

ATTACHMENT B

Additional Documents



Fig. 1 – The Wicker House (built 1959), sensitively nestled within an indigenous live oak hammock. [photo by Louis Friend, 2006]

Hollywood Houses – The Work of Architect Charles Reed, Jr.

by Louis Friend

“All architecture is shelter. All great architecture is the design of space that contains cuddles, exalts, or stimulates the persons in that space”

– Phillip Johnson

By this definition, a house could simply be considered a shelter for people, but to a diverse group of people in Hollywood, Florida, the houses in which they reside are more than mere architecture. All currently live in houses designed during the early 1950s through the early 1960s by architect Charles Reed, Jr. The diverse group of homeowners interviewed include of a sculptor, a sea captain, a surveyor, an architect, an optometrist, and an orthopedic surgeon consider without question that their houses transcend into the realm of Great Architecture as Phillip Johnson defined it. All are united by a common spiritual connection to great architecture articulated by spaces that actually “exalt” and “stimulate”.

One house designed by Charles Reed, Jr. even sustains life. Its owner contemplated euthanasia in response to a diminished quality of life resulting from terminal illness. He confessed to being a member of the Hemlock Society. He finds inspiration to live, albeit in a hospital bed, that is located in a living room designed by Reed. The two-story volume of this room, which contains a floating spiral staircase leading to the interior balcony of the bedrooms above, is defined by unadorned horizontal-stacked concrete masonry, exposed structural wood beams, and floor-to-ceiling jalousie windows, which flood the space with natural light and provide views to the indigenous live oak hammock on the site. It is within the continuum of these finely designed and expertly crafted spaces of the Wicker House that a man finds meaning in life.

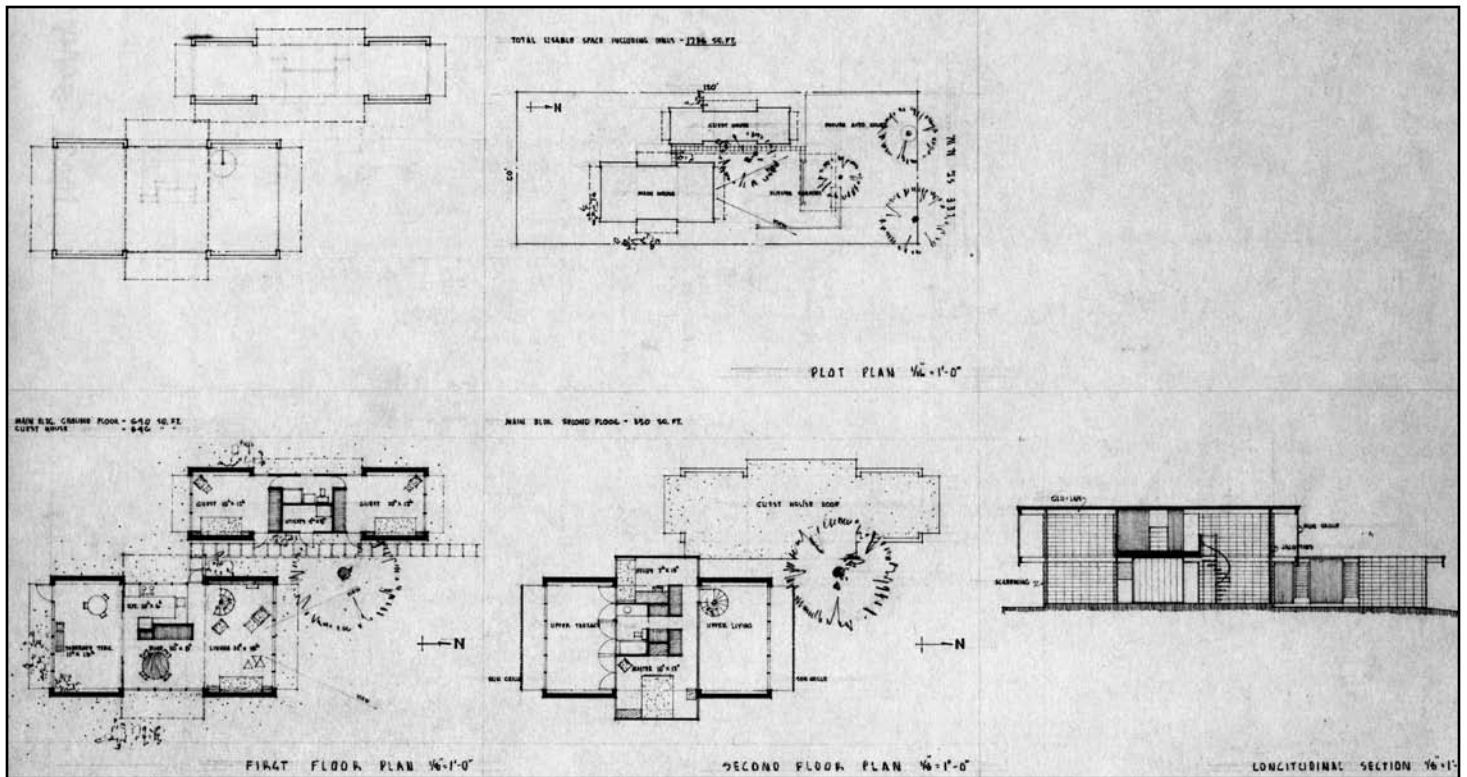


Fig. 2 – The Wicker House floor plan (built 1959), [Charles Reed, Jr. collection]

This article includes information transcribed from an oral history interview with Charles Reed, Jr. on May 7, 2004. Mr. Reed spoke with a trio of interviewers who collaborated and produced this project: sculptor Claire Garrett, owner of the Reed designed Jaffe-Garrett House, (c. 1959), Jackie Friend, an architect, and Louis Friend, author of this article and a licensed and insured general contractor specializing in historic rehabilitation. This article includes the accounts of Reed’s professional experience and design theory drawn from those interviews.

“In those days after the war, people were optimistic about the future, adventuresome, and willing to try something new”

- Charles Reed, Jr.

Charles Reed, Jr. was a World War II veteran, working as a carpenter in South Florida after the war. “That was one of the few jobs available to vets in those days,” Reed reminisced. Reed was “always fascinated by the organic shape, the form, the color, and the design of high-speed airplanes.” It seems that his construction related experience, his exposure to innovative architecture, and his fascination with forms and design, all influenced Reed to pursue a degree in architecture. Reed enrolled in the University of Miami’s fledgling architectural college. He recalled his experience there as “being satisfactory, but it wasn’t intense enough.”

Reed always had admired the work of Igor Polevitzky. Polevitzky (1911-1978), a Russian immigrant and University of Pennsylvania graduate, is widely recognized for creating the unique South Florida expression of modern residential architecture, in particular the indoor-outdoor lifestyle readily identified with the mid-century. These buildings uniquely responded to sub-tropical South Florida climate, allowing inhabitants both to live and to work in buildings with strong spatial connections to the environment.



Fig. 4 – Igor Polevitzky [Historical Museum of Southern Florida collection]



Fig. 3 – *The Wicker House* with Chuck Reed, Jr. [photo by Louis Friend, 2006]

“I had always been an admirer of what Igor Plevitzky was doing,” said Reed, “so, I went to Igor’s office one day and told him I wanted to be there in any capacity.” Plevitzky hired Reed as a part-time junior draftsman. “I ought to say junior-junior draftsman,” Reed mused, “way down the pecking order!” The experience with Plevitzky was pivotal. Reed decided that “Igor’s office was a more important university than the University (of Miami) and [I] went to work full time in Plevitzky’s office.” Reed considered the basis for his architectural education to be this apprenticeship with Igor Plevitzky. The education spanned approximately six years during a fascinating time when Plevitzky created influential and important architecture including the extraordinary Heller House II, known as the “Birdcage” house, on Miami’s Venetian Causeway and the Havana Riviera Hotel in Havana, Cuba that was designed and built for gangster Meyer Lansky.

Interestingly, Reed told us that the Havana Riviera project is fictionalized in the movie *The Godfather Part II* with the character of Hyman Roth being based on Meyer Lansky. The deal between Roth and Michael Corleone to establish a venue for casino gambling in Havana is based on the Havana Riviera Hotel. Reed shared another intriguing account of how Morris Lapidus, the Miami Modern architect of the famed Fontainebleau and Eden Roc Hotels, (who is generally acknowledged as the architect responsible for defining 1950s Miami Beach resort and hotel style¹⁾ was surprisingly discovered in the lobby of the Havana Riviera Hotel, with a sketchbook in hand, by Igor Plevitzky when he arrived for a site-visit prior to the hotel’s opening.

Reed disclosed that what he took from his experience working under Igor Plevitzky was an appreciation for technical details and to look at architectural design comprehensively through an engineer’s eyes. According to Reed, “He (Plevitzky) knew what he was doing structurally, mechanically, electrically, and every other way.” Another important aspect, according to Reed, “was simple detailing and simplification of form.” Reed mused, “Sometimes a project was complicated, so the design was complicated. Only if you got into trouble.” Also Reed was fascinated by the indoor-outdoor spatial concepts expressed in Plevitzky’s architecture. He recalled, “...projects in the office that had marvelous house frames that literally had no walls.” Reed states, “Igor was always experimenting with ways of opening up houses to the outdoors to the extreme... so that was a strong influence really, opening up buildings.”



Fig. 5 – The Heller House II, (the “Birdcage” house) [Historical Museum of Southern Florida collection]

In the mid-1950s, Reed left Plevitzky’s office to establish his own practice in Hollywood, FL. He relocated his practice to Hollywood, Florida in 1955, and retired in 1997. In his years in Hollywood he produced a significant body of work. The best examples of Reed’s legacy include the following houses, all in Hollywood: the Heiden House, the Jaffe-Garrett House, the Gahstrom House, the Simon House, the Ritchie House, the String House, the Hulmes House, the Brill House, the Wicker House, and the Lawson House. In contrast to the ubiquitous ranch-style houses built during that time, Reed’s work clearly represents a unique interpretation of residential architecture.

Although each house was built during the time which is now identified as Mid-Century Modern, Reed preferred not to choose a category, style, or era to describe his work. Reed muses, “Mid-Century Modern helps categorize buildings so that they can be more easily understood.” He called his work organic, and to him it represented a less self-conscious way of designing. His work is “the direct result of responding to a set of universal design necessities that would apply in any era and in any place if you are sensitive to the requirements of climate, client’s needs, construction techniques, and available materials.” To many, this is the true meaning of architecture.

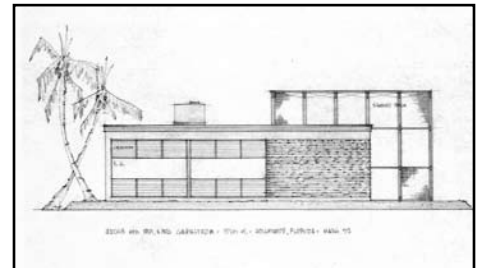


Fig. 6a – Front elevation rendering of Reed’s Gahstrom House (built 1952) that shows influence of Plevitzky’s Birdcage House. [Charles Reed, Jr. collection]

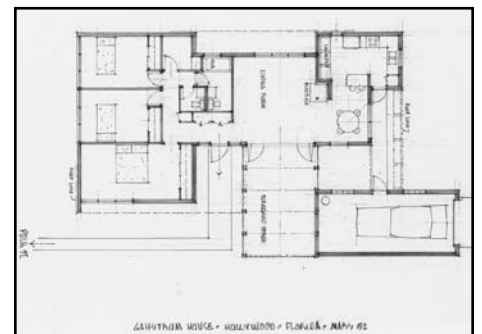


Fig. 6b – Front elevation rendering of Reed’s Gahstrom House (built 1952) that shows influence of Plevitzky’s Birdcage House. [Charles Reed, Jr. collection]



Fig. 7b – Hulmes House (built 1956) [photo by Charles Reed, Jr.]

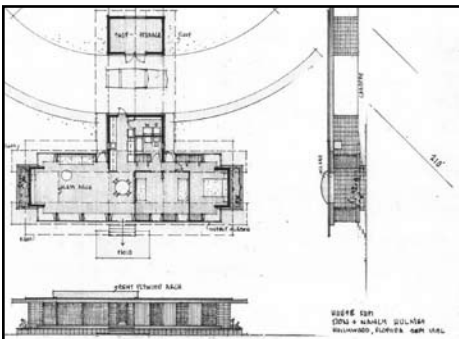


Fig. 7a – Floor plan of Hulmes House (built 1956) illustrating diagonal orientation of house to its site [Charles Reed, Jr. collection]

Throughout the predominant grid of South Florida neighborhoods, most houses have a perpendicular relationship to the adjacent street. Often times, a house designed by Reed is oriented diagonally. Reed clarified, “Whenever a house is placed diagonally, such as the Jaffe House, the Simon House, or the Hulmes House, it is never done as caprice; it was for a particular reason such as orientation to the compass, the sun rising and setting, and the prevailing breezes.” In the 1950s, residential air conditioning was not common. In response, Reed believed that “it was possible to open a building to the outside much more freely and the air-conditioning became the natural southeastern breezes.” By orienting his buildings appropriately and by articulating and defining building facades with operable fenestrations, Reed addressed ventilation and natural lighting in aesthetically pleasing relationships.

Reed believed that “light is life giving” and it directly affects one’s mood. Reed cleverly designed window glazing to stimulate one’s mood, as well as to provide natural light. As one walks through the main hall of the Simon House (c. 1957), randomly placed colored glass blocks punctuate and contrast the texture and color of exposed concrete masonry walls with an almost spiritual quality, similar to Le Corbusier’s Notre Dame du Haut, although on a less grand scale. Notre Dame du Haut is a twentieth century masterwork chapel located in Ronchamp, France, and designed by Swiss architect Le Corbusier in 1955. At the Jaffe-Garrett House (c. 1957) clerestory ribbon-windows encircle the perimeter of the building, accentuating the innovative structure and providing glimpses of the sky.



Fig. 8a – Clerestory ribbon windows at Jaffe-Garrett House (built 1959) Provide glimpses of the sky. [photo by Louis Friend, 2006]



Fig. 8b – Jaffe-Garrett House Exterior (built 1959) [Charles Reed, Jr. collection; photo by Earl Strunk]

Within the uniform grid of exposed and vertically stacked concrete masonry of the String House (c.1959), randomly spaced units turned on-end expose glazed voids that whimsically punctuate the exterior walls. The entry vestibule of the String House defined by lattice work creates another dramatic interior space.



Fig. 8c – Jaffe-Garrett House Interior (built 1959) [Charles Reed, Jr. collection; photo by Earl Strunk]

Requirements for ventilation and natural light did not overshadow concerns for privacy. Reed expertly tackled the contradictory requirements for ventilation, natural light, and privacy in the String House (c.1959). In his words, in the String House “there were always ways of devising privacy and openness sensations.”



Fig. 8d – Jaffe-Garrett House Interior (built 1959) [Charles Reed, Jr. collection; photo by Earl Strunk]



Fig. 8f – Jaffe-Garrett House Exterior (built 1959) [Charles Reed, Jr. collection; photo by Earl Strunk]

Here, exterior elevations were entirely constructed of louvered doors that were enclosed by screened vestibules. With doors opened, “the walls can be opened to maximum transparency” or with doors closed, “the walls became opaque.” According to Reed, “the String House is an outstanding example of



Fig. 8e – Jaffe-Garrett House Interior (built 1959) [Charles Reed, Jr. collection; photo by Earl Strunk]

this dichotomy, allowing the client to have a house that is wide open, but at the same time can be buttoned up entirely and be totally private.”

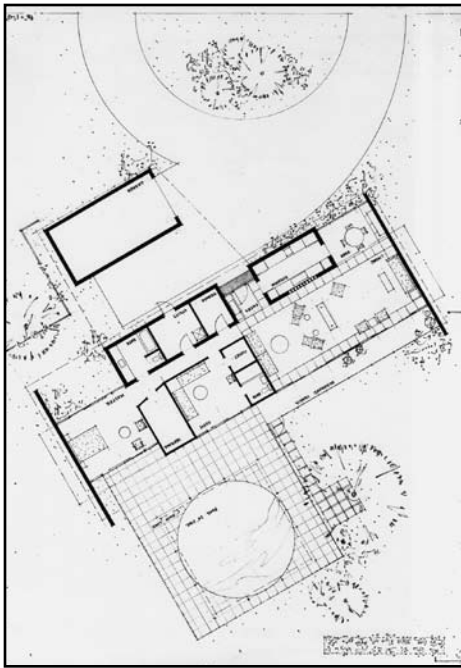


Fig. 8g – Jaffe-Garrett House plan (built 1959)
[Charles Reed, Jr. collection]

Reed explored creative ways to address the South Florida environment with whimsy. “Tropical downpours are always a consideration for me,” states Reed, “so that’s why I favor, in most cases, the wide overhang to keep water away from the house so you can also enjoy the downpour.” Sculptor Claire Garrett acknowledged that at the Jaffe-Garrett House (c. 1957), “one of the things that I admire so much is the experience during heavy downpours when I stand by the 38 foot long living room wall, and have my own version of Fallingwater, where the water is pouring in torrents over the flat roof on to the patio. The spacing and the proportion is such that I can be outdoors, experience it, and not get wet.” Fallingwater, also known as the Edgar J. Kaufmann residence, was designed by architect Frank Lloyd Wright and built over the precipice of a waterfall. Fallingwater is located in Bear Run, Pennsylvania and was built in 1936. The residence is commonly listed in “Top Ten” lists of innovations in American architecture.



Fig. 9 – Whimsical glazing details of the String House [photo by Louis Friend, 2006].

Reed’s designs are sensitive to the South Florida landscape as well. Reed states, “In South Florida, all these wonderful shapes and colors growing here are always demanding something of you... It requires an active response.” Nothing captures this sentiment better than the Wicker House (Figure 1), where one really feels part of nature. The site is contiguous with the dense tropical hardwood hammock of mature live oak trees, an ecological landmark that defines the character of the Emerald Hills subdivision in Hollywood and Broward County’s Topeekegee Yugnee Park. The house is nestled in the trees. It’s like living in a tree house. “The trees are right there for you,” says Reed.

Reed has been always interested in Japanese architecture and Japanese art. He acknowledges the modular tatami style of design, in which planning and articulation of architecture are governed by a rule of proportions based on the geometry of a tatami mat and all vertical planes have the same geometry². In his designs, Reed explored a similar relationship between the plan’s geometry and its manifestation in three-dimensional

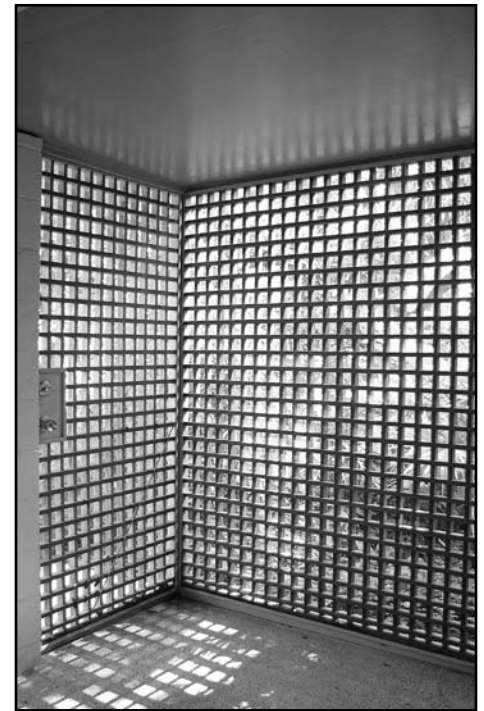


Fig. 10 – Entry vestibule of the String House creating a dramatic lighting effect [photo by Louis Friend, 2006]

form. “A particular goal was to have the plan express the volume so that when you looked at the plan, you could sense what kind of building it was.” This is apparent in Reed’s Lawson House, where plan and elevation reflect each other’s scale, mass, and proportions.



Fig. 11 – Exterior wall system of String House including lowered door and screened vestibule assemblies that address ventilation, natural lighting, and privacy [photo by Louis Friend, 2006]

Reed looked to local materials and strove to use them in creative ways. He asked, “How can you assemble all those materials and make a building charming and interesting?” Reed found common concrete masonry units to be the perfect material — readily available and inexpensive, yet very expressive. Reed stated, “Concrete block had texture, subtle color, and geometric linearity.” During a time when stucco clad ranch houses were de-rigueur, Reed’s innovation was revolutionary. Reed joked, “Well the concrete block stucco house certainly does its job, but it’s certainly not very interesting!” Reed designed architectural details, by turning standard building materials into sophisticated architectural elements. In the Jaffe-Garrett House, a single course of turned concrete masonry units, revealing the voids of the blocks, created a screen within the vertical-stacked and exposed concrete interior wall.



Fig. 12 – String House Interior [photo by Louis Friend, 2006]

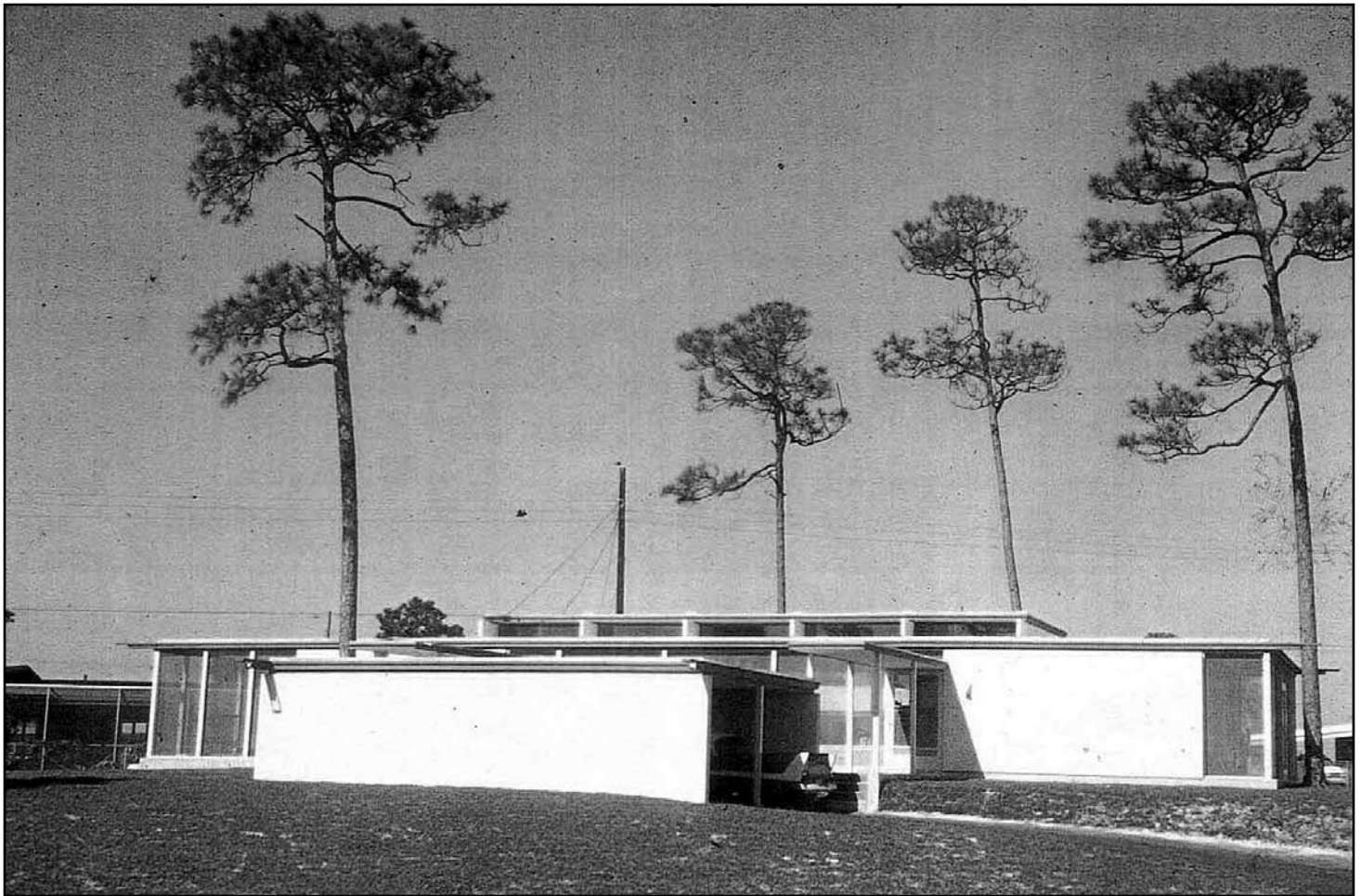


Fig. 13a - The Lawson House reflects Reed's appreciation for Japanese Tatami design and illustrates exploration by Reed for plan geometry to reflect three-dimensional forms [photo by Charles Reed, Jr.]

Both whimsical and sophisticated, this wonderful architectural detail visually connects the kitchen to the living room and brings joy daily to home owner and sculptor, Claire Garrett, who embellishes it with seasonal fruits and found objects. Elsewhere in the house, fine hardwood door casings juxtapose the textural exposed interior concrete masonry walls. Reed innovatively eliminated the concrete tie beams and replaced them with clerestory ribbon windows under the roof line while still maintaining vital structural connections between foundation and roof, thereby creating artistically seamless walls and glimpses to the sky from within. Garrett considers her house to be such a work of art that she is reluctant to hang paintings on the wall. She adds, "We don't want to put any holes or hooks or marks in it; it's a sculpture, a sculpture that you can live in." The Jaffe-Garrett House truly is charming and interesting, just as the architect intended.



Fig. 13b - The Lawson House [photo by Charles Reed, Jr.]

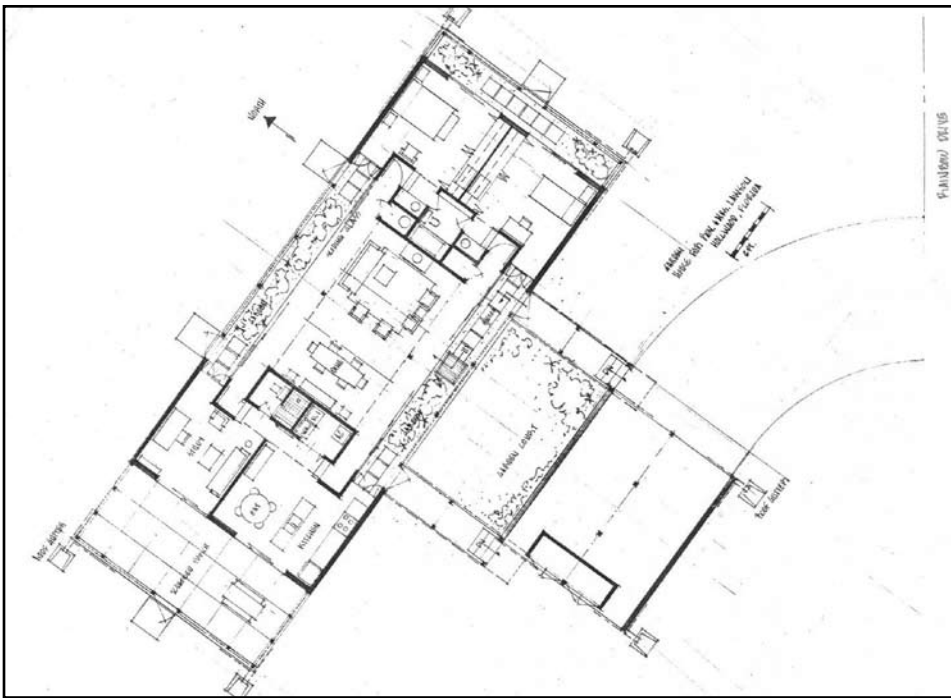


Fig. 14 Floor plan of the LAWSON HOUSE (c. 1960). [Charles Reed, Jr. collection]

Perhaps Reed's greatest accomplishment, although he is not recognized for the contribution is his foresight, in implementing reinforced masonry construction. Today it is now a standard building method mandated by the Florida Building Code in response to lessons learned from Hurricane Andrew, but Reed's visionary structural designs preceded current building codes by 30 years. He stated, "I was always cognizant of hurricane design and structural reliability; it was always foremost." It was apparent to Reed that a direct connection between a roof and the foundation, through reinforced block walls, was vital to maintaining a building's structural integrity during the impact of hurricane force winds. "So far, I haven't heard of any of my houses disappearing because of hurricane winds and I hope that continues to be so." Additional structural innovations include stressed-skin plywood roof joists. Reed commented, "The structural system was entirely experimental; there was no precedent for stressed-skin plywood." The house, except for



Fig. 16 – Interior detail of Jaffe-Garrett house illustrating juxtaposition of building material textures. [photo by Louis Friend]

the concrete block walls, was entirely prefabricated in a warehouse and then was assembled at the construction site. In the String House, the use of this innovative structural system allows the home owner to enjoy rooms with uncommonly large interior spans with interestingly detailed roofing structure and spaces filled with natural light. These features never cease to please Jim String. He still resides in the house he originally commissioned from Charles Reed, Jr. over 47 years ago.

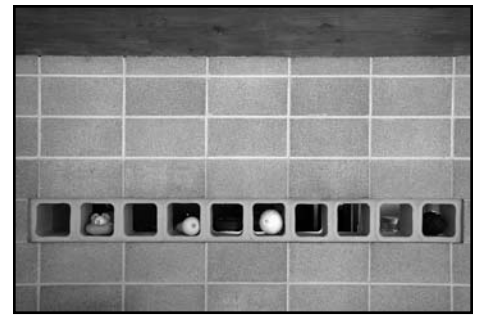


Fig. 15a – Interior wall of Jaffe-Garrett house illustrating Reed's creative use of concrete masonry [photo by Louis Friend, 2006]



Fig. 15b – Detail of Jaffe-Garrett house [photo by Louis Friend, 2006]



Fig. 17 – Exterior Wall of JAFFE-GARRET HOUSE (c. 1959) Illustrating artistically seamless walls [photo by Louis Friend, 2006]



Fig. 18a – Interior of String House, illustrating innovative prefabricated stressed-skin plywood roof joists supporting the large interior span of the living room [photo by Louis Friend, 2006]

When asked which architects Reed admires, he mentioned Bruce Goff, Harwell Hamilton Harris, and Donald Singer. Like Reed, American architect Bruce Goff (1904-1982) was a World War II veteran, self-educated, and exceptionally creative. He introduced a form of organic architecture that was sensitive to both client needs and site constraints.³ Like Reed, who trained under Igor Polevitzky, California architect Harwell Hamilton Harris (1903-1990) trained under another great Modern architect, Richard Neutra. The work of both Reed and Hamilton Harris exhibited sensitivity to site and materials, well crafted interiors spaces, and an expression of roofing on the interior.³

Reed shared a close relationship with Fort Lauderdale architect Donald Singer (b. 1938). Reed and Singer once lived in the same Hollywood, Florida neighborhood and as a young architect Singer apprenticed with Reed. Like Reed, many of Singer's designs include clerestory glass windows under the roof line, and exterior and interior walls of exposed vertical stacked concrete masonry. In many regards the link between Igor Polevitzky and Charles Reed, Jr. and the link between Reed and Donald Singer, represents a direct line of descent of South Florida Modern architects. Interestingly, within Hollywood's Lakes Area Historic District, one can walk just a few blocks and trace the lineage through built examples of the three architects work.



Fig. 18b – Jim String, 47-year resident of the String House that he commissioned in 1959 [photo by Louis Friend, 2006]



Fig. 19a – Simon House illustrating well-crafted interior and detailed roofing structure [photo by Charles Reed, Jr., c. 1960s]



Fig. 19b – Simon House Exterior [photo by Charles Reed, Jr., c. 1960s]



Fig. 19c – Simon House [photo by Earl Strunk, c. 1960s]



Fig. 19d – Simon House [photo by Earl Strunk c. 1960s]



Fig. 19e – Simon House [photo by Earl Strunk c. 1960s]



Fig. 19g – Simon House [photo by Earl Strunk c. 1960s]



Fig. 19f – Simon House [photo by Earl Strunk c. 1960s]



Fig. 20a – Reed's Brill House which included an interior swimming pool [photo by Chuck Reed, Jr., c. 1959]

These residences include the Weitzman (Porch Series) House by Polevitzky; the Heiden, Ritchie, Simon, and Gahstrom houses, designed by Reed; and a béton brute-style house and the Cornfeld House, designed by Singer.

The City of Hollywood identifies Charles Reed, Jr. as a significant architect whose work contributes to the architectural integrity of the City's Lakes Area Historic District. He is listed in the City's Guidelines for Historic Preservation. He was invited by the City of Hollywood in 2004, and by Broward County in 2006, to participate in panel discussions on the significance of his work. The City of Hollywood exhibited his work in 2004, and in 2004 the Historical Museum of Southern Florida featured Reed's Brill House (c.1959) in its exhibit entitled *The Florida Home: Modern Living 1945-1965*. In 2006, Reed was honored again by a city-sponsored exhibition, home tour, and award for his significant architectural contribution. Recently articles regarding Chuck Reed have appeared in the *Miami Herald* and *Home Fort Lauderdale* magazine.

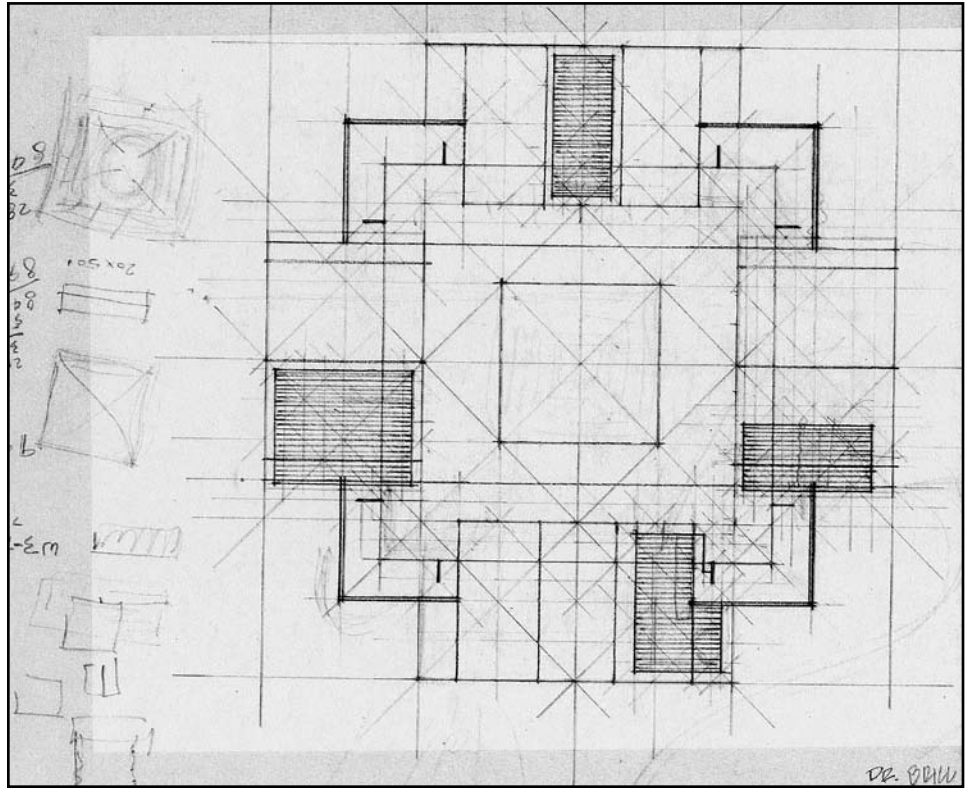


Fig. 20b – Rendering of interior swimming pool of the Brill House [Charles Reed, Jr. collection, c. 1959]

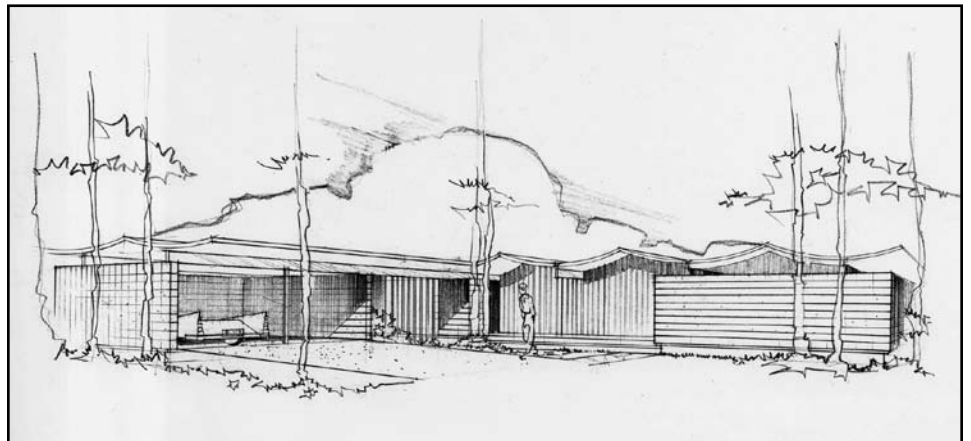


Fig. 20c – Brill House [Charles Reed, Jr. collection, c. 1959]

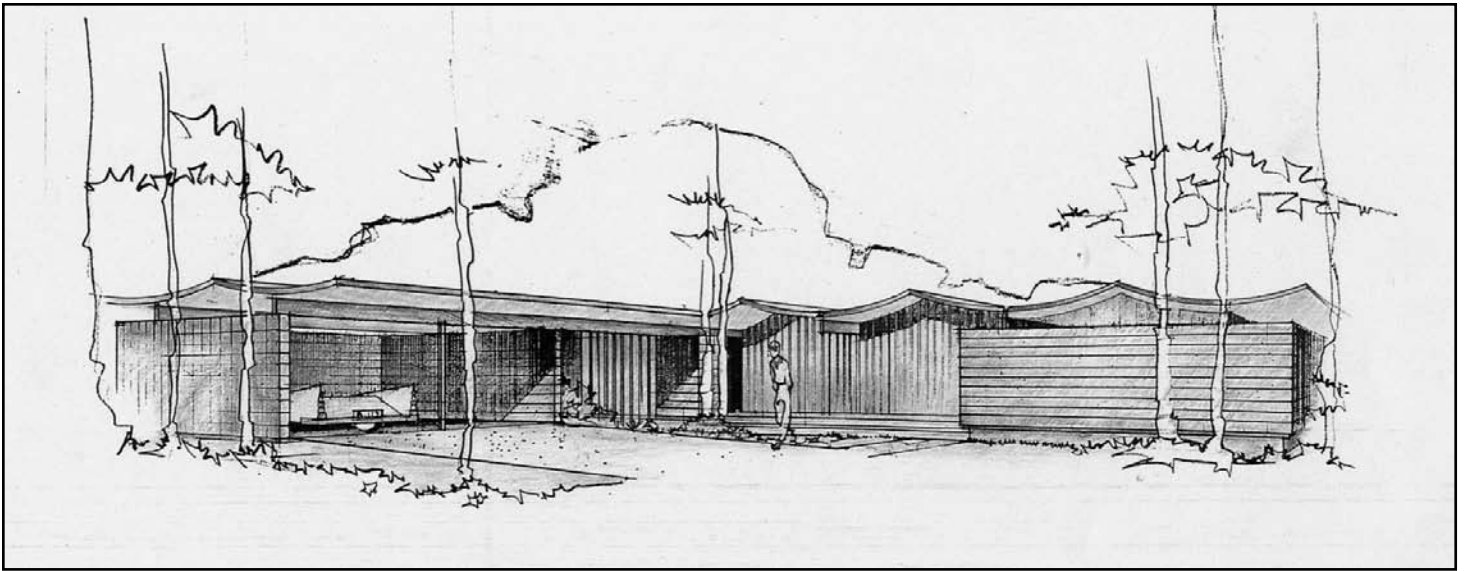


Fig. 20e –Brill House [Charles Reed, Jr. collection, c. 1959]

It is interesting to note that it has been over 40 years since Reed left South Florida and it is only until recently that his work is being rediscovered as a significant contribution to the South Florida built environment.

Hollywood has a rich architectural legacy, and Charles Reed, Jr. has a rightful place in a fine fraternity of significant architects who have enriched the City with meaningful buildings. The Lakes Area Historic District and the Downtown Hollywood Historic District include buildings designed by noted architects whose work epitomizes significant periods of architectural history. The Mediterranean Revival architecture of the 1920s is represented by the work of Miami architect Martin Luther Hampton and the Indianapolis firm of Rubbish & Hunter. Art Deco and Streamline Moderne architecture of the 1930s is represented by Miami Beach architect Henry Hohauser and Hollywood architects Bayard Lukens and Cedric Start. Florida Modern architecture of the 1940s and 1950s is represented by Miami Beach architect Igor Polevitzky and Hollywood architect Charles Reed, Jr.

Unfortunately, the majority of Reed's work is located outside of historic district boundaries. These homes include the Jaffe-Garrett, the String, the Wicker, the Lawson, the Brill, and the Hulmes houses.

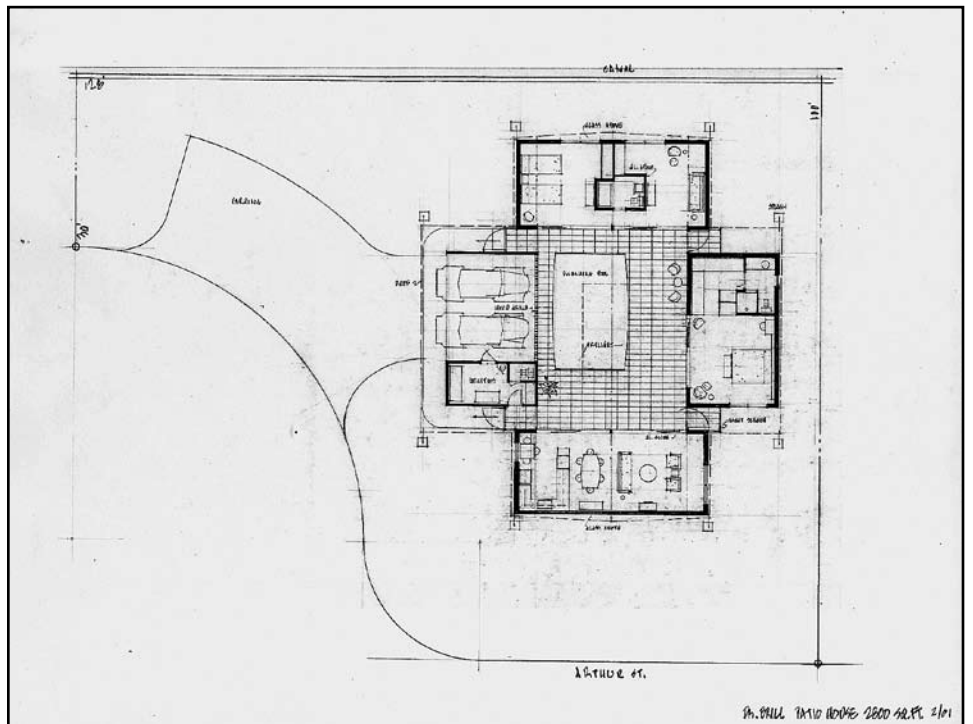


Fig. 20d –Brill House [Charles Reed, Jr. collection, c. 1959]

These houses represent the best examples of Reed's architecture, yet none of them have protection from inappropriate modifications or, worse yet, from demolition. As the pressure associated with infill development and attainable housing in Broward County increases, the status of these houses could be in jeopardy. One only needs to inspect the irreversible and inappropriate modifications to the Ritchie House to realize what is at stake. The author believes there is a strong argument to designate all of Reed's buildings collectively as a

local historic landmark because his work exceeds the minimum criteria mandated by the City of Hollywood Code of Ordinances for evaluation and designation of historic sites. Reed's work has association with events that have made a significant contribution to the broad patterns of history, namely the influx of service men who were stationed in South Florida during World War II and who returned here after the war to live, thereby generating a building boom that expanded the economy and spurred population growth.



Fig. 22a – Ritchie House [photo by Charles Reed, Jr., c. 1958]

Reed, himself was one of those G.I.s who returned here after the war and the houses that Reed designed reflect “a post war generation’s desire for modern homes that expressed the optimistic, future-oriented mood of the times”⁵. Reed’s designs represent the work of a master. He is a protégé of Igor Plevitzky and the meaningful architecture that Reed designed was practical in the way it addressed climate, client’s needs, construction techniques, and available materials; yet it was innovative and highly artistic in its articulation of space and form. The structural systems he designed preceded current building requirements by 30 years. His work embodies distinctive characteristics of the Florida Modern period. He used local building materials of concrete masonry, glass, and wood in

ingenious ways to create significant architecture that responded to our sub-tropical climate by articulating space to reflect the desired indoor-outdoor style of living. In all, the work of Reed in Hollywood contributes and enhances the City’s sense of place. For the benefit of future generations, the author believes government action should be taken to ensure that Reed’s work in Hollywood is preserved.

The interview with Reed closed with the following comments between the interviewer, Claire Garrett, and Charles Reed, Jr., which capture that wonderfully noble modesty that, very much like his buildings, focuses on people and the environment, in lieu of the man who designed them:

Claire Garrett: “So tell me Chuck, How would you like best to be remembered professionally?”

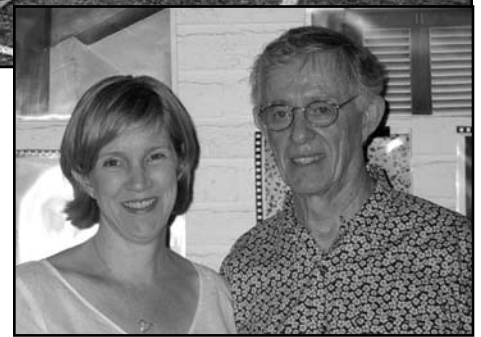


Fig. 21 –Charles Reed Jr. in May, 2004 with Jackie Friend [photo by Louis Friend]

Charles Reed, Jr.: “Oh my! I’ll have to come back next week and answer that one!”

Claire Garrett: “I know that everyone who has the pleasure of living in a Chuck Reed, Jr. house will indeed remember you very fondly and with great admiration.”

Charles Reed, Jr.: “That is wonderful! You’re expressing your feelings and I appreciate it a great deal. You have no idea how much that means.”



Fig. 22b – Current photo of Ritchie House showing modification inappropriate for the architectural style of the Ritchie House [photo by Louis Friend, 2006]

Reed, age 80, currently lives in Raleigh, North Carolina. He is quite pleased by the recognition received for the architectural legacy he has bestowed. Reed is also very proud of the artistic heritage of his family. “There’s a kind of continuity there,” exclaims Reed. He acknowledges his wife Elaine as a “wonderful artist” and credits her with helping him in his success as an architect. Elaine Reed is a talented sculptor whose work, in part, has architectural references. Her oil painted porcelain sculptures can be found in prestigious collections and museums. She has received many honors and awards. Both of Charles and Elaine Reed’s daughters are also artists. One is a painter and the other is a writer.

After spending a few hours in the company of Chuck Reed during the taping of the oral history, all were inspired by his admirable humility. Although the focus of the interview was on Chuck Reed, he typically redirected the attention toward the work or to stories about people other than himself — namely his family, his clients,

and his colleagues. True to form, Reed edited the draft of this article with added acknowledgements of his colleagues, thereby improving it with the following list of “especially capable associates”:

- 1) Jay Dusard, “a University of Florida graduate who became a famous photographer of cowboys from the Rio Grande to Canada, who now resides in Douglas, AZ”;
- 2) Tom Bridges, “a University of Florida graduate who was an excellent architectural draftsman”;
- 3) Bob MacDonald, “one of Fort Lauderdale’s best architects”;
- and 4) Bob Daniels, “a University of Florida graduate who was very good at quick sketch architectural presentations.”

He also included the following list of “building contractors with exceptional skills”:

- 1) Ned Smith, who built the Simon and Brill Houses;
- 2) Bob & Frank Erickson, who built the Ritchie and Jaffe Houses;
- and 3) Allan Downing, who built the String and Lawson Houses.

Notes

¹ “Morris Lapidus from Wikipedia, *The Free Encyclopedia*”, n.d., < http://en.wikipedia.org/wiki/Morris_Lapidus > (November 21, 2006).

² Horst de la Croix and Richard G. Tansey, *Art through the Ages 8th Edition* (Orlando, FL Harcourt Brace Jovanovich, 1986), p.483.

³ Kevin Matthews and Artifice, Inc., “Bruce Goff,” Great Buildings Online”, “website < http://www.greatbuildings.com/architects/Bruce_Goff.html > (November 19, 2006).

⁴ Kevin Matthews and Artifice, Inc., “Harwell Hamilton Harris from Great Buildings Online”, website http://www.greatbuildings.com/architects/Harwell_Hamilton_Harris.html (November 19, 2006).

⁵ Allan T. Shulman, “Igor Polevitzky’s Architectural Vision for a Modern Miami”, *The Journal of Decorative and Propaganda Arts*, Florida Theme Issue, Issue 23 (1998)

Erich E. Veitenheimer, Ph.D., Esq. & Andrew S Cariaso
1051 S Northlake Drive
Hollywood, FL 33019-1314

Via Email (JLevy@hollywoodfl.org)

January 25, 2021

Honorable Josh Levy
Mayor of Hollywood
2600 Hollywood Blvd
Hollywood, FL 33020-4807

RE: Unacceptable Delays for Building Permit #: B20-105852

Dear Mayor Levy:

My husband and I are writing to request that you or someone on your staff investigate the reason(s) why our Building Permit has been pending since at least September 14, 2020, with no appreciable action or progress towards its approval. Please see the attached Permit Information for Permit #: B20-105852 as copied today from the City of Hollywood website, which indicates that none of the six types of permit reviews underway has been approved after languishing for at least 4 months. Even despite Covid, this is not an acceptable or tenable situation.

After owning a series of “second-home” condos, townhouses and houses in Hollywood over the last two plus decades, we officially made FL and Hollywood our permanent residence and home on January 1, 2020. We purchased our waterfront home on S Northlake Drive through realtor Jeff Mager with the express purpose of renovating it. The house inspection before buying the home found *inter alia* extensive termite damage throughout the structure, severe hurricane damage to the roof causing continual roof leaking, no hurricane windows or doors, faulty electrical wiring, and water/plumbing issues. As regards the damage to the roof, it is so bad even after we paid \$18K to repair it that we are unable to secure home insurance that includes roof coverage!

After spending in excess of \$100K on a highly experienced, local structural engineer, John P. Thompson, and a highly regarded South FL architect, we submitted detailed building plans to Hollywood’s Building Division through our local and well-established contractor, Joe Jafarmadar, DeCota Group. We had somewhat recently successfully worked with Joe and the DeCota Group on renovating our West Lake Village house, which we still own and plan to inhabit during the Northlake home renovation. We went into this new house renovation with the same hopes of timely permit review and progress towards its approval. However, alas, that has not happened.

January 25, 2021
Honorable Josh Levy

We are close to wits end on this seemingly endless path towards obtaining the permits we need to bring the Northlake house up to the standards I would assume the City of Hollywood aspires to for all of its structures. In addition, work on our construction project helps local employment and businesses. It is with this nearly hopeless expectation that we write you directly in an appeal to investigate given that very little communication has flowed out of the Building Division regarding our long-pending and much-needed building permits.

My husband and I look forward to hearing from you soon.

Best,

A handwritten signature in black ink, appearing to read "Erich E. Veitenheimer", followed by a long horizontal line extending to the right.

Erich E. Veitenheimer, Ph.D., Esq.

cc: Carol Shuham, Commissioner, Hollywood FL
Russell Long, Interim Chief Building Official, Building Division, Hollywood FL
Joe Jafarmadar, President at Decota Group
John P. Thompson, John P. Thompson, Inc.
Jeff Mager, Realtor, Mager McQueen Group
Andrew S. Cariaso, husband and property co-owner

DECOTA

CONSTRUCTION

Office: 954.923.6004
Toll Free: 1.855.923.6004
Fax: 954.923.6005
Email: office@decotagroup.com

Licensed & Insured
CGC 1516657
1502 South Federal Hwy Dania Beach, FL 33004
www.DECOTAGROUP.com

August 7, 2018

Andrew Cariaso
1051 S Northlake Drive
Hollywood, FL 33019

Invoice

Roof Repair

Repairs completed August 2, 2018

Skylights installed August 3, 2018

Scope of work

Clean roof area

Remove all debris from roof.

Remove large tree limbs hanging over the roof area.

Remove Grape Arbor that is connected to the main house from the patio.

Replace all broken tiles and ridge caps.

Remove and replace total of 5 skylights.

Remove and replace rotten wood and repair flat roof edges where tile was installed incorrectly.

Remove gutters to install new fascia.

replace all rotten fascia.

Seal and water proof fascia and repaired perimeter.

reroofed flat roof with Rubber Modified.

Fee

Total

All roofing repairs done by Decota Construction are covered by a 2 year guarantee on normal weather/ wear and tear damage. (to exclude hurricane damage) .

Total Amount Due:

\$18,625.00

If you have any questions, please do not hesitate to contact me.

Very truly yours,
Decota Construction, Inc.

Permit Search Results

Search > Properties located at/on/near '...1051...'

44 permits were found for
1051 S NORTHLAKE DR

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		E22-100171	LOW VOLTAGE COMPLETE	2/1/2022	
Details		E21-102154	ELECTRICAL WORK	11/28/2021	
Details		E21-101093	TEMP POWER (FOR CONSTRUCTION)	6/17/2021	6/21/2021
Details		P21-100700	DEMOLITION-PLUMBING	6/3/2021	6/3/2021
Details		E21-100986	DEMOLITION-ELECTRICAL	6/3/2021	6/3/2021
Details		B21-103535	INTERIOR DEMOLITION	5/17/2021	5/24/2021
Details		E20-102518	ELECTRICAL WORK	12/29/2020	12/29/2020
Details		B20-106447	DOCK	10/9/2020	12/28/2020
Details		B20-105852	ALT-EXTERIOR & INTERIOR-RESIDENTIAL	9/14/2020	
Details		M18-100169	A/C CENTRAL (REPLACEMENT)	2/9/2018	3/20/2018
Details		M17-101554	A/C DUCTS (REPLACEMENT)	12/14/2017	1/31/2018
Details		M17-101353	A/C DUCTS (REPLACEMENT)	10/31/2017	
Details		B17-101312	FENCE-MASONRY/CONCRETE/PVC	3/7/2017	4/27/2017
Details		M16-100281	A/C CENTRAL (REPLACEMENT)	3/19/2016	11/22/2017
Details		P14-100375	FIXTURES-PLUMBING	4/9/2015	4/20/2015
Details		B14-104287	DECK - WITHOUT ROOF	9/4/2014	10/1/2014
Details		B14-103309	DRIVEWAY	7/3/2014	7/24/2014
Details		P14-100537	POOL REMARCITE	3/25/2014	4/8/2014
Details		B14-100931	ALTERATIONS-INTERIOR	2/27/2014	4/24/2014
Details		B14-100884	DRIVEWAY	2/25/2014	
Details		B08-104466	HURRICANE SHUTTERS	10/1/2008	10/1/2008
Details		B08-103830	REROOF - FLAT	8/15/2008	8/22/2008
Details		B08-103012	REROOF - COMBINATION OF TYPES	6/26/2008	6/27/2008
Details		M07-100627	A/C WINDOW/WALL UNIT	5/28/2008	5/28/2008
Details		E07-100770	ELECTRICAL WORK	4/9/2008	4/22/2008
Details		B07-101928	CONVERSION	8/7/2007	4/22/2008
Details	54522	E0302108	OUTLETS,SERVICE,PANELS,ETC	8/22/2003	9/4/2003
Details	51519	B0303417	DEMOLITION(OTHER THAN COMPLETE BUILDING)	6/24/2003	6/24/2003
Details		B0004818	RE-ROOF (METAL,TILE,WOOD,SHINGLE,SHAKE)		6/28/2000
Details		P9300620	POOL PIPING AND FILTER EQUIPMENT		5/26/1993
Details		E9301646	POOL/SPA ELECTRICAL		5/26/1993
Details		B9303532	DECK - WITHOUT ROOF		5/26/1993
Details		B9303531	POOL - RESIDENTIAL		5/26/1993
Details		B9207596	RE-ROOF-FLAT		11/16/1992
Details		P9201166	POOL PIPING AND FILTER EQUIPMENT		11/4/1992
Details		E9203121	POOL/SPA ELECTRICAL		11/4/1992
Details		B9207340	DECK - WITHOUT ROOF		11/4/1992
Details		B9207339	POOL - RESIDENTIAL		11/4/1992
Details		B9207239	DOCK		10/30/1992
Details		P21-101342	LAWN SPRINKLER EXCL PUMP AND WELL		
Details		P21-101341	PLUMBING WORK		
Details		M21-101182	A/C CENTRAL (NEW)		
Details		B21-107519	LANDSCAPING - TREE PLANTING		
Details		B21-107518	LANDSCAPING - TREE REMOVAL		

Register for E-Mail Notifications

[New Search](#)[Permit](#)[Approvals](#)[Reviews](#)[Inspections](#)[Contractor](#)

Permit Details

Process #:	Permit #: B20-105852	Master Permit: B20-105852
Status: APPLIED		
List All Subpermits		

Site Information

Address: 1051 S NORTHLAKE DR	Folio#: 514214018740
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOTS 29,30,LESS S 30 FOR ST,TR	Value: \$800,000.00
Lot:	Sq Ft: 0
Block:	

Permit Information

Application Type: ALT-EXTERIOR & INTERIOR-RESIDENTIAL - INTERIOR/Ext REMODELING OF KITCHEN, BATHROOMS & add'tl work	Application Date: 9/14/2020
Job Name: VEITENHEIMER,ERICH E III CARIASO,ANDREW STEVEN	Permit Date:
Film Number:	CO/CC Date: N/A
	Total Fees: \$19,510.21
	Recorded Payments: \$0.00
	Balance: \$19,510.21

Applicant / Contact Information

Name: DECOTA CONSTRUCTION
Address: 1502 S FEDERAL HWY DANIA, FL

Property Owner Information

Name: VEITENHEIMER,ERICH E III CARIASO,ANDREW STEVEN
Address: 1122 ROAN ALNE ALEXANDRIA VA 22302

Contractor Information

Name: DECOTA CONSTRUCTION (Permits + Details)
Address: 1502 S FEDERAL HWY DANIA, FL

Register for E-Mail Notifications

To receive automatic e-mail notifications about plan review and inspection updates for this process/permit number, enter your email address below. Notifications are sent within one hour of a plan review or inspection update.

E-Mail Address:

[Sign Up](#)

[Back to the Previous Page](#)

Building Division

Permit Self-Service

Application / Permit Data

Plan Approval Status

Plan Review Status

Inspection Results

Register for Email
Notification

Register for E-Mail Notifications

[New Search](#)
[Permit](#)
[Approvals](#)
[Reviews](#)
[Inspections](#)
[Contractor](#)

Permit Information

Process #:	Permit #: B07-101928	Master Permit:
Status: CLOSED		

Plan Review Status

This screen shows the most current results for each type of review. A blank in the **"Approved?"** column indicates that the review is pending. To see previous results click **"Review History"** in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a **YES** or **N/A**.

Date	Time	Comments	Reviewer
8/29/2007	10:56 AM	1) provide fl state energy calcs for new conditioned addition fbc 101 2) Will existing a/c handle the 425 square foot addition? Will additional a/c vents be installed?	

View	Approved?	Review	Date	Reviewer
Comments	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007	
Comments	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007	

View	Approved?	Review	Date	Reviewer	Review Cycle
Review History	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008		7
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	UTILITIES-DRAINAGE-PLAN REVIEW	8/27/2007	CLARISSA IP 954-921-3915	1
Review History	YES	ENGINEERING-PLAN REVIEW	8/20/2007		1
Review History	YES	BLDG-ELECTRICAL-PLAN REVIEW	8/16/2007		1

[Building Division](#)
[Permit Self-Service](#)
[Application / Permit Data](#)
[Plan Approval Status](#)
[Plan Review Status](#)
[Inspection Results](#)
[Register for Email Notification](#)

[Building Division](#)
[Permit Self-Service](#)
[Application / Permit Data](#)
[Plan Approval Status](#)
[Plan Review Status](#)
[Inspection Results](#)
[Register for Email Notification](#)

Register for E-Mail Notifications

New Search	Permit	Approvals	Reviews	Inspections	Contractor
----------------------------	------------------------	---------------------------	-------------------------	-----------------------------	----------------------------

Permit Information

Process #:	Permit #: B07-101928	Master Permit:
Status: CLOSED		

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

Date	Time	Comments	Reviewer
9/23/2008	10:30 AM	STRUCTURAL DISCIPLINE IS APPROVED FOR CUSTOM-MADE MAHOGANY WOOD-FRAME WINDOW PENDING RECEIPT OF PERMIT APPLICATION FOR STORM SHUTTERS.	

View	Approved?	Review	Date	Reviewer
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	8/7/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	7/25/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	

View	Approved?	Review	Date	Reviewer	Review Cycle
Review History	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008		7
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	UTILITIES-DRAINAGE-PLAN REVIEW	8/27/2007	CLARISSA IP 954-921-3915	1
Review History	YES	ENGINEERING-PLAN REVIEW	8/20/2007		1
Review History	YES	BLDG-ELECTRICAL-PLAN REVIEW	8/16/2007		1

Register for E-Mail Notifications

[New Search](#)
 [Permit](#)
 [Approvals](#)
 [Reviews](#)
 [Inspections](#)
 [Contractor](#)

Permit Information

Process #:	Permit #: B07-101928	Master Permit:
Status: CLOSED		

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

Date	Time	Comments	Reviewer
8/31/2007	1:29 PM	1) Structural calculations prepared by the designer of record shall be submitted for the complete building for the structural requirements of the code. 106.3.3 2) All headers in bearing walls shall be designed by rational analysis. Please provide all details on headers at all openings. R44095.1.11 3) Energy Calculations are required as per 13-101.2 4) Provide wind loads at door #2 5) Roof joist that cantilever shall not exceed half the length of the portion of the joist inside the building please adjust roof framing plan. R4409.6.11 6) All roof sheathing acting as a diaphragm shall be attached to a minimum 2-inch thick nominal member. Please show 2by fascia or sub fascia on plans. R4409.9.2.7	

View	Approved?	Review	Date	Reviewer
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	8/7/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	7/25/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	

View	Approved?	Review	Date	Reviewer	Review Cycle
Review History	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008		7
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	UTILITIES-DRAINAGE-PLAN REVIEW	8/27/2007	CLARISSA IP 954-921-3915	1
Review History	YES	ENGINEERING-PLAN REVIEW	8/20/2007		1
Review History	YES	BLDG-ELECTRICAL-PLAN REVIEW	8/16/2007		1

[Building Division](#)
[Permit Self-Service](#)
[Application / Permit Data](#)
[Plan Approval Status](#)
[Plan Review Status](#)
[Inspection Results](#)
[Register for Email Notification](#)

[Building Division](#)
[Permit Self-Service](#)
[Application / Permit Data](#)
[Plan Approval Status](#)
[Plan Review Status](#)
[Inspection Results](#)
[Register for Email Notification](#)

Register for E-Mail Notifications

New Search	Permit	Approvals	Reviews	Inspections	Contractor
----------------------------	------------------------	---------------------------	-------------------------	-----------------------------	----------------------------

Permit Information

Process #:	Permit #: B07-101928	Master Permit:
Status: CLOSED		

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

Date	Time	Comments	Reviewer
10/9/2008	2:51 PM	REVISION FOR STRUCT	
10/10/2008	3:04 PM	1) NOA for Jeld-Wen O/S steel door and NOA for Yale Ogron French door are approved. 2) 2x4 build-out for shutters at windows header and sill is not approved; (a) need architect or engineer's signed and sealed detail FBC R4410.4.7.3 (b) on any side of an opening, the maximum side clearance between the shutter and the wall shall be 1/4 " FBC R4410.4.7.1	DOMENICO I DE LISO

View	Approved?	Review	Date	Reviewer
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	9/26/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	8/7/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	7/25/2008	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	
Comments	YES	BLDG-STRUCTURAL-PLAN REVIEW	11/1/2007	

View	Approved?	Review	Date	Reviewer	Review Cycle
Review History	YES	BLDG-STRUCTURAL-PLAN REVIEW	10/23/2008		7
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	PLANNING-PLAN REVIEW	4/1/2008		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	BLDG-MECHANICAL-PLAN REVIEW	10/30/2007		2
Review History	YES	UTILITIES-DRAINAGE-PLAN REVIEW	8/27/2007	CLARISSA IP 954-921-3915	1
Review History	YES	ENGINEERING-PLAN REVIEW	8/20/2007		1
Review History	YES	BLDG-ELECTRICAL-PLAN REVIEW	8/16/2007		1

- Building Division
- Permit Self-Service
- Application / Permit Data
- Plan Approval Status
- Plan Review Status
- Inspection Results
- Register for Email Notification

[Register for E-Mail Notifications](#)

New Search	Permit	Approvals	Reviews	Inspections	Contractor
----------------------------	------------------------	---------------------------	-------------------------	-----------------------------	----------------------------

Permit Information

Process #:	Permit #: B08-103012	Master Permit:
Status: CLOSED		

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

Plan Review Comments	
No additional details are available.	

View	Approved?	Review	Date	Reviewer
Comments	YES	PLANNING-PLAN REVIEW	6/27/2008	

View	Approved?	Review	Date	Reviewer	Review Cycle
Review History	YES	PLANNING-PLAN REVIEW	6/27/2008		1
Review History	YES	BLDG-STRUCTURAL-PLAN REVIEW	6/26/2008		1

[Back to Application/Permit Data](#)

WHEN A DISCIPLINE IS REVIEWED THE STATUS WILL BE EITHER **YES**, **NO**, **N/A** (for "NOT APPLICABLE") OR **CA** (for a "CONDITIONAL APPROVAL").

A PERMIT CAN ONLY BE ISSUED WHEN ALL REVIEWS ARE DONE AND THERE ARE NO DENIALS (**NO**'s) IN THE STATUS.

A FINAL INSPECTION FOR A PERMIT CAN ONLY BE SCHEDULED WHEN ALL THE STATUSES ARE EITHER **YES** OR **N/A**.

[Register for E-Mail Notifications](#)

New Search	Permit	Approvals	Reviews	Inspections	Contractor
-------------------	---------------	------------------	----------------	--------------------	-------------------

Building Division

Permit Self-Service

Application / Permit Data

Plan Approval Status

Plan Review Status

Inspection Results

Register for Email
Notification

Permit Details

Process #:	Permit #: B08-103012	Master Permit: B08-103012
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1051 S NORTHLAKE DR	Folio#: 514214018740
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOTS 29,30,LESS S 30 FOR ST,TR	Value: \$9,200.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: REROOF - COMBINATION OF TYPES	Application Date: 6/26/2008
Job Name:	Permit Date: 6/27/2008
Film Number:	CO/CC Date: N/A
	Total Fees: \$282.50
	Recorded Payments: \$282.50
	Balance: \$0.00

Applicant / Contact Information
Name: AMERICAN QUALITY ROOFING INC
Address: 3600 N W 101 AVE PEMBROKE PINES, FL

Property Owner Information
Name: RUT,TOMASZ
Address: 1051 S NORTHLAKE DR

Contractor Information
Name: AMERICAN QUALITY ROOFING INC (Permits + Details)
Address: 3600 N W 101 AVE PEMBROKE PINES, FL

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 04.06.2021

Location Address: 1051 SOUTH NORTHLAKE DRIVE
 Lot(s): 29 + 30 Block(s): 48 Subdivision: HOLLYWOOD LAKES
 Folio Number(s): 514214018740 SECT. 1-32B
 Zoning Classification: RS-9 Land Use Classification: 33
 Existing Property Use: SGL. FAM. RESID. Sq Ft/Number of Units: 6518 S.F.
 Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: REVIEW BY HISTORIC PRESERVATION BOARD FOR APPROVAL

Number of units/rooms: 1 Sq Ft 6518 S.F.
 Value of Improvement: \$1.3 M Estimated Date of Completion: 09/2022
 Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: DREW CARIASO 22302
 Address of Property Owner: 1122 ROAN ALNE, ALEXANDRIA, VA
 Telephone: 703 967 6616 Fax: — Email Address: drew.c@comcast.net

Name of Consultant/Representative/Tenant (circle one): _____
 Address: _____ Telephone: _____
 Fax: _____ Email Address: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)
 If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: ERICH CARIASO
VELTENHEIMER III Address: 1122 ROAN ALNE
ALEXANDRIA, VA Email Address: drew.g@comcast.net

From: payplanning@hollywoodfl.org
Subject: Order Confirmation
Date: April 6, 2021 at 5:13 PM
To: drew@cariaso.net



It is recommended that you print a copy of this email for your records. It serves as a confirmation of your payment. Please do not reply to this email because it was sent from an unattended mailbox.

Order ID: AP1A6AAAE7EE
Invoice: 3336
Order Placed: Tuesday, April 06, 2021 02:13:23 PM PDT

Shipping Amount: \$0.00
Tax Amount: \$0.00
Amount of Transaction: \$672.00
Payment Type: MasterCard

BILL TO

Andrew Cariaso
1051 S Northlake Dr
HOLLYWOOD
FL
33109
US
7039676646
drew@cariaso.net

ORDER DESCRIPTION:

Payment #3336 for Historical Preservation Board for N/A

Thank you for using our online payment service.

LEGAL DESCRIPTION

LOT 29 AND 30, BLOCK 48, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR HIGHWAY AND STREET PURPOSE OVER AND ACROSS THE SOUTH 30 FEET OF SAID LOTS 29 AND 30; ALSO, ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS: BEING A PART OF TAYLOR STREET AND A PART OF BLOCK 70, HOLLYWOOD LAKES SECTION, BOUNDED ON THE SOUTH BY THE NORTH LINE OF LOTS 29 AND 30 IN BLOCK 48 OF HOLLYWOOD LAKES SECTION, IN THE NORTH BY BLOCK 71, OTHERWISE DESCRIBED AS NORTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF LOT 29 IN BLOCK 46, EXTENDED IN A NORTHERLY DIRECTION AND ON THE WEST BY THE WEST LINE OF LOT 30, IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION, AS SHOWN ON THE PLAT OF HOLLYWOOD LAKES SECTION, RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING ALL THAT PARCEL OF LAND BEING NORTH OF LOTS 29 AND 30, IN BLOCK 48, OF HOLLYWOOD LAKES SECTION, EXTENDING TO THE LAKE IN SAID SUBDIVISION.

ADDRESS

1051 SOUTH NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA 33019

PROJECT INFORMATION

This is a renovation and expansion project of a post-war modern ranch style single-family house that has previously had portions amputated and several ensuing unsympathetic additions built. Rotting wood-framed constructed additions are being eliminated and new CMU construction is substituted. The goals of the project are to add a second floor Master Suite, increase the size of the garage, and rework the entire composition into a cohesive whole thematically inspired by the original post-war home's aesthetic. The second floor's massing rises over prior Mediterranean additions to retain the original's scale as viewed from the pool or North Lake. Its shed roof tapers down overtop other prior additions to bring the height back down to single story scale. The garage is to be rotated onto the street grid to be able to enlarge it without completely relocating it, sharing walls with its former iteration. The rotation anchors the house on the streetscape right at the setback and opens up the front yard. The Porte Cochere adds convenience while modulating the perception of the scale of the two-story portion of the house. Through a different technique, the scale is relieved by breaking up continuous volumes with inserted voids, allowing light to filter in through the house while layering the elevations for a greater dimensional presentation.

CRITERIA STATEMENT

This project is a renovation of a leaky, termite-assaulted, post-war modern ranch style home in the Hollywood Lakes Historical District. Despite its somewhat decrepit present condition, the original composition's streamlined mid-century modern lines and its characteristically exceptionally low-pitched gabled roofing offer redeeming character. A unique twist of the original composition is its 30 degree rotation on its corner double lot, rendering its "front elevation" to face a 30 degree rotation from parallel to the small dead end of North 11 Avenue as it terminates at Northlake itself and 60 degrees rotation from parallel to its fronting on South Northlake Drive. Through its history, portions of the original house have been removed and several wildly incongruous additions have been progressively augmenting the home. All of the later additions emulated the 30 degree rotated organizational grid, but none followed through with the thematic roof pitch. Somehow an eclectic Mediterranean mash-up complete with barrel tile roofing was amalgamated with the mid-century modern ranch, and the original low-pitched roof was tiled. This resulted in a plague of roof leaks and an indecipherable floor plan and ad hoc compositional maze.

As a second floor Master Suite was to be added to the mix while the existing massing was to be utilized, wholesale reimagining was employed to re-introduce the essence of the mid-century modern ranch, most easily identified by those low-pitched roofs. Their original angles and pitches were repeated onto the existing and extended forms. The full two-story section supports a new Porte Cochere to modulate its height from the front yard and street perceptions for the neighbors and community. The present impractically inadequate garage has been widened and reoriented to South Northlake Drive along the original side setback of the house to establish an orthogonal reference point with the neighborhood. This enlarged the garden space of the front yard for the benefit of both owner and community.

Beyond the formal cacophony follows one of materials as well. Presented were stucco and barrel tiles and large-scale boulder stones (on the front elevation!) and coquina and brick and wood and metal. The original's material palette was straight-forward, and this design returns to that straight-forward approach. The mid-century ranch style presented stucco walls and aluminum windows, and that directed our material repertoire. Due to the aforementioned exceptionally shallow roof pitches, the metal of the windows clads the roofs and the structural elements as well. Various shading devices are aluminum. Only the front doors are wood along with a single feature wood column in the in the back and Trex decking. Spaces within the forms mitigate the massing to control the scale to relate to the human and the neighborhood perceptions. The composition of the immediate neighbor to the east offers a series of these low-pitched roofs, thematically continuing the themes where this property ends. Working with the existing conditions, this solution offers an intriguing mid-century redux complement in this community of varying styling episodes to develop into an enriching and significant participant.

PLANNING COMMENTS | CARMEN DIAZ, FITZ MURPHY, DEANDREA MOISE | 07/08/2021

APPROPRIATENESS FOR NEW HOME | FILE 21-CV-20 | 1051 S Northlake Drive

Please revise application accordingly to satisfy comments below, and provide a written response.

1. Survey and Site Plan is not clear. Please use finer pen to make numbers and letter legible. Site Plan Should include ground floor plan not roof plan and should mark all required setbacks, parking areas represented by 8.5'X19' dashed rectangle
2. Provide A/C existing, proposed and total areas in Site Data (Not addressed)
3. Provide parking calculation based on the A/C areas in Site Data
A Single Family House of 2,000 sq. ft. requires 2 parking spaces then
1 parking space per 500 sq. (Not addressed)
4. The curb cut for driveway on S. Northlake Dr. is wider than it is allowed.
Only 30% of the lot width is allowed or 24' max. Portions of driveway not included in the curbcut shall be a minimum of 5 feet from the property line.
5. Please show each parking space inside the garage and in the driveway. 8.5' wide x 19' long
6. You have submitted the proposed floor plans but you need to provide an existing or demolition floor plan. (Not addressed)
7. On the elevations, provide more information and detail, label the finishes. (Not addressed)
8. What are the triangles on the elevations? Label them. (Not addressed)
9. Label existing and proposed elevations. (Not addressed)
10. The front elevation is the one from 11th Avenue? Include the street name/number in drawing labels.
11. Provide finishes on the elevations, include a legend for the different materials: glass, stucco, metal, wood, etc. (Not addressed)
12. Comments based on renderings submitted on May 13th:
 - a. Renderings should reflect the proposed color, texture of proposed materials to be used in the design, as well as the proposed landscape material. Quality of the renderings do not adequately represent the materiality of the building.
 - b. Roof eaves, triangular windows and odd geometries are not keeping with the design of the home. This home was designed by Charles Reed, a prominent architect in the City of Hollywood. His work is considered significant in the City of Hollywood Historic Preservation Board. The proposed design should be consistent with the original design.
13. The Design Criteria shall be developed one by one of the criteria (Not addressed)
<http://hollywoodfl.org/ArchiveCenter/ViewFile/Item/465>
14. Colored site plan indicates decks and walkways that do not meet the required walkway and pool deck setback. Revise drawings to comply. Ensure that all drawings are consistent.

UTILITIES | ALICIA VEREA-FERIA | averea-feria@hollywoodfl.org | 05/10/2021

Please revise application accordingly to satisfy comments below, and provide a written response.

1. The proposed improvements value of \$1.3 million exceeds substantial improvement threshold of \$909,264 per 50% of the BCPA Building Value (\$1,515,440) + 20%.
2. Since this property is within Special Flood Hazard Area, FEMA FIRM Flood Zone AE with BFE = 5' NAVD 88 and Zone VE = 8' NAVD 88, this means that the finished floor elevation of the entire residence must be elevated to 6' NAVD 88, at a minimum, for compliance.
3. Please clarify if these improvements supplement the proposed improvements under the permit number B20-105852. The job value = \$800,000
4. Provide finished floor elevations for all areas on the floor plan, siteplan, architectural layout or existing survey.
5. New A/C unit shall be elevated to 6' NAVD 88.
6. Ensure all elevations reference NAVD 88.
7. New two-car garage requires flood openings per FEMA Technical Bulletin #1 for the sThat is, one square inch of flood opening per one square foot of storage room area. A minimum of two (2) flood openings must be provided and the bottom of the flood opening must be max 12-inches above adjacent grade.
8. Additional comments may follow upon further review of items requested.

ENGINEERING | MARTHA MCNICHOLAS | mmcnichlas@hollywoodfl.org | 05/17/2021

APPROPRIATENESS FOR NEW HOME | FILE 21-CV-20| 1051 S Northlake Drive

Please revise application accordingly to satisfy comments below, and provide a written response.

1. Plans SP-1 and SP-2 are showing different lines as Building Lot line, Retaining wall lines in driveway and other multiple lines in plans. Please provide clear property line in plans that pertain to this property address for the proposed job.
2. After only the property lines be submitted, provide all the setback dimensions and proposed driveway dimensions related to this address property lines..

LANDSCAPE | GUILLERMO SALAZAR | gsalazar@hollywoodfl.org | 07/06/2021

APPROPRIATENESS FOR NEW HOME | FILE 21-CV-20| 1051 S Northlake Drive

Please revise application accordingly to satisfy comments below, and provide a written response.

1. No Landscape Issues.

BUILDING COMMENTS | RUSSELL LONG | 05/10/2021
APPROPRIATENESS FOR NEW HOME | FILE 21-CV-20 | 1051 S Northlake Drive

Please revise application accordingly to satisfy comments below, and provide a written response.

1. No Building Issues.

Date: August 10, 2021

To: Hollywood Building Department
2600 Hollywood Blvd.
Hollywood, FL 33020

Job: 1051 South NorthLake Drive
Cariaso/ Veitenheimer Renovation

File: 21-CV-20

Re: *Planning Comments*

Response to Comments are as follows:

1. **Survey & Site Plan not clear...:** New survey attached; site plan revised to show ground floor only, parking spaces delineated and labeled - Refer to **SP-1**.
2. **Provide A/C existing, proposed & total areas in Site Data** - Added to Site Data **SP-1** . Also found on Sheet **T**.
3. **Provide Parking Calculation** - Refer to Site Plan Data **SP-1** and note #3 of same.
4. **Curb cut wider than allowed 24' max** - **SP-1** shows curb cut to be 23.48' < 24.0'. As the property line is in the street the driveway is well within the 5' min. from the property line.
5. **Show ea. Parking space inside garage & driveway...** **SP-1** all parking spaces are shown and delineated - see item #3 above.
6. **Provide an existing of demolition floor plan** - See attached for Demolition plans - note Demo permit already acquired.
7. **Elevations provide more information & detail** - Sheet **A10** show Existing and the Proposed as previously requested - **A11** calls out the building materials, doors and windows in larger scale. The same holds true for **A12/A13** of rear elevation; **A14/ A15** of Left Side Elevation; **A16/A17** of Right Side Elevation. Clearly labeled and denoted to doors, windows sections & details.
8. **What are Triangles on the Elevations** - The architectural symbol for Glass is 3 short diagonal lines all the windows and doors are called out on - **A11, A13, A15, A17**.
9. **Label Existing & Proposed Elevations** - Sheets **A10, A12, A14, & A16** the word Proposed has been added, Existing was labeled.
10. **The Front Elevation fronts which street** - The house site on the property at 30 deg. off parallel of North 11th Ave and 60 deg. off parallel to South Northlake Drive - Thus the address being 1051 South Northlake Drive.
11. **Provide finishes on the Elevations** - See response to item #7 above and the following sheets - **A11, A13, A15, A17**.
12. **Comments on Renderings**
 - **Renderings should reflect proposed color, texture of material...**The submitted renderings show the proposed color and texture of materials. A rendering is a perspective or elevation drawing of a project or portion thereof with artistic delineation of material, shades and shadows. It need NOT be photo realistic in order to portray the structure intent.
 - **Proposed Design consistent with the original design** - That is the intent - see below previously submitted.

Careful consideration was afforded the remaining portion of the original Charles Reed composition to determine an appropriate extrapolation to redefine the cacophony of unsympathetic forms that have historically confused what remains of the original, relegated to the lakeside of this property. Aberrant additions have superseded the original to cover the majority of the built site. At the initiation of this project, this amalgam is the point of departure, the original portions being a minority proportion of the subject building at hand.

Valuing the Reed remnant, design criteria was observed and catalogued. The character of the low-slung roofing concealed beneath barrel tiles was a premier feature. These pitches were presented in both gable interpretations and shed light monitors to augment natural lighting into the interior. Rectangular hypostyles of continuous glazing panels would march along parallel horizontal planes of roofing to ground relationships. Triangular windows were presented to resolve the interface when the roof slopes met horizontal elements. Parallelogram windows were employed when all adjacencies were neither horizontal nor vertical. The deep overhangs were noted as were the characteristic chevron projections at the gable ends. A gentle ebb and flow attribute characterized these formal interactions.

Then followed the evaluation of the various additions. New roof slopes were assigned. The Mediterranean barrel tiles were interjected. All manners of disjointed forms were imposed augmenting as well as replacing portions of the original home. Cohesion of the whole both functionally and aesthetically while adding a partial second floor was the goal. Focus on this design language initiated in the remnants of the Reed original at the lakefront side of the property was the method applied to coordinate all the disparate parts. All roofing was brought to the slopes of the original's gables and was designed emulating the original's chevron projections. Shed monitors and roof sections recalled those of the original. Triangular windows referenced the roof slopes as did those of the original.

The original house was a mid-century modern ranch, but two-story massing had been added in the ensuing years. Toward the South Northlake end of this property, our two-story addition was strategically positioned between the existing addition's tall massing and the low-slung original to retain the original character at the original portion of the house and using the shed monitor language of the original to present views of the lake bird's eye from the upper level interior, yet diminutive from the lake and pool view due to cone of vision restriction via layering of the building masses. This tallest midsection of the composition was then again rendered perceptually downscaled by layered massing achieved by the Porte Cochere, another shed application of the original roof slope. As the original home was a one-story ranch, the triangular windows were used as a modulating device to step down the scale of the taller aspects by referencing the ebb and flow characteristic of the original roof assemblage. Beginning at the Foyer, heights flutter from the roof down to gently lead the eye back downward to the levels of the original ranch of the past. The sloping of the shed continues its descent to the single-story eventuated at the South Northlake elevation at the Garage.

Today a much larger home than the original, of which only a portion remains, sets on this site. These applications and design strategies are harmonious with the initiating concepts as applied to the present massing and through these techniques present a coordinated and cohesive composition.

13. **Design Criteria developed** -The Criteria - See attached
14. **Colored Site Plan indicates decks and walkways that do not meet setbacks** - The decks and walkways in question are existing and remain unchanged.

Re: *Utilities Comments*

Response to Comments are as follows:

1. **Proposed Improvement value exceeds ...** The improvement value on the permit application is \$1.2 million. We have raised the finish floor elevation to comply with the flood zone criteria.
2. **Flood Zone min floor Elevation 6'** - The Floor elevation raise to 6' as noted on site and elevations.
3. **Please clarify if improvements supplement the proposed improvements...** these improvements are not supplemental to the proposed improvements. See item 1 for the proposed job value.
4. **Provide Finish Floor Elevation...** -The Floor elevation raise to 6' as noted on site **SP-1** , floor **A2 & A5**,and elevations **A10-A17**.
5. **New A/C unit elevated to 6'** - Note added Site Design Data **SP-1** and refer to rear elevation **A12/ A13** for unit stand.
6. **Ensure NAVD 88 is noted** - Refer to site **SP-1** , floor **A2** and elevations **A10-A17**.
7. **Flood Openings Required** - Revised Floor Plan **A2, A5**.
8. **Additional Comments...**

Re: *Engineering Comments*

Response to Comments are as follows:

1. **Plans SP-1 & SP-2 show different Building Lot Lines: Sp-1 and SP-2** revised to match survey - PL added to property line for clarity.
2. **Driveway dimensions and setback dimensions** - Refer to Sheet **SP-1** for all setbacks (labeled) and dimensions for the driveway.

Re: *Landscape Comments*

Response to Comments are as follows:

1. **No Landscape Issues:**

Re: *Building Comments*

Response to Comments are as follows:

1. **No Building Issues:**

Sincerely,
Heath E. Johnson - Architect
August 10, 2021

13. The Design Criteria shall be developed one by one of the criteria.

This project is within the Hollywood Lakes Historic District. Although the site of one of the district's mid-century modern ranch homes, much of it has been demolished decades ago and several additions have been added through the years.

Integrity of Location

This project involves the renovation and partial second floor addition to an existing house with several previous additions before it. It has served as a single family residence and will continue as such in its next chapter within a single family residential historic neighborhood of various styles mixed in with new modern homes.

Design

The present house is of competing styles within itself. The majority of it is presently a mediocre Mediterranean collection attached to what remains of a mid-century modern house at the lakeside end of the property. As stated above, the goal of this design is to add a partial second floor addition to the collection of previous additions to the original domicile, and then render the overall composition a cohesive whole informed by the aesthetic language and techniques of the original low-slung roofed mid-century modern original as it would be interpreted with taller massing elements included. Layering, massing reliefs, and scaling modulation techniques have been employed to reduce the height perceptions to approach the original's ranch scale to the neighborhood. The finish floors are being raised to accommodate the flood zone requirements.

Setting

The house is situated on the corner of the dead end of North 11th Avenue and South Northlake Drive at an unusual sixty degree rotation off of orthogonal to the intersection in the Northlake Historic District. It backs onto Northlake to the north.. Its neighbor to the east is a mid-century ranch and to the west is a two-story Mediterranean. A new modern house is across the street. The neighborhood is of various styles of single-family dwellings.

Materials


The present house's materials palette has been streamlined to enhance the modern ranch style over the Mediterranean. The barrel roofing is to be replaced with a standing seam metal roof seamed manually on site to accommodate the original's 1.5:12 roof pitch which is emulated throughout. The windows are anodized aluminum and the walls are white sand-finished stucco. Gates, shading structures, and planters are aluminum.

Workmanship

The workmanship on the project will far exceed that found at the site at the beginning of the project's process. Wooden structures leaning into failure and leaking roofing due to improper roofing choices will all be replaced with new and appropriate construction.

Association

As indicated above, this project is in an historic district of disparate styles. Its next-door neighbor adjacent to the east is a mid-century modern ranch clearly visible from Northlake, and this project reveals its mid-century modern ranch roots most emphatically on the lakefront elevation. The house it faces across North 11th Avenue is a two-story Mediterranean home. One- and two-story houses set across South Northlake of varying styles.

From: Dan Carroll AFL27@comcast.net 
Subject: Fwd: 1051 S. Northlake Drive Variance Request
Date: August 20, 2021 at 1:23 PM
To: Drew Carioso drew.c@comcast.net

DC

Begin forwarded message:

From: Dan Carroll <AFL27@comcast.net>
Subject: 1051 S. Northlake Drive Variance Request
Date: July 6, 2021 at 2:28:05 PM EDT
To: Fitz Murphy <FMurphy@hollywoodfl.org>



Carioso &
Veiten...st.docx

Hi, Fitz!

Please give me a call as to the status of our application for the Historical Review.

We'd like to post notice as soon as possible.

Give me a call.

Thanks!

Dan Carroll
561-573-1827

From: payplanning@hollywoodfl.org
Subject: Order Confirmation
Date: January 21, 2022 at 4:19 PM
To: drew@cariaso.net



It is recommended that you print a copy of this email for your records. It serves as a confirmation of your payment. Please do not reply to this email because it was sent from an unattended mailbox.

Order ID: AG1A5BC25695
Invoice: 4732
Order Placed: Friday, January 21, 2022 01:19:42 PM PDT

Shipping Amount: \$0.00
Tax Amount: \$0.00
Amount of Transaction: \$648.00
Payment Type: MasterCard


BILL TO

Andrew Cariaso
1051 S Northlake Dr
Hollywood
FL
33019
US
7039676646
drew@cariaso.net

ORDER DESCRIPTION:

Payment #4732 for Certificate of Appropriateness for Demolition fee for FILE 21-CMV-20I

Thank you for using our online payment service.

From: Dan Carroll AFL27@comcast.net 
Subject: Fwd: [EXT]Re: 1051 S. Northlake Drive / 21-CV-20
Date: August 20, 2021 at 12:44 PM
To: Drew Cariaso drew.c@comcast.net

DC

Begin forwarded message:

From: Dan Carroll <AFL27@comcast.net>
Subject: Re: [EXT]Re: 1051 S. Northlake Drive / 21-CV-20
Date: May 27, 2021 at 4:58:33 PM EDT
To: Carmen Diaz <CDIAZ@hollywoodfl.org>

Hi, Carmen!

I was speaking with the Structural Engineer who said he was anticipating augmenting the walls to make not only the floors up to an acceptable grade for Hollywood, but then therefore to raise the roofs higher as well. So while the roofs are to be completely replaced, several walls will remain but made higher to accommodate the higher floor elevation. Being therefore a partial demolition, you've given me good news!

Thanks!
561-573-1827

On May 27, 2021, at 8:59 AM, Carmen Diaz <CDIAZ@hollywoodfl.org> wrote:

Will you demolish the entire house? Will you demolish partially?
If it is a partial demolition, yes you can keep the existing setbacks.
Is there a phone number to call you?

Carmen

From: Dan Carroll [<mailto:AFL27@comcast.net>]
Sent: Thursday, May 27, 2021 8:56 AM
To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: [EXT]Re: 1051 S. Northlake Drive / 21-CV-20

Hi, Carmen!

What is our Historic Review Application Number?
Is it "1051 S. Northlake Drive/ 21-CV-20"?

We are being asked to raise the house due to flood zoning, which will involve more new construction work augmenting wall heights and such on the same footprint as

the present design, with consideration given to step requirements due to the raised finish floor height relative to grade.

Will our grandfathered 7.5' side setback of the existing house hold for this requested additional construction in order to hold the present design's footprint intact?

They plan to soon act on their issued demolition permit.

Thanks!

On May 13, 2021, at 5:51 PM, Carmen Diaz <CDIAZ@hollywoodfl.org> wrote:

Hello Dan,

Guillermo responded with new comments after reviewing the Landscape plans.

Regards,

Carmen Diaz

-----Original Message-----

From: Guillermo Salazar

Sent: Thursday, May 13, 2021 5:17 PM

To: Carmen Diaz <CDIAZ@hollywoodfl.org>

Subject: RE: 1051 S. Northlake Drive / 21-CV-20

Hello Carmen,

Below my comments for landscape please send for revision:

Provide a revised L1 and L2 that show city approved species and mitigation 1:1 for two Royal palms removed with two palm trees with a minimum 8' of Clear trunk as per comments provided species to be as per city code or mitigation approved species: Sylvester, Bysmark, Royals, Coconuts, Sables.

If providing mitigation for removed royal palms with hardwood trees provide city approved specs of a minimum of 12' HT and 2" DBH trees for under powerlines approved species like: Bulnesia, Tababuia, Bridal Veil, Green Buttonwood, Crape Myrtle 'Natchez' or Muskogee' provided Lignum Vitae doesn't meet the minimum height and spec required for mitigation but

can be provided as an accent tree if desired.

Provide diversity on provided street and open space trees and choose one of the options provided above for more proficient species that will provide canopy coverage, meet code and shade.

Thank you.

Best regards,

Guillermo Salazar M.S.
Landscape Plan Reviewer
Landscape Designer/Horticulturist/Arborist City of Hollywood

Carmen Diaz
Associate Planner
City of Hollywood
The Division of Planning and Urban Design

P.O. Box 229045
Hollywood, FL 33022-9045
Office: 954-921-3471
E-mail: CDIAZ@hollywoodfl.org
[www.hollywoodfl.org]

Notice: Florida has a broad public records law. All correspondence sent to the City of Hollywood via e-mail may be subject to disclosure as a matter of public record.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: Moira Douglas moira@ARCHITECNIC.COM

Subject: 1051 S. Northlake Drive

Date: July 12, 2021 at 4:44 PM

To: John P. Thompson Jr. P. E. (jt3rdpig@aol.com) jt3rdpig@aol.com, Daniel Carroll (af127@comcast.net) af127@comcast.net

Cc: Drew Cariso drew.c@comcast.net

MD

I called Division of Planning this afternoon and asked to speak with Deandrea or Leslie. The receptionist mentioned she would pass me to Fitz and I expressed my disappointment to no avail. I felt it was useless to speak to him since he was leaving in a few days – of which she was unaware. I left a message on Fitz' phone asking if they had reviewed all the files that were placed in the special shared folder on April 6th and left my number 3 times for him to return my call. Needless to say, I had no real luck speaking to anyone in the know. I will try to reach out to him – them – whomever tomorrow and see if I have better luck.

Moira J. Douglas



Homes By Architecnic, Inc.

Architeca, Inc.

12189 NW 52nd Court

Coral Springs, FL 33076

954 755-0690

From: Dan Carroll AFL27@comcast.net  
Subject: Fwd: [EXT]1051 S. Northlake Drive
Date: August 20, 2021 at 12:45 PM
To: Drew Carioso drew.c@comcast.net

DC

Begin forwarded message:

From: Dan Carroll <AFL27@comcast.net>
Subject: Fwd: [EXT]1051 S. Northlake Drive
Date: July 9, 2021 at 2:41:27 AM EDT
To: "Architecnic, Homes by" <moira@architecnic.com>

Hi, Moira!

Regarding Carioso & Veitenheimer, I've been calling Fitz, Carmen's replacement, daily after speaking with him Monday.

He said he would review the file and see its status and call me back Tuesday.

Although I've yet to hear back from him, I see he sent this e-mail response forwarded below.

While Carmen has already left, Fitz, too, is leaving for another job mid-July, which is next week when we will be handed off to Deandrea!

I spoke with John this afternoon who is concerned that the department may have misplaced filings, as such things can happen there.

Thanks!

Begin forwarded message:

From: Fitz Murphy <FMURPHY@hollywoodfl.org>
Subject: RE: [EXT]1051 S. Northlake Drive
Date: July 8, 2021 at 8:58:59 AM EDT
To: Dan Carroll <AFL27@comcast.net>
Cc: Deandrea Moise <DMOISE@hollywoodfl.org>, Leslie Del Monte <LDELMONTE@hollywoodfl.org>

Good morning Dan,

I hope this email finds you well. We have reviewed the documents you have submitted thus far and have found there are a significant number of unaddressed comments from Planning, Engineering and Utilities. All new or revised comments from Deandrea and I are underlined. Please submit revised drawings as soon as possible to address these comments (See attached). As mentioned before, the next available HPB hearing is 9/21. As such all comments must be **addressed, reviewed and approved** by 8/19 in order to be included on this agenda. Do not wait until 8/19 to submit the requested revisions.

Also, it has come to our attention that there has been a significant amount of exterior demolition on the property, which is beyond the scope of work of your interior demolition permit issued. The Historic Preservation Board and well as Code Enforcement are also aware and this may result in code violations upon inspection.

Regards.

Fitz Murphy

From: Dan Carroll [<mailto:AFL27@comcast.net>]
Sent: Tuesday, July 6, 2021 2:38 PM
To: Fitz Murphy <FMURPHY@hollywoodfl.org>
Subject: Re: [EXT]1051 S. Northlake Drive

Hi, Fitz!

Thanks for your response!

I e-mailed and called you again before I read this.

I guess pass that on to Deandrea Moise and have her call me, unless you want to, as we are not to mid-July yet!

We'd like to post for the Historical Review as soon as possible.

Thanks!

On Jul 6, 2021, at 6:07 AM, Fitz Murphy <FMurphy@hollywoodfl.org> wrote:

Thank you Dan,

The revised irrigation plan has been sent to the Landscape Reviewer for comment.

In the future, please copy Deandrea Moise on all correspondences as she will be taking over the project in in mid-July.

Regards,

Fitz

-----Original Message-----

From: Dan Carroll [<mailto:AFL27@comcast.net>]
Sent: Friday, July 2, 2021 9:47 AM
To: Fitz Murphy <FMURPHY@hollywoodfl.org>
Subject: [EXT]1051 S. Northlake Drive

CAUTION: This email originated from outside of the organization. Do not

click links or open attachments unless you recognize the sender and know the content is safe.

Fitz Murphy
Planning Administrator
City of Hollywood
The Division of Planning and Urban Design

P.O. Box 229045
Hollywood, FL 33022-9045
Office: 954-921-3471

[E-mail: FMURPHY@hollywoodfl.org](mailto:FMURPHY@hollywoodfl.org)

[\[www.hollywoodfl.org\]](http://www.hollywoodfl.org)

Notice: Florida has a broad public records law. All correspondence sent to the City of Hollywood via e-mail may be subject to disclosure as a matter of public record.



2021_0708_212
0_HP...nts.pdf

From: William Seay bilcccc@gmail.com

Subject:

Date: November 20, 2021 at 12:50 PM

To: 1051 S Northlake Dr / Drew - Erich drew.c@comcast.net, 1051 S Northlake Dr / Drew - Erich erichviii@outlook.com



Drew and Erich,

The latest structural plan review only has one item to clear up. The finish floor elevation agreed to by utilities is 6.5' but the old utilities comment says 9.0'. The reviewer in structural is good with everything except the floor elevation discrepancy. He sees the 6.5' elevation on the plans and the 9.0' elevation in the utilities comments. I sent Dan the structural comment and reviewer contact info. He is working on clearing this up. We should get the electrical review any day now. See attached.

Bill

1051 South Northlake Drive



Dan Carroll to Alicia, me, Homes

12:22 PM (16 minutes ago)

Hi, Alicia!

Could you please adjust your comments on this project to react the fact that 6.5' NAVD88 Finish Floor Elevation is indeed acceptable?

Domenico I De Liso in Structural is still quoting the Utilities 10/25/21 comment "...the FFE would need to 9.0' NAVD88" as of 11/19/2021 @ 7:00 pm.

The builder Bill Seay has notified me today about this oversight, that I now bring to your attention for reme

Thank you, and Happy Thanksgiving!

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and th ones in the Review History) for each discipline must be a YES or N/A.

Date	Time	Comments	Reviewer
11/16/2021	11:15 AM	ATTACHED PERMIT REVIEW COMMENT RESPONSES	FLORENCE JOSEPH
11/19/2021	7:00 PM	1) Approved the revised Special Inspector Form (signed by permit holder on 11/04/21) 2) Revised sheet SP1 and SP2 (dated 11/11/21) show FFE 6.5: these sheets are not stamped approved at this time for the structural discipline pending approval by Utilities (on 10/25/21 Utilities comment was: "...the FFE would need to be 9' NAVD88") Utilities plans examiners, structural plans examiners and all plans examiners are available for phone consultation every Tuesday and Thursday (7:30am - 10:30am) via the Q-Less application. Please see the City's website:	DOMENICO I DE LISO 954-921-3366

	<p>https://www.hollywoodfl.org/328/Building Indicate the permit number and the plans examiner you are requesting to be called by</p>	
--	---	--

From: Dan Carroll AFL27@comcast.net
Subject: Fwd: C&V Submittal
Date: August 20, 2021 at 1:24 PM
To: Drew Cariaso drew.c@comcast.net



Begin forwarded message:

From: Dan <AFL27@comcast.net>
Subject: Re: C&V Submittal
Date: April 15, 2021 at 4:52:44 PM EDT
To: Moira Douglas <moira@ARCHITECNIC.COM>

Hi, Moira!

The secretary said that Carmen said she sent me a response today via e-mail, but I have not (at least yet) received it.

Maybe she sent it to you.

She is supposed to call later, and I already have two requests placed previously for her to call.

I've called them 3-4 times today!

Thanks!

On Apr 15, 2021, at 12:20 PM, Moira Douglas <moira@ARCHITECNIC.COM> wrote:

No I did not receive any of this

Moira J. Douglas
Homes By Architecnic, Inc.
Architeca, Inc.
12189 NW 52nd Court
Coral Springs, FL 33076
954 755-0690

From: Dan Carroll <AFL27@comcast.net>
Sent: Thursday, April 15, 2021 12:08 PM
To: Moira Douglas <moira@ARCHITECNIC.COM>
Subject: C&V Submittal

Begin forwarded message:

Hi, Moira!

I was just checking my e-mail to see if Carmen had sent me the list of companies to post notice on the

Send me the list of companies to post notice on the property and notify to the neighbors by mail and I found this!

Are you aware of this?

Did Drew e-mail you with the deed, second page, etc.?

I thought the thank you that you received meant the submittal was successful!

I have a call into Carmen.

Thanks!

From: Carmen Diaz <CDIAZ@hollywoodfl.org>

Subject: RE: [EXT]Re: Payment link

Date: April 12, 2021 at 4:57:27 PM EDT

To: Dan <AFL27@comcast.net>

Good afternoon Dan,

The HPB submittal is not complete.

- The second page for the application has not been submitted yet. Remember the second page is where the owner signs.
- The application fee. I have not got the payment confirmation.
- The warranty deed was not submitted.
- The Paving, Grading and Drainage plans were not submitted.
- I did not find color renderings.
- The design criteria statement, you should explain one by one in a few sentences.
- The survey, numbers are not clear, specially setbacks. Pen settings are too thick.

<image001.png>

You have to explain one by one of the criteria: (1) integrity of location, (2) design, (3) setting, (4) materials, (5) workmanship, and (6) association. The one below is an example of a variance criteria:

<image002.png>

If you have any questions, please email me. If you need to talk to me, let me know and send me your phone number.

Regards,

Carmen Diaz
Associate Planner

From: Dan [<mailto:AFL27@comcast.net>]
Sent: Tuesday, April 6, 2021 3:07 PM
To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: Re: [EXT]Re: Payment link

Thanks, Carmen!

On Apr 6, 2021, at 12:35 PM, Carmen Diaz
<CDIAZ@hollywoodfl.org> wrote:

Hello Dan,

Submittals shall be before 6 pm.
I have to get the list of agents but it is not necessary for the
submittal since the noticing will be done in a few weeks but I
will send it to you this week or next week.

Thank you,

Carmen

From: Dan Carroll [<mailto:AFL27@comcast.net>]
Sent: Tuesday, April 6, 2021 12:33 PM
To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: Re: [EXT]Re: Payment link

Hi, Carmen!

The legal description is no problem, and
already done.

So I see the Project Information is a
narrative.

I will write a few sentences about the
project, similar to the narrative that I wrote

for the Design Criteria request, but shorter.

I look forward to receiving your list of agents. Feel free to recommend one that you think might be the best, if you have a favorite.

The client is working on getting me his signature on the General Application and Warrantee Deed and making the online payment tonight.

If he gets it to me in enough time to get it to you by midnight, will that be sufficient for the deadline?

Thanks!

On Apr 6, 2021, at 10:52 AM, Carmen Diaz
<CDIAZ@hollywoodfl.org> wrote:

Hello Dan,

The Legal Description is on the Warranty Deed or if you check BCPA you can find it there.

The project information, a few lines about the project. What the project is about.

The information of the public notice, you need to provide only the name of the agent who will do the notices and site posting for your client. I have to send you the paper with the agents that have worked with the City of Hollywood before. You can choose one of them.

Carmen

From: Dan [<mailto:AFL27@comcast.net>]
Sent: Tuesday, April 6, 2021 10:29 AM

To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: Re: [EXT]Re: Payment link

Hi, Carmen!

On the legal description and Project Info sheet, what Project information do you want to see? We do have a panel of info on our Site Plan.

Also, you were going to tell me what information I needed for the Public Notice and Property Posting Requirement.

Was there also a company you were trying to connect me with regarding taking care of the posting and mailing?

Thanks!

On Apr 5, 2021, at 5:57 PM, Carmen Diaz <CDIAZ@hollywoodfl.org> wrote:

Hello Dan,

Provide the address since this project does not have a number yet.

Only a digital package which could be 11x17 or 24x36 as long as the file is less than 25 MB.

You do not need an Ownership and Encumbrance Report only the Warranty Deed (digital)

Carmen

From: Dan
[mailto:AFL27@comcast.net]
Sent: Monday, April 5, 2021 5:55 PM
To: Carmen Diaz
<CDIAZ@hollywoodfl.org>
Subject: [EXT]Re: Payment link

Hi Carmen!

For the payment of \$672, they ask for the reference number. What is the reference number for this project?

Are we to provide you one digital package only, or do you need the 11" X 17" and/ or 24" X 36" paper versions as well? What is the Ownership and Encumbrance Report? Digital or paper, as it asks for two copies?

Thanks!

On Apr 5, 2021, at 5:03 PM, Carmen Diaz
<CDIAZ@hollywoodfl.org> wrote:

Hello Dan.

This is the payment link to
make the payment:

<https://apps.hollywoodfl.org/PaymentCenter/PlanningPayment.aspx>

Regards,

Carmen Diaz
Associate Planner

Carmen Diaz
Associate Planner
City of Hollywood
The Division of Planning and
Urban Design

P.O. Box 229045
Hollywood, FL 33022-9045
Office: 954-921-3471
E-mail: CDIAZ@hollywoodfl.org



Notice: Florida has a broad
public records law. All
correspondence sent to the City
of Hollywood via e-mail may be
subject to disclosure as a matter
of public record.

CAUTION: This email originated from
outside of the organization. Do not click
links or open attachments unless you
recognize the sender and know the
content is safe.



Inspection Report

Erich Veitenheimer Andrew Cariaso

Property Address:
1051 S North Lake Dr
Hollywood FL 33019



Coast To Coast

Todd Warner HI8343

**2114 N. Flamingo Road #1277
Pembroke Pines, FL 33028
954-435-4443**

Table of Contents

Cover Page	1
Table of Contents	2
General Summary	4
Intro Page	9
1 Exterior Components	11
2 Roof	25
3 Crawlspace	25
4 Electrical System	26
5 Plumbing System	29
6 AC/Heater Zone 1	30
7 AC/Heater Zone 2	32
8 AC/Heater Zone 3	34
9 AC/Heater Zone 4	35
10 Water Heater Unit 1	36
11 Sprinkler System	37
12 Pool System	38
13 Interior Hallways and Staircase	40
14 Kitchen and Appliances	43
15 Living Room	45
16 Dining Room	48
17 Master Bedroom	49
18 Bedroom 2	50
19 Master Bathroom	51
20 Bathroom 2	52
21 Garage	54
22 Attic	56
Invoice	58

[Attachments.....59](#)

General Summary



Coast To Coast

**2114 N. Flamingo Road #1277
Pembroke Pines, FL 33028
954-435-4443**

Customer

Erich Veitenheimer Andrew Carioso

Address

1051 S North Lake Dr
Hollywood FL 33019

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Exterior Components

1.0 Exterior Inspected Items

Inspected, Repair or Replace

- (1) Fascia has termite and wood rot damage in various areas.
- (2) Storage door has water damage, door knob assembly is inoperative and door frame is missing latch plates. Recommend replacing door and frame. \$300 to \$400
- (3) Hose bib knob is damaged. Recommend replacing knob. \$5
- (4) Pool equipment room has mud tubes, evidence of subterranean termites. \$Unknown
- (5) East cabana roof is missing roof tile and a few are loose. \$500
- (6) Patio gutter is damaged and loose from fascia board. Recommend repairing gutter. \$200 to \$300
- (7) Pool pump shed light fixture is inoperative. Recommend replacing fixture. \$30 to \$50
- (8) West cabana roof is tilted down, possible subterranean damage. \$Unknown
- (9) Wood walkway is rotted in various areas. Dock boards are rotted in various area
- (10) Lamp posts by boat dock is inoperative and electrical outlet by post test it with no power. Recommend a licensed electrician inspect for the repair. \$Unknown

- (11) Various electrical junction box throughout property are open with exposed wiring. Recommend a licensed electrician inspect further and repair. \$Unknown
- (12) Hose bib leaks when valve is open. Recommend a licensed plumber repair. \$100 to \$120
- (13) Soffit light fixture is missing bulb. Recommend adding bulb. \$10
- (14) Walkway pavers at different areas throughout home or uneven and is a trip hazard. Recommend leveling off papers. \$200 to \$300
- (15) Decorative wood door by jacuzzi are damage and no longer operational. Recommend replacing doors. \$Unknown
- (16) Wood deck by jacuzzi has various loose boards. Recommend securing boards.
- (17) Parapet wall has a settlement crack. Recommended license contractor inspect further. \$Unknown
- (18) Open junction box with exposed wiring and wall is unfinished.
- (19) Patio rear door frames has water damage. Recommend replacing bank of doors. \$Unknown
- (20) Hose bib has a damaged knob. Recommend replacing knob.
- (21) Hose bib by front door has no water pressure. Recommend a license plumber repair. \$120 to \$Unknown
- (22) Custom made wood window frames have termite damage at various areas. Recommend fumigation for drywood termite if home is not under a current warranty. Estimate cost to fumigate \$3200 to \$3600
- (23) Front door fountain is inoperative at time of inspection. \$Unknown
- (24) Various loose fountain coping tiles. Recommend securing tiles. \$200 to \$300
- (25) Flood light fixtures are inoperative at time of inspection. Fixtures are on motion/light sensors.
- (26) Water heater closet light fixture is missing bulb
- (27) Various awning windows are screw down and can not be opened.
- (28) Water closet ceiling sheathing has water satins from a roof leak.
- (29) Storage closet wood ceiling has water stains and termite damage.
- (30) Storage wall fixtures is inoperative. \$5
- (31) GFCI outlet tested with no power. Recommend a licensed electrician repair. \$100 to \$120
- (32) Outlet missing cover.
- (33) No access to spa pool pump.
- (34) Front door rubs against tile flooring and door does not remain open.

2. Roof

2.0 Roof Inspected Items

Inspected, Repair or Replace

Roof is a foam on tile roof and built up flat roofs. Roof has various areas of leaks. Roof tile is loose in many various areas. There are various improper repairs on tile and flat roofs. Skylights has been improperly sealed. Dues to condition, recommend a total reroof. Fascia boards are damaged in various areas. \$45000-50000. Get a replacement quote from a licensed roof company

4. Electrical System

4.0 Electrical Service Panel

Inspected, Repair or Replace

Service panel is missing inner cover Fasteners. Recommend adding fasteners.

4.1 Electrical Distridution Panel and Sub-Panels

Inspected, Repair or Replace

Open breaker slot. Recommend adding cover

10. Water Heater Unit 1

10.0 Water Heater System

Inspected, Repair or Replace

Water heater housing is rusted. No evidence of moisture at time of inspection.

12. Pool System**12.0 Pool Inspected Items****Inspected, Repair or Replace**

Pool equipment room floor tile is blocking all pipes into ground if they were in need of repair.

13. Interior Hallways and Staircase**13.0 Interior Inspected Components****Repair or Replace**

- (1) Various hollow spots observed at tile flooring. Recommend further evaluation from licensed flooring contractor.
- (2) Evidence of water intrusion at hallway ceiling, area tested negative for moisture. Recommend further evaluation.
- (3) Stairwell railing detached. \$100
- (4) Evidence of mold at interior air handlers. Recommend further evaluation.

14. Kitchen and Appliances**14.0 Kitchen/Appliance Inspected Items****Repair or Replace**

- (1) 4 GFCI outlets have hot neutral reversed and are not tripping. \$150 - unknown
- (2) Cabinet hinge detached. \$25
- (3) Dishwasher dispenser not closing. \$50 - unknown
- (4) Evidence of water intrusion at ceiling, areas tested negative for moisture. Recommend further evaluation.
- (5) Cabinet cover panel detached. \$25

15. Living Room**15.0 Living Room Inspected Items****Repair or Replace**

- (1) Outlet has hot neutral reversed. \$100
- (2) Missing ceiling lights. \$ unknown
- (3) Evidence of water intrusion at ceiling above door. Area tested negative for moisture. Recommend further evaluation.
- (4) Water intrusion and damage to door/window framing at various areas. \$ unknown. Recommend further evaluation.
- (5) Termite damage to ceiling finish & ceiling truss. \$ unknown. Recommend further evaluation.

16. Dining Room**16.0 Dining Room Inspected Items****Repair or Replace**

- (1) Evidence of water intrusion / dry rot at window base. \$ unknown. Recommend further evaluation.
- (2) Ceiling lights not turning on. \$50 (if bulbs) - unknown
- (3) 2 ceiling lights out. \$25 (if bulbs)

17. Master Bedroom

17.0 Master Bedroom Inspected Items

Repair or Replace

Sliding doors not rolling along tracks smoothly. \$50 - \$100

18. Bedroom 2

18.0 Bedroom 2 Inspected Items

Repair or Replace

Ceiling deflection. \$ unknown

20. Bathroom 2

20.0 Bathroom 2 Inspected Items

Repair or Replace

- (1) Light not secured. \$50
- (2) Pocket door hitting frame. \$100 - \$400
- (3) Unknown opening at shower wall. \$ unknown
- (4) Bidet diverter handle missing cap. \$50

21. Garage

21.0 Garage Inspected Items

Inspected, Repair or Replace

- (1) Door to garage wood veneer is peeling.
- (2) Various ceiling light fixtures are inoperative.
- (3) Awning window does not open.
- (4) Overhead garage door opener has 2 inoperative bulbs.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Edmund Villacis

Date: 4/10/2018	Time: 09:00:00 AM	Report ID: 34523
Property: 1051 S North Lake Dr Hollywood FL 33019	Customer: Erich Veitenheimer Andrew Carioso	Real Estate Professional: Jeff Mager Elite Coastal Properties LLC

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property. **Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear. **Not Inspected (NI)**= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting. **Not Present (NP)** = This item, component or unit is not in this home or building. **Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

SCOPE AND LIMITATIONS OF INSPECTION

THE FOLLOWING SPECIFIC LIMITATIONS APPLY: Design problems are not within the scope of inspection. The inspector will not determine the operational capacity, quality or suitability for a particular use of items inspected. No engineering, scientific or specialized technician test will be made by the inspector. No test samples will be taken from the roof or any other part of the structure unless specifically requested. The company will have no liability for latent defects which cannot be observed by a normal inspection nor can be determined by normal equipment operation; and it is specifically agreed and understood that: Mechanical devices and structural components may be functional one moment and later fail or malfunction; therefore, the Company's liability is specifically limited to those situations where it can be conclusively shown that the mechanical device or structural component inspected was inoperable or in the immediate need of repair or not performing the function for which it was intended at the time of inspection. The Client recognizes that there is NO REPRESENTATION OF WARRANTY OR GUARANTEE on the future life of items inspected. The inspector does not take responsibility for reporting non-compliance with any building, electrical, mechanical or plumbing codes established by municipal ordinances or any existing structure. Inspectors shall not inspect any area of the property considered dangerous or hazardous to their safety and health. The inspection scope is furnished to you as part of the inspection report so that you may better understand the nature of the inspection performed on the areas and components contained in the report. We urge you to read the inspection scope and to refer to the scope of any item you might have a question about. We do not inspect for insurability. Some inspection components may or may not be covered by your Real Estate Contract. Consult your real estate agent and/or attorney regarding you contractual conditions. We are not performing a mold or Chinese drywall inspections. This is a visual inspection only. We inspect only what we see. We do not disassemble anything. We do not inspect for any environmental issues such as lead paint, asbestos, etc. We do not inspect for building codes soil analysis, adequacy of design, capacity, efficiency size, value, flood plain location, and pollution, portability of water or habitability. Please remember that older houses do not meet the same standards as newer houses, even though items in both might be performing the function for which they are intended. We do not hold ourselves to be specialists for any particular item; nor are engineers. We are a general real estate inspection company. This inspection report covers only the items listed in the report, which are reasonably observable, and are based only on the present condition of those items. For example, we do not move furniture, rugs, paintings, or other furnishings. There is no responsibility expressed or implied for latent defects, or for defects not reasonably observable at the time of the inspection, or for defects that would require the removal of major or permanent coverings for observation. No representation is made concerning any condition other than the operability of any item. No representation is made concerning any condition other than the operability of any item. There are no warranties, either expressed or implied. If you would like a warranty or guarantee you must obtain it from a warranty company. When an item is noted as not functioning or in need of repair, replacement or further evaluation by a specialist, the Purchaser agrees to contact a qualified specialist to make further evaluations of the item before you purchase the home. The client has employed this inspection company to perform a visual inspection of all accessible areas and components at the time and date of inspection. The client or a representative on behalf of the client was present and accompanied the inspector during the inspection and does not hold the inspection company and/or inspector liable for future malfunctions, repairs or replacements of structural systems or components on the property inspected. The customer agrees and understands that the maximum liability incurred by the inspector/the company for errors and omissions in the inspection shall be limited to the inspection fee. Be advised that if the buyer does not sign below, payment is considered acceptance of limitations agreement in lieu of signature.

Your inspector has an affiliation with Residential Warranty Services (RWS), a third party service provider, in order to offer you additional value-added services including a complimentary RecallChek to help determine if the inspected property has any potentially dangerous recalled appliances, as well as a complimentary Home Warranty. By entering into this agreement you (a) authorize your inspector to provide your contact information (including telephone number) to RWS and/or its affiliate, (b) waive and release any restrictions that may prevent RWS and/or its affiliate from contacting you (including by telephone using automated dialing technology), and (c) authorize RWS and/or its affiliate to contact you regarding home services.

In Attendance:

Customer, Customer's Agent, Listing Agent,
Inspector

Type of building:

Single Family Home

Approximate age of building:

1958

Total Square Footage:

5405

Type Of Inspection:

Standard Single Family Home, Roof, Termite

Temperature:

75

Weather:

Clear

1. Exterior Components

Styles & Materials

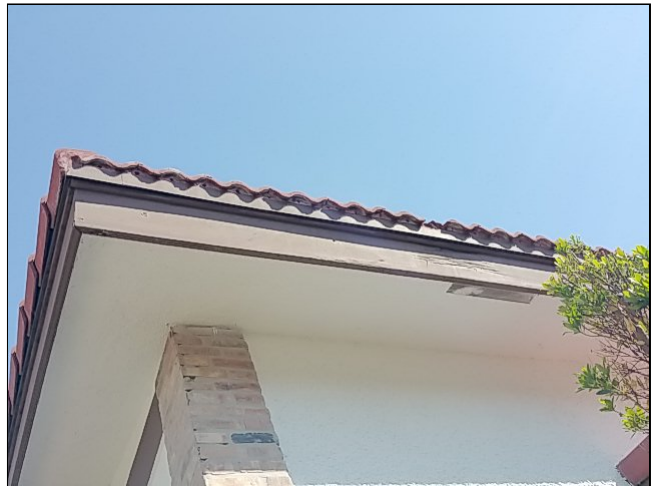
Structure: Single Family	Walkway: Pavers Tile	Fence: Vinyl
Grading/Landscape: Appears Adequate	Construction: CBS	Exterior Walls: There are settlement cracks in the exterior walls of the home.
Foundation: Slab Stemwall	Gutter: Yes	Fascia and Soffit: Wood
Columns: No	Exterior Cladding: Stucco	Patio: Pavers
Hurricane Opening Protection: None		

Items

1.0 Exterior Inspected Items

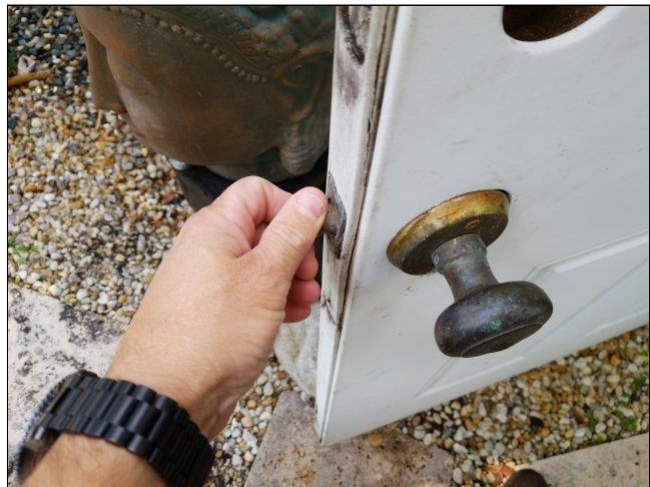
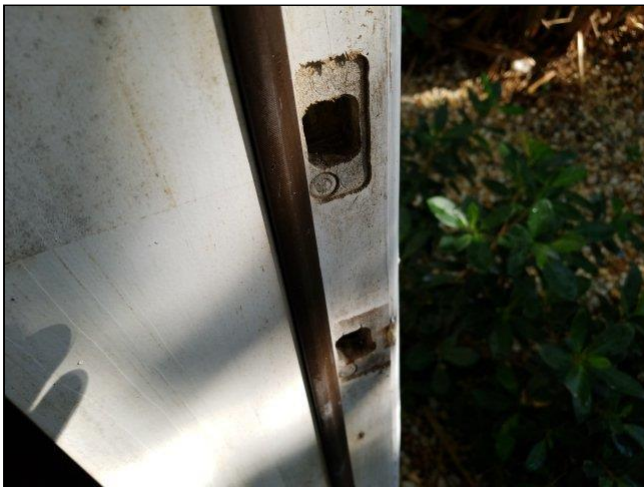
Comments: Inspected, Repair or Replace

(1) Fascia has termite and wood rot damage in various areas.





(2) Storage door has water damage, door knob assembly is inoperative and door frame is missing latch plates. Recommend replacing door and frame. \$300 to \$400



(3) Hose bib knob is damaged. Recommend replacing knob. \$5



(4) Pool equipment room has mud tubes, evidence of subterranean termites. \$Unknown



(5) East cabana roof is missing roof tile and a few are loose. \$500



(6) Patio gutter is damaged and loose from fascia board. Recommend repairing gutter. \$200 to \$300



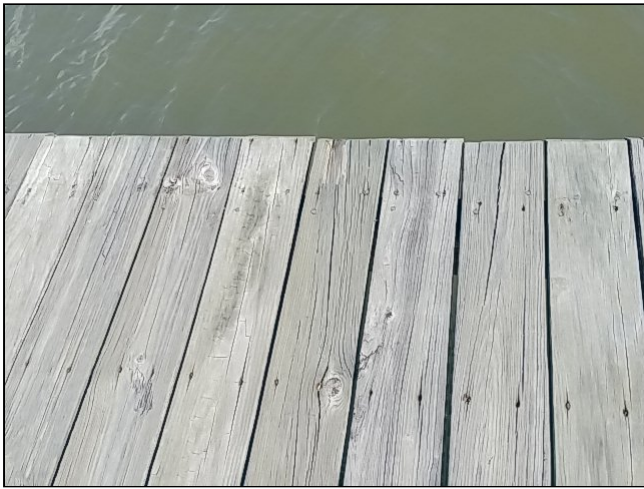
(7) Pool pump shed light fixture is inoperative. Recommend replacing fixture. \$30 to \$50



(8) West cabana roof is tilted down, possible subterranean damage. \$Unknown



(9) Wood walkway is rotted in various areas. Dock boards are rotted in various area



(10) Lamp posts by boat dock is inoperative and electrical outlet by post test it with no power. Recommend a licensed electrician inspect for the repair. \$Unknown



(11) Various electrical junction box throughout property are open with exposed wiring. Recommend a licensed electrician inspect further and repair. \$Unknown



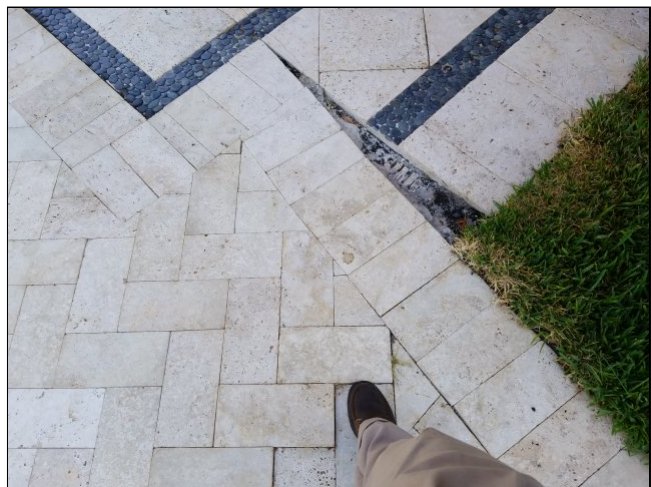
(12) Hose bib leaks when valve is open. Recommend a licensed plumber repair. \$100 to \$120



(13) Soffit light fixture is missing bulb. Recommend adding bulb. \$10



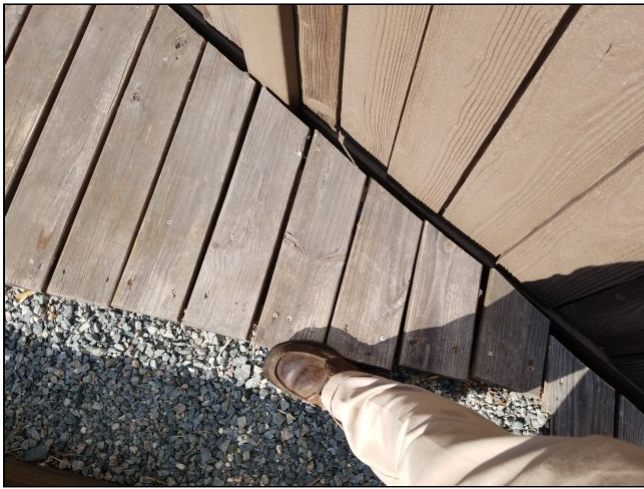
(14) Walkway pavers at different areas throughout home or uneven and is a trip hazard. Recommend leveling off papers. \$200 to \$300



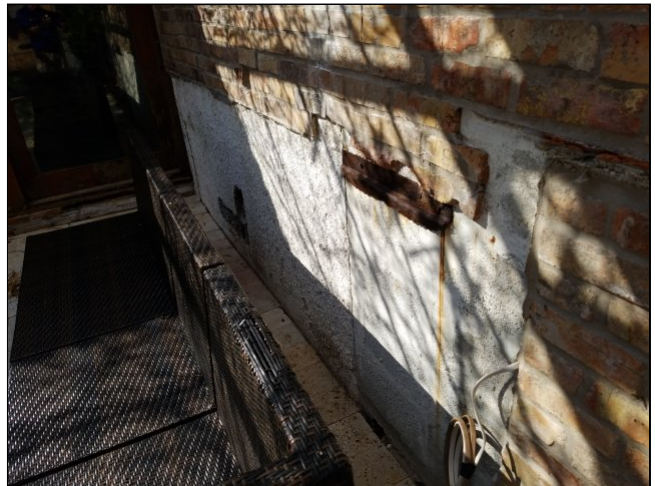
(15) Decorative wood door by jacuzzi are damage and no longer operational. Recommend replacing doors. \$Unknown



(16) Wood deck by jacuzzi has various loose boards. Recommend securing boards.



(17) Parapet wall has a settlement crack. Recommended license contractor inspect further. \$Unknown



(18) Open junction box with exposed wiring and wall is unfinished.



(19) Patio rear door frames has water damage. Recommend replacing bank of doors. \$Unknown



(20) Hose bib has a damaged knob. Recommend replacing knob.



(21) Hose bib by front door has no water pressure. Recommend a license plumber repair. \$120 to \$Unknown



(22) Custom made wood window frames have termite damage at various areas. Recommend fumigation for drywood termite if home is not under a current warranty. Estimate cost to fumigate \$3200 to \$3600



(23) Front door fountain is inoperative at time of inspection. \$Unknown



(24) Various loose fountain coping tiles. Recommend securing tiles. \$200 to \$300



(25) Flood light fixtures are inoperative at time of inspection. Fixtures are on motion/light sensors.



(26) Water heater closet light fixture is missing bulb



(27) Various awning windows are screw down and can not be opened.



(28) Water closet ceiling sheathing has water stains from a roof leak.



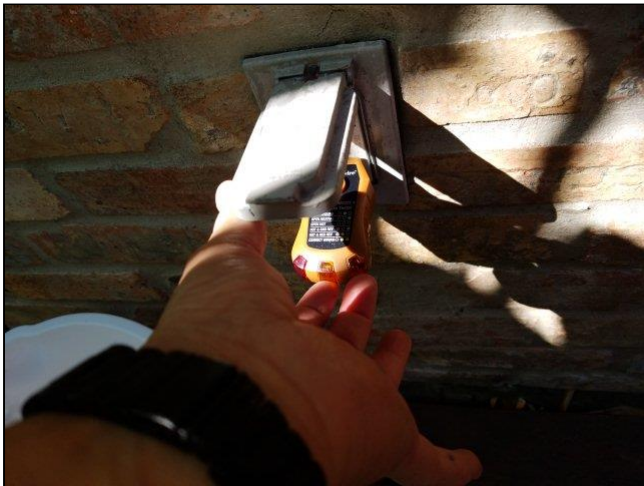
(29) Storage closet wood ceiling has water stains and termite damage.



(30) Storage wall fixtures is inoperative. \$5



(31) GFCI outlet tested with no power. Recommend a licensed electrician repair. \$100 to \$120



(32) Outlet missing cover.



(33) No access to spa pool pump.



(34) Front door rubs against tile flooring and door does not remain open.



Walls/ceiling/driveway/flooring/stucco/settlement cracks are normal in many cases. It is recommended to have a licensed contractor evaluate. Gutter drainage, slope, seams and down spouts are visually inspected and does not determine proper drainage operation and/or leaks. Fences, gates, and fence posts are not inspected anything other than visible wood rot and missing boards and gates. Hurricane shutters are not inspected and not part of this report. They should be inspected by a licensed hurricane shutter company. Seawalls are not inspected. All items below grade are not inspected.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

2. Roof

Styles & Materials

Roof Coverings:

Tile
Flat/Built-up

Type of Inspection:

Walkover

Roof Style:

Gable
Flat/Low Slope

Skylight:

Yes

Items

2.0 Roof Inspected Items

Comments: Inspected, Repair or Replace

Roof is a foam on tile roof and built up flat roofs. Roof has various areas of leaks. Roof tile is loose in many various areas. There are various improper repairs on tile and flat roofs. Skylights has been improperly sealed. Dues to condition, recommend a total reroof. Fascia boards are damaged in various areas. \$45000-50000. Get a replacement quote from a licensed roof company

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

3. Crawlspace





Styles & Materials

Crawl space Accessible:

Yes

Percentage of crawl space inspected:

26-50

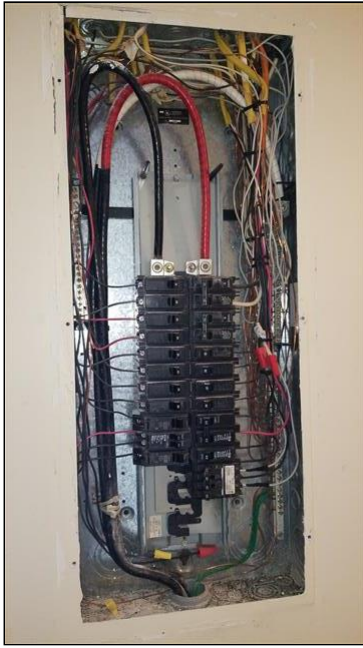
Items

3.0 Crawlspace Inspected Items

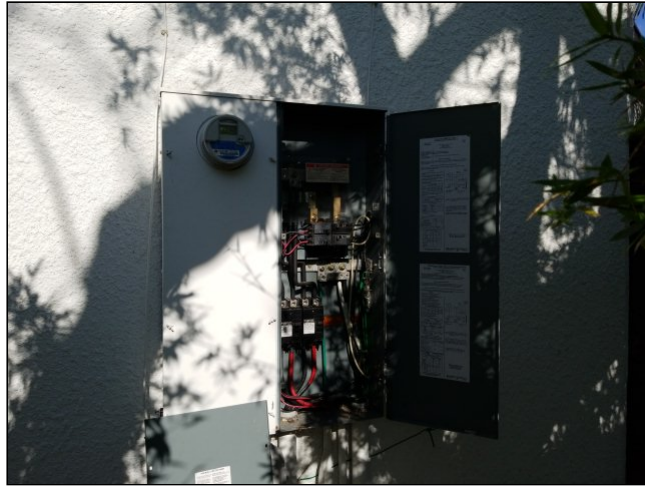
Comments: Inspected

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

4. Electrical System



Interior panel - Utility Room



Styles & Materials

Electrical Service Type:

Underground
Circuit Breakers

Electrical Service Capacity and Conducting

Material:

200 AMP
Multi Strand Copper

Electrical Distribution Panel Manufacturer:

CUTLER HAMMER
SQUARE D

Electrical Distribution Capacity:

150 AMP

Electrical Service Panel

Manufacturer:

SQUARE D

Electrical Service Main Cut Off

Switch:

YES

Electrical Distribution Panel Type:

Circuit Breakers

GFCI (ground fault circuit

interrupter):

Yes

Electrical Service Location:

Exterior Wall

Electrical Service Ground Conductor

Present:

YES

Electrical Distribution Panel Location:

Utility Room

Smoke Alarms:

Present

Door Bell:
None

Main Electrical Panel Full:
No

Panel Branch Circuit Wiring:
Solid Strand Copper
Multi Strand Copper

Items

4.0 Electrical Service Panel

Comments: Inspected, Repair or Replace

Service panel is missing inner cover fasteners. Recommend adding fasteners.



4.1 Electrical Distribution Panel and Sub-Panels

Comments: Inspected, Repair or Replace

Open breaker slot. Recommend adding cover



ELECTRICAL SYSTEMS: The electrical systems inspection is a visual inspection and is limited to the items listed in this report. The inspector does not: Move any objects, furniture or appliances to gain access to any electrical component; remove switch cover plates, inspect any electrical equipment which is not in an accessible area; dismantle any electrical device or control; inspect ancillary systems, such as burglar and smoke or fire systems, antenna, electrical de-icing tapes, sprinkler wiring, intercom systems, any system controlled by timers or photo cells, landscape lighting, cable TV wiring, telephone wiring, load or voltage regulators; or trace wiring origins or wiring destinations.

All houses older than 50 years, has aluminum wiring, has Federal Pacific, Zinsco, Sylvania or Challenger should be inspected by a licensed electrician, however not limited to these panels.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

ELECTRICAL SYSTEMS: The electrical systems inspection is a visual inspection and is limited to the items listed in this report. The inspector does not: Move any objects, furniture or appliances to gain access to any electrical component; remove switch cover plates, inspect any electrical equipment which is not in an accessible area; dismantle any electrical device or control; inspect ancillary systems, such as burglar and smoke or fire systems, antenna, electrical de-icing tapes, sprinkler wiring, intercom systems, any system controlled by timers or photo cells, landscape lighting, cable TV wiring, telephone wiring, load or voltage regulators; or trace wiring origins or wiring destinations.

All houses older than 50 years, has aluminum wiring, has Federal Pacific, Zinsco, Sylvania or Challenger should be inspected by a licensed electrician, however not limited to these panels.

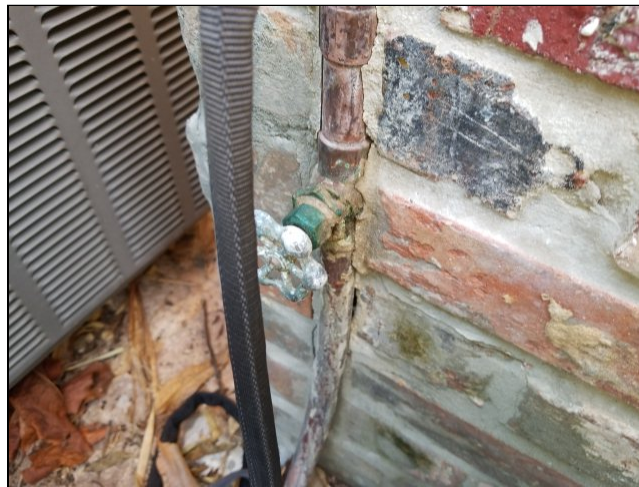
Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

ELECTRICAL SYSTEMS: The electrical systems inspection is a visual inspection and is limited to the items listed in this report. The inspector does not: Move any objects, furniture or appliances to gain access to any electrical component; remove switch cover plates, inspect any electrical equipment which is not in an accessible area; dismantle any electrical device or control; inspect ancillary systems, such as burglar and smoke or fire systems, antenna, electrical de-icing tapes, sprinkler wiring, intercom systems, any system controlled by timers or photo cells, landscape lighting, cable TV wiring, telephone wiring, load or voltage regulators; or trace wiring origins or wiring destinations.

All houses older than 50 years, has aluminum wiring, has Federal Pacific, Zinsco, Sylvania or Challenger should be inspected by a licensed electrician, however not limited to these panels.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

5. Plumbing System



Styles & Materials

Water Supply:

Municipal

Water Pressure:

Sufficient

Drain Flow:

Sufficient

Hose Bibs:

Not Functional

Water Shut Off Present:

Yes

Main Water Shut Off Valve:

Unknown

Visible Supply Lines:

Copper

CPVC

Visible Vent/Drain Waste Lines:

PVC

Cast Iron

Water Meter Observed:

No

Items

5.0 Main Water Shut-off (Describe location)

Comments: Inspected

Water shut-off valve is located buy AC unit at right rear side of home.

5.1 Plumbing Drain, Waste and Vent Systems

Comments: Inspected

5.2 Plumbing Water Supply and Distribution Systems

Comments: Inspected

Plumbing System: The inspection of the plumbing system is a visual inspection in nature and is limited to the items listed in this report. The inspector does not: Operate any main, branch or shut-off valves; inspect any system which has been shut down or otherwise secured; inspect any component which are not visible and accessible; inspect any exterior plumbing components such as water mains, private water wells, private sewer systems, sprinkler systems or swimming pools inspect fire sprinkler systems; inspect or operate drain pumps or waste ejector pumps; inspect the quality or volume of well water; determine the portability of any water supply; inspect water conditioning equipment, such as softeners or filter systems; inspect solar water heating systems; determine the effectiveness anti-siphon devices on appropriate fixtures or systems; operate free standing appliances; inspect private water supply systems, swimming pools or tanks; observe the system for proper sizing, design or use of proper materials or inspect the gas supply system for leaks. This inspection cannot fully determine, in most cases, if a shower pan is damaged and leaking in that most damage is not visual and, in some cases prolonged use of water is necessary for leaks to become apparent Because of the limited nature of the inspection and therefore mention possibilities, we do not offer nor imply any warranties regarding the absence of shower pan leaks, damage, nor the continual functional use of the shower pan.

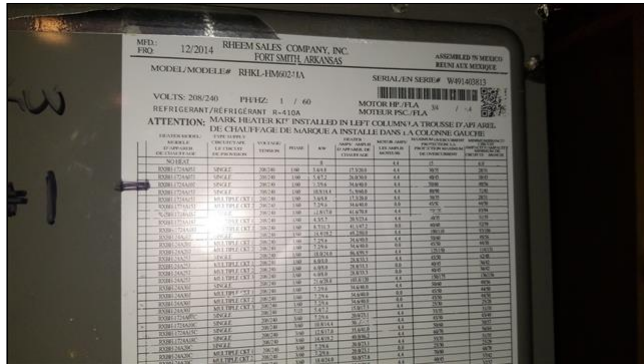
Polybutylene plumbing pipes may be suspected to be used, a licensed plumber should evaluate. All plumber drain and supply pipes in walls, attic and under slabs are not visible and not inspected. All gas lines and equipment are not inspected and should be inspected by a licensed gas company.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

6. AC/Heater Zone 1



Air handler



Air handler mfg label



AC condenser unit

Styles & Materials

Type of System: Central Split Unit	Location of Condenser: Yard	Condenser Suction Line Insulation: Sufficient
Distribution Method: Forced Air	Ductwork: Good Condition	Condenser Manufacturer: RHEEM
Air Handler Manufacturer: RHEEM	Heating Type: Strip	Condenser Manufacture Date: 2015
Air Handler Manufacture Date: 2014 2015	Temperature at Register (Degrees F): 49	Temperature at Return (Degrees F): 71
Heat Temperature at Register (Degrees F): 87	AC Temperature Differential: Acceptable	Heat Temperature Differential: Acceptable
Visually Inspected Evaporator Coil: No Extra Info : Not accessible	Location of Air Handler: Closet	

Items

6.0 Condenser/Air Handler Units or Package Unit

Comments: Inspected

6.1 Distribution System Temperatures

Comments: Inspected
Temperatures



71 degrees at return



49 degrees at supply



87 degrees at supply

HEAT SYSTEMS: The inspection of the heat system is visual in nature and is limited to the items listed in this report. The inspector does not: activate or operate heating systems which have been shut down or which do not respond to normal control devices; determine fully the performance of heat exchangers; (This would require dismantling of the system), inspect any equipment unless the equipment is located in an accessible area; dismantle any equipment, controls or gauges; inspect accessories such as humidifier, air purifier, motorized dampers, heat reclaimers, electronic air filters or wood burning stoves, inspect solar heating systems; determine the efficiency or adequacy of a system; activate heating or heat pump systems if the ambient temperatures or other circumstances are, in the reasonable opinion of the inspector, not conducive to safe operation without damage to the equipment; program digital-type thermostat or controls; operate radiant heaters, steam heat or unvented gas-fired heating appliances.

TEMPERATURE DIFFERENTIAL IS THE DIFFERENCE BETWEEN INPUT AND OUTPUT, 14 TO 22 DEGREES FAHRENHEIT IS IDEAL.

Note: Inspection does not determine balancing or sizing of system. Inspector does not disassemble any air-cooling component whatsoever. Compressors and fan motors are only inspected for noise. Housing evaporator coil and cabinets may have water stains, rust or corrosion due to age or weather or leakage.

Recommendation: Licensed air conditioning technician take apart the unit to clean the evaporator coils, condensate pan, turbine and cabinet interior to restore efficiency and determine if any components need replacement. Internal components are not inspected.

CHIMNEY AND FIREPLACE: The inspector will inspect the visible components and structure of the chimney and fireplace, the visible parts of the firebox and flue. The inspector does not: inspect for adequacy of the draft or performance of a chimney smoke test, the damper operation, the presence of non-combustible hearth extension, the condition of lintel, and material surrounding the fireplace, attic penetration of the chimney flue, where accessible, for fire stopping, gas log lighter valves for function and gas leaks, the operation of circular fans when present, and observe the coping or crow, caps or spark arrestor from a ground level at a minimum.

All ducts should be internally inspected with a camera scope throughout system, especially older metal/galvanized ducts to ensure no leaks, rust, corrosion or any defects what so ever. This inspection does not include this. AC system older than 10 years should be inspected by a licensed AC company.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

7. AC/Heater Zone 2



Styles & Materials

Type of System: Split Unit	Location of Condenser: Yard	Condenser Suction Line Insulation: Sufficient
Distribution Method: Forced Air	Condenser Manufacturer: Mitsubishi	Air Handler Manufacturer: MITSUBISHI
Heating Type: Pump	Condenser Manufacture Date: 2014	Air Handler Manufacture Date: 2014
Temperature at Register (Degrees F): 55	Visually Inspected Evaporator Coil: No Extra Info : Not accessible	

Items

7.0 Condenser/Air Handler Units or Package Unit

Comments: Inspected

7.1 Distribution System Temperatures

Comments: Inspected

Temperatures

Heat did not turn on. Recommend further evaluation.



Cooling 55 degrees

HEAT SYSTEMS: The inspection of the heat system is visual in nature and is limited to the items listed in this report. The inspector does not: activate or operate heating systems which have been shut down or which do not respond to normal control devices; determine fully the performance of heat exchangers; (This would require dismantling of the system), inspect any equipment unless the equipment is located in an accessible area; dismantle any equipment, controls or gauges; inspect accessories such as humidifier, air purifier, motorized dampers, heat reclaimers, electronic air filters or wood burning stoves, inspect solar heating systems; determine the efficiency or adequacy of a system; activate heating or heat pump systems if the ambient temperatures or other circumstances are, in the reasonable opinion of the inspector, not conducive to safe operation without damage to the equipment; program digital-type thermostat or controls; operate radiant heaters, steam heat or unvented gas-fired heating appliances.

TEMPERATURE DIFFERENTIAL IS THE DIFFERENCE BETWEEN INPUT AND OUTPUT, 14 TO 22 DEGREES FAHRENHEIT IS IDEAL.

Note: Inspection does not determine balancing or sizing of system. Inspector does not disassemble any air-cooling component whatsoever. Compressors and fan motors are only inspected for noise. Housing evaporator coil and cabinets may have water stains, rust or corrosion due to age or weather or leakage.

Recommendation: Licensed air conditioning technician take apart the unit to clean the evaporator coils, condensate pan, turbine and cabinet interior to restore efficiency and determine if any components need replacement. Internal components are not inspected.

CHIMNEY AND FIREPLACE: The inspector will inspect the visible components and structure of the chimney and fireplace, the visible parts of the firebox and flue. The inspector does not: inspect for adequacy of the draft or performance of a chimney smoke test, the damper operation, the presence of non-combustible hearth extension, the condition of lintel, and material surrounding the fireplace, attic penetration of the chimney flue, where accessible, for fire stopping, gas log lighter valves for function and gas leaks, the operation of circular fans when present, and observe the coping or crow, caps or spark arrestor from a ground level at a minimum.

All ducts should be internally inspected with a camera scope throughout system, especially older metal/galvanized ducts to ensure no leaks, rust, corrosion or any defects what so ever. This inspection does not include this. AC system older than 10 years should be inspected by a licensed AC company.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

8. AC/Heater Zone 3

Styles & Materials

Type of System: Split Unit	Location of Condenser: Yard	Condenser Suction Line Insulation: Sufficient
Distribution Method: Forced Air	Condenser Manufacturer: MITSUBISHI	Air Handler Manufacturer: MITSUBISHI
Heating Type: Pump	Condenser Manufacture Date: 2014	Air Handler Manufacture Date: 2014
Temperature at Register (Degrees F): 50	Visually Inspected Evaporator Coil: No Extra Info : Not accessible	

Items

8.0 Condenser/Air Handler Units or Package Unit

Comments: Inspected

8.1 Distribution System Temperatures

Comments: Inspected

Temperatures

Heat did not turn on. Recommend further evaluation.



Cooling 50 degrees

HEAT SYSTEMS: The inspection of the heat system is visual in nature and is limited to the items listed in this report. The inspector does not: activate or operate heating systems which have been shut down or which do not respond to normal control devices; determine fully the performance of heat exchangers; (This would require dismantling of the system), inspect any equipment unless the equipment is located in an accessible area; dismantle any equipment, controls or gauges; inspect accessories such as humidifier, air purifier, motorized dampers, heat reclaimers, electronic air filters or wood burning stoves, inspect solar heating systems; determine the efficiency or adequacy of a system; activate heating or heat pump systems if the ambient temperatures or other circumstances are, in the reasonable opinion of the inspector, not conducive to safe operation without damage to the equipment; program digital-type thermostat or controls; operate radiant heaters, steam heat or unvented gas-fired heating appliances.

TEMPERATURE DIFFERENTIAL IS THE DIFFERENCE BETWEEN INPUT AND OUTPUT, 14 TO 22 DEGREES FAHRENHEIT IS IDEAL.

Note: Inspection does not determine balancing or sizing of system. Inspector does not disassemble any air-cooling component whatsoever. Compressors and fan motors are only inspected for noise. Housing evaporator coil and cabinets may have water stains, rust or corrosion due to age or weather or leakage.

Recommendation: Licensed air conditioning technician take apart the unit to clean the evaporator coils, condensate pan, turbine and cabinet interior to restore efficiency and determine if any components need replacement. Internal components are not inspected.

CHIMNEY AND FIREPLACE: The inspector will inspect the visible components and structure of the chimney and fireplace, the visible parts of the firebox and flue. The inspector does not: inspect for adequacy of the draft or performance of a chimney smoke test, the damper operation, the presence of non-combustible hearth extension, the condition of lintel, and material surrounding the fireplace, attic penetration of the chimney flue, where accessible, for fire stopping, gas log lighter valves for function and gas leaks, the operation of circular fans when present, and observe the coping or crow, caps or spark arrestor from a ground level at a minimum.

All ducts should be internally inspected with a camera scope throughout system, especially older metal/galvanized ducts to ensure no leaks, rust, corrosion or any defects what so ever. This inspection does not include this. AC system older than 10 years should be inspected by a licensed AC company.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

9. AC/Heater Zone 4

Styles & Materials

Type of System: Split Unit	Location of Condenser: Roof	Condenser Suction Line Insulation: Sufficient
Distribution Method: Forced Air	Condenser Manufacturer: MITSUBISHI	Air Handler Manufacturer: MITSUBISHI
Heating Type: Pump	Condenser Manufacture Date: 2014	Air Handler Manufacture Date: 2013
Temperature at Register (Degrees F): 61	Visually Inspected Evaporator Coil: No Extra Info : Not accessible	

Items

9.0 Condenser/Air Handler Units or Package Unit

Comments: Inspected

9.1 Distribution System Temperatures

Comments: Inspected

Temperatures

Heat did not turn on. Recommend further evaluation.



Cooling 61 degrees

HEAT SYSTEMS: The inspection of the heat system is visual in nature and is limited to the items listed in this report. The inspector does not: activate or operate heating systems which have been shut down or which do not respond to normal control devices; determine fully the performance of heat exchangers; (This would require dismantling of the system), inspect any equipment unless the equipment is located in an accessible area; dismantle any equipment, controls or gauges; inspect accessories such as humidifier, air purifier, motorized dampers, heat reclaimers, electronic air filters or wood burning stoves, inspect solar heating systems; determine the efficiency or adequacy of a system; activate heating or heat pump systems if the ambient temperatures or other circumstances are, in the reasonable opinion of the inspector, not conducive to safe operation without damage to the equipment; program digital-type thermostat or controls; operate radiant heaters, steam heat or unvented gas-fired heating appliances.

TEMPERATURE DIFFERENTIAL IS THE DIFFERENCE BETWEEN INPUT AND OUTPUT, 14 TO 22 DEGREES FAHRENHEIT IS IDEAL.

Note: Inspection does not determine balancing or sizing of system. Inspector does not disassemble any air-cooling component whatsoever. Compressors and fan motors are only inspected for noise. Housing evaporator coil and cabinets may have water stains, rust or corrosion due to age or weather or leakage.

Recommendation: Licensed air conditioning technician take apart the unit to clean the evaporator coils, condensate pan, turbine and cabinet interior to restore efficiency and determine if any components need replacement. Internal components are not inspected.

CHIMNEY AND FIREPLACE: The inspector will inspect the visible components and structure of the chimney and fireplace, the visible parts of the firebox and flue. The inspector does not: inspect for adequacy of the draft or performance of a chimney smoke test, the damper operation, the presence of non-combustible hearth extension, the condition of lintel, and material surrounding the fireplace, attic penetration of the chimney flue, where accessible, for fire stopping, gas log lighter valves for function and gas leaks, the operation of circular fans when present, and observe the coping or crow, caps or spark arrester from a ground level at a minimum.

All ducts should be internally inspected with a camera scope throughout system, especially older metal/galvanized ducts to ensure no leaks, rust, corrosion or any defects what so ever. This inspection does not include this. AC system older than 10 years should be inspected by a licensed AC company.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

10. Water Heater Unit 1



Styles & Materials

Water Heater Manufacturer: AMERICAN	Water Heater Capacity: 90 Gallons 119 Gallons	Water Heater Power Source: ELECTRIC
Water Heater Water Shut Off Valve: YES	Water Heater Pressure Relief Valve: Yes	Water Heater Manufacture Date: 1997

Items

10.0 Water Heater System

Comments: Inspected, Repair or Replace

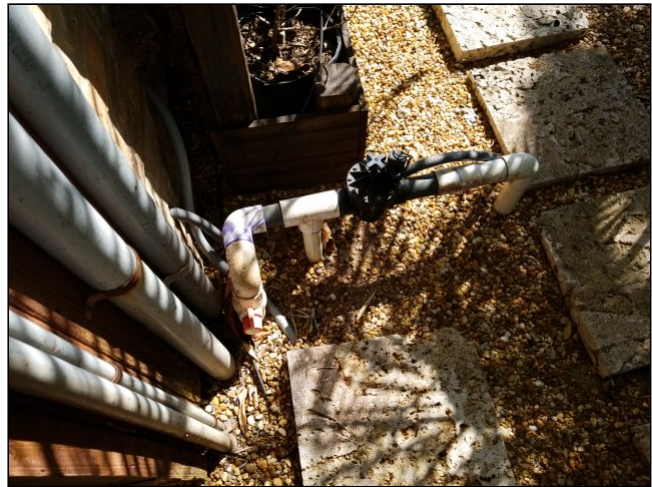
Water heater housing is rusted. No evidence of moisture at time of inspection.



WATER HEATERS: The inspection of the water/s and heater components are visual in nature and are limited to those items listed in this report. The inspector does not: Dismantle any equipment, control, or gauges to inspect components; operate any valves, when in the inspectors reasonable opinion, damage to property or injury may result; determine proper sizing as to hot water needs; inspect any part, or component that is not completely visual and located in an accessible area; move stored items or furnishings to gain access to the water heater; determine the remaining useful life of the unit or any component; or remove insulation blanket to gain access to water heater components or determine temperature. Supply line shut off handles at all plumbing fixtures are not operated or tested due to the fact that they may leak after not being used for extended periods of time. Septic tanks and fields are not tested.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

11. Sprinkler System



Styles & Materials

System:

- Timer
- Automatic

Items

11.0 Sprinkler Inspected Items

Comments: Inspected

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

12. Pool System





Styles & Materials

Pool:

In-Ground

Motor & Pump:

Functional

Water Level at Time of Inspection:

Normal

Condition of Finish:

Good

Filter Baskets:

Functional

Fiter Type:

Sand

Water Condition:

Clear

Main Drain Cover:

Secured

Skimmers:

Functional

Pool Light:

Functional

Spa/Air Pump:

None

Pressure Gauge:

Functional

Heating System:

None

Inlet Jets:

Functional

Items

12.0 Pool Inspected Items

Comments: Inspected, Repair or Replace

Pool equipment room floor tile is blocking all pipes into ground if they were in need of repair.



SWIMMING POOL AND HOT TUB: The inspection is limited to a visual examination of the items listed in this report. The inspector does not: Dismantle or otherwise open any components or lines; uncover or excavate any lines or otherwise concealed components of the system, or determine the presence of sub-surface leaks; fill the pool or hot tub with water; determine the presence of sub-surface water tables; or inspect any ancillary equipment such as computer controls, covers, chlorinators or other chemical dispensers, or water ionization devices or conditioners.

Heating system is not part of inspection. Pools are not checked for leaks. Many hours of continual observance of the water level would be required to determine if there is leakage. Main drains are not inspected.

Pool light grounding wires are not visible and should be inspected by a licensed pool contractor. This inspection does not inspect for leaks.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

13. Interior Hallways and Staircase

Styles & Materials

Window Frame Material:

- Aluminum
- Wood

Window Type:

- Other

Screens:

- No

Door Type:

- Panel (Swing)
- Pocket
- Sliding
- Double

Walls:

- Drywall/Plaster
- Other

Ceiling:

- Drywall/Plaster
- Wood

Floors:

- Concrete

Cabinets and Counters:

- Functional

Furnished:

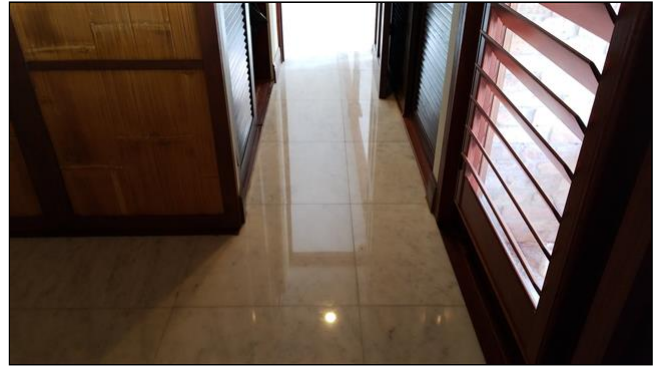
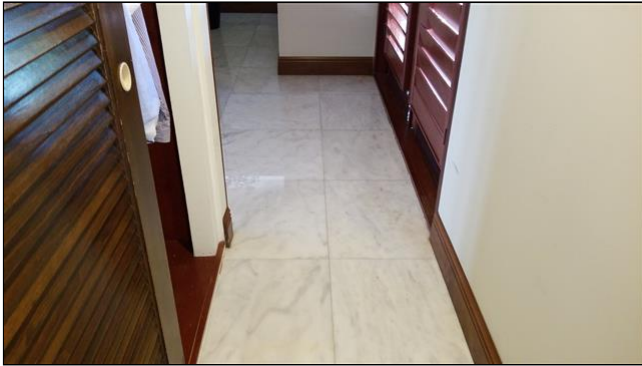
- Yes

Items

13.0 Interior Inspected Components

Comments: Repair or Replace

(1) Various hollow spots observed at tile flooring. Recommend further evaluation from licensed flooring contractor.



(2) Evidence of water intrusion at hallway ceiling, area tested negative for moisture. Recommend further evaluation.



(3) Stairwell railing detached. \$100



(4) Evidence of mold at interior air handlers. Recommend further evaluation.



CHIMNEY AND FIREPLACE: The inspector will inspect the visible components and structure of the chimney and fireplace, the visible parts of the firebox and flue. The inspector does not: inspect for adequacy of the draft or performance of a chimney smoke test, the damper operation, the presence of non-combustible hearth extension, the condition of lintel, and material surrounding the fireplace, attic penetration of the chimney flue, where accessible, for fire stopping, gas log lighter valves for function and gas leaks, the operation of circular fans when present, and observe the coping or crow, caps or spark arrestor from a ground level at a minimum.

Floor tile is not inspected other than visible cracks and missing grout. It is recommended to have a licensed flooring contractor to evaluate possible thin set or adhesion defects. Under the tile is not visible. Mold spores are not visible and an are air quality test is recommended on every inspection.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

14. Kitchen and Appliances



Styles & Materials

Kitchen Sink:

Functional

Dishwasher:

FUNCTIONAL
ASKO

Refrigerator:

FUNCTIONAL
DOOR SEAL ADEQUATE
SUB ZERO

Range/Oven:

FUNCTIONAL
GAS
DOOR SEAL ADEQUATE
WOLF

Disposal:

FUNCTIONAL
BADGER

Microwave:

FUNCTIONAL
GENERAL ELECTRIC

Exhaust/Range Light:

FUNCTIONAL
BROAN

Exhaust/Range Hood:

FUNCTIONAL
BROAN

Clothes Washer:

FUNCTIONAL
SAMSUNG

Clothes Dryer:

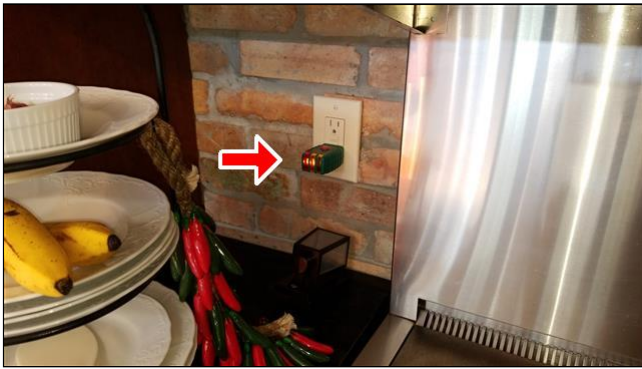
FUNCTIONAL
SAMSUNG

Items

14.0 Kitchen/Appliance Inspected Items

Comments: Repair or Replace

(1) 4 GFCI outlets have hot neutral reversed and are not tripping. \$150 - unknown



(2) Cabinet hinge detached. \$25



(3) Dishwasher dispenser not closing. \$50 - unknown



(4) Evidence of water intrusion at ceiling, areas tested negative for moisture. Recommend further evaluation.



(5) Cabinet cover panel detached. \$25



APPLIANCES: All appliances are operated in the manual mode only. Self-cleaning functions are not inspected. Appliances are inspected for proper operation, visible areas of damage, missing or defective parts, leaks, installation as to secure mounting and proper routing of hose connections, and for vibration or excessive noise during the operation of the appliance. The inspector does not: determine the compacting ability of compactors, the grinding abilities of food disposal units, nor the vacuum capabilities of central vacuum systems. The inspector is not doing a technical evaluation. The inspector is activating the units by normal manufactured supplied controls. Not all functions can be checked such as self-cleaning modes on ovens, timers, ice makers or other specialty attached equipment. Cosmetic wear and tear conditions by regular use are not included in the report.

Built in coffee makers, water purification system, smart appliance features are not tested and inspected. Clothes dryer venting systems should be cleaned and inspected by a licensed professional. Only visible cabinetry is inspected.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

15. Living Room



Items

15.0 Living Room Inspected Items

Comments: Repair or Replace

(1) Outlet has hot neutral reversed. \$100



(2) Missing ceiling lights. \$ unknown



(3) Evidence of water intrusion at ceiling above door. Area tested negative for moisture. Recommend further evaluation.



(4) Water intrusion and damage to door/window framing at various areas. \$ unknown. Recommend further evaluation.



(5) Termite damage to ceiling finish & ceiling truss. \$ unknown. Recommend further evaluation.



Ceiling damage due to termite



Ceiling damage due to termite



Termite damage to ceiling truss

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

16. Dining Room



Items

16.0 Dining Room Inspected Items

Comments: Repair or Replace

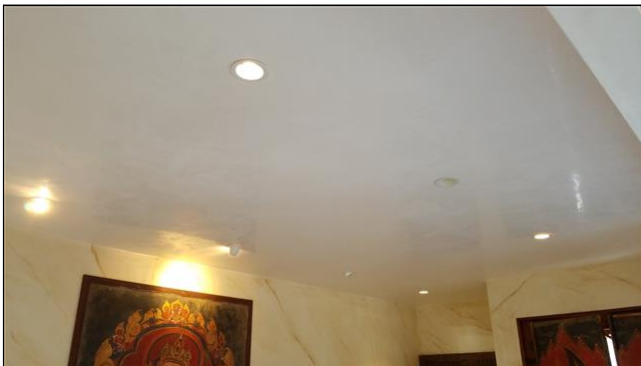
(1) Evidence of water intrusion / dry rot at window base. \$ unknown. Recommend further evaluation.



(2) Ceiling lights not turning on. \$50 (if bulbs) - unknown



(3) 2 ceiling lights out. \$25 (if bulbs)



Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

17. Master Bedroom



Items

17.0 Master Bedroom Inspected Items

Comments: Repair or Replace

Sliding doors not rolling along tracks smoothly. \$50 - \$100



Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

18. Bedroom 2



Items

18.0 Bedroom 2 Inspected Items

Comments: Repair or Replace

Ceiling deflection. \$ unknown



Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

19. Master Bathroom



Styles & Materials

Bathroom Styles:

- Toilet
- Sink
- Shower

Ventilation:

None

Items

19.0 Master Bathroom Inspected Items

Comments: Inspected

This inspection cannot fully determine, in most cases, if a shower pan is damaged and leaking in that most damage is not visual and, in some cases prolonged use of water is necessary for leaks to become apparent Because of the limited nature of the inspection and therefore mention possibilities, we do not offer nor imply any warranties regarding the absence of shower pan leaks, damage, nor the continual functional use of the shower pan.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

20. Bathroom 2



Styles & Materials

Bathroom Styles:

- Toilet
- Sink
- Shower
- Bidet

Ventilation:

- Door
- Other

Items

20.0 Bathroom 2 Inspected Items

Comments: Repair or Replace

(1) Light not secured. \$50



(2) Pocket door hitting frame. \$100 - \$400



(3) Unknown opening at shower wall. \$ unknown



(4) Bidet diverter handle missing cap. \$50



This inspection cannot fully determine, in most cases, if a shower pan is damaged and leaking in that most damage is not visual and, in some cases prolonged use of water is necessary for leaks to become apparent Because of the limited nature of the inspection and therefore mention possibilities, we do not offer nor imply any warranties regarding the absence of shower pan leaks, damage, nor the continual functional use of the shower pan.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

21. Garage



Styles & Materials

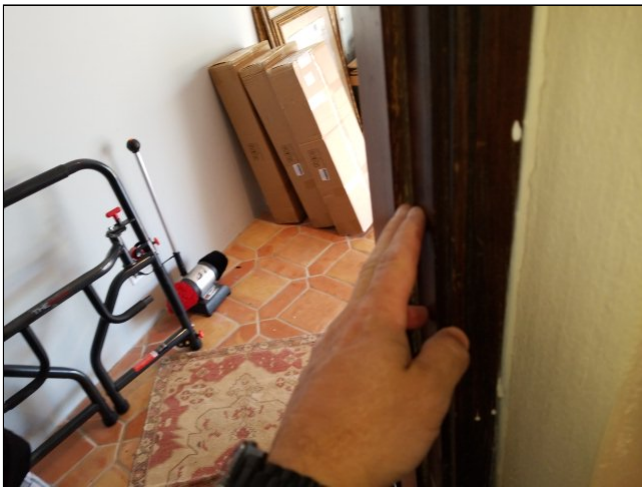
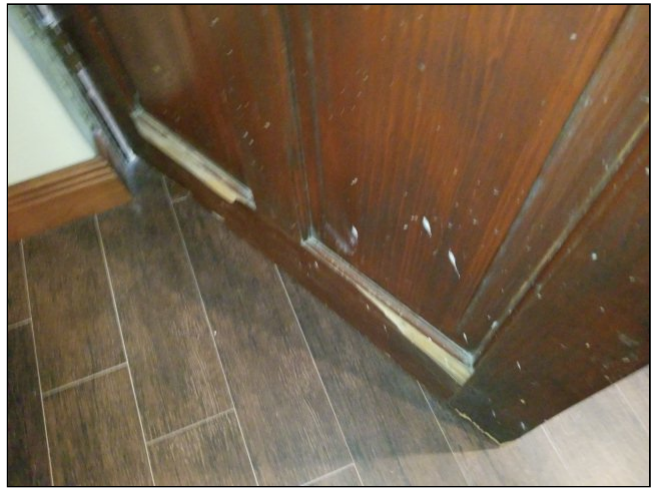
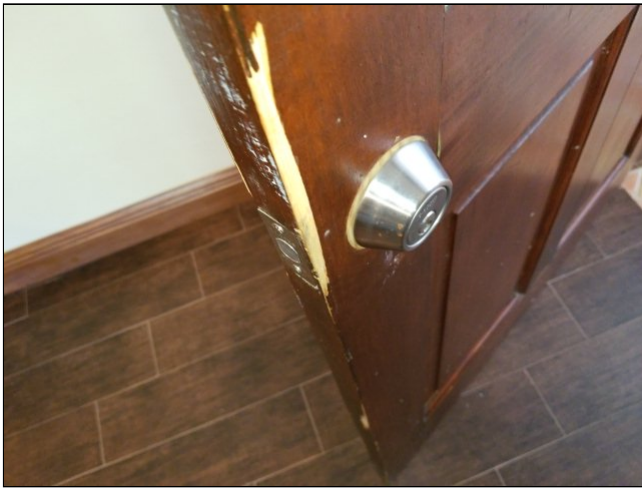
Type: Enclosed Attached	Size: 2 Car	Overhead Door: Metal
Door Operation: Automatic	Auto Reverse: Functional	Garage Separation Walls Ceiling and Doors: YES

Items

21.0 Garage Inspected Items

Comments: Inspected, Repair or Replace

(1) Door to garage wood veneer is peeling.



(2) Various ceiling light fixtures are inoperative.



(3) Awning window does not open.



(4) Overhead garage door opener has 2 inoperative bulbs.



Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.

22. Attic

Styles & Materials

Ventilation:

Soffit

Hurricane Ties:

YES

Roof Framing:

Rafters

Joists

Roof Sheathing:

Plywood

Tongue and Groove

Percentage of Attic Inspected:

10

Items

22.0 Attic Inspected Items

Comments: Not Present

ATTIC NOTE: The inspector does not enter attic spaces with less than 5 ft. of head clearance. Due to design and insulation, complete inspection of attic and all contents might not be possible **THE INSPECTOR DOES NOT INSPECT FOR INSURABILITY, INSULATION R RATINGS.**

Termites may be present in areas that cannot be accessed and inspected. Entire structure including attic may have live termites that are not visible. If a structure has live infestation, it is possible not to know until swarming season. If any evidence of termites are found, the inspection will recommend a treatment even if live termites are not observed. Due to limited access, insulation, A/C ducts, low slope, all defects are limited to what is the inspectors opinion as what is visible. Coast to Coast Property Inspections and the inspector is not liable under these circumstances.

Estimated cost of repairs is to be used as a general guide only when possible. In no way are the estimated costs intended to be an exact quote. It is recommended that the buyer and/or realtors and/or seller should obtain at least (3) three written estimates from a professional contractor who is licensed in the field of the repairs suggested to have an exact evaluation before closing.



INVOICE

Coast To Coast
 2114 N. Flamingo Road #1277
 Pembroke Pines, FL 33028
 954-435-4443
 Inspected By: Todd Warner

Inspection Date: 4/10/2018
 Report ID: 34523

Customer Info:	Inspection Property:
Erich Veitenheimer Andrew Carioso	1051 S North Lake Dr Hollywood FL 33019
Customer's Real Estate Professional: Jeff Mager Elite Coastal Properties LLC	

Inspection Fee:

Service	Price	Amount	Sub-Total
Inspection Fee	695.00	1	695.00
Wind Mitigation and 4 Point Inspection	110.00	1	110.00
Seawall Inspection	250.00	1	250.00
Credit Card Fee	10.00	1	10.00

Tax \$0.00

Total Price \$1065.00

Payment Method: Credit Card

Payment Status: Paid

Note: Confirm #004172



Coast To Coast

**2114 N. Flamingo Road #1277
Pembroke Pines, FL 33028
954-435-4443**

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[FL-DACS Wood-Destroying Organisms](#)

[Rain Guard Roofing](#)