





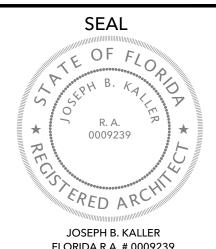






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REVISIONS No. DATE DESCRIPTION

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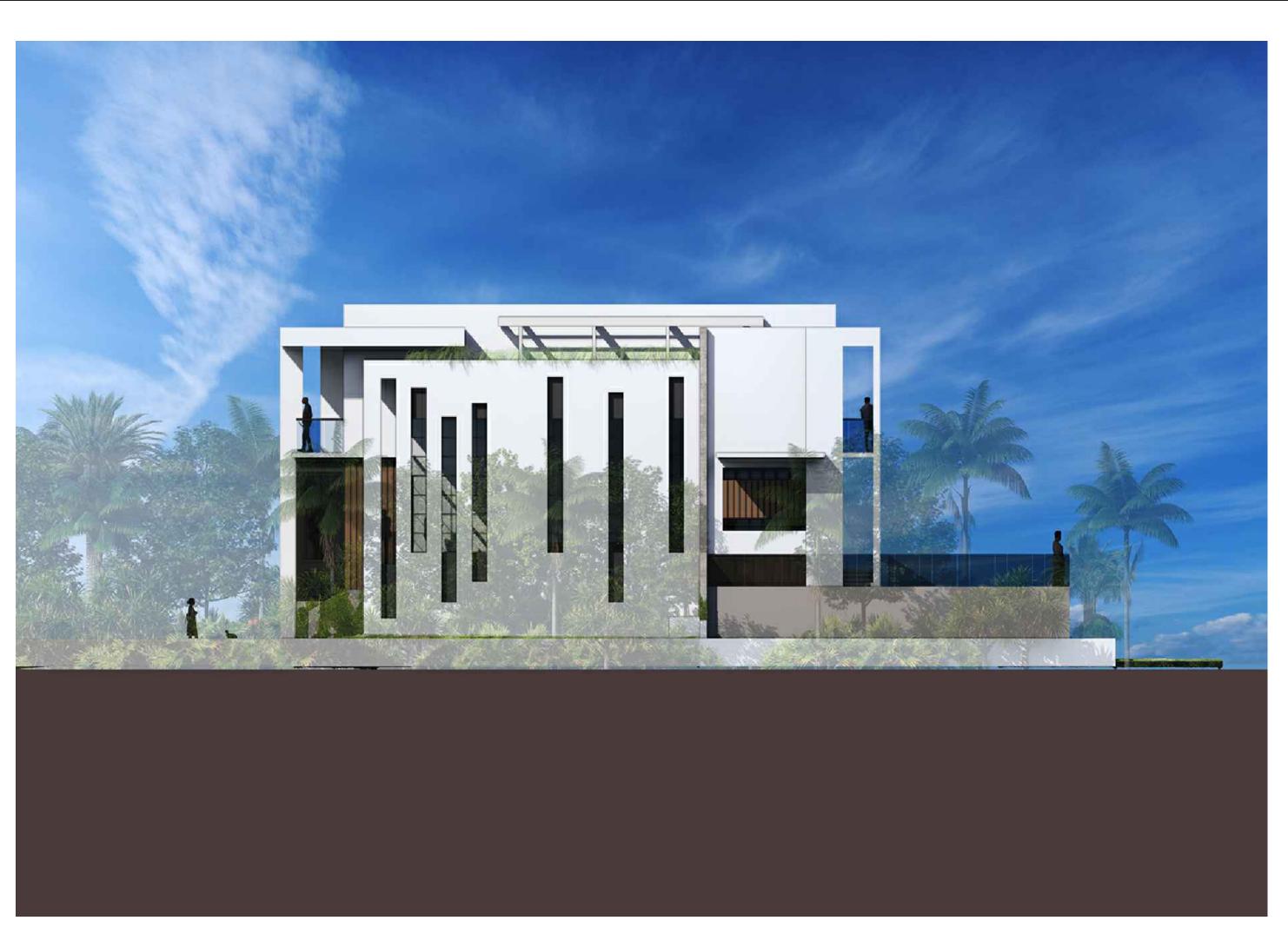
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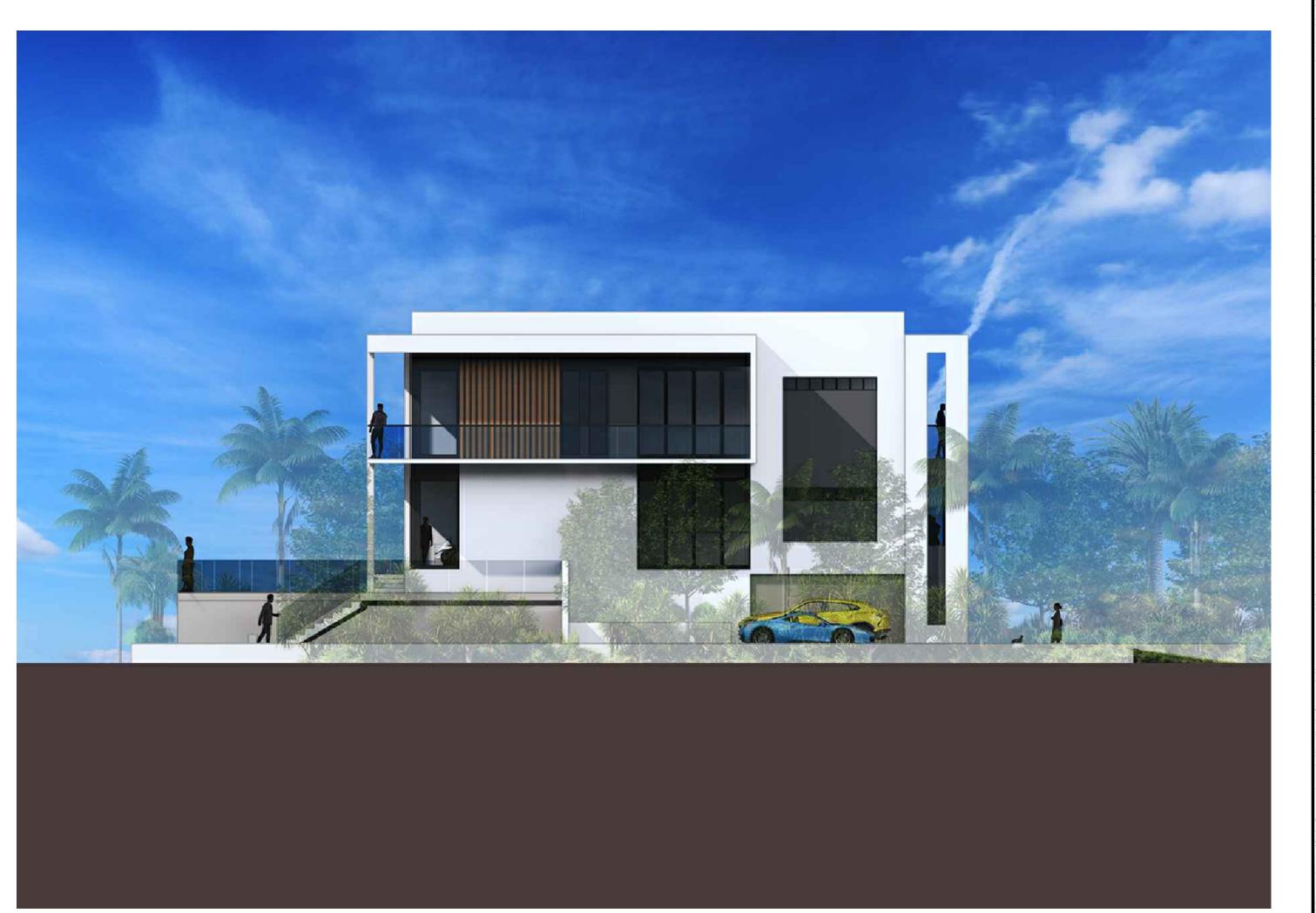
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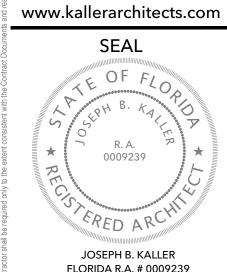






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# HISTORIC PRESERVATION BOARD **NEW TWO-STORY SINGLE - FAMILY RESIDENCE** 813 HARRISON STREET HOLLYWOOD, FL 33019





# **EXISTING**

# **PROJECT TEAM**

OWNER:

SF&GM PROPERTY LLC

HALLANDALE BEACH, FL 33009

ADDRESS: 137 GOLDEN ISLES DR #403

<u>ARCHITECT</u>

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PINNELL SURVEY, INC CONTACT: JASON H PINNELL PHONE: (954) 418-4940 EMAIL: ORDER@FLAND.NET

ZEPHY ENGENEERING CONTACT: WILDORF ZEPHYR PHONE: (786) 302-7639

## **LANDSCAPE**

THE MIRROR OF PARADISE CONTACT: GABRIELA FOJT, RLA PHONE: (954) 315-1707 EMAIL: GABRIELA@THEMIRROROFPARADISE.COM

# PROJECT DATA

# **JURISDICTION**

CITY OF HOLLYWOOD BROWARD COUNTY STATE OF FLORIDA

# **DRAWING INDEX**

# **ARCHITECTURAL**

COVER SHEET + PROJECT INFORMATION SITE PLAN AND SITE DATA SP-1.1 SECOND FLOOR OVERLAY SITE PLAN HISTORIC
SUBJECT PROPERTY
STREET PROFILE VIEW
GROUND LEVEL FLOOR SP-2 SP-3 SP-4

A-101 A-102 SECOND LEVEL FLOOR A-103 A-301 ROOFTOP LEVEL SOUTH ELEVATION

A-301 NORTH ELEVATION A-302 WEST ELEVATION EAST ELEVATION A-302

A-401 A-402 GENERAL SCHEMATIC SECTIONS GENERAL SCHEMATIC SECTIONS

# <u>CIVIL</u>

EROSION & SEDIMENT CONTROL PLAN PAVING GRADING & DRAINAGE PLAN WATER PLAN & DETAILS WATER DETAILS C-1 C-2 C-3 C-4

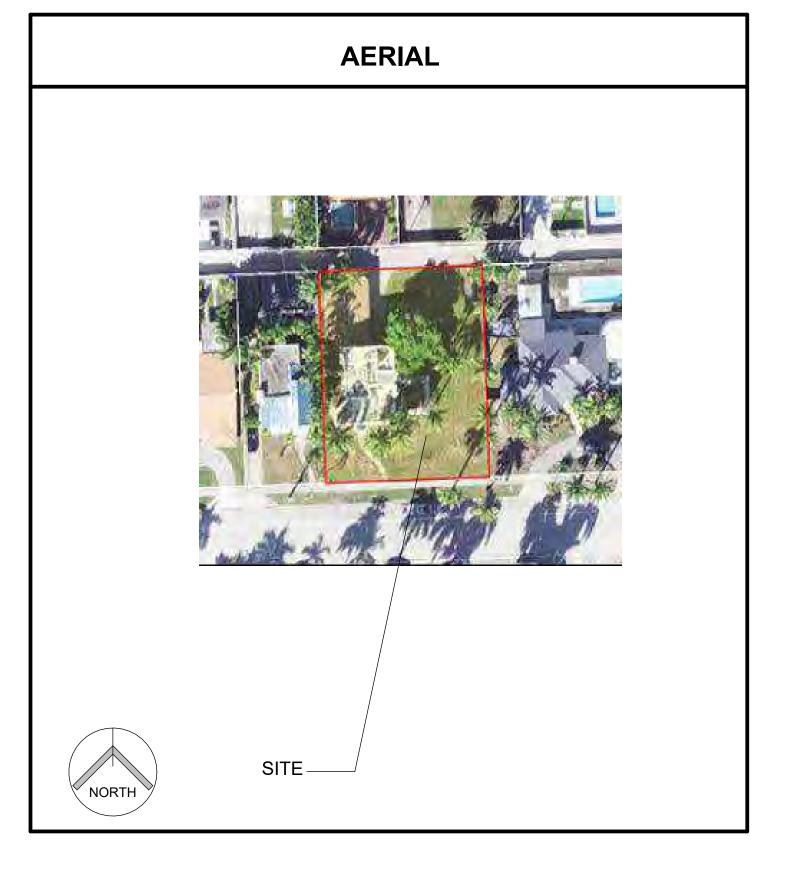
# **LANDSCAPE**

LANDSCAPE REMOVAL PLAN + TREE SCHEDULE DT-2 PROTECTION DETAIL & MITIGATION CALCULATIONS LP-1 LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART

LP-2 LP-3 LANDSCAPE NOTES COLORED SITE PLAN

# **PROPOSED**

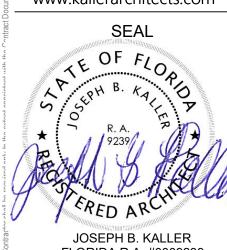






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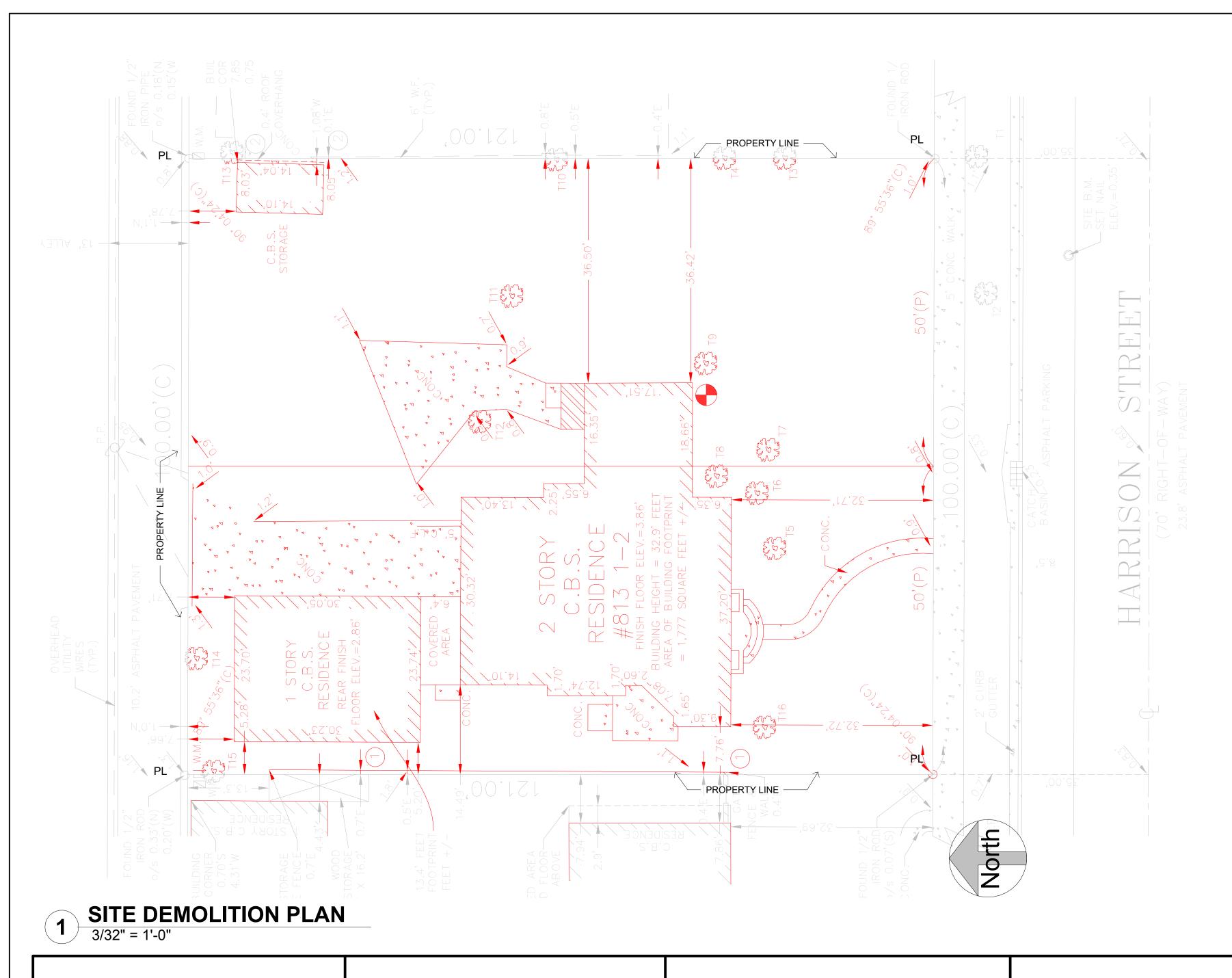
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1. AT ALL TIMES DURING DEMOLITION WORK, CONTRACTOR SHALL SECURE PUBLIC SAFETY, HEALTH AND GENERAL WELFARE THROUGH STRUCTURAL STRENGH IN TEMPORARY SUPPORTS, STABILITY, SANITATION AND SAFETY TO LIFE AND PROPERTY DURING THE REMOVAL OF STRUCTURES, ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS.

2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE FLORIDA BUILDING CODE PARTICULARLY CHAPTER 33 WITH REGARD TO DEMOLITION & SITE WORK.

- 3. THE EXTENT OF THE DEMOLITION WORK IS TO SHOW ON THE DEMOLITION DRAWING AND REFERRED TO IN ALL DRAWINGS. DEMOLITION INCLUDES THE COMPLETE REMOVAL OF PORTIONS OF THE BUILDING AS INDICATED, AND ALL MISCELLANEOUS DAMAGED PORTIONS OF THE BUILDING AS REQUIRED TO MEET SPECIFICATIONS AND DRAWINGS REQUIREMENTS. EXISTING PLUMBING AND ELECTRICAL LINES TO BE REMOVED OR CONCEALED BY EXISTING STRUCTURE AND NEW WORK SHALL BE FULLY DE-ACTIVIATED.
- 4. REMOVE ALL DEMOLITION MATERIALS AND DEBRIS FROM THE CONSTRUCTION SITE.
- 5. ALL EXISTING EXPOSED SURFACES THAT ARE TO REMAIN IN PLACE THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS REQUIRED TO MATCH EXISTING UNDAMAGED SURFACES.
- 6. ARRANGE WITH UTILITY COMPANIES FOR THE DISCONNECTION OF SERVICES AND REMOVAL FITTINGS AND EQUIPMENT BEFORE STARTING DEMOLITION WORK.

 PROTECT PARTS OF THE EXISTING WORK SCHEDULED TO REMAIN. CUT AWAY CAREFULLY THE PARTS TO BE DEMOLISHED TO REDUCE THE AMOUNT OF NECESSARY REPAIRS.

SECURE OWNER'S EXISTING PROPERTY TO BE SALVAGED.

COORDINATE THOSE ITEMS WITH THE OWNER.

3. SHORE, BRACE AND SECURE STRUCTURAL ITEMS TO REMAIN BEFORE

DEMOLITION.

4. REMOVE ANY AND ALL NECESSARY EXISTING CONCRETE SLABS
TO ACCOMMODATE NEW PLUMBING LINES, COLUMNS, FOUNDATIONS
& OTHER STRUCTURAL ITEMS IN COORDINATION WITH THESE DRAWINGS.

STANDARDS FOR DEMOLITION (SECTION 3406 OF FBC

- 1. DEMOLITION WORK HAVING COMMENCED SHALL BE PURSUED DILIGENTLY AND WITHOUT INTERRUPTION WITH DUE REGARD TO SAFETY. IT IS THE INTENT OF THIS SECTION TO LIMIT THE EXISTENCE OF ANY UNSAFE CONDITION OR NUISANCE ON THE PREMISES DURING THE PERIOD OF DEMOLITION OPERATIONS.
- 2. ANY SURFACE HOLES OR IRREGULARITIES, WELLS, SEPTIC THANK, BASEMENTS, CELLAR, SIDEWALK VAULTS OR COAL CHUTES REMAINING AFTER DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE FILLED WITH MATERIAL AS APPROVED BY THE BUILDING OFFICIAL, AND SHALL BE GRADED IN A MANNER THAT WILL PROVIDE EFFECTIVE SURFACE DRAINAGE.
- 3. ALL DEBRIS AND ACCUMULATION OF MATERIAL RESULTING FROM DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE REMOVED FROM THE PREMISES.
- 4. ALL BUILDING SEWERS SHALL BE EFFECTIVELY PLUGGED WITH CONCRETE AT THE PROPERTY LINE, OR AS MAY BE REQUIRED BY THE BUILDING OFFICIAL.
- 5. IN ORDER TO CONTROL DUST DURING A DEMOLITION PROJECT, THE PERMIT HOLDER SHALL TAKE THE NECESSARY SAFEGUARDS TO ENSURE THAT WATER SUPPLY IS AVAILABLE AND APPROPRIATE ACTIONS ARE TAKEN TO RETAIN DUST AT THE IMMEDIATE VICINITY OF THE DEMOLITION PROJECT AND TO ENSURE THAT NO DUST IS TRANSMITTED TO NEIGHBORING PROPERTIES OR STREETS.

THE EXTENT OF THE DEMOLITION MAY BE ADJUSTED PENDING FIELD CONDITIONS OF THE STRUCTURE.

2. ALL EXT'G INTERIOR GYP. BD., AND STUCCO TO BE REMOVED.



3/32" = 1'-0"

# **GREEN BUILDING PRACTICES** FROM CITY OF HOLLYWOOD ORDINANCE #0-2015-06

1. RADIANT BARRIER ROOF - SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL REFLECTIVE

2. WINDOWS AND GLAZING LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25 3. DOORS INSULATED AND FIRE RATED

4. ENERGY STAR ROOFING SEALOFLEX COOL

**ROOF - REFLECTO WHITE.** 

5.PROGRAMMABLE THERMOSTATS

6. OCCUPANCY SENSORS

7. DUAL FLUSH TOILETS

8. 80% OF PLANT MATERIAL NATIVE

9. ENERGY EFFICIENT OUTDOOR LIGHTING

10. INSULATED PIPING

11. RECYCLING AREA

12. ENERGY STAR APPLIANCES

OR RESIDENTIALLYUSED AREAS.

13. ONE LOW FLOW SHOWERHEAD

14. ENERGY EFFICIENT OUTDOOR LIGHTING 15. ENERY EFFICIENCY 10% BETTER THAN

STANDARD ESTABLISHED BY ASHRAE.

16. MERV 8 AC FLITERS

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED

SITE LIGHTING NOTE:

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONE OR RESIDENTIALLYUSED AREAS.

PER NFPA 1, 12.3.2\* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES

AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED

AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN.

INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL

BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIERS THAT MINIMUM RADIO

SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTANED AT A

LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYNG WITH NFPA T2 (2013 EDITOR) BDA SYSTEM MAY BE

REQUIERED

A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA SYSTEM

**ALL CHANGES** 

TO THE DESIGN WILL REQUIRE PLANING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

FEMA NOTE:

THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED

TO ENSURE IT IS STILL COMPLIANT.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

North

BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE MC-1 ZONING DISTRICT. SEPARATE PERMIT ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.

NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.

FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS . AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

FEMA NOTE:

THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS.AT THE TIME OF BUILDING PERMIT THE FEMABASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLAINT

TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.

NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE HOLLYWOOD LAKES SECTION 1-32 B LOT 12.13 BLK 74 RS-6 ZONING DISTRICT

### PROPERTY ADDRESS

813 HARRISON STREET HOLLYWOOD, 33019

<u>FOLIO</u>

# 514214024580

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B LOT 12,13 BLK 74

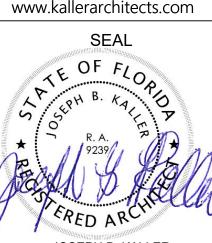
SITE INFORMATION	EXIST	'ING	PROPOSED	
ZONING: SUB-DISTRICT: BUILDING USE:	RS-6 N/A SINGLE FAMILY DWELLING		RS-6 N/A SINGLE FAMILY DWELLING	
LAND USE DESIGNATION: COUNTY USE DESIGNATION:	RESIDI RESIDI		RESIDENTIAL RESIDENTIAL	
NET LOT AREA:	12.100	SQFT - 0.277 ACRES	12.100 SQFT - 0.277 ACRES	
GROSS LOT AREA:	6779.22	2 SQFT - 0.15 ACRES	6779.22 SQFT - 0.15 ACRES	
BASE FLOOD ZONE:	AE - 8.0	D' NAVD		
BUILDING INTENSITY	EXIST	<u>ING</u>	<u>PROPOSED</u>	
LOT COVERAGE FAR:	N/A N/A		N/A N/A	
A/C AREA: BUILDING FOOT PRINT	N/A N/A		5676.73 SF 3386.88 SF	
PROPOSED DWELLING NUMBER OF FLOORS	1 2		1 2	
BUILDING HEIGHT	30 FEE	ĒΤ	28' 6' FEET	
BUILDING INFORMATION	EXIST	<u>ING</u>	<u>PROPOSED</u>	
TYPE OF CONSTRUCTION	TBD		TYPE V - B	
SPRINKLER (REQUIRED)	TBD		TBD	
FIRE ALARM (REQUIRED)	TBD		TBD	
OCCUPANCY CLASSIFICATION	R-2		R-2	
PARKING CALCULATION:		<u>JIRED</u>	PROVIDED	
	5		5	
SETBACKS:	REQI	<u>JIRED</u>	<u>PROVIDED</u>	
(a) FRONTAGE (TYLER) (NORTH)	25' 0"		31' 1"	
(b) SIDE INTERIOR (EAST)**	**		20'	
(c) SIDE INTERIOR (WEST)**	**		29'	
(d) REAR*	18.15'		30' 5"	
*15% LOT DEPTH ** 25% OF LOT WITH				
LANDSCAPE		<u>REQUIRED</u>	<u>PROVIDED</u>	
IMPERVIOUS AREA BUILDING FOOTPRINT, PARKING, SIDEWALKS & DRIV	ES	7260 SQFT (60%)	7246.17 (60%)	
PERVIOUS AREA LANDSCAPE AREAS (SITE)		**	4853.83	
TOTAL PERVIOUS AREA TOTAL		4840 SQFTT (40%)	4853.83 SF (40%)	
GROSS BUILDING A/C AREA			INTERIOR	
	PARKII	NG FLOOR (A.C.)	1533.67 SF	
		FLOOR (A.C.)	2718.07 SF	
	SECON	ND FLOOR (A.C.)	1396.07 SF	
	TERRA	CE LEVEL (A.C.)	28.92 SF	
		(A.C.) AREA	5676.73 SF	
I				



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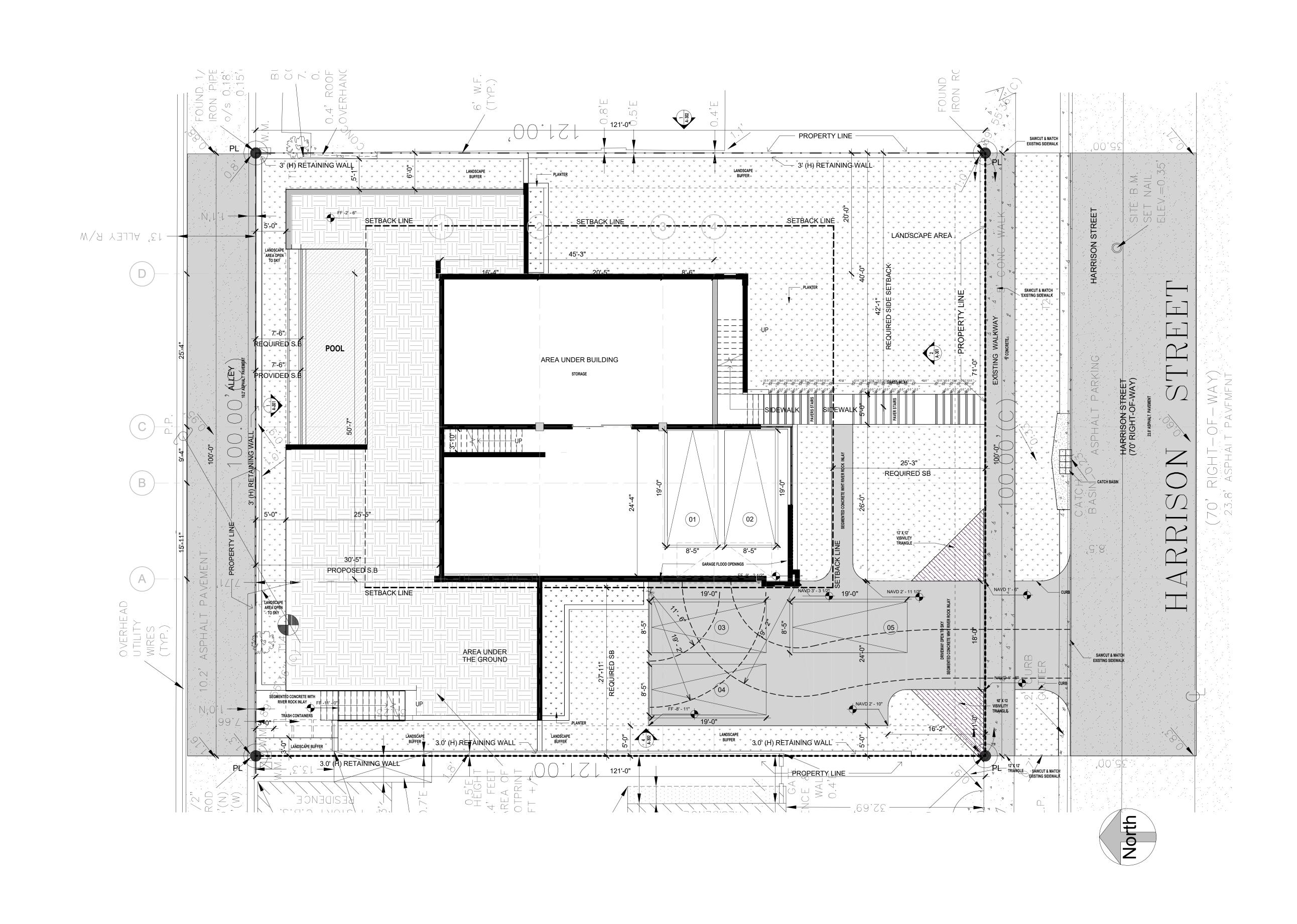
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DATE: MAR 202

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**801 HARRISON STREET** 



**3** 750 HARRISON STREET



5 804 HARRISON STREET



7 820 HARRISON STREET



9 821 HARRISON STREET
NTS



745 HARRISON STREET



**800 HARRISON STREET** 



6 814 HARRISON STREET



826 HARRISON STREET



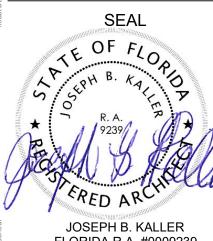
10 817 HARRISON STREET
NTS



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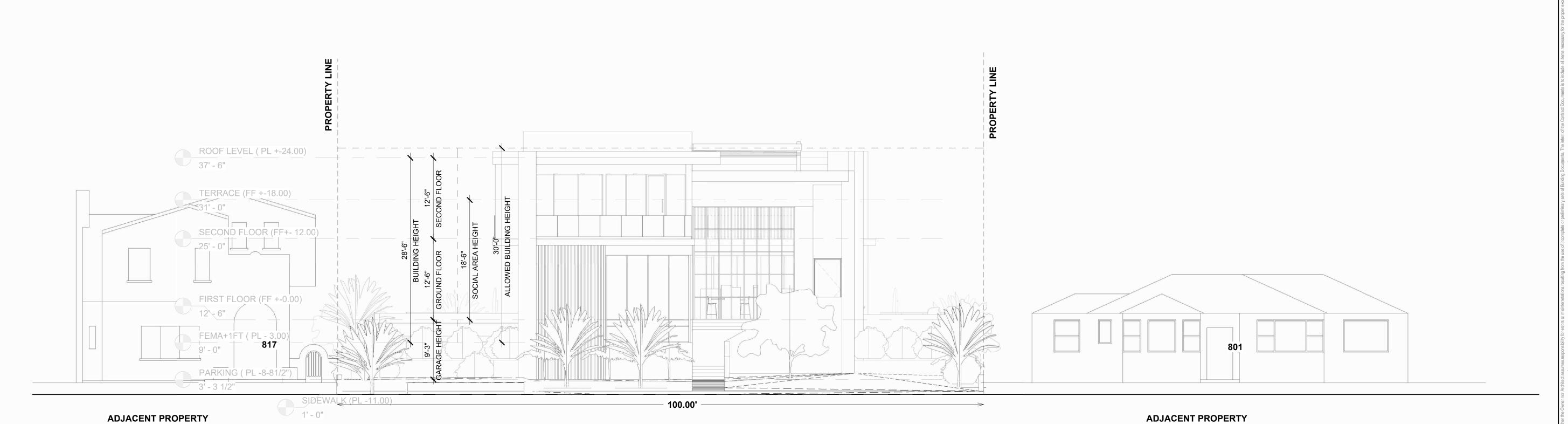
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**NORTH-WEST - RENDER** 

**NORTH-WEST - RENDER** 

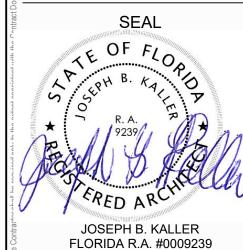


813 HARRISON STREET HOLLYWOOD, FL 33019

**STREET PROFILE** 1/8" = 1'-0"

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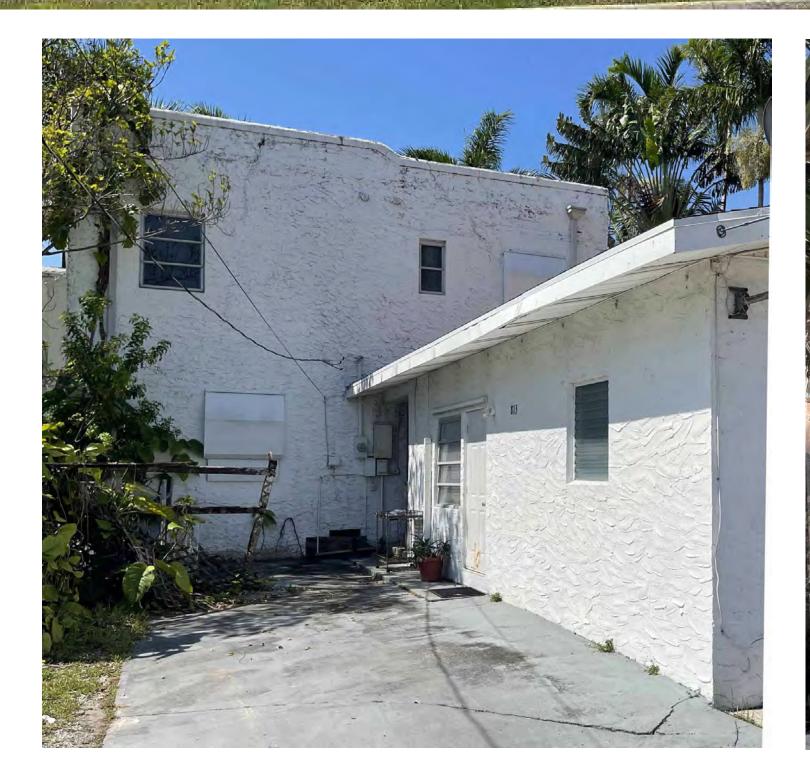
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**GENERAL PLAN NOTES:** 

ALL CUPBOARDS & CABINETS (MILLWORK) SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER/CONTRACTOR FOR OWNER/ARCHITECT REVIEW & APPROVAL PRIOR TO

2. CONTRACTOR TO SUPPLY ALL (TREATED) WALL-BLOCKING TO SUPPORT ALL FURNITURE & OTHER THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL

3. GFCI OUTLETS ARE TO BE PROVIDED @ ALL WET AREAS & KITCHEN COUNTERS CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. EQUIPMENT SUPPLIER TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT 5. CONTRACTOR SHALL PROVIDE FULL SET OF MILLWORK SHOP-DWGS FOR OWNER

REVIEW/APPROVAL PRIOR TO FABRICATION 6. CONTRACTOR SHALL CONTACT & COORDINATE WITH ARCHITECT OF RECORD

IMMEDIATELY SHOULD ANY DISCREPANCIES ARISE CONTRACTOR SHALL FIELD VERIFY ALL AREA DIMENSIONS & ALL EXISTING FIELD CONDITIONS PRIOR TO PUBLISHING A COST ESTIMATE/PROPOSAL TO CLIENT

CONTRACTOR SHALL FIELD VERIFY ALL AREAS/SPACES' DIMENSIONS PRIOR TO FABRICATING OR PURCHASING ANY MILLWORK AND/OR FURNITURE PROPOSED FRAMED/GWB CEILING SHALL NOT BE LESS THAN 7'-6" AFF (TYP) ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)

TERMITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDING SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTING AGAINST TERMITES THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRE- CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING

DEPARTMENT BY A LICENSED PEST CONTROL COMPANY CONTRACTOR SHALL PROVIDE A (GRADE) COMPACTION ENGINEERING REPORT PRIOR TO POURING OF CONCRETE STRUCTURES (G-BEAMS, SLABS, ETC)

13. PROVIDE 15-mil VaporBlock G - VAPOR/MOISTURE RESISTANT BARRIER (OR EQUAL) UNDER ALL PROPOSED STRUCTURES (FLOOR SLABS & FOUNDATION) (TYP) ALL PROPOSED GLASS EXCEEDING 9 SQUARE FEET SHALL BE 'SAFETY GLAZING'

CATEGORY II AS SPECIFIED IN THE FBC 2017 6TH EDITION SECTION 2406, TABLE 2406.2 GLAZING IN SAFEGUARDS SHALL MEET THE REQUIREMENTS OF ANSI Z97 CONTRACTOR SHALL PROVIDE PRE-ENG" SHOP DRAWINGS FOR ALL INTERIOR & EXTERIOR 42" HIGH GUARD-RAILS & 36" HIGH HAND-RAILS (STAIRS & BALCONIES). GUARD RAILS

SHALL NOT ALLOW THE PROTRUSION OF A 4" DIA. SPHERE. 17. (TYPICAL) DIMENSIONS DO NOT CALCULATE/INCLUDE THE THICKNESS OF THE 7/8" METAL FURRING STRIPS + 5/8" GWB ON CONCRETE BLOCK WALLS 18. GC SHALL PROVIDE AN 'AS-BUILT' SURVEY W/ F.F.E. PRIOR TO FINAL INSPECTION FROM

19. ALL UTILITIES (TELEPHONE, CABLE, ELECTRICAL, GAS, WATER, ETC) MUST BE INSTALLED UNDERGROUND

20. CONTRACTOR SHALL COORDINATE ALL FINISHES, MILLWORK, BUILT-INS, AND FINAL FIXTURES W/ OWNER AND/OR INTERIOR DESIGNER. OWNER TO APPROVE ALL FINAL SELECTIONS

CONTRACTOR TO PROVIDE 'VIBRATION ABSORBING PADS OR SPRINGS' TO THE CONDENSING UNITS TO REDUCE NOISE VIBRATION (TYP)

22. CONTRACTOR SHALL COORDINATE LABOR, INSTALLATION PROCESS & ALL WALL FINISHES (EX. STONE) W/ OWNER/I.D. (TYP) PROVIDE R-5 (min) INSULATION @ ALL EXTERIOR CBS WALLS (TYP)

ALL BALCONIÈS/TERRACES SLOPES SHALL BE 1/4"/FT MIN. ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY

GLASS CATEGORY 26. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT WEATHER SEALED DOORS. SEE DOOR SCHEDULE. GC TO PROVIDE NOA.

27. ALL EXTERIOR SLIDING ALUMINUM AND GLASS DOORS TO BE IMPACT RESISTANT SAFETY (CAT II) GLASS/ALUMINUM DOORS. SEE DOOR SCHEDULE. ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2017 FBC

29. ALL GUARDRAILS TO BE 42" AFF ALUMINUM & GLASS GUARDRAILS. GC TO PROVIDE SHOP DRAWINGS/NOA FOR APPROVAL.

EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 24.2.2.3 THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44"AFF

A MIN WIDTH OF 20" & MIN HEIGHT 24"

SHALL NOT BE LESS THAN 5.7 sq.ft. CLEAR OPENING

**BATHROOM NOTES:** 

PROVIDE (MOISTURE RESISTANT) 5/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS PROVIDE A WIPEABLE / NON-ABSORBENT SURFACES/FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP) ALL SHOWER ENCLOSURES & GLASS RAILS SHALL BE TEMPERED (SAFETY) GLASS

CATEGORY II, AS SET FORTH BY FBC 6th ED 4. FBC R307.2 - BATHTUB AND SHOWER SPACES. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

5. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1

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**REVISIONS** 

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PROJECT No.: CHECKED BY:

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GENERAL PLAN NOT

1. ALL CUPBOARDS & CABINETS (MILLWORK) SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER/CONTRACTOR FOR OWNER/ARCHITECT REVIEW & APPROVAL PRIOR TO FABRICATION

2. CONTRACTOR TO SUPPLY ALL (TREATED) WALL-BLOCKING TO SUPPORT ALL FURNITURE & OTHER THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL

3. GFCI OUTLETS ARE TO BE PROVIDED @ ALL WET AREAS & KITCHEN COUNTERS
4. CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO
INSTALLATION. EQUIPMENT SUPPLIER TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT
5. CONTRACTOR SHALL PROVIDE FULL SET OF MILLWORK SHOP-DWGS FOR OWNER

PROVIDE WARDEN OVER THE PROVIDE TO FARRICATION.

REVIEW/APPROVAL PRIOR TO FABRICATION
6. CONTRACTOR SHALL CONTACT & COORDINATE WITH ARCHITECT OF RECORD

IMMEDIATELY SHOULD ANY DISCREPANCIES ARISE
7. CONTRACTOR SHALL FIELD VERIFY ALL AREA DIMENSIONS & ALL EXISTING FIELD CONDITIONS PRIOR TO PUBLISHING A COST ESTIMATE/PROPOSAL TO CLIENT
8. CONTRACTOR SHALL FIELD VERIFY ALL AREAS/SPACES' DIMENSIONS PRIOR TO FABRICATING OR PURCHASING ANY MILLWORK AND/OR FURNITURE

FABRICATING OR PURCHASING ANY MILLWORK AND/OR FURNITURE

9. PROPOSED FRAMED/GWB CEILING SHALL NOT BE LESS THAN 7'-6" AFF (TYP)

10. ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)

11. TERMITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER

BUILDING SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTING AGAINST

TERMITES THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY

12. CONTRACTOR SHALL PROVIDE A (GRADE) COMPACTION ENGINEERING REPORT PRIOR TO

POURING OF CONCRETE STRUCTURES (G-BEAMS, SLABS, ETC)

13. PROVIDE 15-mil VaporBlock G - VAPOR/MOISTURE RESISTANT BARRIER (OR EQUAL) UNDER ALL PROPOSED STRUCTURES (FLOOR SLABS & FOUNDATION) (TYP)

14. ALL PROPOSED GLASS EXCEEDING 9 SQUARE FEET SHALL BE 'SAFETY GLAZING'

CATEGORY II AS SPECIFIED IN THE FBC 2017 6TH EDITION SECTION 2406, TABLE 2406.2

15. GLAZING IN SAFEGUARDS SHALL MEET THE REQUIREMENTS OF ANSI Z97

16. CONTRACTOR SHALL PROVIDE PRE-ENG"d SHOP DRAWINGS FOR ALL INTERIOR & EXTERIOR 42" HIGH GUARD-RAILS & 36" HIGH HAND-RAILS (STAIRS & BALCONIES). GUARD RAILS SHALL NOT ALLOW THE PROTRUSION OF A 4" DIA. SPHERE.

17. (TYPICAL) DIMENSIONS DO NOT CALCULATE/INCLUDE THE THICKNESS OF THE 7/8" METAL

FURRING STRIPS + 5/8" GWB ON CONCRETE BLOCK WALLS

18. GC SHALL PROVIDE AN 'AS-BUILT' SURVEY W/ F.F.E. PRIOR TO FINAL INSPECTION FROM

THE ENGINEERING DEPARTMENT

19. ALL UTILITIES (TELEPHONE, CABLE, ELECTRICAL, GAS, WATER, ETC) MUST BE INSTALLED UNDERGROUND

20. CONTRACTOR SHALL COORDINATE ALL FINISHES, MILLWORK, BUILT-INS, AND FINAL FIXTURES W/ OWNER AND/OR INTERIOR DESIGNER. OWNER TO APPROVE ALL FINAL SELECTIONS (TYP)

(TYP)
21. CONTRACTOR TO PROVIDE 'VIBRATION ABSORBING PADS OR SPRINGS' TO THE CONDENSING UNITS TO REDUCE NOISE VIBRATION (TYP)

22. CONTRACTOR SHALL COORDINATE LABOR, INSTALLATION PROCESS & ALL WALL FINISHES (EX. STONE) W/ OWNER/I.D. (TYP)

PRÓVIDE R-5 (min) INSULATION @ ALL EXTERIOR CBS WALLS (TYP)
 ALL BALCONIES/TERRACES SLOPES SHALL BE 1/4"/FT MIN.

25. ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY GLASS CATEGORY

26. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT WEATHER SEALED DOORS. SEE DOOR SCHEDULE. GC TO PROVIDE NOA.

27. ALL EXTERIOR SLIDING ALUMINUM AND GLASS DOORS TO BE IMPACT RESISTANT SAFETY (CAT II) GLASS/ALUMINUM DOORS. SEE DOOR SCHEDULE.
28. ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2017 FBC

29. ALL GUARDRAILS TO BE 42" AFF ALUMINUM & GLASS GUARDRAILS. GC TO PROVIDE SHOP DRAWINGS/NOA FOR APPROVAL.

## GRESS NOTES:

1. EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 24.2.2.3

A. THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44"AFF
B. A MIN WIDTH OF 20" & MIN HEIGHT 24"

C. SHALL NOT BE LESS THAN 5.7 sq.ft. CLEAR OPENING

### HROOM NOTES:

1. PROVIDE (MOISTURE RESISTANT) 5/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS
2. PROVIDE A WIPEABLE / NON-ABSORBENT SURFACES/FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP)

3. ALL SHOWER ENCLOSURES & GLASS RAILS SHALL BE TEMPERED (SAFETY) GLASS CATEGORY II, AS SET FORTH BY FBC 6th ED
4. FBC R307.2 - BATHTUB AND SHOWER SPACES. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS

WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

5. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1

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JOSEPH B. KALLER FLORIDA R.A. #0009239

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NEW TWO- STOR

SECOND LEVEL FLOOR

REVISIONS

No. Description Date

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PROJECT No.: 23064

DATE: MAR 2024

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**GENERAL PLAN NOTES:** ALL CUPBOARDS & CABINETS (MILLWORK) SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER/CONTRACTOR FOR OWNER/ARCHITECT REVIEW & APPROVAL PRIOR TO

GFCI OUTLETS ARE TO BE PROVIDED @ ALL WET AREAS & KITCHEN COUNTERS

CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO

CONTRACTOR SHALL PROVIDE FULL SET OF MILLWORK SHOP-DWGS FOR OWNER

CONTRACTOR SHALL CONTACT & COORDINATE WITH ARCHITECT OF RECORD

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ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)

CONTRACTOR SHALL FIELD VERIFY ALL AREA DIMENSIONS & ALL EXISTING FIELD

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19. ALL UTILITIES (TELEPHONE, CABLE, ELECTRICAL, GAS, WATER, ETC) MUST BE INSTALLED 20. CONTRACTOR SHALL COORDINATE ALL FINISHES, MILLWORK, BUILT-INS, AND FINAL

FIXTURES W/ OWNER AND/OR INTERIOR DESIGNER. OWNER TO APPROVE ALL FINAL SELECTIONS CONTRACTOR TO PROVIDE 'VIBRATION ABSORBING PADS OR SPRINGS' TO THE

CONDENSING UNITS TO REDUCE NOISE VIBRATION (TYP) 22. CONTRACTOR SHALL COORDINATE LABOR, INSTALLATION PROCESS & ALL WALL FINISHES

(EX. STONE) W/ OWNER/I.D. (TYP) 23. PROVIDE R-5 (min) INSULATION @ ALL EXTERIOR CBS WALLS (TYP) ALL BALCONIES/TERRACES SLOPES SHALL BE 1/4"/FT MIN.

ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY GLASS CATEGORY

26. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT WEATHER SEALED DOORS. SEE DOOR SCHEDULE. GC TO PROVIDE NOA. 27. ALL EXTERIOR SLIDING ALUMINUM AND GLASS DOORS TO BE IMPACT RESISTANT SAFETY (CAT II) GLASS/ALUMINUM DOORS. SEE DOOR SCHEDULE.

28. ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2017 FBC 29. ALL GUARDRAILS TO BE 42" AFF ALUMINUM & GLASS GUARDRAILS. GC TO PROVIDE SHOP DRAWINGS/NOA FOR APPROVAL.

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FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1

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STORY

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**TERRACE** 3/16" = 1'-0"

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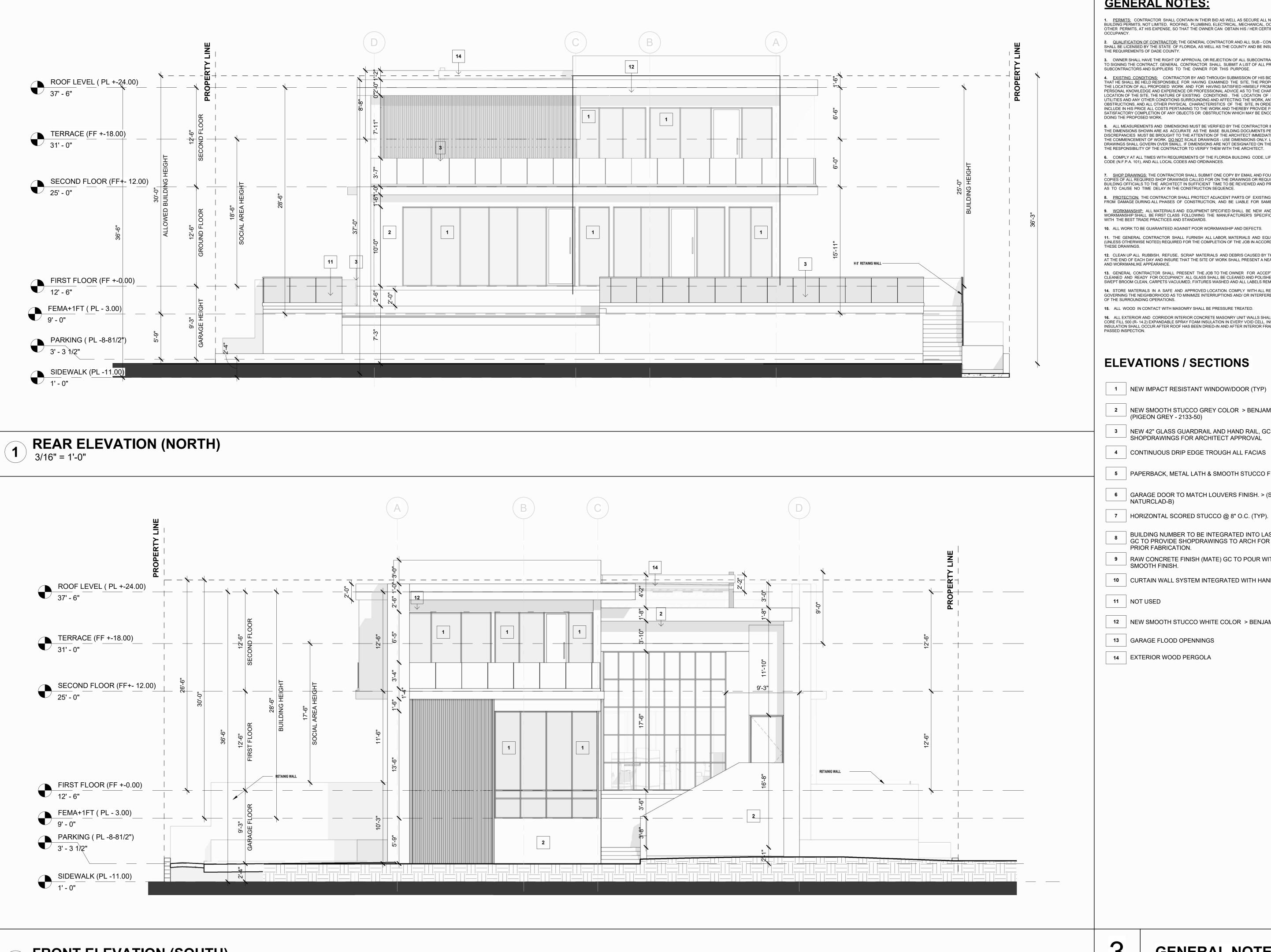
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# **GENERAL NOTES:**

1. <u>PERMITS</u>: CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF

2. QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB - CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET

THE REQUIREMENTS OF DADE COUNTY. 3. OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED

4. EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.

5. ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD, THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. <u>DO NOT</u> SCALE DRAWINGS - USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, AT IS

THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT. **6.** COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (N.F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.

7. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY BY EMAIL AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.

8. PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.

**9.** <u>WORKMANSHIP:</u> ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.

11. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.

12. CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT

AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE. 13. GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEPT BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.

**14.** STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.

**15.** ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

INSULATION SHALL OCCUR AFTER ROOF HAS BEEN DRIED-IN AND AFTER INTERIOR FRAMING HAS PASSED INSPECTION.

# **ELEVATIONS / SECTIONS**

1 NEW IMPACT RESISTANT WINDOW/DOOR (TYP)

2 NEW SMOOTH STUCCO GREY COLOR > BENJAMIN MOORE (PIGEON GREY - 2133-50)

NEW 42" GLASS GUARDRAIL AND HAND RAIL, GC TO IMPROVE SHOP SHOPDRAWINGS FOR ARCHITECT APPROVAL

4 CONTINUOUS DRIP EDGE TROUGH ALL FACIAS

5 PAPERBACK, METAL LATH & SMOOTH STUCCO FINISH THROUGHOUT.

6 GARAGE DOOR TO MATCH LOUVERS FINISH. > (SESAME COLOR /

BUILDING NUMBER TO BE INTEGRATED INTO LASERCUT PATTERN WHERE GC TO PROVIDE SHOPDRAWINGS TO ARCH FOR REVIEW AND APPROVAL

9 RAW CONCRETE FINISH (MATE) GC TO POUR WITH METAL FORMS FOR SMOOTH FINISH.

10 CURTAIN WALL SYSTEM INTEGRATED WITH HANDRAIL ABOVE.

12 NEW SMOOTH STUCCO WHITE COLOR > BENJAMIN MOORE

13 GARAGE FLOOD OPENNINGS

14 EXTERIOR WOOD PERGOLA



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NORTH / SOUTH ELEVATIONS

**REVISIONS** 

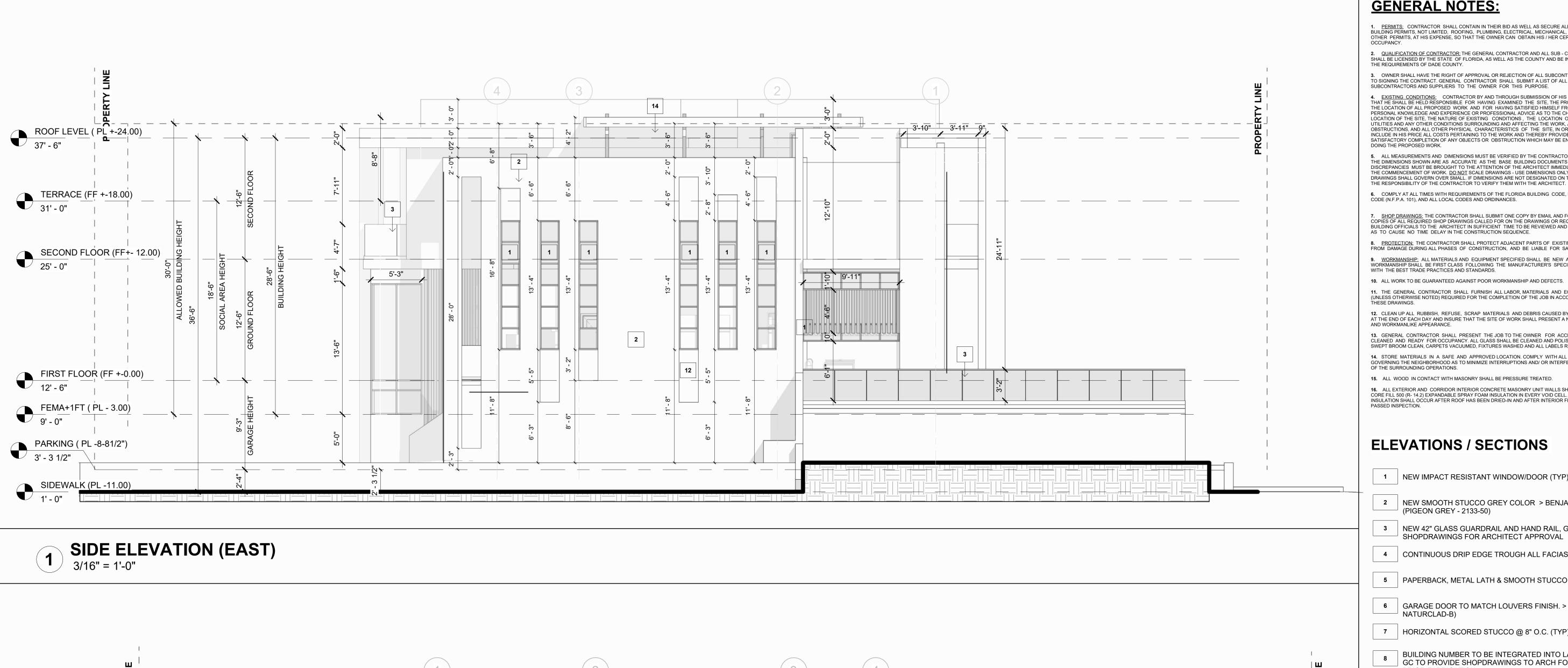
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PROJECT No.:

CHECKED BY:

SHEET

A-301



ROOF LEVEL ( PL +-24.00)
37' - 6" TERRACE (FF +-18.00) 31' - 0" SECOND FLOOR (FF+- 12.00) 25' - 0" 2 FIRST FLOOR (FF +-0.00) 12' - 6" 2 SIDEWALK (PL -11.00)

**GENERAL NOTES:** 

1. <u>PERMITS</u>: CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF

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**6.** COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (N.F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.

7. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY BY EMAIL AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.

8. <u>PROTECTION:</u> THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.

**9.** <u>WORKMANSHIP:</u> ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.

11. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.

12. CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.

13. GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEPT BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.

14. STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS. 15. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

INSULATION SHALL OCCUR AFTER ROOF HAS BEEN DRIED-IN AND AFTER INTERIOR FRAMING HAS PASSED INSPECTION.

# **ELEVATIONS / SECTIONS**

1 NEW IMPACT RESISTANT WINDOW/DOOR (TYP)

2 NEW SMOOTH STUCCO GREY COLOR > BENJAMIN MOORE (PIGEON GREY - 2133-50)

NEW 42" GLASS GUARDRAIL AND HAND RAIL, GC TO IMPROVE SHOP SHOPDRAWINGS FOR ARCHITECT APPROVAL

4 CONTINUOUS DRIP EDGE TROUGH ALL FACIAS

5 PAPERBACK, METAL LATH & SMOOTH STUCCO FINISH THROUGHOUT.

6 GARAGE DOOR TO MATCH LOUVERS FINISH. > (SESAME COLOR /

7 HORIZONTAL SCORED STUCCO @ 8" O.C. (TYP).

BUILDING NUMBER TO BE INTEGRATED INTO LASERCUT PATTERN WHERE GC TO PROVIDE SHOPDRAWINGS TO ARCH FOR REVIEW AND APPROVAL

9 RAW CONCRETE FINISH (MATE) GC TO POUR WITH METAL FORMS FOR

10 CURTAIN WALL SYSTEM INTEGRATED WITH HANDRAIL ABOVE.

11 NOT USED

12 NEW SMOOTH STUCCO WHITE COLOR > BENJAMIN MOORE

13 GARAGE FLOOD OPENNINGS

PRIOR FABRICATION.

14 EXTERIOR WOOD PERGOLA

Kaller Architecture

AA#26001212 2417 Hollywood Blvd. Hollywood Florida 33020 954.920.5746 joseph@kallerarchitects.com

www.kallerarchitects.com

JOSEPH B. KALLER FLORIDA R.A. #0009239

RESIDENCE

STRE Z 0 ARRIS 9

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SINGLE

STORY

EAST / WEST ELEVATIONS

**REVISIONS** 

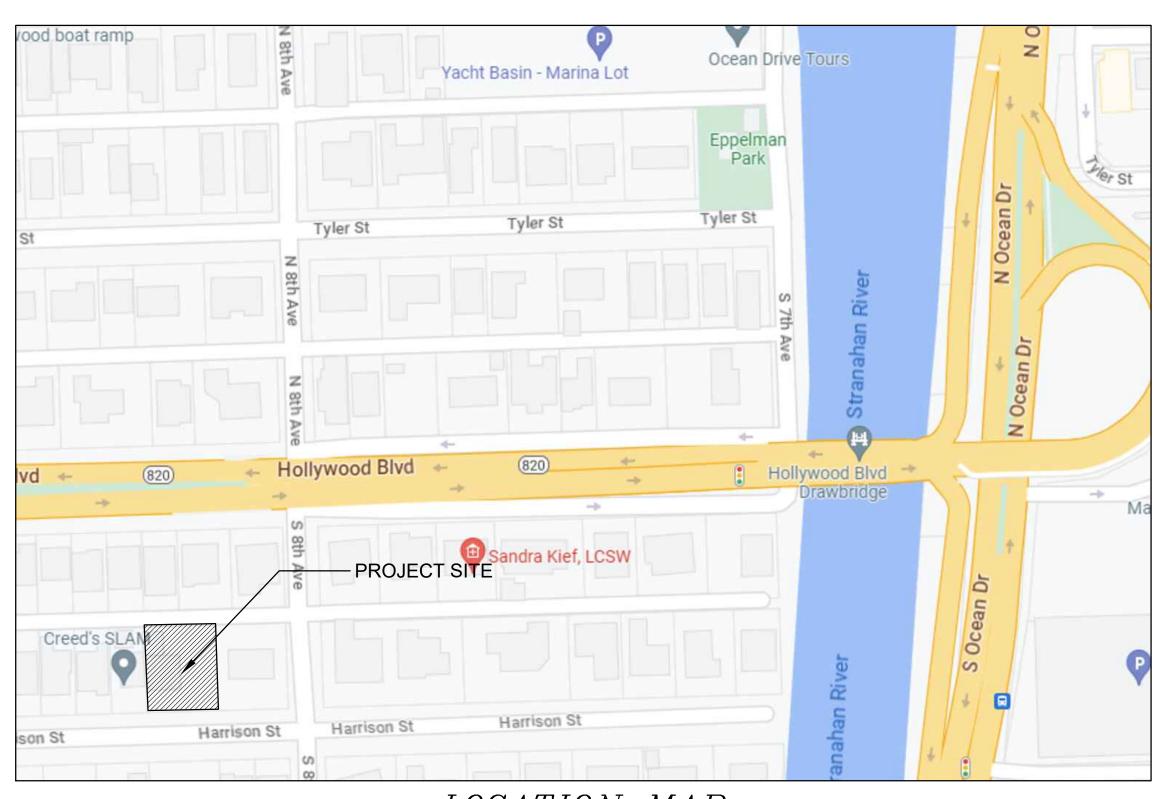
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CHECKED BY:

DRAWN BY:

A-302



LOCATION MAP NOT TO SCALE

. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS. THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30

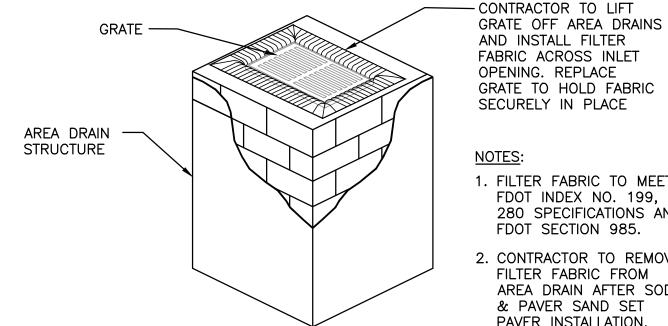
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

# WOOD 2" X 4" OAK 1 1/2" X 1 1/2" STEEL 1.33 LBS/FT. MIN. 6'MAX. FILTER FABRIC (IN CONFORMANCE WITH SEC. 985 FDOT SPEC.) GRADE TYPE III SILT FENCE



1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.

> 2. CONTRACTOR TO REMOVE FILTER FABRIC FROM AREA DRAIN AFTER SOD & PAVER SAND SET PAVER INSTALLATION.

POLLUTION PREVENTION FOR AREA DRAIN N.T.S.

# **LEGEND**

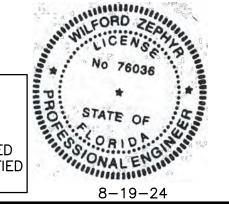
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PROPOSED CONCRETE PROPOSED GRADE EXISTING ELEVATION PROPOSED WATER METER PROPOSED BFP DEVICE

POST OPTIONS: WOOD 2 1/2" MIN. Ø

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# **EROSION & SEDIMENT CONTROL PLAN**

SCALE: 1"=10'

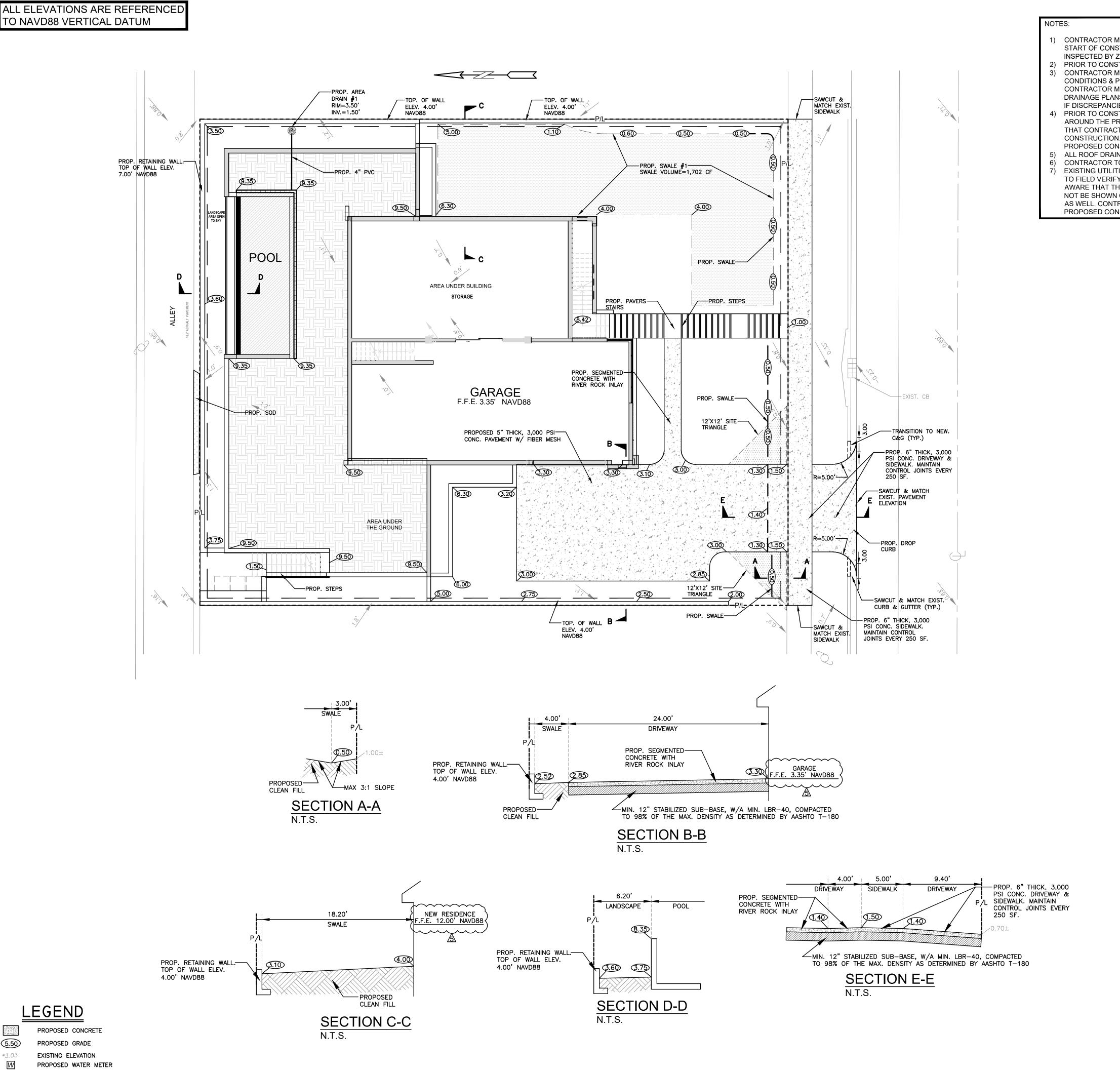
STREI RIDA FOR ARRISON S /OOD, FLOF 813 )LLY

EPH

P.E.#:76036 DATE: 8/2/23

SCALE: 1"=10' SHEET NO.:

> 1 OF 5 PROJECT NO.: 23-36



PROPOSED BFP DEVICE

- CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
   PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

#### DRAINAGE CALCULATIONS:

TOTAL SITE AREA = 12,100 SF BLDG AREA = 3,426 SF POOL = 675.37 SF POOL DECK = 1,509.96 SF DRIVEWAY & WALKWAYS= 1,574.98 SF TOTAL IMPERV. AREA = 7,186.31 SF TOTAL PERVIOUS AREA = 4,913.69 SF

### WATER QUALITY STORAGE REQUIRED:

[(2.5 IN) X 7,186.31 SF] / (12 IN/FT) = 1,497 CF

OR

[(1 IN) X 12,100 SF] / (12 IN/FT) = 1,008 CF

2.5 IN TIMES IMPERVIOUS AREA GOVERNS

REQUIRED STORAGE VOLUME: 1,497 CF

WATER QUALITY STORAGE PROVIDED:

SWALE AREA #1 = 1,702 CF

TOTAL STORAGE = 1,702 CF

ZEPH

EERIN

NEW RESIDENCE FOR 813 HARRISON STREET HOLLYWOOD, FLORIDA 33019

No 76036

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8-19-24

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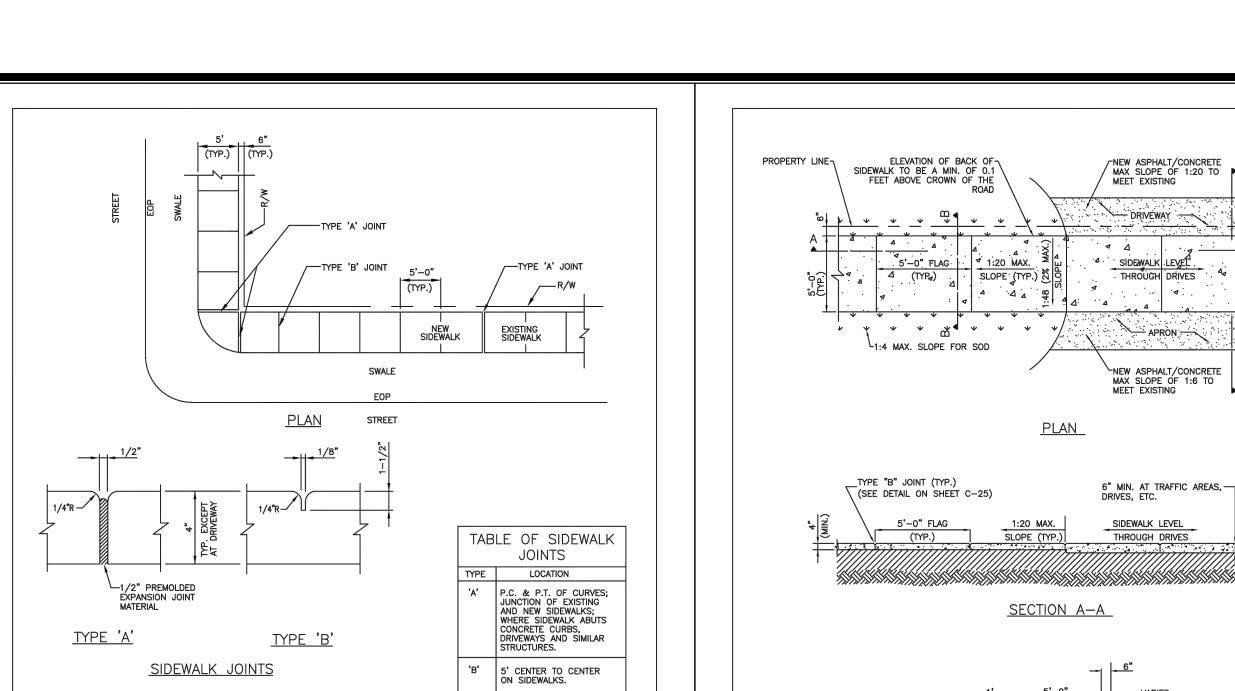
PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10"

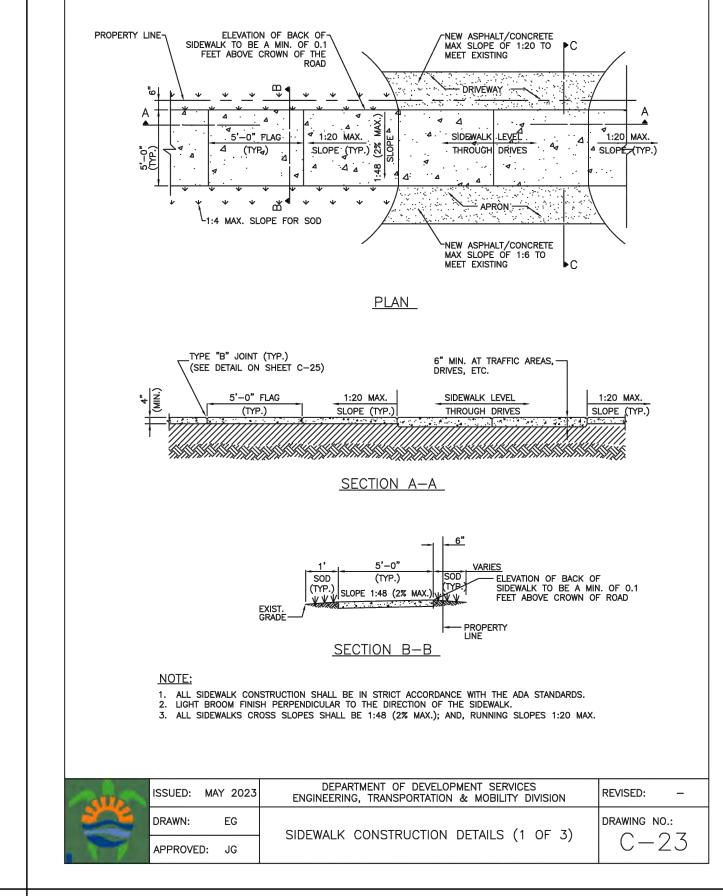
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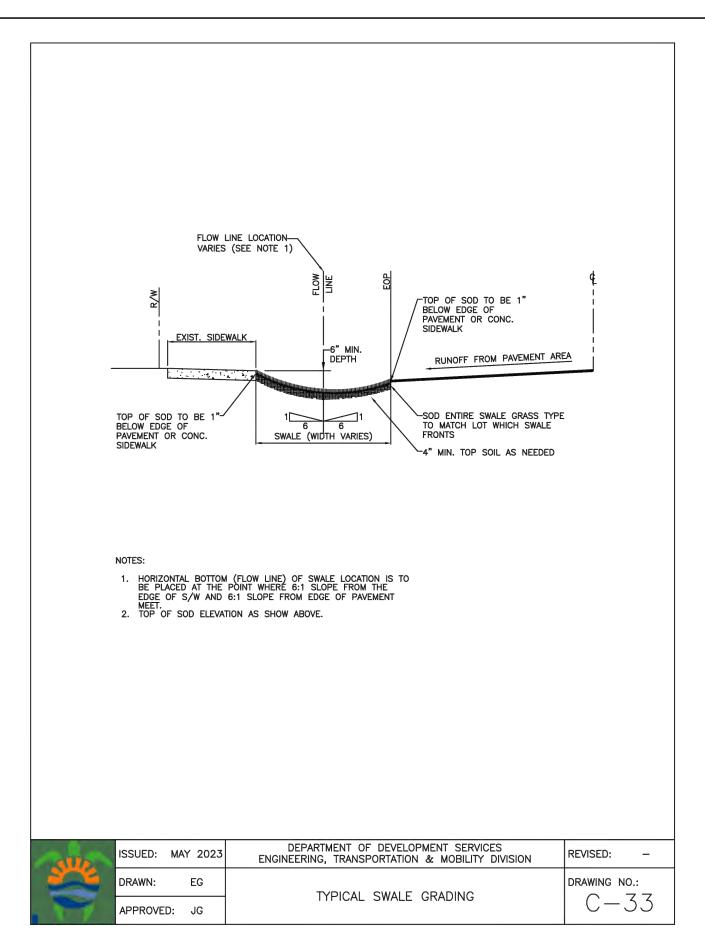
SCALE: 1"=10'
SHEET NO.:

2 OF 5
PROJECT NO.: 23-36



REVISED:



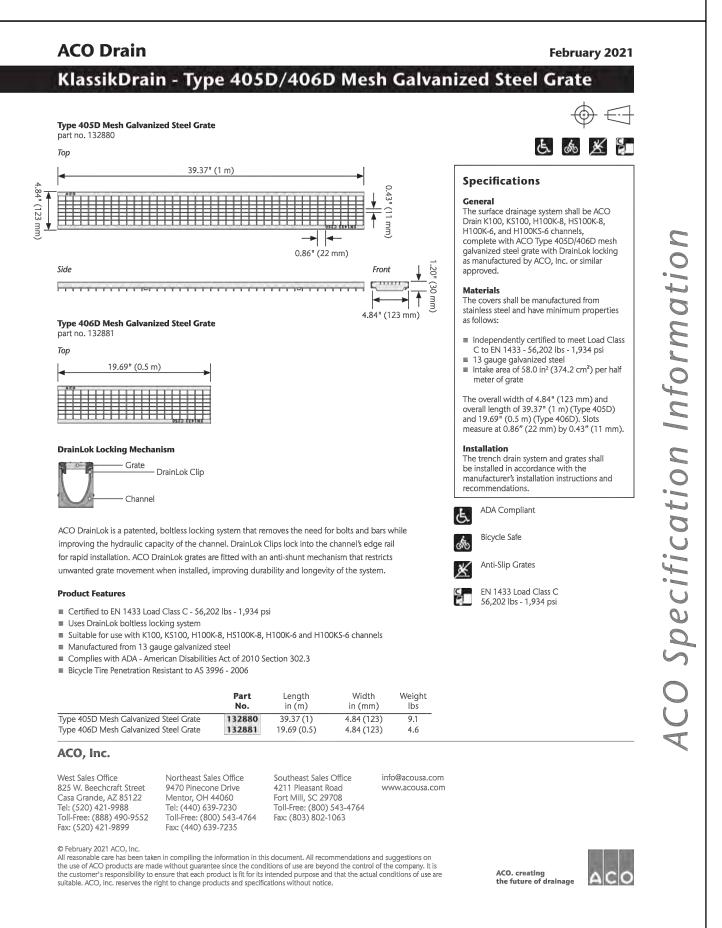


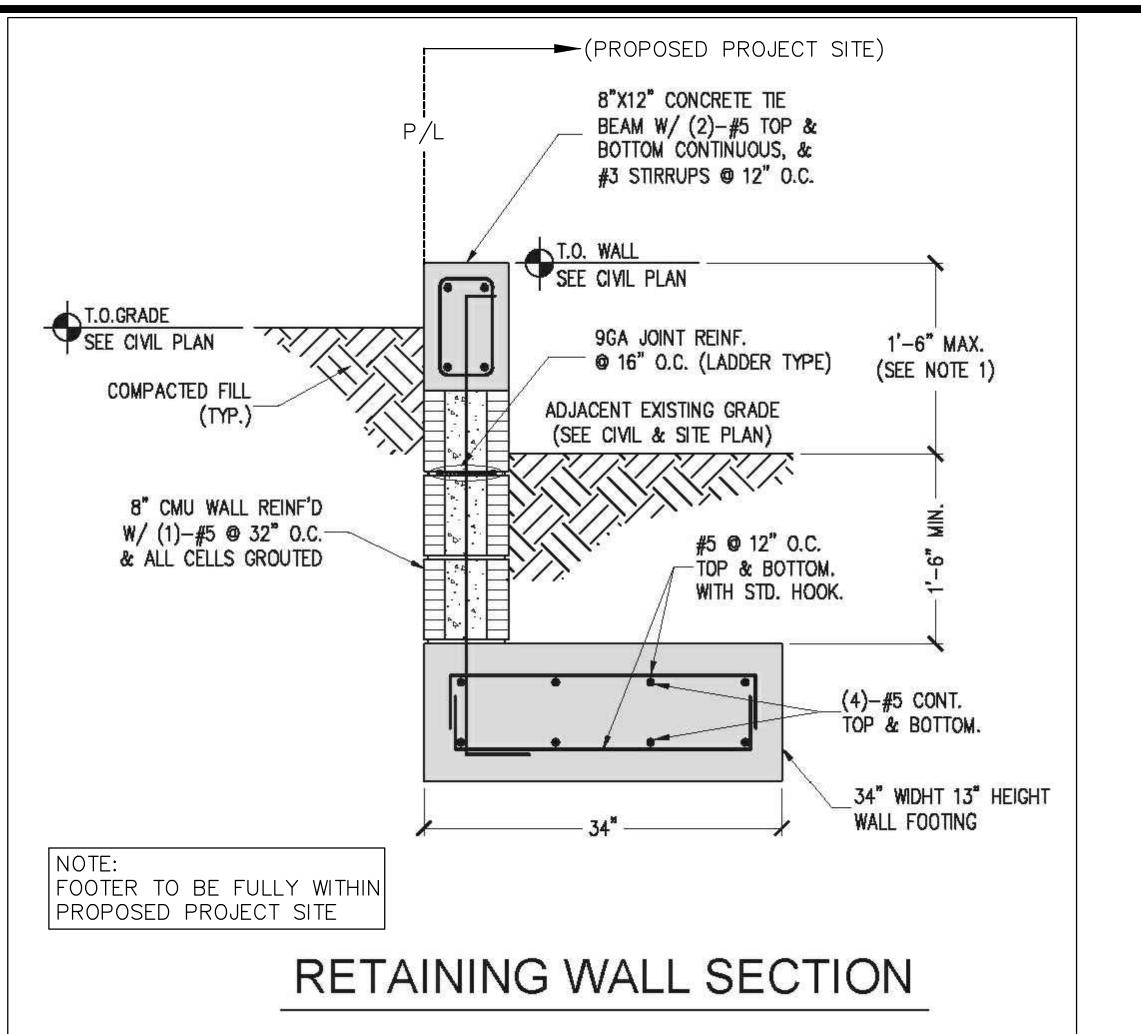
1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
4. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522—002.
5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 10 DEFERENCE IN HEIGHT COVER AND STRUCTURE SHALL NOT BE MORE THAN A 10 DEFERENCE IN HEIGHT COVER AND STRUCTURE SHALL NOT BE MORE THAN

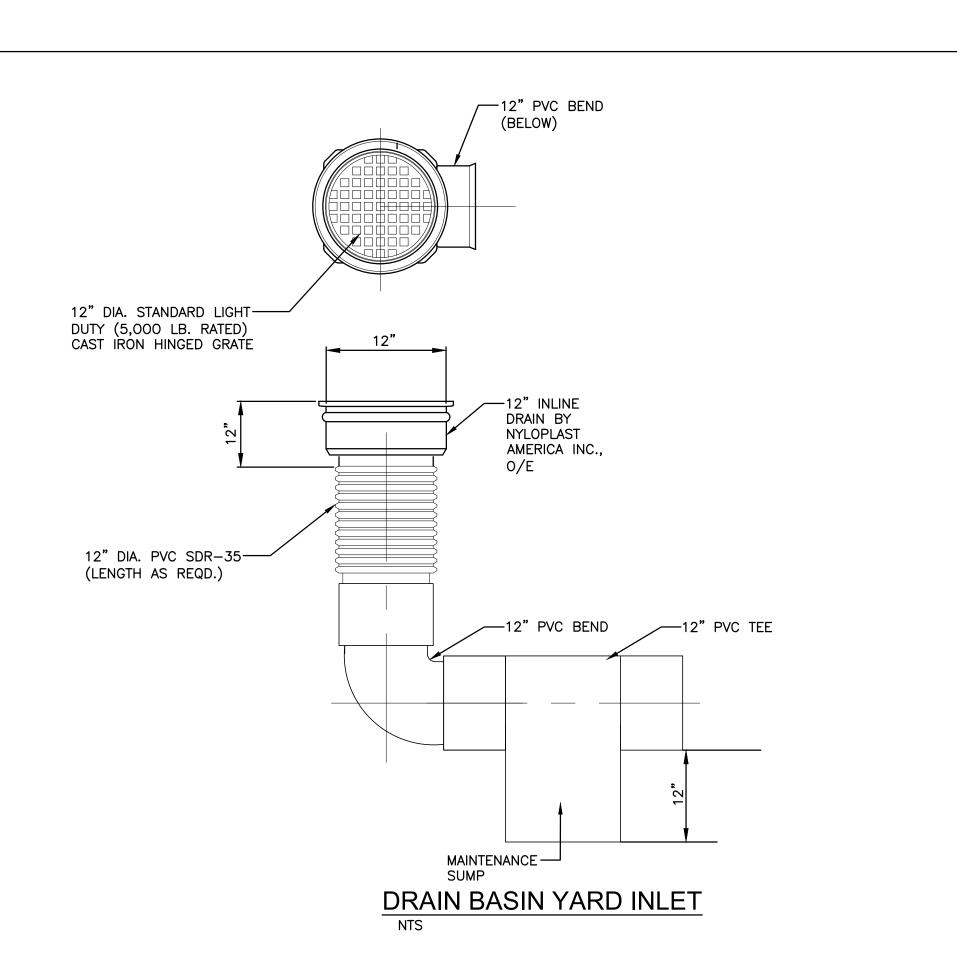
A 1/2" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE

DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

SIDEWALK CONSTRUCTION DETAILS (3 OF 3)







INEERING R. P.E. ZEPH

ALL ELEVATIONS ARE REFERENCED

TO NAVD88 VERTICAL DATUM

SIDENCE STRE Щ Z  $\sim$ -

P.E.#:76036 DATE: 8/2/23 SCALE: N.T.S.

SHEET NO .:

3 OF 5

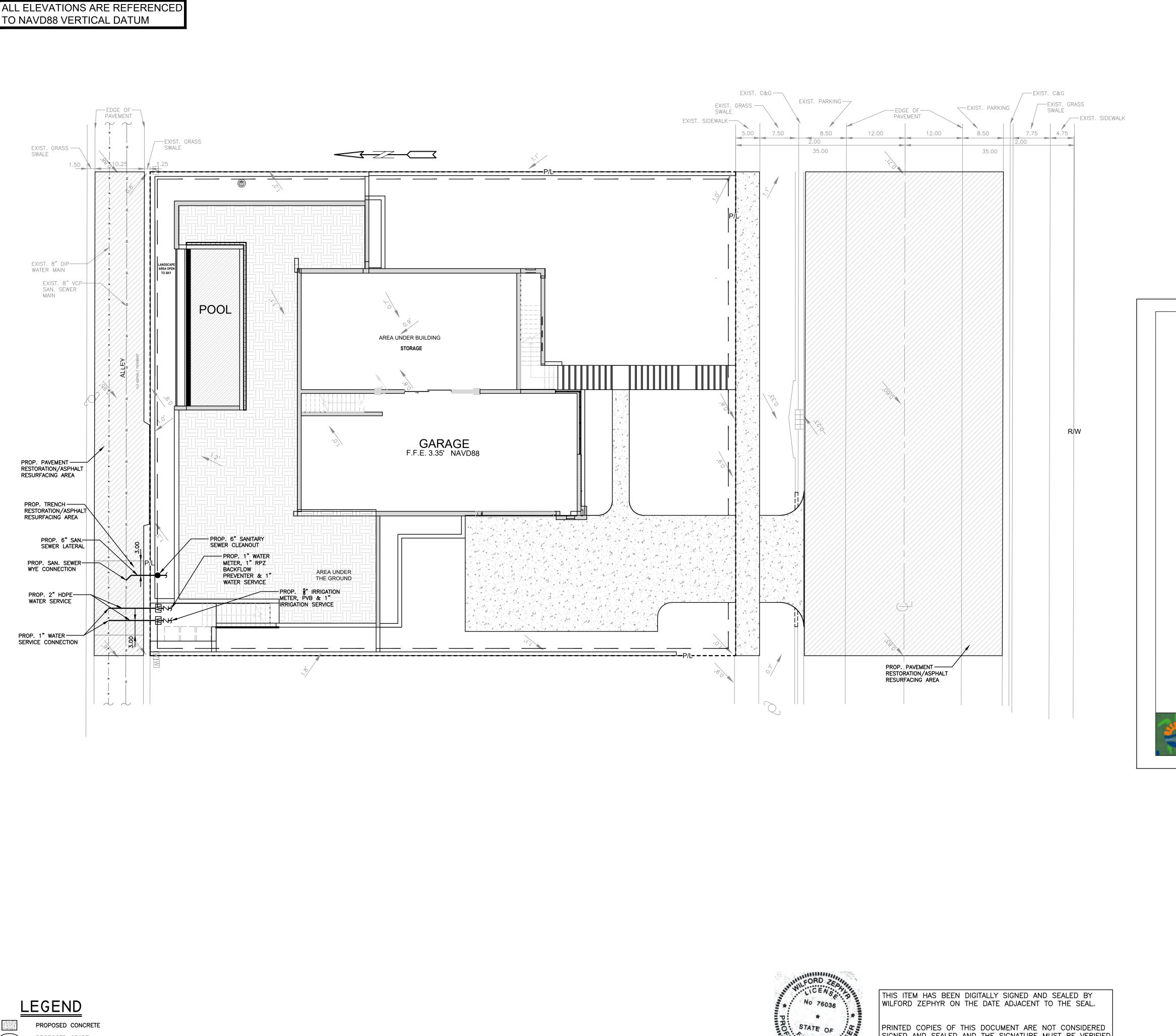
PROJECT NO.: 23-36

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**CIVIL DETAILS** SCALE: N.T.S.



PROPOSED GRADE

EXISTING ELEVATION

PROPOSED WATER METER

PROPOSED BFP DEVICE

WATER & SEWER DEMAND CALCULATIONS: PROJECT INFO: SINGLE FAMILY RESIDENCE (1 RESIDENTIAL UNIT)X(199 GPD/UNIT)=199 GPD TOTAL WATER DEMAND=199 GPD WASTEWATER DEMAND (1 RESIDENTIAL UNIT)X(142 GPD/UNIT)=142 GPD

TOTAL WASTEWATER DEMAND=142 GPD

\_\_\_\_\_\_\_\_\_  $^{ackslash}$  existing pavement – PLAN VIEW TRENCH WIDTH (W) + 4' (MIN. 10') SECTION "A-A" 1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
 BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
 ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
 SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
 SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
 BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
 MINIMUM PAVEMENT RESTORATION WIDTH IS 10'. DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION ISSUED: MAY 2023 REVISED: -FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION APPROVED:

P.E.#:76036

INEERING R. P.E.

ZEPHY

SCALE: 1"=10' SHEET NO.:

SCALE: 1"=10'

WATER PLAN & DETAILS

DATE: 8/2/23

OR SON STREET FLORIDA 33

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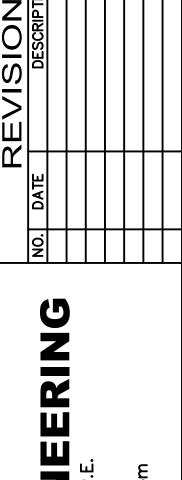
NEW

4 OF 5 PROJECT NO.: 23-36

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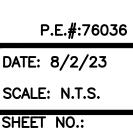
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8-19-24



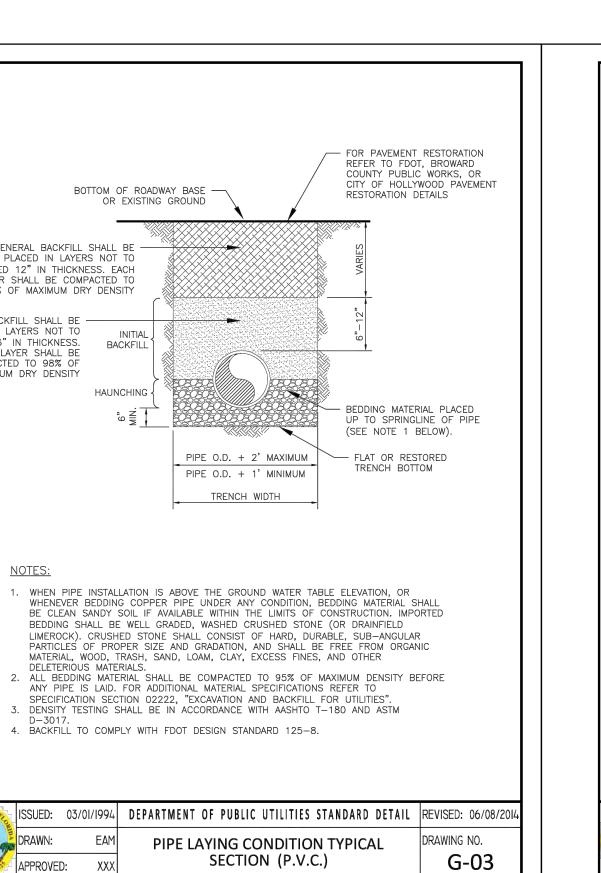
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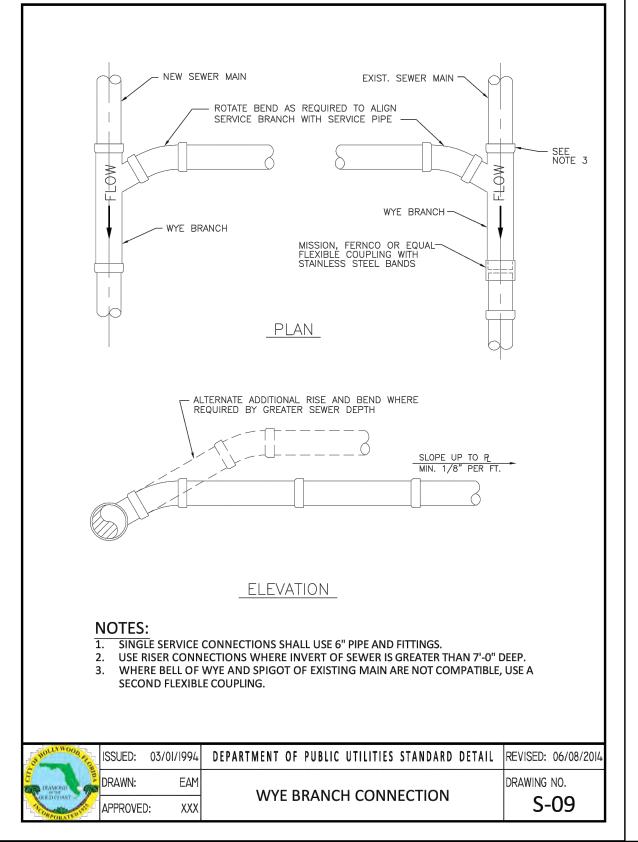
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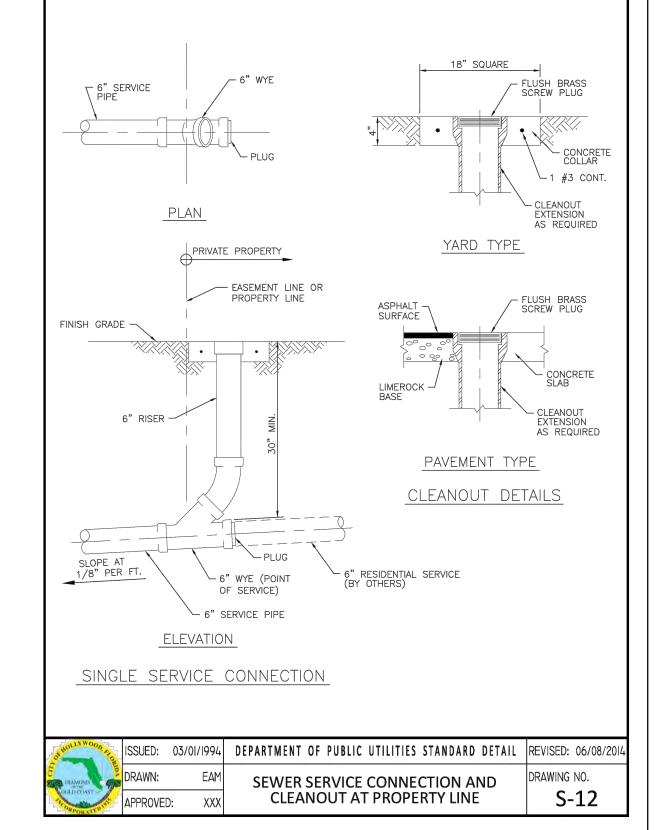


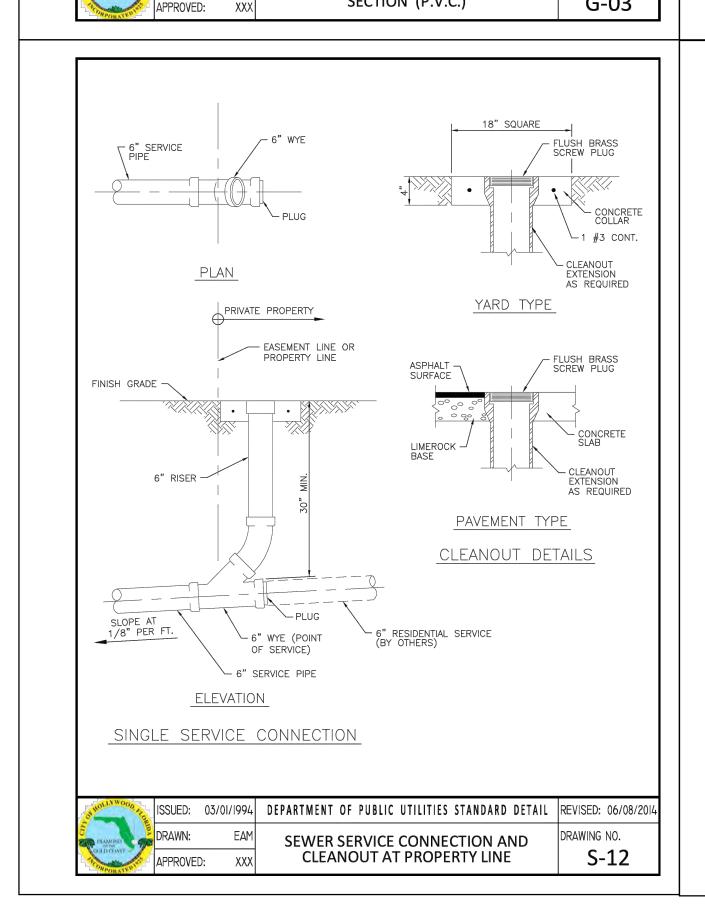
SCALE: N.T.S. SHEET NO.: Ĉ5 5 OF 5

PROJECT NO.: 23-36









BOTTOM OF ROADWAY BASE -OR EXISTING GROUND

HAUNCHING {

PIPE O.D. + 2' MAXIMUM

PIPE O.D. + 1' MINIMUM

TRENCH WIDTH

SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".

PIPE LAYING CONDITION TYPICAL

SECTION (P.V.C.)

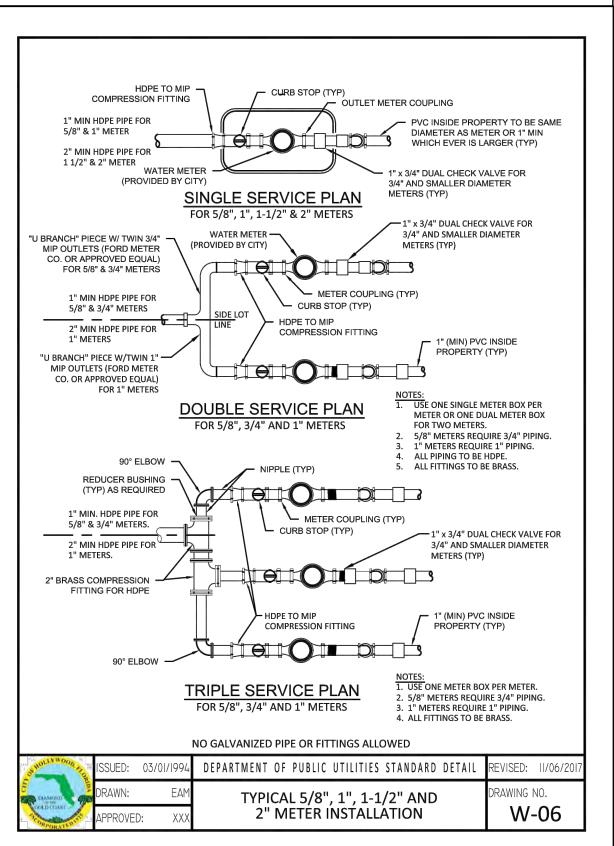
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

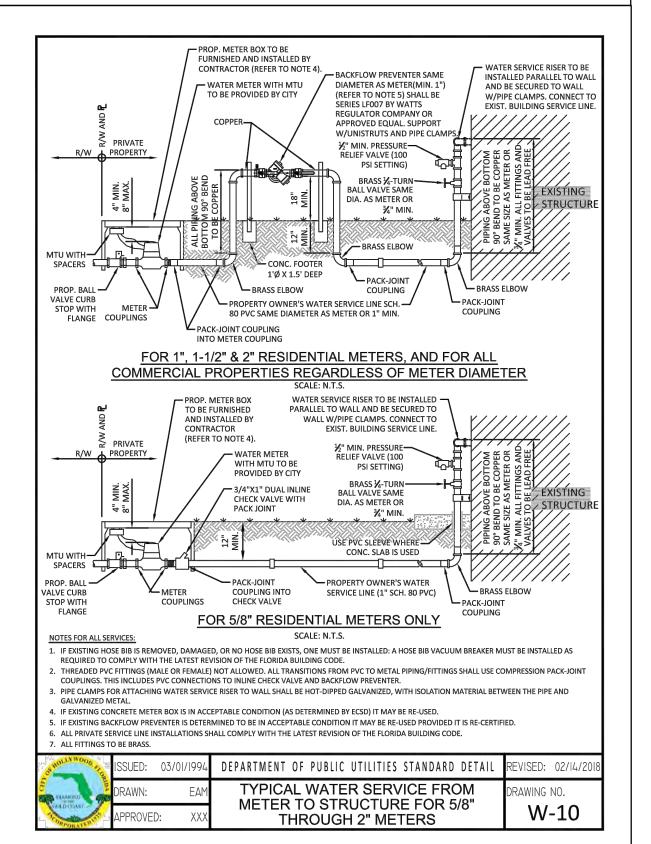
PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS. EACH LAYER SHALL BE COMPACTED TO

100% OF MAXIMUM DRY DENSITY

LACED IN LAYERS NOT TO EXCEED 6" IN THICKNESS. EACH LAYER SHALL BE

MAXIMUM DRY DENSITY

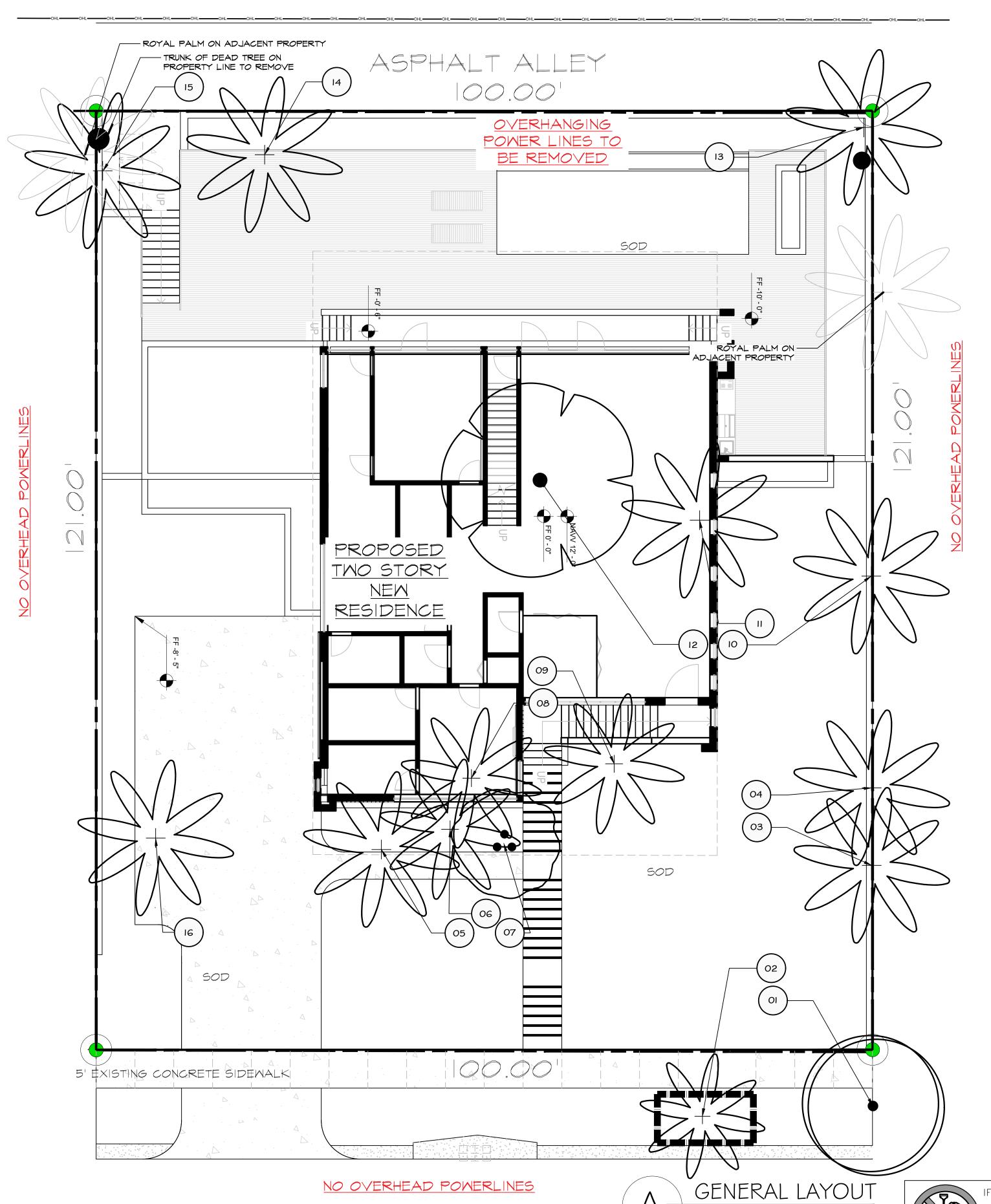




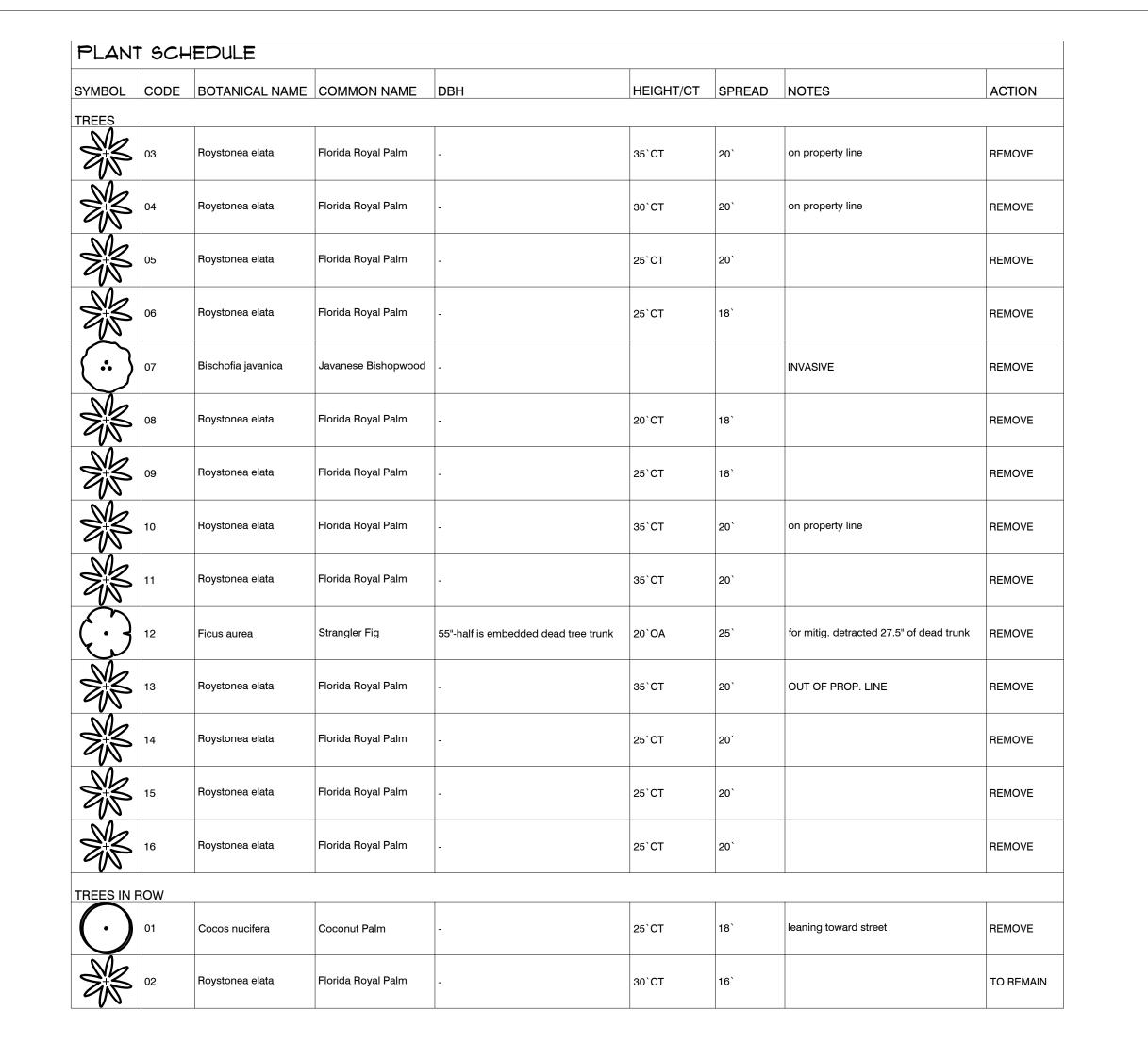


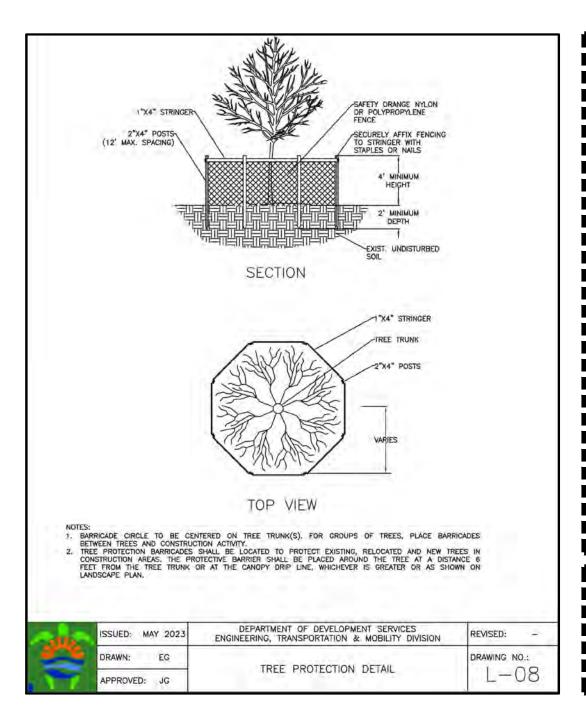
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HARRISON STREET





# **MITIGATION CALCULATIONS:**

13 PALMS TO REMOVE 13 x \$350=\$4,550.00 27.5" DBH TO REMOVE 27.5/2 x \$350=\$4,812.50

> **TOTAL** \$9,362.50

**MITIGATION TREES PROVIDED:** 

12" DBH 12/2 x \$350=\$2,100.00 13 x \$350=\$4,550.00 13 PALMS

**TOTAL PROVIDED** 

\$6,650.00

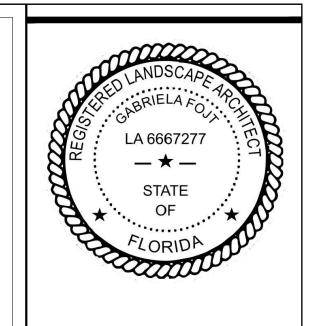
MITIGATION TO PAY TO CITY TREE FUND:

\$9,362.50 - 6,650.00= \$2,712.50

**SEE LP-1 FOR PROVIDED TREES** 

YOU DIG FLORIDA.. CALL US FIRST! 1-800-432-4770 OF FLORIDA, INC.
IT'S THE LAW

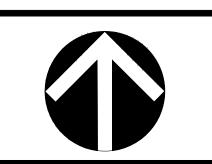
CONTRACTOR TO CHECK LOCATIONS OF PALMS WITH SURVEY AND GET WRITTEN APPROVAL FROM A NEIGHBOR FOR ANY REMOVALS ON THE PROPERTY LINE



# The Mirror of Paradise

Gabriela Fojt LA 6667277 LC 26000628

2700 E Oakland Park Blvd Suite C Fort Lauderdale FL 33306 c (954) 478 3064 www.florida-landscape.com



1/8"=1'-0"

SCALE

**DESIGNED BY** 

**DRAWN BY** 

CAD DWG.

CHECKED BY

gabriela@themirrorofparadise.com

08.04.2023 REVISIONS City comments  $1 \cdot 10.25.2023$ 01.11.2024 <u>/3</u> 01.25.2024 4 03.07.2024 5 04.10.2024 6 04.12.2024 7 04.17.2024 08.13.2024

08.16.2024

813 HOLI FLOF

# — ROYAL PALM ON ADJACENT PROPERTY EXISTING OVERHANGING POWER LINES ON THE OPPOSITE SIDE OF THE ALLEY — TRASH CONTAINERS ASPHALT ALLEY 100.00 / 3' RETAINING WALL - 3' RETAINING POOL MOOD DECK 3' RETAINING -MALL ROYAL PALM ON ADJACENT PROPERTY NEW RESIDENCE DRIVEWAY 3' RETAINING -- INSTALL ROOT BARRIER (TYPICAL) MALL FLORATAM SOD \12'x12' SIGHT — TRIANGLES 5' EXISTING CONCRETE SIDEWALK FLORATAM NO OVERHEAD POWERLINES EXISTING ROYAL PALM #2 HARRISON STREET IF YOU DIG FLORIDA... CALL US FIRST! 1-800-432-4770 SUNSHINE STATE ONECALLING OF FLORIDA, INC. IT'S THE LAW GENERAL LAYOUT INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION scale 1/8"=1'-0" OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.

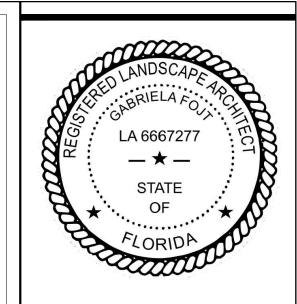
# LANDSCAPED AREAS WITHIN PROPOSED SWALES SHALL BE FINISHED GRADED TO ALLOW FOR DRAINAGE RETENTION

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST
REES								
0	Am3	6	Adonidia merrillii	Christmas Palm	8'CT, dbl, matched	AS SHOWN	NO	HIGH
	СЬ	3	Calophyllum brasiliense	Brazilian Beautyleaf	min.12'0A, 2"dbh	AS SHOWN	NO	HIGH
	Cs	5	Conocarpus erectus f. sericeus	Silver Buttonwood	12'0A, 2"dbh, matched	AS SHOWN	YES	HIGH
Social Control of the	Pm2		Ptychosperma macarthurii	Macarthur Palm	8'-10'0A, full	AS SHOWN	NO	MODERATE
	Re	7	Roystonea elata	Florida Royal Palm	8'CT, matched	AS SHOWN	YES	HIGH
(x)	Am	16	Veitchia montgomeryana	Montgomery Palm	10'-14'CT, staggered	AS SHOWN	NO	НІБН
HRUBS								
	Az	25	Alpinia zerumbet	Shell Ginger GREEN	7 gal	48"OC	NO	MODERATE
W.	De	2	Dioon edule	Mexican Cycad	4'0A	AS SHOWN	NO	HIGH
器	Dr	5	Dracaena reflexa	Song of India	3'-4'0A, ftb	AS SHOWN	NO	HIGH
<b>~</b>	Fp	26	Ficus pumila	Creeping Fig	l gal	36"00	NO	HIGH
	PV	4	Pandanus tectorius 'Variegata'	Variegated Screwpine	7 gal, full	AS SHOWN	NO	MODERATE
0	Pm	78	Podocarpus macrophyllus	Yew Podocarpus	7 gal, 24"0A, ftb	24"00	NO	HIGH
$\langle \cdot \rangle$	Sa2	8	Schefflera arboricola	Schefflera	min.36"0A	24"00	NO	НІБН
HRUB AF	REAS							
	Ac	54	Alocasia odora 'California'	California Elephant Ear	3 gal	30"00	NO	LOM
V A V V A V V A	Fg	36	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal, full	18"00	NO	HIGH
	Lb	20	Liriope muscari 'Big Blue'	Big Blue Lilyturf	3 gal	18"00	NO	HIGH
	Ms	162	Mimosa strigillosa	Sunshine Mimosa	l gal	18"00	YES	HIGH
	Pr	27	Philodendron x 'Hope'	Hope Philodendron	3 gal	24"00	NO	MODERATE
44444	Та	76	Tripsacum floridanum	Florida Gamagrass	3 gal	30"00	YES	HIGH
ROUND (	COVERS							

- SOD AS INDICATED.
- 2. MULCH ALL BEDS AS INDICATED ON DETAIL. 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
- 4. PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

LANDSCAPE REQUIREMENTS RS-6	Required	Existing	Proposed	Total Provided
TREES REQUIRED ON THE LOT 1 tree/each 1,250 sq,ft of front yard (2,328 sf/1,250=1.9)	2		2 Silver Buttonwoods	2 provided
Min. 20% of front yard pervious area to be landscaped (2,328 sf x.2= 465.6 sf)	<b>465.6</b> sf		<b>2,328</b> sf	(+)20% provided
SWALE TREES				
1 tree/each 50 If of street frontage	2	<b>1</b> Royal palm	1 Royal palm	2 provided
Project plants:				
Palms no more that 50% of required trees (4 x .5=2)	2	<b>1</b> Royal palm	1 Royal palms	2 provided
Min 60% of required trees to be native (4 x .6=2.4)	3	1	3	4 (100%) provided
Min species required	2	1	1	2 provided
MITIGATION TREES (see also DT-1)				<b>0.7</b> .
			6 Royal palms, 3 Adonidia, 16 Montgomery 6"dbh (Buttonwoods) & 6"dbh Brazilian Beautyleaf	25 palms 12"dbh hardwood





# The Mirror of Paradise

Gabriela Fojt LA 6667277 LC 26000628

2700 E Oakland Park Blvd Suite C Fort Lauderdale FL 33306 c (954) 478 3064



ESIGNED BY	GF
RAWN BY	
HECKED BY	GF
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2	01.11.2024
3	01.25.2024
4	03.07.2024
5	04.10.2024
6	04.12.2024
$\triangle$	04.17.2024
8	08.13.2024
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08.16.2024

1/8"=1'-0"

CHAR<sup>-</sup> CODE SCHEDULE

PLANT 3301 WO

### GENERAL LANDSCAPE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- 2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- 3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
- 4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU, YDS,
- 5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- 6. APPLY 3" MELALEUCA\EUCALYTUS MULCH ARDUND ALL PLANTS WITHIN 2 DAYS.
- 7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- 8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- 9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM, LAY WITH TIGHT JOINTS
- 10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- 11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ¥12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- 13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

## HOLLYWOOD LANDSCAPE NOTES

FOR TOP VIEW). SHAVE 11/2" OFF OF ROOT BALL OF CONTAINERIZED TREES TO DETER

REMOVE TOP 1/3 BURLAP -

CIRCLING ROOTS

FOR TREES IN SODS AREAS,

DIAMETER OF MULCH RIN

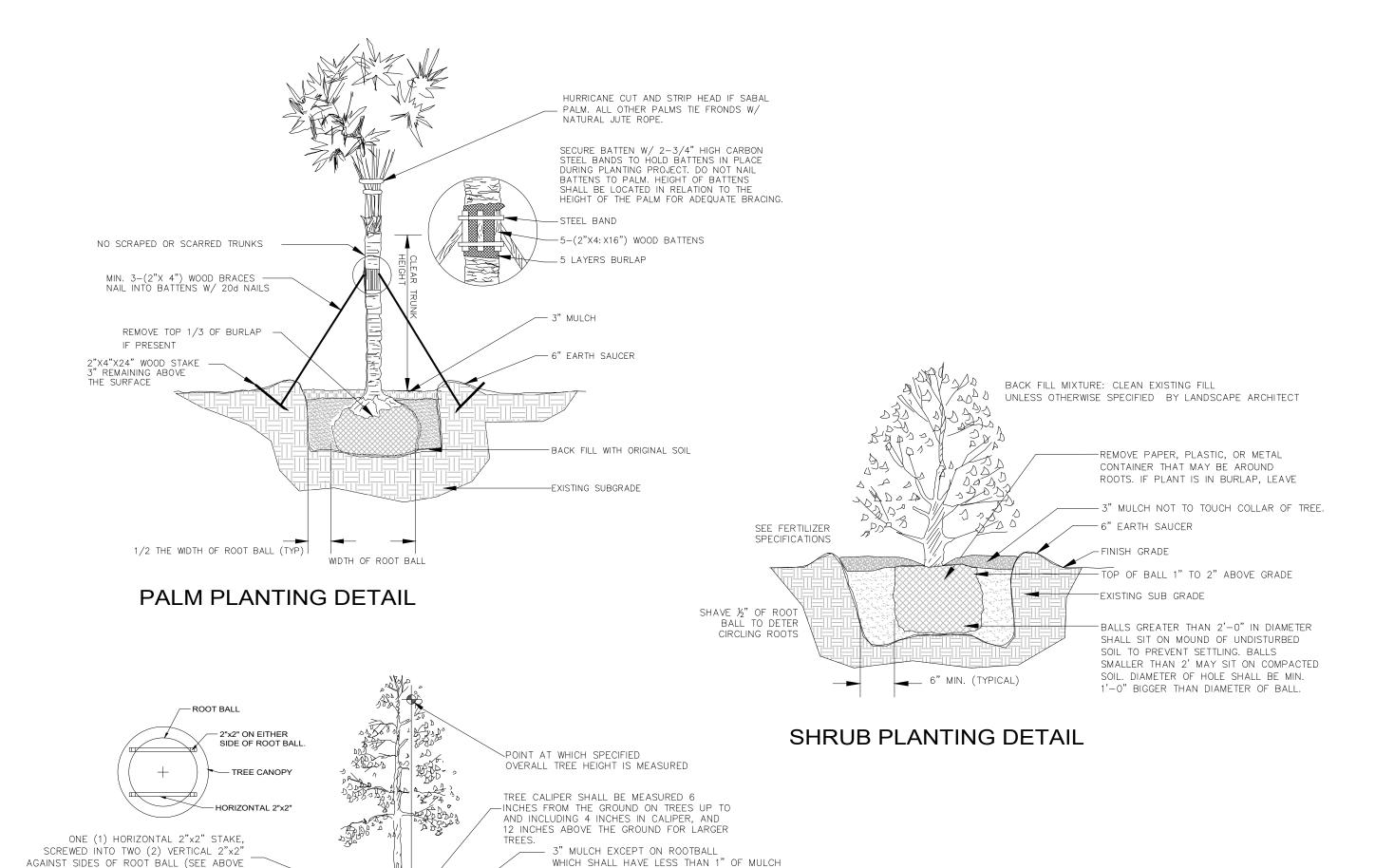
TREE PLANTING DETAIL

SHALL BE A MINIMUM OF 8'-0

- 1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- 2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING. PROVIDE MINIMUM OF 36" HT.

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NO MULCH AGAINST TRUNK OR ON ROOT COLLAR

10% OF ROOTBALL ABOVE GRADE

-BACKFILL MIXTURE: CLEAN EXISTING FILL

UNLESS OTHERWISE SPECIFIED BY LA

BALLS GREATER THAN 2'-0" IN DIAMETER

SMALLER THAN 2' MAY SIT ON COMPACTED SOIL. DIAMETER OF HOLE SHALL BE MIN. 2 TIMES BIGGER THAN DIAMETER OF BALL.

SHALL SIT ON MOUND OF UNDISTURBED

SOIL TO PREVENT SETTLING. BALLS

-6" EARTH SAUCER

-FXISTING SUB GRADE

---FINISH GRADE

#### **JOB CONDITIONS:**

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

### PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES. LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

# TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

# MULTIPLE TRUNK TREES

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

# MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

# SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

#### **MEASUREMENTS:**

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

#### **IRRIGATION:**

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

### **GUARANTEE:**

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

#### MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

### SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

# STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

# FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

# **CLEANUP:**

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

# INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

# **ACCEPTANCE:**

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



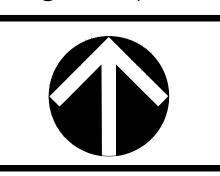
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



# The Mirror of Paradise

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SCALE as noted **DESIGNED BY DRAWN BY** CHECKED BY CAD DWG. DATE 08.04.2023 REVISIONS City comments 10.25.202301.11.2024 01.25.2024 03.07.2024 <u>5</u> 04.10.2024 04.12.2024 04.17.2024 08.13.2024

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