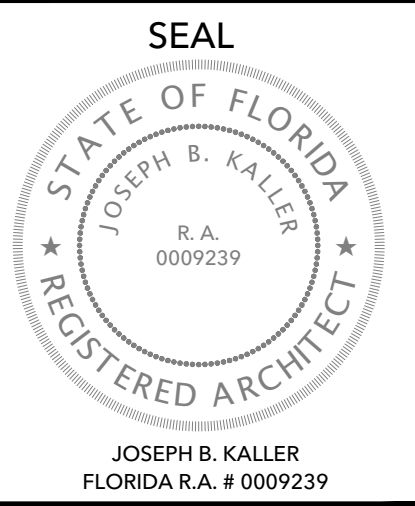


ATTACHMENT A
Revised Application
Package



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 joseph@kallerarchitects.com
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PROJECT TITLE
 PROJECT NAME
 ADDRESS
 CITY, STATE 33XXX

SHEET TITLE
 RENDERINGS

REVISIONS		
No.	DATE	DESCRIPTION

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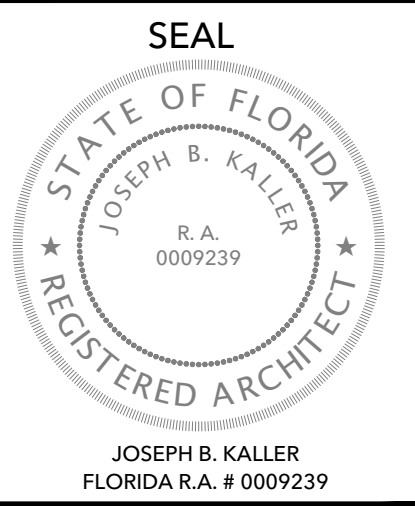
PROJECT PHASE
 PROJECT No.: XXXXX
 DATE: XX.XX.XX
 DRAWN BY: J. DIAZ
 CHECKED BY: JBK

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PROJECT TITLE
 PROJECT NAME
 ADDRESS
 CITY, STATE 33XXX

SHEET TITLE
 ISOMETRIC PERSPECTIVES

REVISIONS		
No.	DATE	DESCRIPTION

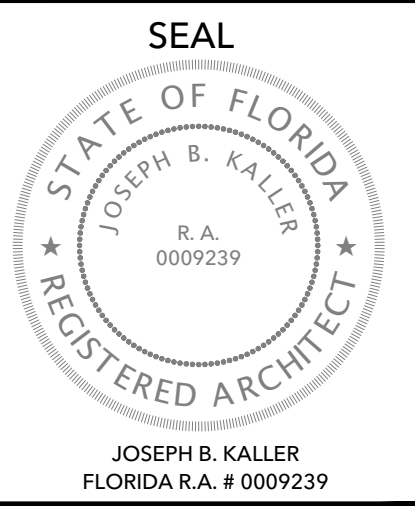
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PROJECT TITLE
 PROJECT NAME
 ADDRESS
 CITY, STATE 33XXX

SHEET TITLE
 ELEVATIONS

REVISIONS		
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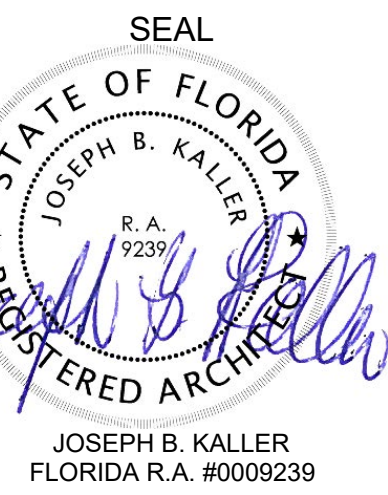
PROJECT PHASE
 PROJECT No.: XXXXX
 DATE: XX.XX.XX
 DRAWN BY: J. DIAZ
 CHECKED BY: JBK

SHEET
E

HISTORIC PRESERVATION BOARD NEW TWO-STORY SINGLE - FAMILY RESIDENCE 813 HARRISON STREET HOLLYWOOD, FL 33019



Kaller Architecture
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PROJECT TITLE
NEW TWO-STORY SINGLE FAMILY RESIDENCE
813 HARRISON STREET
HOLLYWOOD, FL 33019



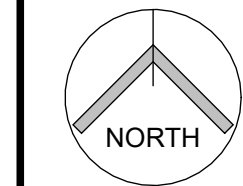
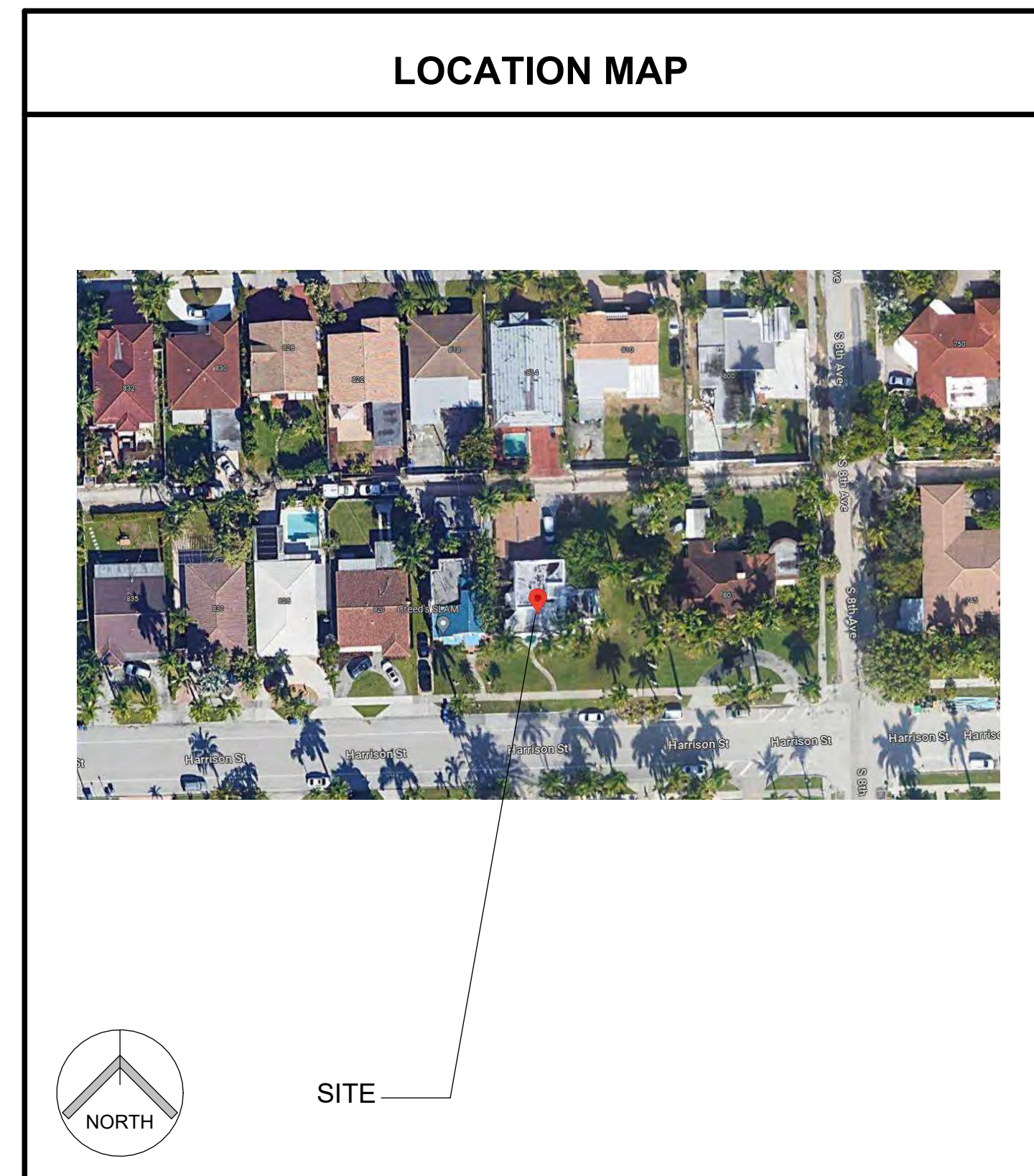
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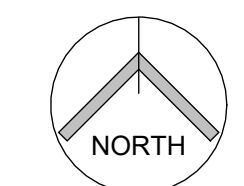
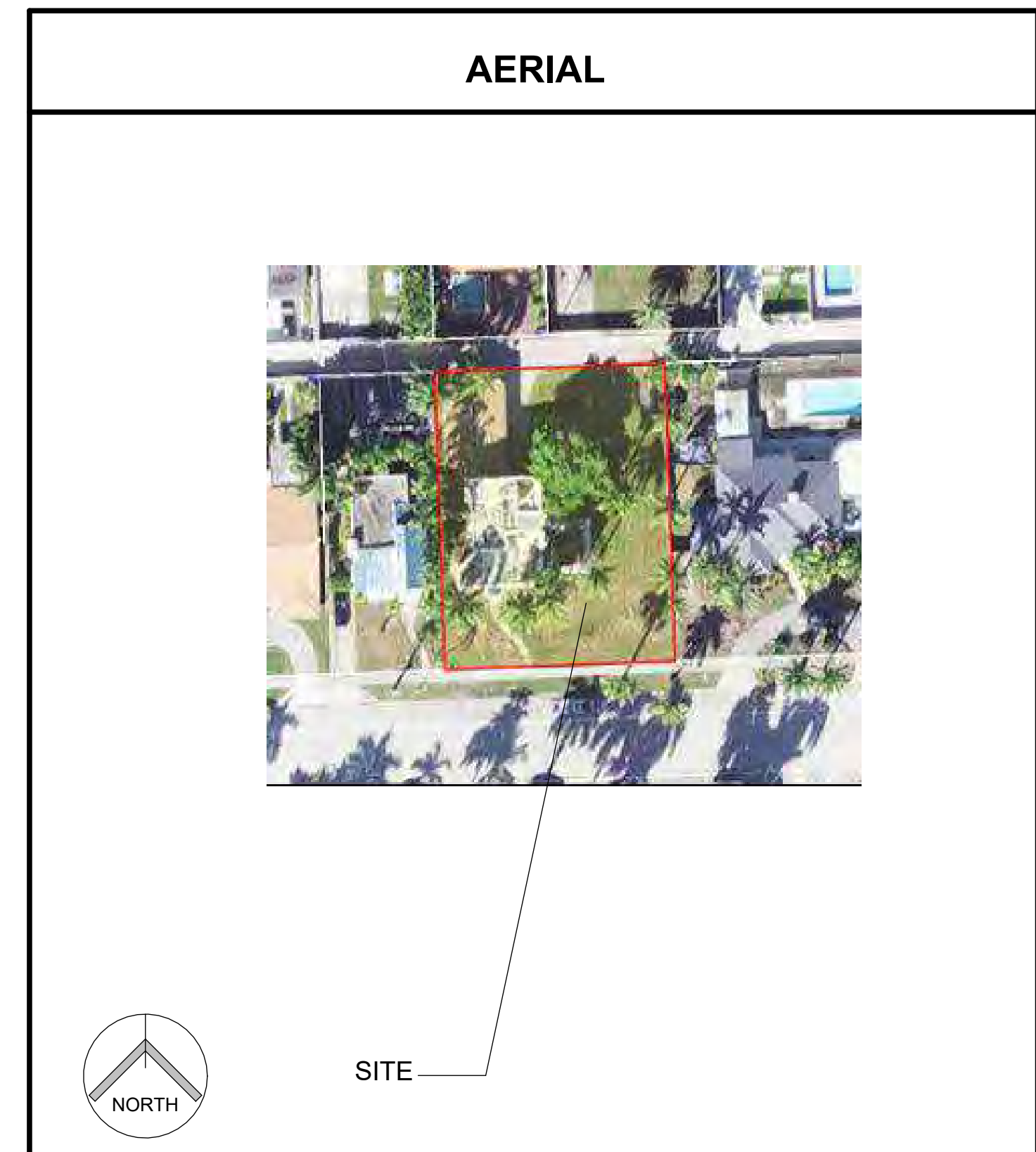
PROPOSED

PROJECT TEAM	
ARCHITECT	OWNER
JOSEPH B. KALLER AND ASSOCIATES, P.A. CONTACT: MR. JOSEPH B. KALLER ADDRESS: 2417 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020 PHONE: (954) 920-5746 FAX: (954) 926-2841 EMAIL: JOSEPH@KALLERARCHITECTS.COM	OWNER: SF&GM PROPERTY LLC ADDRESS: 137 GOLDEN ISLES DR #403 HALLANDALE BEACH, FL 33009
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CIVIL	
ZEPHY ENGINEERING CONTACT: WILDORF ZEPHYR PHONE: (786) 302-7639	
LANDSCAPE	
THE MIRROR OF PARADISE CONTACT: GABRIELA FOJT, RLA PHONE: (954) 315-1707 EMAIL: GABRIELA@THEMIRROROFPARADISE.COM	

PROJECT DATA	
JURISDICTION	
CITY OF HOLLYWOOD BROWARD COUNTY STATE OF FLORIDA	
DRAWING INDEX	
ARCHITECTURAL	
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SP-1	SITE PLAN AND SITE DATA
SP-1.1	SECOND FLOOR OVERLAY SITE PLAN
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LP-2	LANDSCAPE NOTES
LP-3	COLORS SITE PLAN



SITE



SITE

SHEET TITLE
COVER SHEET

REVISIONS

No.	Description	Date

PROJECT No.: 23064
DATE: MAR 2024
DRAWN BY: MS
CHECKED BY: JS

SHEET

A-000



1 801 HARRISON STREET
NTS



3 750 HARRISON STREET
NTS



5 804 HARRISON STREET
NTS



7 820 HARRISON STREET
NTS



9 821 HARRISON STREET
NTS



2 745 HARRISON STREET
NTS



4 800 HARRISON STREET
NTS



6 814 HARRISON STREET
NTS



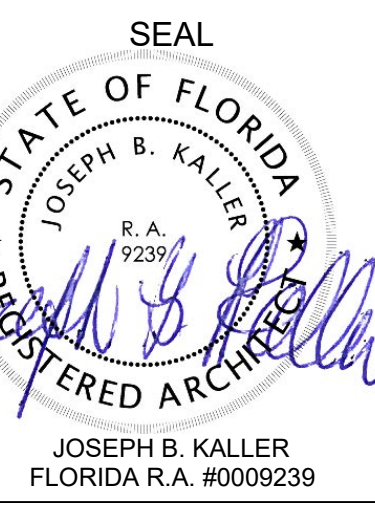
8 826 HARRISON STREET
NTS



10 817 HARRISON STREET
NTS



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PROJECT TITLE
NEW TWO-STORY SINGLE FAMILY RESIDENCE
813 HARRISON STREET
HOLLYWOOD, FL 33019

SHEET TITLE
HISTORIC

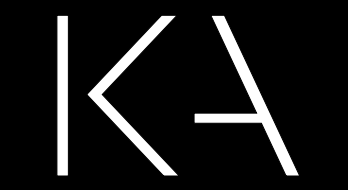
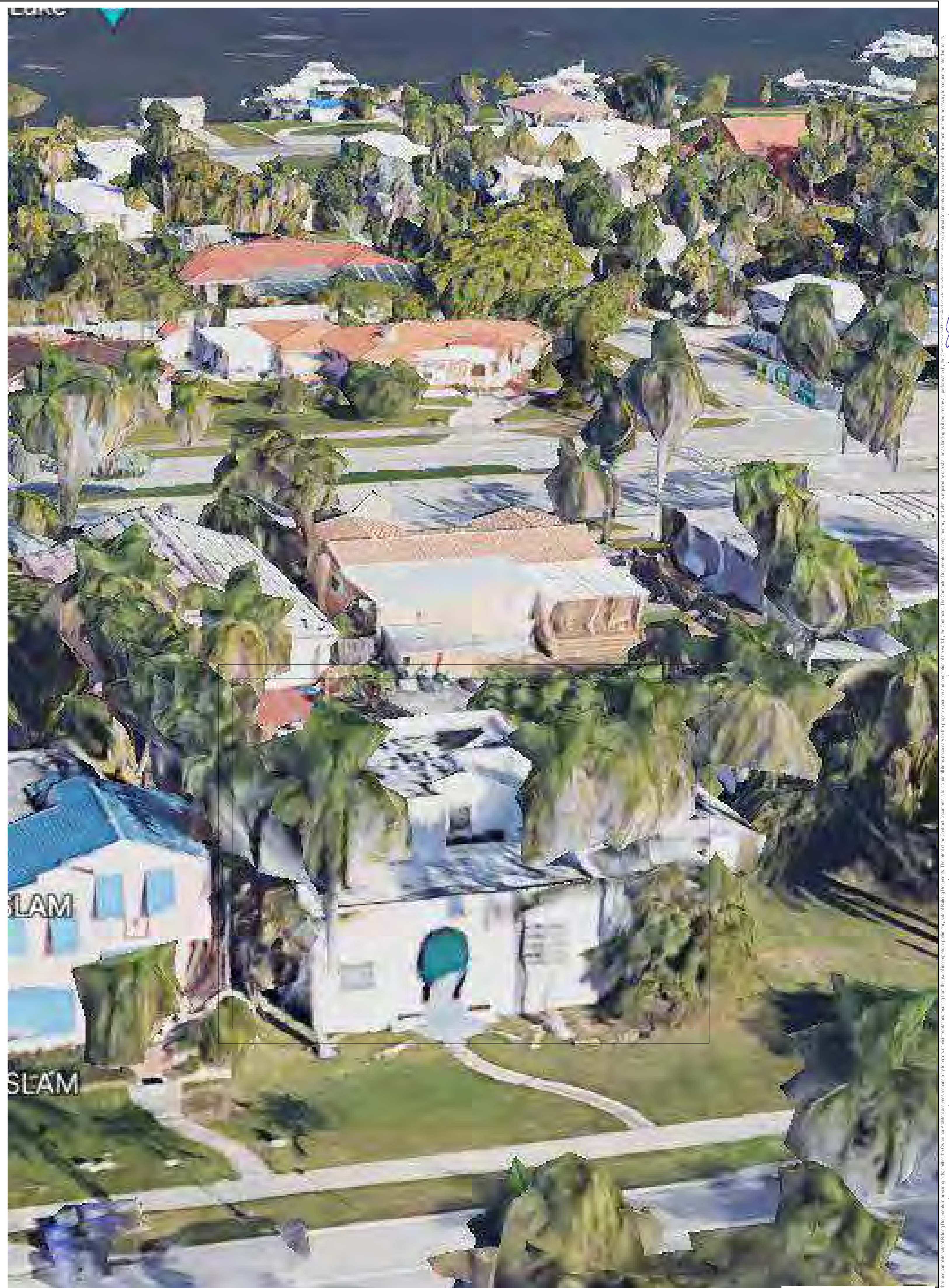
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PROJECT No.: 23064
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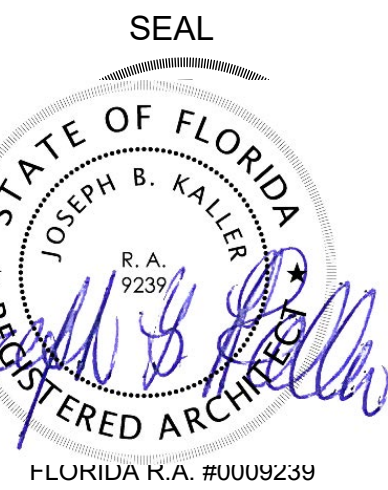
SHEET
SP-103



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PROJECT TITLE
NEW TWO-STORY SINGLE FAMILY RESIDENCE
813 HARRISON STREET
HOLLYWOOD, FL 33019

SHEET TITLE
SUBJECT PROPERTY

REVISIONS

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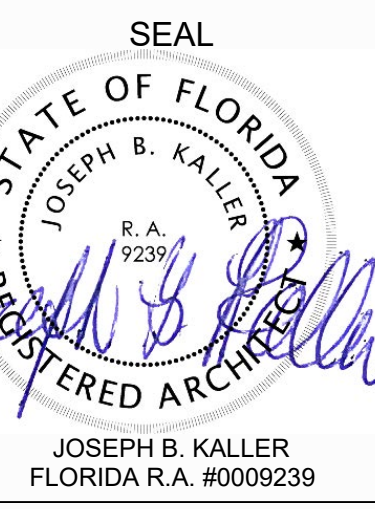
SHEET
SP-105

SUBJECT PROPERTY



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PROJECT TITLE
 NEW TWO-STORY SINGLE FAMILY RESIDENCE
813 HARRISON STREET
 HOLLYWOOD, FL 33019

SHEET TITLE
 EAST / WEST
 ELEVATIONS

REVISIONS

No.	Description	Date

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PROJECT No.: 23064
 DATE: MAR 2024
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SHEET

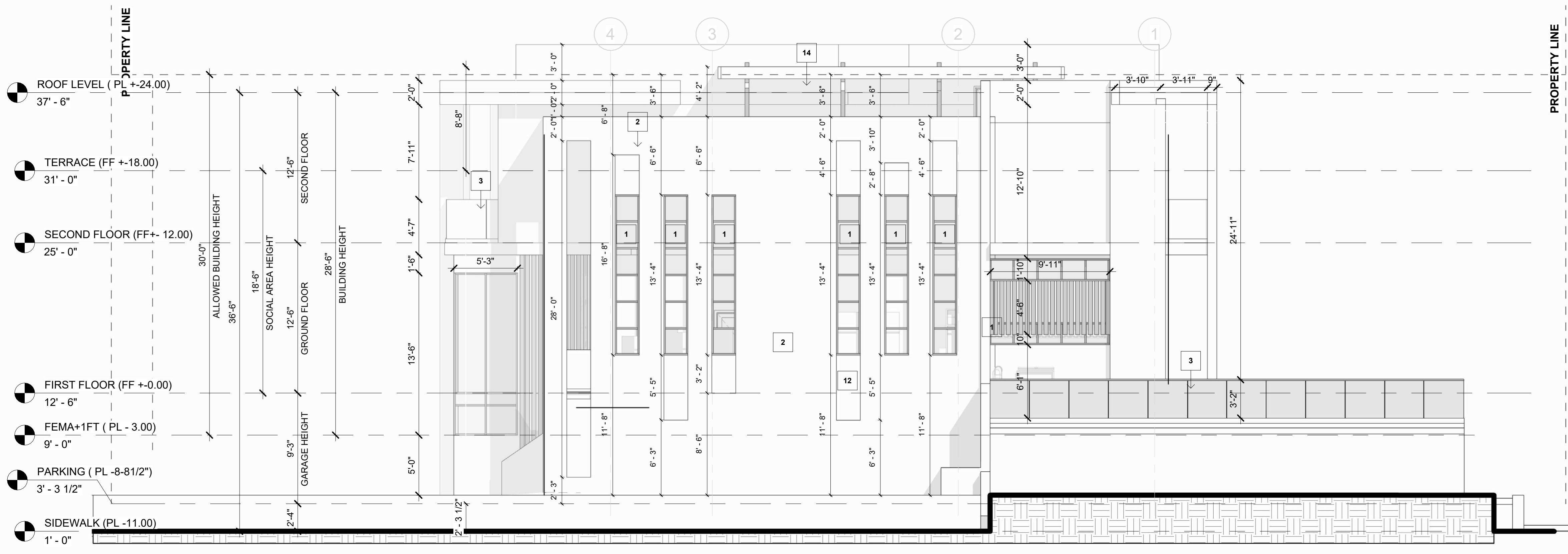
A-302

GENERAL NOTES:

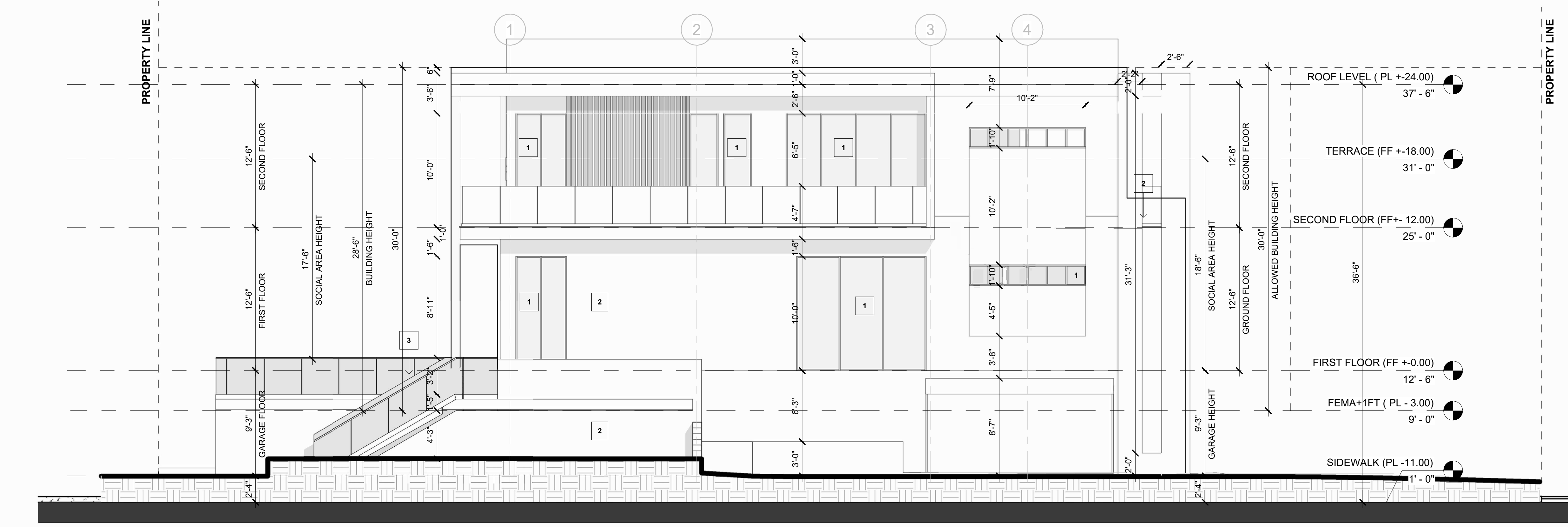
- PERMITS: CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF OCCUPANCY.
- QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF DADE COUNTY.
- OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.
- EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.
- ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE. BUILDING DOCUMENTS PERMIT ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, AT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT.
- COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (IN F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.
- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY BY EMAIL AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.
- PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS).
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP, BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.
- STORE MATERIALS IN A SAFE AND APPROVED LOCATION, COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- ALL EXTERIOR AND CORRIDOR INTERIOR CONCRETE MASONRY UNIT WALLS SHALL RECEIVE CORE FILL 500 (R-14.2) EXPANDIBLE SPRAY FOAM INSULATION IN EVERY VOID CELL. INSTALLATION OF INSULATION SHALL OCCUR AFTER ROOF HAS BEEN DRIED-IN AND AFTER INTERIOR FRAMING HAS PASSED INSPECTION.

ELEVATIONS / SECTIONS

- NEW IMPACT RESISTANT WINDOW/DOOR (TYP)
- NEW SMOOTH STUCCO GREY COLOR > BENJAMIN MOORE (PIGEON GREY - 2133-50)
- NEW 42" GLASS GUARDRAIL AND HAND RAIL, GC TO IMPROVE SHOP DRAWINGS FOR ARCHITECT APPROVAL
- CONTINUOUS DRIP EDGE TROUGH ALL FACIAS
- PAPERBACK, METAL LATH & SMOOTH STUCCO FINISH THROUGHOUT.
- GARAGE DOOR TO MATCH LOUVERS FINISH. > (SESAME COLOR / NATURCLAD-B)
- HORIZONTAL SCORED STUCCO @ 8" O.C. (TYP).
- BUILDING NUMBER TO BE INTEGRATED INTO LASERCUT PATTERN WHERE GC TO PROVIDE SHOPDRAWINGS TO ARCH FOR REVIEW AND APPROVAL PRIOR FABRICATION.
- RAW CONCRETE FINISH (MATE) GC TO POUR WITH METAL FORMS FOR SMOOTH FINISH.
- CURTAIN WALL SYSTEM INTEGRATED WITH HANDRAIL ABOVE.
- NOT USED
- NEW SMOOTH STUCCO WHITE COLOR > BENJAMIN MOORE
- GARAGE FLOOD OPENNINGS
- EXTERIOR WOOD PERGOLA



1 SIDE ELEVATION (EAST)
 3/16" = 1'-0"



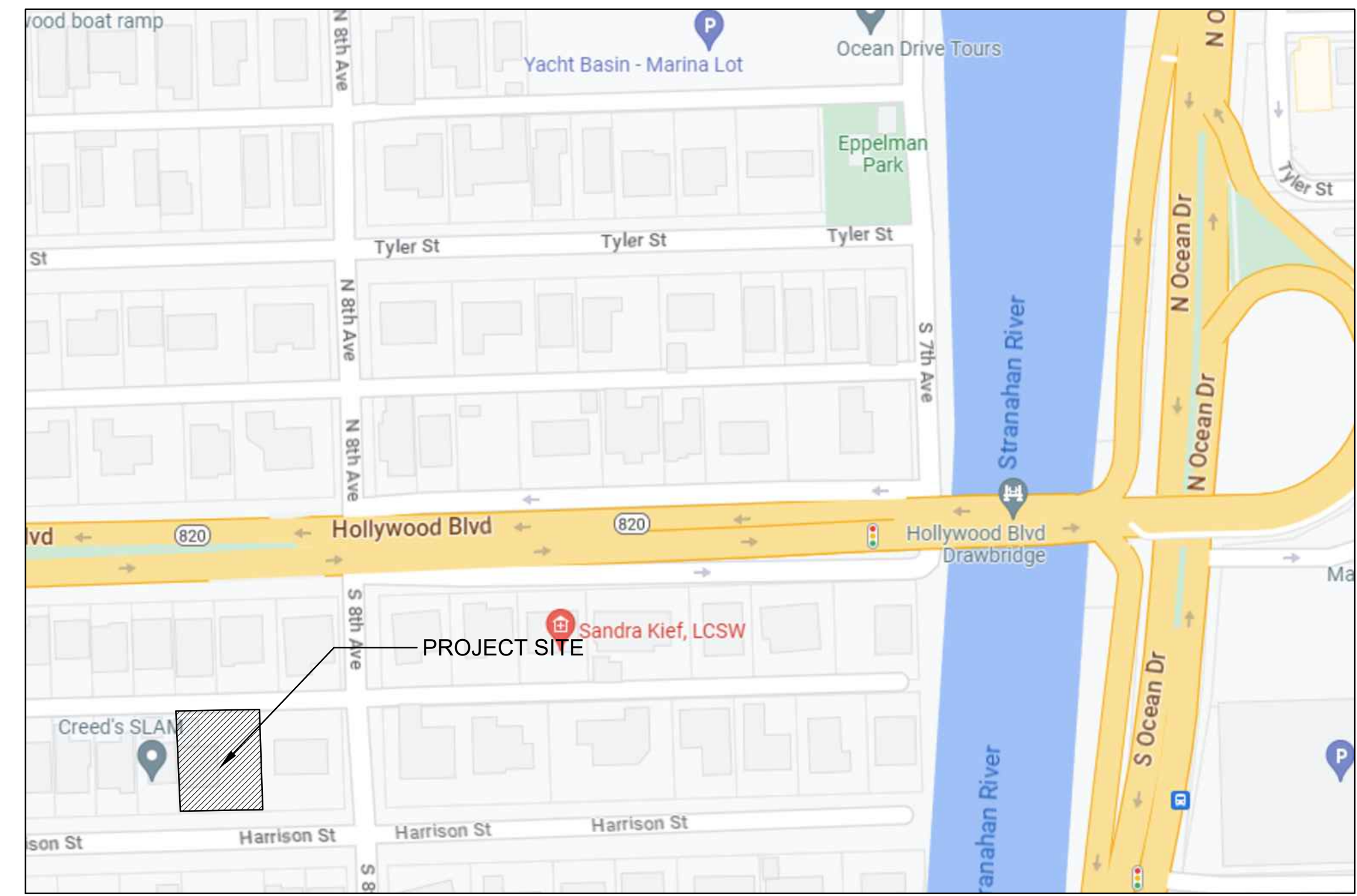
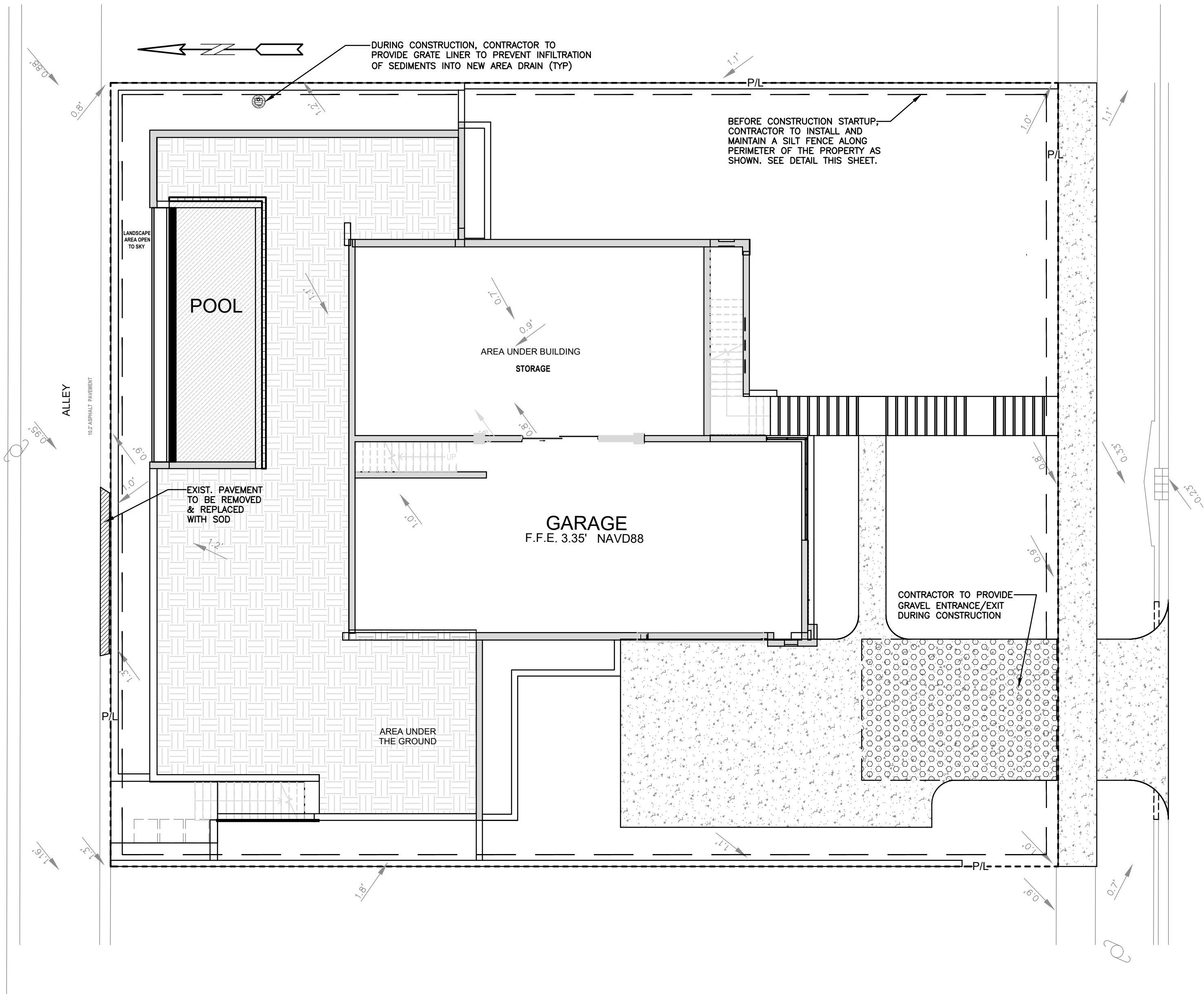
4 ELEVATION WEST
 3/16" = 1'-0"

3 GENERAL NOTES

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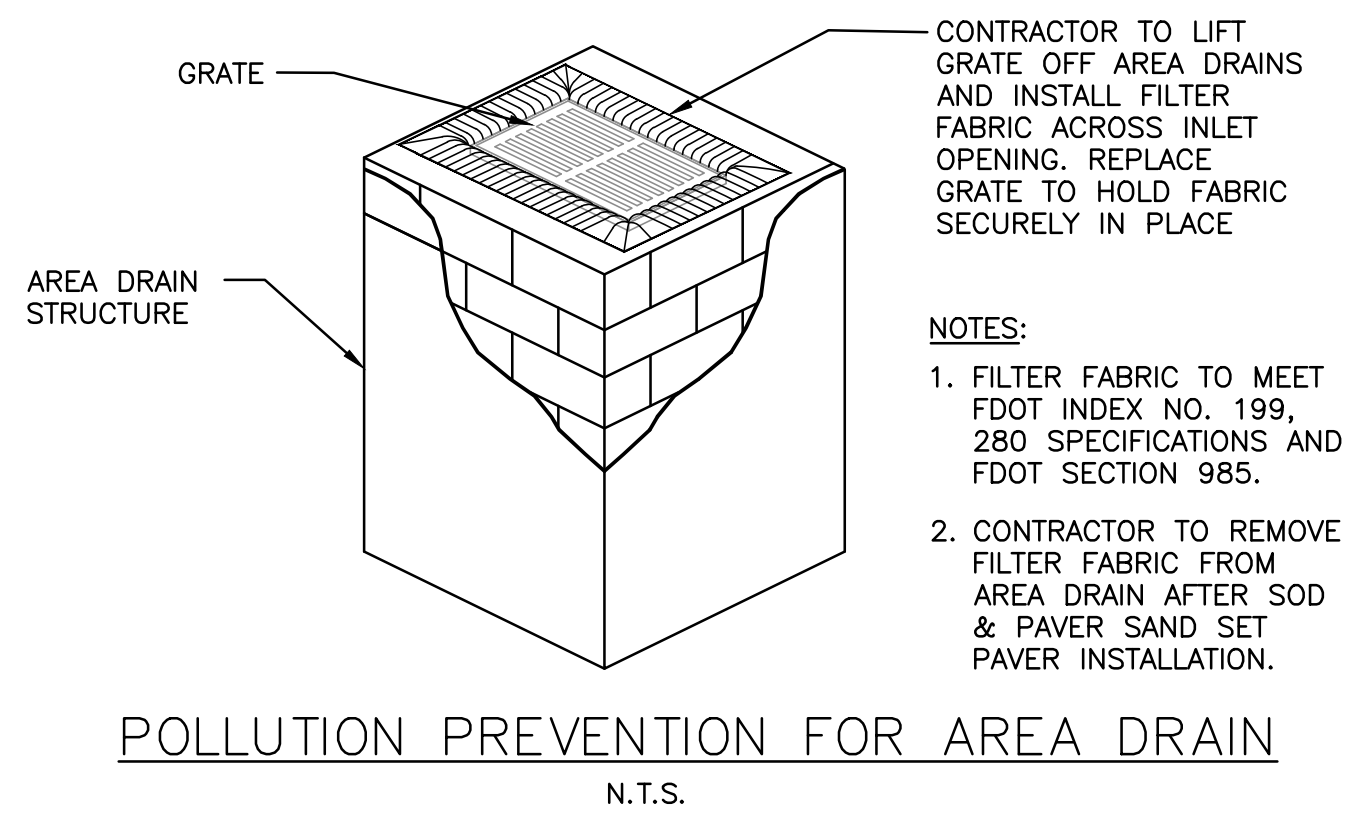
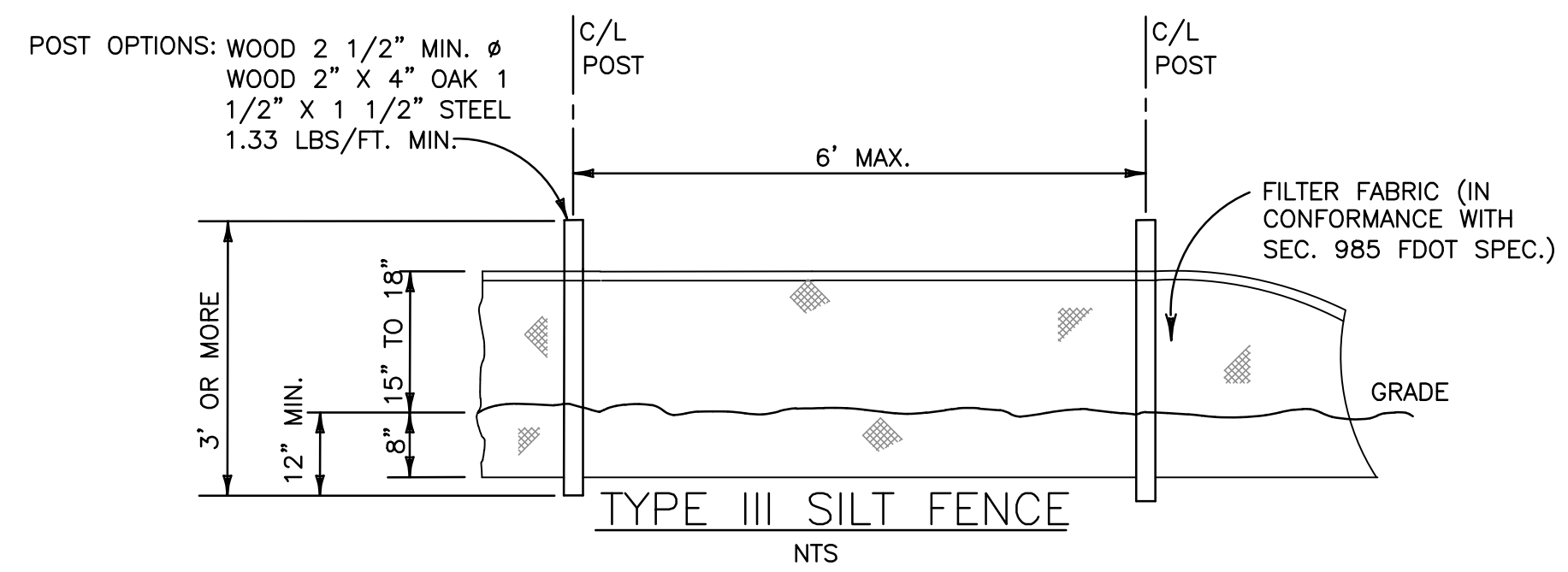
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



LOCATION MAP
NOT TO SCALE

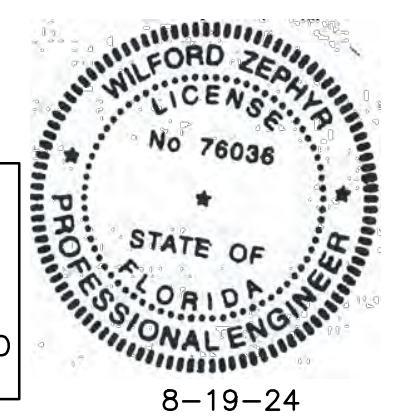
BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



POLLUTION PREVENTION FOR AREA DRAIN
N.T.S.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



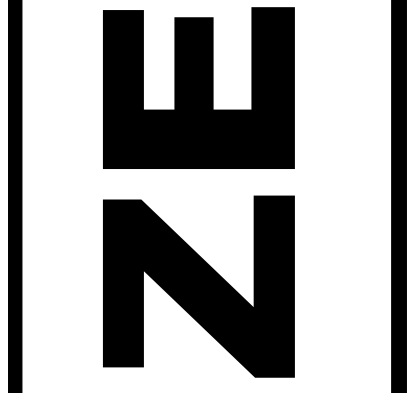
8-19-24

EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=10'

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED WATER METER
 - PROPOSED BFP DEVICE

NO.	DATE	DESCRIPTION
1	10/25/23	CITY REVIEW COMMENTS

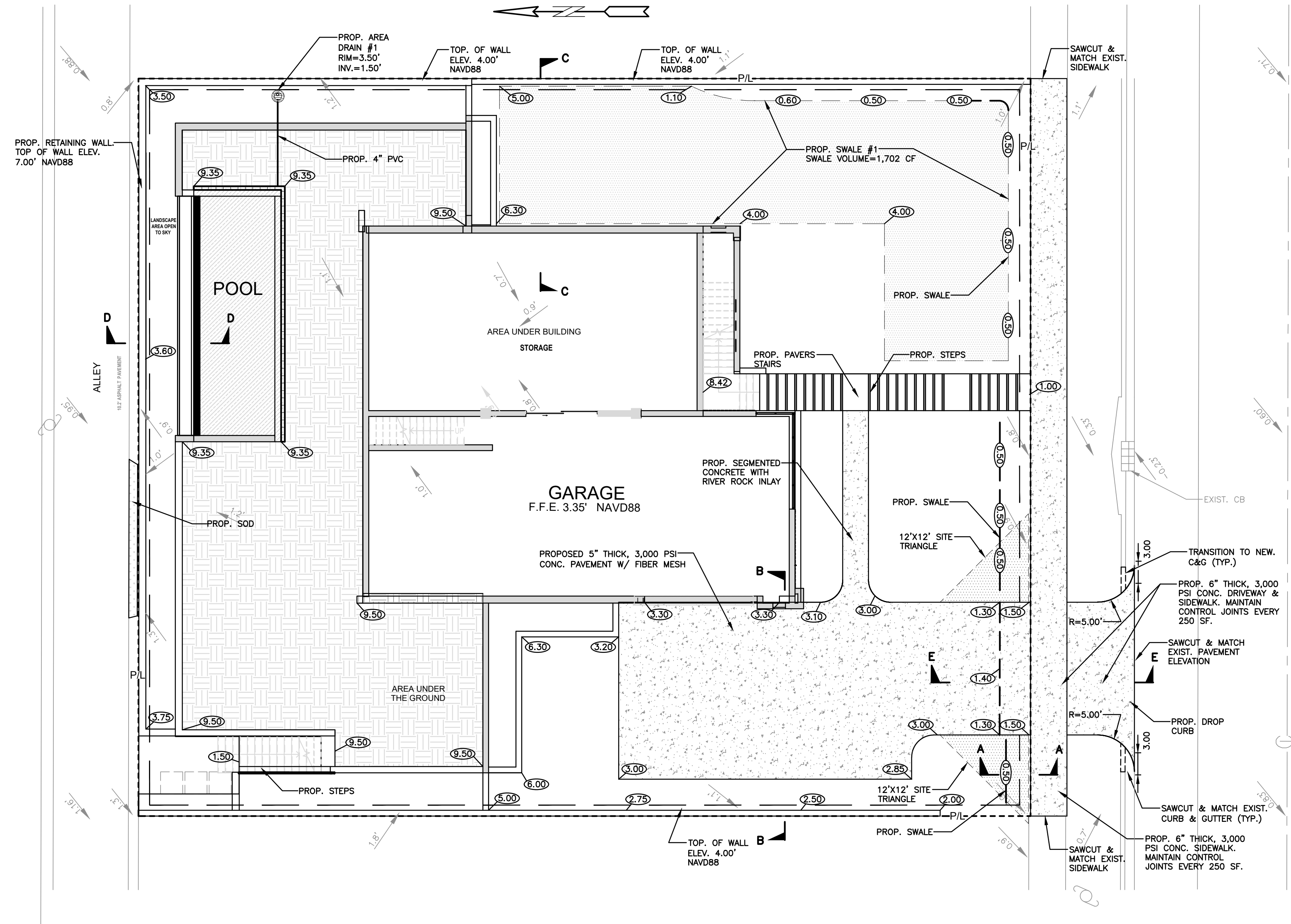
ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158



NEW RESIDENCE FOR
813 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

P.E.#: 76036
DATE: 8/2/23
SCALE: 1"=10'
SHEET NO.: C1
1 OF 5
PROJECT NO.: 23-36

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

DRAINAGE CALCULATIONS:

TOTAL SITE AREA = 12,100 SF
 BLDG AREA = 3,426 SF
 POOL = 675.37 SF
 POOL DECK = 1,509.96 SF
 DRIVEWAY & WALKWAYS = 1,574.98 SF
 TOTAL IMPERV. AREA = 7,186.31 SF
 TOTAL PERVIOUS AREA = 4,913.69 SF

WATER QUALITY STORAGE REQUIRED:

$[(2.5 \text{ IN}) \times 7,186.31 \text{ SF}] / (12 \text{ IN/FT}) = 1,497 \text{ CF}$

OR

$[(1 \text{ IN}) \times 12,100 \text{ SF}] / (12 \text{ IN/FT}) = 1,008 \text{ CF}$

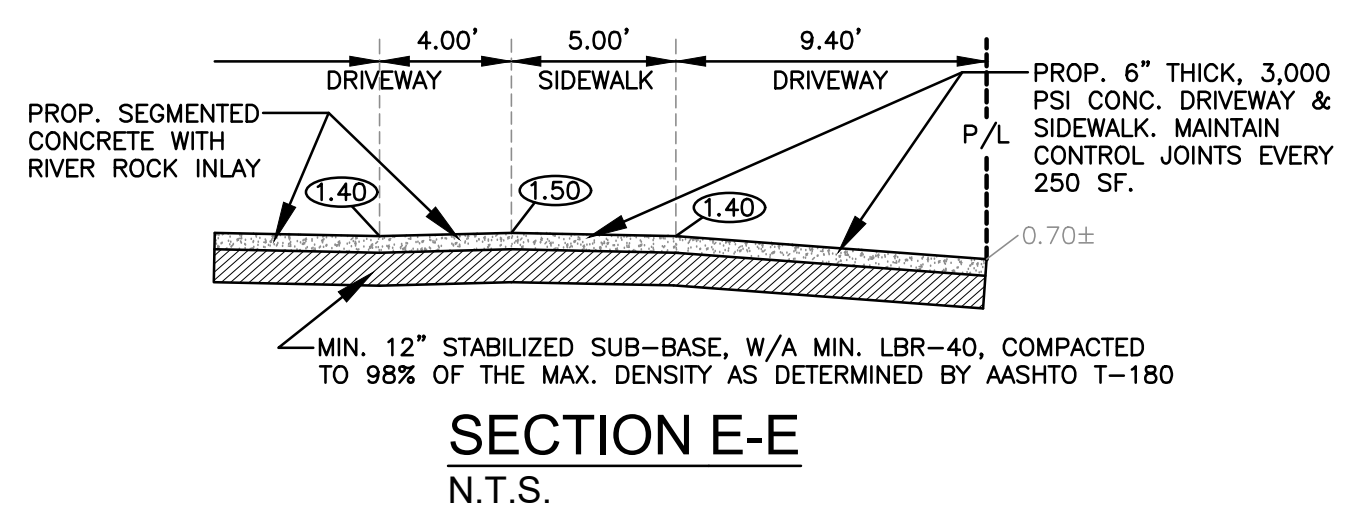
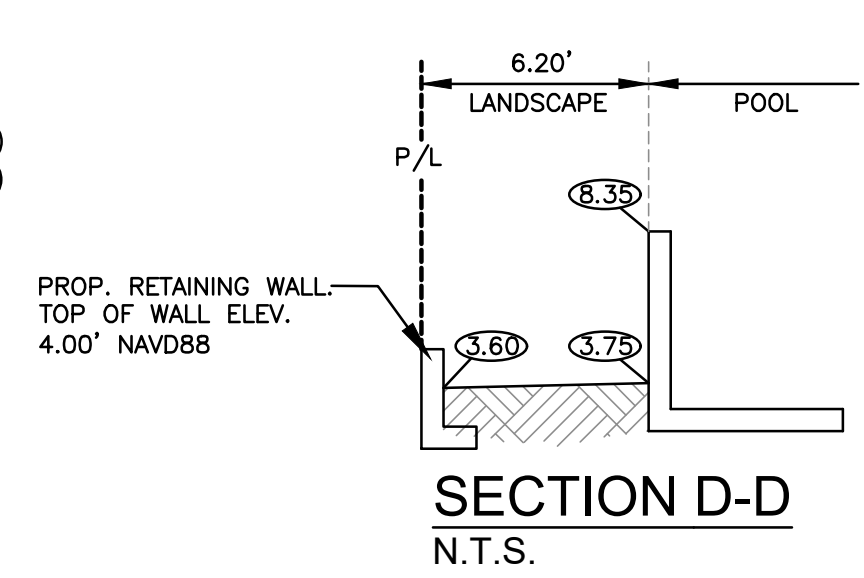
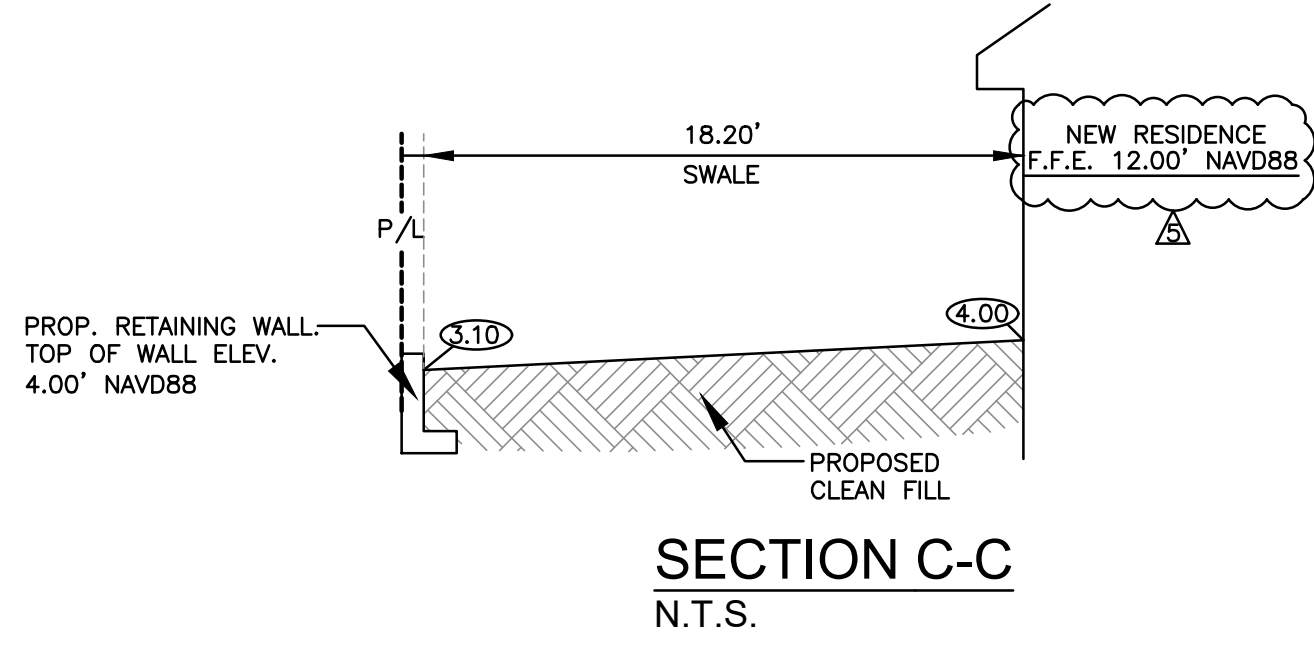
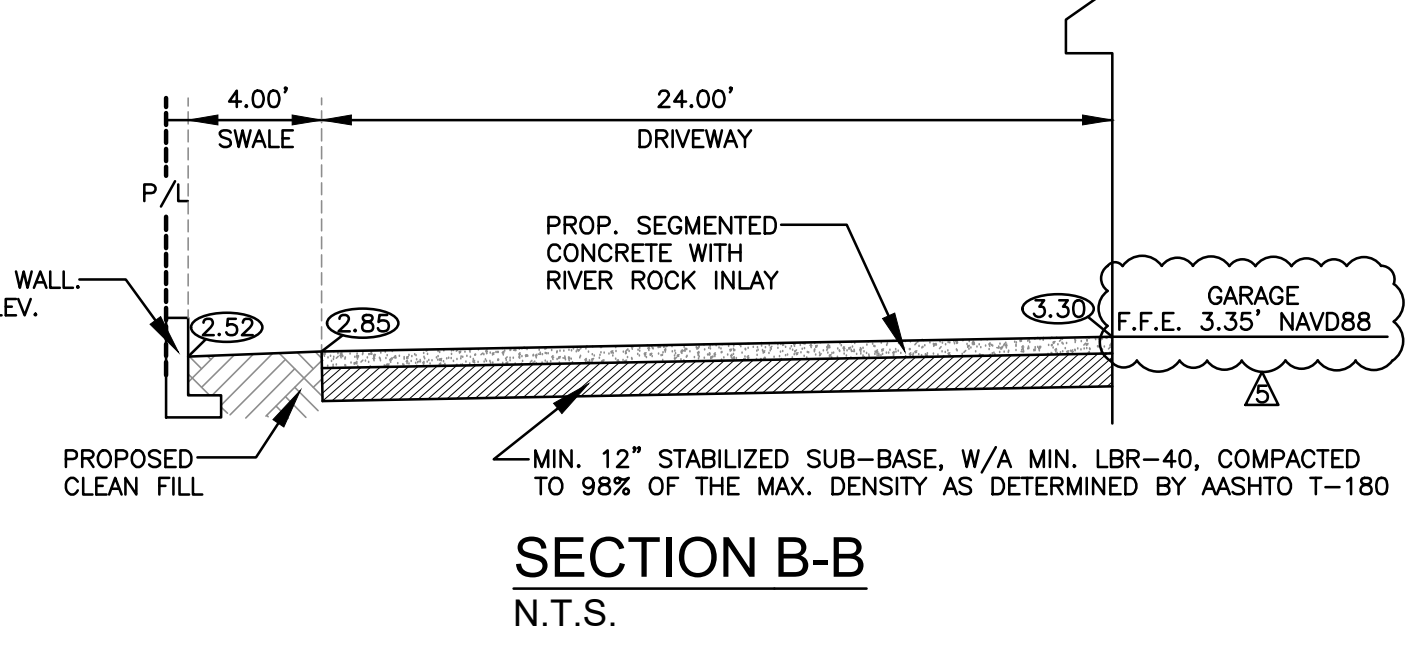
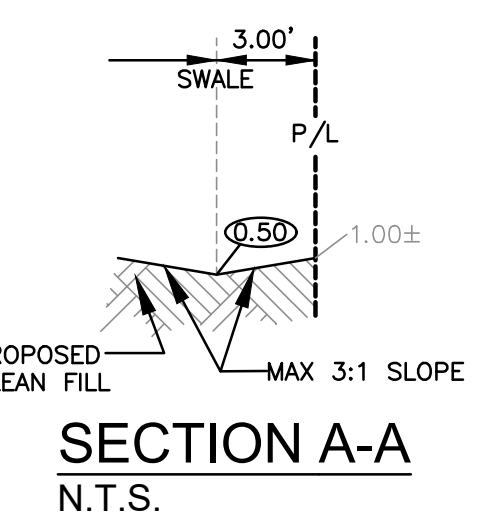
2.5 IN TIMES IMPERVIOUS AREA GOVERNS

REQUIRED STORAGE VOLUME: 1,497 CF

WATER QUALITY STORAGE PROVIDED:

SWALE AREA #1 = 1,702 CF

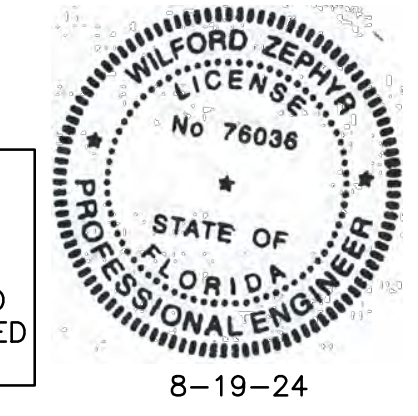
TOTAL STORAGE = 1,702 CF



- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED WATER METER
 - PROPOSED BFP DEVICE

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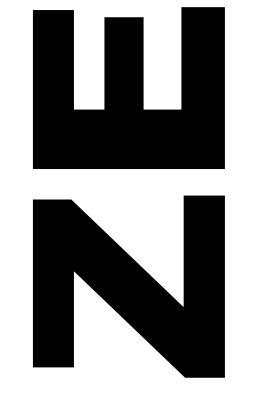


PAVING, GRADING & DRAINAGE PLAN
 SCALE: 1"=10'

REVISIONS

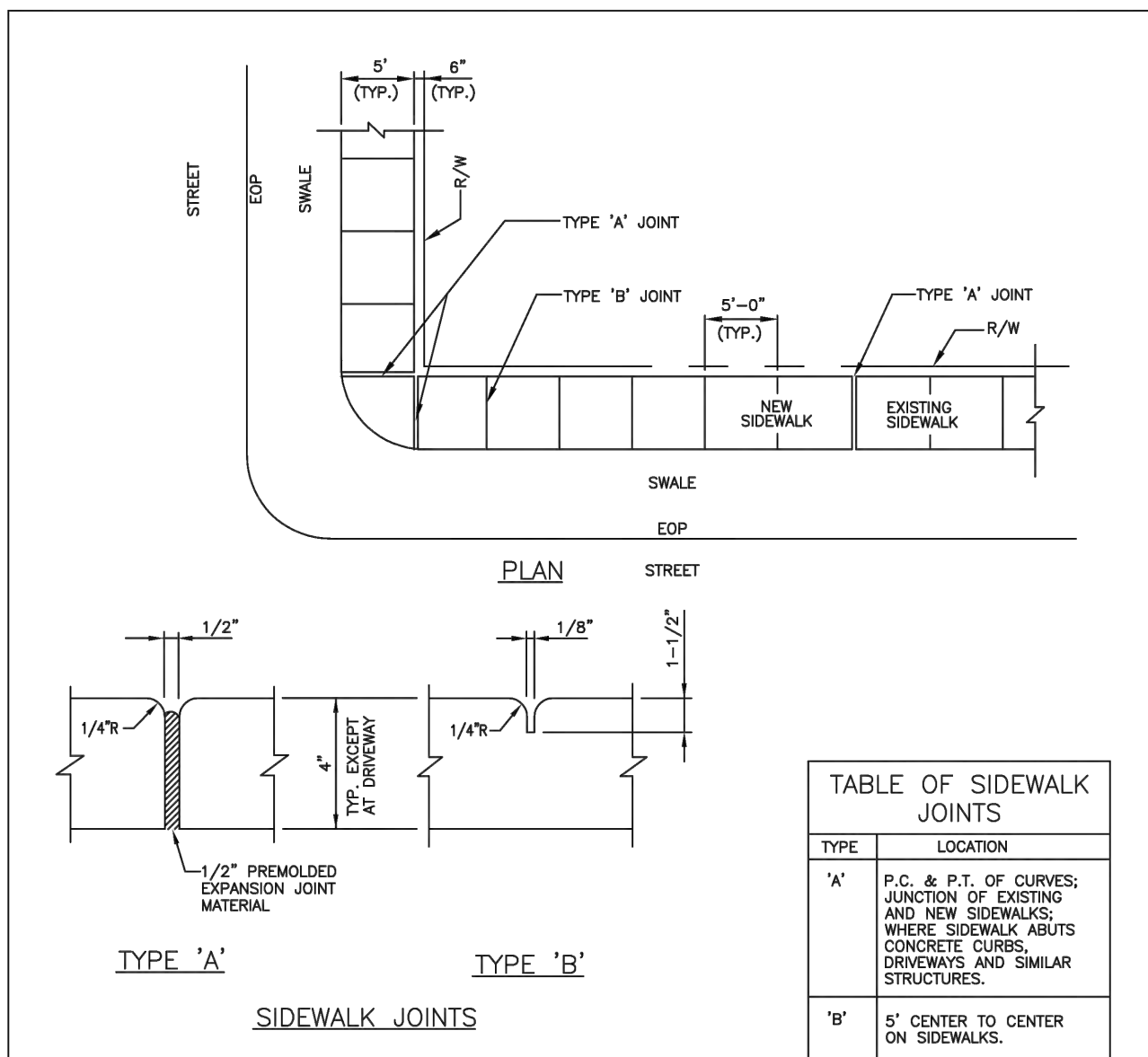
NO.	DATE	DESCRIPTION
1	10/20/23	CITY REVIEW COMMENTS
2	10/25/23	CITY REVIEW COMMENTS
3	10/26/23	CITY REVIEW COMMENTS
4	4/10/24	CITY REVIEW COMMENTS
5	5/7/24	CITY REVIEW COMMENTS
6	6/10/24	CITY REVIEW COMMENTS

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158



NEW RESIDENCE FOR
 813 HARRISON STREET
 HOLLYWOOD, FLORIDA 33019

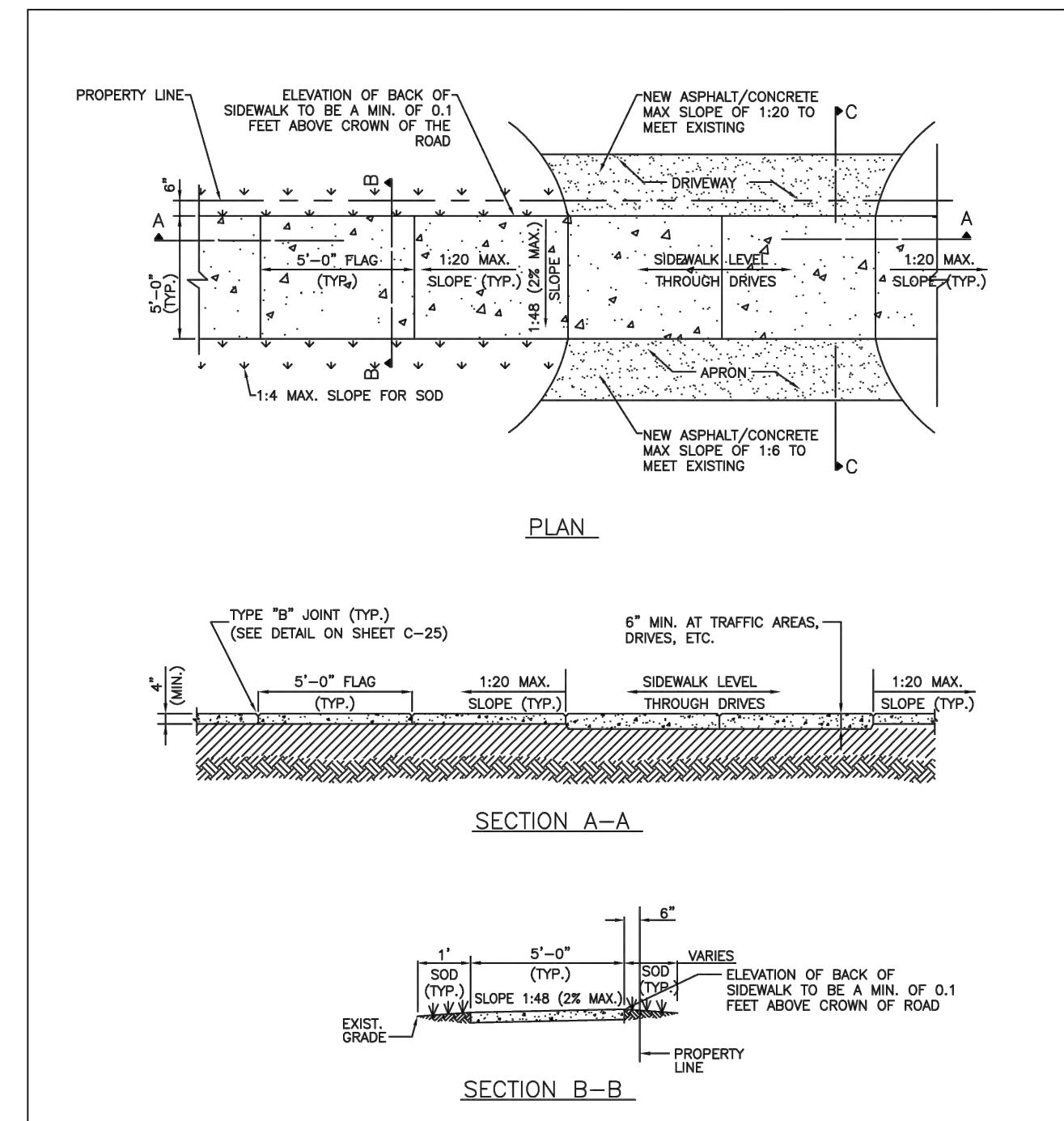
P.E.#: 78036
 DATE: 8/2/23
 SCALE: 1"=10'
 SHEET NO.: C2
 2 OF 5
 PROJECT NO.: 23-36



NOTES:

- CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
- USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
- SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
- SIDEWALK CURB RAMP SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FOOT STANDARD PLANS INDEX NO. 522-002.
- THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
- 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.

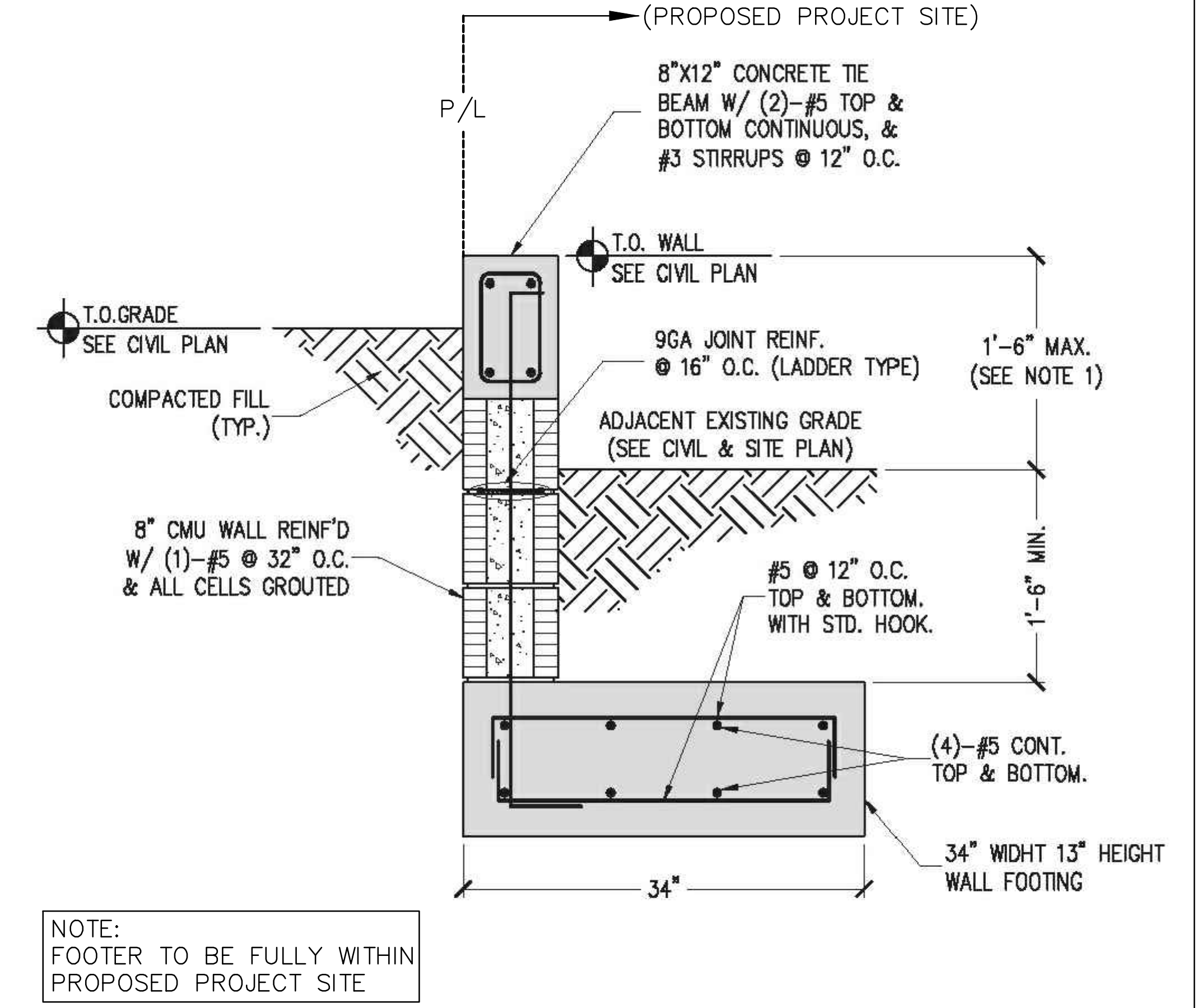
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C-25
APPROVED: JG		



NOTE:

- ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
- LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
- ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.), AND RUNNING SLOPES 1:20 MAX.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C-23
APPROVED: JG		



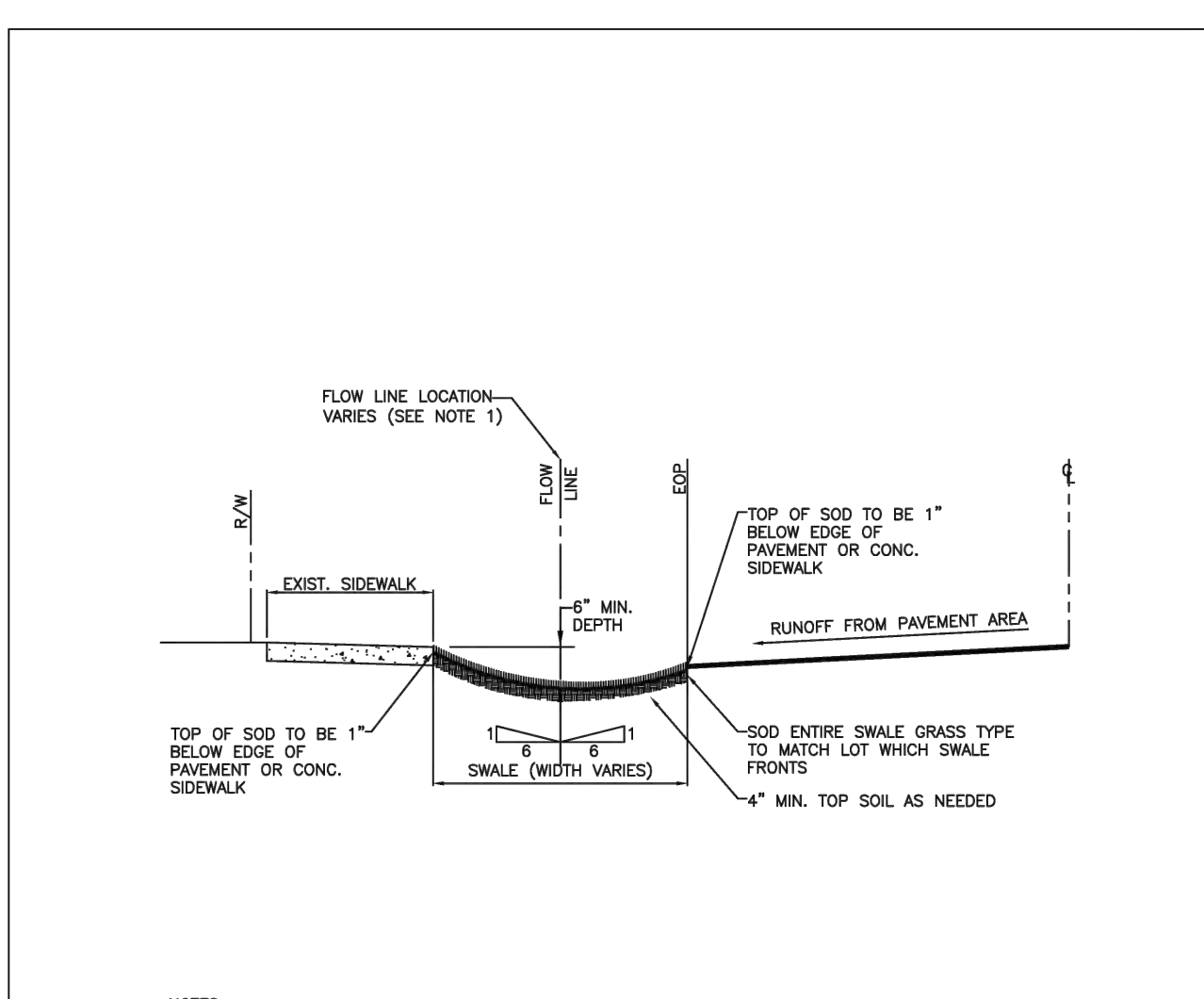
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

REVISIONS

NO.	DATE	DESCRIPTION
1	10/20/23	CITY REVIEW COMMENTS
2	4/15/24	CITY REVIEW COMMENTS
3	4/17/24	CITY REVIEW COMMENTS

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158

ZE



NOTES:

- HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
- TOP OF SOD ELEVATION AS SHOWN ABOVE.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TYPICAL SWALE GRADING	DRAWING NO.: C-33
APPROVED: JG		

ACO Drain
 KlassikDrain - Type 405D/406D Mesh Galvanized Steel Grate
 February 2021

Specifications

General
 The surface drainage system shall be ACO Drain K100, K5100, H100K-6, H100K-8, H100K-4, and H100K-5 channels, complete with ACO Type 405D/406D mesh galvanized steel grate with DrainLock locking as manufactured by ACO, Inc. or similar approved.

Materials
 The covers shall be manufactured from stainless steel and have minimum properties as follows:
 ■ Independently certified to meet Load Class C to EN 1433 - 56,202 lbs - 1,934 psi
 ■ 13 gauge galvanized steel
 ■ Inlet area of 84.0 in² (314.2 cm²) per half meter of grate

Installation
 The trench drain system and grates shall be installed in accordance with the manufacturer's installation instructions and recommendations.

Product Features

- Certified to EN 1433 Load Class C - 56,202 lbs - 1,934 psi
- Uses DrainLock boltless locking system
- Suitable for use with K100, K5100, H100K-8, H100K-6 and H100K-5 channels
- Manufactured from 13 gauge galvanized steel
- Complies with ADA - American Disabilities Act of 2010 Section 303.3
- Bicycle Tire Penetration Resistant to AS 3996 - 2006

Part No.	Length in (m)	Width in (mm)	Weight lbs
Type 405D Mesh Galvanized Steel Grate	132880	39.37 (1)	4.84 (1.23)
Type 406D Mesh Galvanized Steel Grate	132881	19.69 (0.5)	4.84 (1.23)

ACO, Inc.

West Sales Office: 825 W. Beachfront Street, Casa Grande, AZ 85122
 Tel: (520) 421-9988
 Toll-Free: (888) 490-9552
 Fax: (520) 421-9899

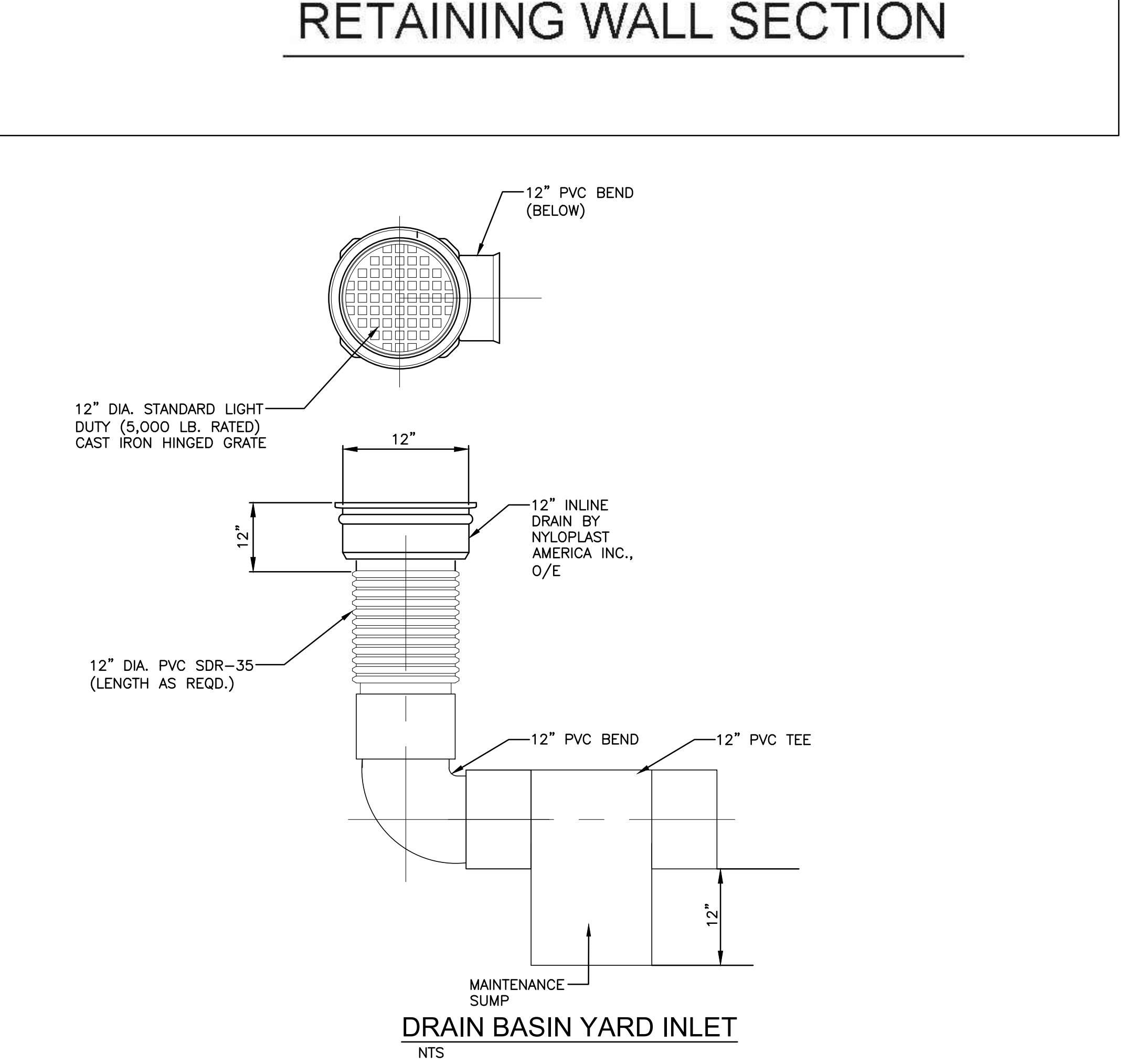
Northeast Sales Office: 9470 Pinecone Drive, Mentor, OH 44060
 Tel: (440) 639-7230
 Toll-Free: (800) 543-4764
 Fax: (440) 639-7235

Southeast Sales Office: 4211 Pleasant Road, Fort Mill, SC 29708
 Tel: (803) 543-4764
 Fax: (803) 802-1063

info@acousa.com
 www.acousa.com

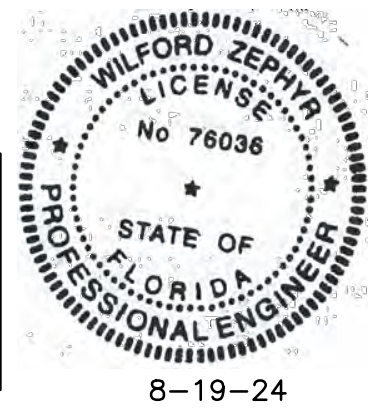
ACO, creating the future of drainage

ACO Specification Information



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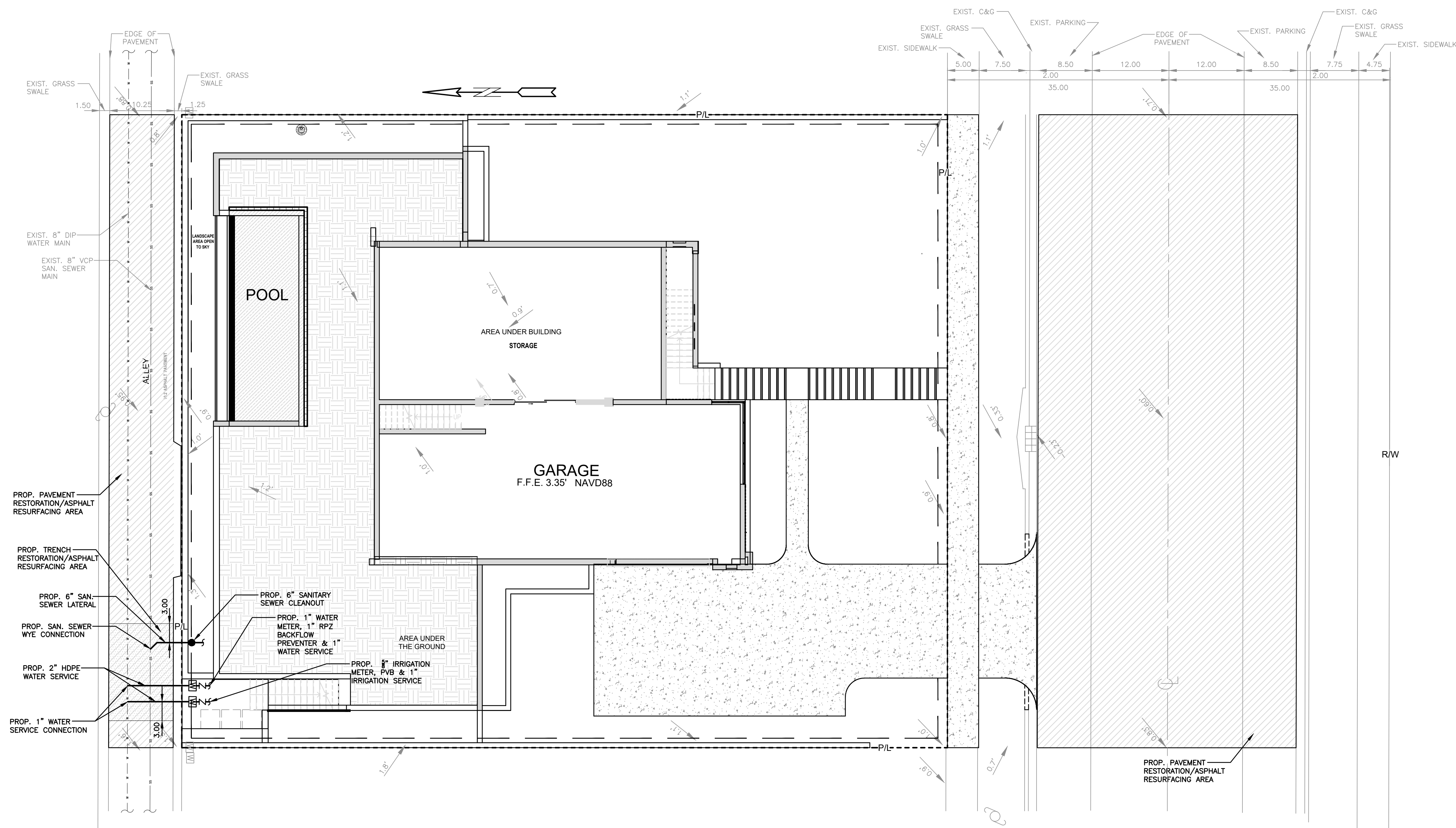


NEW RESIDENCE FOR
 813 HARRISON STREET
 HOLLYWOOD, FLORIDA 33019

P.E.#: 76036
 DATE: 8/2/23
 SCALE: N.T.S.
 SHEET NO.: C3
 3 OF 5
 PROJECT NO.: 23-36

CIVIL DETAILS
 SCALE: N.T.S.

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

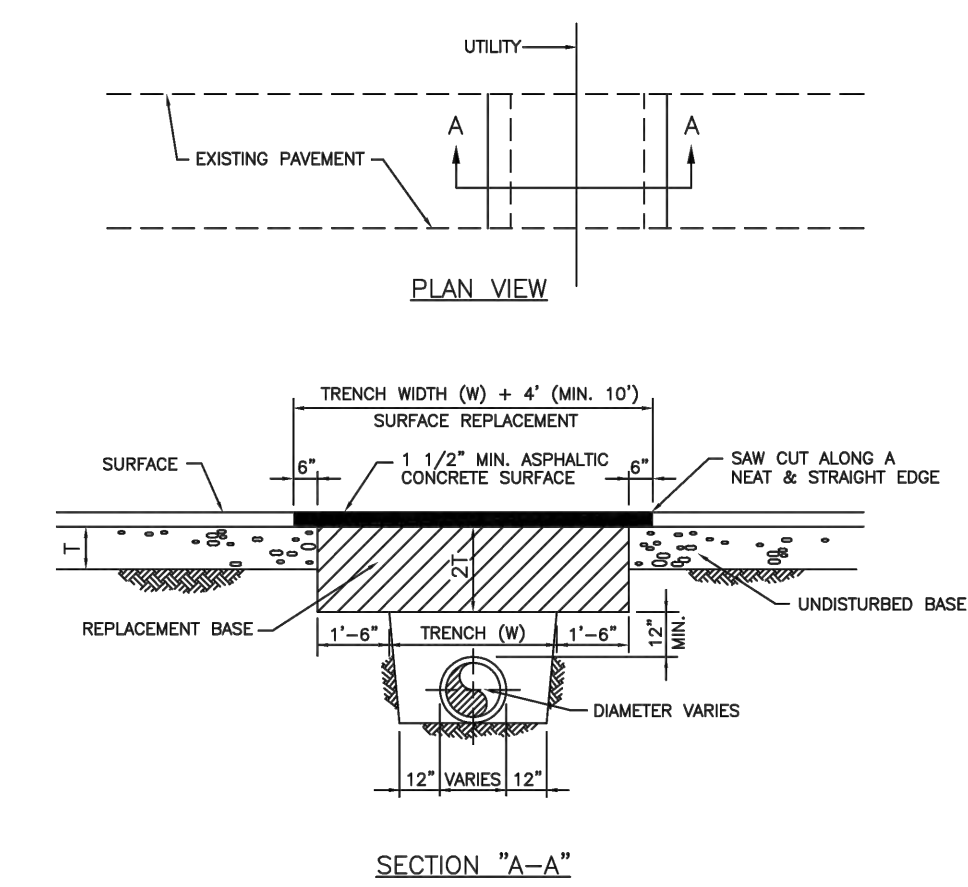


WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:
SINGLE FAMILY RESIDENCE

WATER DEMAND
(1 RESIDENTIAL UNIT)X(199 GPD/UNIT)=199 GPD
TOTAL WATER DEMAND=199 GPD

WASTEWATER DEMAND
(1 RESIDENTIAL UNIT)X(142 GPD/UNIT)=142 GPD
TOTAL WASTEWATER DEMAND=142 GPD

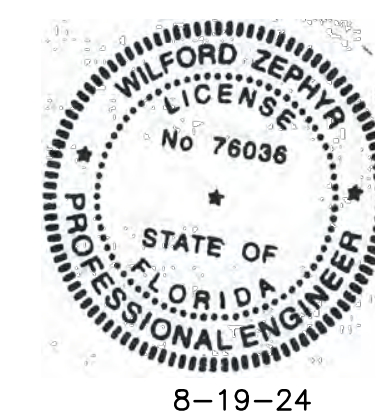


- NOTES:**
1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
 2. BASE MATERIAL SHALL BE PLACED IN 4" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER ASTM D 1557.
 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWS.
 4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
 5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
 6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
 8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.: C-31
APPROVED: JG		

LEGEND

- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED WATER METER
- PROPOSED BFP DEVICE



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8-19-24

WATER PLAN & DETAILS

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	10/20/23	CITY REVIEW COMMENTS
1	10/25/23	CITY REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#: 31158

ZE

NEW RESIDENCE
FOR
813 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

P.E.#:76036

DATE: 8/2/23

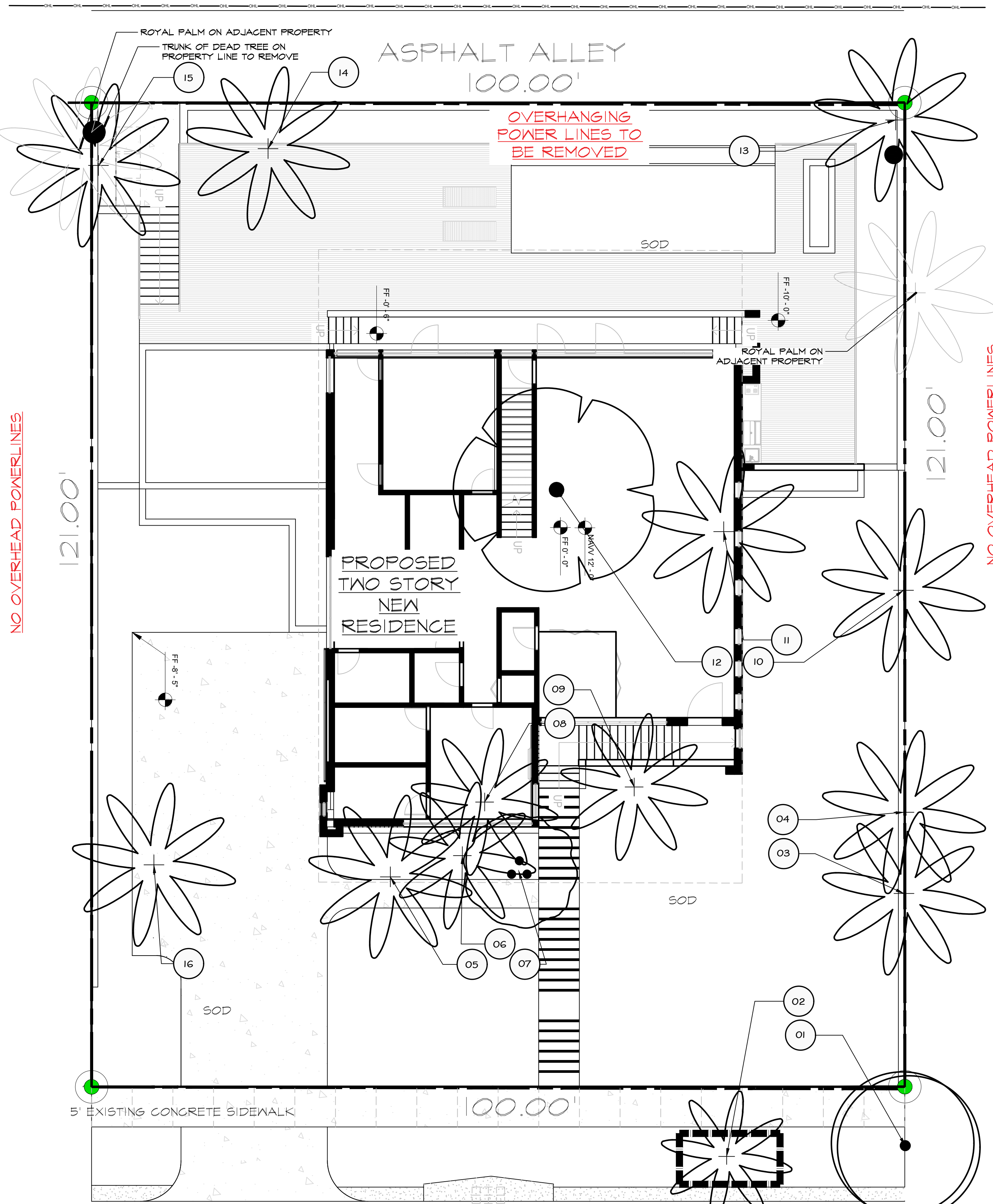
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SHEET NO.:

C4

4 OF 5

PROJECT NO.: 23-36

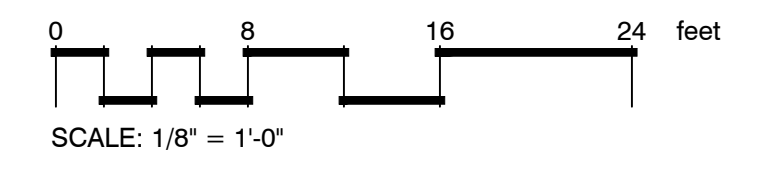


NO OVERHEAD POWERLINES

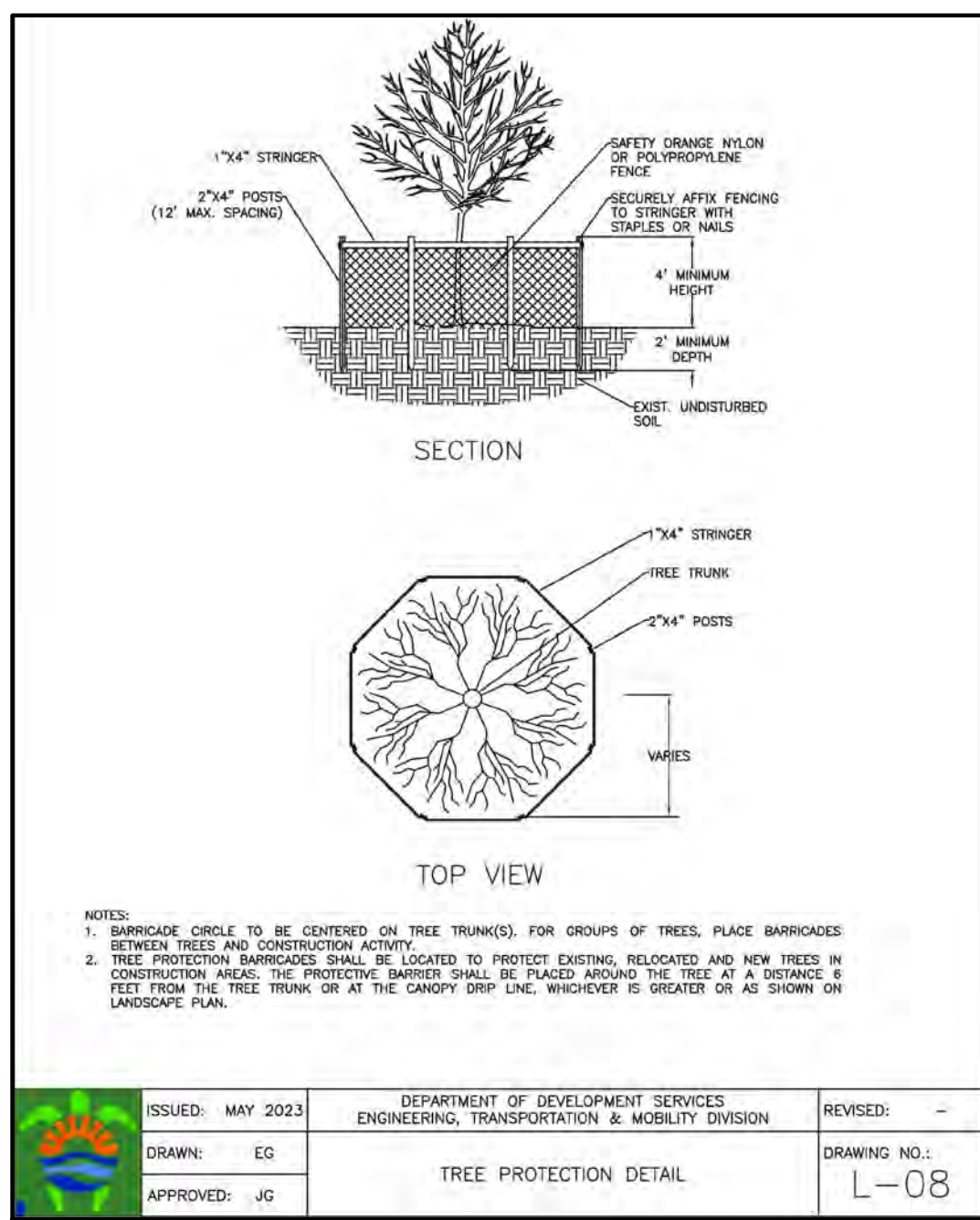
NO OVERHEAD POWERLINES

NO OVERHEAD POWERLINES
HARRISON STREET

A GENERAL LAYOUT
scale 1/8" = 1'-0"



PLANT SCHEDULE									
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	NOTES	ACTION	
TREES									
	03	Roystonea elata	Florida Royal Palm	-	35' CT	20'	on property line	REMOVE	
	04	Roystonea elata	Florida Royal Palm	-	30' CT	20'	on property line	REMOVE	
	05	Roystonea elata	Florida Royal Palm	-	25' CT	20'		REMOVE	
	06	Roystonea elata	Florida Royal Palm	-	25' CT	18'		REMOVE	
	07	Bischofia javanica	Javanese Bishopwood	-			INVASIVE	REMOVE	
	08	Roystonea elata	Florida Royal Palm	-	20' CT	18'		REMOVE	
	09	Roystonea elata	Florida Royal Palm	-	25' CT	18'		REMOVE	
	10	Roystonea elata	Florida Royal Palm	-	35' CT	20'	on property line	REMOVE	
	11	Roystonea elata	Florida Royal Palm	-	35' CT	20'		REMOVE	
	12	Ficus aurea	Strangler Fig	55'-half is embedded dead tree trunk	20' OA	25'	for mitig. detracted 27.5' of dead trunk	REMOVE	
	13	Roystonea elata	Florida Royal Palm	-	35' CT	20'	OUT OF PROP. LINE	REMOVE	
	14	Roystonea elata	Florida Royal Palm	-	25' CT	20'		REMOVE	
	15	Roystonea elata	Florida Royal Palm	-	25' CT	20'		REMOVE	
	16	Roystonea elata	Florida Royal Palm	-	25' CT	20'		REMOVE	
TREES IN ROW									
	01	Cocos nucifera	Coconut Palm	-	25' CT	18'	leaning toward street	REMOVE	
	02	Roystonea elata	Florida Royal Palm	-	30' CT	16'		TO REMAIN	



MITIGATION CALCULATIONS:

13 PALMS TO REMOVE 13 x \$350=\$4,550.00
 27.5" DBH TO REMOVE 27.5/2 x \$350=\$4,812.50
TOTAL \$9,362.50

MITIGATION TREES PROVIDED:

12" DBH 12/2 x \$350=\$2,100.00
 13 PALMS 13 x \$350=\$4,550.00
TOTAL PROVIDED \$6,650.00

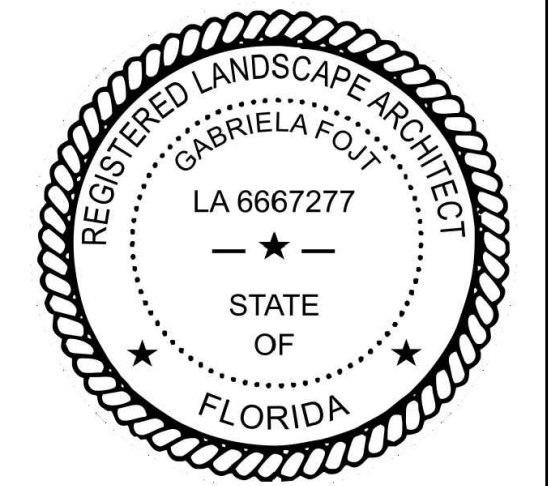
MITIGATION TO PAY TO CITY TREE FUND:
 \$9,362.50 - 6,650.00= **\$2,712.50**

SEE LP-1 FOR PROVIDED TREES

CONTRACTOR TO CHECK LOCATIONS OF PALMS WITH SURVEY AND GET WRITTEN APPROVAL FROM A NEIGHBOR FOR ANY REMOVALS ON THE PROPERTY LINE

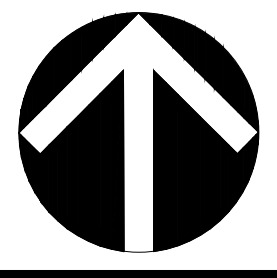
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 OF FLORIDA, INC.
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NOTE:
 INDICATED UTILITIES ARE APPROXIMATE.
 CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
 OF ALL UTILITIES ON SITE PRIOR TO
 COMMENCEMENT OF ANY WORK.
 LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
 FOR UTILITY DAMAGE.



The Mirror of Paradise
 Gabriela Fojt
 LA 6667277
 LC 26000628

2700 E Oakland Park Blvd
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 FL 33306
 c (954) 478 3064
 www.florida-landscape.com
 gabriela@themirrorofparadise.com



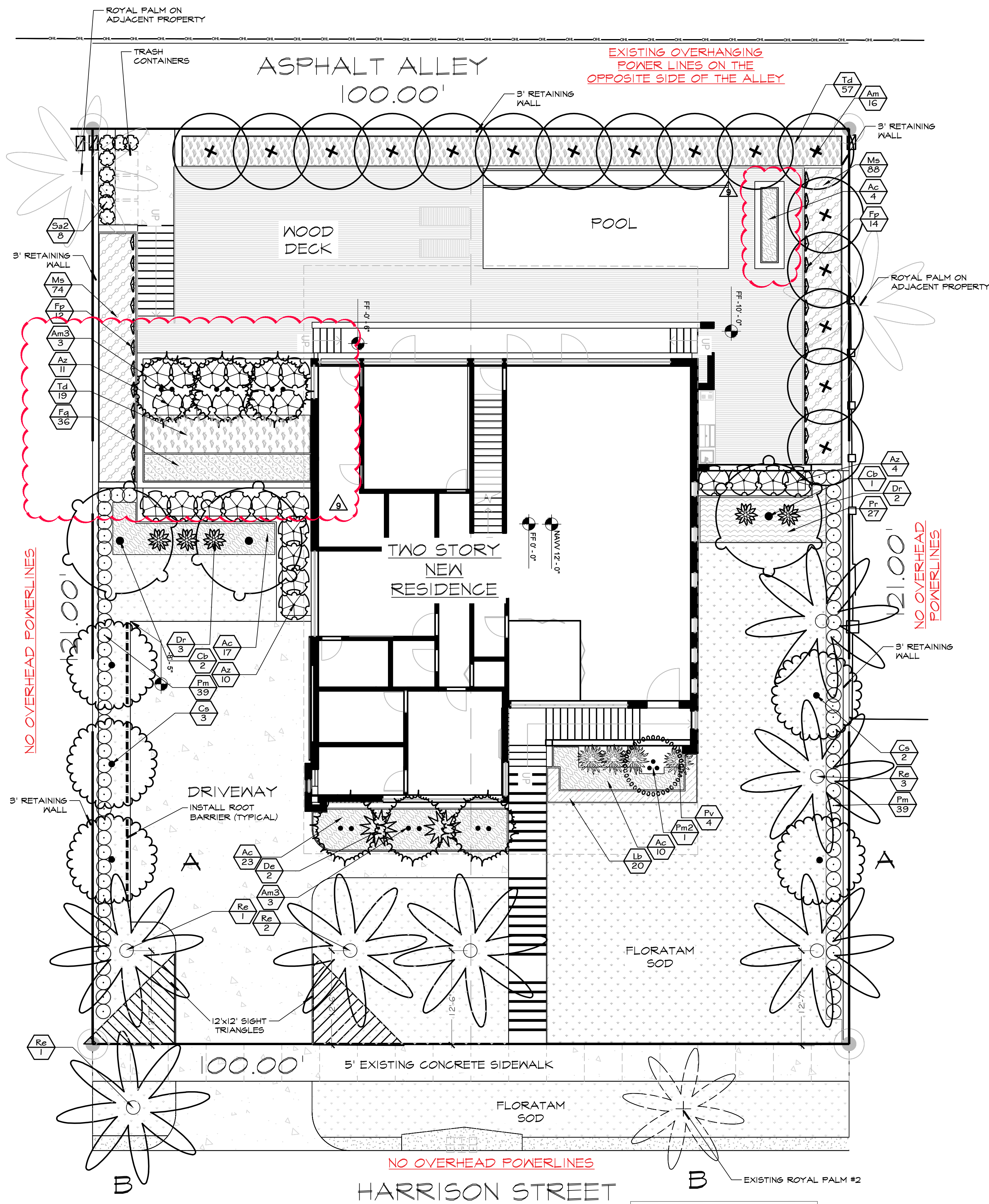
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 DESIGNED BY GF
 DRAWN BY ...
 CHECKED BY GF
 CAD DWG.
 DATE 08.04.2023

REVISIONS

1	10.25.2023
2	01.11.2024
3	01.25.2024
4	03.07.2024
5	04.10.2024
6	04.12.2024
7	04.17.2024
8	08.13.2024
9	08.16.2024

**813 HARRISON STREET
 HOLLYWOOD
 FLORIDA, 33019**

REMOVAL PLAN, TREE PROTECTION DETAIL



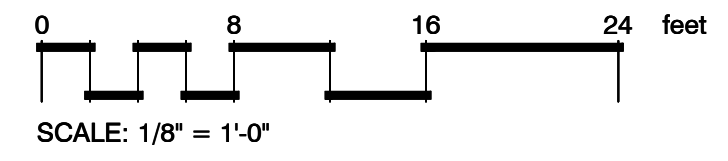
LANDSCAPED AREAS WITHIN PROPOSED SWALES SHALL BE FINISHED GRADED TO ALLOW FOR DRAINAGE RETENTION

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Am3	6	<i>Adonidia merrillii</i>	Christmas Palm	8'CT, dbl, matched	AS SHOWN	NO	HIGH
	Cb	3	<i>Calophyllum brasiliense</i>	Brazilian Beautyleaf	min.12'OA, 2'dbh	AS SHOWN	NO	HIGH
	Cs	5	<i>Conocarpus erectus f. sericeus</i>	Silver Buttonwood	12'OA, 2'dbh, matched	AS SHOWN	YES	HIGH
	Pm2	1	<i>Ptychosperma macarthurii</i>	Macarthur Palm	8'-10'OA, full	AS SHOWN	NO	MODERATE
	Re	1	<i>Roystonea elata</i>	Florida Royal Palm	8'CT, matched	AS SHOWN	YES	HIGH
	Am	16	<i>Veitchia montgomeryana</i>	Montgomery Palm	10'-14'CT, staggered	AS SHOWN	NO	HIGH
SHRUBS								
	Az	25	<i>Alphina zerumbet</i>	Shell Ginger GREEN	7 gal	48"OC	NO	MODERATE
	De	2	<i>Dioon edule</i>	Mexican Cycad	4'OA	AS SHOWN	NO	HIGH
	Dr	5	<i>Dracaena reflexa</i>	Song of India	3'-4'OA, ftb	AS SHOWN	NO	HIGH
	Fp	26	<i>Ficus pumila</i>	Creeping Fig	1 gal	36"OC	NO	HIGH
	Pv	4	<i>Pandanus tectorius 'Variegata'</i>	Variegated Screnpine	7 gal, full	AS SHOWN	NO	MODERATE
	Pm	18	<i>Podocarpus macrophyllus</i>	Yew Podocarpus	7 gal, 24"OA, ftb	24"OC	NO	HIGH
	Sa2	8	<i>Schefflera arboricola</i>	Schefflera	min.36"OA	24"OC	NO	HIGH
SHRUB AREAS								
	Ac	54	<i>Alocasia odora 'California'</i>	California Elephant Ear	3 gal	30"OC	NO	LOW
	Fg	36	<i>Ficus microcarpa 'Green Island'</i>	Green Island Indian Laurel Fig	3 gal, full	18"OC	NO	HIGH
	Lb	20	<i>Liriope muscari 'Big Blue'</i>	Big Blue Lilyturf	3 gal	18"OC	NO	HIGH
	Ms	162	<i>Mimosa strigillosa</i>	Sunshine Mimosa	1 gal	18"OC	YES	HIGH
	Pr	27	<i>Philodendron x 'Hope'</i>	Hope Philodendron	3 gal	24"OC	NO	MODERATE
	Ta	76	<i>Tripsacum floridanum</i>	Florida Gamagrass	3 gal	30"OC	YES	HIGH
GROUND COVERS								
	Sa	3,318 sf	<i>Stenotaphrum secundatum 'Floratam'</i>	Floratam St. Augustine Grass	sod			

- NOTES:
- SOD AS INDICATED.
 - MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

LANDSCAPE REQUIREMENTS RS-6	Required	Existing	Proposed	Total Provided
TREES REQUIRED ON THE LOT				
A 1 tree/each 1,250 sq.ft of front yard (2,328 sf/1,250=1.9) Min. 20% of front yard pervious area to be landscaped (2,328 sf x.2= 465.6 sf)	2		2 Silver Buttonwoods 2,328 sf	2 provided (+)20% provided
SWALE TREES				
B 1 tree/each 50 lf of street frontage	2	1 Royal palm	1 Royal palm	2 provided
Project plants: Palms no more than 50% of required trees (4 x .5=2) Min 60% of required trees to be native (4 x .6=2.4) Min species required	2 3 2	1 Royal palm 1 1	1 Royal palms 3 1	2 provided 4 (100%) provided 2 provided
MITIGATION TREES (see also DT-1)			6 Royal palms, 3 Adonidia, 16 Montgomery 6"dbh (Buttonwoods) & 6"dbh Brazilian Beautyleaf	25 palms 12"dbh hardwood

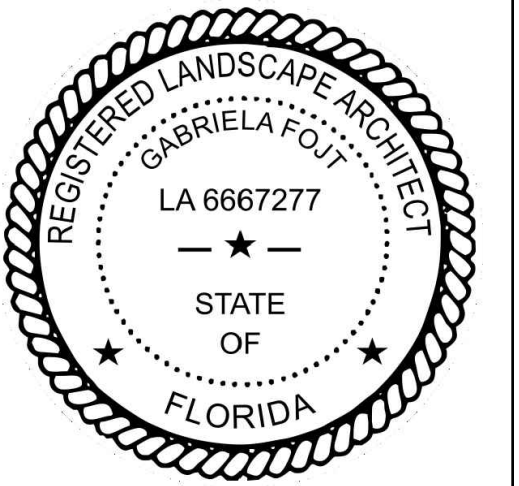
A GENERAL LAYOUT
scale 1/8" = 1'-0"



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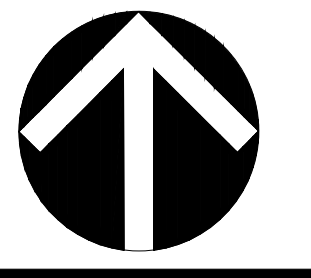
NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
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COMMENCEMENT OF ANY WORK.
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FOR UTILITY DAMAGE.

B CODE CHART



The Mirror of Paradise
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gabriela@themirrorofparadise.com



SCALE 1/8"=1'-0"
DESIGNED BY GF
DRAWN BY ...
CHECKED BY GF
CAD DWG.
DATE 08.04.2023

REVISIONS

City comments	1	10.25.2023
	2	01.11.2024
	3	01.25.2024
	4	03.07.2024
	5	04.10.2024
	6	04.12.2024
	7	04.17.2024
	8	08.13.2024
	9	08.16.2024

**813 HARRISON STREET
HOLLYWOOD
FLORIDA, 33019**

LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDRGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3" MELALEUCA/EUCALYPTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZDING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING. PROVIDE MINIMUM OF 36" HT.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

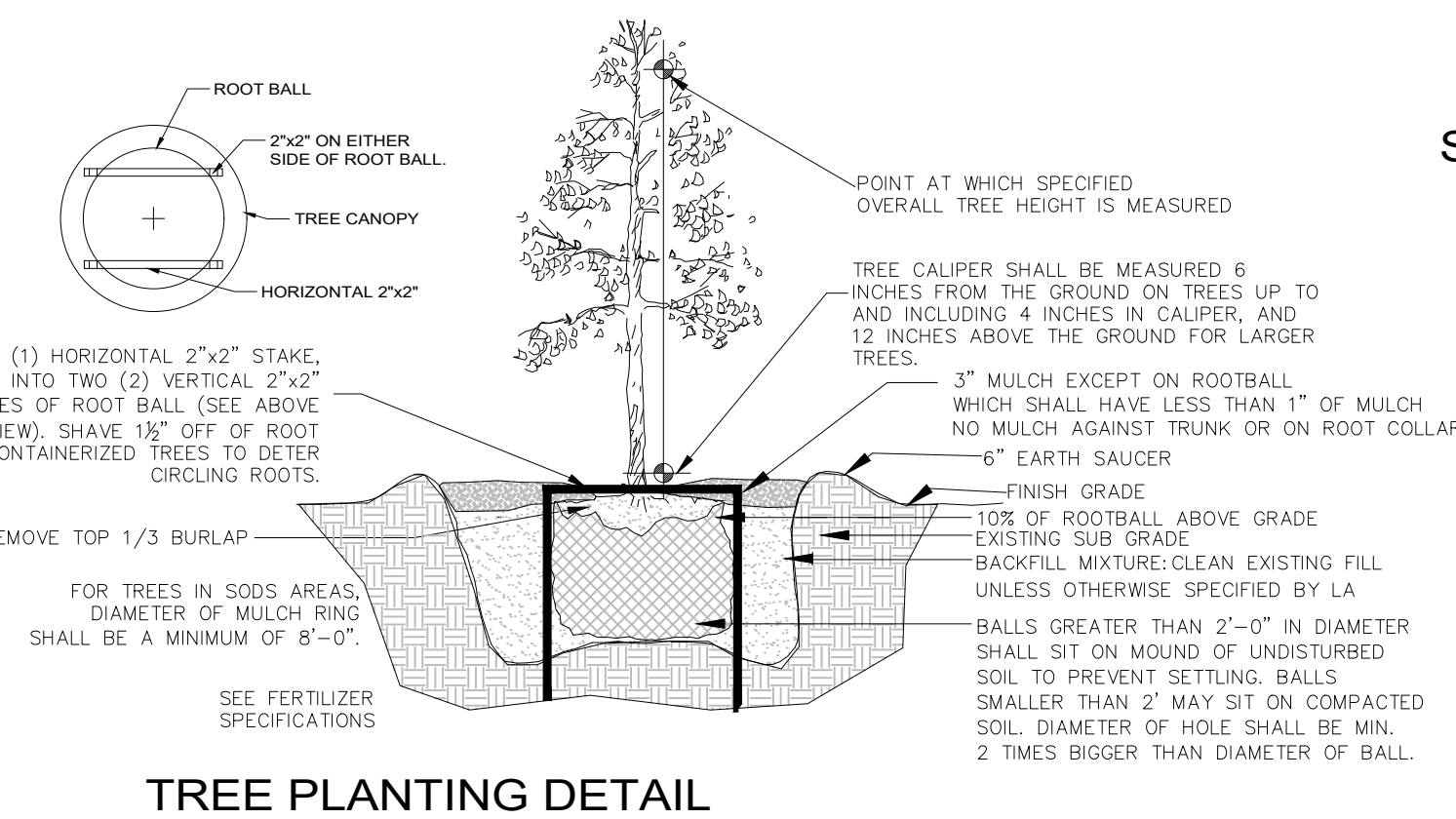
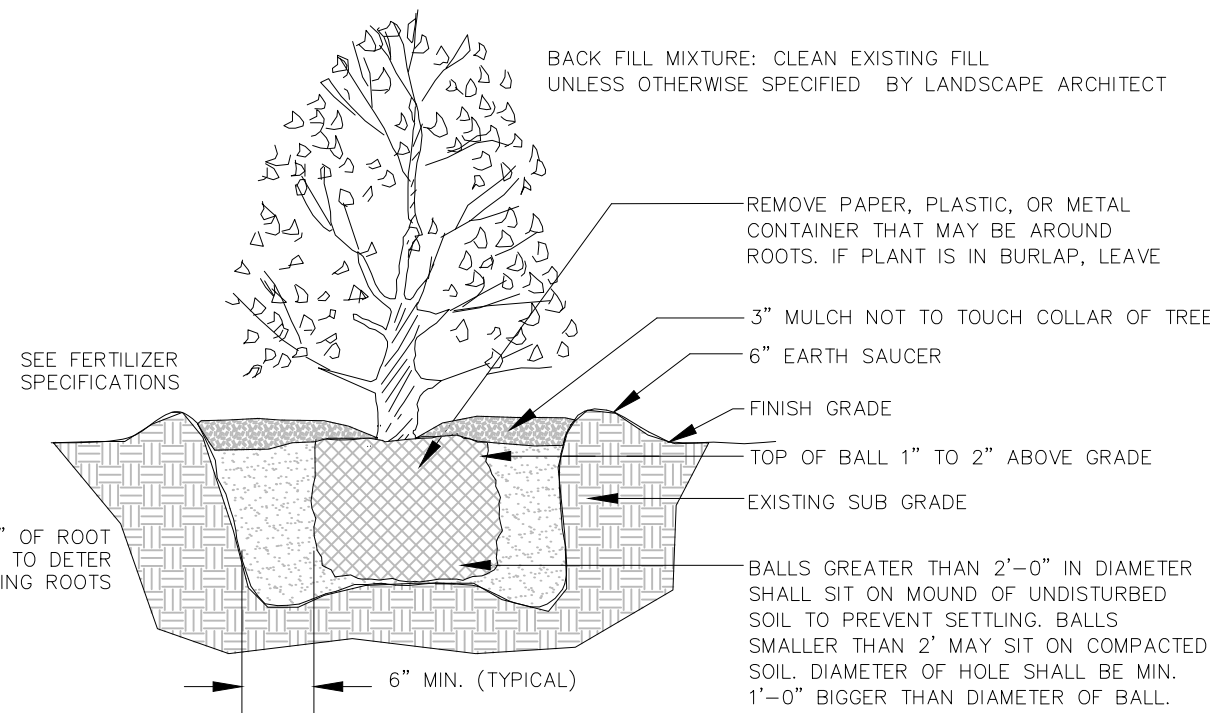
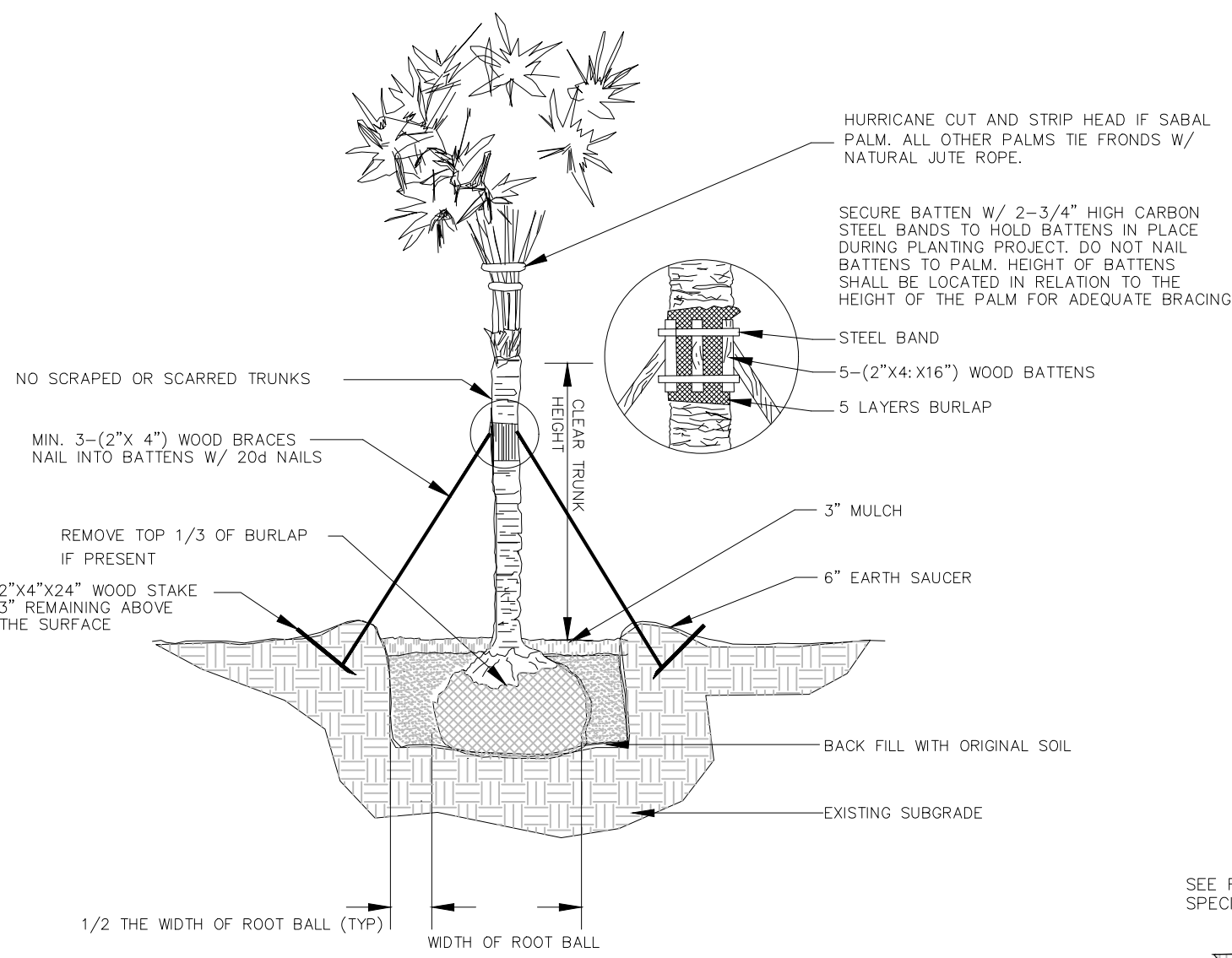
Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

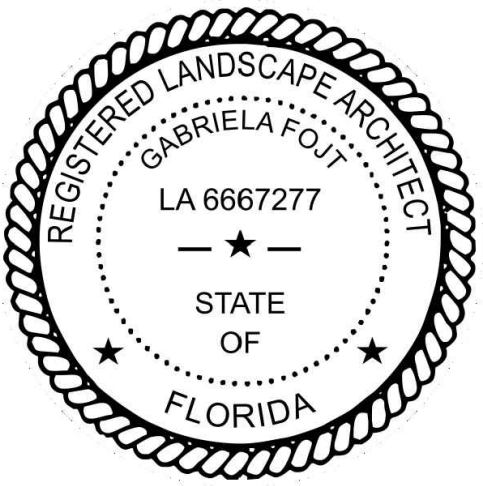
ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



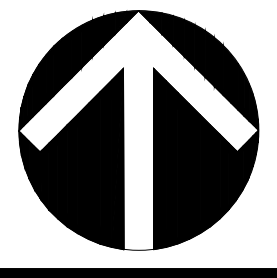
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 1-800-432-4770
 SUNSHINE STATE OECALLING OF FLORIDA, INC.
 IT'S THE LAW

NOTE:
 INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



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SCALE	as noted
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	08.04.2023
REVISIONS	
City comments	10.25.2023
1	01.11.2024
2	01.25.2024
3	03.07.2024

4	04.10.2024
5	04.12.2024
6	04.17.2024
7	08.13.2024
8	08.16.2024

**813 HARRISON STREET
 HOLLYWOOD
 FLORIDA, 33019**

LANDSCAPE NOTES & DETAILS