

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 09/18/2023

Location Address: 1225 N17th CT

Lot(s): N/A Block(s): N/A Subdivision: TRACT A, FRED ZIRBS

Folio Number(s): 5142-10-33-0010

Zoning Classification: FH-1 Land Use Classification: RAC

Existing Property Use: VACANT Sq Ft/Number of Units: NONE EXISTING

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 20-DP-52

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: SITE PLAN APPROVAL OF A 15 UNIT RESIDENTIAL DEVELOPMENT

Number of units/rooms: 15 UNITS Sq Ft: 14,915

Value of Improvement: TBD Estimated Date of Completion: 2025

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: RITOS DEVELOPMENT LP

Address of Property Owner: 4491 S STATE ROAD 7 PH2, DAVIE FL 33314

Telephone: (954)552-9247 Fax: _____ Email Address: TIM@RITVOCONSULTING.COM

Name of Consultant/Representative/Tenant (circle one): SENGA ARCHITECTURE LLC

Address: 3434 MCKINLEY STREET, HOLLYWOOD FL 33021 Telephone: (954) 613-8371

Fax: _____ Email Address: FITZMURPHY@SENGAARCHITECTURE.COM

Date of Purchase: 06/14/2023 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: ROCAGB CONSTRUCTION LLC

Address: 4491 S STATE ROAD 7, PH-2, DAVIE FL 33314

Email Address: ROBERTOG@ROCAGB.COM

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CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: Tim Ritvo / Ritos Development Date: 8/17/23

Signature of Consultant/Representative: _____ Date: 08/17/2023

PRINT NAME: FITZ MURPHY, SENG ARCHITECTURE LLC Date: 08/17/2023

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for SITE PLAN REVIEW to my property, which is hereby made by me or I am hereby authorizing SENG ARCHITECTURE LLC to be my legal representative before the TECHNICAL ADVISORY (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 17 day of August 2023


Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____





Signature of Current Owner

Tim Ritvo

Print Name

FILE NO 23-DP-41
ARTHUR APARTMENTS
1225 N 17TH COURT

September 18th 2023

PRELIMINARY TAC RESPONSE TO COMMENTS

A. APPLICATION SUBMITTAL

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Ownership & Encumbrance Report (O&E):
 - a. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
RESPONSE: Noted
 - b. Ensure O&E addresses the requirements on the TAC submittal checklist: <http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>
RESPONSE: Noted. Information provided as required.
2. Alta Survey:
 - a. Alta survey shall be based on the O&E and make reference of the O&E report.
RESPONSE: See note 8 on Alta Survey
 - b. Easements and/or dedications with O.R. or plat books and page numbers.
RESPONSE: All known easements and dedications are shown on the Alta Survey
 - c. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
RESPONSE: Noted
3. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
RESPONSE: Submitted as attachment "Plat Determination.pdf". Platting is not required.
9. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.
RESPONSE: Past and future meeting dates integrated into Sheet Index on Sheet A100
10. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association are located within 500 feet project site.

Downtown Parkside Royal Poinciana Civic Association
Hollywood Lakes Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

RESPONSE: Public Participation Outreach Meeting will be held on October 5th 2023. Meeting minutes submitted as a separate attachment.

11. Additional comments may be forthcoming.

RESPONSE: Noted.

Provide written responses to all comments with next submittal.

RESPONSE: oted and provided.

B. ZONING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Why is the sidewalk inside the property on 17th Court?

RESPONSE: Existing sidewalk has been relocated outside the property.

2. If the sidewalk is outside the property, the queuing depth shall be from the property line and it shall be 18'. Car space shall be 18'x8.5'

RESPONSE: Sidewalk relocated to outside the property line and a 19' queuing provided per engineering comments

3. Why does the walkway connecting the trash room and stairs extend to the parking area?

RESPONSE: To provide access to stair #2 from parking garage.

4. Provide the Vehicular Use Area on the Ground Floor with a diagram. Show calculations.

RESPONSE: VUA diagram and calculations provided on sheet A002

5. Provide a diagram showing the FAR calculations.

RESPONSE: See FAR diagrams on sheet A002.

6. Label the guest parking spaces, ADA and electric vehicle charging stations.

RESPONSE: Guest ADA and EV charging parking spaces labeled on sheet A001.

7. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

RESPONSE: Disposition and Landscape Design drawings provided for sheet A001.

C. ARCHITECTURE AND URBAN DESIGN

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide an image of the parking garage screening.

RESPONSE: Screen image provided on sheet A200-A203.

2. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.

RESPONSE: Note Provided on Sheet A002, Site Data, Site Plan Note 1.

3. Ensure that all plumbing, mechanical and electrical fixtures, and equipment are indicated on Site Plan and Elevations.

RESPONSE: All visible fixtures verifiable at this stage of design are illustrated.

4. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

RESPONSE: Parking is more than 50% open as required by the FBC.

D. SIGNAGE

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide the following note: "All signage shall be in compliance with the Zoning and Land Development Regulations.

RESPONSE: Note included. See sheet A002, Site Plan Note 2.

2. Provide note on Site Plan: "All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign."

RESPONSE: Noted on sheet A002. Site Plan Note 3 and 4.

E. LIGHTING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

RESPONSE: Note included on Site Data Sheet A002, under Lighting.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251 Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Provide plat determination letter from the Broward County Planning Council.

RESPONSE: Plat determination provided. Platting is not required.

2. ALTA survey is not sealed, provide a signed and sealed ALTA survey.

RESPONSE: Signed and sealed survey provided.

3. Please provide an overall site plan for the project showing all surrounding areas and all sides of the site, including adjacent properties and all features of City streets and alleys within full City right-of-way from property line to adjacent property lines. (Swales, sidewalks, gutters along entire property frontage, edge of pavement and any adjacent features such as neighboring driveways etc. both sides of the street or alley within full right-of-way width on the alley, 17th Court and Arthur Street).

RESPONSE: Site plan extended to include adjacent properties. See Sheet A001.

4. Please show sidewalk connectivity adjacent to the site (i.e., adjacent properties' sidewalk and crosswalks etc.), include any ADA ramps.

RESPONSE: Connections to existing sidewalks provided on sheet A001.

5. Show sidewalk on Arthur Street as existing to be replaced. All existing sidewalks shall be removed and replaced to the City of Hollywood Standard Sidewalk detail; minimum sidewalk width is 5'.

RESPONSE: All sidewalks adjacent to property replaced with 5' sidewalk.

6. Portion of the existing sidewalk along North 17th Court is within private property, provide a 5' Right-of-Way/Road Easement along the frontage of the site on North 17th Court for the replacement sidewalk.

RESPONSE: Sidewalk relocated outside of the property. With a 5 foot setback.

7. Provide a 6'X6' corner dedication at the intersection of Arthur Street and North 17th Court to accommodate public sidewalk with ADA ramp at the northwest corner of the site. Please show all proposed improvements on all plans accordingly.
RESPONSE: Corner dedication provided. See sheet A001
8. Sidewalk shall be flush and continuous through driveway opening.
RESPONSE: Flush sidewalk markings noted on the plan.
9. Please provide a spec/detail of the proposed FDOT detectable warnings to be provided.
RESPONSE: FDOT spec provided on Civil sheet C4.
10. Please identify the radii of the apron radius flares being shown on the plans.
RESPONSE: Straight flare within sidewalk provided. See sheet A001
11. Please fully dimension the west property lines, showing the setbacks of the driveway from the north and South property line.
RESPONSE: Full dimensions provided. See sheet A001
12. Please identify the length and width of all proposed walkways (i.e., east side of property.)
RESPONSE: Full dimensions provided. See sheet A001
13. Please identify the setback of all walkways on the site plan, including separation between any driveway and walkways that connects to City rights-of-way. Minimum 3' setback from property lines is required for driveways and walkways, please provide and indicate on plans.
RESPONSE: Full dimensions provided. See sheet A001
14. Please show site triangles correctly. Provide sight visibility triangles at all driveway access locations as per Chapter 155.12. If the property line is less than 12 feet from the edge of pavement in the rights-of-way, provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet, provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address in plans and dimension.
RESPONSE: Full dimensions provided. See sheet A001 and Landscape Sheet L200.
15. Corner Setback Area: Please provide, show, and dimension on plans.
 - a. The required corner setback on the plans at the corner of N 17th Ct. and Arthur St. (25' X 25'). The corner setback area is the area lying adjacent to a street as delineated by a line connecting points measured 25 feet distant along the property lines from the intersection of a street.
RESPONSE: Requested corner setback shown and annotated on sheet A001
 - b. The required corner setback on the plans at the southwest corner of the site, North 17th Court and the alley (6'X6').
RESPONSE: Requested corner setback shown and annotated on sheet A001. Note Alley is currently unimproved and does not include vehicular access.
 - c. Note that the height of bushes, hedges, fences, and walls located within corner setback area is restricted to two feet.
RESPONSE: Noted. See landscape plan Sheet L200
16. Queuing depth is to be a minimum of 19 feet. Plan shows south side will only have a queuing depth of 16'-7". Please address.
RESPONSE: Queuing depth adjusted to 19'-0" See sheet A001.
17. Provide the vertical clearance of the garage on the site plan.
RESPONSE: Note for minimum vertical clearance provided on site plan Sheet A001.

18. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan. Provide a detail for the proposed ramps showing how they achieve ADA compliance.
RESPONSE: ADA Route added to site plan SheetA001. Sheet Graphic indication of Flush Areas provided.
19. Please fully dimension the parking garage, there appears to be space between the ADA accessible aisle and the wall, please identify this distance.
RESPONSE: All dimensions for ADA Area provided on sheet A001.
20. For ADA accessible route, verify minimum 5'x5' area is provided within the red box (see below) and dimension on plan.
RESPONSE: Area adjusted to accommodate 5'by 5' area, however minimum turning area may be reduced to 48 inches per 202FBC-A 403.5.2.
21. Any parking stall located next to a solid obstruction, such as a building wall, is required to be a minimum of 9.5' wide. Any stall with obstructions on both sides is required to be a minimum of 10.5' wide. (i.e. stall 1).
RESPONSE: Parking stall noted to be 1.5 feet away from the parking stall.
22. Please provide the setback dimensions for the proposed bump out. Setback shall be measured from back of proposed curb to property line at the most critical points (corners) a minimum 3-foot-wide drivable area bump out with curb. This bump out may not be within any required setback areas.
RESPONSE: Bump out sheet back noted at 5 feet. See sheet A001.
23. All non-vehicular areas shall be stripped and clearly identified. This stripping shall not be the same stripping as the ADA accessible aisle. Please show on plan.
RESPONSE: Non-vehicular use area in parking lot that is not separated by type D curb is shown on floor plans sheet A001.
24. Please provide a trash chute for the garbage room.
RESPONSE: Trash chute provided. See Typical Floor on sheet A101. Trash chute is adjacent to Stair 02.
25. Please dimension all BOH areas (i.e., storage, electric etc.).
RESPONSE: All BOH Areas dimensioned as requested.
26. Please label the stair, Stair #1 and Stair #2.
RESPONSE: Stair 01 and Stair 02 labelled.
27. Elevations show for a 6' Solid White Fence surrounding the site. Please show the fence on the Site Plan. No portion of the fence/gate or footers are to encroach beyond the property lines, into adjacent property or City ROW. Provide dimension for minimum setback of the fence on the Site Plan to accommodate the footers/fence. Cross section of the fence with footer showing the setback from the property line will be required at the time of permit review.
RESPONSE: Solid white fence and all related footing will be within property lines. See sheet A001 and Section A-A on civil sheet C-2
28. Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for

connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set. In this case, coordination will be required with the City CRA.

RESPONSE: See Civil Sheets C-1 to C-8.

29. Add note on civil and site plans for full road width pavement mill and resurfacing will be required for all streets / roadway adjacent to the project site.

RESPONSE: Note added to Site Plan.

30. Please provide a pavement marking and signage plan for all onsite and off-site pavement markings. All pavement marking and signage within City rights-of-way requires review and stamped approved plans by Broward County Traffic Engineering Division. BCTED approval required at the time of permitting.

RESPONSE: See sheet C-4.

31. Please include all applicable City of Hollywood Standard details for this project in the plan set (i.e parking stall pavement markings and signage). Updated Details can be found online via: <https://hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>

RESPONSE: See Civil drawing submittal.

32. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required.

RESPONSE: Noted. Please note that this project is not within the CRA.

33. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

RESPONSE: Noted

34. MOT plans required at the time of City Building Permit review.

RESPONSE: Noted.

35. All outside agency permits are required at the time of City building permit review.

RESPONSE: Noted.

36. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

RESPONSE: Noted.

37. More comments may follow upon review of the requested information.

RESPONSE: Noted.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

No landscape plan submitted on set.

RESPONSE: Landscape plans submitted

1. Survey shows existing trees/palms.

RESPONSE: Noted

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.

RESPONSE: Tree disposition plan and landscape plans have been provided. The City of Hollywood Landscape Manual section 2.10, indicates "Landscape plan must be drawn, signed, and sealed by a Florida Registered Landscape Architect or as stated in Florida

Statutes. Florida state that 481.329(5) *This part does not prohibit any person from engaging in the practice of landscape design, as defined in s. 481.303, or from submitting for approval to a governmental agency planting plans that are independent of, or a component of, construction documents that are prepared by a Florida-registered professional. Persons providing landscape design services shall not use the title, term, or designation "landscape architect," "landscape architectural," "landscape architecture," "L.A.," "landscape engineering," or any description tending to convey the impression that she or he is a landscape architect unless she or he is registered as provided in this part. Therefore, the submittal is being prepared under the seal of the Architect of Record.*

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.

RESPONSE: Please note RAC requires at 4"DBH and such is reflected in the planting plan. No palms are are proposed in the project.

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)

RESPONSE: All site triangles noted on sheet L200

5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.

RESPONSE: Native plant species requirements indicated on sheet L200

6. Label all sides of property weather there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.

RESPONSE: Overhead lines shown. Approved FLP trees provided per Landscape Manual.

7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

RESPONSE: Noted

8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.

RESPONSE: Noted. Note added to landscape plans however most equipment anticipated to be on the roof.

9. All landscaping shall be warranted for 1 year after final inspection.

RESPONSE: Note added to landscape plan.

10. Provide site requirements as per RAC zoning.

RESPONSE: RAC landscape requirements reviewed and provided. See sheet A200.

11. 11. Provide note indicating: 100% irrigation coverage shall be provided.

RESPONSE: Irrigation note provided. See sheet L200.

12. Additional comments may follow upon further review of requested items and information provided. We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-921-3900.

I. UTILITIES

Alicia Vereas-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, sewer and drainage for initial review.

RESPONSE: See Civil plans attached.

2. Show Water and Sewer demand calculations on proposed utilities plans.

RESPONSE: See Civil plans attached.

3. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

RESPONSE: See Civil plans attached.

4. This site resides currently within FEMA Flood Zone X and AH with BFE = 10.00' NAVD88. The proposed Finished Floor Elevation (FFE) shall be 11.0' NAVD88, at a minimum to comply with the **greatest** of the following three (3) conditions, as applicable.

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link
<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR

- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

RESPONSE: See Civil plans attached.

5. Indicate FFE for all enclosed areas on the ground floor.

RESPONSE: FFE noted on site plan and civil drawings.

6. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

RESPONSE: See Civil Plans attached.

7. Ensure all stormwater is retained onsite.

RESPONSE: Noted. See Civil Plans

8. Indicate how roof drainage will be collected and connected to the on-site drainage system.

RESPONSE: Roof drainage shall be directed towards interior courtyard through roof drains and directed to exfiltration trench beneath parking.

10. Provide preliminary drainage calculations.

RESPONSE: Drainage Calculations submitted as a separate attachment.

11. Include erosion control plan.

RESPONSE: See Erosion Control Plan, Sheet C-1.

12. Permit approval from outside agencies will be required.

RESPONSE: Noted

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

RESPONSE: Noted. See landscape and Civil plans accordingly.

14. Additional comments may follow upon further review of requested items.

RESPONSE: Noted

K. **FIRE**

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

RESPONSE: Noted

2. As per NFPA 1 (2018 Ed.) Section 18.2.3.2.1 --- A fire department access road shall extend to within 50 ft. (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. --- Show this measurement on the plans.

RESPONSE: Distance shown on site plan sheet A001

3. Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

RESPONSE: Noted.

3. Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building. --- For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

RESPONSE: Noted.

4. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

RESPONSE: See Civil Plans.

5. Provide civil drawings for the underground fire main. Provide such including the location of the fire department connection, DDCV, and size and type of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire. --- Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections.

RESPONSE: See civil Plans.

6. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans.

RESPONSE: See Civil Plans.

7. Be advised that NFPA 1 (2018 edition) Section 11.10.1 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department

personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.

RESPONSE: Noted

S. ADDITIONAL COMMENTS

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.



August 22, 2023

Fitz Murphy, AIA, Principal
SENGA Architecture, LLC
3434 McKinley Street
Hollywood, Florida 33021

Via Email Only

Dear Mr. Murphy:

Re: Platting requirements for a parcel legally described as Tract A, "Fred Zirbs Resubdivision of Lots 22-28, St. James Court West," according to the Plat thereof, as recorded in Plat Book 16, Page 2, of the Public Records of Broward County, Florida. This parcel is generally located on the southeast corner of Arthur Street and North 17 Court, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.28 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Fitz Murphy
August 22, 2023
Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Huda Ashwas at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:HHA

cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

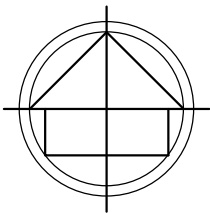
Andria Wingett, Interim Director, Development Services
City of Hollywood



ALTA/NSPS LAND TITLE SURVEY

LAND DESCRIPTION:

TRACT A, FRED ZIRBS RESUBDIVISION OF LOTS 22, 23, 24, 25, 26, 27 & 28 ST. JAMES COURT WEST, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

2. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.

3. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

4. UNDERGROUND IMPROVEMENTS NOT SHOWN.

5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

6. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK # 1895 ELEVATION= 9.57' (NAVD88)

7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.

8. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PINO AND RITVO LAW FIRM, DATED 08/11/2023. SEARCH BASIS: DATE OF PLATTING (1928) ENCUMBRANCES/MATTERS AFFECTING TITLE: - PLATTING LANGUAGE OF THE FRED ZIRBS RESUBDIVISION CONTAINING THE PROPERTY AS RECORDED IN PLAT BOOK 16, PAGE 2 (AFFECTS/PLOTTED)

9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.

10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.

11. THE PROPERTY HAS DIRECT ACCESS TO ARTHUR STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 16, PAGE 2, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

12. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.

13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.

14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.

15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.

16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

17. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
CBS	CONCRETE BLOCK STRUCTURE
A/C	AIR CONDITIONER
WM	WATER METER
WV	WATER VALVE
CO	CLEAN OUT
TSB	TRAFFIC SIGNAL BOX
TSP	TRAFFIC SIGNAL POLE
CLP	CONCRETE LIGHT POLE
MLP	METAL LIGHT POLE
EB	ELECTRIC BOX
5.40	ELEVATIONS
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS



LOCATION MAP (NTS)

CERTIFIED TO:

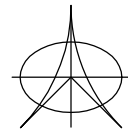
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON AUGUST 18, 2023.

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER : 9351-20

CLIENT :

PETER STERZ

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	09/16/20	SKETCH	AM	REC
UPDATE TO ALTA STANDARDS	10/03/20	SKETCH	AM	REC
UPDATE SURVEY	08/18/23	SKETCH	JD	REC
REVIWED O&E REPORT	08/22/23	-----	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

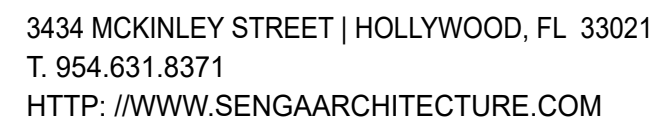
PROPERTY ADDRESS :
1225 N 17TH COURT

SCALE: N/A

SHEET 1 OF 2



ARCHITECT



SENGA ARCHITECTURE LLC

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MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

LOCATION MAP



SCOPE OF WORK :

SHEET INDEX:

MEETING / SUBMITTAL DATES:

PRE-APPLICATION CONCEPTUAL OVERVIEW	JULY 17TH, 2023
PRELIMINARY TECHNICAL ADVISORY COMMITTEE	SEPTEMBER 5TH, 2023
FINAL TECHNICAL ADVISORY COMMITTEE	OCTOBER 2ND, 2023
SIGNOFF SUBMITTAL	TO BE DETERMINED
PLANNING AND DEVELOPMENT BOARD	TO BE DETERMINED

SUBMITTAL: CITY OF HOLLYWOOD TECHNICAL ADVISORY COMMITTEE

DATE: Monday, September 18, 2023

COVER SHEET AND GENERAL NOTES

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33
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ARCHITECT

AGENCE
3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.431.8371
HTTP://WWW.SENGAARCHITECTURE.COM
SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR
ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 31152
HOLLYWOOD, FL 33021
T 774.302.7893
WWW.ZEPHYRENGINEERINGFL.COM
ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

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DOCUMENT ARE NOT
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ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326

PROJECT NO.

9/18/23

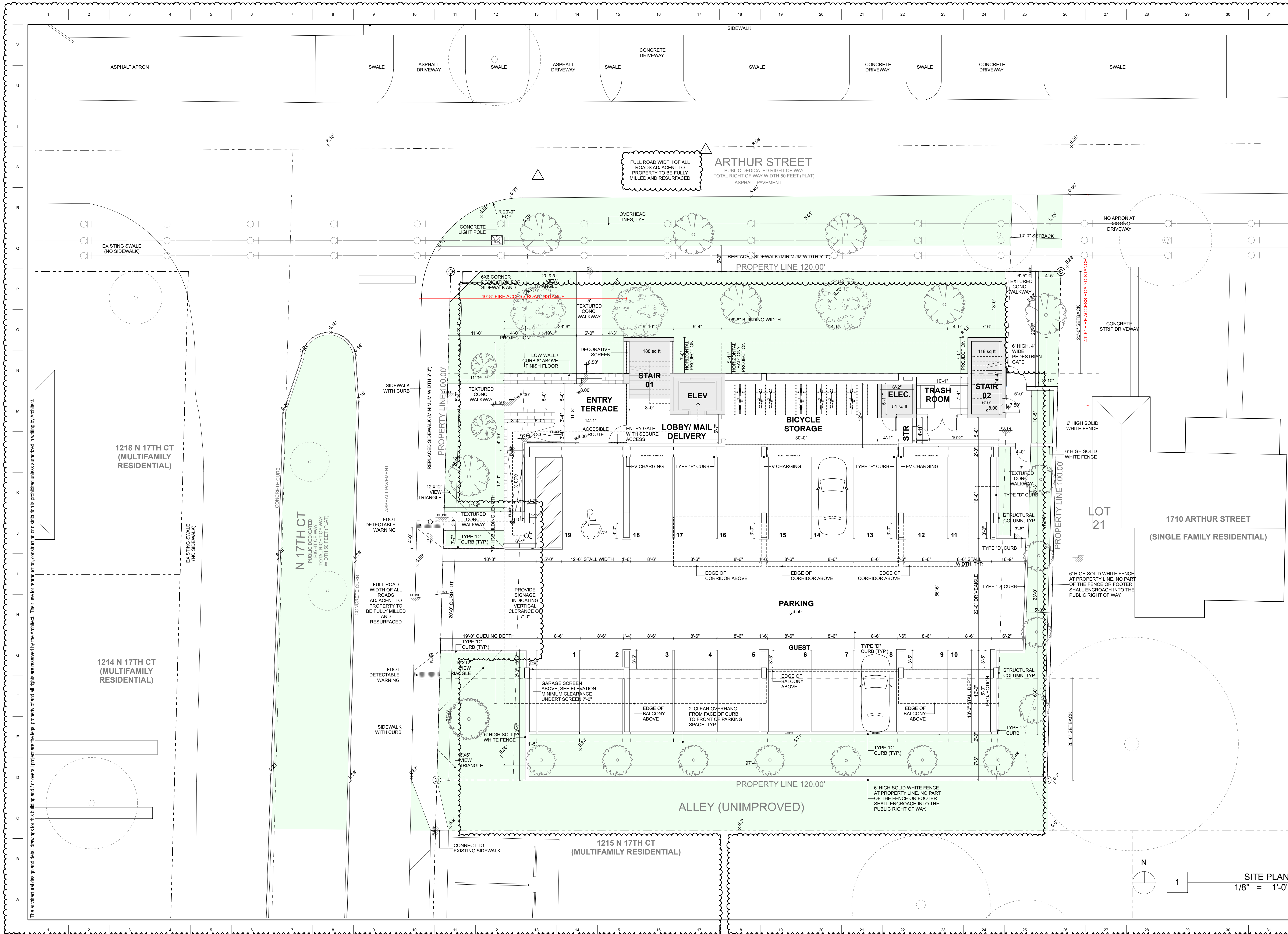
DATE

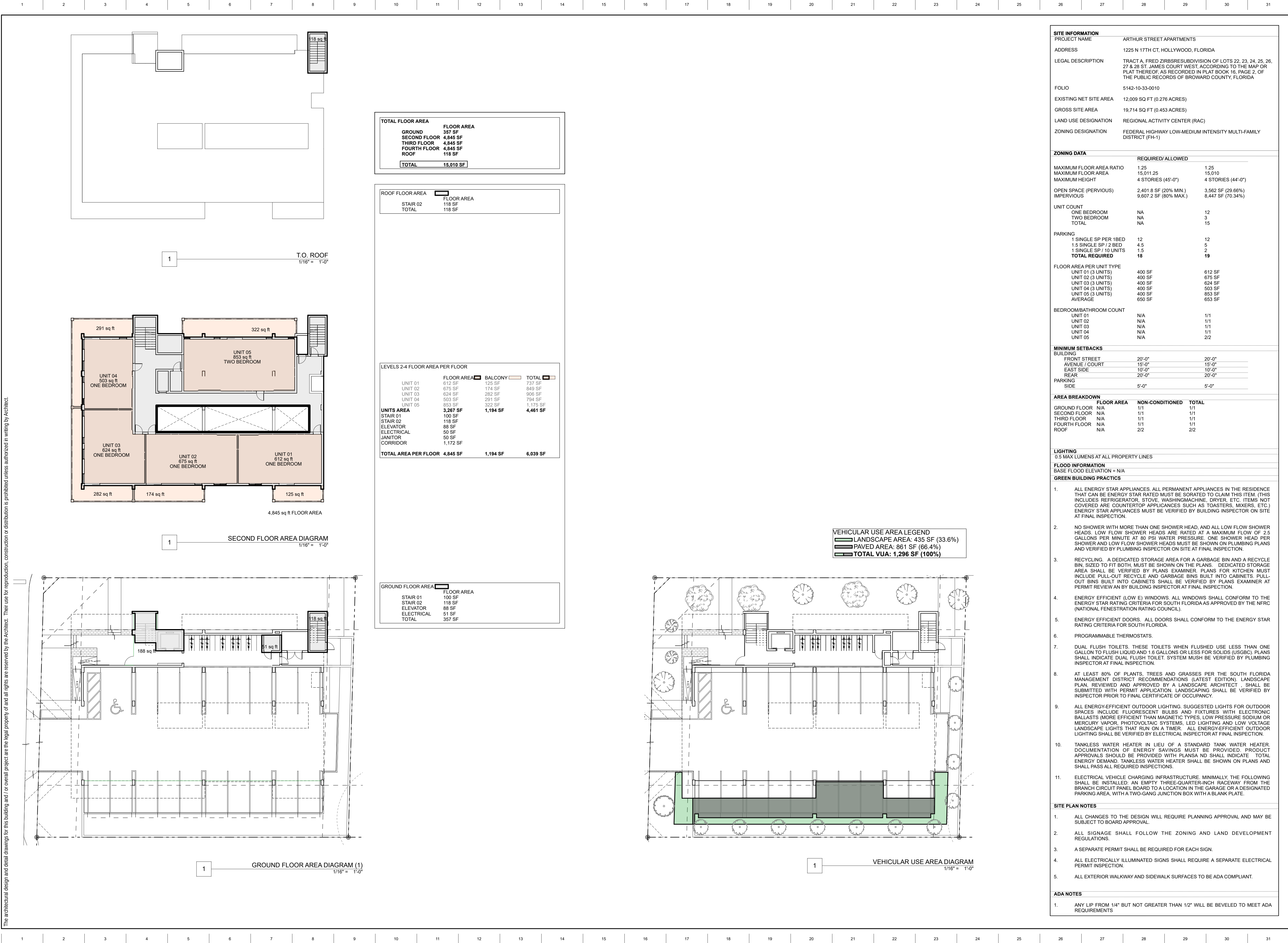
FMM

DRAWN / CHECKED

SITE PLAN

A001

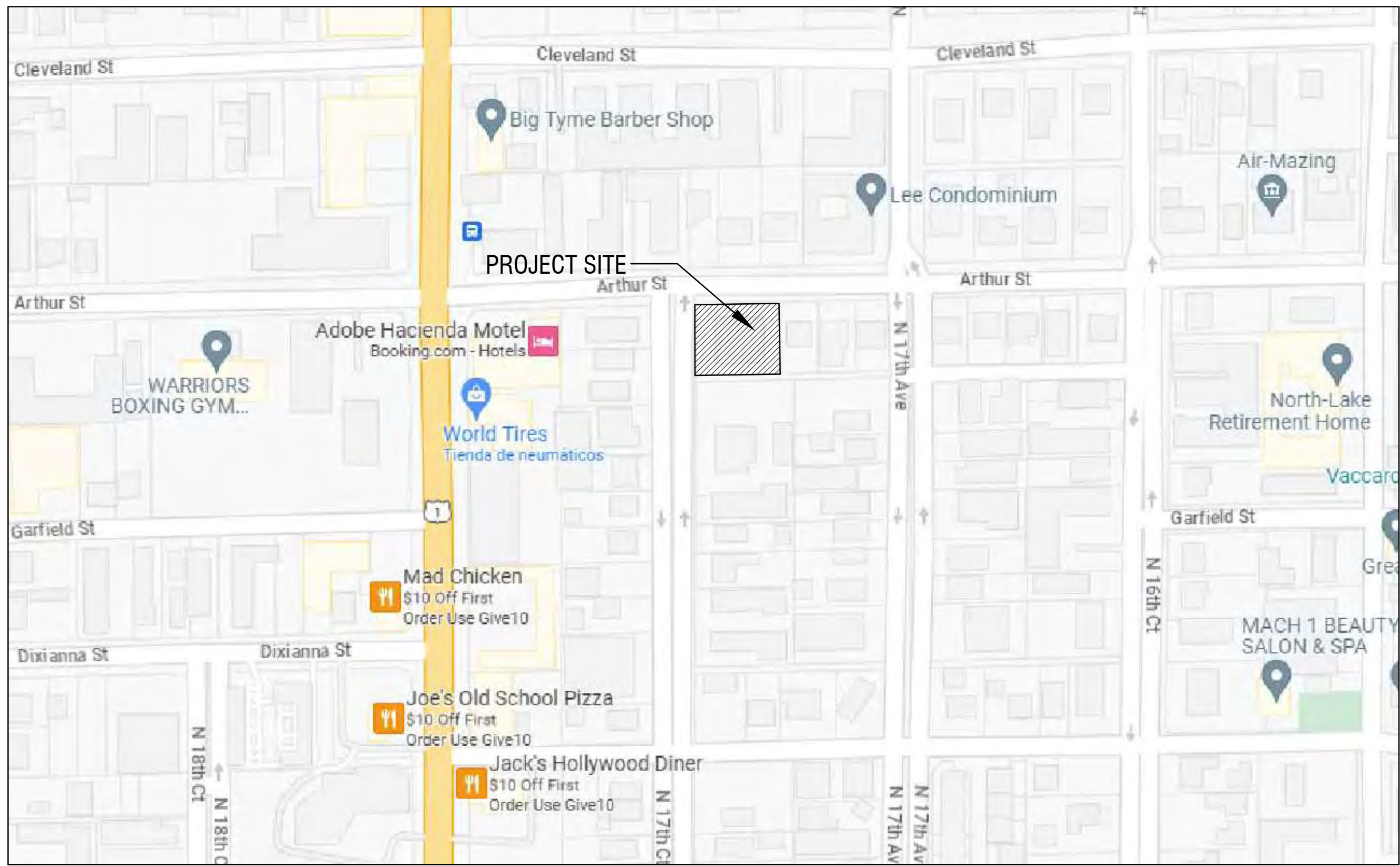
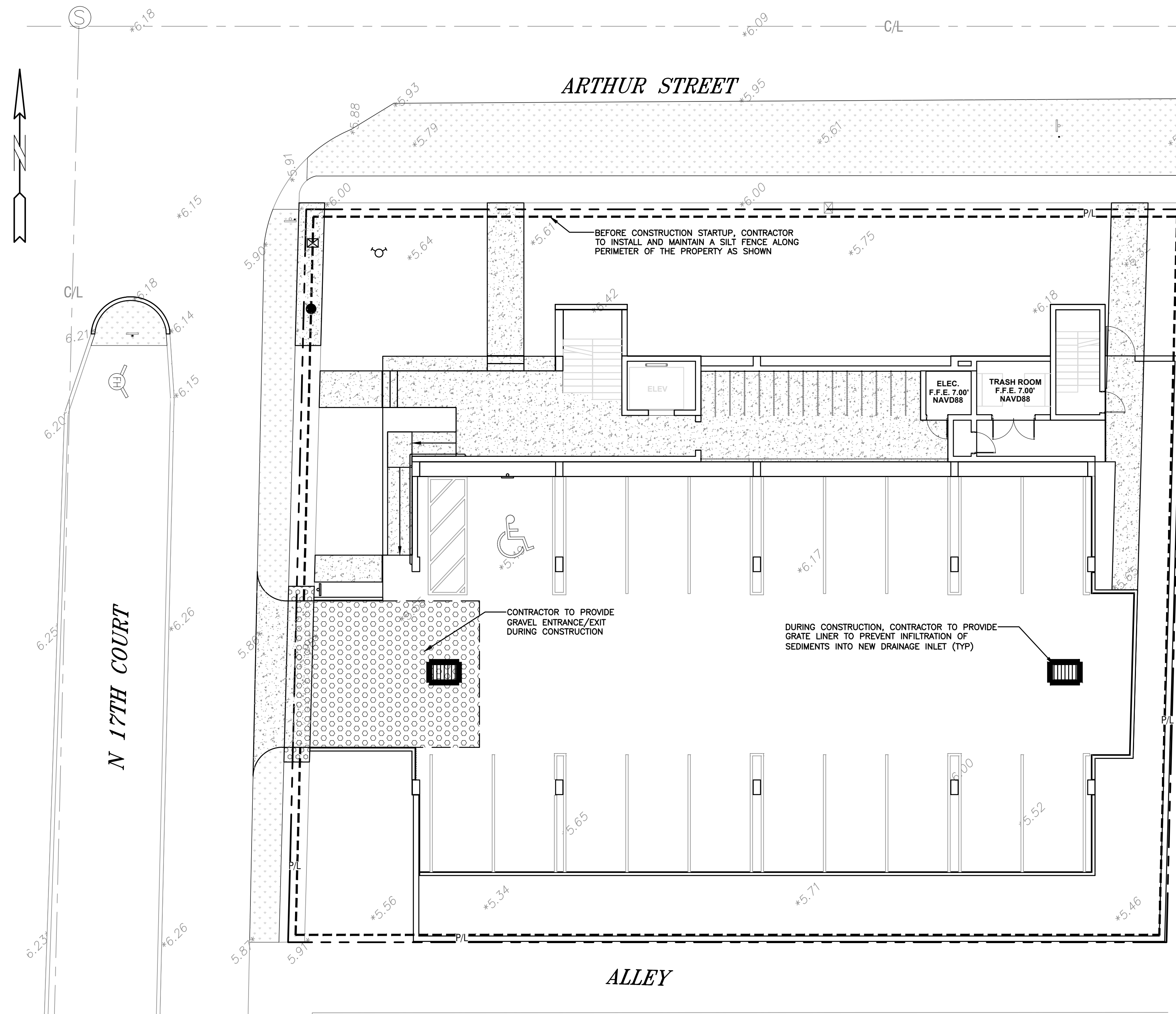




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SITE INFORMATION		
PROJECT NAME	ARTHUR STREET APARTMENTS	
ADDRESS	1225 N 17TH CT, HOLLYWOOD, FLORIDA	
LEGAL DESCRIPTION	TRACT A, FRED ZIRBSRESUBDIVISION OF LOTS 22, 23, 24, 25, 26, 27 & 28 ST. JAMES COURT WEST, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA	
FOLIO	5142-10-33-0010	
EXISTING NET SITE AREA	12,009 SQ FT (0.276 ACRES)	
GROSS SITE AREA	19,714 SQ FT (0.453 ACRES)	
LAND USE DESIGNATION	REGIONAL ACTIVITY CENTER (RAC)	
ZONING DESIGNATION	FEDERAL HIGHWAY LOW-MEDIUM INTENSITY MULTI-FAMILY DISTRICT (FH-1)	
ZONING DATA		
	REQUIRED/ ALLOWED	
MAXIMUM FLOOR AREA RATIO	1.25	1.25
MAXIMUM FLOOR AREA	15,011.25	15,010
MAXIMUM HEIGHT	4 STORIES (45'-0")	4 STORIES (44'-0")
OPEN SPACE (PERVIOUS)	2,401.8 SF (20% MIN.)	3,562 SF (29.66%)
IMPERVIOUS	9,607.2 SF (80% MAX.)	8,447 SF (70.34%)
UNIT COUNT		
ONE BEDROOM	NA	12
TWO BEDROOM	NA	3
TOTAL	NA	15
PARKING		
1 SINGLE SP PER 1BED	12	12
1.5 SINGLE SP / 2BED	4.5	5
1 SINGLE SP / 10 UNITS	1.5	2
TOTAL REQUIRED	18	19
FLOOR AREA PER UNIT TYPE		
UNIT 01 (3 UNITS)	400 SF	612 SF
UNIT 02 (3 UNITS)	400 SF	675 SF
UNIT 03 (3 UNITS)	400 SF	624 SF
UNIT 04 (3 UNITS)	400 SF	503 SF
UNIT 05 (3 UNITS)	400 SF	853 SF
AVERAGE	650 SF	653 SF
BEDROOM/BATHROOM COUNT		
UNIT 01	N/A	1/1
UNIT 02	N/A	1/1
UNIT 03	N/A	1/1
UNIT 04	N/A	1/1
UNIT 05	N/A	2/2
MINIMUM SETBACKS		
BUILDING		
FRONT STREET	20'-0"	20'-0"
AVENUE / COURT	15'-0"	15'-0"
EAST SIDE	10'-0"	10'-0"
REAR	20'-0"	20'-0"
PARKING SIDE	5'-0"	5'-0"
AREA BREAKDOWN		
	FLOOR AREA	NON-CONDITIONED TOTAL
GROUND FLOOR	N/A	1/1
SECOND FLOOR	N/A	1/1
THIRD FLOOR	N/A	1/1
FOURTH FLOOR	N/A	1/1
ROOF	N/A	2/2
LIGHTING		
0.5 MAX LUMENS AT ALL PROPERTY LINES		
FLOOD INFORMATION		
BASE FLOOD ELEVATION = N/A		
GREEN BUILDING PRACTICES		
1.	ALL ENERGY STAR APPLIANCES. ALL PERMANENT APPLIANCES IN THE RESIDENCE THAT CAN BE ENERGY STAR RATED MUST BE SORTATED TO CLAIM THIS ITEM. (THIS INCLUDES REFRIGERATOR, STOVE, WASHINGMACHINE, DRYER, ETC. ITEMS NOT COVERED ARE COUNTERTOP APPLIANCES SUCH AS TOASTERS, MIXERS, ETC.) ENERGY STAR APPLIANCES MUST BE VERIFIED BY BUILDING INSPECTOR ON SITE AT FINAL INSPECTION.	
2.	NO SHOWER WITH MORE THAN ONE SHOWER HEAD, AND ALL LOW FLOW SHOWER HEADS. LOW FLOW SHOWER HEADS ARE RATED AT A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE AT 80 PSI WATER PRESSURE. ONE SHOWER HEAD PER SHOWER AND LOW FLOW SHOWER HEADS MUST BE SHOWN ON PLUMBING PLANS AND VERIFIED BY PLUMBING INSPECTOR ON SITE AT FINAL INSPECTION.	
3.	RECYCLING. A DEDICATED STORAGE AREA FOR A GARBAGE BIN AND A RECYCLE BIN, SIZED TO FIT BOTH, MUST BE SHOWN ON THE PLANS. DEDICATED STORAGE AREA SHALL BE VERIFIED BY PLANS EXAMINER. PLANS FOR KITCHEN MUST INCLUDE PULL-OUT RECYCLE AND GARBAGE BINS BUILT INTO CABINETS. PULL-OUT BINS BUILT INTO CABINETS SHALL BE VERIFIED BY PLANS EXAMINER AT PERMIT REVIEW AND BY BUILDING INSPECTOR AT FINAL INSPECTION.	
4.	ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).	
5.	ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.	
6.	PROGRAMMABLE THERMOSTATS.	
7.	DUAL FLUSH TOILETS. THESE TOILETS WHEN FLUSHED USE LESS THAN ONE GALLON TO FLUSH LIQUID AND 1.6 GALLONS OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILET. SYSTEM MUST BE VERIFIED BY PLUMBING INSPECTOR AT FINAL INSPECTION.	
8.	AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT , SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTOR PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.	
9.	ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. SUGGESTED LIGHTS FOR OUTDOOR SPACES INCLUDE FLUORESCENT BULBS AND FIXTURES WITH ELECTRONIC BALLASTS (MORE EFFICIENT THAN MAGNETIC TYPES. LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAIC SYSTEMS. LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON A TIMER. ALL ENERGY-EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY ELECTRICAL INSPECTOR AT FINAL INSPECTION.	
10.	TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER. DOCUMENTATION OF ENERGY SAVINGS MUST BE PROVIDED. PRODUCT APPROVALS SHOULD BE PROVIDED WITH PLANS AND SHALL INDICATE TOTAL ENERGY DEMAND. TANKLESS WATER HEATER SHALL BE SHOWN ON PLANS AND SHALL PASS ALL REQUIRED INSPECTIONS.	
11.	ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE. MINIMALLY, THE FOLLOWING SHALL BE INSTALLED: AN EMPTY THREE-QUARTER-INCH RACEWAY FROM THE BRANCH CIRCUIT PANEL BOARD TO A LOCATION IN THE GARAGE OR A DESIGNATED PARKING AREA, WITH A TWO-GANG JUNCTION BOX WITH A BLANK PLATE.	
SITE PLAN NOTES		
1.	ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING APPROVAL AND MAY BE SUBJECT TO BOARD APPROVAL.	
2.	ALL SIGNAGE SHALL FOLLOW THE ZONING AND LAND DEVELOPMENT REGULATIONS.	
3.	A SEPARATE PERMIT SHALL BE REQUIRED FOR EACH SIGN.	
4.	ALL ELECTRICALLY ILLUMINATED SIGNS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT INSPECTION.	
5.	ALL EXTERIOR WALKWAY AND SIDEWALK SURFACES TO BE ADA COMPLIANT.	
ADA NOTES		
1.	ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS	

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

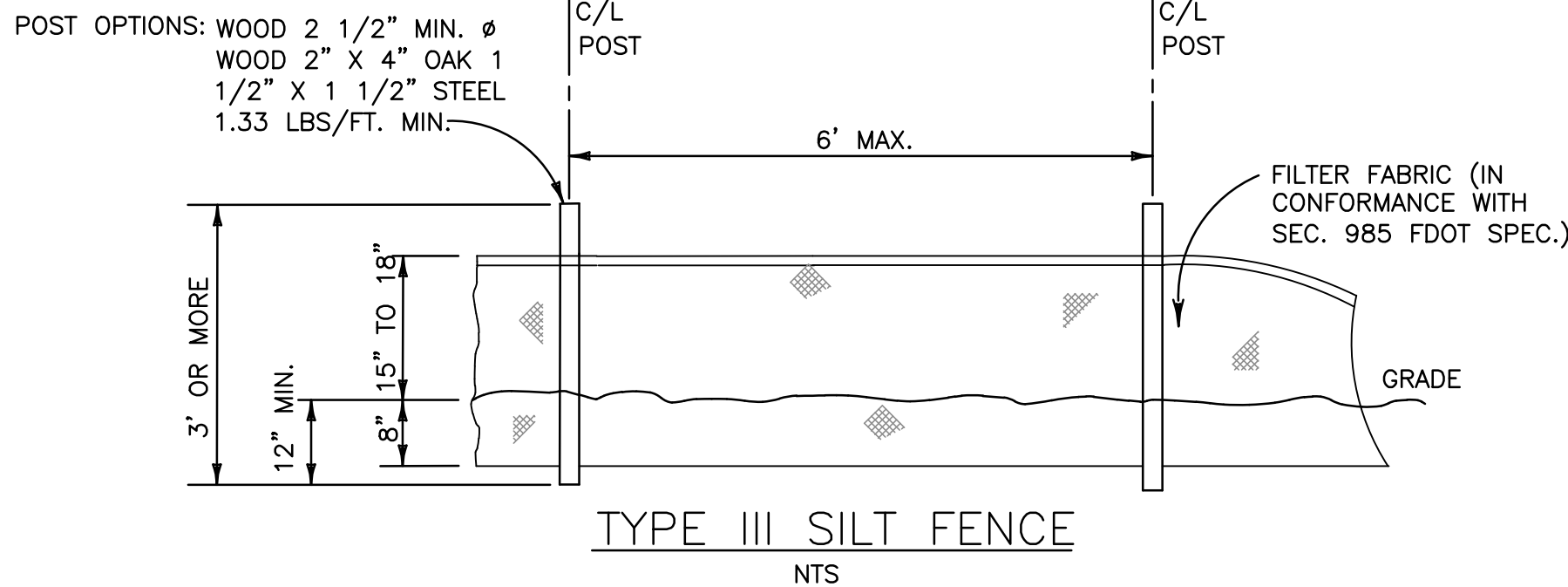


LOCATION MAP

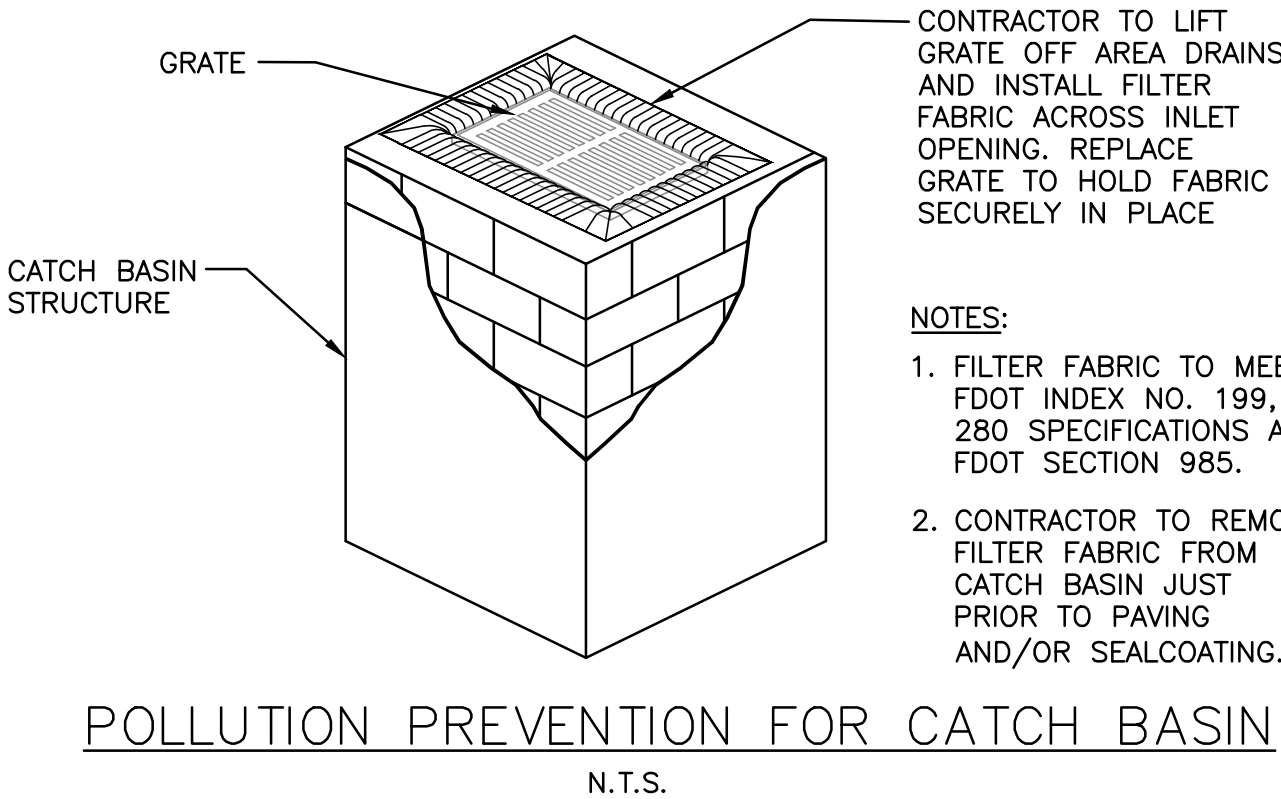
NOT TO SCALE

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



TYPE III SILT FENCE
NTS



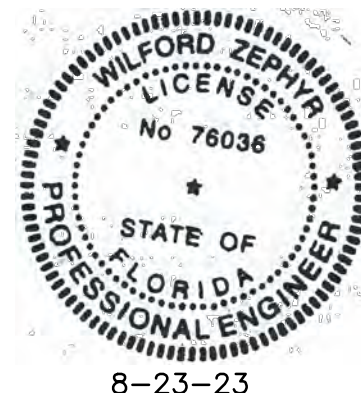
POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.

LEGEND

- | | | | |
|--|----------------------|--|------------------------|
| | PROPOSED CONCRETE | | PROPOSED WATER METER |
| | PROPOSED ASPHALT | | EXISTING WATER METER |
| | PROPOSED GRADE | | EXISTING WATER VALVE |
| | EXISTING ELEVATION | | PROPOSED BFP DEVICE |
| | PROPOSED CATCH BASIN | | EXISTING SAN. SEWER MH |
| | EXISTING CATCH BASIN | | EXISTING FIRE HYDRANT |

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

ZE

ARTHUR STREET APARTMENTS

1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/22/23

SCALE: 1"=10'

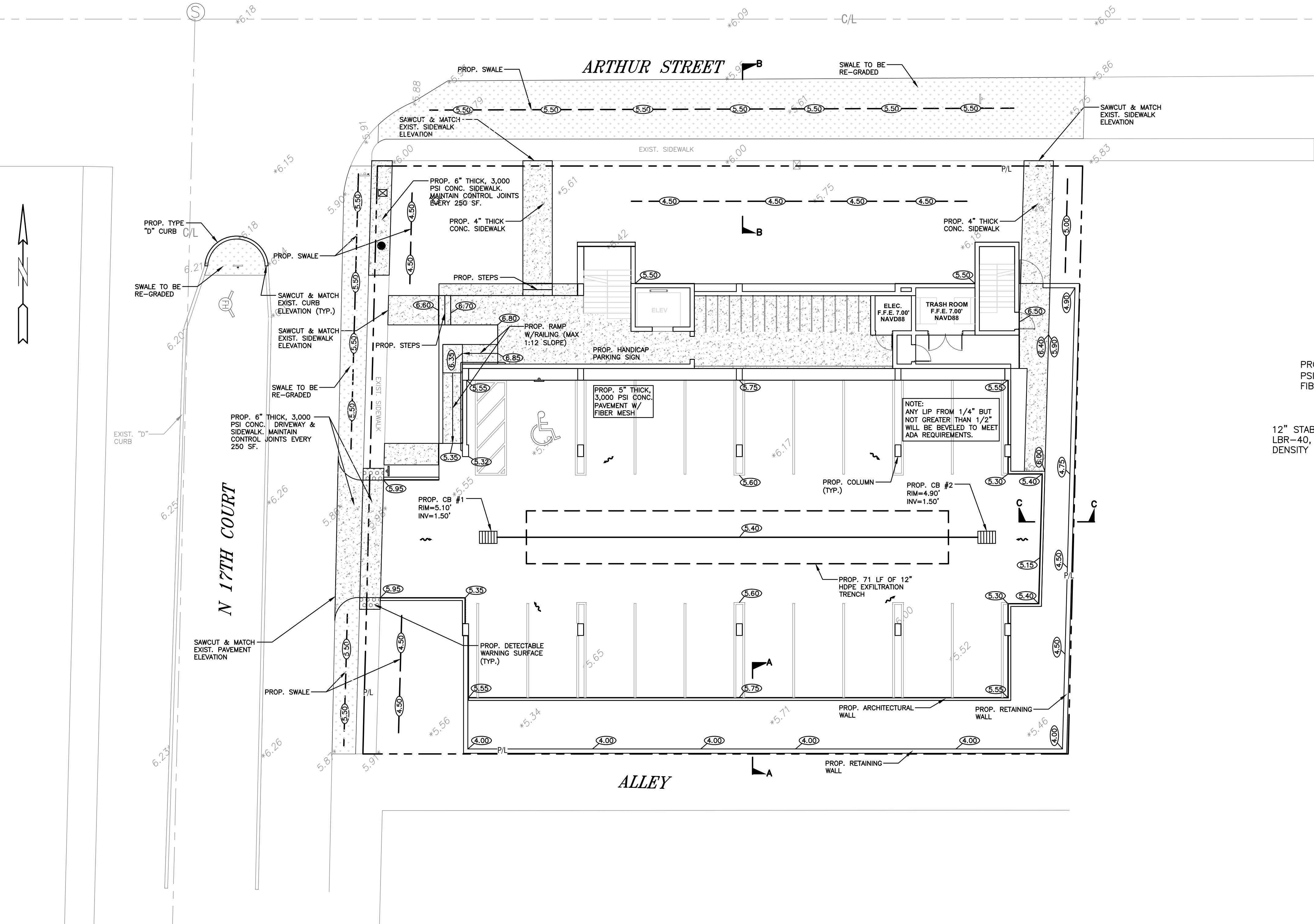
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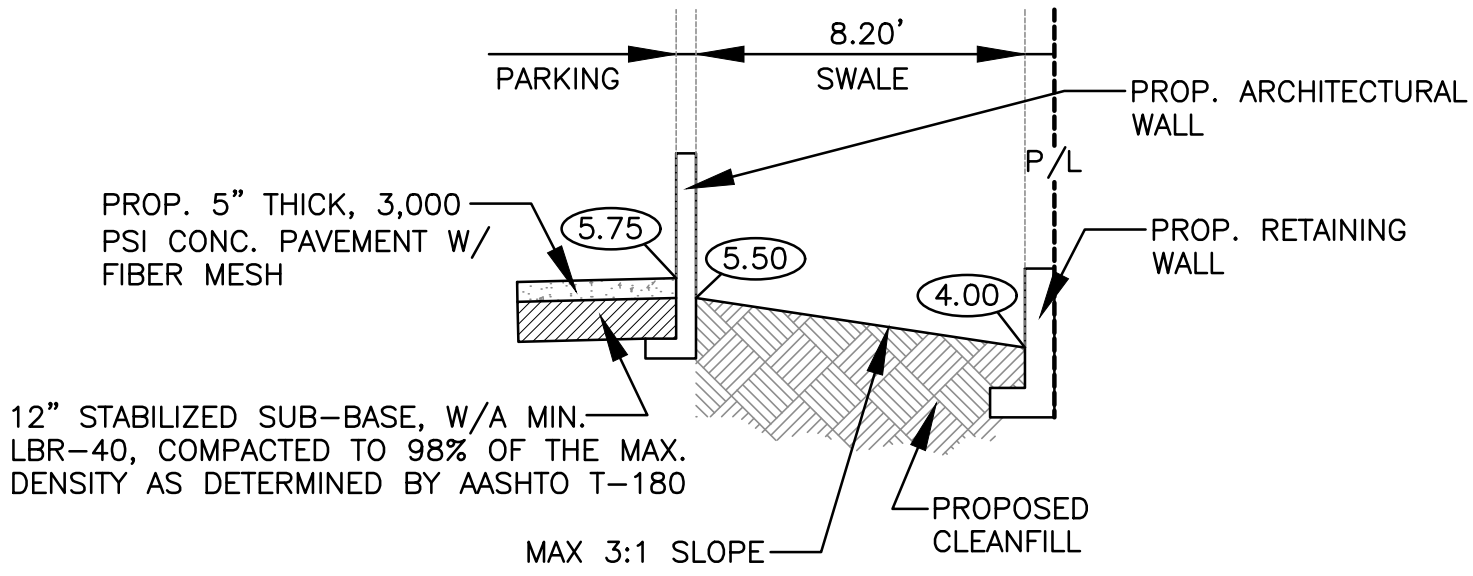
1 OF 8

PROJECT NO.: 23-38

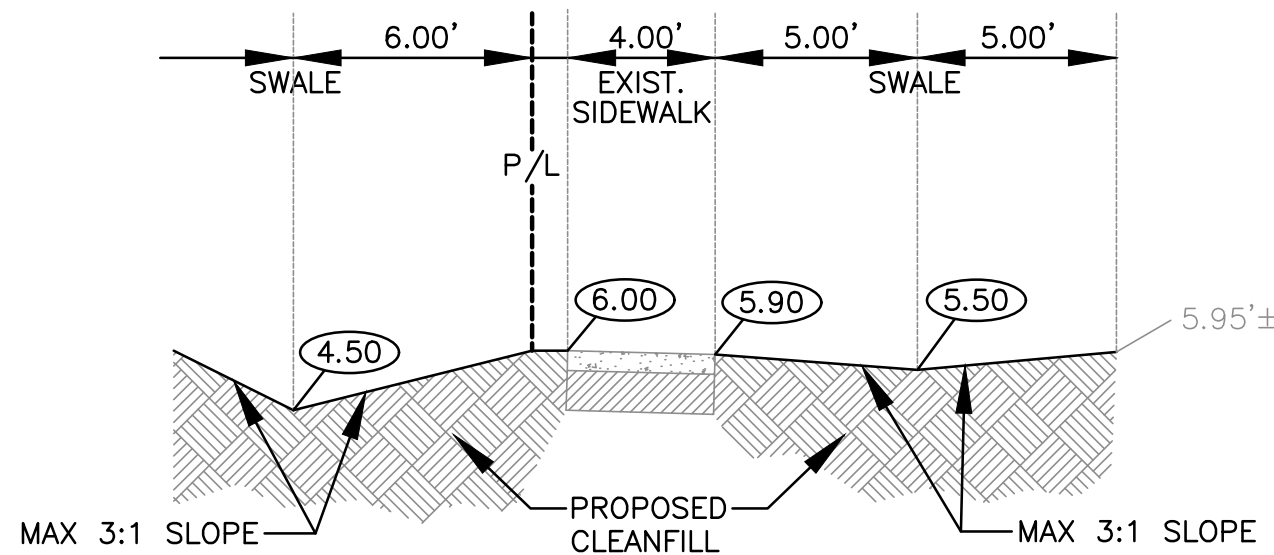
ALL ELEVATIONS ARE REFERENCED
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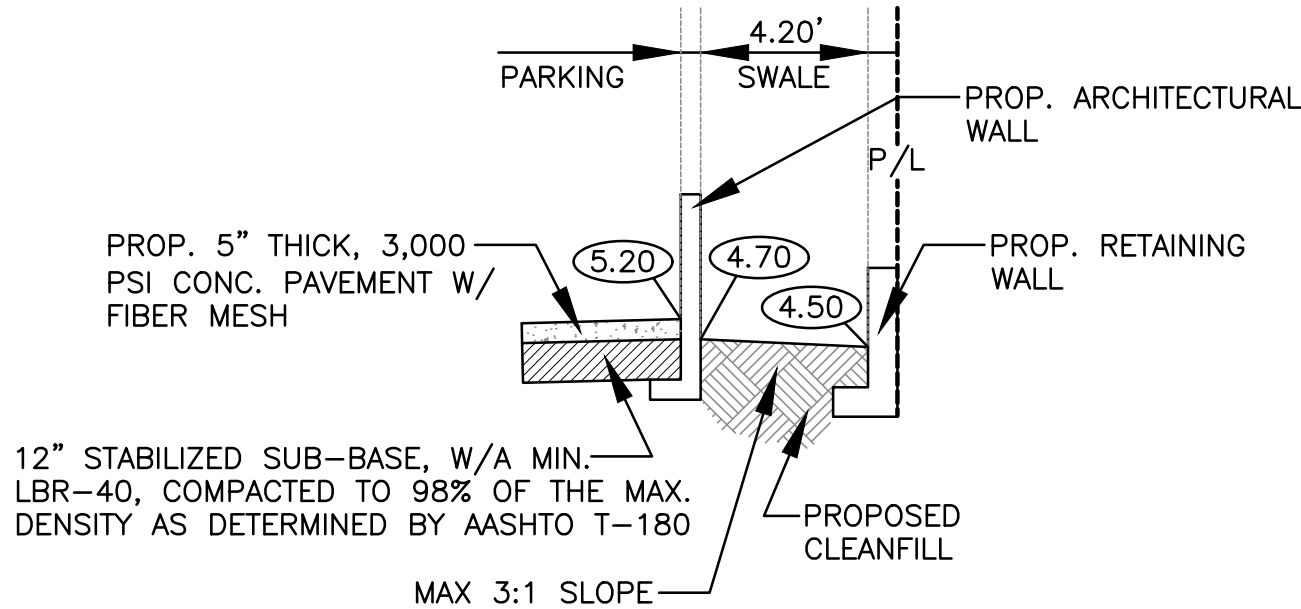
- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



SECTION A-A
N.T.S.

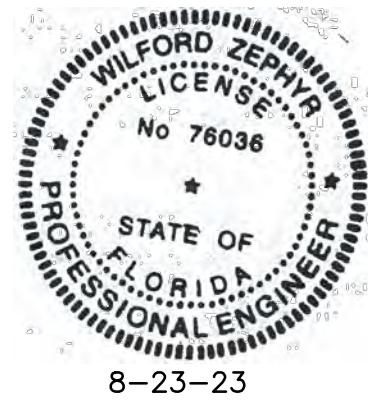


SECTION B-B
N.T.S.



SECTION C-C
N.T.S.

- LEGEND**
- | | |
|----------------------|------------------------|
| PROPOSED CONCRETE | PROPOSED WATER METER |
| PROPOSED ASPHALT | EXISTING WATER METER |
| PROPOSED GRADE | EXISTING WATER VALVE |
| EXISTING ELEVATION | PROPOSED BFP DEVICE |
| PROPOSED CATCH BASIN | EXISTING SAN. SEWER MH |
| EXISTING CATCH BASIN | EXISTING FIRE HYDRANT |



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PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=10'

REVISIONS

NO. DATE DESCRIPTION

ZEPHYR ENGINEERING

ZE

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/22/23

SCALE: 1"=10'

SHEET NO.:

C2

2 OF 8

PROJECT NO.: 23-38

GENERAL CONDITION NOTES :

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

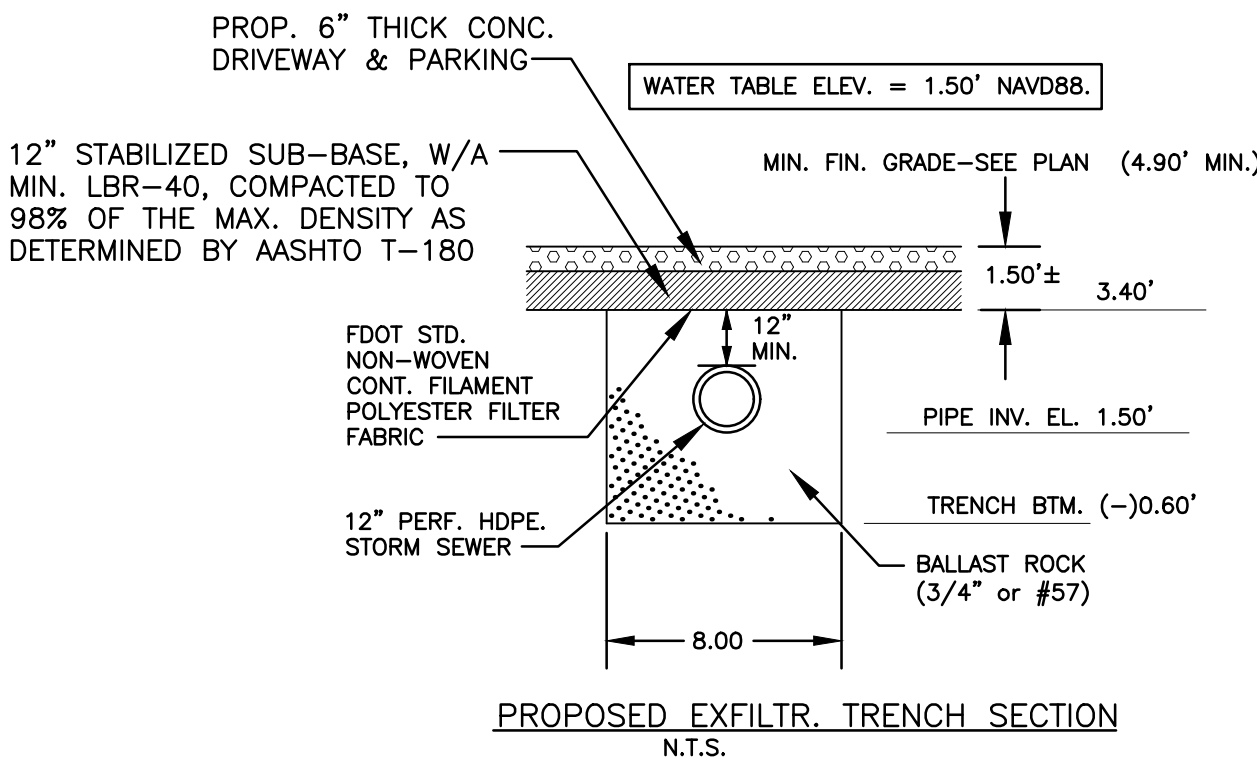
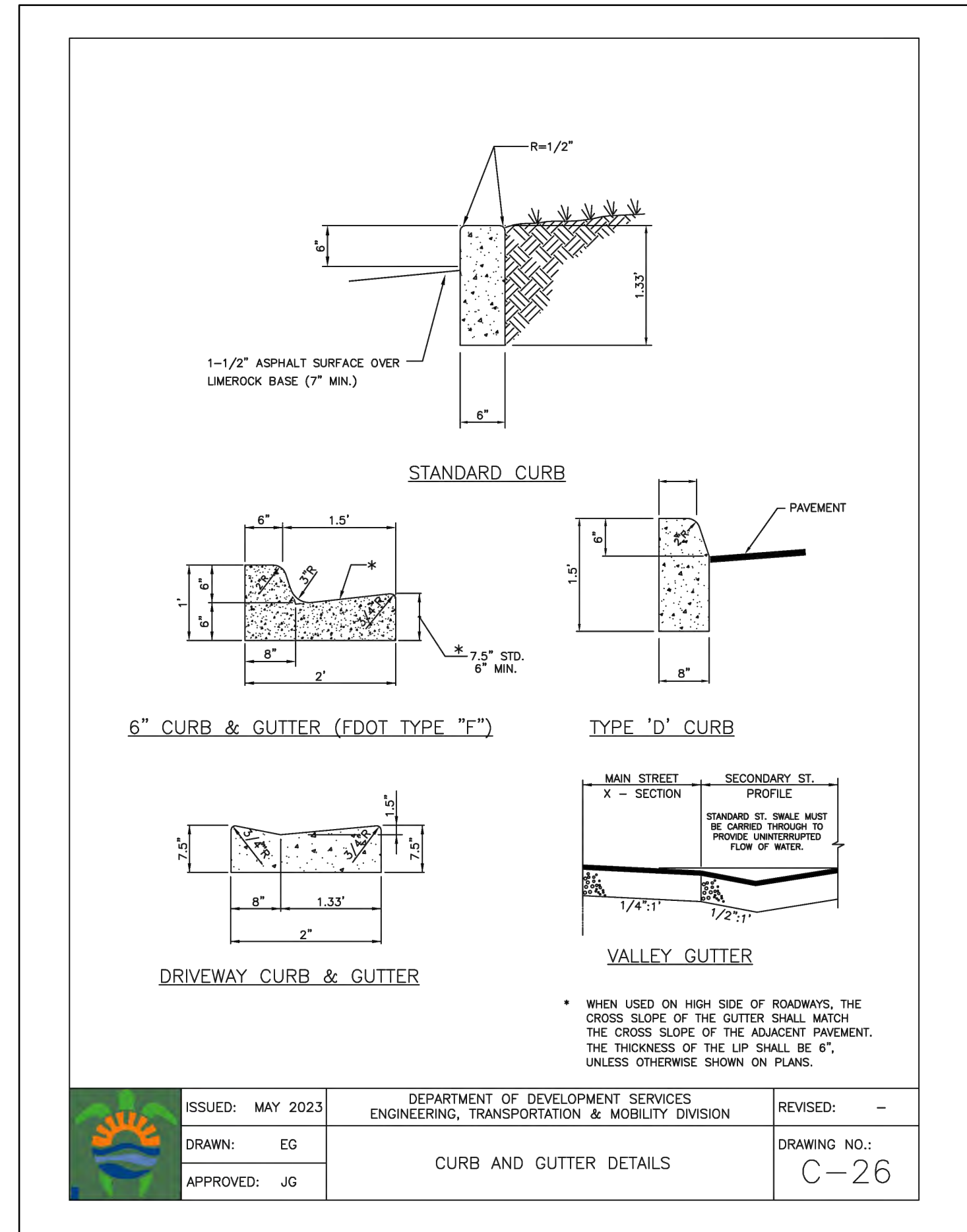
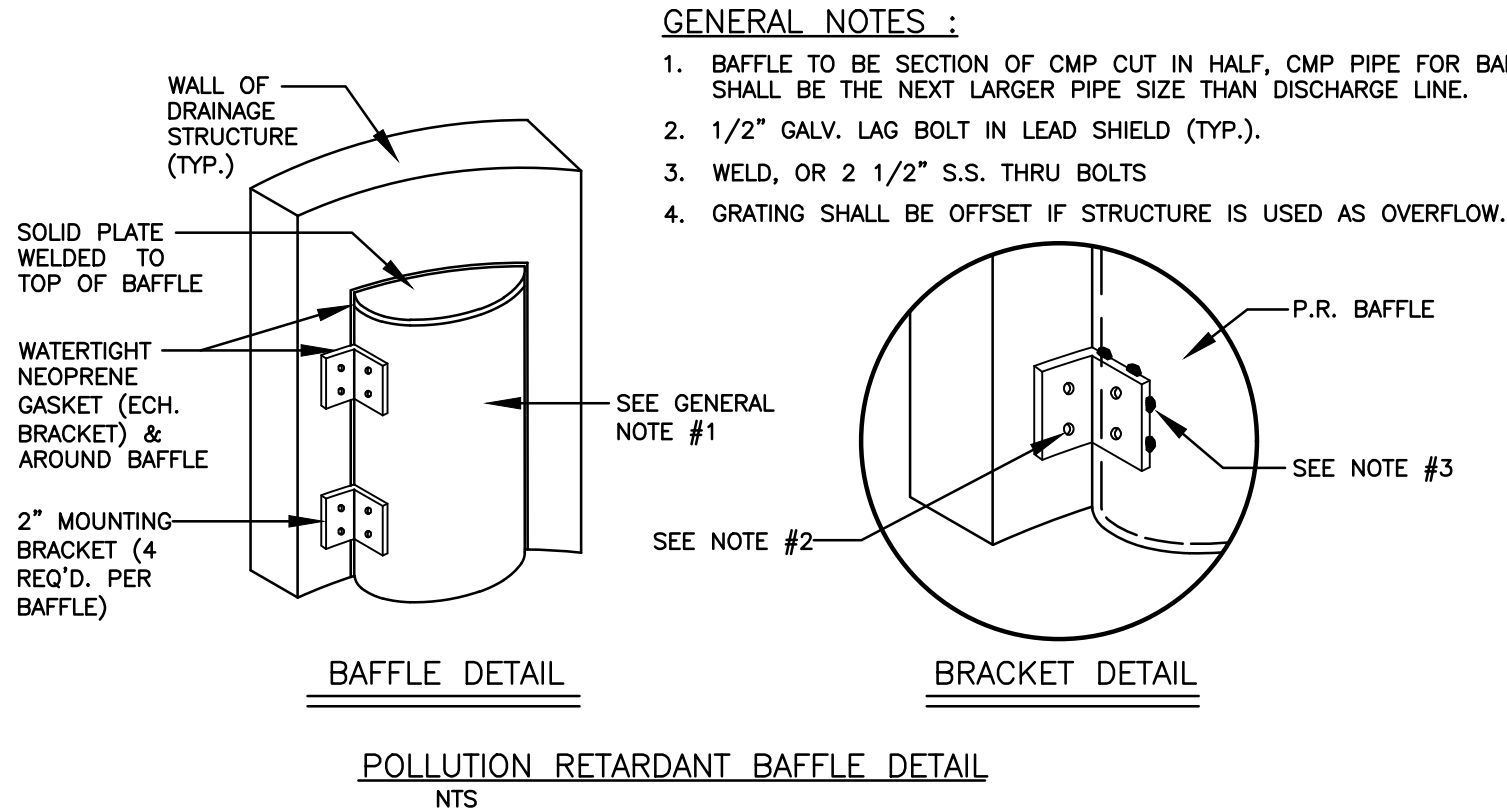
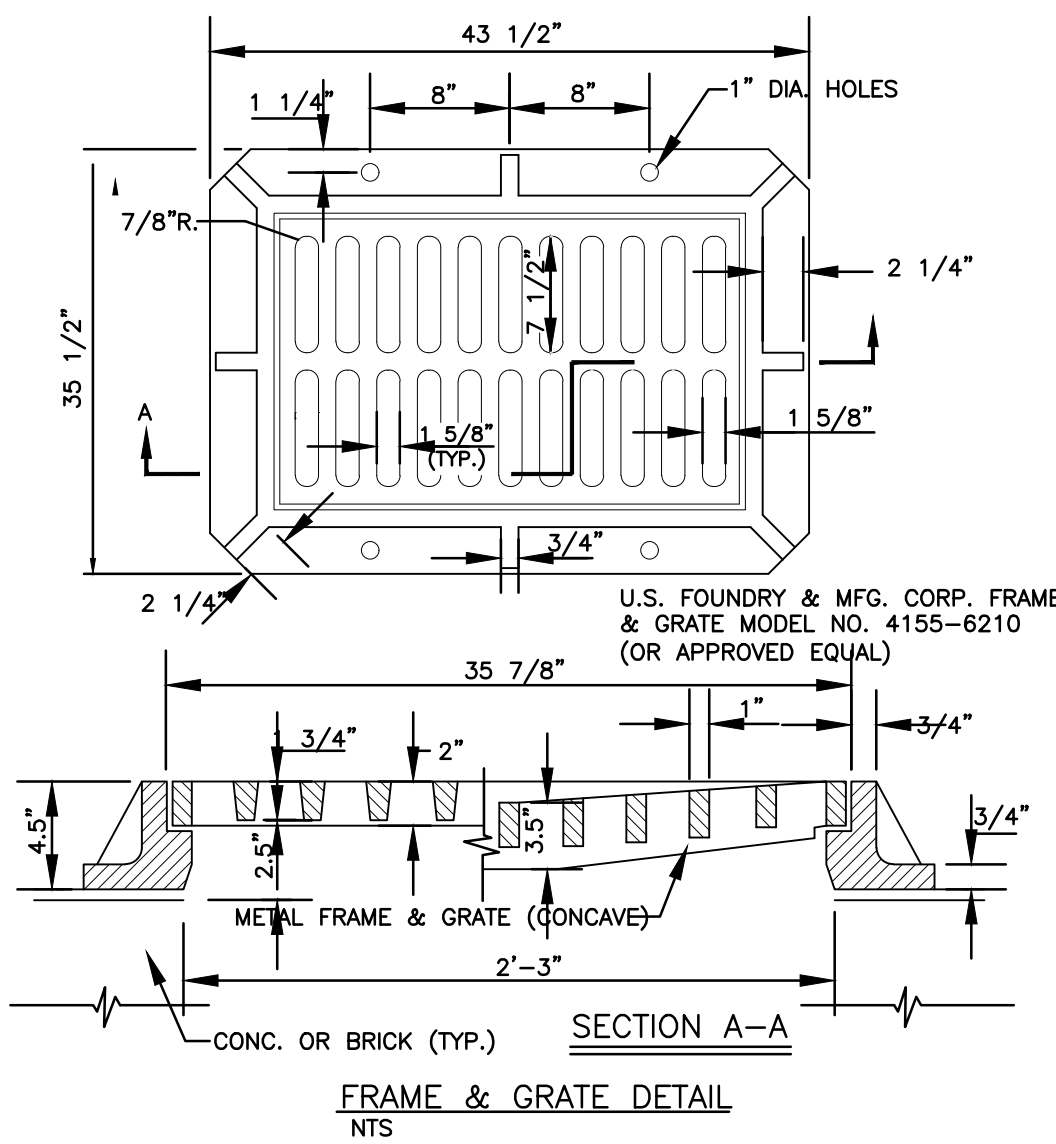
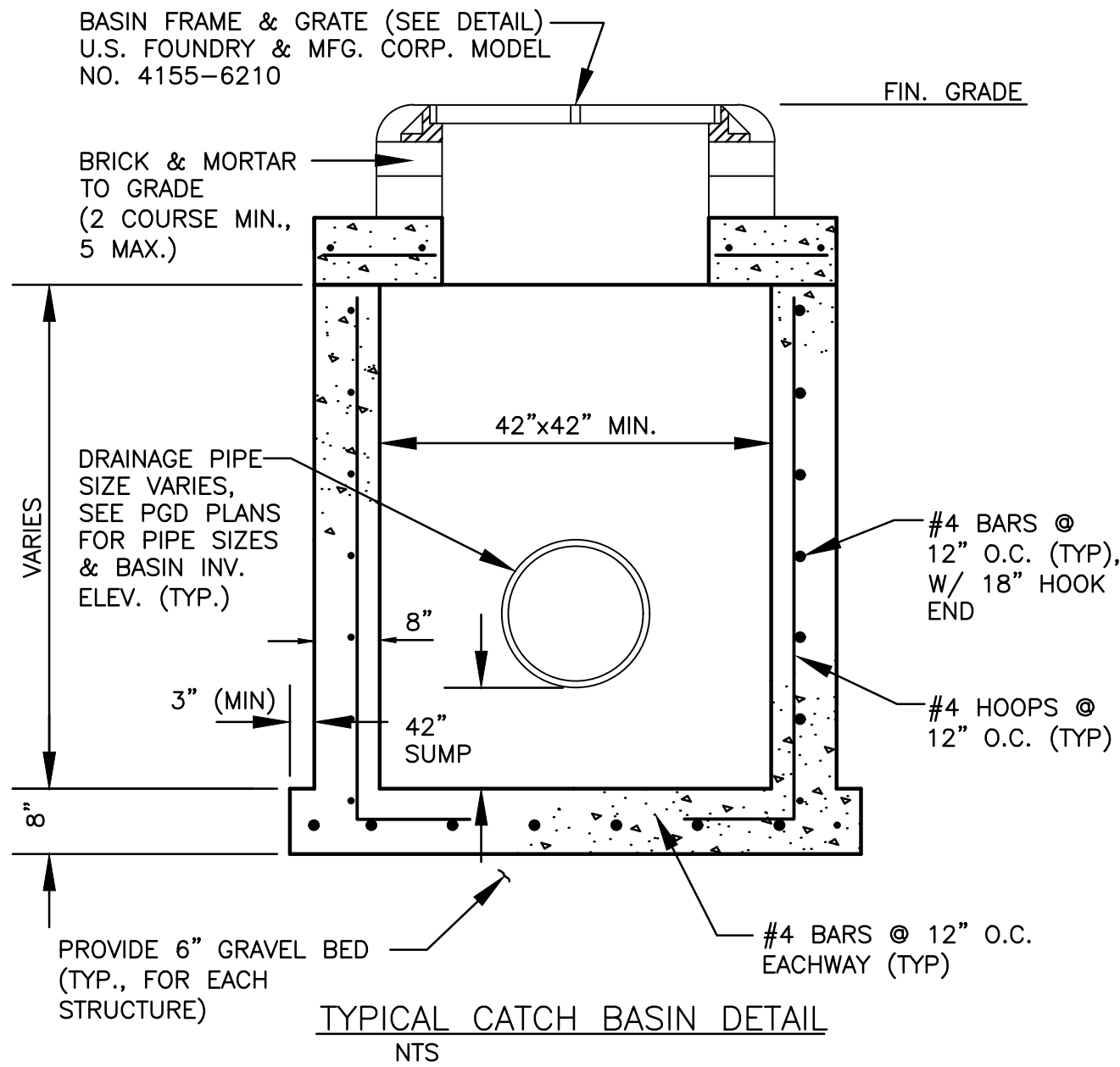
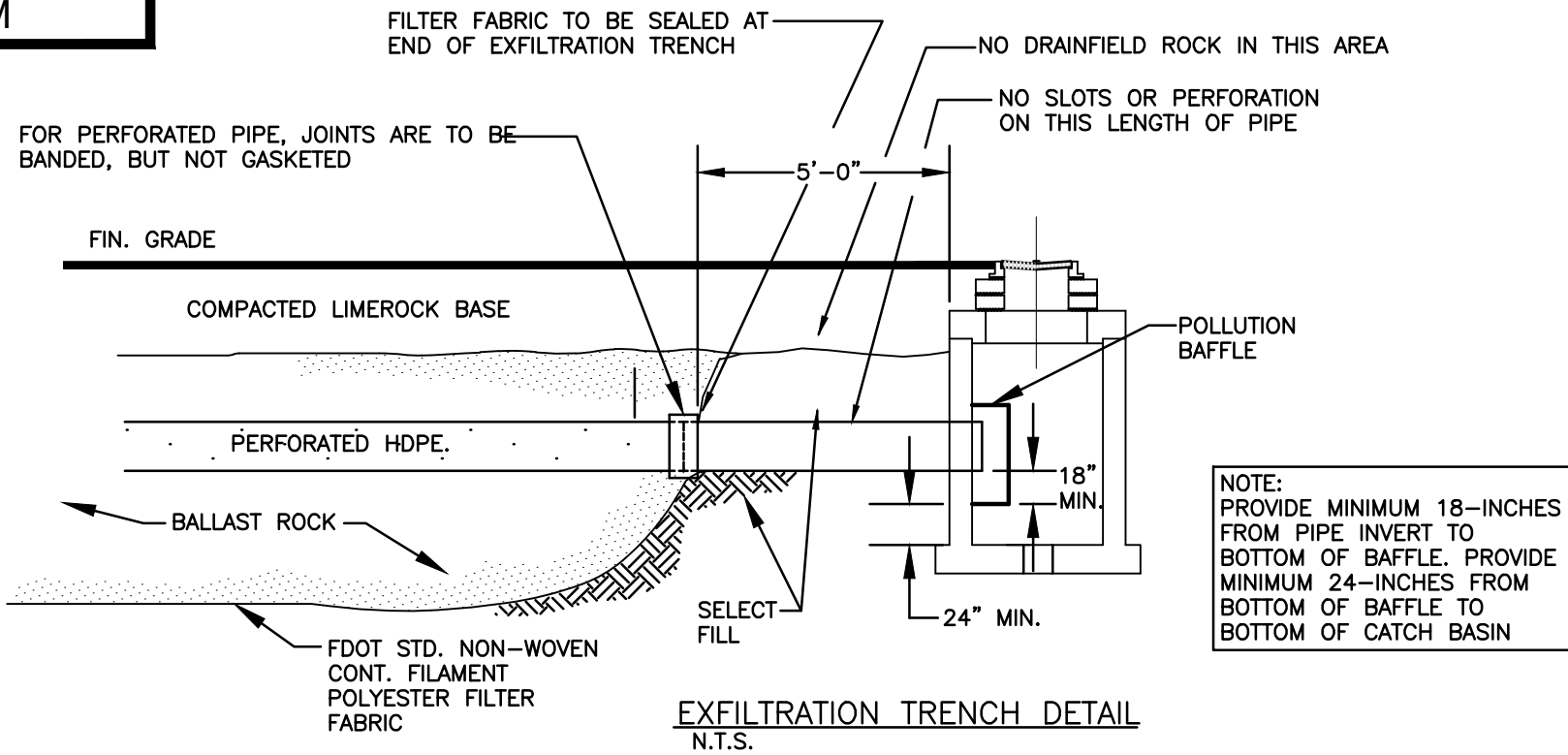
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

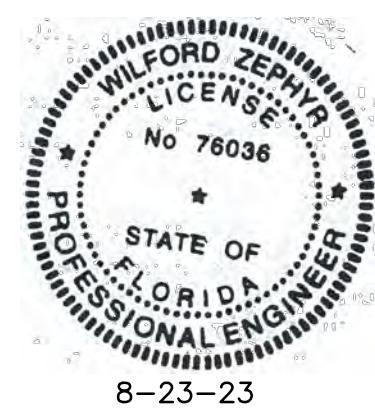
PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



CIVIL DETAILS I

SCALE: N.T.S.



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ARTHUR STREET APARTMENTS

1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/22/23

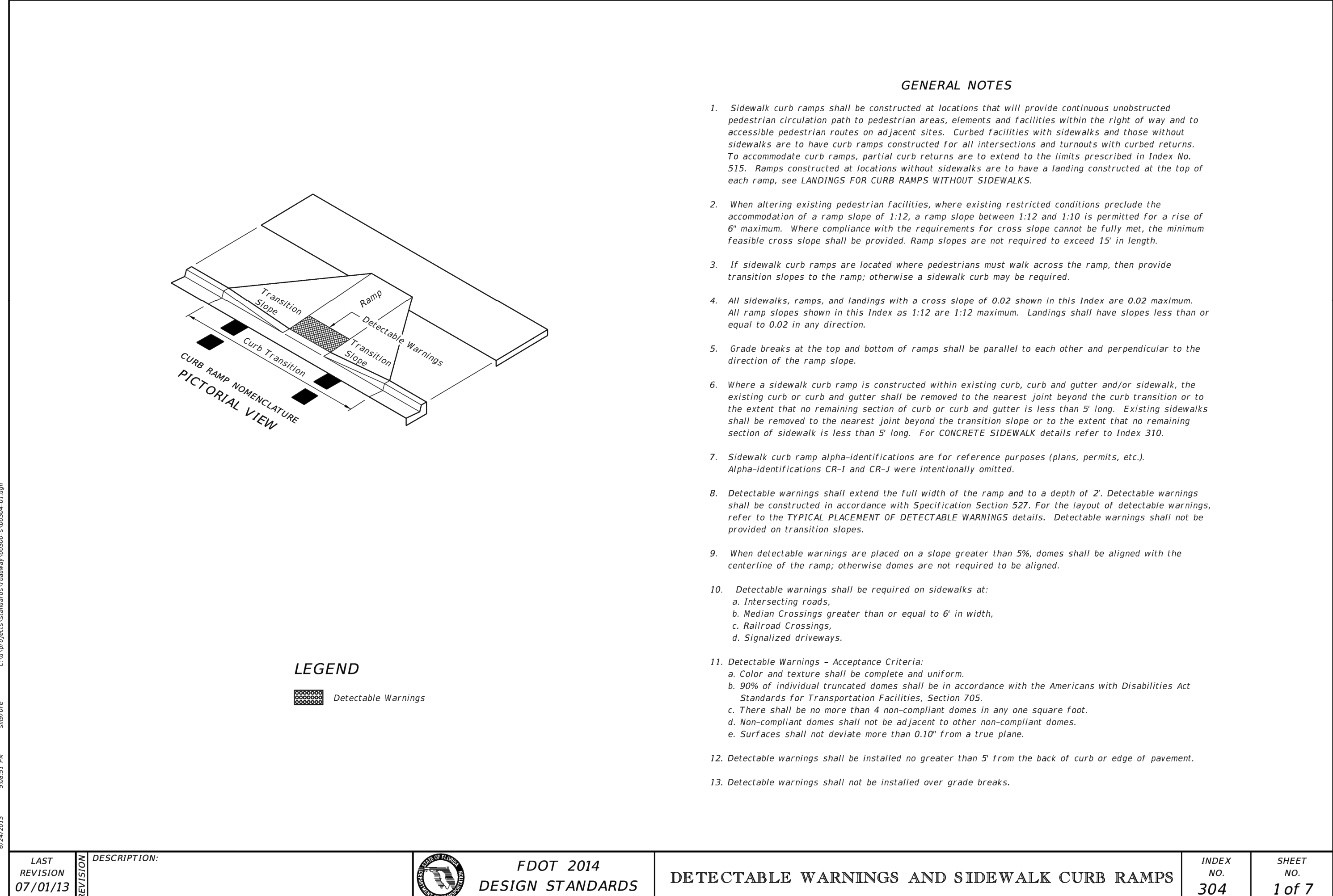
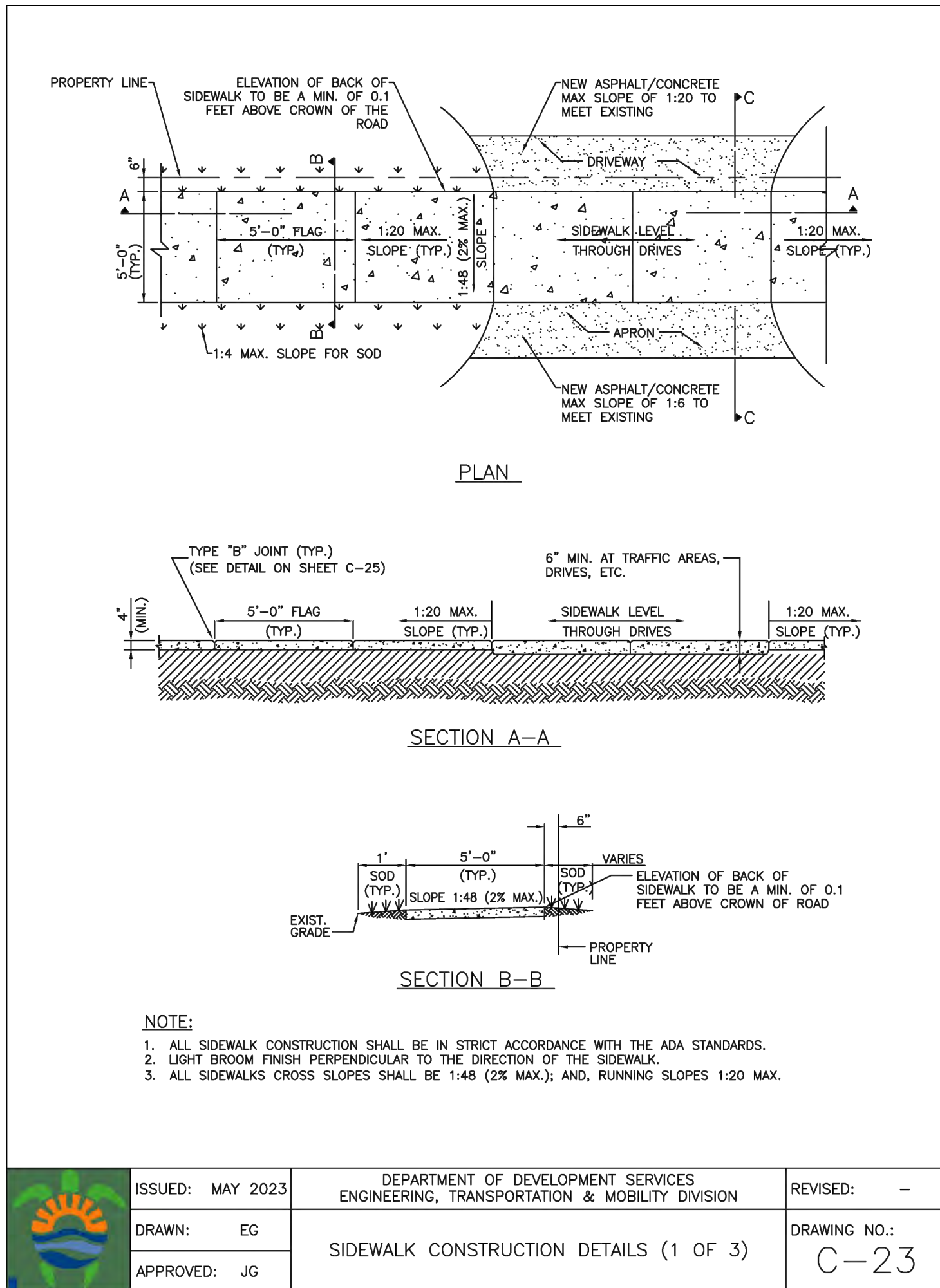
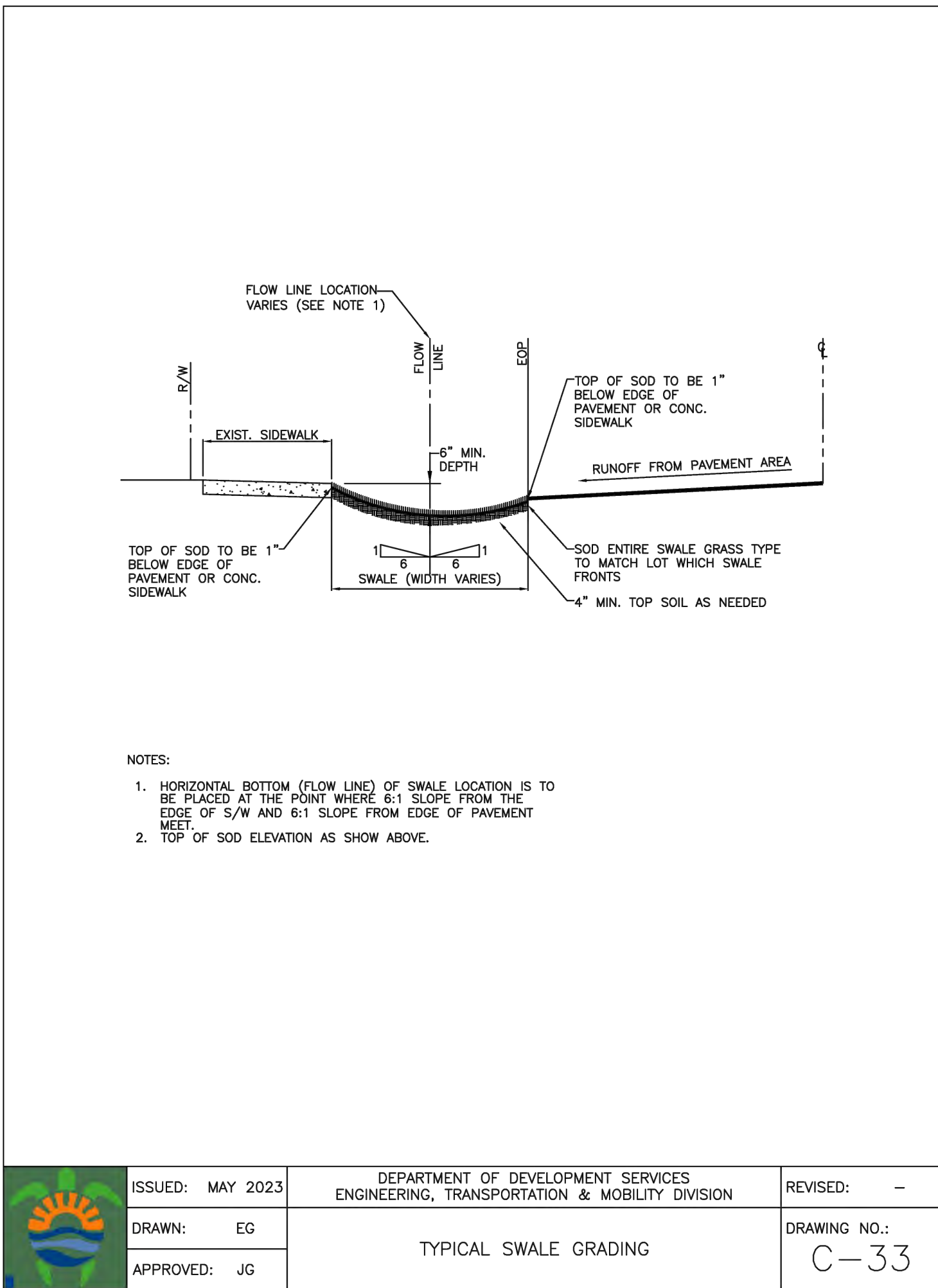
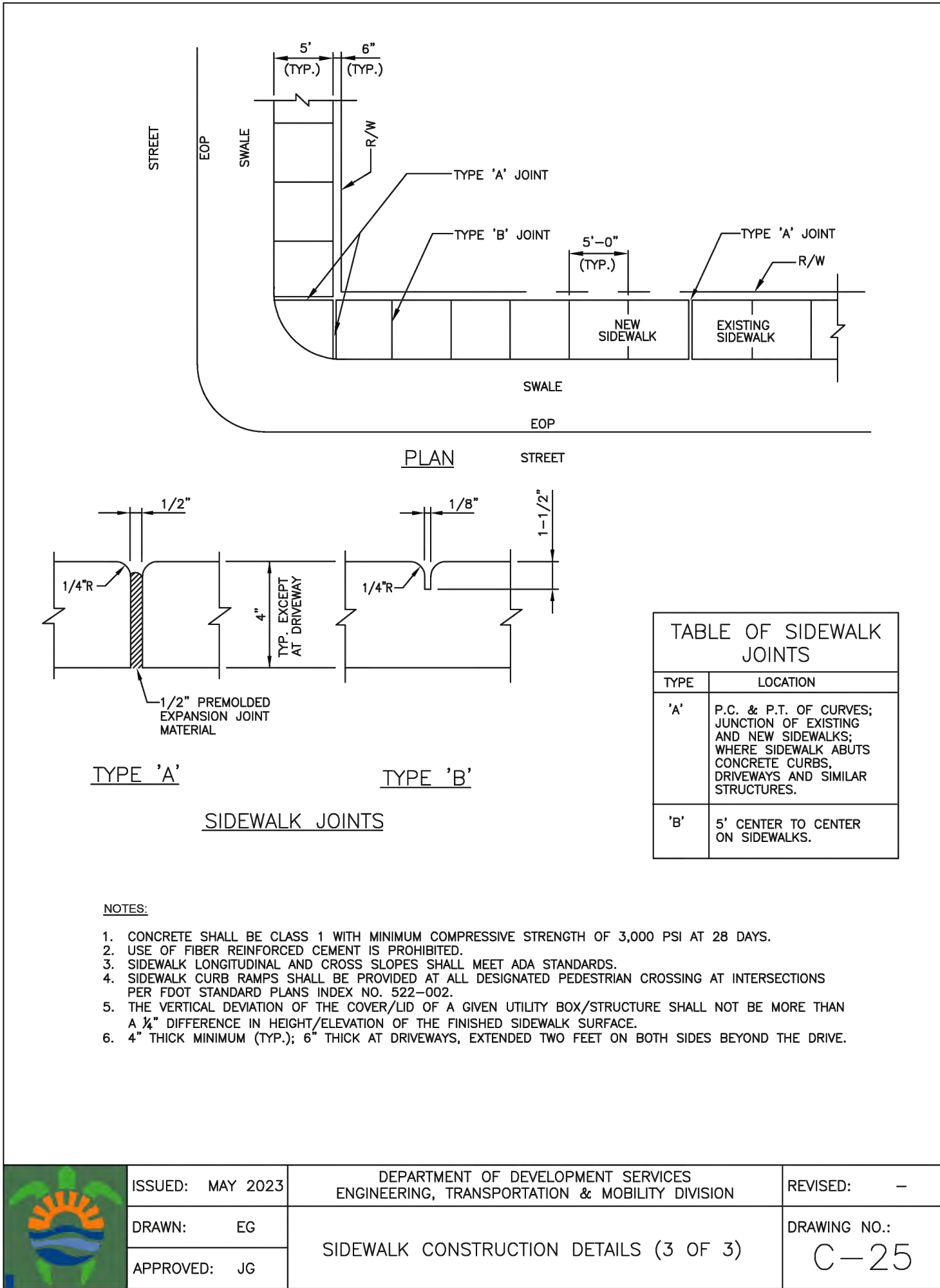
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SHEET NO.:

C3

3 OF 8

PROJECT NO.: 23-38

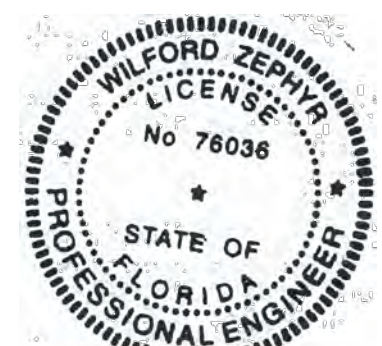


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CIVIL DETAILS II
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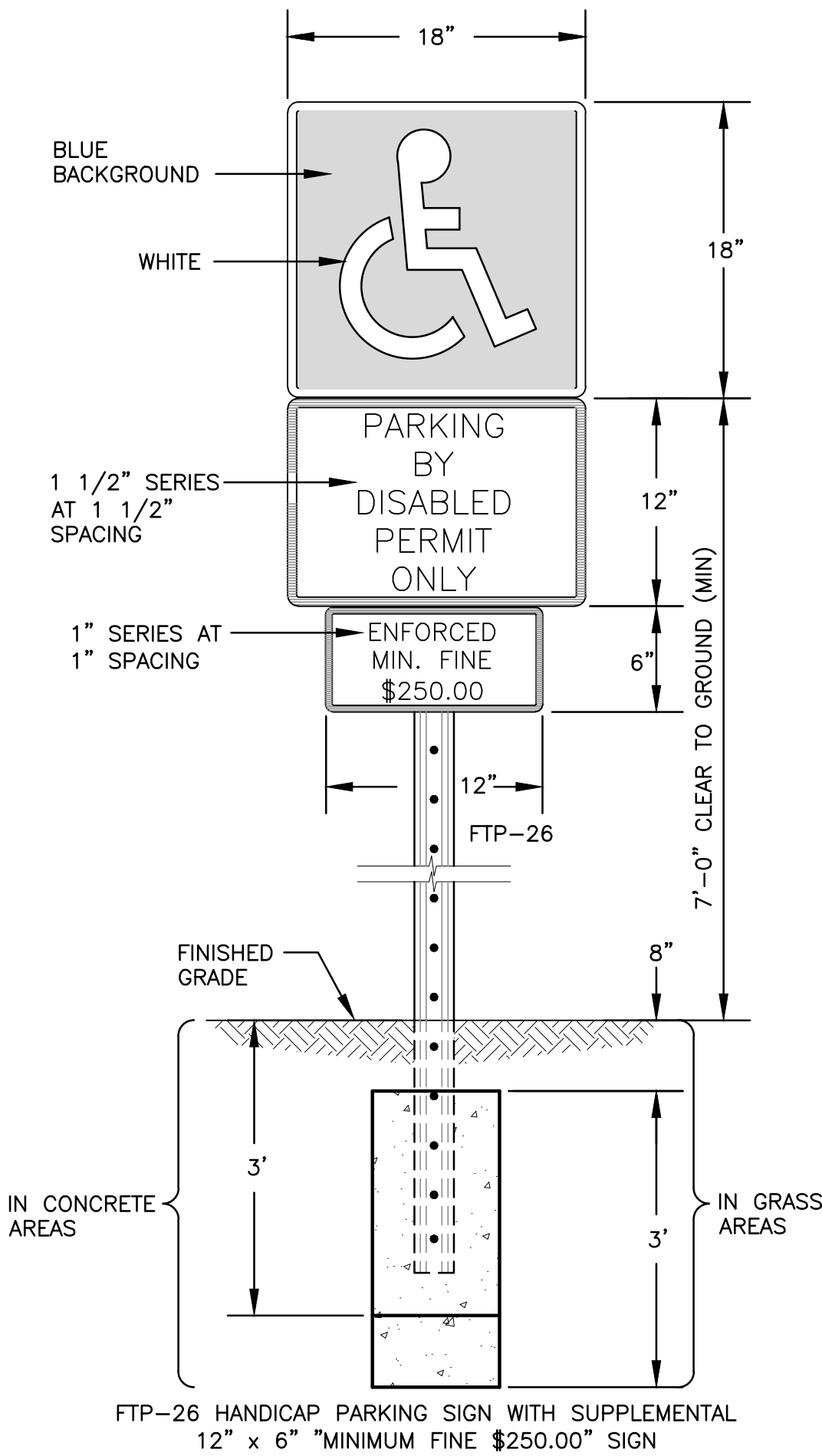
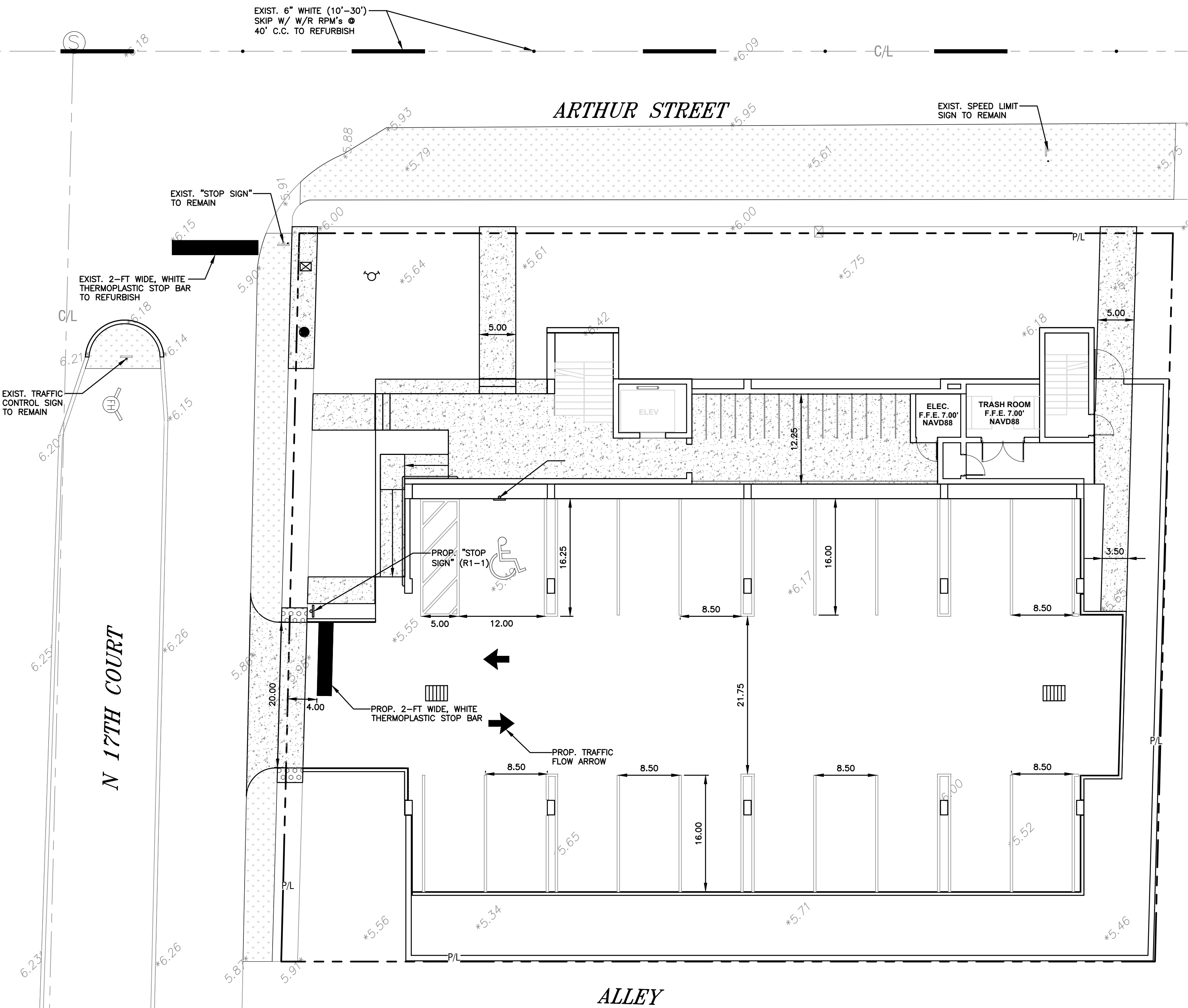
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PROJECT NO.: 23-38

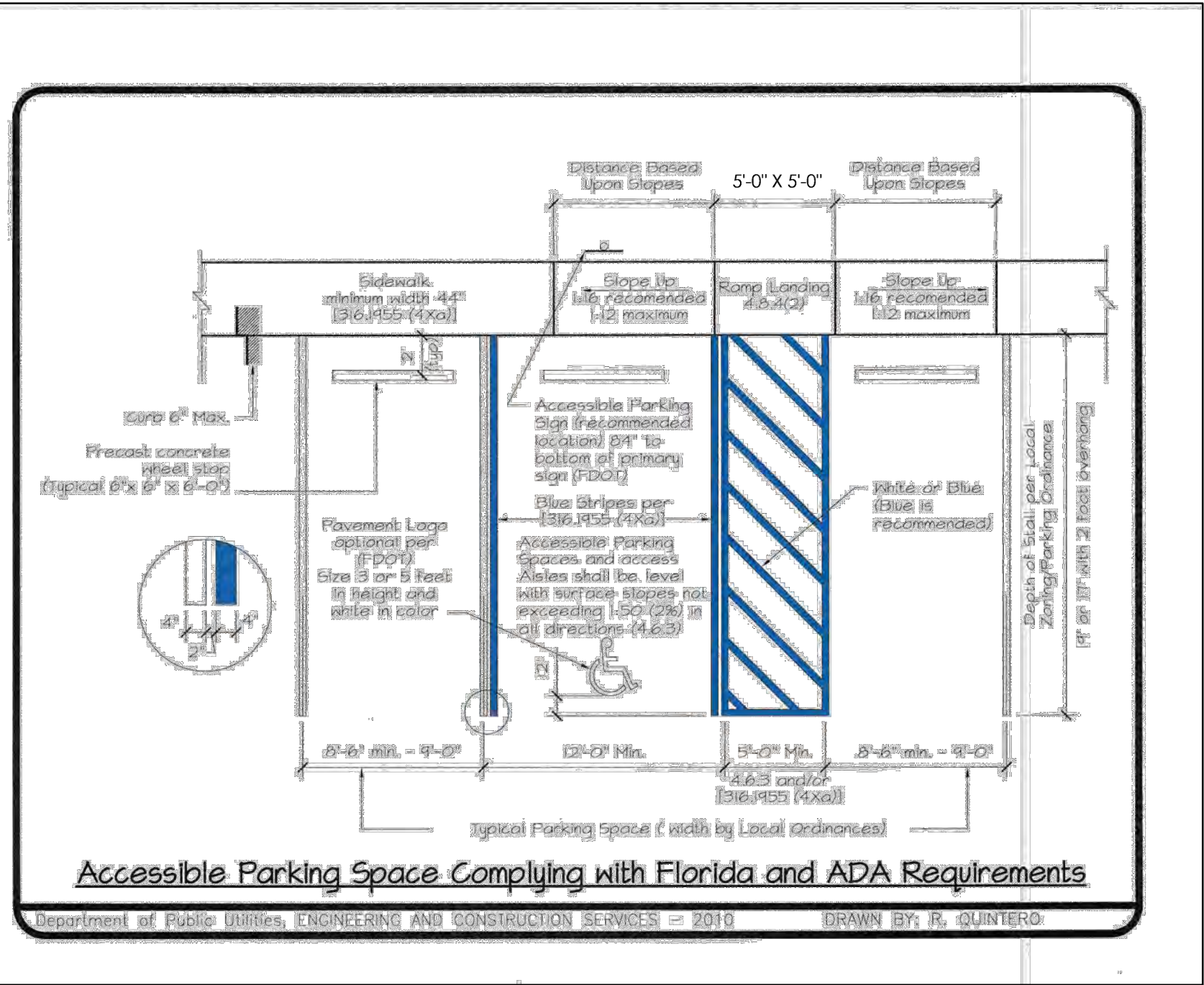
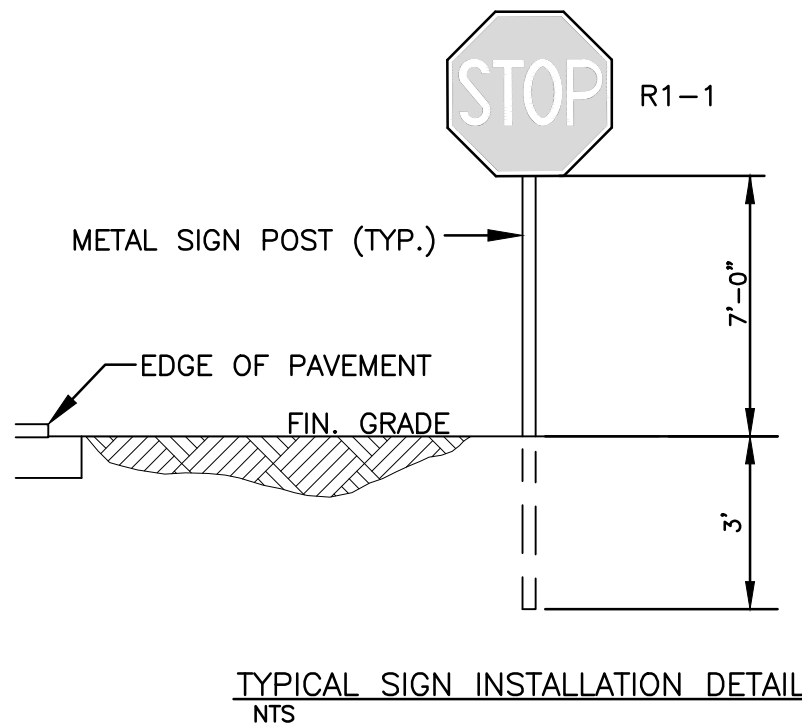
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

BCTED NO. XXXXXXXX



- NOTES:
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

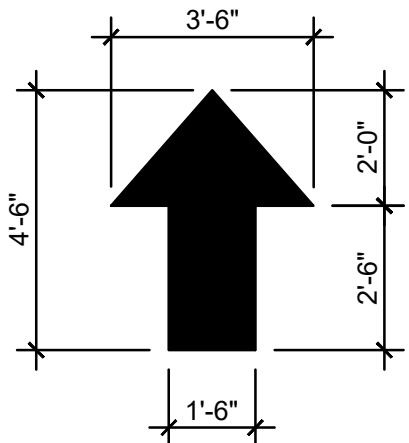
HANDICAP PARKING SIGN DETAIL
NTS



TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.

TRAFFIC CONTROL ARROWS DETAILS
NTS



LEGEND			
	PROPOSED CONCRETE		PROPOSED WATER METER
	PROPOSED ASPHALT		EXISTING WATER METER
	PROPOSED GRADE		EXISTING WATER VALVE
	EXISTING ELEVATION		PROPOSED BFP DEVICE
	PROPOSED CATCH BASIN		EXISTING SAN. SEWER MH
	EXISTING CATCH BASIN		EXISTING FIRE HYDRANT



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PAVEMENT MARKINGS & SIGNAGE PLAN
SCALE: 1"=10'

REVISIONS		DESCRIPTION
NO.	DATE	

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DATE: 8/22/23

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SHEET NO.:

C5

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PROJECT NO.: 23-38

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NO.	DATE	DESCRIPTION	

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CA# 31158

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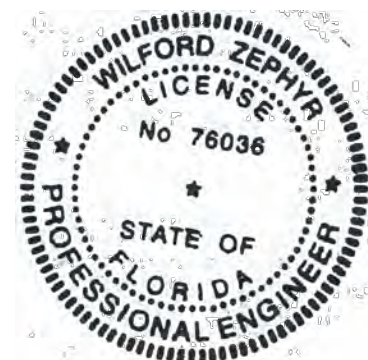
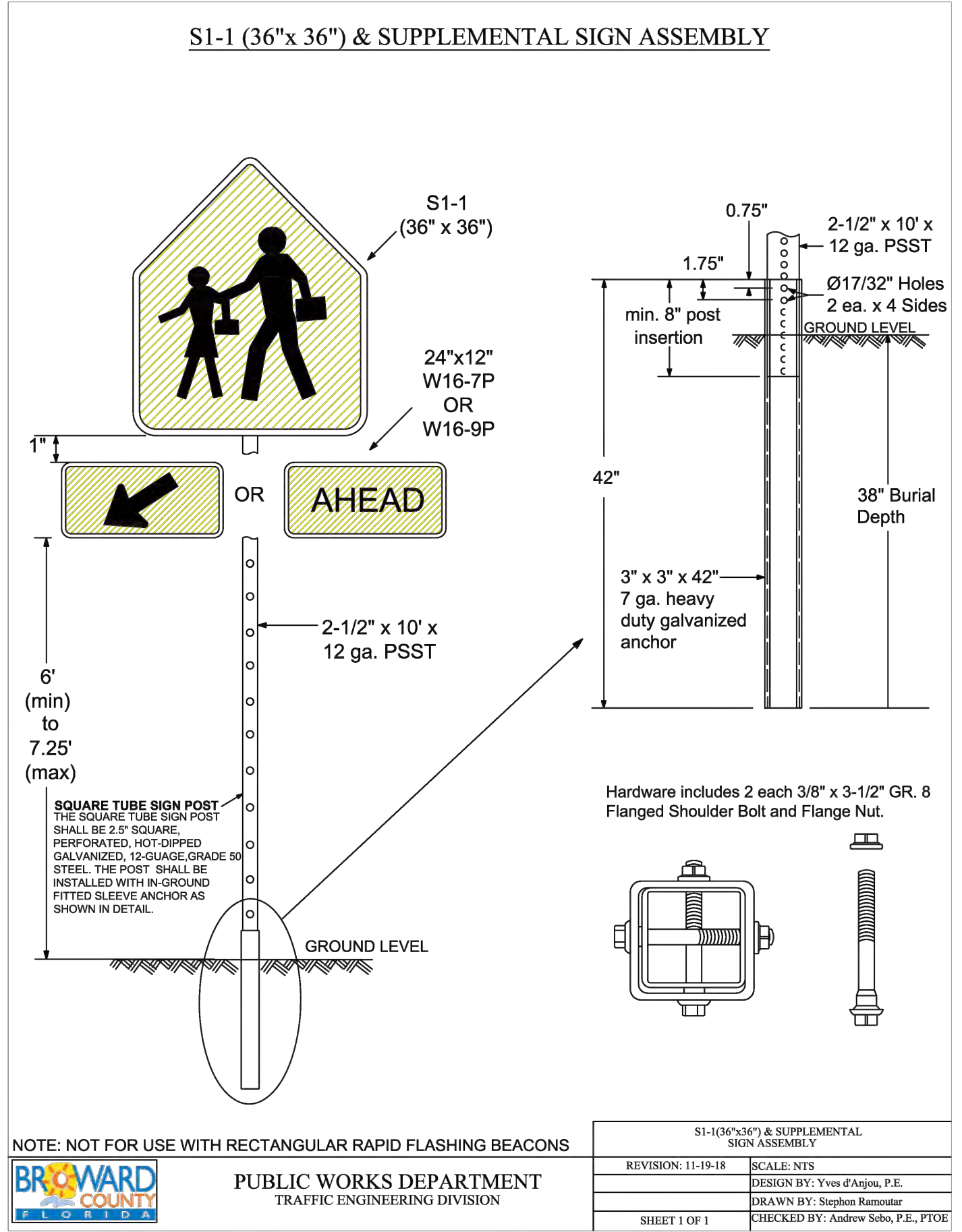
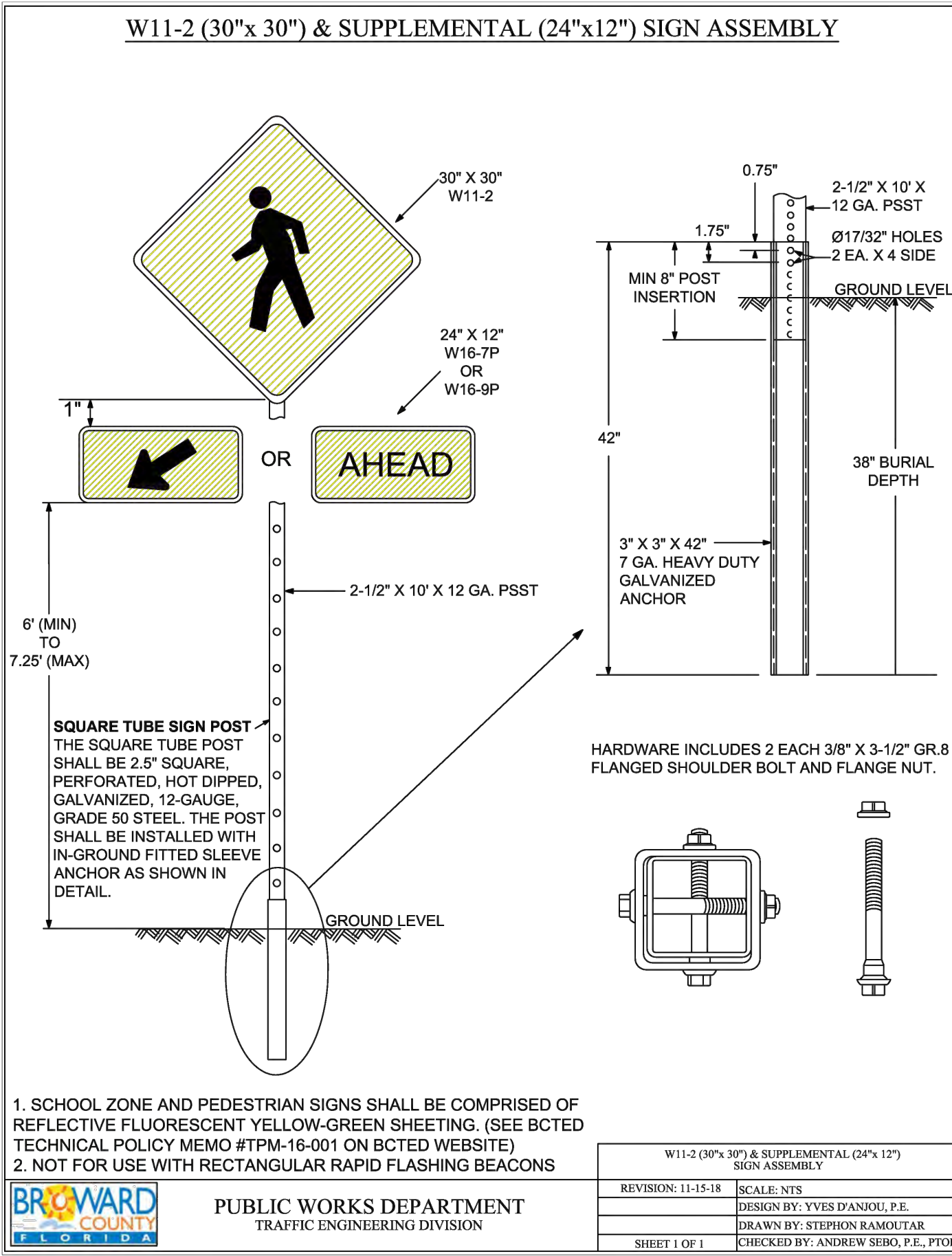
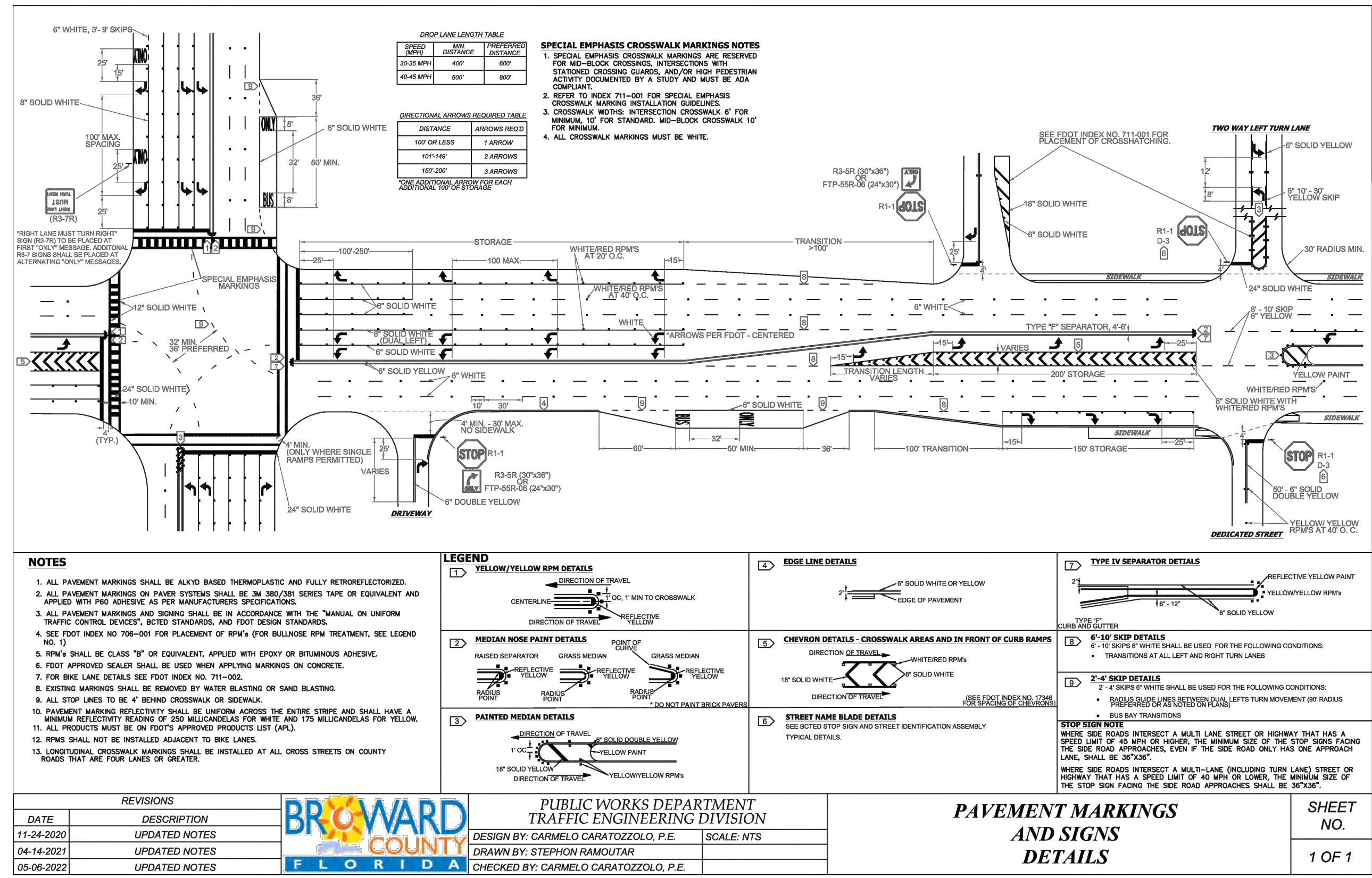
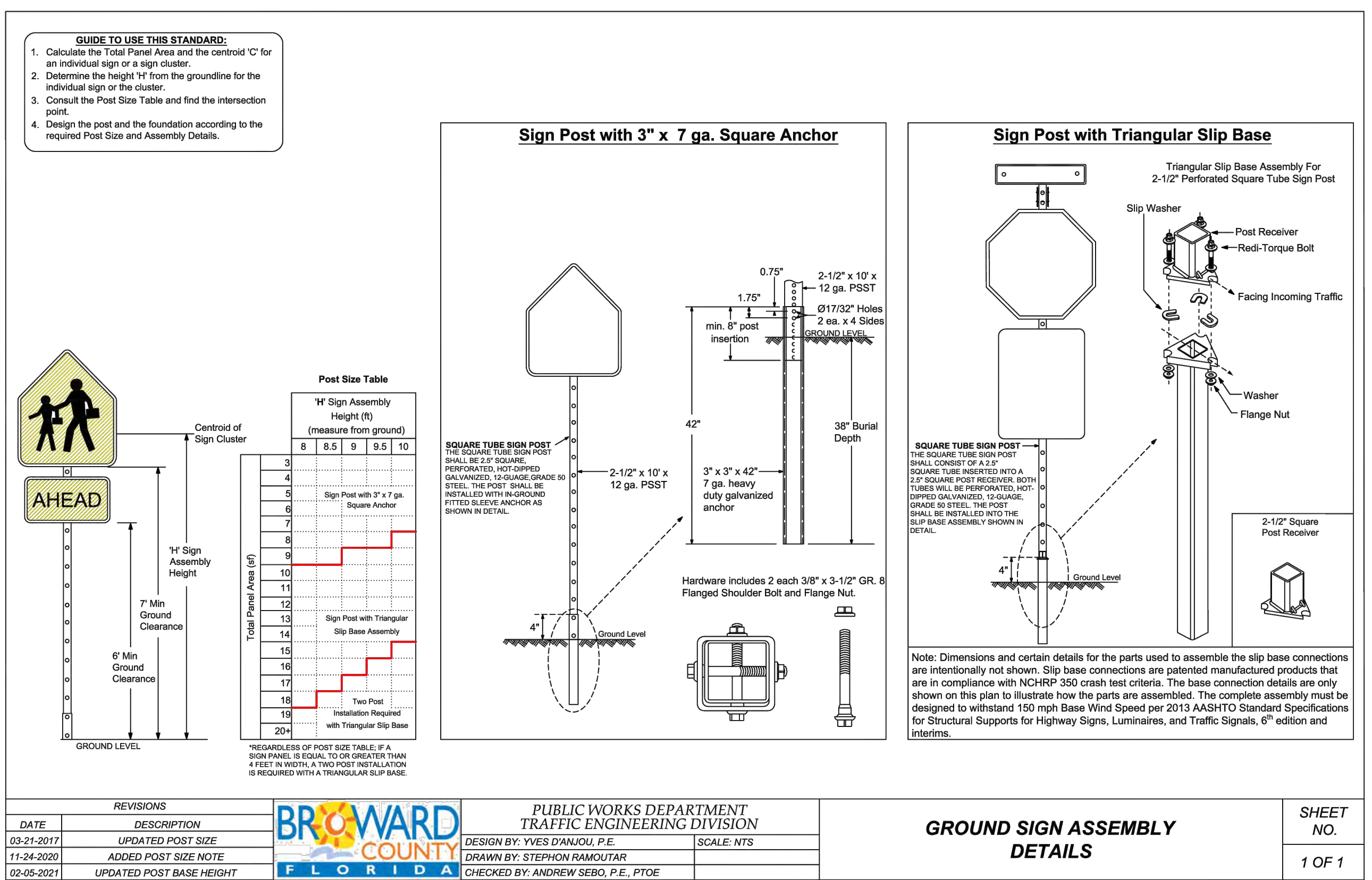
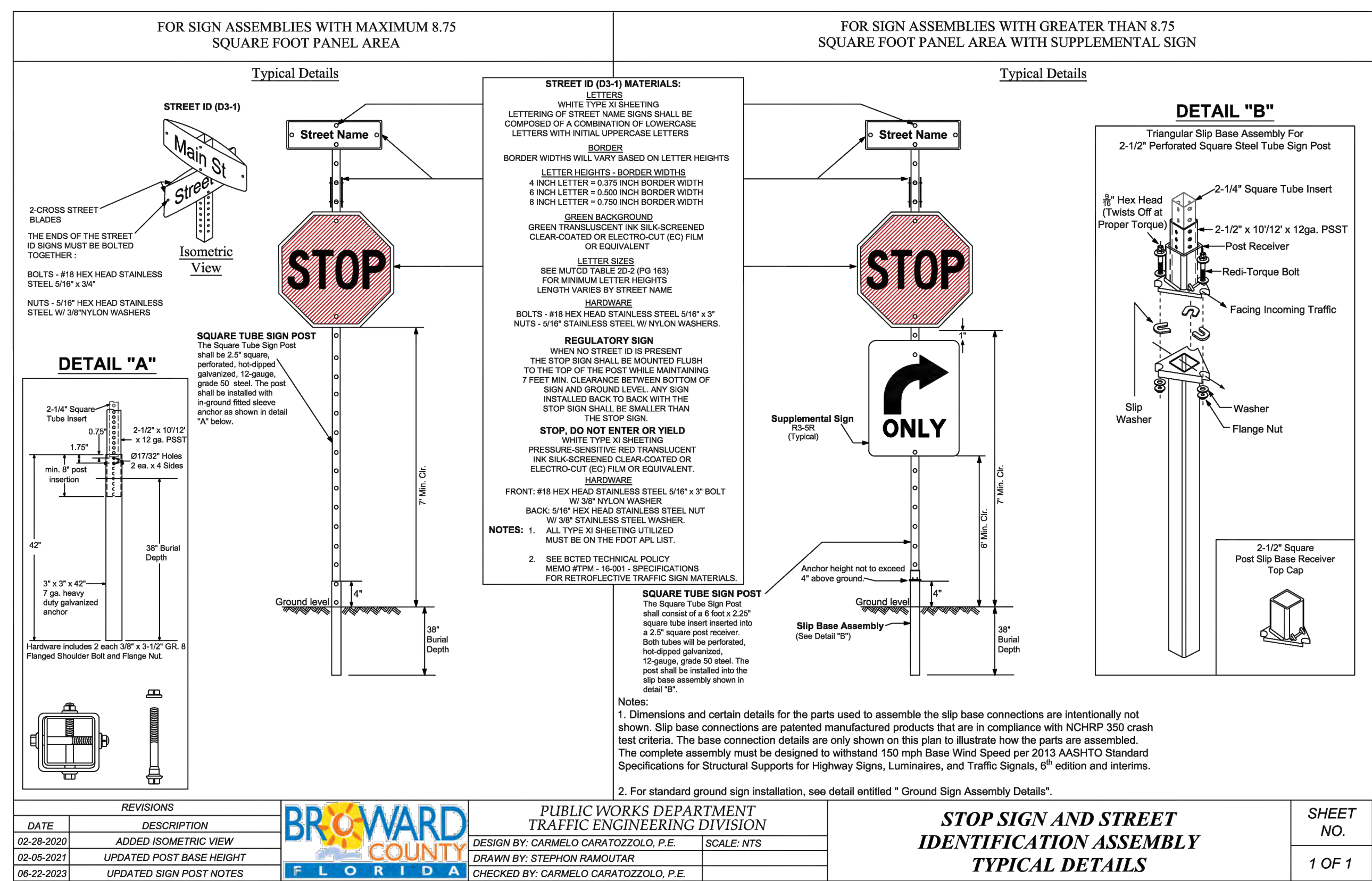
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SHEET NO.:

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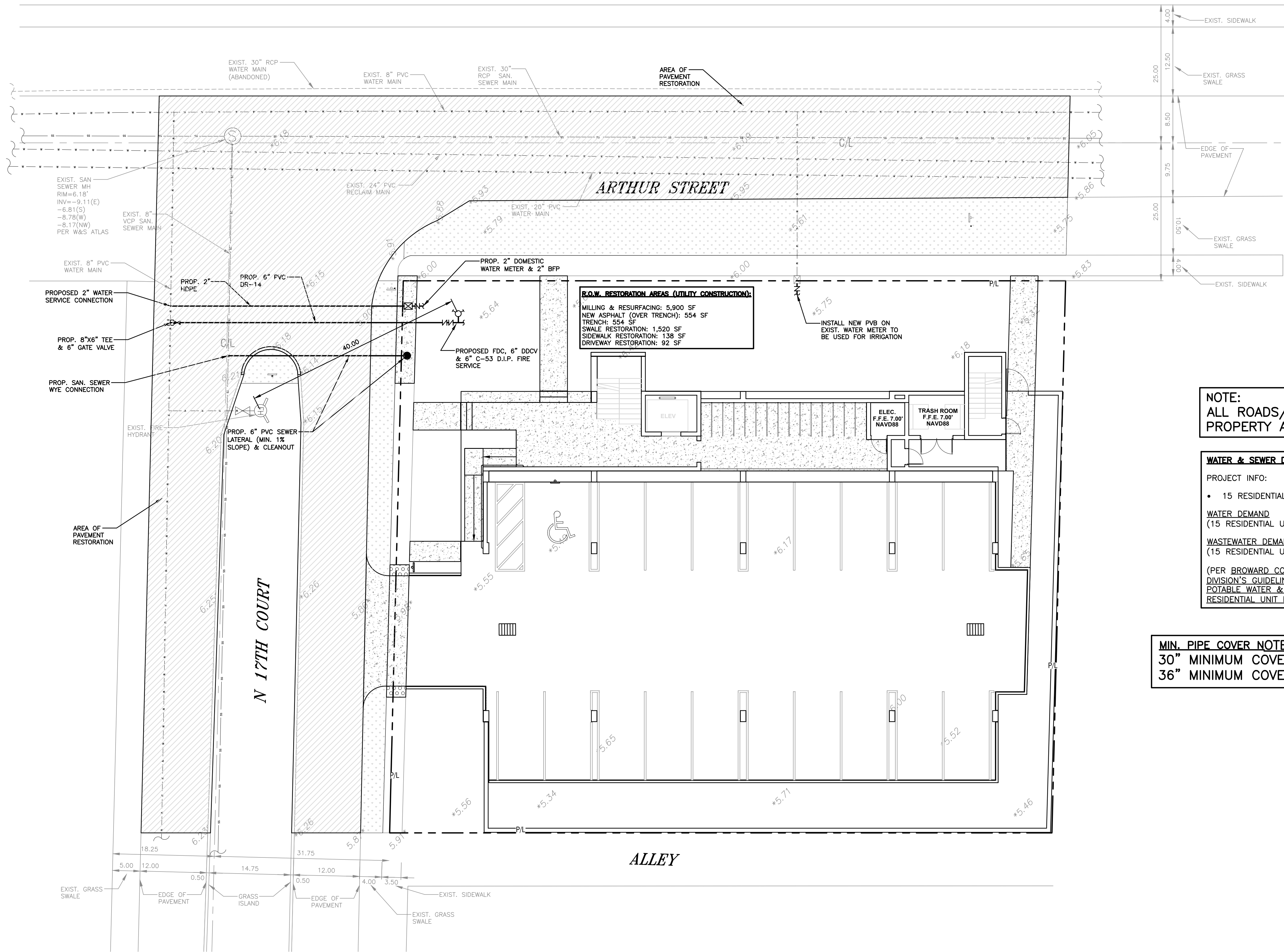
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ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



NOTE:
ALL ROADS/ALLEY ADJACENT TO THE
PROPERTY ARE TO BE RESURFACED

WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:

- 15 RESIDENTIAL UNITS

WATER DEMAND
(15 RESIDENTIAL UNITS)X(141 GPD/UNIT)=2,115 GPD

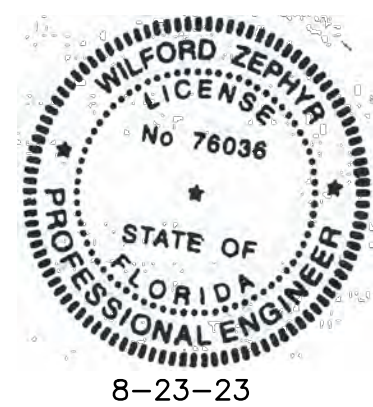
WASTEWATER DEMAND
(15 RESIDENTIAL UNITS)X(100 GPD/UNIT)=1,500 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)

MIN. PIPE COVER NOTE:
30" MINIMUM COVER FOR DIP WATER & SEWER MAINS.
36" MINIMUM COVER FOR PVC WATER & SEWER MAINS

LEGEND

- PAVEMENT TO BE MILLED & RESURFACED
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



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WATER & SEWER PLAN & DETAILS

SCALE: 1"=20'

REVISIONS

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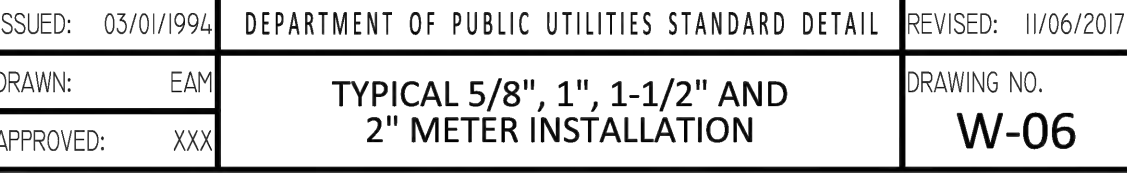
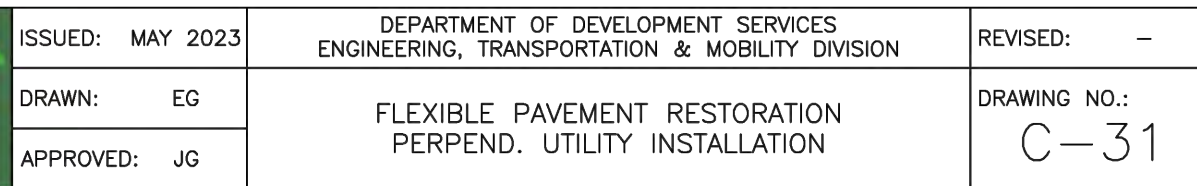
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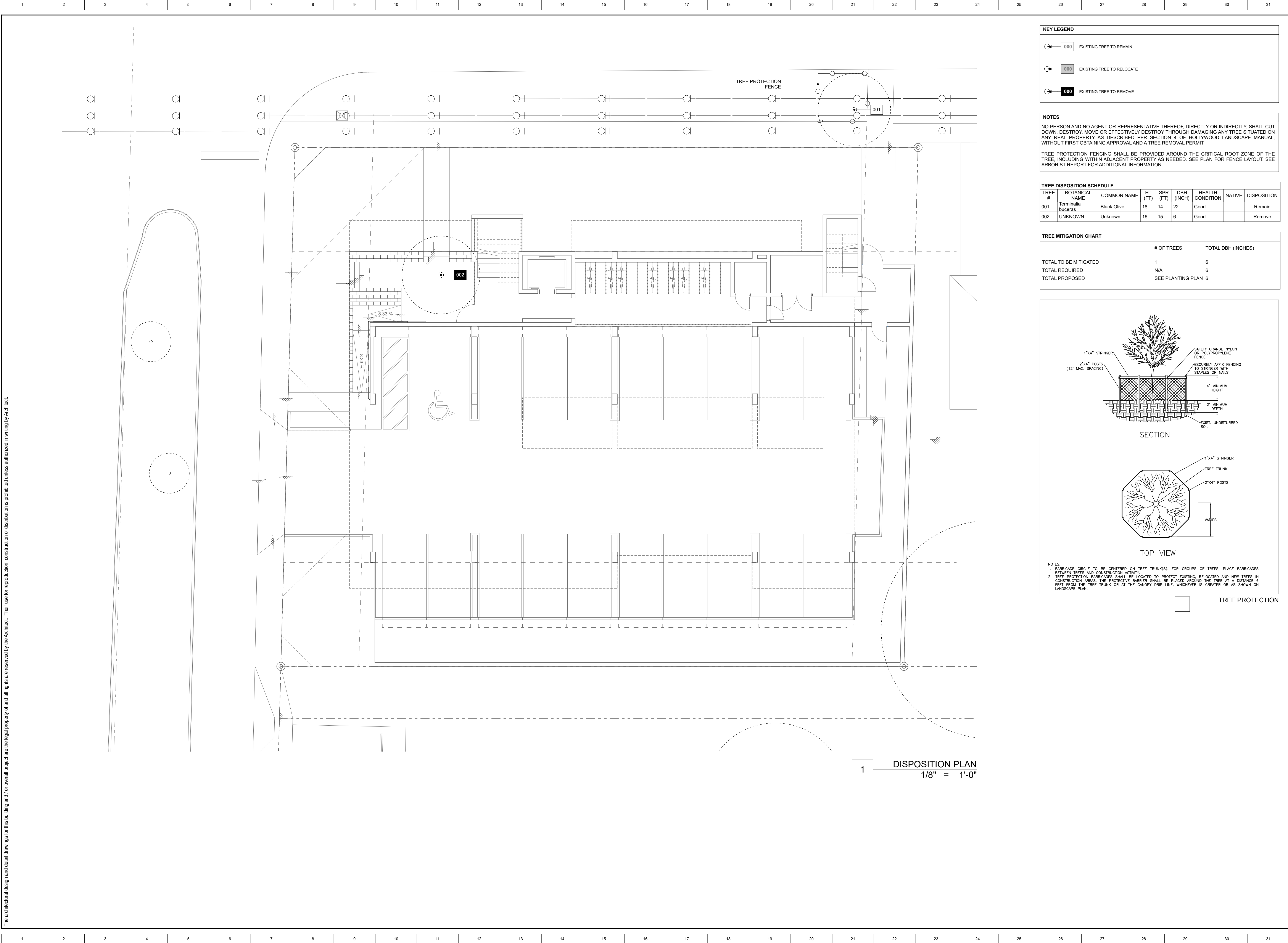
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7 OF 8

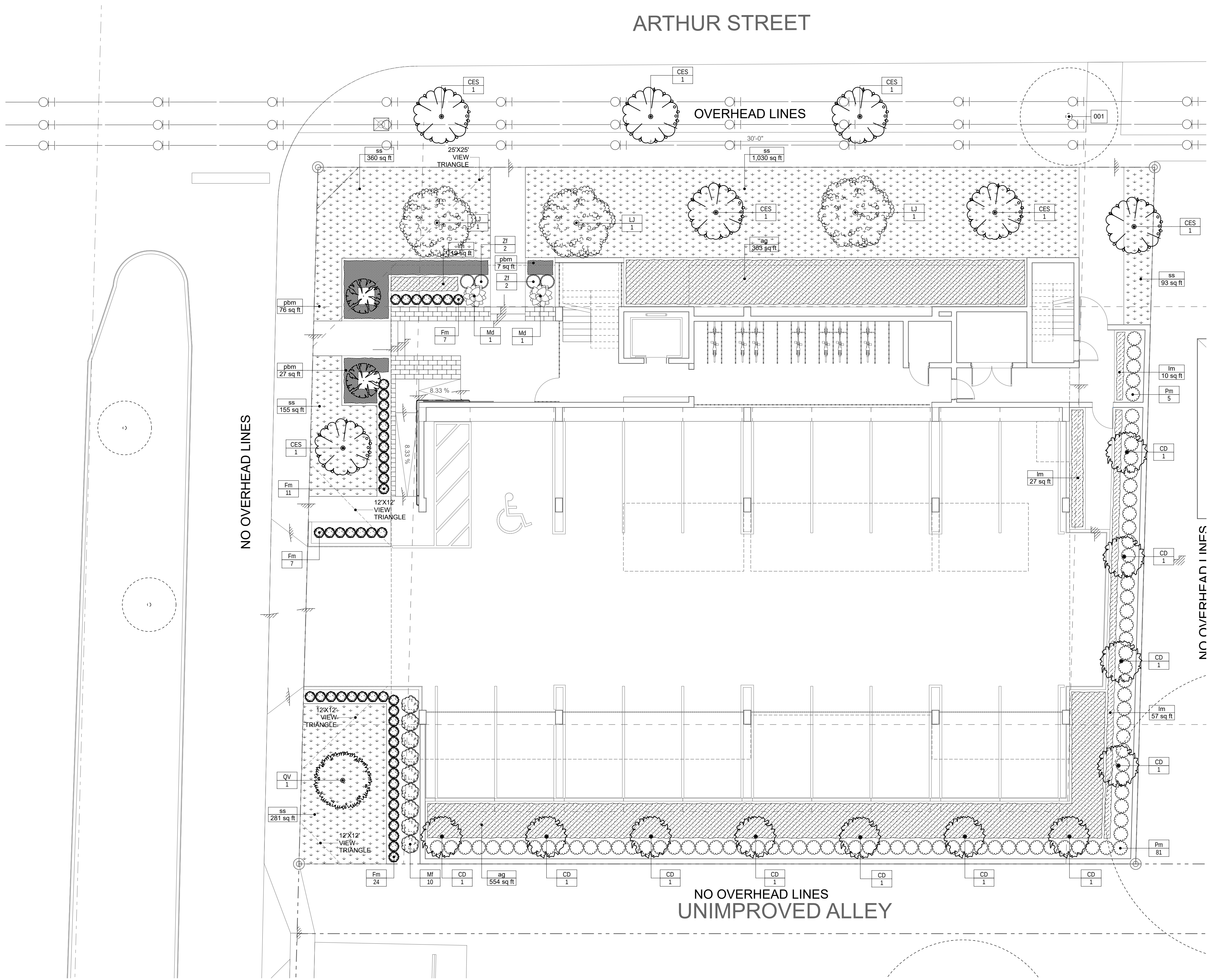
PROJECT NO.: 23-38



SCALE: N.T.S



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1 PLANTING PLAN
1/8" = 1'-0"

LANDSCAPE DATA				
REFER TO ARCHITECTURE FOR SITE, BUILDING, AND ZONING INFORMATION.				
OPEN SPACE LANDSCAPE	REQUIRED 7,500 SF (25%)	EXISTING N/A	PROPOSED 10,932 SF	
TREE AND PALM REQUIREMENTS	REQUIRED	EXISTING	NEW	TOTAL
STREET	8 (1 per 30')	1	7	8
PERIMETER BUFFER	11 (1 per 20')	0	11	11
OPEN SPACE	4 (1 per 1000 sf)	0	4	4
TOTAL REQ.	23	1	22	23
MAXIMUM PALMS	4 (20% OF REQ)	0	0	0
MITIGATION TREES	2	N/A	2 CES @ 4"	2
SPECIES				
# OF SPECIES	5	1	5	6
NATIVE TREES	18 (60%)	1	21	22
SHRUB REQUIREMENTS				
# OF SHRUBS	N/A	0	153	153
# OF NATIVES	77 (50%)	0	102	102

TREE SCHEDULE									
SYM	ABB.	QTY	BOTANICAL NAME	COMMON NAME	DBH	HT	SPR	REMARKS	N D
CD	11		Coccoloba diversifolia	Pigeon Plum	4"	12' Standard	6'		Y Y
CES	7		Conocarpus erectus 'Sericeus'	Silver Buttonwood	4"	12' Standard Single Stem, Matching	8'	Standard with character	Y Y
CR	2		Clusea rosea	Pitch Apple	4"	12' Standard	6'		Y Y
LJ	3		Ligustrum japonicum	Ligustrum	4"	12' Standard, Multitrunk	10'		Y
QV	1		Quercus virginiana	Live Oak	4"	16' Standard Single Stem, Matching	8'	Standard with character	Y Y

SHRUBS AND ACCENTS SCHEDULE									
SYM	ABBV	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	SPR	SP	N D
Fm	49		Ficus microcarpa 'Green Island'	Green Island Ficus	7 gal	24"	18"		
Md	2		Monstera deliciosa	Swiss Cheese Vine	15 gal, 30"x36"				Y
Mf	9		Myrcianthes fragrans	Simpson Stopper	30 gal	4'		30" o.c.	Y Y
Pm	86		Podocarpus macrophyllus	Podocarpus	30 gal	4'			Y
Zf	4		Zamia floridana	Coontie	7 gal	24"			Y Y

GROUND COVER SCHEDULE							
SYM	ABBV	AREA (SF)	BOTANICAL NAME	COMMON NAME	SIZE	SP	REMARKS
ag	917		Arachis glabrata	Perennial Peanut	1 gal	24" o.c.	
im	113		Liriope muscari 'Big Blue'	Lilyturf	1 gal	12" o.c.	
pbm	110		Philodendron 'Burle Marx'	Philodendron	3 gal	18" o.c.	

SOD SCHEDULE							
SYM	ABBV	AREA (SF)	BOTANICAL NAME	COMMON NAME	SIZE	SP	REMARKS
ss	1,919		Stenotaphrum secundatum	St. Augustine Grass			Staggered

LANDSCAPE NOTES							
1.	ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION						
2.	NO LANDSCAPE SUBSTITUTIONS SHALL MADE WITH THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION.						
3.	WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING.						
4.	PROVIDE 100% IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.						



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ARTHUR STREET
APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

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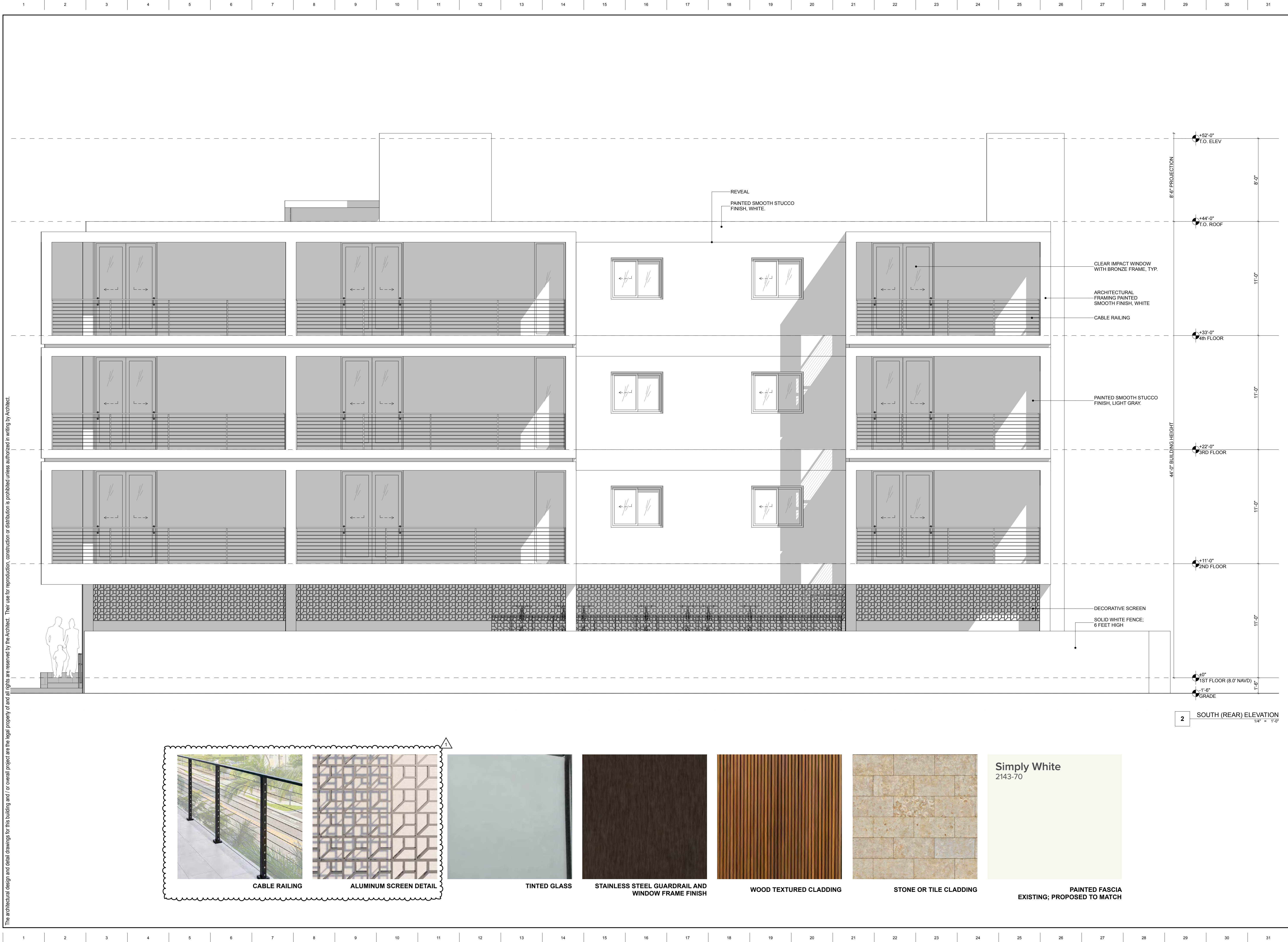
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**TYPICAL FLOOR
PLAN (LEVELS
2-4)**

A101



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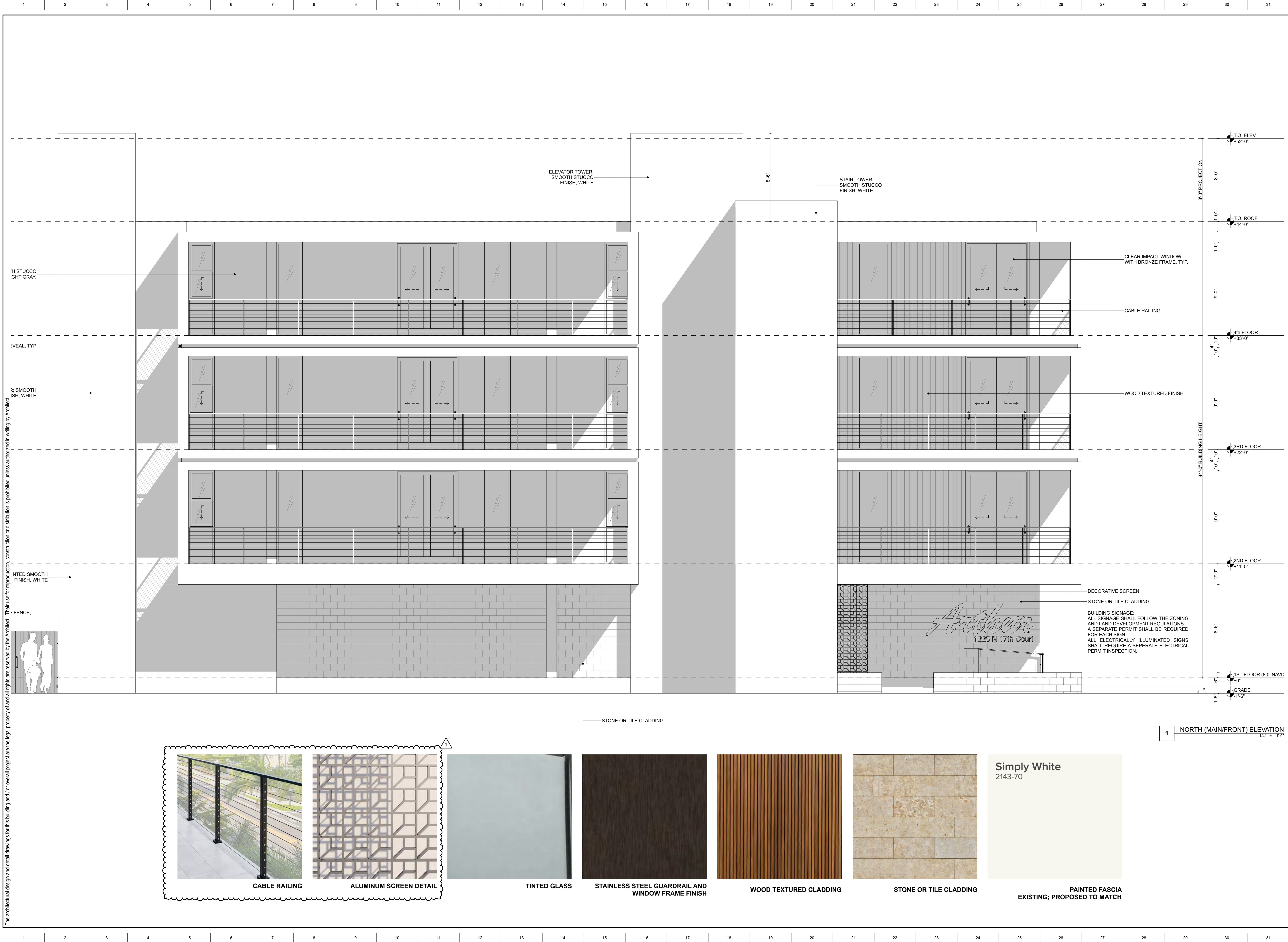
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SOUTH
ELEVATION

A200



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NORTH
ELEVATION

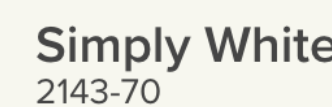
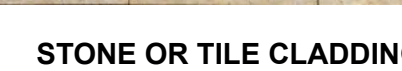
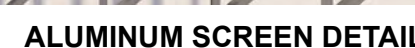
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WEST
ELEVATION

A202



PAINTED FASCIA
EXISTING; PROPOSED TO MATCH



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EAST
ELEVATION

A203



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**ARTHUR STREET
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1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

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3D STUDY -
FRONT

A600



A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

August 23, 2023

Arthur Street Apartments
1225 N 17th CT
Hollywood, FL 33020

PEAK STAGES

STORM EVENT	PRE-DEVELOPMENT	POST-DEVELOPMENT
5 Year - 1 Hour	N/A	3.40' NAVD88
25 YEAR - 3 DAY	6.50' NAVD88	6.08' NAVD88
100 YEAR - 3 DAY	6.77' NAVD88	6.38' NAVD88

Prepared by:



8-25-23

Wilford Zephyr, P.E., LEED AP, CFM

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Project Name: Arthur Street Apartments
Project Address: 1225 N 17th CT
Hollywood, FL 33020
ZE Project #: 2023-38

Date: 08/23/23
Designed by:
Wilford Zephyr, P.E.

Post Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.28 AC	
Pavement Area:	0.15 AC	
Building Area:	0.01 AC	
Grass Area (Pervious):	0.12 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.12 AC	42.86%
Total Impervious Area:	0.16 AC	57.14%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	5.90 ft
Average Finished Grades:	5.80 ft
Prop. Finished Floor Elev.:	7.00 ft

C Factor

Pervious:	0.6
Impervious:	0.9

$$\text{C Factor (weighted)} = \frac{0.12 (0.60) + 0.15 (0.90)}{0.27} = 0.77$$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
5 year, 1 hour event:	3.28 inches (for lowest parking lot pavement elevation)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Perimeter Control Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 5.90 ft

Average Depth to Water Table (DWT) = 4.40 ft

Cumulative Water Storage (CWS) = 6.75 IN
(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = CWS \times (\text{percentage of total pervious area}) = 2.89$

Curve Number (CN)

$CN = 1000 / (S + 10) = 77.56$

Water Quality Retention/Detention Calculations

Water Quality Calculations

- A. For a wet detention system, size system for highest of first inch of runoff over the entire site or 2.5" times the % impervious area
- B. For a dry detention system, size system for 75% of the volume required for a wet detention system.
- C. For a retention system, size system for 50% of the volume required for a wet detention system.

1 IN Over Entire Site

1 IN X 1 ft / 12 IN X = First 1" of runoff

1" X 0.28 acres = 0.28 acre-inches (0.023 acre-ft)

2.5 INCHES Times Percent Impervious

Total project area - roof area = 0.28 acres - 0.01 acres = 0.27 acres

0.27 acres - 0.12 acres (pervious area) = 0.15 acres

0.15 acres / 0.27 acres X 100% = 55.56% impervious

2.5" X 0.5556 = 1.39" to be treated

1.39" X 0.28 acres = 0.39 acre-inches (0.033 acre-feet)

0.033 acre-ft of storage required for water quality.

**Water quality storage provided in proposed
exfiltration trench system.**

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 2.89 (inches)

A = 0.28 (acre)

Q = 14.61 (inches)

V = 0.34 (ac-ft)

Corresponding Stage = 6.38 ft

Set minimum finished floor elevation at 7.00' NAVD88.

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 2.89 (inches) (see "Soil Storage" sheet

A = 0.28 (acre) for calculating "S")

Q = 11.30 (inches)

V = 0.26 (ac-ft)

Corresponding Stage = 6.08 ft

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S)$$

$$V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

5 Year - 1 Hour Storm Event

P= 5 year, 1 hour event:		3.28 (inches)
	S=	2.89 (inches)
	A=	0.28 (acre)

Q = 1.30 (inches)

V = 0.03 (ac-ft)

Corresponding Stage = 3.40 ft

Set minimum parking lot elevation at 5.15' NAVD88.

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.26 AC

(0.11 AC)*
(Lin. 4.50'-5.75')

(0.15 AC)
(Lin. from 5.00'-5.65')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
4.50 '	0.000 AC-FT	0.000 AC-FT	0.038 AC-FT	0.04 AC-FT
5.00 '	0.028 AC-FT	0.000 AC-FT	0.038 AC-FT	0.07 AC-FT
5.50 '	0.055 AC-FT	0.038 AC-FT	0.038 AC-FT	0.13 AC-FT
6.00 '	0.096 AC-FT	0.101 AC-FT	0.038 AC-FT	0.24 AC-FT
6.50 '	0.151 AC-FT	0.176 AC-FT	0.038 AC-FT	0.37 AC-FT

*total landscape area= 0.12 AC. 10% reduction applied (-0.012 AC) due to loss of stormwater storage from tree trunks.

Exfiltration Trench Length Calculation

All elevations are referenced to NAVD88 vertical datum.

Calculating H_2

Design Water Table (WT) = 1.50 ft
 Lowest Catch Basin Elevation = 4.90 ft
 Bottom of Exfiltration Trench = (-)0.60 ft
 Top of Exfiltration Trench = 3.40 ft
 $EL_{inv.} = N/A$

$H_2 = 3.40$ ft

Calculating Exfiltration Trench Length

$EL_{inv.}$ = invert elevation of lowest weir/bleeder allowing discharge from trench

L_R = length of trench required (ft)

L_P = length of trench provided (ft)

$V_{exft.}$ = volume in exfiltration trench (ac-in)

FS = factor of safety

K = hydraulic conductivity (cfs/ft² - ft head)

H_2 = head on saturated surface (ft)

W = trench width (ft)

D_U = unsaturated trench depth (ft)

D_S = saturated trench depth

$$L_R = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K[H_2W + 2H_2D_U - D_U^2 + 2H_2D_S] + (1.39 \times 10^{-4})(WD_U)}$$

$V_{wq} = 0.39$ (0.033 ac-ft)

$V_{add} = 0.06$ (0.005 ac-ft)

$\%WQ = 0.5$

$FS = 2$

$K = 0.0001$

$H_2 = 3.4$

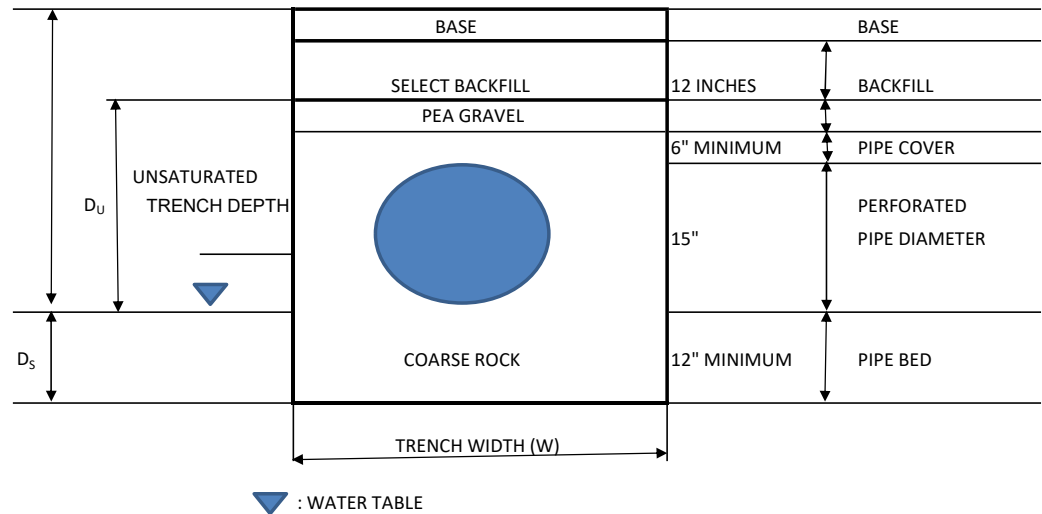
$W = 8$

$D_U = 1.9$

$D_S = 2.1$

$L_R = 70.91'$ of exfiltration trench required.

$L_P = 71.00'$ of exfiltration trench provided.



Project Name: Arthur Street Apartments
Project Address: 1225 N 17th CT
Hollywood, FL 33020
ZE Project #: 2023-38

Date: 08/23/23
Designed by:
Wilford Zephyr, P.E.

Pre Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.28 AC	
Pavement Area:	0 AC	
Building Area:	0 AC	
Grass Area (Pervious):	0.28 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.28 AC	100.00%
Total Impervious Area:	0 AC	0.00%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	6.20 ft
Average Finished Grades:	5.80 ft
Prop. Finished Floor Elev.:	N/A

C Factor

Pervious:	0.6
Impervious:	0.9

C Factor (weighted) = $\frac{0.28 (0.60) + 0(0.90)}{0.28} = 0.6$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
5 year, 1 hour event:	3.28 inches (for lowest parking lot pavement elevation)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Perimeter Control Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 5.80 ft

Average Depth to Water Table (DWT) = 4.30 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = \text{CWS} \times (\text{percentage of total pervious area}) =$

6.75

Curve Number (CN)

$\text{CN} = 1000 / (S + 10) =$ 59.70

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 6.75 (inches)

A = 0.28 (acre)

Q = 11.54 (inches)

V = 0.27 (ac-ft)

Corresponding Stage = 6.77 ft

Set minimum finished floor elevation at 11.42' NAVD88.

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 6.75 (inches) (see "Soil Storage" sheet

A = 0.28 (acre) for calculating "S")

Q = 8.49 (inches)

V = 0.20 (ac-ft)

Corresponding Stage = 6.50 ft

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.25 AC

(0.25 AC)*
(Lin. 5.60'-5.80')

(0.00 AC)
(Lin. from 0'-0')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
5.50 '	0.000 AC-FT	0.000 AC-FT	0.000 AC-FT	0.00 AC-FT
6.00 '	0.075 AC-FT	0.000 AC-FT	0.000 AC-FT	0.08 AC-FT
6.50 '	0.200 AC-FT	0.000 AC-FT	0.000 AC-FT	0.20 AC-FT
7.00 '	0.325 AC-FT	0.000 AC-FT	0.000 AC-FT	0.33 AC-FT

*total landscape area= 0.28 AC. 10% reduction applied (-0.028 AC) due to loss of stormwater storage from tree trunks.