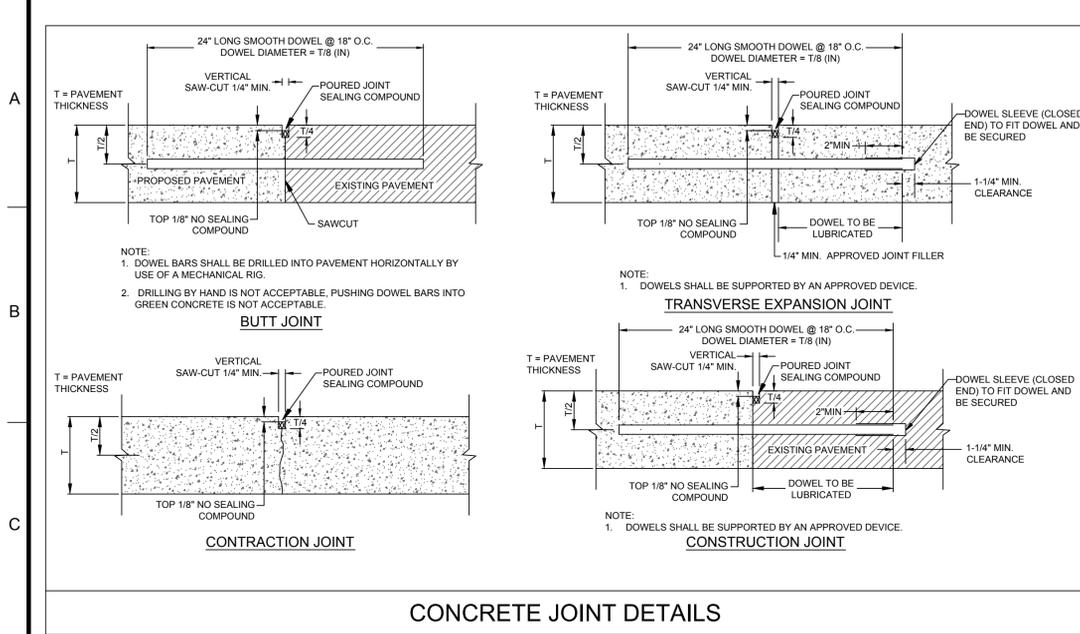
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DOCUMENT CIVIL
 CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL
 SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020
 ENGINEER SEAL

SHEET TITLE
 UTILITY PLAN

JOB #: JPM 19067
 DATE: 05.12.2017
 SCALE: 1"=20'
 DRAWN BY: CED
 CHECKED BY: ZHT

SHEET NO.
C9



CORE STATES GROUP

110 NORTH 11TH STREET, SUITE 101
 TAMPA, FLORIDA 33602
 PHONE (813) 490-1755
 FAX (813) 490-1759
 CCARDEN@CORE-ENG.COM

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CLIENT

CHASE

811

Know what's below. Call before you dig.

REVISIONS

| REV | DATE | COMMENT | BY |
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DOCUMENT CIVIL

CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL

SITE LOCATION

1700 SHERIDAN STREET

HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE

CONSTRUCTION DETAILS

JOB #: JPM 19067

DATE: 05.12.2017

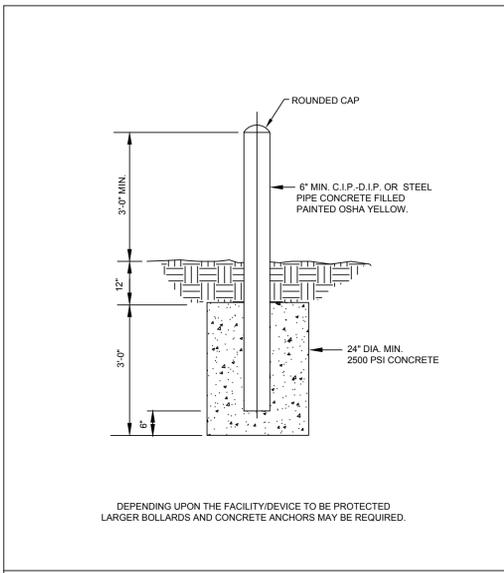
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DRAWN BY: CED

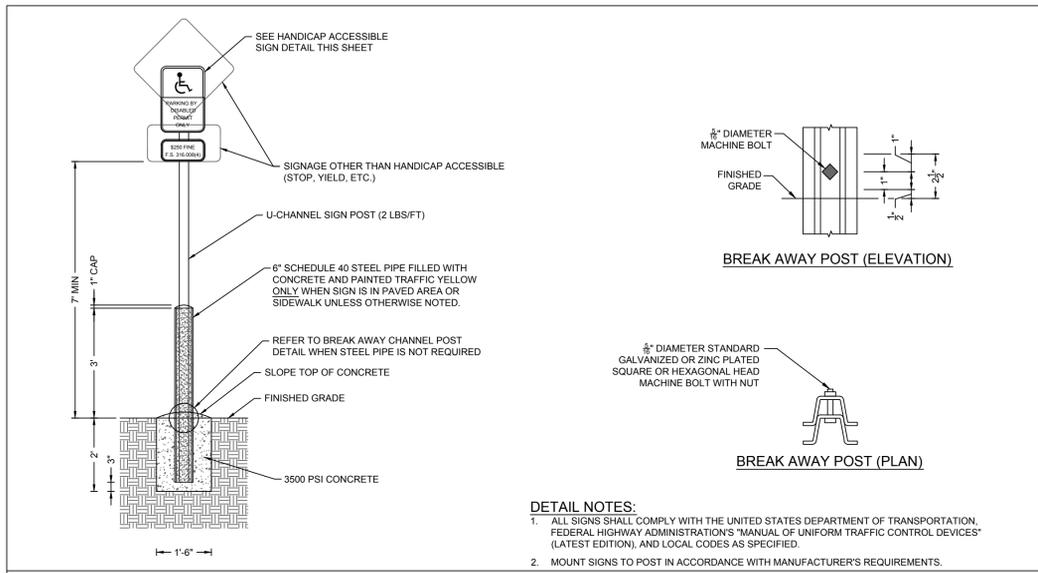
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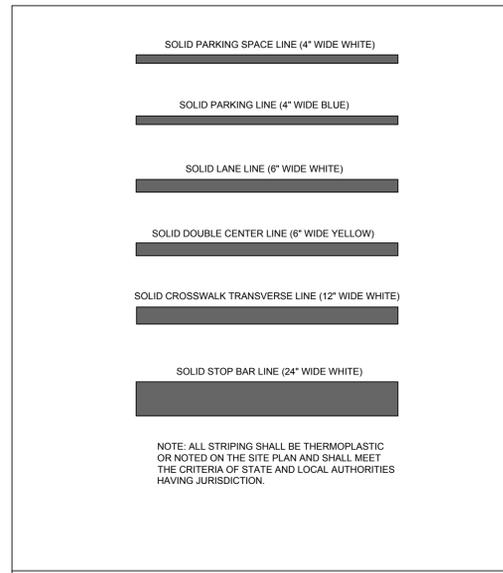
C10



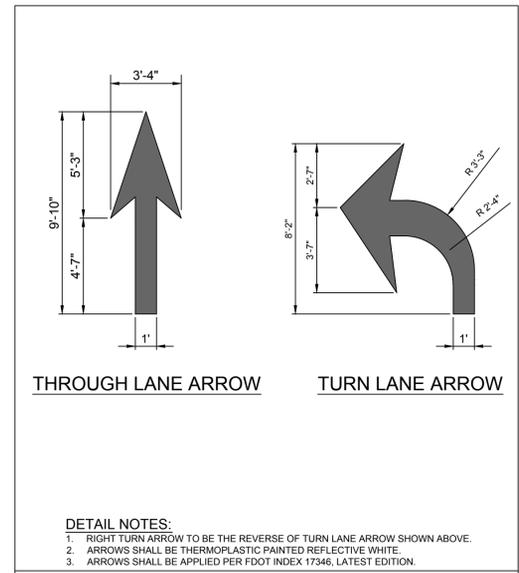
PROTECTION BOLLARD DETAIL



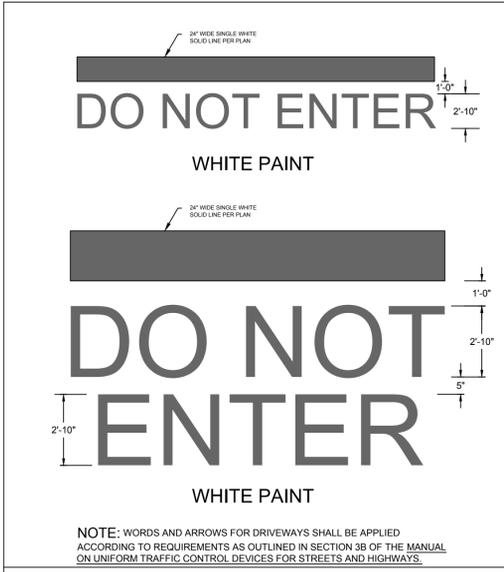
SIGN POST DETAIL



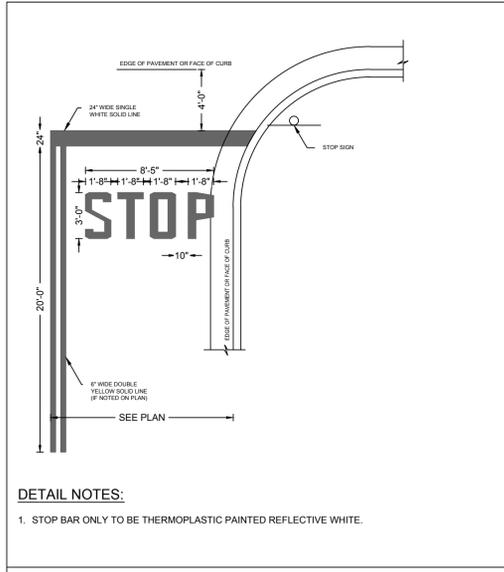
STRIPING DETAIL



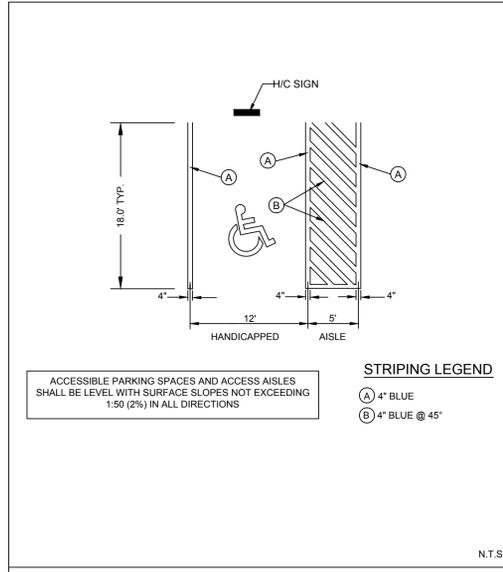
TRAFFIC FLOW ARROW DETAIL



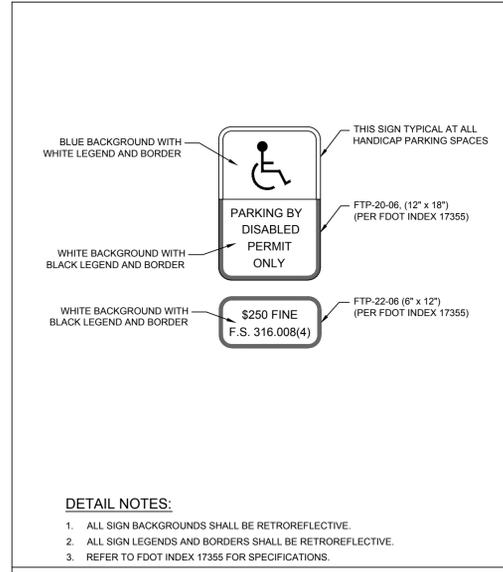
DO NOT ENTER DETAIL



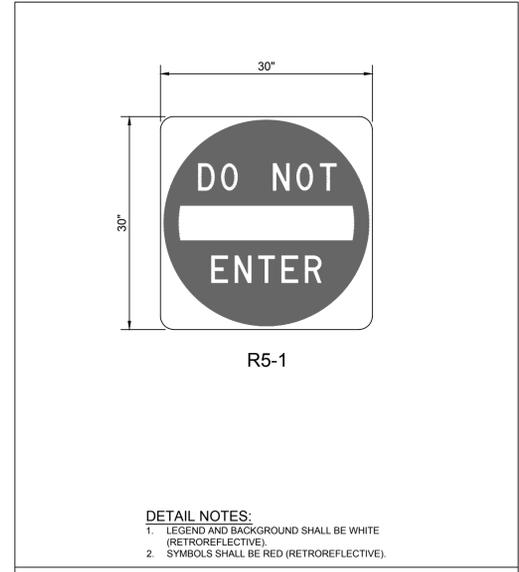
STOP BAR DETAIL



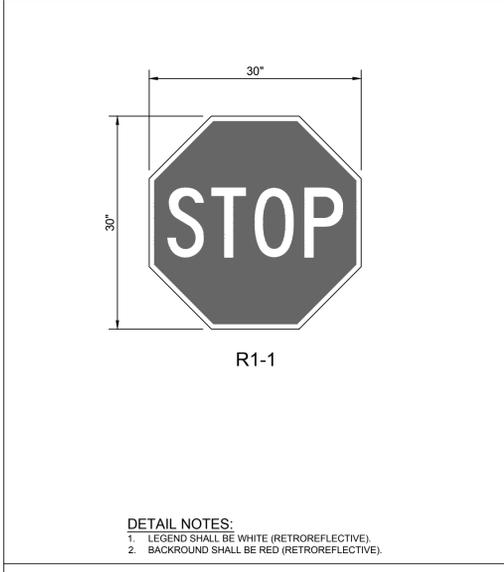
HANDICAP ACCESSIBLE STRIPING DETAIL



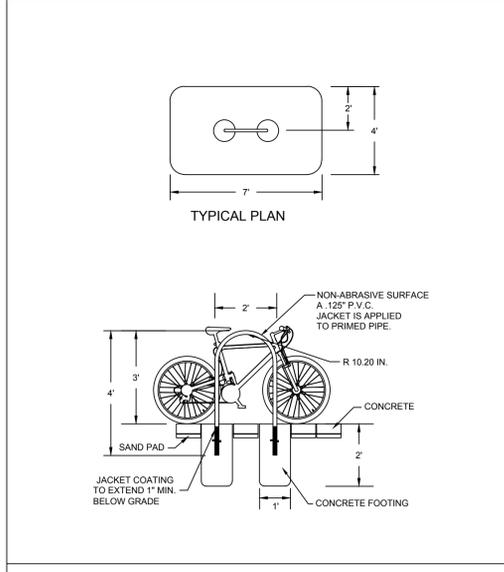
HANDICAP ACCESSIBLE SIGN DETAIL



"DO NOT ENTER" SIGN DETAIL



"STOP" SIGN DETAIL



BIKE RACK DETAIL

CORE STATES GROUP
 110 NORTH 11TH STREET, SUITE 101
 HOLLYWOOD, FL 33020
 PHONE (813) 490-1755
 FAX (813) 490-1759
 CCARDEN@CORE-ENG.COM
 CORESTATES, INC.
 CA # 5872

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CLIENT
CHASE

811
 Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON DESIGN INFORMATION PROVIDED TO THE CONTRACTOR. CORE STATES, INC. DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHOULD CONTACT THE UTILITY OWNERS TO VERIFY THE LOCATION AND DEPTH OF UTILITIES BEFORE ANY EXCAVATION TO BE UNDERTAKEN.

REVISIONS

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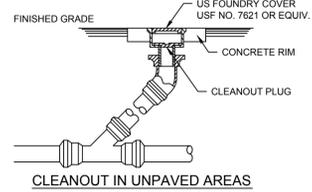
DOCUMENT CIVIL
 CONSTRUCTION PLANS FOR
 CHASE BANK AT
 YOUNG CIRCLE, FL
 SITE LOCATION
 1700 SHERIDAN
 STREET
 HOLLYWOOD, FL
 33020

ENGINEER SEAL

SHEET TITLE
 CONSTRUCTION
 DETAILS

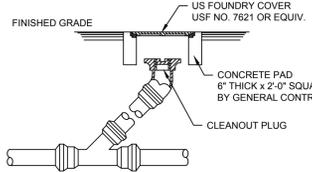
JOB #: JPM 19067
 DATE: 05.12.2017
 SCALE: N/A
 DRAWN BY: CED
 CHECKED BY: ZHT

SHEET NO.
C11



CLEANOUT IN UNPAVED AREAS

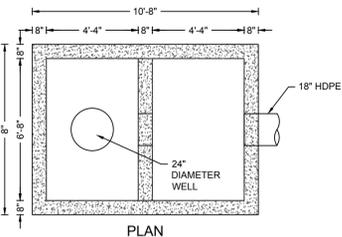
NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.



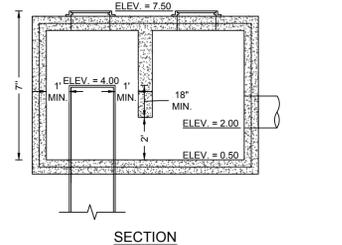
CLEANOUT IN PAVED AREAS

NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

CLEANOUT DETAIL



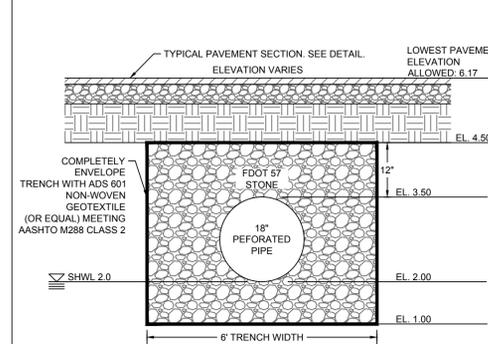
PLAN



SECTION

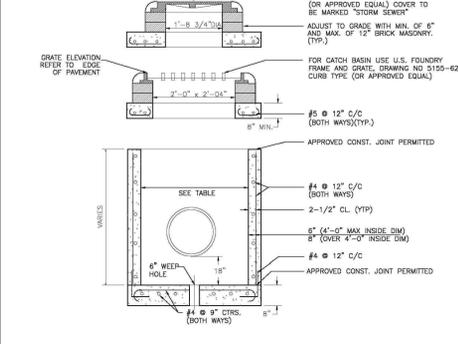
DRAINAGE WELL DETAIL

- DETAIL NOTES: 1. STRUCTURE SHALL BE PRECAST DRAINAGE WELL STRUCTURE WITH BAFFLE FROM U.S. CONCRETE PRODUCTS CORPORATION. 2. REINFORCEMENT SCHEDULE BY PRECAST MANUFACTURER. 3. SHOP DRAWING TO BE SUBMITTED TO ENGINEER PRIOR TO PURCHASE AND INSTALLATION. 4. WELL TO BE 24" IN DIAMETER. 5. WELL TO BE DRILLED AND TESTED UNTIL WELL CAPACITY OF 250 GPM/FT. HEAD IS MET. THIS WILL BE AT APPROXIMATELY 176 FEET IN DEPTH, WITH 164 FEET CASING DEPTH. 6. ONE FOOT CLEARANCE REQUIRED AROUND WELL CASING. 7. LID AND TOP TO BE HS20 RATED. 8. WELL CASING THICKNESS SHALL MEET SFWM AND BROWARD COUNTY REQUIREMENTS. 9. CONCRETE SHALL BE 4000 PSI.



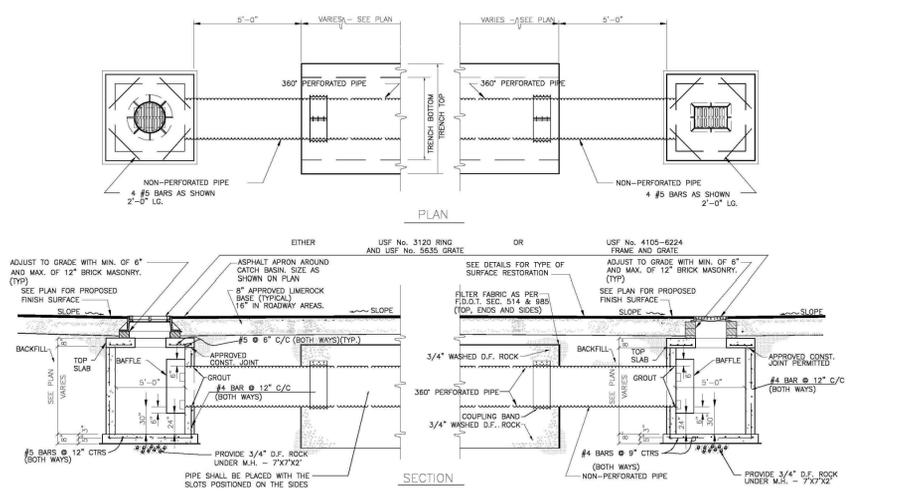
EXFILTRATION TRENCH DETAIL

- DETAIL NOTES: 1. BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER. 2. ALL EXFILTRATION TRENCH SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE. 3. EACH CATCH BASIN MUST BE BAFFLED PRIOR TO INSTALLATION OF THE PERFORATED PIPE.

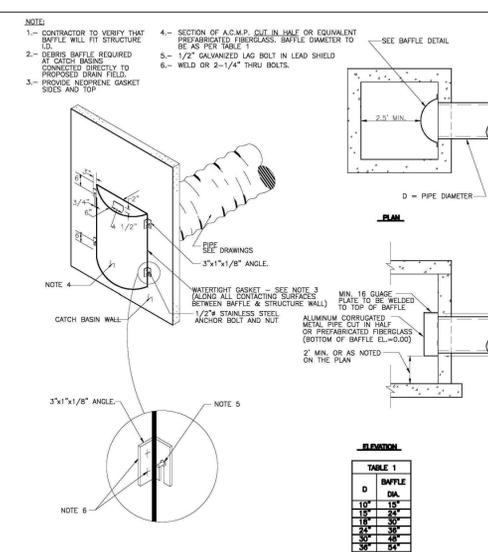


DRAINAGE STRUCTURES SECTION DETAIL

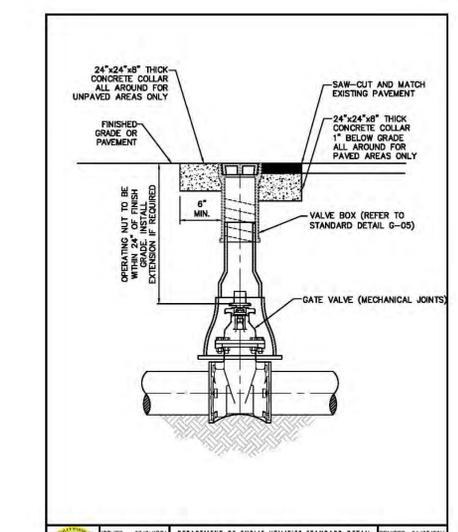
TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES. Columns: STRUCTURE TYPE, INLET, MANHOLE. Rows: A through M.



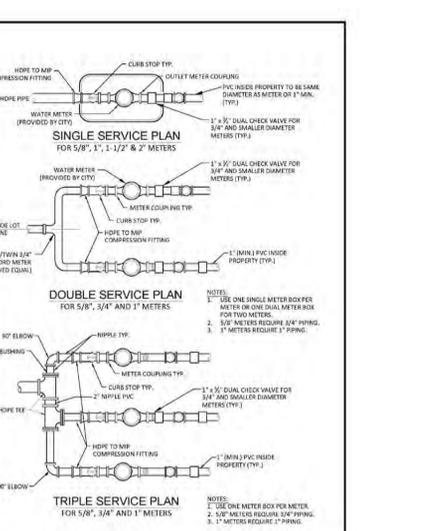
CATCH BASIN WITH EXFILTRATION TRENCH DETAIL



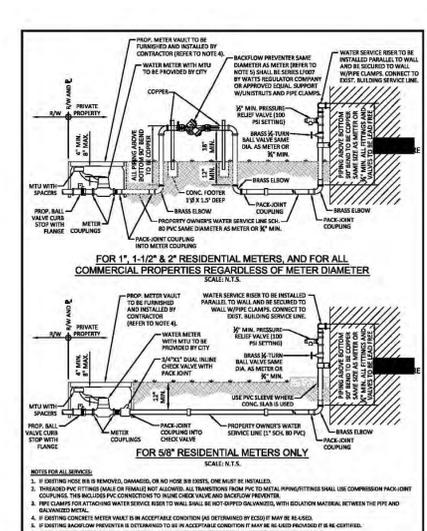
POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL



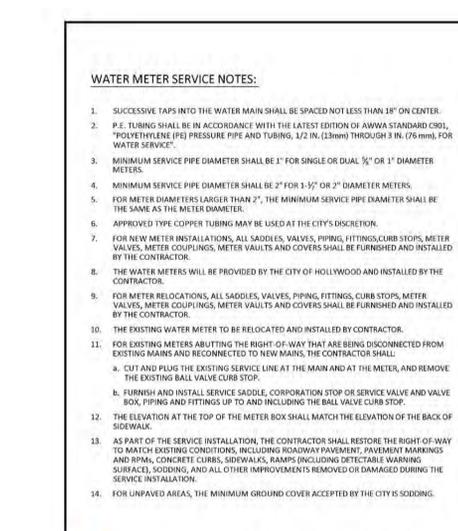
TYPICAL GATE VALVE AND VALVE BOX SETTING



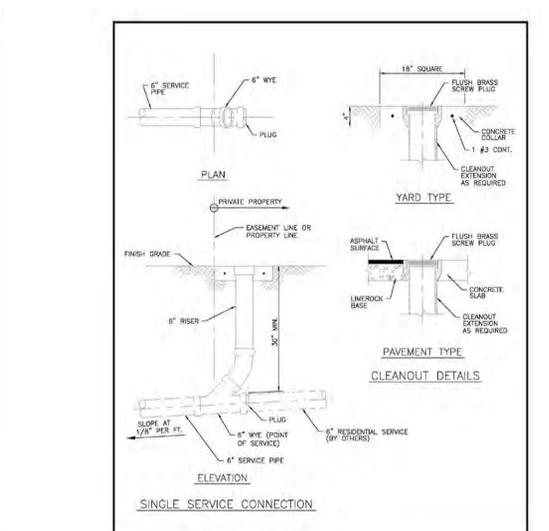
SINGLE SERVICE PLAN



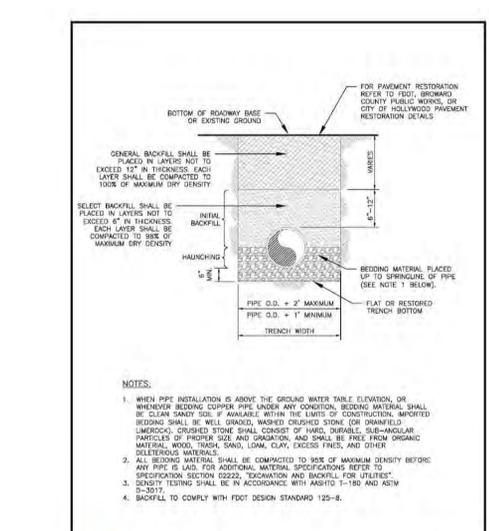
TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS



WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS



SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE



PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)

CORE STATES GROUP logo and contact information: 110 NORTH 11TH STREET, SUITE 101, CORAL GABLES, FL 33134, PHONE (813) 490-1755, FAX (813) 490-1759, CCARDEN@CORE-ENG.COM, CA # 5872

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CHASE logo and slogan: Know what's below. Call before you dig.

811 logo and slogan: Know what's below. Call before you dig.

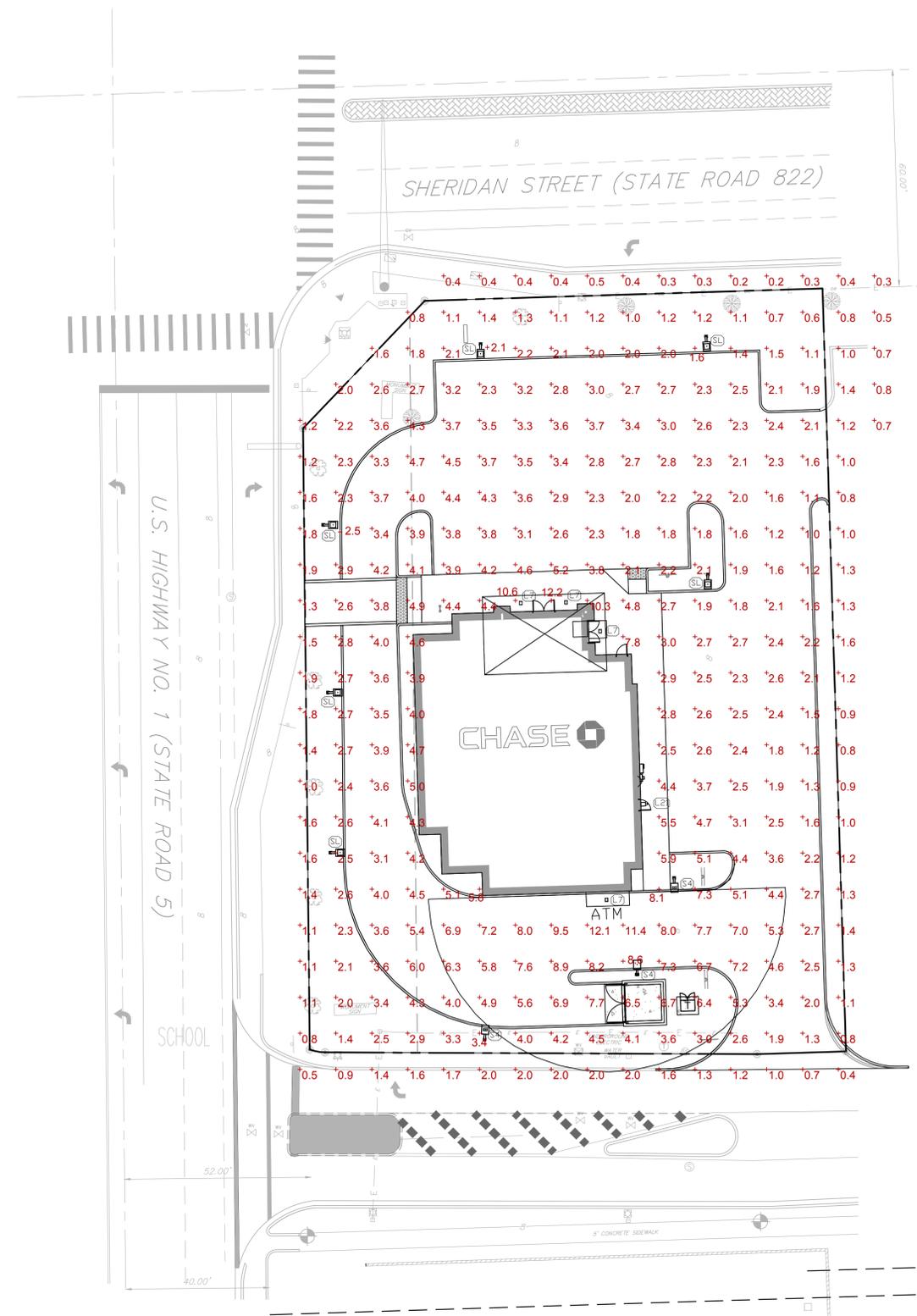
REVISIONS table with columns: REV, DATE, COMMENT, BY.

CLIENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL. SITE LOCATION 1700 SHERIDAN STREET HOLLYWOOD, FL 33020

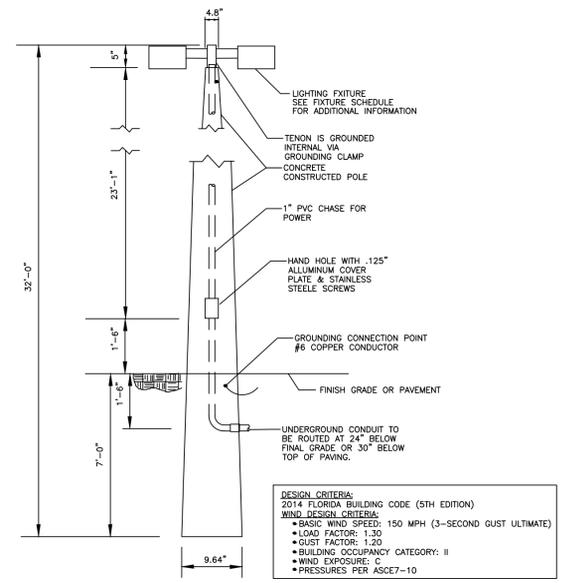
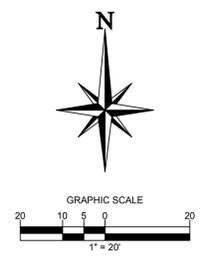
ENGINEER SEAL SHEET TITLE CONSTRUCTION DETAILS

DATE: 05.12.2017 SCALE: N/A DRAWN BY: CED CHECKED BY: ZHT

SHEET NO. C12



PHOTOMETRIC SITE PLAN



DESIGN CRITERIA:
2014 FLORIDA BUILDING CODE (5TH EDITION)
WIND DESIGN CRITERIA:
• BASIC WIND SPEED: 150 MPH (3-SECOND GUST ULTIMATE)
• LOAD FACTOR: 1.30
• GUST FACTOR: 1.20
• BUILDING OCCUPANCY CATEGORY: II
• WIND EXPOSURE: C
• PRESSURES PER ASCE7-10

LIGHT FIXTURE / POLE DETAIL

| STATISTICS | | | | | | |
|--------------|--------|----------|---------|---------|---------|---------|
| DESCRIPTION | SYMBOL | AVGERAGE | MAXIMUM | MINIMUM | MAX:MIN | AVG:MIN |
| BUILDING ATM | + | 6.7 FC | 14.5 FC | 2.6 FC | 5.6:1 | 2.6:1 |
| PARKING LOT | + | 3.0 FC | 13.9 FC | 0.2 FC | N/A | N/A |

| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-------|-----|--|--|---|------------------------------------|----------|------|-------|
| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
| □ | SL | 6 | EANB_E4740_0_E4 4000K | EVOLVE LED AREA EANB, TYPE IV COORDINATE MOUNTING BRACKET WITH POLE | LED | EANB_E4740 | ABSOLUTE | 1.00 | 98 |
| □ | S4 | 3 | EANB_E3740_0_E4 4000K | EVOLVE LED AREA EANB, TYPE III COORDINATE MOUNTING BRACKET WITH POLE | LED | EANB_E3740 | ABSOLUTE | 1.00 | 98 |
| □ | L7 | 4 | CAN-227-PS-03-C-UL-43K (350mA) SCALED FROM CAN-227-PS-RM-03-C-UL-525 EXCR0A03C-U (525mA) | SCALED FROM 30 LED EDGE PETROLEUM SYMMETRIC RECESSED CANOPY 525mA | SCALED FROM THIRTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP | CAN-227-PS-03-C-UL-43K- SCALED.IES | ABSOLUTE | 0.75 | 38 |
| □ | L21 | 1 | WD14D4LED-3500K | WALL DIRECTOR LED DIE-CAST ALUMINUM HOUSING AND LENS FRAME. FLAT GLASS LENS. LED EMITTER DECK INCLUDES CONSTANT CURRENT LEDS, HEATSINKS, AND REFLECTORS. ONE 75 WATT TRP DRIVER. | 20 THREE LED MODULES CONSTANT CURRENT 3500K | WD14D4-13K.IES | ABSOLUTE | 0.75 | 71 |

NOTE TO THE CONTRACTOR:
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES GROUP
170 NORTH 11TH STREET, SUITE 101
HOLLYWOOD, FL 33020
PHONE (813) 490-1755
FAX (813) 490-1759
CCARDEN@CORE-ENG.COM
CORESTATES, INC.
CA # 5872

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DOCUMENT CIVIL
CONSTRUCTION PLANS FOR CHASE BANK AT YOUNG CIRCLE, FL
SITE LOCATION
1700 SHERIDAN STREET
HOLLYWOOD, FL 33020

ENGINEER SEAL

SHEET TITLE
PHOTOMETRIC PLAN

| | |
|-------------|------------|
| JOB #: | JPM 19067 |
| DATE: | 05.12.2017 |
| SCALE: | 1"=20' |
| DRAWN BY: | CED |
| CHECKED BY: | ZHT |

SHEET NO.
C13

ALTA/NSPS LAND TITLE SURVEY
 A PORTION OF PARCEL 'A', WEST LAKE COMMONS
 PLAT BOOK 180, PAGE 147
 HOLLYWOOD, BROWARD COUNTY, FLORIDA

LEGAL DESCRIPTION:

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10; THENCE NORTH 88°13'37" EAST, ON THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 40.01 FEET; THENCE SOUTH 00°37'27" EAST ON A LINE 40.00 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1) A DISTANCE OF 94.08 FEET; THENCE NORTH 89°22'23" EAST, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 43°48'05" EAST, A DISTANCE OF 49.00 FEET; THENCE NORTH 88°13'37" EAST ON A LINE 60.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 10, A DISTANCE OF 110.87 FEET; THENCE SOUTH 01°46'23" EAST, A DISTANCE OF 211.69 FEET; THENCE SOUTH 88°13'37" WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 89°45'06" WEST, A DISTANCE OF 120.39 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 13.79 FEET, A CENTRAL ANGLE OF 18°06'34" AND AN ARC DISTANCE OF 4.36 FEET TO THE INTERSECTION WITH A LINE 12 FEET EAST OF AND PARALLEL WITH SAID EAST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. HIGHWAY NO. 1); THENCE NORTH 00°37'27" WEST ON SAID PARALLEL LINE, A DISTANCE OF 172.35 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH AN OWNERSHIP AND ENCUMBRANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 6369630, EFFECTIVE DATE: APRIL 25, 2017 AT 5:00 PM.
- PLAT BOOK 180, PAGES 127-130 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- ORB 49450, PG 972 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 49650, PG 1109; INSTRUMENT # 113020931 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB ORB 49650, PG 1210; ORB 51142, PG 1361 - AFFECTS PROPERTY - BOUNDARY
- ORB 50263, PG 891 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 50614, PG 18 - AFFECT PROPERTY, AS SHOWN ON SKETCH
- ORB 50631, PG 1596 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- ORB 50690, PG 1996 - AFFECTS PROPERTY, UNPLOTTABLE
- ORB 51126, PG 100 - AFFECTS PROPERTY, UNPLOTTABLE
- INSTRUMENT #113020930 - AFFECTS PROPERTY, UNPLOTTABLE
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.88°13'37"E. ALONG THE SOUTH RIGHT OF WAY LINE OF SHERIDAN STREET, PER PLAT BOOK 180, PAGE 127
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY: C&GS BM DISC: ELEVATION 11.076' (NGVD 29) CONVERSION FROM NGVD 29 TO NAVD 88, SUBTRACT 1.58'
- SITE AREA: 30818.47 SQUARE FEET OR 0.696 ACRES MORE OR LESS.
- THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0567-H, DATED: AUGUST 18, 2014.
- LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE SHOWN.
- OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.
- HATCHED AREA DESIGNATED AS PROTECTED AREA ARE RECORDED IN OFFICIAL RECORDS BOOK 49650, PAGE 1188, THESE ARE AN APPROXIMATE LOCATION. DOCUMENT IS REDUCED AND UNSCALABLE.

SURVEYOR'S CERTIFICATION:

TO: JPMORGAN CHASE, NATIONAL ASSOCIATION; HOLLAND & KNIGHT, LLP; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11, 12 AND 20 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 26, 2014.
 SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ROBERT BLOOMSTER JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

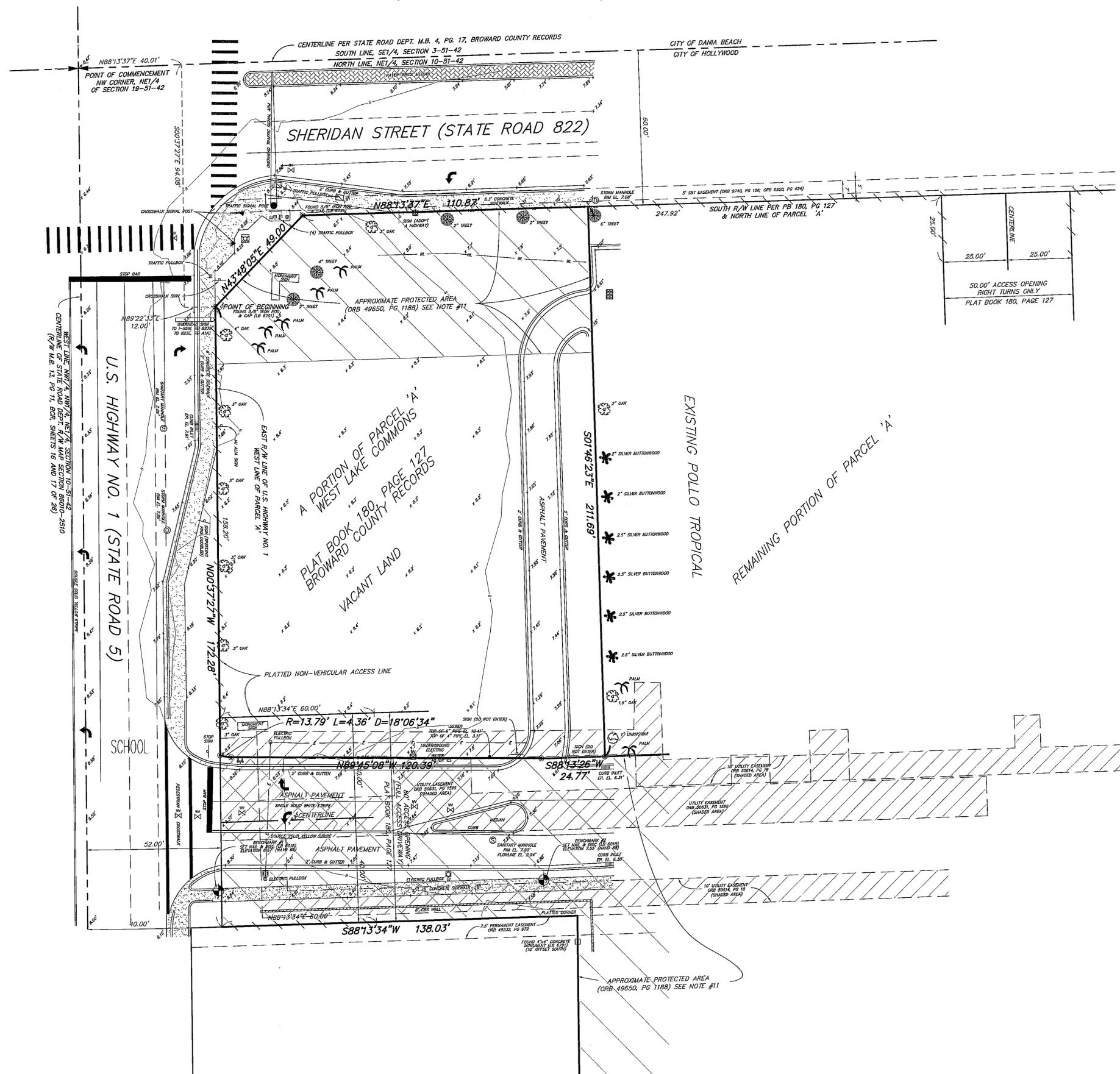
BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 L.B. #6018

641 NORTHEAST SPENCER STREET
 JENSEN BEACH, FLORIDA 34957
 PHONE 772-334-0868

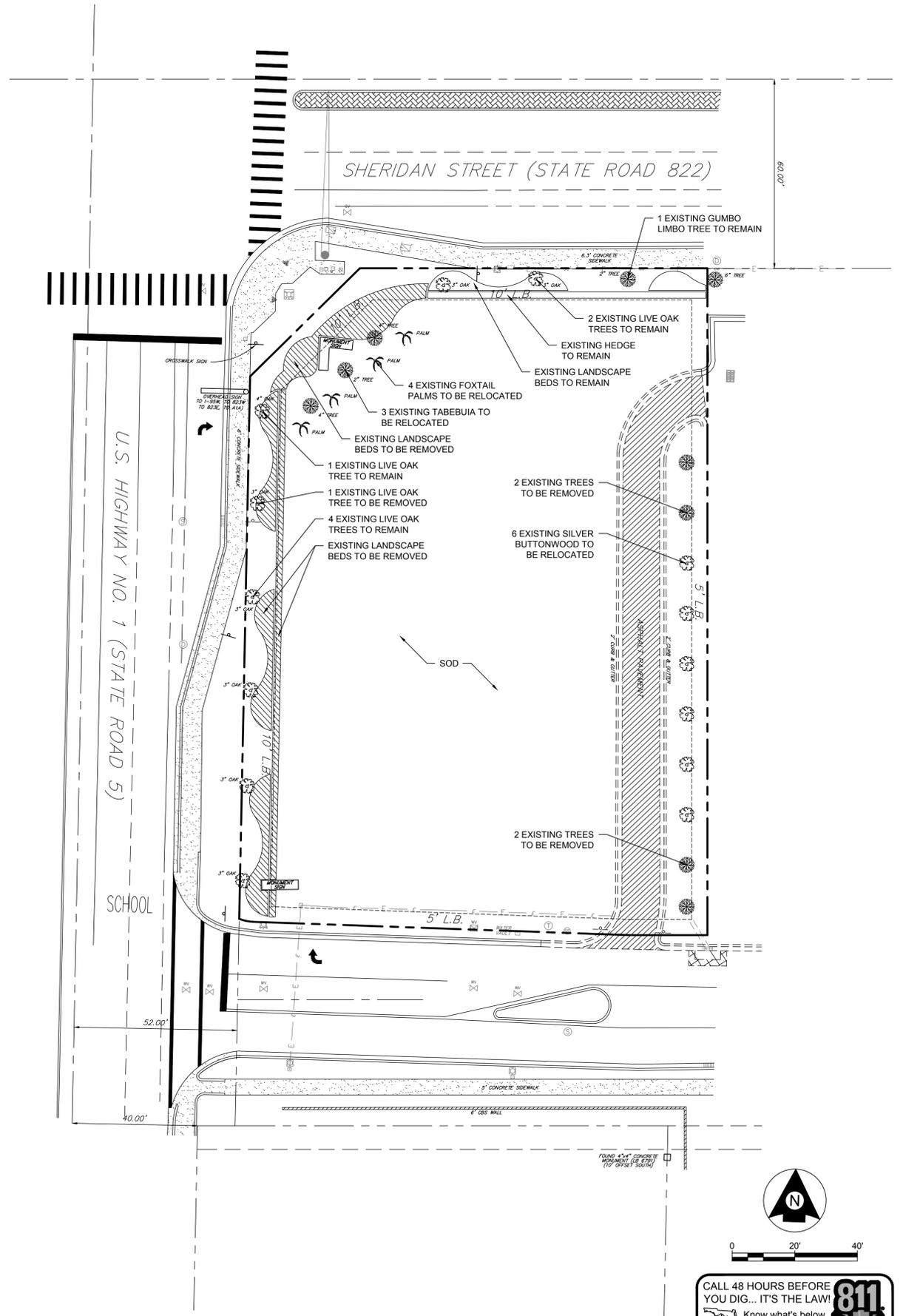
| | | |
|-----------------------|-----------------|-----|
| SHEET 1 OF 1 | | |
| DRAWN BY: | DPK | |
| SCALE: | 1" = 20' | |
| FIELD WORK COMPLETED: | 7/26/2016 | |
| FIELD BOOK: | SKETCH | |
| JOB NO.: | 13652 | |
| REVISIONS | | |
| DATE: | DESCRIPTION: | BY: |
| 12/9/16 | EXC#15 CORR. | DPK |
| 5/8/17 | TREES | DPK |
| 5/18/17 | ALTA O&E UPDATE | DPK |

CORE STATES GROUP
 1790 SHERIDAN STREET
 HOLLYWOOD, BROWARD COUNTY, FLORIDA

- LEGEND
- CLEAN OUT
 - ⊗ MANHOLE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ SPOT ELEVATIONS
 - ⊕ LIGHT POST
 - ⊕ GAS VALVE
 - INV. INVERT
 - EL. ELEVATION
 - DEPT. DEPARTMENT
 - CBS CONCRETE BLOCK STRUCTURE
 - EP EDGE OF PAVEMENT
 - R/W RIGHT OF WAY
 - M.B. MAP BOOK
 - PG. PAGE
 - ORB OFFICIAL RECORDS BOOK
 - PB PLAT BOOK
 - LB LICENSED BUSINESS
 - BCR BROWARD COUNTY RECORDS
 - E UNDERGROUND ELECTRIC
 - HL UNDERGROUND WATER LINE
 - NAVD NORTH AMERICAN VERTICAL DATUM



This document, together with the contracts and design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC. Drafted by Charles Bailey, Creative CAD Source, 851 628-9822



| NO. | REVISIONS | DATE | BY |
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| LANDSCAPE ARCHITECT: | PATRICIA M. CASTELLANO, R.L.A. LICENSE NUMBER: 1687 |
| SCALE: AS NOTED | DESIGNED BY: P.M.C. |
| DRAWN BY: C.M.B. | CHECKED BY: P.M.C. |
| DATE: | DATE: |

**EXISTING
 LANDSCAPE PLAN**

CHASE
 CHASE BANK - STORE NO. 55203
 SHERIDAN ST. & US HWY 1
 HOLLYWOOD, FLORIDA 33020

| | |
|----------------|-------------|
| DATE | 05/10/2017 |
| PROJECT NUMBER | CSG17-05CBH |
| SHEET NUMBER | L-01 |

CALL 48 HOURS BEFORE YOU DIG... IT'S THE LAW!
 Know what's below.
 Call before you dig.
 811
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

This document, together with the concepts and designs presented herein, is an instrument of service, as intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by SimplyVerde, LLC shall be without liability to SimplyVerde, LLC. Drafted by Charles Bailey, Creative CAD Source, 851 628-9822

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE

ONE 12' STREET TREE PER 50 LINEAR FEET, OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED.

REQUIRED: SHERIDAN STREET - 146/50 = 3 TREES
 PROVIDED: 3 EXISTING TREES

REQUIRED: FEDERAL HIGHWAY US1 - 209/50 = 4 TREES
 PROVIDED: 5 EXISTING TREES

INTERIOR LANDSCAPE FOR VEHICULAR USE AREA

EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 S.F. OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE.

LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.

A FIVE (5) FOOT LANDSCAPE BUFFER INCLUDING A LANDSCAPE ELEMENT OF AT LEAST 42 INCHES IN HEIGHT SHALL BE PROVIDED ALONG THE PERIMETER. THE LANDSCAPE BUFFER MAY BE INCLUDED WITHIN REQUIRED SETBACK AREAS.

REQUIRED: 1 TREE PER ISLAND AND 15,562 SF X .25 = 3,891 SF OF LANDSCAPE AREA, 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA
 PROVIDED: 1 TREE PER ISLAND AND 3,294 SF OF LANDSCAPE AREA (VARIANCE REQUESTED), 5 FOOT WIDE LANDSCAPE BUFFER AND 42 INCH IN HEIGHT HEDGE ALONG THE PERIMETER OF THE VEHICULAR USE AREA

OPEN SPACE

A MINIMUM OF 25% OF THE OPEN SPACE AREA SHALL BE VEGETATED. ALL PERVIOUS AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, AND/OR SHRUBBERY.

MINIMUM OF ONE TREE PER 1,000 S.F. OF PERVIOUS AREA OF PROPERTY. THIS IS IN ADDITION TO TREE REQUIREMENT FOR PARKING LOTS AND PAVED VEHICULAR USE AREAS.

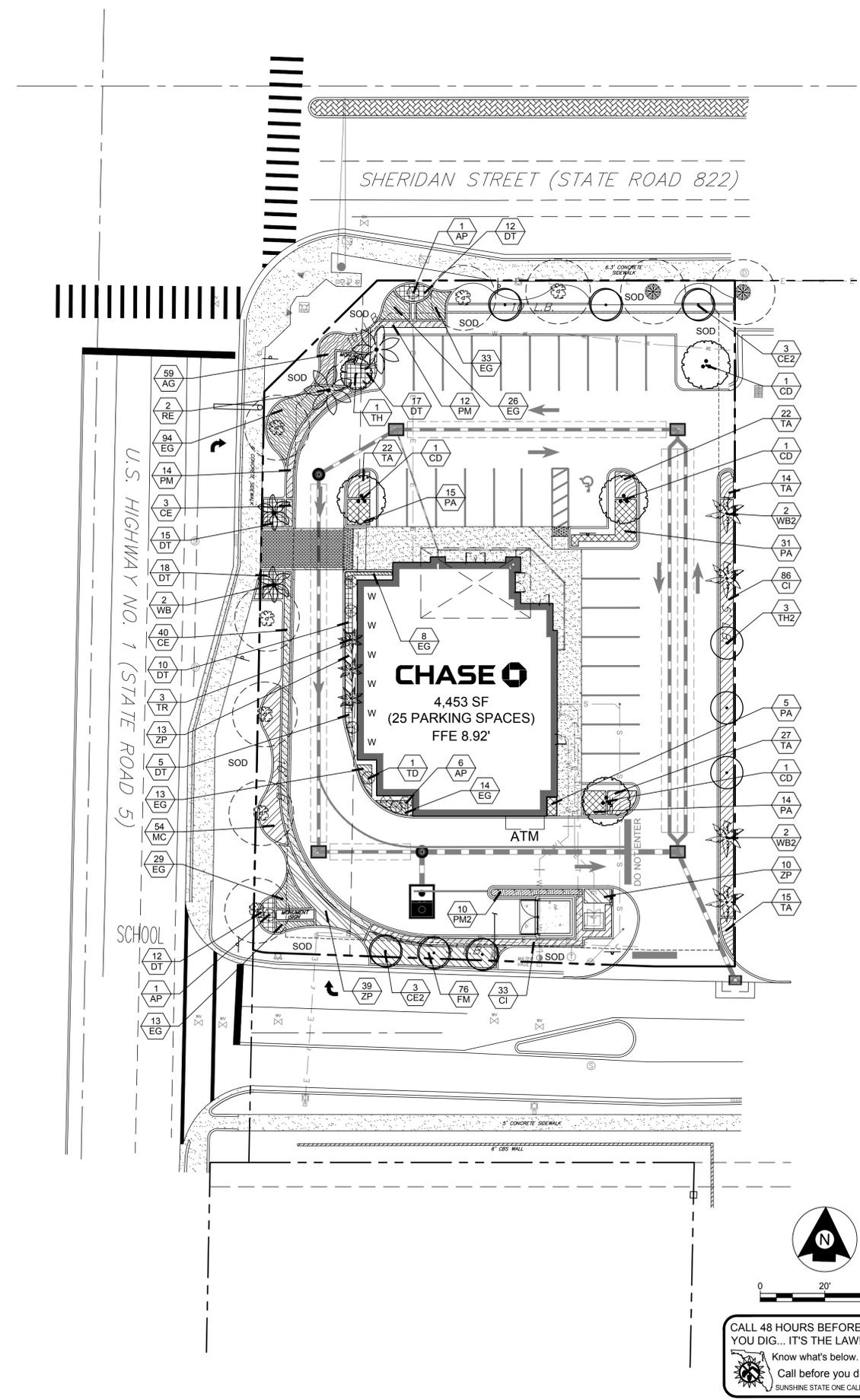
REQUIRED: 7,664 SF/1000SF = 7 TREES AND 7,664 SF X .25 = 1,916 SF
 PROVIDED: 7 TREES AND 66% OF PERVIOUS AREAS ARE LANDSCAPED WITH GRASS, GROUND COVER, AND SHRUBBERY (2,612 SF SOD).

SPECIFICATIONS AND MINIMUM REQUIREMENTS

- ALL PLANT MATERIAL USED IN CONFORMANCE WITH THIS ARTICLE SHALL CONFORM TO THE MINIMUM STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE CURRENT STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS" MANUAL.
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- THERE SHALL BE A MINIMUM NUMBER OF SPECIES OF TREES PROVIDED:
 REQUIRED: 11-20 TREES = 3 REQUIRED
 PROVIDED: 6 SPECIES OF TREES AND PALMS
- PALM SPECIES SHALL HAVE A MINIMUM OF 6' OF CLEAR WOOD AT THE TIME OF PLANTING, UNLESS APPROVED AS A SPECIMEN PALM.
- ALL REQUIRED SWALE AND COMMERCIAL TREES SHALL HAVE A MINIMUM DIAMETER AT BREAST HEIGHT (4.5' ABOVE GRADE) OF TWO INCHES AT PLANTING TIME AND A MINIMUM OF 12' IN HEIGHT.
- A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES.
 REQUIRED: 19 X .60 = 11 TREES AND 554 X .50 = 277 SHRUBS
 PROVIDED: 14 TREES AND 278 SHRUBS
- A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM GENUS AND SPECIES. HOWEVER, IF MORE THAN 20% OF THE REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE SHADE TREES OF A NATIVE SPECIES.
 REQUIRED: 19 X .50 = 10 OR 20% = 4
 PROVIDED: 4 RELOCATED FOXTAIL PALMS
- THE MINIMUM SHRUB HEIGHT SHALL BE AT LEAST 24 INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING UNLESS OTHERWISE NOTED. THE MINIMUM SPACING FOR SHRUBS SHALL BE 30 INCHES ON CENTER; WHEN A 48-INCH HEDGE HEIGHT IS REQUIRED, THE SHRUBS SHALL BE SPACED SO THEY FORM A FULL HEDGE (PLANT-TO-PLANT OR STAGGERED).
- SOD SHALL BE PLANTED WITH INDIVIDUAL PIECES TOUCHING AT TIME OF PLANTING. ROWS OF SOD MUST BE STAGGERED TO OFFSET THE ADJACENT ROW. PRIOR TO INSTALLATION OF SOD, ALL ROCKS AND FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL SURFACE, AND RAKED TO PROVIDE A FLAT, SMOOTH SURFACE ON WHICH TO LAY THE SOD.
- GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE TO ALL LANDSCAPED AREAS AND THE LANDSCAPED AREA SHALL BE FILLED IN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE.
- AT LEAST THREE (3) INCHES (AFTER INITIAL WATERING-IN) OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN AREAS NOT COVERED BY BUILDINGS, PAVEMENT, SOD, PRESERVED AREAS OR ANNUAL FLOWER BEDS. EACH TREE MUST HAVE A CIRCLE OF ORGANIC MULCH NO LESS THAN 12 INCHES BEYOND ITS TRUNK. THE USE OF CYPRESS MULCH IS PROHIBITED BY THE CITY OF HOLLYWOOD. THE USE OF SHREDDED MELALEUCA OR EUCALYPTUS MULCH IS RECOMMENDED.
- CONTRACTOR TO PROVIDE 100 PERCENT IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN IRRIGATION ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR APPLY XERISCAPE PRINCIPLES. FAILURE TO MAINTAIN OR DISCONNECTION OF THE IRRIGATION SYSTEM SHALL BE A VIOLATION OF THESE REGULATIONS.

MAINTENANCE OF LANDSCAPE MATERIAL

- LANDSCAPING MUST BE MAINTAINED AND PRESENT A HEALTHY, VIGOROUS AND NEAT APPEARANCE, FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPED AREAS MUST BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- WHERE MULCH IS USED, A MINIMUM OF 2 INCHES OF CLEAN, WEED FREE, APPROVED ORGANIC MULCH SHOULD BE MAINTAINED AT ALL TIMES.
- PRUNING SHALL BE DONE ACCORDING TO AMERICAN NATIONAL STANDARD ANSI A300, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES. THIS STANDARD IS INTENDED TO APPLY TO ANY PERSON OR ENTITY ENGAGED IN THE BUSINESS, TRADE, OR PERFORMANCE OF REPAIRING, MAINTAINING, OR PRESERVING TREES. TREES MUST BE ALLOWED TO ATTAIN THEIR NORMAL SIZE, AND MUST NOT BE SEVERELY PRUNED OR HATRACKED.
- TURF MUST BE MOWED TO ENCOURAGE DEEP ROOT GROWTH. ST. AUGUSTINE AND BAHIA TURF SHOULD BE MOWED TO A HEIGHT NOT LESS THAN 3 INCHES, NO MORE THAN 1/3 OF THE GRASS HEIGHT (LEAF BLADE) IS CUT AT ANY ONE TIME.
- ROADWAYS, CURBS AND SIDEWALKS MUST BE EDGED TO PREVENT ENCROACHMENT FROM ADJACENT TURF AREAS. DO NOT USE LINE TRIMMERS TO TRIM TURF, WHICH ABUT TREES OR OTHER PLANTS, AS THIS CAN CAUSE DAMAGE TO OR KILL PLANT MATERIAL.
- TO CONSERVE WATER, OPERATE IRRIGATION SYSTEMS BETWEEN THE HOURS OF MIDNIGHT AND 8:00 A.M., WHEN EVAPORATION IS AT A MINIMUM. OPERATION FOR MAINTENANCE AND REPAIR IS NOT LIMITED TO THESE HOURS. SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE RESTRICTIONS SUPERSEDE THESE REQUIREMENTS.
- IRRIGATION SYSTEMS MUST BE MAINTAINED TO ELIMINATE WASTE OF WATER FROM DAMAGED, MISSING OR IMPROPERLY OPERATING SPRINKLER HEADS, EMITTERS, PIPES AND ALL OTHER PORTIONS OF THE IRRIGATION SYSTEM.
- APPLICATION OF PESTICIDES, AND/OR ANY OTHER REGULATED SUBSTANCES, MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



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| SCALE: AS NOTED | LANDSCAPE ARCHITECT: |
| DESIGNED BY: P/MC | PATRICIA M. CASTELLANO, R.L.A. |
| DRAWN BY: CMB | LICENSE NUMBER: 1687 |
| CHECKED BY: P/MC | DATE: |

LANDSCAPE PLAN

CHASE
 CHASE BANK - STORE NO. 55203
 SHERIDAN ST. & US HWY 1
 HOLLYWOOD, FLORIDA 33020

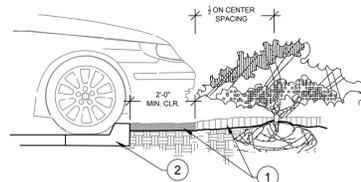
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| DATE | 05/10/2017 |
| PROJECT NUMBER | CSG17-05CBH |
| SHEET NUMBER | L-02 |

PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | NATIVE | DROUGHT TOLERANT | |
|---------------|------|-----|--|--------------------------------------|----------|------------------|------------------|
| | CD | 4 | Coccoloba diversifolia / Pigeon Plum | FG., MIN. 14' HT. x 6" SPR., 4" CAL. | YES | HIGH | |
| | CE2 | 6 | Conocarpus erectus sericeus / Silver Buttonwood | RELOCATED | YES | HIGH | |
| | TH | 1 | Tabebuia heterophylla / Pink Trumpet Tree | FG., MIN. 14'-16' x 6'-8', 4" CAL. | NO | HIGH | |
| | TH2 | 3 | Tabebuia heterophylla / Pink Trumpet Tree | RELOCATED | NO | HIGH | |
| PALM TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | NATIVE | DROUGHT TOLERANT | |
| | RE | 2 | Roystonea elata / Florida Royal Palm | FG., MIN. 10' GW, MATCHED | YES | HIGH | |
| | TR | 3 | Thrinax radiata / Florida Thatch Palm | FG., 8'-9' HT., SINGLE, STRAIGHT | YES | HIGH | |
| | WB | 2 | Wodyetia bifurcata / Foxtail Palm | FG., MIN. 10' GW, MATCHED | NO | MEDIUM | |
| | WB2 | 4 | Wodyetia bifurcata / Foxtail Palm | RELOCATED | NO | MEDIUM | |
| SHRUBS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | AP | 8 | Alocasia 'Portora' / Portora Elephant Ear | 15 GAL., MIN. 5'-6" HT., FULL | AS SHOWN | NO | MEDIUM |
| | TD | 1 | Tabernaemontana divaricata / Crape Jasmine | FG., MIN. 4' HT., FULL | AS SHOWN | NO | MEDIUM |
| SHRUB AREAS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | CE | 43 | Conocarpus erectus sericeus / Silver Buttonwood | 10 GAL., MIN. 42" HT., FULL | 30" O.C. | YES | HIGH |
| | CI | 119 | Chrysobalanus icaco / Coco Plum | 7 GAL., MIN. 24" HT., FULL | 30" O.C. | YES | HIGH |
| | DT | 89 | Dianella tasmanica 'Variegata' / Variegated Flax Lily | 3 GAL., MIN. 16" x 16", FULL | 24" O.C. | NO | HIGH |
| | FM | 76 | Ficus microcarpa 'Green Island' / Green Island Ficus | 3 GAL., MIN. 12" x 12", FULL | 24" O.C. | NO | HIGH |
| | MC | 54 | Muhlenbergia capillaris / Pink Muhly Grass | 3 GAL., MIN. 18" x 18", FULL | 24" O.C. | YES | HIGH |
| | PA | 65 | Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago | 3 GAL., MIN. 14" x 14", FULL | 24" O.C. | NO | HIGH |
| | PM | 26 | Podocarpus macrophyllus / Podocarpus | 7 GAL., MIN. 42" HT., FULL | 30" O.C. | NO | HIGH |
| | PM2 | 10 | Podocarpus macrophyllus / Podocarpus | 15 GAL., MIN. 6'-7" HT., FULL | 30" O.C. | NO | HIGH |
| | ZP | 62 | Zamia pumila / Coontie | 3 GAL., MIN. 14"-16" x 14"-16", FULL | 24" O.C. | YES | HIGH |
| GROUND COVERS | CODE | QTY | BOTANICAL NAME / COMMON NAME | SPECIFICATIONS | SPACING | NATIVE | DROUGHT TOLERANT |
| | AG | 59 | Arachis glabrata 'Ecoturf' / Ecoturf Perennial Peanut | 1 GAL., FULL | 18" O.C. | NO | MEDIUM |
| | EG | 230 | Evolvulus glomeratus 'Blue My Mind' / Blue My Mind Blue Daze | 1 GAL., FULL | 18" O.C. | NO | MEDIUM |
| | TA | 100 | Trachelospermum asiaticum 'minima variegata' / Variegated Minima Asiatic Jasmine | 1 GAL., FULL | 18" O.C. | NO | YES |

LANDSCAPE SPECIFICATION REQUIREMENTS:

- ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER. ALL TREES TO BE FLORIDA FANCY.
- ALL BEDS TO BE MULCHED WITH 3" LAYER OF PINE BARK NUGGETS OR APPROVED EQUAL.
- ALL PLANT MATERIAL SHALL BE WATERED VIA AN AUTOMATICALLY TIMED AND CONTROLLED PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT BEDS SHALL BE FILLED WITH NATIVE TOPSOIL INCORPORATED WITH ORGANIC MATTER, FREE OF WEEDS AND GRASSES.
- ALL SOD TO BE ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'FLORATAM').
- PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOTBALLS OF ANY TREE.



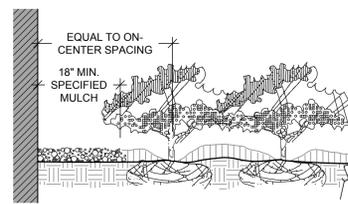
- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB OR PARKING LOT EDGE, BY OTHERS.

Parking Space/Curb Planting

SECTION NTS

Plantings Adjacent to Buildings

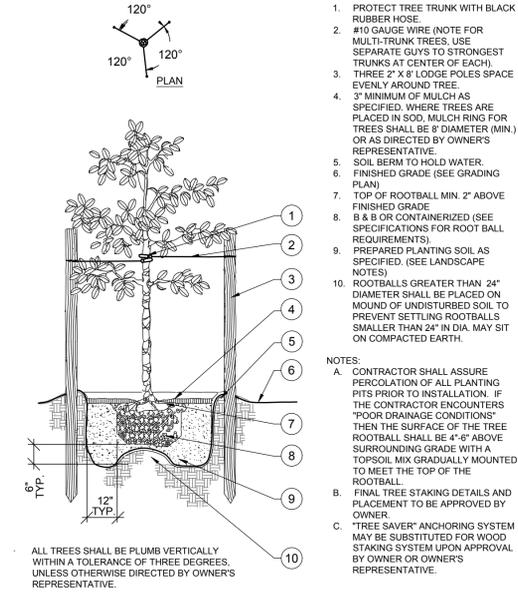
SECTION NTS



- NOTES:**
- CLEAR ZONE:**
 - SHRUBS - EQUAL TO ON-CENTER SPACING OF ADJACENT SHRUBS.
 - SHRUBS - EQUAL TO ON-CENTER SPACING OF ADJACENT SHRUBS.
 - PALMATE PALMS - AT LEAST 8 FEET FROM THE BUILDING.
 - PINNATE PALMS - AT LEAST 18 FEET FROM THE BUILDING.
 - TREES - AT LEAST THE DIAMETER OF THE CANOPY (AS SHOWN GRAPHICALLY ON THE PLANS) FROM THE BUILDING.
 - INSTALL SPECIFIED MULCH 18" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

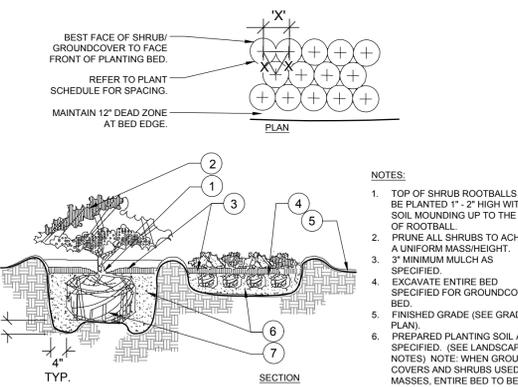
Tree/Shrub Protector

BARRIER DETAIL NTS



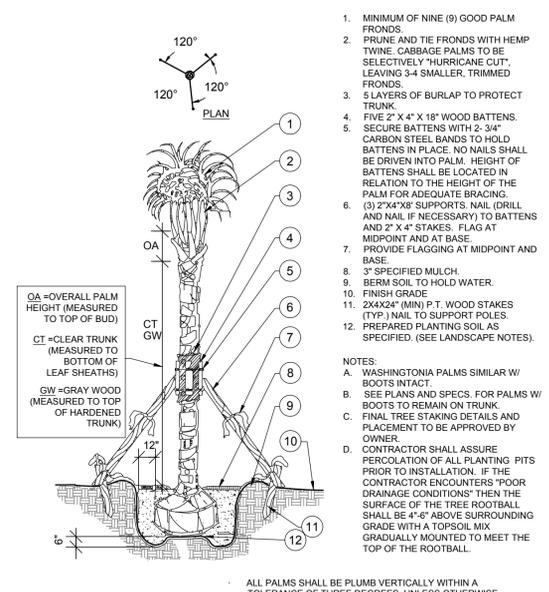
Small Tree Planting

SECTION (Less Than 14") NTS



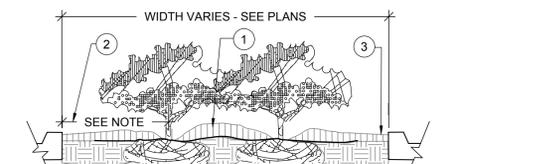
Shrub/Groundcover Planting

PLAN/SECTION NTS



Palm Planting

SECTION NTS



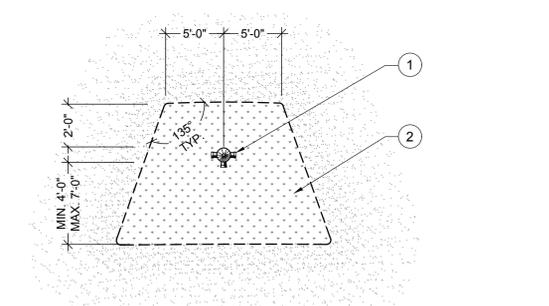
Planted Parking Lot Islands/Medians

SECTION NTS

- PLANTER ISLAND NOTES**
- CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
 - CLEAR ZONE: 24" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS.
 - 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- NOTES:**
- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
 - PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL ISLANDS/MEDIANS PRIOR TO ANY PLANTING. CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATIONS PRIOR TO PLANTING.

Fire Hydrant Area

PLAN NTS



- FIRE HYDRANT.
- NO PLANT SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED IN FRONT OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.

Fire Hydrant Area

PLAN NTS

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| SCALE: AS NOTED | LANDSCAPE ARCHITECT: |
| DESIGNED BY: PMIC | PATRICIA M. CASTELLANO, RULA |
| DRAWN BY: CMB | LICENSE NUMBER: 1687 |
| CHECKED BY: PMIC | DATE: |

LANDSCAPE DETAILS

GENERAL LANDSCAPE NOTES

1. SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.

2. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

3. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100 PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES (OR PER PROJECT JURISDICTIONAL CODE, WHICHEVER IS MORE STRINGENT), CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

4. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

5. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIALS, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

6. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

7. LAWN MAINTENANCE

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER, OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

8. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MOON BASIS.

9. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

10. WARRANTY

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
B. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE.
C. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
D. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PLANT SPECIFICATION NOTES

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. UPON SAMPLES' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL and SAMPLE SIZE. Includes rows for MULCH, PLANTING / TOPSOIL MIX, and PLANTS.

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER OR OWNER'S REPRESENTATIVE.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE. FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. ALL TREE ROOTBALLS SHALL BE SHAVED 1" - 1 1/2" OFF ON ALL SIDES WITH EITHER A SHARP SPADE OR BLADE BEFORE PLANTING OR FROM TOP TO BOTTOM WITH A BALLING SPADE AFTER THE TREE HAS BEEN PLANTED TO ELIMINATE CIRCLING ROOTS.

SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL. IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

RP# = "ROOTS PLUS GROWER" CONTAINER WHERE SPECIFIED.

E. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

F. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

3. DIGGING AND HANDLING

A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

C. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.

D. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

E. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

4. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.

B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.

D. WHEN UNSUITABLE SOILS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR THE OWNER OR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

PLANT SPECIFICATION NOTES CONTINUED

5. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE. AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO CHECK TO SEE IF WATERING/IRRIGATION RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

6. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER OR OWNER'S REPRESENTATIVE, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. CONTRACTOR TO CHECK TO SEE IF FERTILIZER RESTRICTIONS MAY APPLY, REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

7. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN (BASE). SEE PLANT LIST FOR TYPE OF MATERIAL ("FLORIMULCH," EUCALYPTUS MULCH, OR PINE STRAW/BARK/NUCKET) AND GRADE.

8. SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

PLANTING PROCEDURE NOTES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES OR REFER TO THE CIVIL PLANS IF APPLICABLE.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.

8. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

9. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

10. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN THE PLANT SPECIFICATIONS NOTES. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, INSTALL AS NOTED IN THE TREE AND/OR PALM PLANTING DETAILS. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

11. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

12. SOIL MIXTURE SHALL BE AS SPECIFIED UNDER PLANT SPECIFICATION NOTES.

13. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

14. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. SUBMIT PRODUCT INFORMATION PRIOR TO INOCULATION FOR APPROVAL.

15. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. ALL NON-BIODEGRADABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE PLANTING PIT PRIOR TO BACKFILLING AND DISPOSED OF PROPERLY.

16. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

17. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" WITH THE PLANTING SOIL MIXTURE AND THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

PLANTING PROCEDURE NOTES CONTINUED

18. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

19. PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

20. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

21. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

22. CONTRACTOR TO PROVIDE A CLEAN, SHARP EDGE ON ALL LANDSCAPE BEDS AND TREE PITS. A SHARP, SPADE CUT EDGE (MINIMUM 3" DEEP) SHALL BE PROVIDED UNLESS OTHER BED EDGING METHODS ARE SPECIFICALLY IDENTIFIED ON THE PLANS.

23. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

24. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

25. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL, AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

SCHEMATIC IRRIGATION NOTES

1. GENERAL

- A. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES, LARGE SHRUBS AND UTILITIES.
B. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIED CABLE. ALL WIRE SPLICES SHALL BE MADE IN REMOTE BOXES ONLY USING RAIN BIRD SNAP-TITE CONNECTORS AND SEALANT. A SEPARATE NEUTRAL WIRE (MIN. NO.14) SHALL BE RUN WITH ALL OTHER WIRING.
C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
D. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS.
E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE ROTORS/SPRAYS ARC AND RADIUS TO ASSURE 100 PERCENT COVERAGE AND TO MINIMIZE OVERSPRAY. DRIP SHALL BE UTILIZED IN ALL BEDS AND BUBBLERS ON ALL TREES.
F. NO LINES ARE TO BE LOCATED WITHIN THE PROTECTIVE RADIUS OF TREES.
G. CONTRACTOR IS TO MATCH PRECIPITATION RATES FOR ALL HEADS.
H. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT A COPY OF THE IRRIGATION PLAN PRIOR TO COMMENCING WORK.
I. THE CONTRACTOR SHALL PROVIDE A RAIN SENSOR DEVICE OR SWITCH TO PREVENT IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.

2. PIPE

- A. ALL IRRIGATION PIPE INCLUDING MAINLINE AND CONDUITS IS TO BE SCHEDULE 40 PVC. ALL WIRING TO BE IN CONDUIT IF NOT WITHIN THE MAINLINE TRENCH.
B. ALL PIPING SHALL BE ROUTED TO AVOID ABOVE AND BELOW GROUND FEATURES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
C. DUCT TAPE AND OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION DURING INSTALLATION.

2. CONTROLLER

- A. CONTRACTOR TO RUN ONE STATION AT A TIME UNLESS TWO IS ALLOWED. CONTRACTOR SHALL PROVIDE A CONTROLLER SCHEDULE TO MINIMIZE PRESSURE LOSSES THROUGHOUT THE SITE.
B. THE CONTROLLER LOCATION TO BE COORDINATED WITH THE OWNER. CONTROLLER TO BE HUNTER OR RAINBIRD. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATION.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER FOR THE CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE THE POWER TO THE CONTROLLER.

4. BACKFILL

- A. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 24". ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
B. BACKFILL TRENCHES WITH FINE GRANULAR MATERIAL WITH NO FOREIGN MATERIAL LARGER THAN 2 1/2".

5. TESTING

- A. PRIOR TO BACKFILLING, OPEN THE VALVE AND OPERATE EACH CIRCUIT TO CHECK FOR LEAKAGE AROUND PVC FITTINGS. MAKE NECESSARY CORRECTIONS TO STOP LEAKS.
B. RETEST THOSE SYSTEMS WHERE LEAKS WERE CORRECTED BEFORE COMMENCING BACK FILLING OPERATION.
C. UPON COMPLETION, TEST THE ENTIRE SYSTEM FOR OPERATION INCLUDING ELECTRICALLY ACTUATING THE VALVE. RUN THE SYSTEM UNTIL WATER BEGINS TO PUDDLE AND/OR RUN OFF TO DETERMINE THE INITIAL CONTROLLER RUN TIME TO DETERMINE THE NUMBER OF IRRIGATION CYCLES NECESSARY TO MEET WEEKLY EVAPOTRANSPIRATION RATES FOR THE PLANT MATERIAL INSTALLED.

6. ASBUILTS

UPON COMPLETION OF "AS-BUILT" DRAWINGS, PREPARE CONTROLLER CHARTS - ONE PER CONTROLLER. INDICATE IN THE CHART EACH AREA CONTROLLED BY A VALVE. THIS CHART SHALL BE REDUCED TO A SIZE THAT WILL FIT WITHIN THE CONTROLLER DOOR OR A UTILITY BASKET WITHIN THE ENCLOSURE. THE REDUCTION SHALL BE A BLACK AND WHITE COPY THAT IS HERMETICALLY SEALED BETWEEN TWO 20.MIL PIECES OF CLEAR PLASTIC.

7. INSPECTION

- A. BEFORE ACCEPTANCE OF THE IRRIGATION SYSTEM, THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL: FINAL WALK-THROUGH AND CORRECTION OF ANY PUNCH-LIST ITEMS COMPLETION AND ACCEPTANCE OF ACCURATELY DRAFTED "AS-BUILT" DRAWINGS ACCEPTANCE OF CONTROLLER CHARTS AND PLACEMENT IN THE CONTROLLER.
B. MANUAL FLUSH VALVES OR FLUSH-OUTS SHOULD BE FLUSHED THREE (3) TIMES EACH IRRIGATION SEASON FOR A PERIOD OF 30 TO 60 SECONDS OR UNTIL THE WATER IS VISIBLY CLEAN, WHILE THE VALVE IS ACTIVATED. THE SYSTEM SHOULD BE FLUSHED MONTHLY OR MORE FREQUENTLY. FLUSHING IS ALSO RECOMMENDED ANY TIME THE SYSTEM IS REPAIRED.

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Table with columns: SCALE, AS NOTED, DESIGNED BY, DRAWN BY, CHECKED BY, LANDSCAPE ARCHITECT, NO., DATE, REVISIONS, BY.

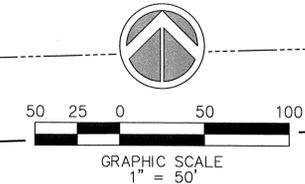
Table with columns: SCALE, AS NOTED, DESIGNED BY, DRAWN BY, CHECKED BY, LANDSCAPE ARCHITECT, NO., DATE, REVISIONS, BY.

LANDSCAPE NOTES

CHASE BANK - STORE NO. 55203 SHERIDAN ST. & US HWY 1 HOLLYWOOD, FLORIDA 33020

Table with columns: DATE, PROJECT NUMBER, SHEET NUMBER.

| REVISIONS: | | |
|------------|---------|-----------------|
| 1 | 1/21/13 | PER EPD REVIEW |
| 2 | 3/13/13 | PER DPEP REVIEW |



SEAL

 CLIFFORD R. LOUTAN, P.E.
 FL. REG. NO. 56890

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STILES ARCHITECTURAL GROUP
 301 East Las Olas Blvd
 Fort Lauderdale, Florida, 33301
 954 - 627 - 9180
 FL. REG #AA-26001798

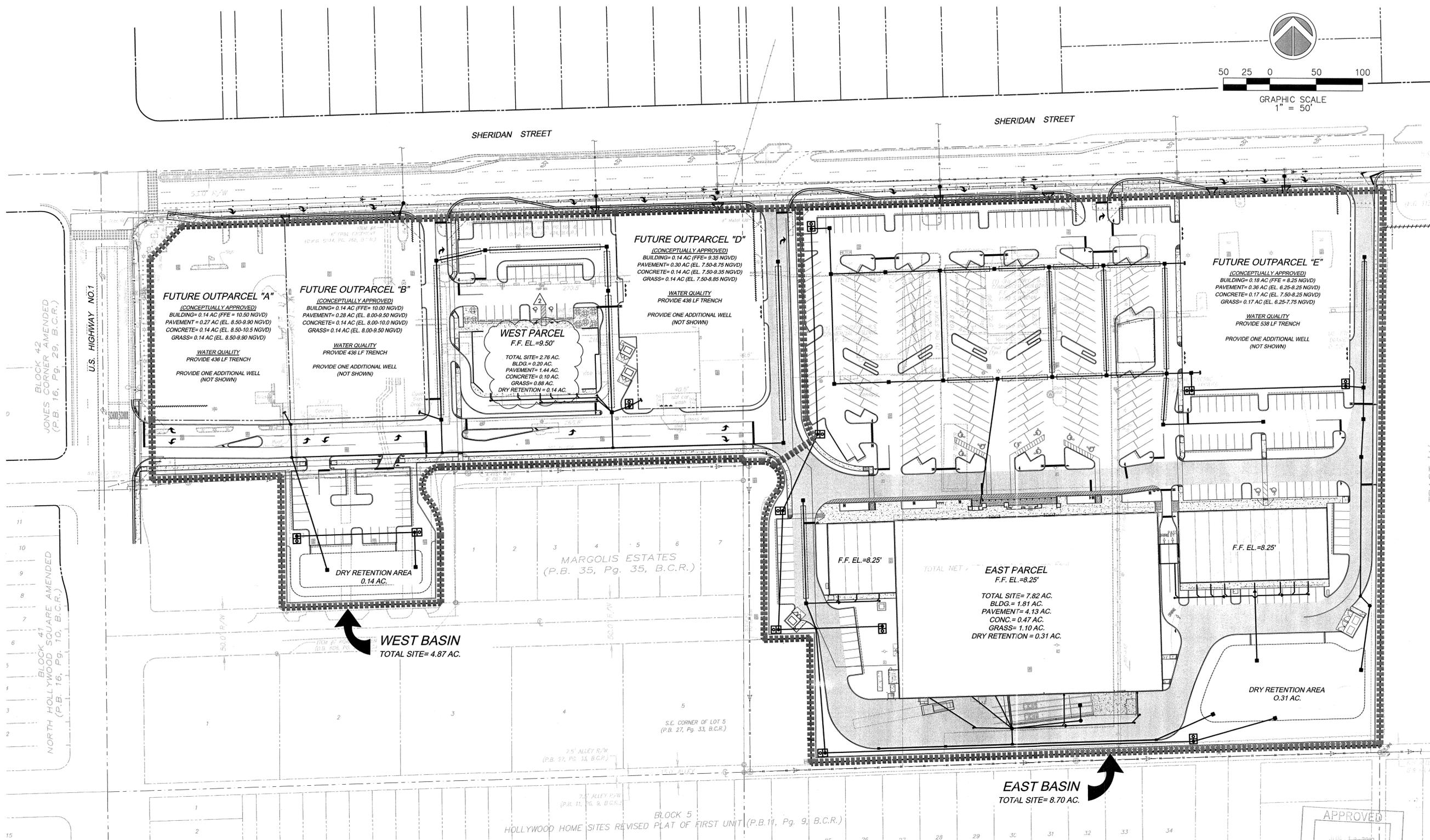


WEST LAKE COMMONS
 FEDERAL HIGHWAY AND SHERIDAN STREET
 CITY OF HOLLYWOOD, FLORIDA

DRAINAGE BASINS PLAN

PD9

PROJECT NO.
 12-3453
 DRAWN BY:
 MAS
 CHECKED BY:
 M.G.
 DATE:
 June 10, 2013



DRAINAGE BASINS AREAS BREAKDOWN

| WEST BASIN | | | | | |
|---------------|----------|----------------|-------|---------------|-------|
| PARCEL | BUILDING | PAVMT. & CONC. | GRASS | DRY RETENTION | TOTAL |
| WEST PARCEL | 0.20 | 1.54 | 0.88 | 0.14 | 2.76 |
| OUTPARCEL "A" | 0.14 | 0.41 | 0.14 | 0.00 | 0.69 |
| OUTPARCEL "B" | 0.14 | 0.42 | 0.14 | 0.00 | 0.70 |
| OUTPARCEL "D" | 0.14 | 0.44 | 0.14 | 0.00 | 0.72 |
| TOTAL | 0.62 | 2.81 | 1.30 | 0.14 | 4.87 |

| EAST BASIN | | | | | |
|---------------|----------|----------------|-------|---------------|-------|
| PARCEL | BUILDING | PAVMT. & CONC. | GRASS | DRY RETENTION | TOTAL |
| EAST PARCEL | 1.81 | 4.60 | 1.10 | 0.31 | 7.82 |
| OUTPARCEL "E" | 0.18 | 0.53 | 0.17 | 0.00 | 0.88 |
| TOTAL | 1.99 | 5.13 | 1.27 | 0.31 | 8.70 |

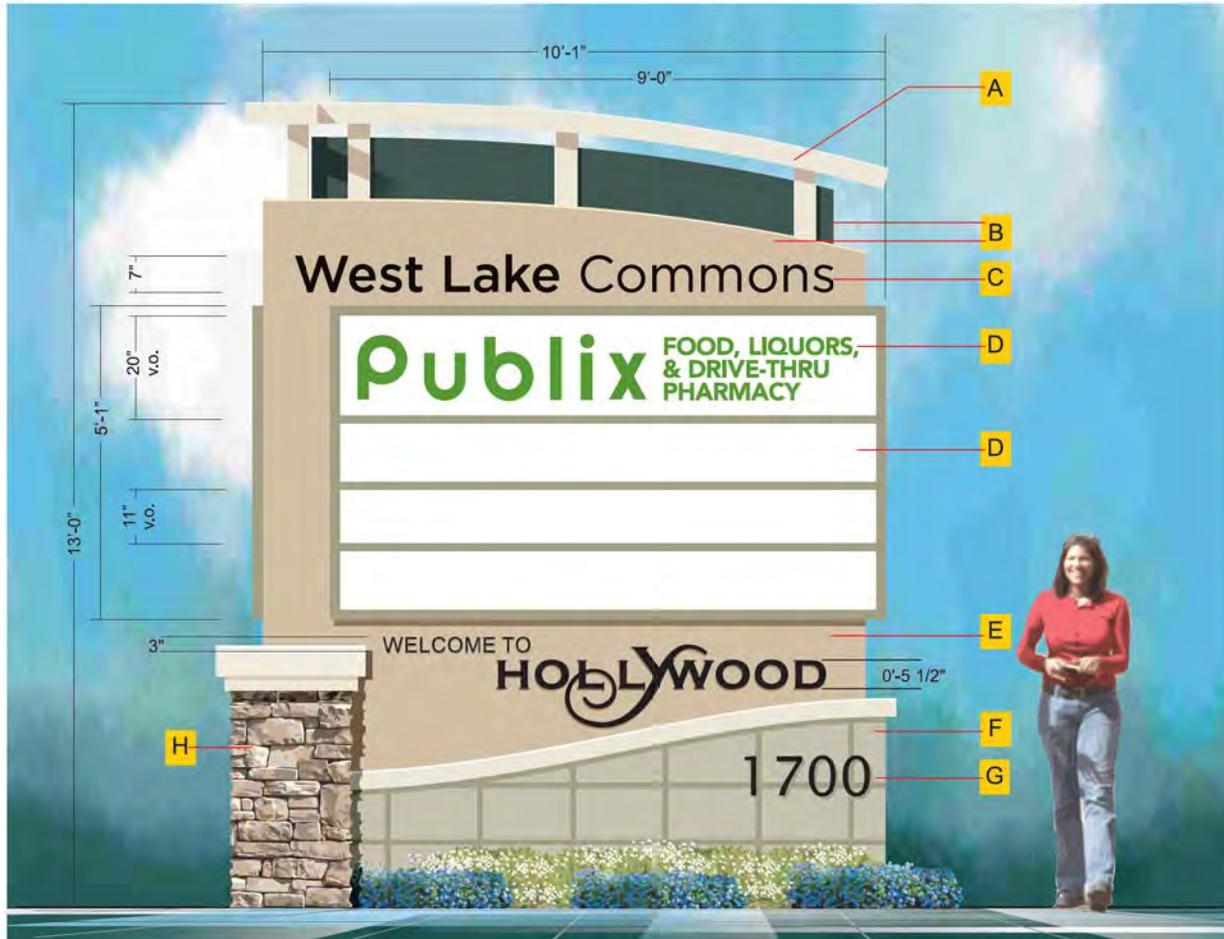
EAST BASIN PHASE I (DOES NOT INCLUDE OUTPARCELS)
 WEST BASIN PHASE I (DOES NOT INCLUDE OUTPARCELS)

NOTES:
 1. ALL ELEVATIONS ARE IN N.G.V.D.



ALL WATER GENERATED ON THIS PROPERTY WILL BE RETAINED ON SAID PROPERTY.

K:\PROJECTS\12-3453\12-3453.dwg, PDS, 6/10/2013 8:31:06 AM, L1, Sun-Tech Engineering, Inc. (ME)



"V" Shaped Illuminated Main Marketing Identity Display 1 Required

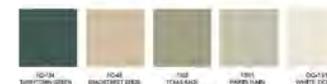
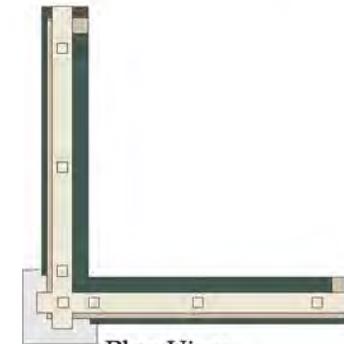
SCALE: 1/2"=1'-0"



Option: 1

Illuminated Display Features the Following:

- A** Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of aluminum.
- B** Layered design elements echo the top cap and add aesthetic interest in form and color variations.
- C** Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- D** Tenant branding section offers individual tenant panels of white polycarbonate material with first surface 3M vinyl decoration. This section is also illuminated with high output fluorescent lamps.
- E** "Welcome to Hollywood" is 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- F** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- G** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.
- H** Columns feature stone veneer overlay to match the shopping center.



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SIGN & AWNING CO INC
4590 118TH Avenue North
Clearwater, Florida 33762
800-526-3325

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CLIENT
West Lake Commons
Drawing Number:
50490 A REND MS
Installation Address:
FEDERAL & SHERIDAN
HOLLYWOOD, FL

Project Identity Number:
50415

Sales Associate | Project Team
Dominic Nelson | TH
Designer: | Date:
CRH | 07-13-12

Project Notes:
X
X

Project completion X
Municipality:
X
Square Footage Allowable: X
Square Footage Shown: X

Project Updates:
Changed layout for maximum to fit alignment and code restrictions 7-13-12 CRH
Changed from 10 tenant panels to 6 7-16-12 CRH
Updated colors + changed logo copy 7-30-12 CRH
Updated to new logo 10-30-12 KAB
Updated to new number layout 11-09-12 DRB
Address numbers to 'A', took off street, changed Welcome spacing 11-12-12 KAB
NEW PUBLIX FACE: 01-03-13

Approval
 Approved

Approved as noted

DATE:
 Revise & Re-Submit

DATE:
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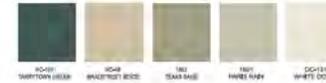
Page Sheet
1 1 of 4

Local: 727-573-7757
Fax: 727-573-0328



Illuminated Display Features the Following:

- A** Top of display is capped with a sweeping accent design element and vertical components which integrates into the overall theme and design concept. Constructed of aluminum.
- B** Layered design elements echo the top cap and add aesthetic interest in form and color variations.
- C** Branding of the center is accomplished using 3/4" clear acrylic push-thru copy on a routed aluminum background. Letters are illuminated with high output fluorescent lamps.
- D** Tenant branding section offers individual tenant panels of white polycarbonate material with first surface 3M vinyl decoration. This section is also illuminated with high output fluorescent lamps.
- E** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- F** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.
- G** Column feature stone veneer overlay to match the shopping center.



D/F Illuminated Entry Marketing Identity Display 1 Required

SCALE: 1/2"=1'-0"



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CLEARWATER, FLORIDA 33762

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CLIENT

West Lake Commons

Drawing Number:

50490 B REND MS

Installation Address:

FEDERAL & SHERIDAN

HOLLYWOOD, FL

Project Identity Number:

50415

Sales Associate | Project Team

Dominic Nelson | TH

Designer: | Date:

CRH | 07-13-12

Project Notes:

X

X

Project completion X

Municipality:

X

Square Footage Allowable: X

Square Footage Shown: X

Project Updates:

Changed layout for maximum

sq. ft. allotment and code

restrictions 7-13-12 CRH

Changed from 10 tenant

panels to 6 7-15-12 CRH

Updated colors / changed logo

copy 7-10-12 CRH

Updated to new logo 10-30-12

KAB

Updated to new number layout

11-09-12 DRB

NEW PUBLIX FACE 01-03-13

Approval

Approved

Approved as noted

DATE:

Revise & Re-Submit

DATE:

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D/F Illuminated Outparcel Marketing Identity Display



4 Required

SCALE: 3/4"=1'-0"

Illuminated Display Features the Following:

- A** Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration. This section is illuminated with high output fluorescent lamps.
- B** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- C** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



D/F Illuminated Outparcel Marketing Identity Display



1 Required

SCALE: 3/4"=1'-0"

Illuminated Display Features the Following:

- A** Tenant branding section offers white polycarbonate face with first surface 3M vinyl decoration, sub-divided into four (4) equal sections with aluminum T-bar divider. This section is illuminated with high output fluorescent lamps.
- B** Bottom section is finished in synthetic stucco with stripping bars in smooth finish to add to the color change. Section is topped with a dimensional border.
- C** Street address is 1/2" computer cut high density PVC which are pin mounted flush to display.



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CLIENT
West Lake Commons
Drawing Number:
50490 C.REND.MS
Installation Address:
FEDERAL & SHERIDAN
HOLLYWOOD, FL

Project Identity Number:
50415

Sales Associate | Project Team:
Dominic Nelson | TH
Designer: | Date:
CRH | 07-13-12

Project Notes:
X
X

Project completion C

Municipality:
X

Square Footage Allowable: X
Square Footage Shown: X

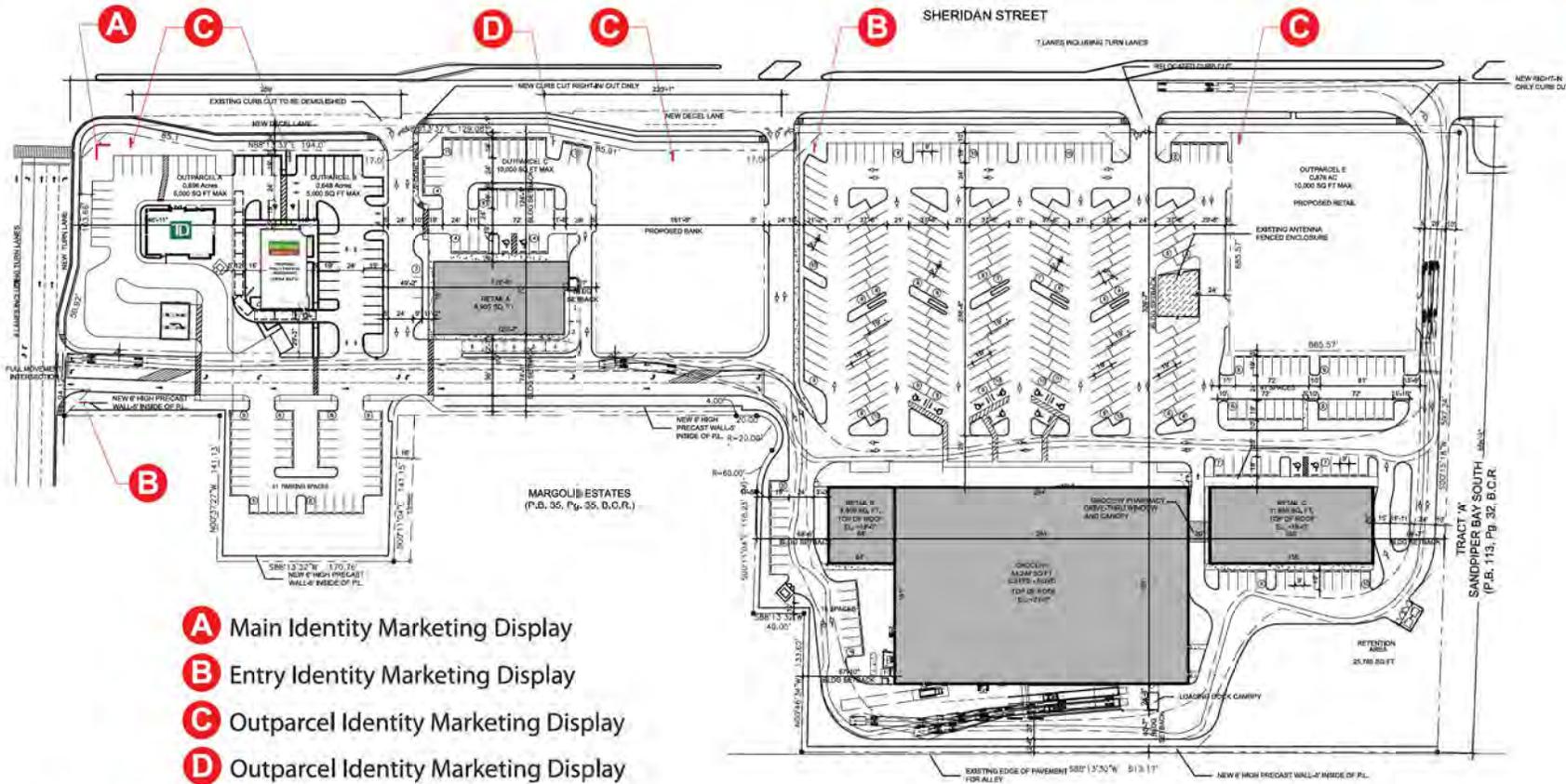
Project Updates:
Changed layout for maximum sq. ft. allotment and code restrictions 7-13-12 CRH
Made tenant panel larger, removed top trim 7-16-12 CRH
Updated colors 7-30-12 CRH
Revised layout to allow for trim along side and top 9-27-12 CRH
Added address letters to both signs -WAC 07/31/12

Approval:
 Approved
 Approved as noted
DATE:
 Revise & Re-Submit
DATE:

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- A** Main Identity Marketing Display
- B** Entry Identity Marketing Display
- C** Outparcel Identity Marketing Display
- D** Outparcel Identity Marketing Display

Site Map

Variations Required for Sign Package Approval:

- 1) Approval for second "Entry Marketing Identity Display" (two monuments allowed under standard code).
- 2) Approval for five total "Outparcel Marketing Identity Displays".
- 3) Approval for five total "Outparcel Marketing Identity Displays" to be 11.25 Sq. Ft. (up from 6 Sq. Ft.),



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CLIENT
West Lake Commons
Drawing Number: 50490 C REND MS
Installation Address: FEDERAL & SHERIDAN HOLLYWOOD, FL
Project Identity Number: 50415

Sales Associate | Project Team
Dominic Nelson | TH
Designer: CRH | Date: 07-13-12

Project Notes:
X
X

Project completion X
Municipality: X
Square Footage Allowable: X
Square Footage Shown: X

Project Updates:

Approval
 Approved
 Approved as noted
DATE: _____
 Revise & Re-Submit
DATE: _____

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