

ORDINANCE NO. O-2016-10

(15-JPZ-44)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING ORDINANCE NO. O-76-25, THE HILLCREST PUD ORDINANCE, AS AMENDED BY RESOLUTION R-81-56, ORDINANCES O-81-80, O-84-54, O-87-39, O-93-75, O-99-09, O-2000-05, O-2002-34, O-2009-38 AND O-2013-11; BY AMENDING SUBSECTION 3(B) TO MODIFY THE FINAL SITE PLAN TO REDISTRIBUTE THE PREVIOUSLY APPROVED 645 RESIDENTIAL UNITS AND AMENITIES, INCLUDING BUT NOT LIMITED TO PORTIONS OF THE 9-HOLE AND 18-HOLE GOLF COURSES AND MODIFY CERTAIN DEVELOPMENT STANDARDS WITHIN THE RESIDENTIAL PORTION OF THE PROJECT.

WHEREAS, the previously existing development has already established the character and nature of the Hillcrest PUD project; and

WHEREAS, all open space requirements, amenities for recreation, project utilities and other capital improvements required with respect to this development have already been completed; and

WHEREAS, on December 16, 2015, the City Commission passed O-2016-09 (PO-2015-33) which approved a land use amendment to change the designations of the Hillcrest property from the land use designation of Open Space and Recreation (18 hole golf course) to Irregular Residential within a portion of the dash line area (11.5 units per acre) for a residential development and said amendment is being processed through Broward County and the State planning agency to be considered for adoption by the City Commission at a later date; and

WHEREAS, the Applicant has requested that the existing Hillcrest PUD which includes an amendment/modification to the Final Site Plan to redistribute the previously approved 645 residential units and amenities (Ordinance No. O-2009-38), including but not limited to, portions of the 9-hole and 18-hole golf courses, as well as modify certain development standards within the proposed residential portion of the project; and

WHEREAS, the Director of Planning ("Director"), and staff, following review and analysis of the application and its associated documents, have determined that the proposed amendment/modifications to the Final Site Plan are consistent with the Zoning and Land Development Regulations, are consistent with the City's Hollywood Comprehensive Plan and the City-Wide Master Plan, and have therefore forwarded a

recommendation that the amendment and modifications be approved with the conditions set forth on Exhibit "A" attached hereto and incorporated by reference; and

WHEREAS, on February 11, 2016, the Planning and Development Board met and reviewed the above noted request for the proposed amendment/modifications to the existing Hillcrest PUD and Final Site Plan as more specifically set forth in Exhibit "B" attached hereto and incorporated herein by reference, in accordance with the criteria set forth in Section 4.16 I of the Zoning and Land Development Regulations, and have forwarded a recommendation of approval with staff's conditions and the following additional condition: There shall be no asphalt shingles on any roof; and

WHEREAS, the City Commission has conducted duly advertised hearings on the proposed ordinance through the above referenced petition and has considered all comments received concerning the proposed amendment/modifications as required by state law and local ordinances and resolutions; and

WHEREAS, the City Commission finds that the request to amend/modify the Hillcrest PUD, including the Final Site Plan, including modifications to certain development standards within the residential portion of the project, are consistent with the Zoning and Land Development Regulations, are consistent with the City of Hollywood's Comprehensive Plan, and is in the best interest of the citizens of the City of Hollywood;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That Section 3(B) of Ordinance No. O-76-25 commonly known as the "Hillcrest PUD," as amended by Resolution R-81-56, Ordinance Nos. O-81-80, O-84-54, O-87-39, O-93-75, O-99-09, O-2000-5, O-2002-34, O-2009-38 and O-2013-11; shall be further amended/modified as more specifically set forth in Exhibit "B" attached hereto and incorporated herein by reference with the conditions set forth in Exhibit "A" attached hereto and incorporated herein by reference.

Section 2: That the following modifications to the development standards for the residential portion of the project are hereby approved as follows:

- a. The aisle width for head in and back out parking for access (considered to be alleys) to the rear loaded garages shall be reduced from 24 feet to 20 feet; and
- b. The minimum spacing between driveways shall be 1.5 feet; and
- c. The maximum number of monument signs per entrance shall be increased from one to two.

Section 3: That all other conditions and provisions of Ordinance No. O-76-25, as amended by Resolution R-81-56, Ordinance Nos. O-81-80, O-84-54, O-87-39, O-93-75, O-99-09, O-2000-05, O-2002-30, O-2009-38, and O-2013-11 not amended by this Ordinance shall remain in full force and effect.

Section 4: That all sections or parts of sections of the Code of Ordinances, all ordinances or parts of ordinances and all resolutions, or parts of resolutions in conflict herewith, be and the same are hereby repealed to the extent of such conflict.

Section 5: That this ordinance shall be in full force and affect upon its passage and adoption.

Advertised may 6, 2016.

PASSED on first reading this 16 day of march, 2016.

PASSED AND ADOPTED on second reading this 18 day of may, 2016.



PETER BOBER, MAYOR

ATTEST:


PATRICIA A. CERNY, MMC, CITY CLERK

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the
City of Hollywood, Florida, only.



JEFFREY P. SHEFFEL, CITY ATTORNEY

EXHIBIT "A"
CONDITIONS TO HILLCREST PUD-R MODIFIED FINAL SITE PLAN (2016)

The developer shall execute the attached Hold Harmless Agreement (Attachment 1 to Exhibit "A") prior to the issuance of any permits. The Applicant shall comply with conditions for each Phase as set below with the exception of the improvements outlined in the Hold Harmless Agreement.

A. Conditions within Phase 1:

1. Prior to the issuance of any Building Permit's, the following items shall be submitted to the City:
 - a) The Applicant shall provide the Declaration of Restrictive Covenants, in a form acceptable to the City Attorney's Office and recorded in the Public Records of Broward County; and
 - b) Provide documentation relating to the abandonment or relocation of easements as required to implement the Modified Final Site Plan; and
 - c) Provide documentation relating to the finalization of access with Tobin properties at Hillcrest roundabout; and
 - d) Park Impact shall be satisfied; and
 - e) Provide a copy of the homeowners/condominium association documents which will include a restriction prohibiting any conversion of the garages, and prohibiting asphalt shingles on any roof; and
 - f) Final design of all public improvements including any additional requirements required by the Plats or Land Use Plan Amendment shall be completed; and
 - g) Full road width restoration required on all streets impacted within rights-of-way required, as well as provide a restoration plan; and
 - h) Applicant shall provide copies of all outside agency permits that must be obtained, including but not limited to FDOT and Broward County.
2. Prior to the issuance of the 60th Certificate of Occupancy for a principal building:
 - a) Provide a school access and parking easement and a shared parking agreement, in a form acceptable to the City Attorney's Office. However, a temporary shared parking agreement, acceptable to the City, must be obtained prior to eliminating access to and use of parking spaces on the existing school property together with spaces provided for under the existing shared parking agreement associated with the clubhouse property, and shall be in effect until such time that the Certificate of Occupancy for the clubhouse amenity is obtained; and

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- b) Provide a right-of-way license and maintenance agreement for neighborhood signage and right-of-way enhancements; and
 - c) Provide an access and parking easement, in a form acceptable to the City Attorney's Office, for access to development's access and Hillcrest Drive roundabout for Building 21; and
 - d) All amenities (i.e. Clubhouse, tennis courts, pools, etc.) shall be completed; and
 - e) Bus shelter easements and the installation of solar lighted shelter units at all bus stops to be completed or in the alternative, the Developer shall remit to the City a cash payment equivalent for the construction of the solar lighted bus shelter units by the City.
3. Reclaimed Water Reuse Agreement for the use of re-use water for irrigation purpose needs to be executed by the property owner who will own the project after the first Certificate of Occupancy.
4. Should Broward County and/or the State approve certain material changes not addressed by the City in the O-2016-09 (PO-2015-33) (LUPA Amendment), which may affect aspects of this Final Site Plan the City is free to reopen the Site Plan (O-2016-10) (PO-2016-03) to address the changes made by the County within 60 days action. Further, if Broward County approves certain material changes not addressed by the City in the Plat Resolution (R-2016-139), which may affect aspects of this Final Site Plan the City is free to reopen the Site Plan (O-2016-10)(PO-2016-03) to address the changes made by the County within 60 days action.

B. Conditions within Phase 2:

- 1. No development permit shall be issued for site work or a principal building, within the Phase 2 (18-hole golf course), until the Land Use Plan Amendment (PC 16-1) is approved by Broward County, all conditions of Ordinance O-2016-09 (PO-2015-33) have been satisfied, and the Hillcrest Country Club South Plat has been recorded.
- 2. Prior to the issuance of any Building Permit's, the following items shall be submitted to the City:
 - a) Park Impact Fee shall be satisfied; and

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- b) Provide a copy of the homeowners/condominium association documents which will include a restriction prohibiting any conversion of the garages, and prohibiting asphalt shingles on any roof; and
 - c) Bus shelter easements and the installation of solar lighted shelter units at all bus stops to be completed or in the alternative, the Developer shall remit to the City a cash payment equivalent for the construction of the solar lighted bus shelter units by the City; and
 - d) Final design of all public improvements including any additional requirements required by the Plats or Land Use Plan Amendment shall be completed; and
 - e) The City maintains an existing forcemain through an existing utility easement connecting sanitary sewer for the property at the SE corner of the 18 hole Golf Course to a manhole on Hillcrest Drive. Approval of the modified Final Site Plan is contingent upon the existing forcemain being relocated as indicated on the Final Site Plan that obtained sign-off. The referenced easement needs to be vacated and a new easement provided for the relocate forcemain as shown on the modified Final Site Plan. The survey also shows a 6' FPL Utility easement, which appears to be for the lift station W-17. The electrical service for the existing lift station needs to be provided from another source provided and installed by this project, and the easement needs to be vacated. A new easement acceptable to FPL will need to be provided for new electrical service. All coordination with FPL will need to be done by the developer; and
 - f) The proposed project calls for two existing FDOT drainage retention ponds, within existing FDOT drainage easements, to be relocated. New easements acceptable to FDOT will need to be provided for the relocated ponds.
3. Reclaimed Water Reuse Agreement for the use of re-use water for irrigation purpose needs to be executed by the property owner who will own the project after the first Certificate of Occupancy.
4. Should Broward County and/or the State approve certain material changes not addressed by the City in the O-2016-09 (PO-2015-33) (LUPA Amendment), which may affect aspects of this Final Site Plan the City is free to reopen the Site Plan (O-2016-10)(PO-2016-03) to address the changes made by the County within 60 days action. Further, if Broward County approve certain material changes not addressed by the City in the Plat Resolution (R-2016-139), which may affect aspects of this Final Site Plan the City is free to reopen the Site Plan (PO-2016-03) to address the changes made by the County within 60 days action.

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CONDITIONS TO HILLCREST PUD-R MODIFIED FINAL SITE PLAN (2016)

~~1. No building permit shall be issued for a principal building until the Land Use Amendment Plan (Ordinance PO-2015-33) is approved, all conditions of Ordinance PO-2015-33 have been satisfied, and the Plat has been recorded.~~

~~2. Prior to the issuance of any building permits, the following items shall be submitted, in a form acceptable to the City Attorney's Office, and recorded in the Public Records of Broward County prior to any residential units receiving temporary or permanent Certificates of Occupancy:~~

- ~~_____ a. Declaration of Restrictive Covenants; and~~
- ~~_____ b. Public Access Easement; and~~
- ~~_____ c. Reclaimed Water Reuse Agreement for the use of re-use water for irrigation purpose needs to be executed by the property owner who will own the project after the first Certificate of Occupancy; and~~
- ~~_____ d. Copy of the homeowners/condominium association documents; and~~
- ~~_____ e. Provide school access and parking easement and shared parking agreement, in a form acceptable to the City Attorney's Office, prior to Certificate of Occupancy for the clubhouse amenity. However, a temporary shared parking agreement, acceptable to the City, must be obtained prior to eliminating access to and use of parking spaces on the existing school property together with spaces provided for under the existing shared parking agreement associated with the clubhouse property, and shall be in effect until such time that the Certificate of Occupancy for the clubhouse amenity is obtained.~~
- ~~_____ f. Right of Way license and maintenance agreement for neighborhood signage and right of way enhancements prior to the issuance of the 60th Certificate of Occupancy for a principle building within Phase 1.~~
- ~~_____ g. An access and parking easement, in a form acceptable to the City Attorney's Office, for access to development's access and Hillcrest Drive roundabout for Building 21 prior to the issuance of the 60th Certificate of Occupancy for a principal building; and~~
- ~~_____ h. Restriction in Homeowner's Association documents to prohibit garage conversion; and~~

- ~~i. Full road width restoration required on all streets impacted within rights-of-way required, as well as provide a restoration plan at time of building permit submittal; and~~
 - ~~j. Approved signage and pavement marking plan required from Broward County Traffic prior to building permit issuance; and~~
 - ~~k. Provide copies of all outside agency permits that must be obtained for this project, including but not limited to FDOT and Broward County; and~~
 - ~~l. Provide documentation relating to the abandonment or relocation of easements as required to implement the modified final site plan; and~~
 - ~~m. Provide documentation relating to the finalization of access with Tobin properties at Hillcrest roundabout; and~~
 - ~~n. Provide documentation/agreement regarding the satisfaction of Park impact fees.~~
- ~~3. The following shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to any residential units receiving temporary or permanent C/O's:~~
- ~~a. All amenities (i.e. Clubhouse, tennis courts, pools, etc.) prior to the issuance of the 60th Certificate of Occupancy for a principal building; and~~
 - ~~b. Signage and/or Signalization as dictated by MUTCD Standards and approved by Broward County for the pedestrian crossings on Hillcrest Drive in accordance with Phasing Plan of the modified Final Site Plan; and~~
 - ~~c. Bus shelter easements and the installation of solar lighted shelter units at all bus stops to be completed in accordance with the Phasing Plan of the modified Final Site Plan or in the alternative, the Developer shall remit to the City a cash payment equivalent for the construction of the solar lighted bus shelter units by the City.~~
- ~~4. Final design of all public improvements including any additional requirements required by the Plat or Land Use Plan Amendment, shall be acquired and addressed at the time of building permit submittal.~~

EXHIBIT "A"
CONDITIONS FOR HILLCREST PUD-R MODIFIED FINAL SITE PLAN (2016)
CONTINUED

~~5. There are two existing FDOT drainage retention ponds on the project site, within existing FDOT drainage easements. The proposed project calls for those ponds to be relocated. Approval of the modified Final Site Plan for this project is contingent upon approval of the ponds relocation, and abandonment of the existing easements for the ponds. New easements acceptable to FDOT will need to be provided for the relocated ponds.~~

~~6. The City maintains an existing forcemain through an existing utility easement connecting sanitary sewer for the property at the SE corner of the 18 hole Golf Course to a manhole on Hillcrest Drive. Approval of the modified Final Site Plan is contingent upon the existing forcemain being relocated as indicated on the Final Site Plan that obtained sign-off. The referenced easement needs to be vacated and a new easement provided for the relocate forcemain as shown on the modified Final Site Plan. The survey also shows a 6' FPL Utility easement, which appears to be for the lift station W-17. The electrical service for the existing lift station needs to be provided from another source provided and installed by this project, and the easement needs to be vacated. A new easement acceptable to FPL will need to be provided for the new electrical service. All coordination with FPL will need to be done by the developer.~~

~~7. The shall be no asphalt shingles on any roof.~~

HOLD HARMLESS AGREEMENT

THIS HOLD HARMLESS AGREEMENT ("Agreement") is entered into this _____ day of _____, 2016 by Hillcrest Country Club Limited Partnership / Pulte Home Corporation., a Florida corporation (hereinafter referred to as "Developer"), in favor of the CITY OF HOLLYWOOD, FLORIDA (hereinafter referred to as "City").

WITNESSETH:

WHEREAS, Developer, pursuant to Ordinance O-2015-09 (PO-2015-33) (LUPA) and Resolution No. R-2016-139, (PLAT) was required to hold the City harmless against any claims arising from accidents/incidents as a result of acquiring building permits for models, temporary sales parking lot and sales center for Phase 1 (Executive Golf Course) and demolition and building permits for the construction of the Clubhouse Amenity, as well as the amenities within the Tennis and Bocce Center Parcel, prior to the recordation of the Plat approved in the above-referenced Ordinance and Resolution; and

WHEREAS, Developer does hereby present this Hold Harmless Agreement unto the City as a condition to the issuance of permits and with the understanding that same will not be recorded until such time as Developer applies for the issuance of a Certificate of Occupancy or Completion.

NOW, THEREFORE, in consideration of the mutual agreements and covenants contained herein and for other good and valuable consideration, it is mutually agreed as follows:

1. **Incorporation of Recitals.** The parties acknowledge that they have read and understand the above recitals, that they are true and correct, and they are hereby incorporated herein to this Agreement.

2. **Indemnification.** Developer agrees to release, discharge, indemnify, defend and hold harmless City, its employees, agents, officers, and representatives, from and against any and all claims and actions of whatever kind or nature, arising out of or resulting from the approval of Ordinance O-2016-09 (PO-2015-33), the approval of Ordinance O-2016-10 (PO-2016-03), the approval of Resolution No. R-2016-139, and the issuance of any and all building permits for models, temporary sales parking lot and sales center for Phase 1 (Executive Golf Course) and demolition and building permits for the construction of the Clubhouse Amenity, as well as the amenities within the Tennis and Bocce Center Parcel. Such obligation to indemnify and hold harmless shall continue notwithstanding any negligence or comparative negligence on the part of the City relating to such loss, injury or damage and shall include all costs, expenses and liabilities incurred by the City in connection with any such claim, suit, action, or cause of action, including the investigation thereof and the defense of any action or proceeding brought thereon and any order, judgment or decree which may be entered in any such action or proceeding or as a result thereof. These provisions shall survive the expiration or earlier termination of the use of the lot. Nothing herein shall be construed to affect in any way the City's rights, privileges, and immunities as set forth in Section 768.28, Florida Statutes.

2. **Enforcement Costs.** In any proceeding brought to enforce or determine rights and/or obligations under this Agreement, the prevailing party shall be entitled to recover reasonable attorneys' fees, court costs and other expenses incurred in connection therewith from the non-prevailing party in addition to any other relief to which the prevailing party may be entitled.

3. **Covenant Running with the Land.** This Agreement shall constitute a covenant running with the title to the Subject Property and respective lots and shall remain in full force and effect and be enforceable and binding in a court of law upon the Developer, and its successors, heirs, assigns, transferees and all parties claiming under them until such time as the same is modified or released by the City Manager or his designee, the Director of Planning.

4. Entire Agreement. This Agreement constitutes and represents the entire agreement between the parties respecting the subject matter herein and supersedes any prior understandings or agreements. This Agreement shall be governed by Florida law, and the jurisdiction for any claims brought hereunder shall be in the courts of Broward County, Florida. The provisions of this instrument shall become effective upon the recordation of this Agreement in the Public Records of Broward County, Florida.

IN WITNESS WHEREOF, Developer has caused this Agreement to be duly executed on the day and year first above written.

Hillcrest Country Club Limited Partnership /
Pulte Home Corporation., a Florida corporation

By: _____
Name, President

Printed Name: _____

Printed Name: _____

EXHIBIT "B"

DESCRIPTION:

PARCEL 1 (18-HOLE GOLF COURSE): THAT PART OF THE NORTH ONE-HALF (N 1/2) OF SECTIONS 19 AND 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19, RUN ALONG THE NORTH LINE OF SECTION 19 ON AN ASSUMED BEARING OF NORTH 89°25'56" WEST, A DISTANCE OF 3874.59 FEET; THENCE, SOUTH 00°20'26" WEST, PARALLEL WITH AND 35 FEET EAST OF THE EAST LINE OF GOVERNMENT LOTS 1 AND 2 OF SAID SECTION 19, A DISTANCE OF 430 FEET TO A POINT OF BEGINNING; THENCE, SOUTH 89°25'56" EAST, A DISTANCE OF 160 FEET; THENCE, NORTH 00°20'16" EAST, A DISTANCE OF 30 FEET; THENCE, SOUTH 89°25'56" EAST, ALONG THE SOUTH LINE OF BLOCK 1 OF HILLWOOD SECTION ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 60, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, A DISTANCE OF 295 FEET; THENCE, SOUTH 07°34'43" EAST, A DISTANCE OF 1040.60 FEET TO A POINT OF CURVATURE; THENCE, EASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 100°54'41", AN ARC DISTANCE OF 176.12 FEET TO A POINT OF TANGENCY; THENCE, NORTH 71°30'36" EAST, ALONG THE SOUTH LINE OF HILLWOOD SECTION TWO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 64, AT PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, A DISTANCE OF 389.52 FEET TO A POINT OF CURVATURE; THENCE, NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 70°56'32", AN ARC DISTANCE OF 123.82 FEET TO A POINT OF TANGENCY; THENCE, NORTH 00°34'04" EAST, A DISTANCE OF 648.75 FEET; THENCE, NORTH 61°30'48" EAST, A DISTANCE OF 205.91 FEET; THENCE, NORTH 83°59'09" EAST, A DISTANCE OF 261.73 FEET TO THE WEST LINE OF BLOCK 5 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE, SOUTH 11°57'40" EAST, ALONG SAID WEST LINE A DISTANCE OF 577.13 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 200 FEET AND A CENTRAL ANGLE OF 77°28'16", AN ARC DISTANCE OF 270.43 FEET TO A POINT OF TANGENCY; THENCE, SOUTH 89°25'56" EAST, ALONG THE SOUTH LINE OF PARCEL A OF SAID HILLWOOD SECTION ONE, A DISTANCE OF 12.50 FEET; THENCE, SOUTH 00°34'04" WEST, A DISTANCE OF 5.00 FEET; THENCE, SOUTH 89°25'56" EAST, A DISTANCE OF 247.00 FEET; THENCE, NORTH 00°34'04" EAST, A DISTANCE OF 5.00 FEET TO THE SOUTH LINE OF PARCEL A; THENCE, SOUTH 89°25'56" EAST, ALONG SAID SOUTH LINE A DISTANCE OF 280.07 FEET TO THE SOUTHWEST CORNER OF BLOCK 8 OF SAID HILLWOOD SECTION THREE; THENCE, SOUTH 00°34'04" WEST A DISTANCE OF 98 FEET; THENCE, SOUTH 63°01'47" EAST, A DISTANCE OF 125.04 FEET TO THE SOUTH LINE OF SAID BLOCK 8; THENCE, SOUTH 35°31'47" EAST, ALONG THE SOUTH LINE OF SAID BLOCK 8 A DISTANCE OF 49.57 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 200.92 FEET AND A CENTRAL ANGLE OF 44°24'09", AN ARC DISTANCE OF 155.71 FEET TO A POINT OF TANGENCY; THENCE, SOUTH 79°55'56" EAST, A DISTANCE OF 396.77 FEET; THENCE, SOUTH 10°04'04" WEST, A DISTANCE OF 10 FEET; THENCE, SOUTH 79°55'56" EAST, A DISTANCE OF 30 FEET; THENCE NORTH 10°04'04" EAST, A DISTANCE OF 10 FEET; THENCE, SOUTH 79°55'56" EAST, A DISTANCE OF 150.08 FEET TO A POINT OF CURVATURE; THENCE, EASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1600 FEET AND A CENTRAL ANGLE OF 16°12'22", AN ARC DISTANCE OF 452.56 FEET; THENCE, SOUTH 06°08'18" EAST, A DISTANCE OF 343.51 FEET; THENCE, NORTH 72°48'53" EAST, A DISTANCE OF 620.40 FEET; THENCE, SOUTH 17°11'07" EAST, A DISTANCE OF 22.66 FEET; THENCE, SOUTH 82°52'29" EAST, A DISTANCE OF

COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK 6, RUN SOUTH 00°38'59" WEST, A DISTANCE OF 460.33 FEET TO A POINT OF BEGINNING; THENCE, CONTINUE SOUTH 00°38'59" WEST, A DISTANCE OF 131.67 FEET; THENCE, NORTH 89°25'23" WEST, A DISTANCE OF 471.66 FEET TO THE EAST LINE OF HILLCREST DRIVE; THENCE, NORTH 20°55'56" WEST, A DISTANCE OF 70.99 FEET TO A POINT OF CURVATURE; THENCE, NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 780 FEET AND A CENTRAL ANGLE OF 05°05'55", AN ARC DISTANCE OF 69.41 FEET; THENCE, SOUTH 89°25'23" EAST, A DISTANCE OF 520.40 FEET TO THE POINT OF BEGINNING; AND

PARCEL 4 (EXECUTIVE GOLF COURSE): THAT PORTION OF BLOCKS 7 AND 9 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK 7, RUN NORTH 89°49'21" WEST, ALONG THE NORTH LINE OF BLOCK 7 A DISTANCE OF 75 FEET TO A POINT OF BEGINNING; THENCE, SOUTH 00°19'37" WEST, A DISTANCE OF 200 FEET; THENCE, NORTH 89°49'21" WEST, A DISTANCE OF 328.16 FEET; THENCE, NORTH 29°49'21" WEST, A DISTANCE OF 27.89 FEET; THENCE, SOUTH 60°10'39" WEST, A DISTANCE OF 48.30 FEET; THENCE, NORTH 89°49'21" WEST, A DISTANCE OF 91.07 FEET; THENCE, SOUTH 29°49'21" EAST, A DISTANCE OF 220 FEET; THENCE, SOUTH 00°19'37" WEST, A DISTANCE OF 318.76 FEET; THENCE, SOUTH 29°56'00" WEST, A DISTANCE OF 109.90 FEET; THENCE, SOUTH 17°11'07" EAST, A DISTANCE OF 27.29 FEET; THENCE, SOUTH 29°56'00" WEST, A DISTANCE OF 41.90 FEET; THENCE, SOUTH 60°04'00" EAST, A DISTANCE OF 45.12 FEET; THENCE, SOUTH 17°11'07" EAST, A DISTANCE OF 171.13 FEET TO THE SOUTHERLY BOUNDARY OF SAID BLOCK 9; THENCE, SOUTH 72°48'53" WEST, ALONG THE LAST DESCRIBED LINE A DISTANCE OF 207.51 FEET TO A POINT OF CURVATURE; THENCE, WESTERLY ALONG A 1180 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 27°15'11", AN ARC DISTANCE OF 561.27 FEET TO A POINT OF TANGENCY; THENCE, NORTH 79°55'56" WEST, A DISTANCE OF 347.46 FEET TO A POINT OF CURVATURE; THENCE, NORTHWESTERLY ALONG A 938.45 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 20°30'00", AN ARC DISTANCE OF 335.77 FEET TO A POINT OF TANGENCY; THENCE, NORTH 59°25'56" WEST, A DISTANCE OF 100 FEET TO A POINT OF CURVATURE; THENCE, NORTHWESTERLY ALONG A 468.63 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 21°29'43", AN ARC DISTANCE OF 175.81 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 9; THENCE, NORTH 00°34'04" EAST, A DISTANCE OF 231.27 FEET; THENCE, SOUTH 89°25'23" EAST, A DISTANCE OF 752.60 FEET; THENCE, NORTH 00°30'02" EAST, A DISTANCE OF 170.44 FEET TO A POINT ON A 50 FOOT RADIUS CURVE WHOSE CENTER BEARS NORTH 00°30'02" EAST FROM SAID POINT; THENCE, NORTHEASTERLY AND NORTHWESTERLY ALONG THE LAST DESCRIBED CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 143°07'48", AN ARC DISTANCE OF 124.90 FEET TO THE EAST RIGHT-OF-WAY LINE OF SOUTH 42ND AVENUE; THENCE, NORTH 00°30'02" EAST, ALONG SAID EAST RIGHT-OF-WAY LINE 359.93 FEET TO A POINT OF CURVATURE; THENCE, NORTHEASTERLY ALONG A 25 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°04'02", AN ARC DISTANCE OF 39.30 FEET TO A POINT OF TANGENCY ON THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE, SOUTH 89°25'56" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 596.59 FEET; THENCE, SOUTH 89°49'21" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE 593.51 FEET TO THE POINT OF BEGINNING.

LESS THAT PORTION OF BLOCK 9 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 9, SAID CORNER BEING ON THE NORTH RIGHT-OF-WAY LINE OF HILLCREST DRIVE AND ON THE ARC OF A CURVE WHOSE CENTER BEARS SOUTH 09°04'21" WEST FROM SAID CORNER; THENCE, SOUTHEASTERLY ALONG THE SOUTH LINE OF BLOCK 9 AND ALONG SAID ARC TO THE RIGHT, HAVING A RADIUS OF 468.63 FEET AND A CENTRAL ANGLE OF 03°43'06", AN ARC DISTANCE OF 30.41 FEET; THENCE NORTH 00°34'04" EAST, A DISTANCE OF 112 FEET; THENCE NORTH 89°25'56" WEST, A DISTANCE OF 29.91 FEET TO A POINT ON THE WEST LINE OF SAID BLOCK 9; THENCE, SOUTH 00°34'04" WEST, ALONG SAID WEST LINE A DISTANCE OF 106.53 FEET TO THE POINT OF BEGINNING.

PARCEL 5 (HILLCREST EAST NO. 24 EASEMENT): EASEMENT IN FAVOR OF THE HOLLYWOOD BEACH HOTEL COMPANY, ITS SUCCESSORS AND ASSIGNS OVER THE FOLLOWING DESCRIBED PROPERTY FOR USE AS PART OF A GOLF COURSE AS SET OUT THAT WARRANTY DEED FILED FEBRUARY 14, 1973 IN OFFICIAL RECORDS BOOK 5165, AT PAGE 690 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SUBJECT TO THE TERMS AND CONDITIONS STATED THEREIN.

FROM THE SOUTHWEST CORNER OF LOT 2 IN BLOCK 8 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, RUN SOUTH 79°55'56" EAST ALONG THE SOUTH LINE OF BLOCK 8 A DISTANCE OF 57 FEET TO A POINT OF CURVATURE; THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1600 FEET AND A CENTRAL ANGLE OF 16°12'22" AN ARC DISTANCE OF 452.56 FEET TO A POINT OF BEGINNING; THENCE, CONTINUE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1600 FEET AND A CENTRAL ANGLE OF 11°02'49" AN ARC DISTANCE OF 308.49 FEET; THENCE, SOUTH 17°11'07" EAST, A DISTANCE OF 15 FEET; THENCE, NORTH 72°48'53" EAST, A DISTANCE OF 248 FEET; THENCE, SOUTH 17°11'07" EAST A DISTANCE OF 292.50 FEET; THENCE SOUTH 72°48'53" WEST, A DISTANCE OF 620.40 FEET; THENCE NORTH 06°08'18" WEST, A DISTANCE OF 343.51 FEET TO THE POINT OF BEGINNING; AND

PARCEL 6 (HILLCREST EAST NO. 25 EASEMENT): EASEMENT IN FAVOR OF THE HOLLYWOOD BEACH HOTEL COMPANY, ITS SUCCESSORS AND ASSIGNS OVER THE FOLLOWING DESCRIBED PROPERTY FOR USE AS PART OF A GOLF COURSE AS SET OUT THAT WARRANTY DEED FILED FEBRUARY 13, 1974 IN OFFICIAL RECORDS BOOK 5639, AT PAGE 794 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SUBJECT TO THE TERMS AND CONDITIONS STATED THEREIN.

THAT PORTION OF THE NORTH ONE-HALF (N 1/2) OF SECTION 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 2 IN BLOCK 8 OF HILLWOOD SECTION THREE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 72°48'53" WEST ALONG THE SOUTH BOUNDARY OF LOT 2 A DISTANCE OF 571.53 FEET; THENCE, SOUTH 17°11'07" EAST A DISTANCE OF 15 FEET; THENCE SOUTH 72°48'53" WEST A DISTANCE OF 42 FEET; THENCE, SOUTH 17°11'07" EAST A DISTANCE OF 315.16 FEET; THENCE, SOUTH 82°52'29" EAST, A DISTANCE OF 489.31 FEET; THENCE, NORTH 00°18'53" EAST A DISTANCE OF 557.40 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

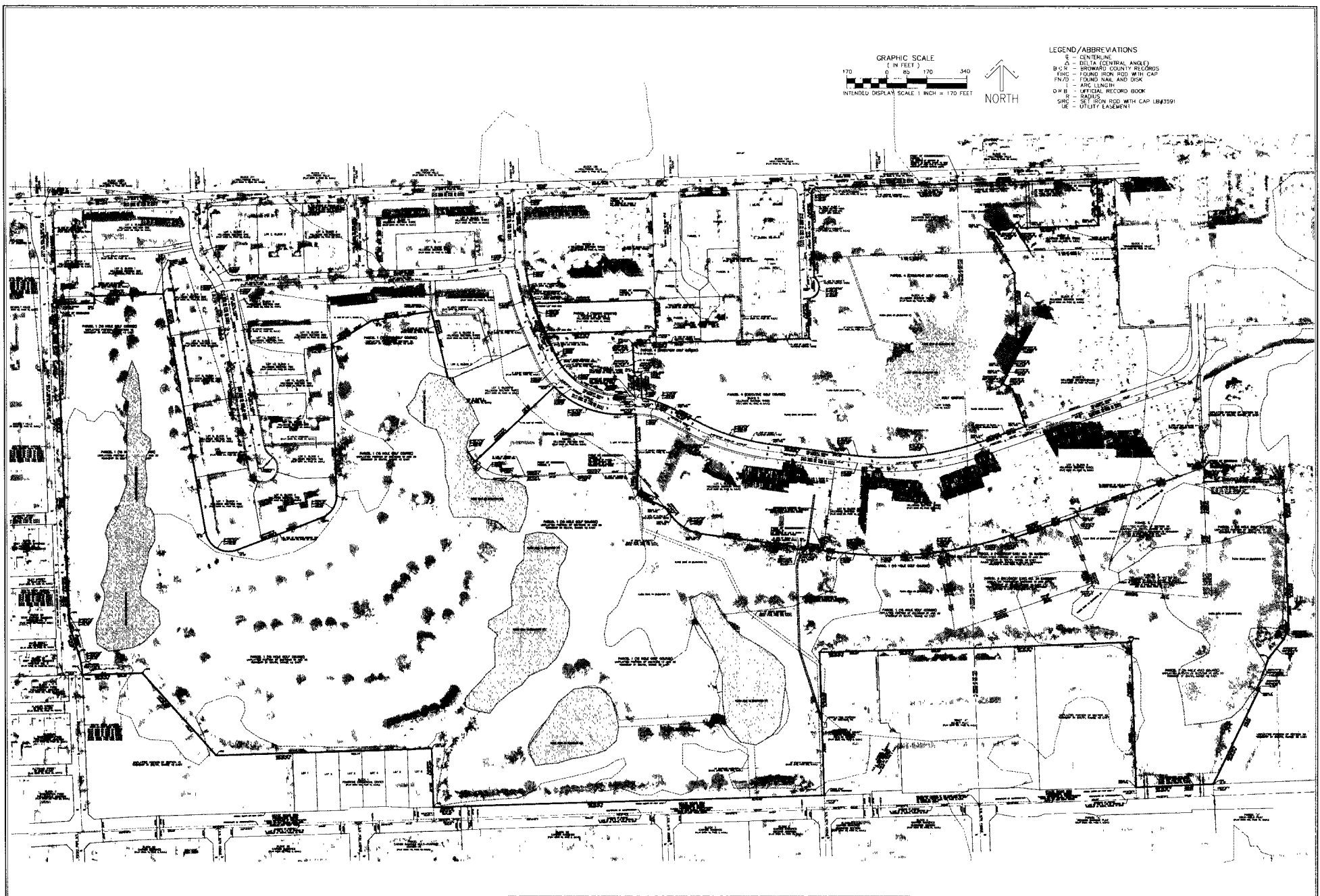
CONTAINING 7,371,490 SQUARE FEET/169.2261 ACRES MORE OR LESS.

489.31 FEET; THENCE, NORTH 00°18'53" EAST, A DISTANCE OF 497.85 FEET TO THE SOUTHWEST CORNER OF THE EAST ONE-HALF (E 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 20; THENCE, SOUTH 89°59'37" EAST, A DISTANCE OF 334.54 FEET; THENCE, SOUTH 00°18'10" WEST, A DISTANCE OF 643.59 FEET; THENCE, SOUTH 27°41'23" WEST, A DISTANCE OF 51.20 FEET; THENCE, SOUTH 40°08'44" WEST, A DISTANCE OF 102 FEET; THENCE, SOUTH 22°04'17" WEST, A DISTANCE OF 146 FEET; THENCE SOUTH 83°29'16" EAST, A DISTANCE OF 8.26 FEET; THENCE, SOUTH 27°41'23" WEST, A DISTANCE OF 446 FEET; THENCE, SOUTH 89°50'06" WEST, A DISTANCE OF 329.63 FEET; THENCE, NORTH 00°19'37" EAST, A DISTANCE OF 624.55 FEET; THENCE, SOUTH 89°55'15" WEST, A DISTANCE OF 669.37 FEET; THENCE, NORTH 89°24'18" WEST, A DISTANCE OF 656.84 FEET; THENCE, SOUTH 00°30'02" WEST, A DISTANCE OF 615.44 FEET; THENCE, NORTH 89°23'45" WEST, PARALLEL WITH AND 60 FEET NORTH OF THE SOUTH LINE OF THE NORTH ONE-HALF (N 1/2) OF SAID SECTION 19, A DISTANCE OF 1674.66 FEET; THENCE, NORTH 00°36'15" EAST, A DISTANCE OF 253 FEET; THENCE, NORTH 89°23'45" WEST, A DISTANCE OF 933.74 FEET; THENCE, NORTH 39°30'49" WEST, A DISTANCE OF 473.34 FEET; THENCE, NORTH 89°24'18" WEST, A DISTANCE OF 255.39 FEET; THENCE NORTH 00°02'57" EAST, A DISTANCE OF 1.69 FEET TO A POINT OF CURVATURE; THENCE, NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 335 FEET AND A CENTRAL ANGLE OF 15°26'55", AN ARC DISTANCE OF 90.33 FEET TO A POINT OF TANGENCY; THENCE, NORTH 15°23'58" WEST, A DISTANCE OF 100 FEET TO A POINT OF CURVATURE; THENCE, NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 265 FEET AND A CENTRAL ANGLE OF 15°44'14", AN ARC DISTANCE OF 72.79 FEET TO A POINT OF TANGENCY ON A LINE 35 FEET EAST OF THE EAST LINE OF SAID GOVERNMENT LOT 2; THENCE, NORTH 00°20'16" EAST, PARALLEL WITH AND 35 FEET EAST OF THE EAST LINE OF GOVERNMENT LOTS 1 AND 2 A DISTANCE OF 1336.03 FEET TO THE POINT OF BEGINNING; AND

PARCEL 2 (CLUBHOUSE): PARCEL A OF HILLWOOD SECTION ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 60, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE NORTH ONE-HALF (N 1/2) OF SECTION 19, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID PARCEL A; RUN NORTH 89°25'56" WEST ALONG THE SOUTH LINE OF PARCEL A A DISTANCE OF 280.07 FEET TO A POINT OF BEGINNING; THENCE, CONTINUE NORTH 89°25'56" WEST ALONG SAID SOUTH LINE A DISTANCE OF 247 FEET; THENCE, SOUTH 00°34'04" WEST, A DISTANCE OF 5 FEET; THENCE, SOUTH 89°25'56" EAST, A DISTANCE OF 247 FEET; THENCE, NORTH 00°34'04" EAST A DISTANCE OF 5 FEET TO THE POINT OF BEGINNING; AND

PARCEL 3 (TENNIS COURTS): THAT PORTION OF BLOCK 6 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:



REV'SIONS	DATE	BY
FILE NAME 6998-one week email for city	11-30-15	
FINAL TAC		



CAULFIELD & WHEELER, INC.

ONE SHEET SURVEY EXHIBIT
HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

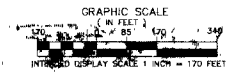
DATE 12/2/15
DRAWN BY JC
F B / PC ELLC
SCALE AS SHOWN

DAVID P. LINDLEY
REGISTERED LAND
SURVEYOR NO. 5005
STATE OF FLORIDA
LB 3591

JOB # 6999
SHEET NO 1A
OF 1 SHEETS

HILLCREST PROPERTY ACREAGE BREAKDOWN		
PARCEL	NET ACRAGE	GROSS ACREAGE
EXECUTIVE GOLF COURSE	30.4439 ACRES	37.8645 ACRES
CLUBHOUSE/PARCEL A	3.9390 ACRES	4.2708 ACRES
TENNIS/BOCCE CENTER	1.5028 ACRES	1.6333 ACRES
18 HOLE GOLF COURSE	123.7675 ACRES	127.0113 ACRES(W/O PARCEL 5&6)
PARCEL 5 & 6	9.5729 ACRES	9.5728 ACRES
TOTAL	169.2261 ACRES	175.3527 ACRES

...the ...
...the ...
...the ...
...the ...
...the ...



LEGEND/ABBREVIATIONS

CENTERLINE
DELTA (CENTRAL ANGLE)
BROWARD COUNTY RECORDS
FOUND JUNE 1920 BY CAR
FOUND NINE
ARC LENGTH
OFFICIAL ROOM
RADIAL
UTILITY EASEMENT

LB#3544



CAULFIELD & WHEELER, INC.

ONE SHEET SURVEY CROSS AREA EXHIBIT
HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

DATE 12/10/15
DRAWN BY JC
FB / PG ELEC
SCALE AS SHOWN

DAVID P. LINDLEY
REGISTERED LAND
SURVEYOR NO. 5005
STATE OF FLORIDA
LB 3591

JOB NO 6999
SHEET NO 1B
OF 1 SHEETS

HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

PARCEL 1 (18-HOLE GOLF COURSE) THAT PART OF THE NORTH ONE-HALF (N 1/2) OF SECTIONS 19 AND 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS

PARCEL 2 (CLUBHOUSE) PARCEL A OF HILLWOOD SECTION ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 60, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE NORTH ONE-HALF (N 1/2) OF SECTION 19, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS

PARCEL 3 (TENNIS COURTS) THAT PORTION OF BLOCK 6 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

PARCEL 4 (EXECUTIVE GOLF COURSE) THAT PORTION OF BLOCKS 7 AND 9 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 59, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

[illegible]

LESS THAT PORTION OF BLOCK 9 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 69, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS

BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 9, SAID CORNER BEING ON THE NORTH RIGHT-OF-WAY LINE OF HILLCREST DRIVE AND ON THE ARC OF A CURVE WHOSE CENTER BEARS SOUTH 09°24'21" WEST FROM SAID CORNER, THENCE, SOUTHEASTERLY ALONG THE SOUTH LINE OF BLOCK 9 AND ALONG SAID ARC TO THE RIGHT, HAVING A RADIUS OF 468.63 FEET AND A CENTRAL ANGLE OF 034°30'6", AN ARC DISTANCE OF 30.41 FEET, THENCE NORTH 00°34'04" EAST, A DISTANCE OF 112 FEET, THENCE NORTH 89°25'56" WEST, A DISTANCE OF 29.91 FEET TO A POINT ON THE WEST LINE OF SAID BLOCK 9, THENCE, SOUTH 00°34'04" WEST, ALONG SAID WEST LINE A DISTANCE OF 106.53 FEET TO THE POINT OF BEGINNING

PARCEL 5 (HILLCREST EAST NO 24 EASEMENT) EASEMENT IN FAVOR OF THE HOLLYWOOD BEACH HOTEL COMPANY, ITS SUCCESSORS AND ASSIGNS OVER THE FOLLOWING DESCRIBED PROPERTY FOR USE AS PART OF A GOLF COURSE AS SET OUT THAT WARRANTY DEED FILED FEBRUARY 14, 1973 IN OFFICIAL RECORDS BOOK 5185, AT PAGE 690 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA SUBJECT TO THE TERMS AND CONDITIONS STATED THEREIN

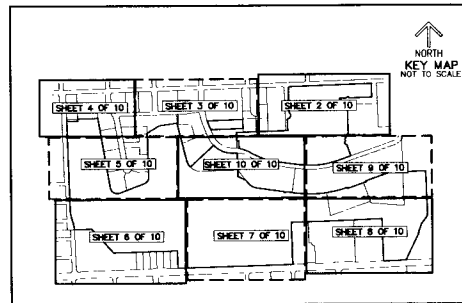
FROM THE SOUTHWEST CORNER OF LOT 10 IN BLOCK 8 OF HILLWOOD SECTION THREE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 88, AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, RUN 79°55'56" EAST ALONG THE SOUTH LINE OF BLOCK 8 A DISTANCE OF 57 FEET TO A POINT OF CURVATURE, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1600 FEET AND A CENTRAL ANGLE OF 16°22'22" AN ARC DISTANCE OF 452.56 FEET TO A POINT OF BEGINNING, THENCE CONTINUE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1600 FEET AND A CENTRAL ANGLE OF 110°24'49" AN ARC DISTANCE OF 308.41 FEET, THENCE SOUTH 77°10'17" WEST, A DISTANCE OF 15.81 FEET, THENCE SOUTH 72°48'33" WEST, A DISTANCE OF 620.40 FEET, THENCE NORTH 06°08'16" WEST, A DISTANCE OF 343.57 FEET TO THE POINT OF BEGINNING, AND

PARCEL 6 (HILLCREST EAST NO 25 EASEMENT) EASEMENT IN FAVOR OF THE HOLLYWOOD BEACH HOTEL COMPANY, ITS SUCCESSORS AND ASSIGNS OVER THE FOLLOWING DESCRIBED PROPERTY FOR USE AS PART OF A GOLF COURSE AS SET OUT THAT WARRANTY DEED FILED FEBRUARY 13, 1974 IN OFFICIAL RECORDS BOOK 5639, AT PAGE 794 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA SUBJECT TO THE TERMS AND CONDITIONS STATED THEREIN.

THAT PORTION OF THE NORTH ONE-HALF (N 1/2) OF SECTION 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 2 IN BLOCK 8 OF HILLWOOD SECTION THREE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 68, A PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THENCE SOUTH 72°48'53" WEST ALONG THE SOUTH BOUNDARY OF LOT 2 A DISTANCE OF 571.53 FEET, THENCE, SOUTH 171°07' EAST A DISTANCE OF 15 FEET, THENCE SOUTH 72°48'53" WEST A DISTANCE OF 42 FEET, THENCE, SOUTH 171°07' EAST A DISTANCE OF 315.16 FEET, THENCE, SOUTH 82°32'29" EAST, A DISTANCE OF 489.31 FEET, THENCE, NORTH 00°18'53" EAST A DISTANCE OF 557.40 FEET TO THE POINT OF BEGINNING

SAID LANDS SITUATE IN CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA
CONTAINING 7,371,490 SQUARE FEET/169.2261 ACRES MORE OR LESS



Exception	Instruction Bank & Page	Affect on Property
1	Plan Book 10 Page 22	Affects as shown
2	Plan Book 66, Page 10	Affects as shown
3	CRB 5515 Page 111	Affects - No portable unit
4	CRB 5520 Page 114	Affects - No portable unit
5	CRB 60142 Page 86	Affects - No portable unit
6	CRB 5960 Page 91	Affects as shown
7	CRB 1004 Page 139	Affects as shown
11	CRB 72000 Page 319	Affects - No portable unit
12	New Book 10 Page 62	Affects as shown
13	CRB 5600 Page 55	Affects - No portable unit
14	CRB 3034 Page 107	See CRB 10079, Page 56
15	CRB 5115 Page 101	Affects as shown
16	CRB 5115 Page 101	Affects as shown
17	CRB 18300 Page 56	Affects as shown
18	CRB 5010 Page 100	Affects as shown
19	CRB 1004 Page 139	Affects as shown
20	CRB 5060 Page 208	Affects - No portable unit
21	CRB 56200 Page 51	Affects as shown
22	CRB 5115 Page 101	Affects as shown
23	CRB 11041 Page 193	Affects as shown
24	CRB 5034 Page 100	Affects as shown
25	CRB 44036 Page 1492	Affects - No portable unit
26	CRB 48844 Page 893	Affects - No portable unit
27	CRB 48115 Page 893	Affects - No portable unit
28	Deck Book # 10 Page 424	Affects - No portable unit

Exception	Instrument Book & Page	Affects on Copyright
1	Notice of Commencement 11/29/70	Affects - No probable rents
2	Plat Book 50 Page 29	Affects as shown
3	Plat Book 69 Page 10	Affects as shown
4	Trust Book 417 Page 402	Affects as shown
5	ORR 3111 Page 138	Affects as shown
6	ORR 5044 Page 253	Affects as shown
7	ORR 6505 Page 51	Affects - No probable rents
8	ORR 6660 Page 18	Affects - No probable rents
9	ORR 6230 Page 58	Affects as shown
10	ORR 6515 Page 57	Affects - No probable rents
11	ORR 6230 Page 58	Affects - No probable rents
12	ORR 6014 Page 94	See ORR 1363s Page 58
13	ORR 6017 Page 176	See ORR 1363s Page 58
14	ORR 6118 Page 18	Affects as shown
15	ORR 6118 Page 18	Affects as shown
16	ORR 6569 Page 415	Affects as shown
17	ORR 6344 Page 41	Affects as shown
18	ORR 11241 Page 75	Affects as shown
19	ORR 12636 Page 49	Affects as shown
20	ORR 12636 Page 310	Affects - No probable rents
21	ORR 34039 Page 1461	Affects as shown
22	ORR 44036 Page 1461	Affects - No probable rents
23	ORR 44036 Page 189	Affects as shown
24	ORR 44036 Page 189	Affects as shown

1 REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL

2. LANDS SHOWN WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE ORDER NO. 52220321, EFFECTIVE DATE: MARCH 30, 2015 AT 5:00 P.M. THE SURVEYOR REVIEWED THE OCTOBER 30, 2015 OWNERSHIP & ENCUMBRANCE REPORT AND THE INFORMATION CONTAINED IN IT MATCHES THE MARCH 30, 2015 TITLE COMMITMENT.
3. BEARINGS AND DISTANCES SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF 8°58'34"W ALONG THE NORTH LINE OF SECTION 19, TOWNSHIP 51 SOUTH, RANGE 42 EAST, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 AND BASED ON FIELD MEASUREMENTS. BEARINGS AND DISTANCES SHOWN THUSLY (5887634"W) REFER TO THOSE CALLED OUT IN THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT.
4. THE "LAND DESCRIPTION" HEREON WAS PROVIDED BY THE CLIENT.
5. THE PROPERTY LIES WITHIN FLOOD ZONES X, 0.2 PERCENT ANNUAL CHANCE (THESE TWO FLOOD ZONES ARE NOT SHADED OR HATCHED ON THE DRAWING), AND ELEVATIONS 9' AND 10'. THESE AREAS ARE GROSS HATCHED ON THE DRAWING. AREAS 9' AND 10" THESE AREAS ARE SOLID HATCHED ON THE DRAWING PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12011C0564H, 12011C0568H, 12011C0727H, 12011C0731H OF MAPS DATED AUGUST 14, 2014.
6. AT THE REQUEST OF THE CLIENT, IMPROVEMENTS WERE NOT SHOWN.
7. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY FROM WASHINGTON STREET, SOUTH 52ND AVENUE, PEMBROKE ROAD AND HILLCREST DRIVE, ALL PUBLIC RIGHTS-OF-WAY.
8. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
9. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
10. GEOREFERENCED AERIAL PHOTOGRAPHY PROVIDED BY BROWARD COUNTY, FLIGHT DATE 2015.
11. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL HATCHED AREA OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
13. THE RELEASE OF RESERVATIONS CONTAINED IN OFFICIAL RECORD BOOK 18639, PAGE 58 RELEASES ALL LANDS DESCRIBED HEREON, EXCEPT THAT PORTION LYING 400 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SECTIONS 19 AND 20, AS REQUESTED BY BROWARD COUNTY, AND THAT PORTION LYING WITHIN THE NORTH LINE OF SECTION 20, AS REQUESTED BY BROWARD COUNTY, 824/PEMBROKE ROAD IN SECTION 20, AS REQUESTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION.
14. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, BASED ON BROWARD COUNTY SURVEY BENCHMARK NO. 1142, ELEVATION 10.36 FEET.

THE ORIGINAL DEED RECORDED IN OFFICIAL RECORD BOOK 470, PAGE 402 REFERS ONLY TO A PORTION OF LANDS IN SECTION 20 AND NOT WITHIN 100 FEET OF STATE ROAD 824/PENNBROKE ROAD

THIS IS TO CERTIFY TO _____ THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 15, 16 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 13, 2015

DATE OF PLAT OR MAP 11-30-15

[illegible]

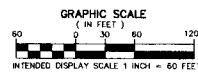
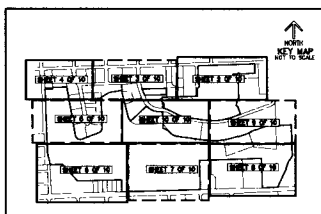
CAULFIELD & WHEELER, INC.

ALTA/ACSM LAND TITLE SURVEY
LCREST GOLF AND COUNTRY CLUB
PORTION OF SECTIONS 19 AND 20
SHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

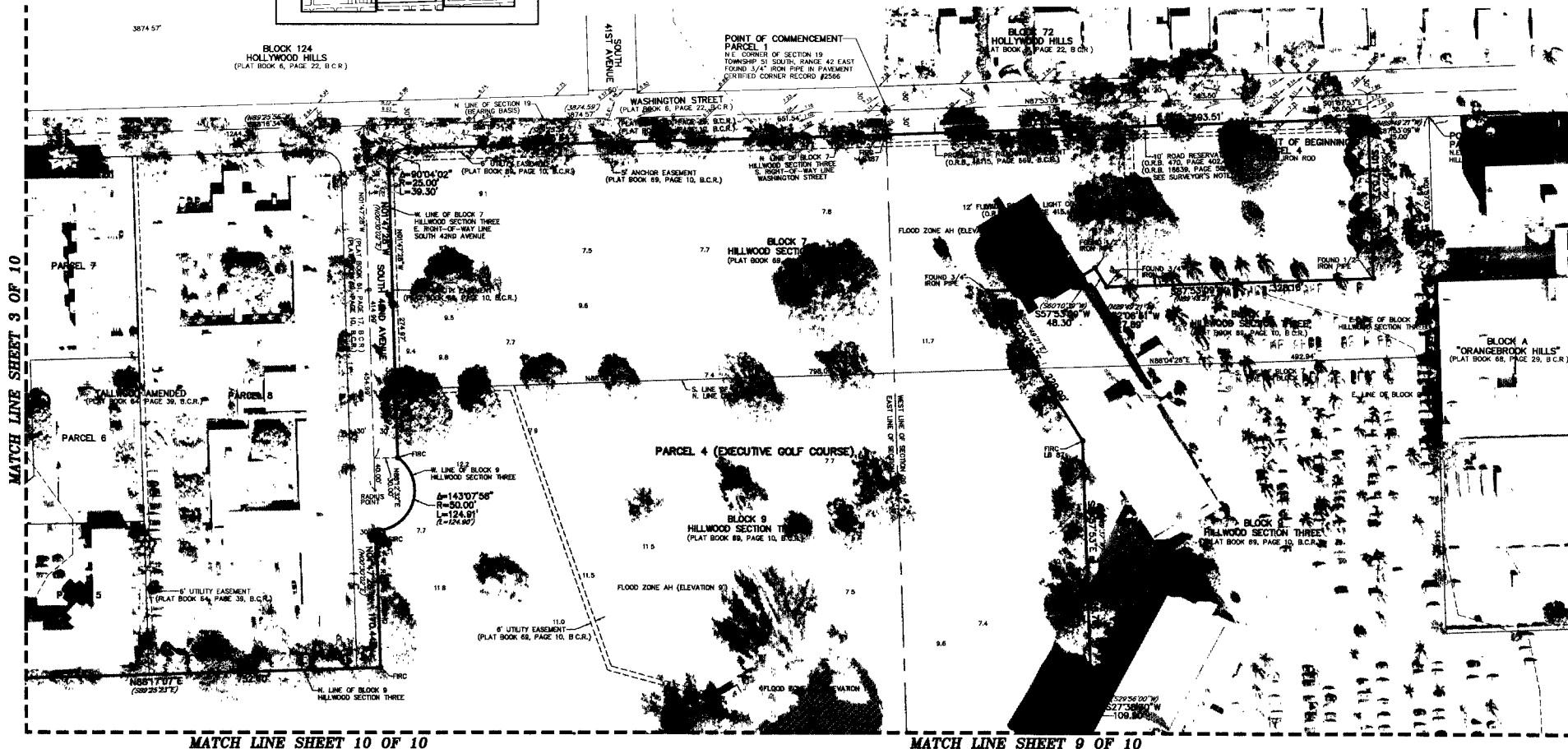
DATE	6/11/15
DRAWN BY	JC
FB / PG	ELEC
SCALE	N/A

DAVID P. LINDLEY
REGISTERED LAND
SURVEYOR NO. 500
STATE OF FLORIDA
L.B. 3591

JOB # 6999
SHT NO 1
OF 10 SHEETS



LEGEND/ABBREVIATIONS
 C - CENTERLINE
 Δ - DELTA (CENTRAL ANGLE)
 B.C.R. - BROWARD COUNTY RECORDS
 FIRC - FOUND IRON ROD WITH CAP
 F.V.D. - FOUND VALVE AND DISK
 L - ARC LENGTH
 O.R.B. - OFFICIAL RECORD BOOK
 SIRC - SET IRON ROD WITH CAP LB#3591
 UE - UTILITY EASEMENT



MATCH LINE SHEET 10 OF 10

MATCH LINE SHEET 9 OF 10

CALFIELD & WHEELER, INC.

ALTA/ACSM LAND TITLE SURVEY
 HILLCREST GOLF AND COUNTRY CLUB
 A PORTION OF SECTIONS 19 AND 20
 TOWNSHIP 51 SOUTH, RANGE 42 EAST
 CITY OF HOLLYWOOD, FLORIDA

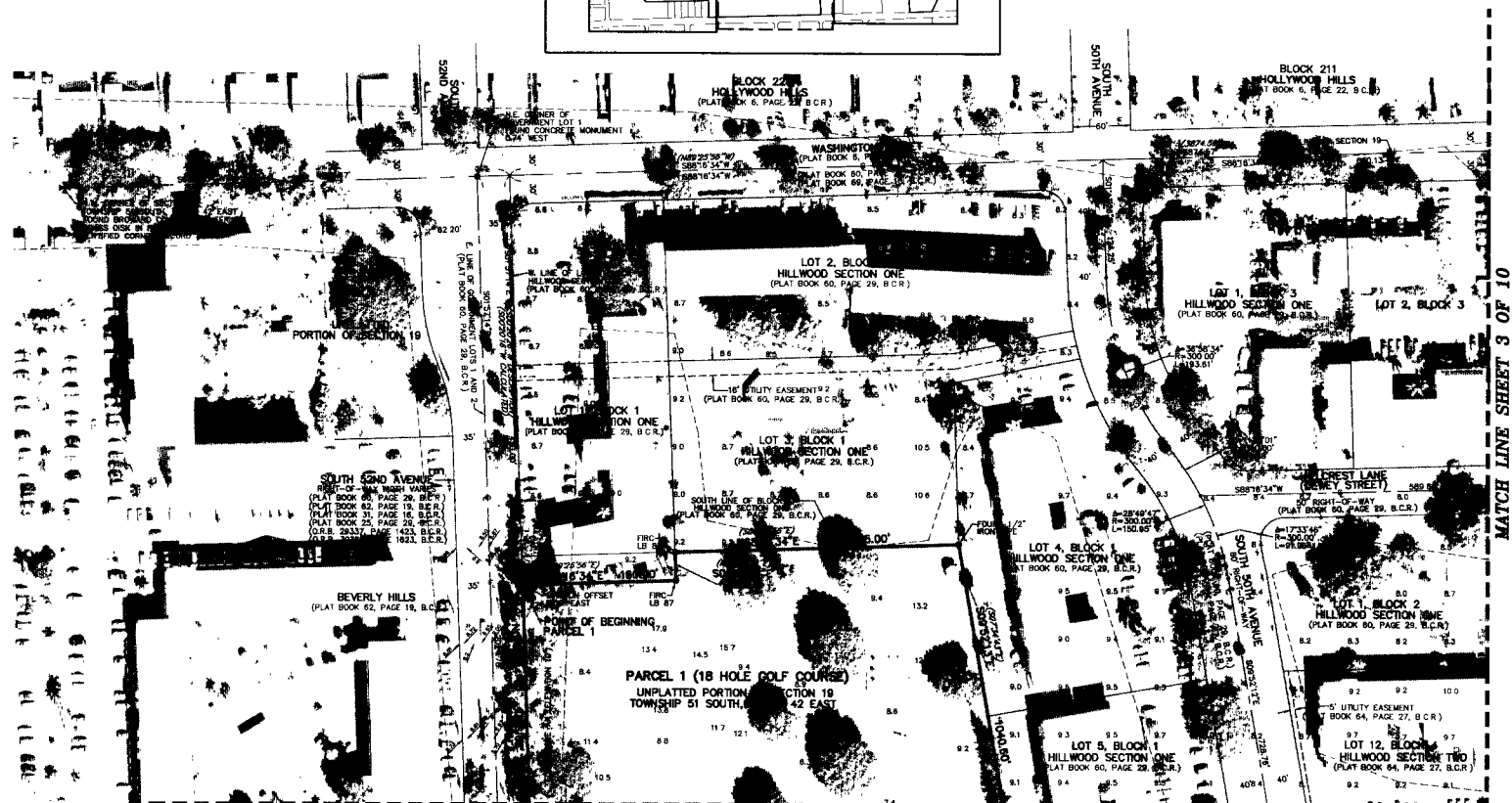
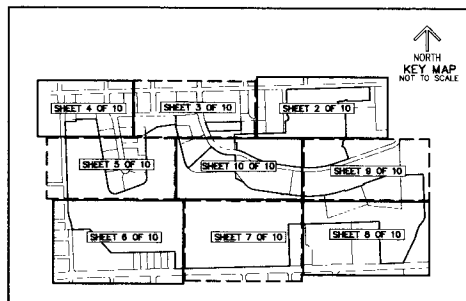
DATE: 6/11/15
 DRAWN BY: JC
 E/B / PG: ELEC
 SCALE AS SHOWN

JOB # 6999
 SHEET
 2
 OF 10 SHEETS



LEGEND/ABBREVIATIONS

△ - CENTERLINE
Δ - DELTA (CENTRAL ANGLE)
B.C.R. - BROWARD COUNTY RECORDS
FIRC - FOUND IRON ROD WITH CAP
FN/D - FOUND NAIL AND DISK
L - ARC LENGTH
O.R.B. - OFFICIAL RECORD BOOK
R - RADIUS
SIRC - SET IRON ROD WITH CAP LB#3591
UE - UTILITY EASEMENT



MATCH LINE SHEET 5 OF 10

[illegible]

CAULFIELD & WHEELER, INC.



ALTA/ACSM LAND TITLE SURVEY
HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

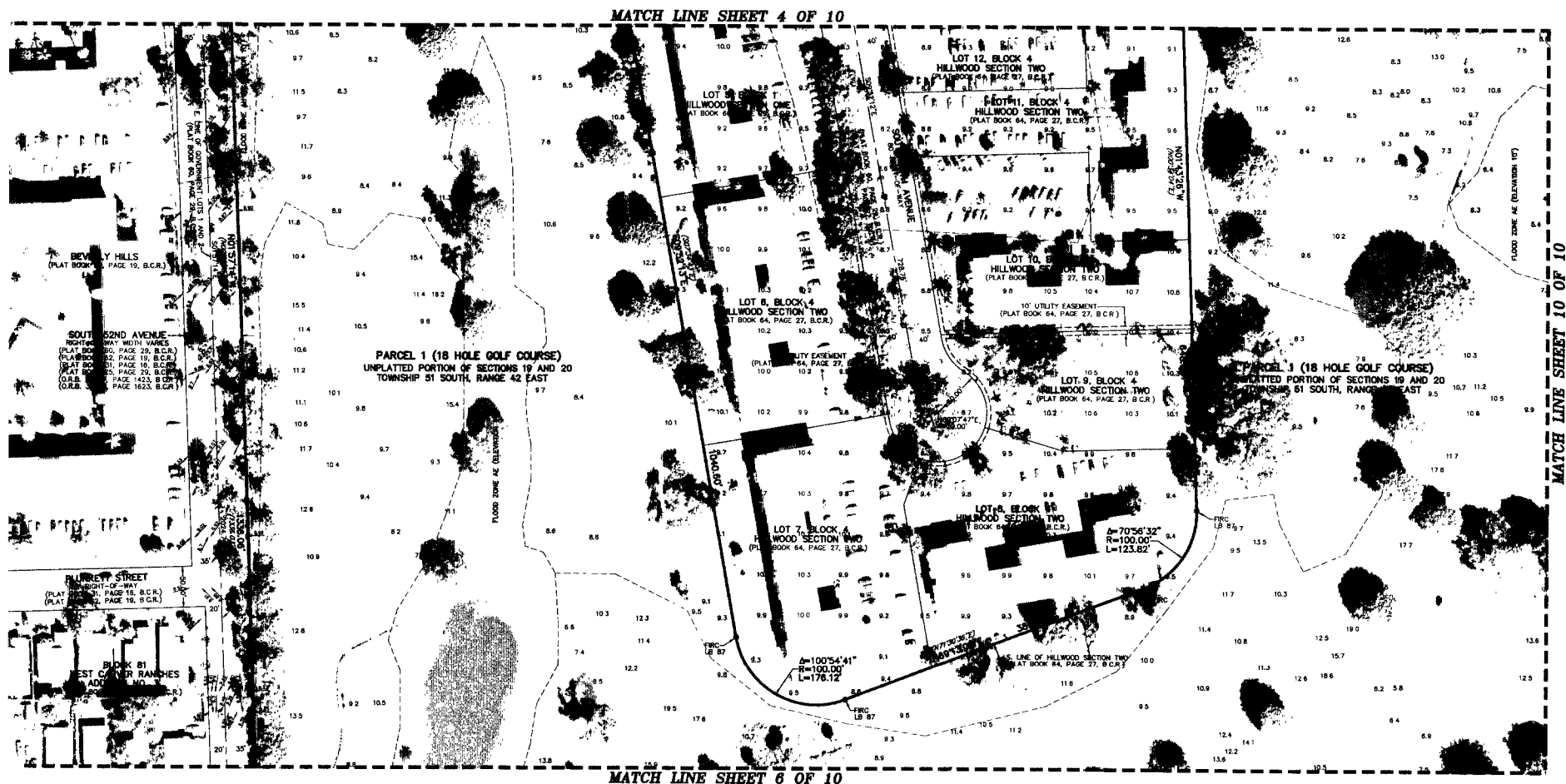
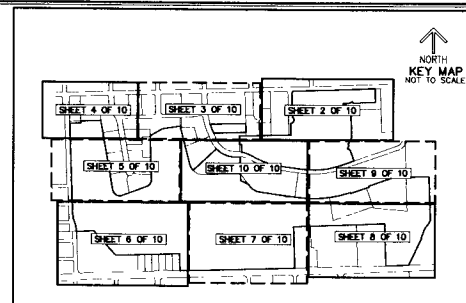
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DRAWN BY	JC
FB / PG	ELEC
SCALE AS SHOWN	

JOB # 6999
SHT NO 4
OF 10 SHEETS



LEGEND/ABBREVIATIONS

CL - CENTERLINE
DA - DELTA (CENTRAL ANGLE)
B.C.R. - BROWARD COUNTY RECORDS
FIRC - FOUND IRON ROD WITH CAP
FN/D - FOUND NAIL AND DISK
L - ARC LENGTH
O.R.B. - OFFICIAL RECORD BOOK
R - RADIUS
SIRC - SET IRON ROD WITH CAP LB/3591
UE - UTILITY EASEMENT

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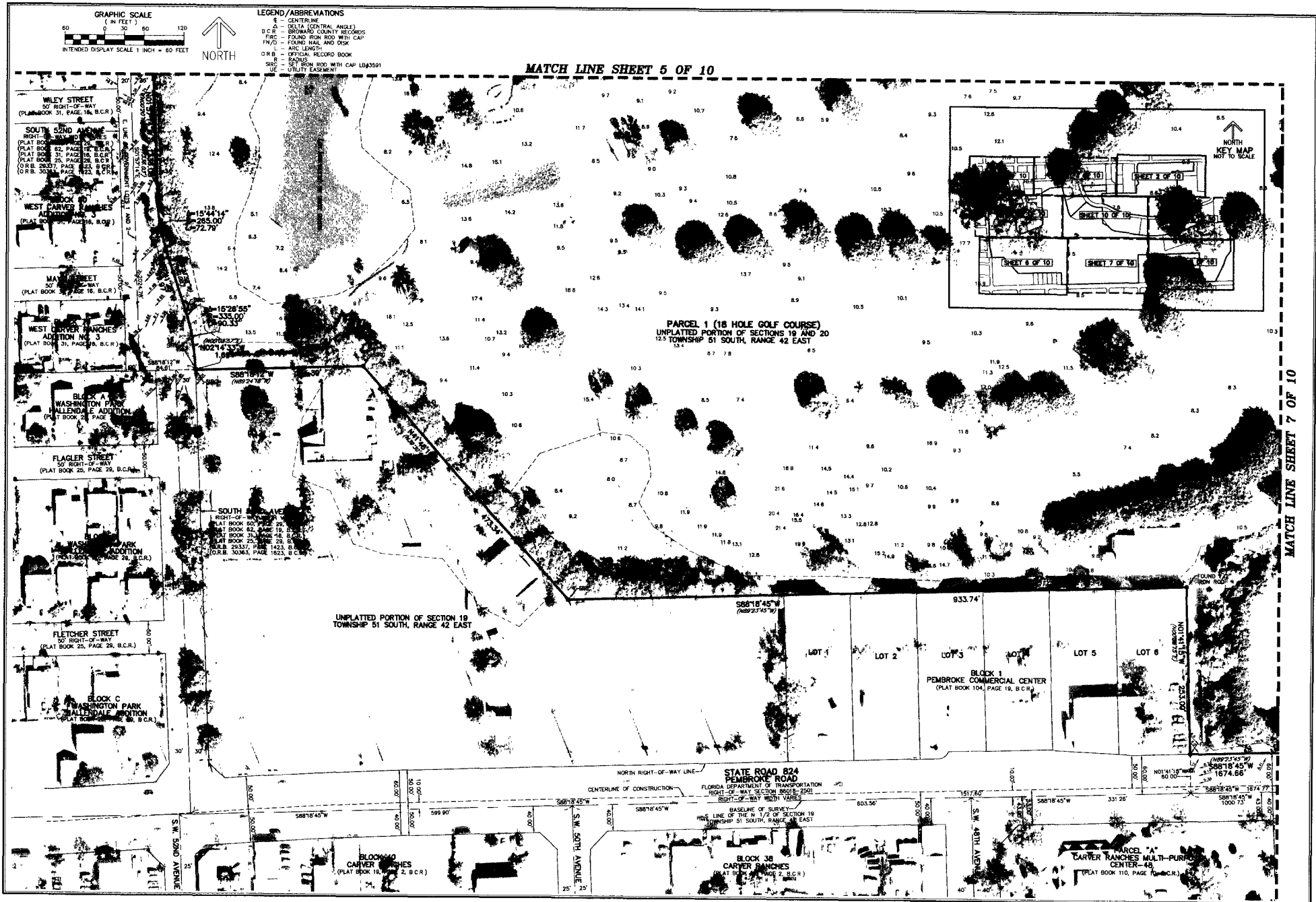
CAULFIELD & WHEELER, INC.



ALTA/ACSM LAND TITLE SURVEY
CREST GOLF AND COUNTRY CLUB
PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

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DRAWN BY	J
FB / PG	ELE
SCALE AS SHOWN	

JOB # 6999
SHT NO 5
OF 10 SHEET



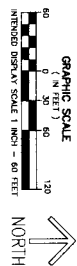
REVISIONS	DATE	BY

CALLFIELD & WHEELER, INC.
1101 N. W. 11th St.
Fort Lauderdale, FL 33304
TEL: 561-555-4433

ALTA/ACSM LAND TITLE SURVEY
HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA

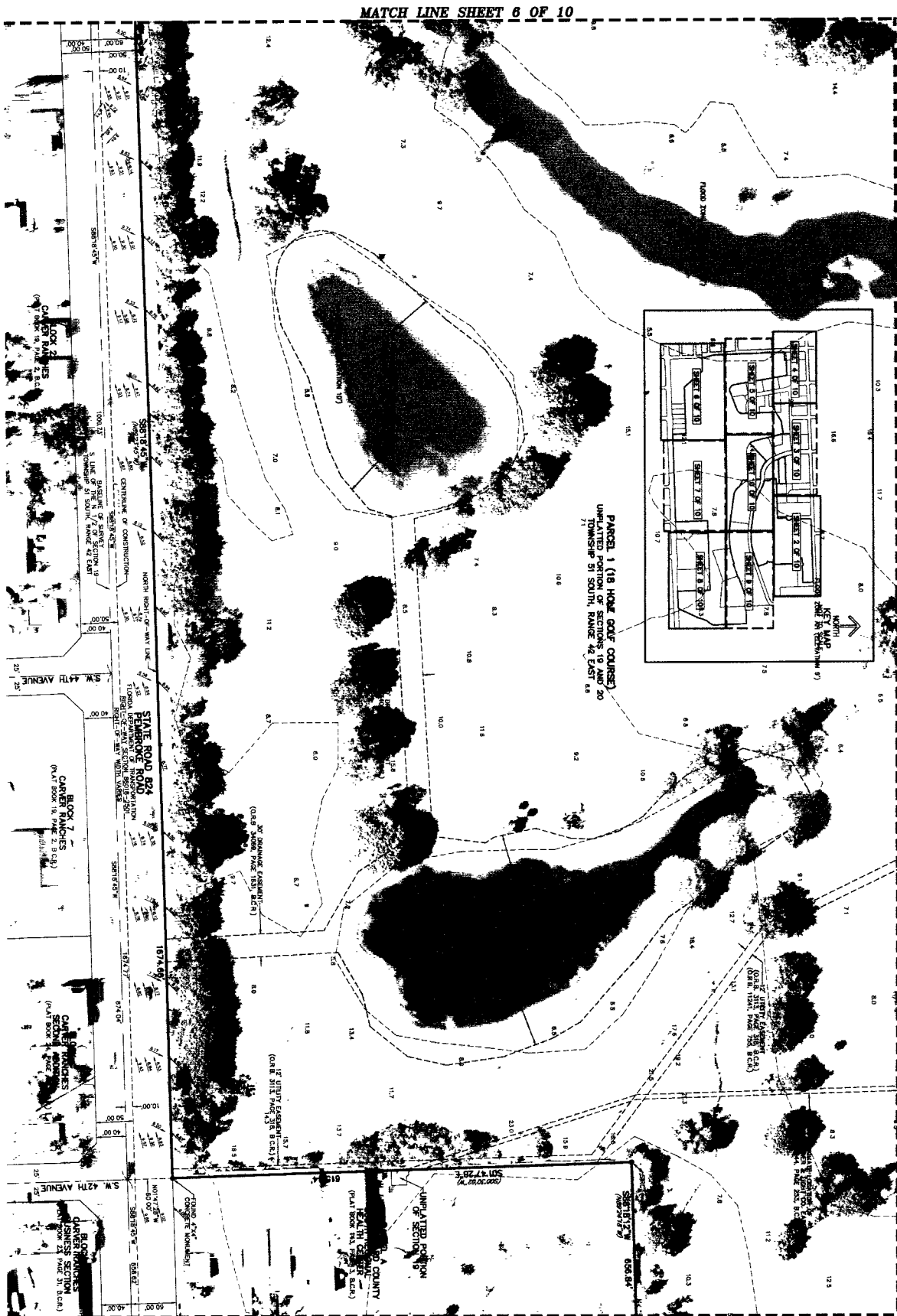
DATE 6/11/15
DRAWN BY JC
F.B./P.C. ELEC
SCALE AS SHOWN

JOB # 6999
SHEET NO 6
OF 10 SHEETS

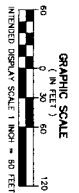


LEGEND/ABBREVIATIONS
B.C. - BOUNDARY CORNER
F.C. - FLOOD CONTROL
H.C. - HOLE COURSE
I.C. - INTERIOR CORNER
L.C. - LAND CORNER
M.C. - MOUND CORNER
P.C. - POND CORNER
S.C. - SLOPE CORNER
T.C. - TOWNSHIP CORNER
U.C. - UTILITY CORNER

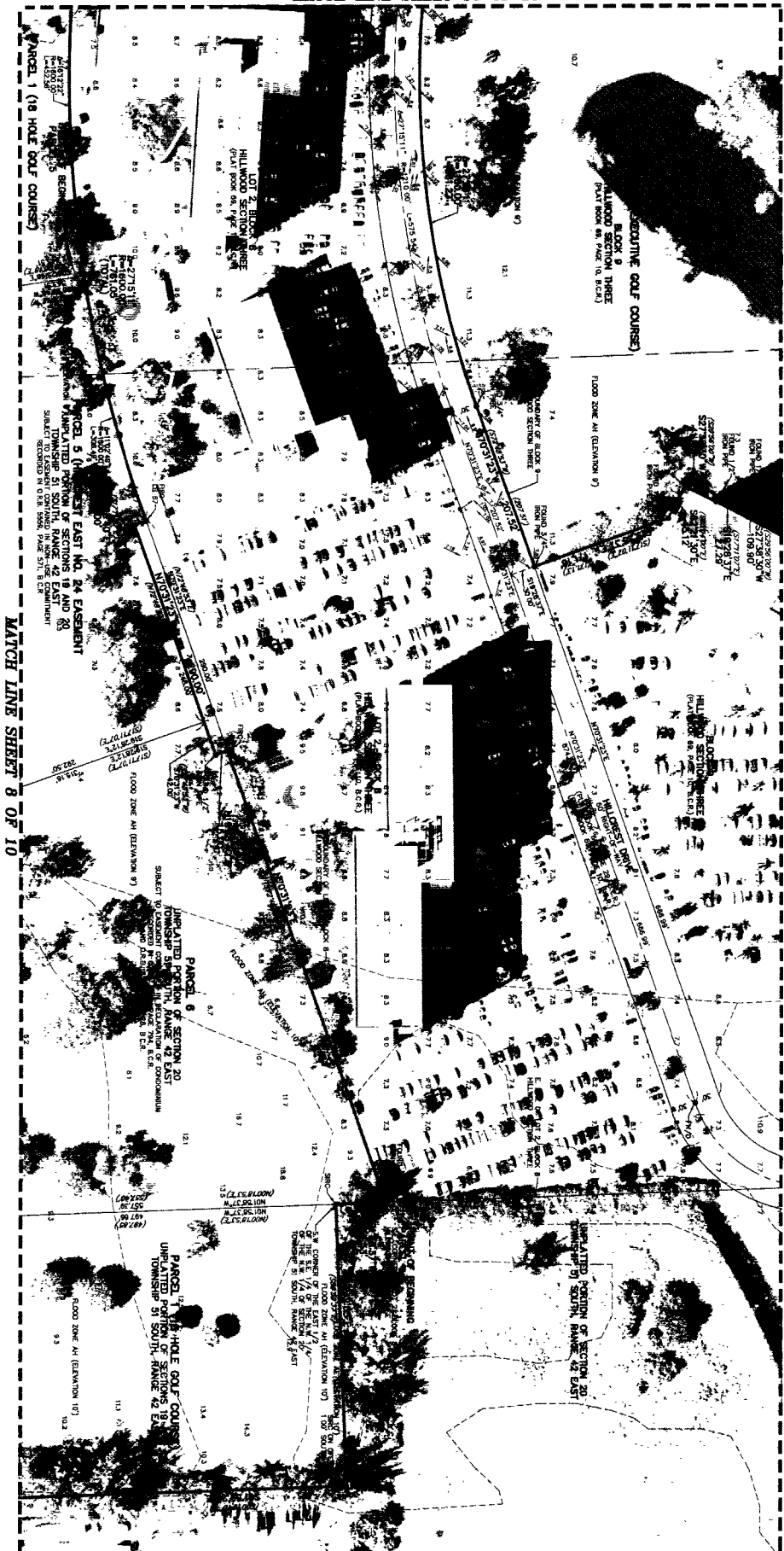
MATCH LINE SHEET 10 OF 10



MATCH LINE SHEET 8 OF 10

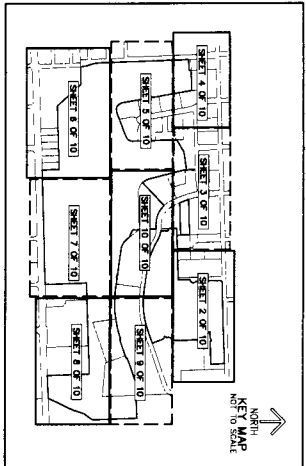


LEGEND/ABBREVIATIONS
 A - AREA (GENERAL, ANGLE)
 B - BOUNDARY (GENERAL, ANGLE)
 F - FLOOD (GENERAL, ANGLE)
 H - HOLE (GENERAL, ANGLE)
 L - LOT (GENERAL, ANGLE)
 N - NORTH (GENERAL, ANGLE)
 O - OFF (GENERAL, ANGLE)
 P - PLOT (GENERAL, ANGLE)
 R - ROAD (GENERAL, ANGLE)
 S - SECTION (GENERAL, ANGLE)
 T - TOWNSHIP (GENERAL, ANGLE)
 U - UNPLATTED (GENERAL, ANGLE)
 V - VILLAGE (GENERAL, ANGLE)
 W - WATER (GENERAL, ANGLE)
 X - X-ROAD (GENERAL, ANGLE)
 Y - Y-ROAD (GENERAL, ANGLE)
 Z - Z-ROAD (GENERAL, ANGLE)



MATCH LINE SHEET 2 OF 10

MATCH LINE SHEET 8 OF 10

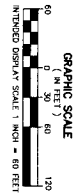


DATE: 6/1/75
 DRAWN BY: JC
 CHECKED BY: EIC
 SCALE: AS SHOWN

ALTA/ACSM LAND TITLE SURVEY
 HILLCREST GOLF AND COUNTRY CLUB
 A PORTION OF SECTIONS 19 AND 20
 TOWNSHIP 51 SOUTH, RANGE 42 EAST
 CITY OF HOLLYWOOD, FLORIDA

CAULFIELD & WHEELER, INC.
 1000 N. W. 10th Ave.
 Suite 100
 Fort Lauderdale, FL 33304
 Phone: (305) 461-1111

REVISIONS	DATE	BY

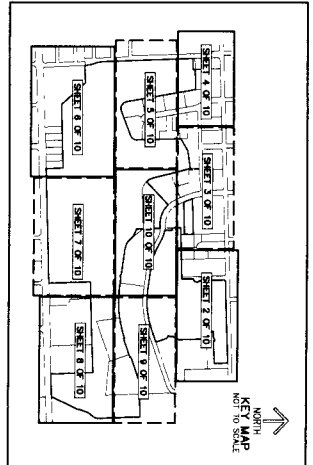


LEGEND/ABBREVIATIONS

- CENTERLINE
- BOUNDARY LINE
- EASEMENT
- FLOOD ZONE
- FLOOD ZONE 40' ELEVATION 93'
- FLOOD ZONE 40' ELEVATION 97'
- FLOOD ZONE 40' ELEVATION 100'
- FLOOD ZONE 40' ELEVATION 103'
- FLOOD ZONE 40' ELEVATION 106'
- FLOOD ZONE 40' ELEVATION 109'
- FLOOD ZONE 40' ELEVATION 112'
- FLOOD ZONE 40' ELEVATION 115'
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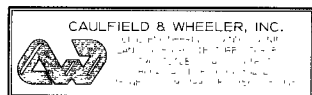
MATCH LINE SHEET 7 OF 10

MATCH LINE SHEET 3 OF 10



DATE	5/1/75
DRAWN BY	J.C.
SCALE	AS SHOWN
PROJECT NO.	6999
SHEET NO.	10

ALTA/ACSM LAND TITLE SURVEY
HILLCREST GOLF AND COUNTRY CLUB
A PORTION OF SECTIONS 19 AND 20
TOWNSHIP 51 SOUTH, RANGE 42 EAST
CITY OF HOLLYWOOD, FLORIDA



REVISIONS	DATE	BY

10/1/2011

SITE DATA

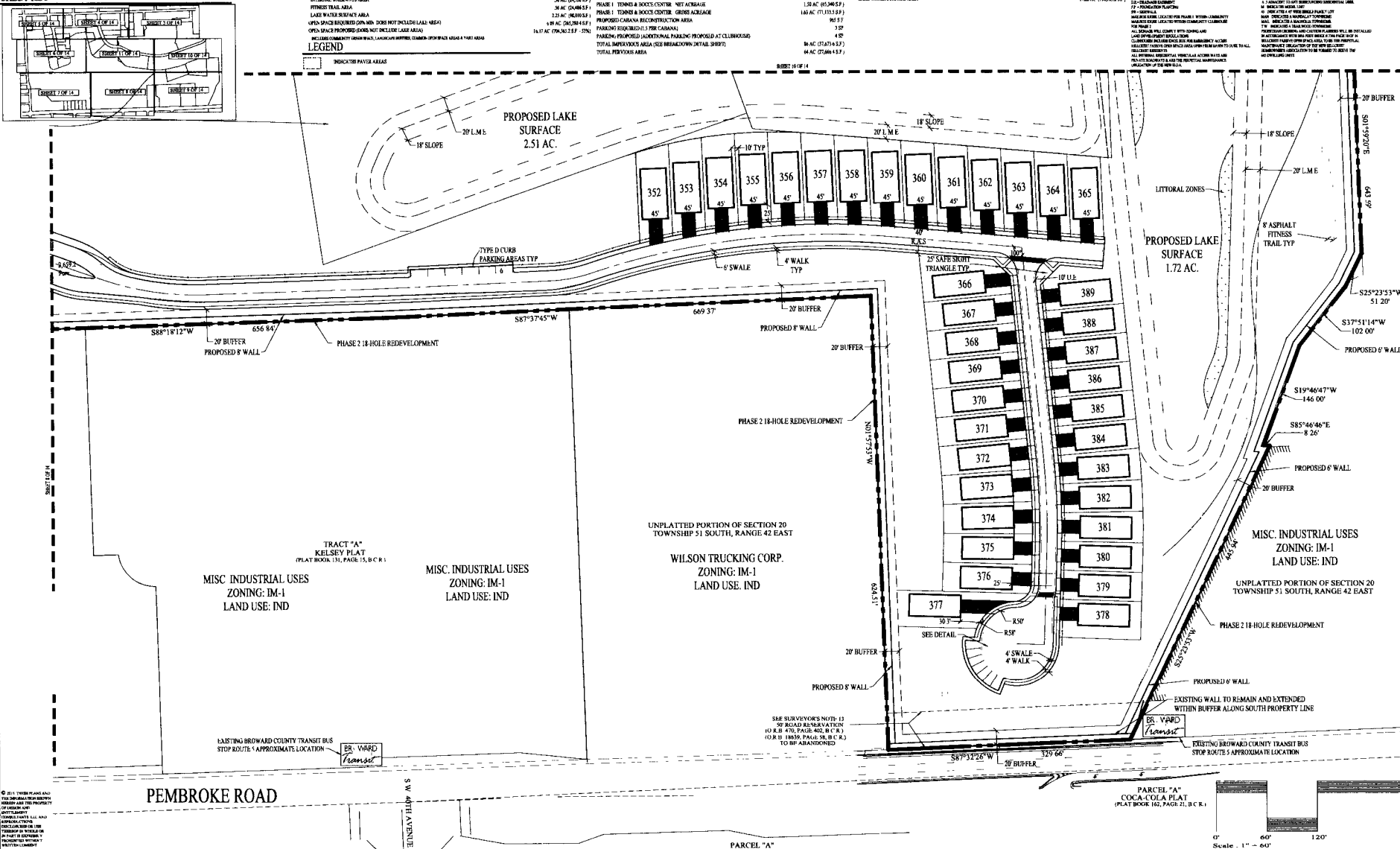
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BY	REVISIONS	DATE
KD	TAC COMMENTS-7-20-15	8-19-15
AD	TAC COMMENTS-9-03-15	10-30-15
KL	FINAL TAC	11-30-15
KD	CITY COMMENTS/DRAWN	03-16-16

PROJECT NOTES

[illegible]

LEGEND



**Design and Entitlement
Consultants, LLC.**
2135 Bellerest Court
Royal Palm Beach, FL 33411
Tel. (561) 707-3410
Email: info@designandentitlement.com

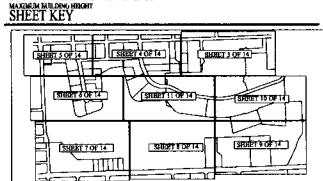
**DESIGN AND
ENTITLEMENT
CONSULTANTS, LLC.**

**HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021**

SITE PLAN	
SCALE:	1"=60'
CHECKED BY	KDD
DRAWN BY	KDD
DATE	07/06/15
FILL SP 1	
SHEET	
SP.9	
9 OF 14	SHEET



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[illegible]

MAXIMUM BUILDING HEIGHT SHEET KEY

The diagram shows a grid of building footprints with height restrictions indicated by numbers in boxes. The grid is divided into several sections, with height limits ranging from 10 to 15 stories. The layout includes a central vertical corridor and various building footprints of different sizes and shapes. The height restrictions are as follows:

- Top Left: 10 stories
- Top Center: 10 stories
- Top Right: 10 stories
- Middle Left: 10 stories
- Middle Center: 10 stories
- Middle Right: 10 stories
- Bottom Left: 10 stories
- Bottom Center: 10 stories
- Bottom Right: 10 stories

[illegible]

1. **WATER**
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 3. **INTERNAL WASTEWATER**
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 237. **WATER**
 238. **W**

[illegible][illegible]

240°
 NORTH WOLFEY AREA
 PITTSBURGH AREA
 LAKE WAZWASAT AREA
 OTHER FACTS: AVAILABLE ON FILE. FORM NOT INCLUDING LOCAL AREA
 OTHER FACTS: PROVIDED (DOES NOT INCLUDE LAKE AREA)
 INCLUDE CUMULATIVE AROUND-UP/INFORMATION: CUMULATIVE
 PARKING SPACES REQUIRED
 SINGLE FAMILY PARKING SPACES REQUIRED (S.F. / D.U.) = 2.00
 MULTI-FAMILY PARKING SPACES REQUIRED (S.F. / D.U.)
 MULTI-FAMILY OTHER SPACES REQUIRED (S.F. / D.U.)
 SEE LOCAL MAPS OF PLOT FOR FURTHER INFORMATION
 PARKING SPACES PROVIDED (INCLUDES DRIVEWAYS & GARAGES)
 SINGLE FAMILY PARKING PROVIDED (D) DRIVEWAY 2 GARAGES 2
 MULTI-FAMILY SPACES PROVIDED (D) DRIVEWAY 2 GARAGES 2
 MULTI-FAMILY OTHER SPACES PROVIDED (D) DRIVEWAY 2
 (SEE LOCAL MAPS OF PLOT FOR FURTHER INFORMATION)

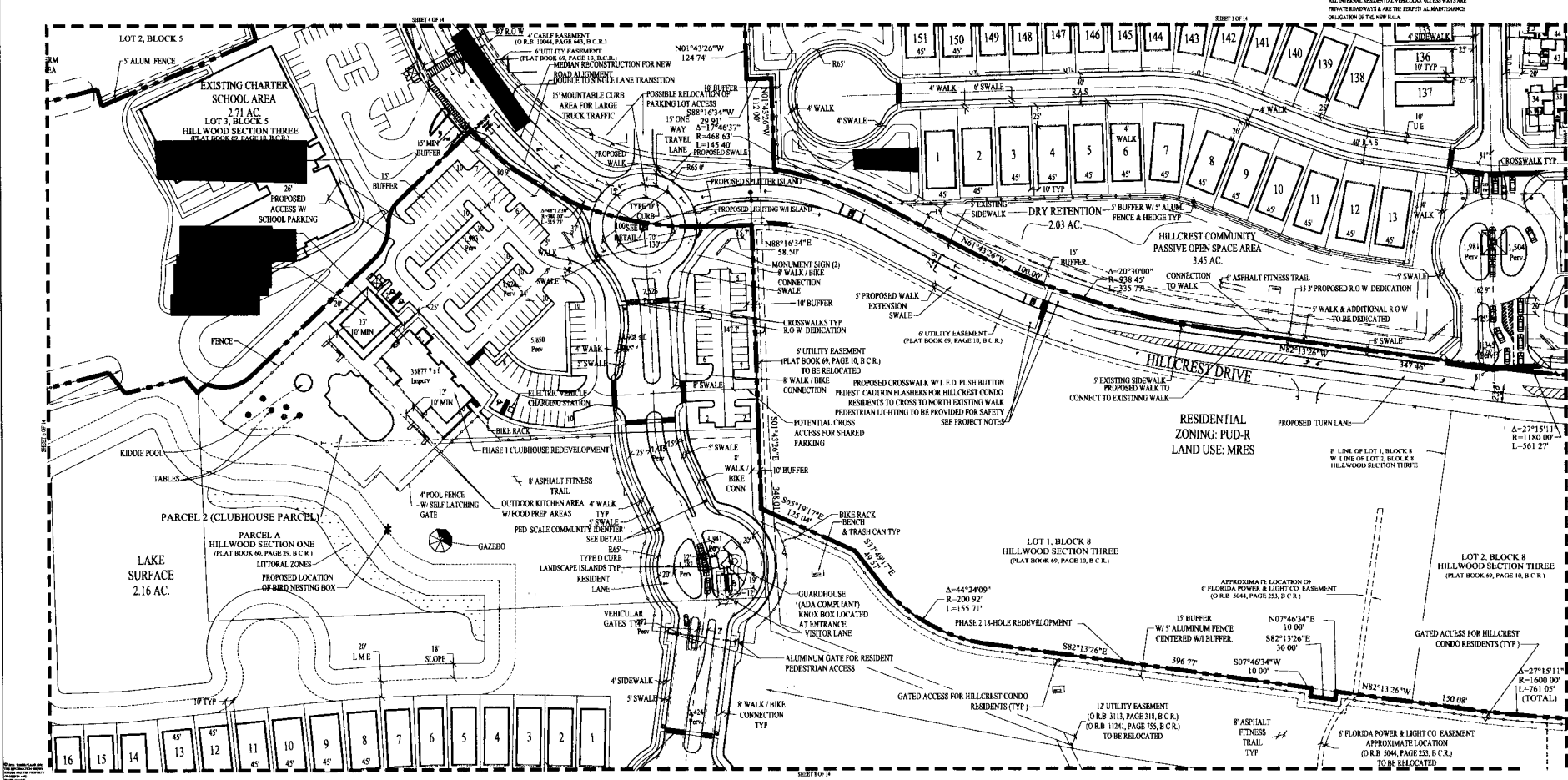
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**Design and Entitlement
Consultants, LLC.**
2135 Bellerest Court
Royal Palm Beach, FL 33411
Tel (561) 707-3410
Email: info@designandentitlement.com

**DESIGN AND
ENTITLEMENT
CONSULTANTS, LLC**

HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

SITE PLAN	
SCALE	1"=60'
CHECKED BY	K.D.D.
DRAWN BY	K.D.D.
DATE	07/06/15
FILE: SP 1	
SHEET	
SP.11	
11	01' 14 SHEETS



ATTACHMENT IV
Proposed Changes to the Site Plan

[illegible]

	SCALE: 1"=300' CHIEF: BOB R. KIDD DRAWN BY: KDD DATE: 07/06/15 FILE: SP.1	HILLCREST COUNTRY CLUB REDEVELOPMENT HILLCREST IG, LLC. PULTE GROUP 4600 HILLCREST DRIVE HOLLYWOOD, FLORIDA 33021	DESIGN AND ENTITLEMENT CONSULTANTS, LLC.	Design and Entitlement Consultants, LLC. 2135 Bellcrest Court Royal Palm Beach, FL 33411 Tel: (561) 707-3410 Email: info@designandentitlement.com	DATE: 07/06/15 BY: KDD FOR: PULTE GROUP
					1. OF 14 SHEETS SP.1

SHEET DATA

PROJECT: HILLCREST COUNTRY CLUB REDEVELOPMENT
CLIENT: HILLCREST IG, LLC
DESIGNER: DESIGN AND ENTITLEMENT CONSULTANTS, L.L.C.
DATE: 12/15/2017
SCALE: 1" = 200'
SHEET: SP2 OF 14

PROJECT NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

PHASE 1 - ESTIMATE COMPLETION 1ST QUARTER 2018
PHASE 2 - ESTIMATE COMPLETION 3RD QUARTER 2020

SITE PLANNING PLAN KEY:
 - INDICATES PHASE 1 - ESTIMATE COMPLETION 1ST QUARTER 2018
 - INDICATES PHASE 2 - ESTIMATE COMPLETION 3RD QUARTER 2020

PHASE 1 - ESTIMATE COMPLETION 1ST QUARTER 2018
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

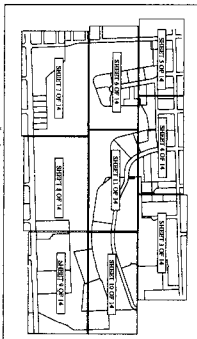
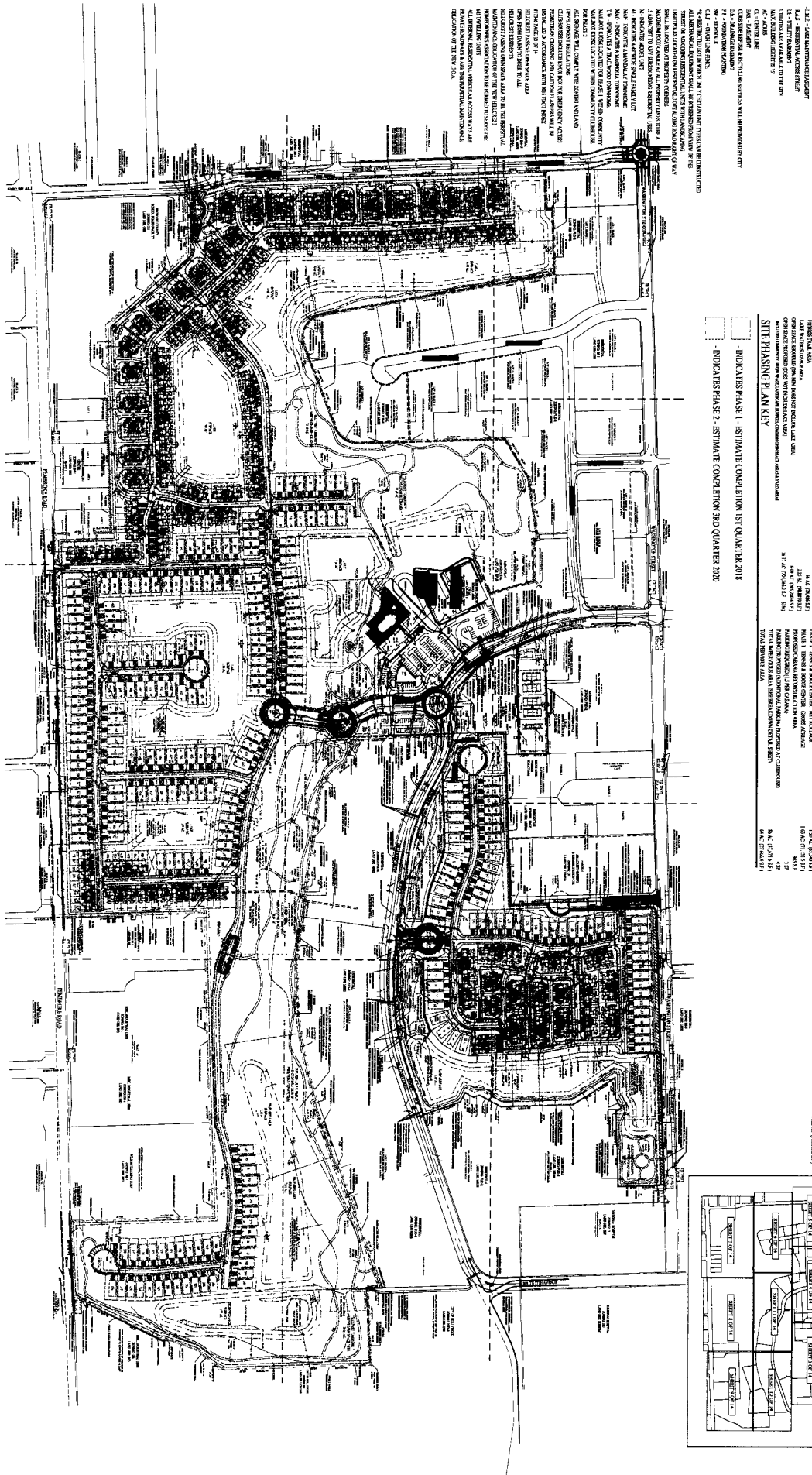
PHASE 2 - ESTIMATE COMPLETION 3RD QUARTER 2020
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

PHASE 1 - ESTIMATE COMPLETION 1ST QUARTER 2018
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

PHASE 2 - ESTIMATE COMPLETION 3RD QUARTER 2020
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

PHASE 1 - ESTIMATE COMPLETION 1ST QUARTER 2018
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
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PHASE 2 - ESTIMATE COMPLETION 3RD QUARTER 2020
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A. BUILDING CODE AND ALL APPLICABLE ORDINANCES.
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 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.



TOTAL SITE AREA - NET ACRES
 TOTAL SITE AREA - GROSS ACRES
 ZONING DESIGNATION
 LAND USE DESIGNATION
 EXISTING GOLF COURSE, OLDS HOLE PARCELS, A TOWN PARCELS, EXISTING LAND USE
 18 - HOLE GOLF COURSE EXISTING LAND USE
 18 - HOLE PROPOSED LAND USE
 OPEN SPACE AND
 DENSITY
 MAX ALLOWABLE DENSITY DEVELOPER AFFIDAVIT 0.05 ACRE PER ACRE
 EXISTING GOLF COURSE LAND RESTRICTION AREA
 18-HOLE GOLF COURSE PARCELS LAND AREA
 PITCH MAINTENANCE, RESERVES AND CONSERVATION (IMPERVIOUS AREA - 45%
 TOTAL IMPERVIOUS AREA PROPOSED GOLF BRAWKING (IN DETAIL) STATE
 TOTAL IMPERVIOUS AREA (SEE BREAKDOWN IN DETAIL) STATE
 PITCH MAINTENANCE, RESERVES AND CONSERVATION (IMPERVIOUS SURFACE AREAS)
 OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE WATER SURFACE AREAS)
 INCLUDE CONCRETE DRIVE PAVES, LAUNDRY, BATHS, CONCRETE DRIVE PAVES, LAUNDRY, BATHS, TUBS
 MAXIMUM BUILDING HEIGHT
 MAXIMUM BUILDING HEIGHT

30 P

APPROXIMATE LOCATION
OF EXISTING SPEED TABLE

BEVERLY HILLS
(PLAT BOOK 62, PAGE 19, B.C.R.)

RIGHT-OF-WAY WIDTH VARIES
(PLAT BOOK 60, PAGE 29, B.C.R.)

[PLAT BOOK 62, PAGE 19, B C R 1
(PLAT BOOK 1), PAGE 16, B C R 3
(PLAT BOOK 25, PAGE 29, B C R 3
(C R B) 29137, PAGE 1423, B C R 3
(C R B) 30360, PAGE 1823, B C R 3]

Diagram illustrating the approximate location of the 20' Buffer Area within the 30' PUD Setback. The diagram shows a horizontal line representing the 30' PUD Setback, with a vertical line indicating the 20' Buffer Area within it.

OF EXISTING SPEED TABLE

**RESIDENTIAL
ZONING: RS-5
LAND USE: LRES**

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COUNTY ENGINEER ON THE
TERRACE IN WHOLE OR
IN PART ELECTRONICALLY
PROCESSED WITHOUT

[illegible]

This architectural drawing shows a plan view of a building section. It includes various rooms and corridors with their respective dimensions:

- Top Left Room:** Dimensions are 16' x 5'. A label "A." is positioned above it.
- Top Center Corridor:** Labeled "WALK WY".
- Top Right Room:** Dimensions are 8'0" x 10'0".
- Middle Left Room:** Dimensions are 10' x 5'.
- Middle Center Corridor:** Labeled "WALK WY".
- Middle Right Room:** Dimensions are 8'0" x 10'0".
- Bottom Left Room:** Dimensions are 10' x 5'.
- Bottom Center Corridor:** Labeled "WALK WY".
- Bottom Right Room:** Dimensions are 8'0" x 10'0".

The drawing uses solid black areas to represent walls and double lines for doors and windows. The overall layout suggests a symmetrical or balanced floor plan design.

[illegible][illegible]

LOT 5, BLOCK 1
HILLWOOD SECTION ONE
(PLAT BOOK 60, PAGE 29, B.C.R.)

LAKE
SURFACE
448 AC

8' ASPHALT FITNESS TRAIL (TYP)

SUNSHINE

GATED ACCESS FOR HILLCREST CONDO RESIDENTS (TYP)

LOT 6, BLOCK 4
HILLWOOD SECTION TWO
(PLAT BOOK 64, PAGE 27, S.H.C.)

20' LME

10' BUFFER

10' SLOPE

LAKE SURFACE
4.48 AC.

BENCH

F ASPHALT DRIVE

GATED ACCESS FOR HILLCREST COND.

TRASH CAN

RESIDENTS (TYPE)

10' BUFFER

W/ ALUMINUM FENCE

CENTERED W/ BUFFER

PHASE 2

BENCH

139.9	PHASE 2 - 14 - 1/2 AC DRY CROCKED PASTURE - NOT ADEQUATE	12,094.9 (57,700.0)
140.0	PHASE 2 - 14 - 1/2 AC DRY CROCKED PASTURE - CROCKED ADEQUATE	18,064.9 (57,700.0)
141.0	TOTAL NUMBER OF UNITS	494 (3.0)
142.0	TOTAL SINGLE FAMILY	388 (2.4)
143.0	TOTAL SINGLE FAMILY (W/ 1/2 PLOT)	106 (0.7)
144.0	TOTAL SINGLE FAMILY (W/ 1/4 PLOT)	106 (0.7)
145.0	TOTAL TWO FAMILY	206 (1.3)
146.0	TOTAL TWO FAMILY (W/ 1/2 PLOT) TOWNHOMES	206 (1.3)
147.0	TOTAL TOWNHOMES	18 (0.1)
148.0	TAIL WOOD TOWNHOMES	7 (0.0)
149.0	MARSHALL TOWNHOMES	11 (0.1)
150.0	LAND AREA PERMITTED	3.0 (20.0)
151.0	LAND AREA DEVELOPED	3.0 (20.0)
152.0	RELOCATED EXISTING COMMUNITY PARKING - PROVIDENCE AREA	21.72 (AC) (2,331.7)
153.0	RELOCATED EXISTING COMMUNITY PARKING - PROVIDENCE AREA	11.84 (AC) (2,331.7)
154.0	TOTAL TRAVEL AREA (AC) (BRAKEDOWN TOTAL TRIP)	15.84 (AC) (2,331.7)
155.0	PERCENTAGE OF TRAVEL AREA (AC) (BRAKEDOWN TOTAL TRIP)	15.84 (AC) (2,331.7)
156.0	TOTAL TRAVEL AREA (AC) (BRAKEDOWN TOTAL TRIP)	15.84 (AC) (2,331.7)
157.0	PERCENTAGE OF TRAVEL AREA (AC) (BRAKEDOWN TOTAL TRIP)	15.84 (AC) (2,331.7)
158.0	INTERNAL WALKWAY FOOTCUT AREA (AC) (EXCLUDED DEVELOPMENT & WALKS)	0.22 (AC) (0.0002)
159.0	INTERNAL WALKWAY AREA	0.22 (AC) (0.0002)
160.0	INTERNAL WALKWAY AREA	0.22 (AC) (0.0002)

150 AC (7) 100 x 10' 1/2
150 AC (6) 100 x 12'
150 AC (7) 100 x 12'
150 AC (7) 100 x 12'
150 AC (7) 100 x 12'
150 AC (7) 100 x 12'
150 AC (7) 100 x 12'
150 AC (7) 100 x 12'

[illegible][illegible]

1. I HEREBY AGREE TO THE CITY OF
 2. MILWAUKEE, WISCONSIN
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**HILLCREST COMMUNITY
MASSIVE OPEN SPACE AREA**

27.18 AC.

F ASPHALT FITNESS TRAIL TYP

TOE OF BERM
FENCE & BUFFER CONTINUING
DOWN BERM

0' 50' 150'

20'

Diagram of a proposed asphalt fitness trail layout. The trail is 6' wide and 10' deep. It features a series of numbered boxes (24, 25, 26, 27) and a series of numbered circles (23, 22, 21, 20). The layout is labeled with dimensions and materials.

Architectural drawing of a building facade. The drawing shows a section of a building with a central entrance and two side wings. The central entrance has a small porch and is flanked by two wings. The left wing has a door labeled '28' and a window labeled '45'. The right wing has a door labeled '19' and a window labeled '45'. Below the central entrance, there is a large rectangular area labeled '8' WALK'. To the right of this area, there is a door labeled '18' and a window labeled '45'. A scale bar at the bottom indicates distances of 0', 60', 120', and 240'. The scale is labeled 'Scale 1" = 60'.

	REVIEWS	DATE
TAC COMMENTS-7-20-15	8-19-15	
TAC COMMENTS-9-03-15	10-30-15	
FINAL IAC	11-30-15	
LETTER COMMENTS-9-16-16	01-16-16	

**Design and Entitlement
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HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

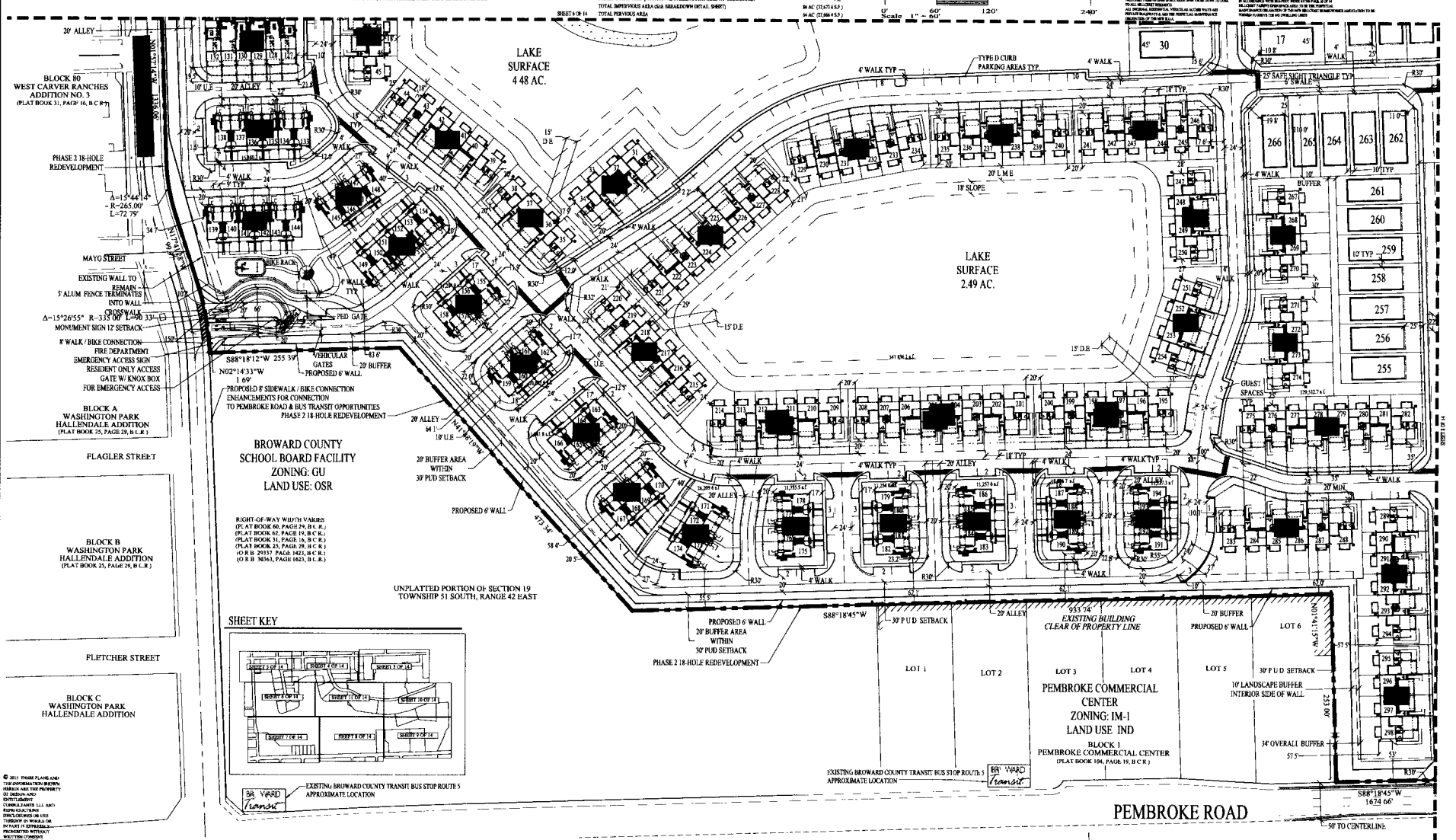
SITE PLAN	
SCALE	1"=60'
CHECKED BY	KDD
DRAWN BY	KDD
DATE	07/06/15
SHEET 1	
EFT	

SP.6
OF 14 SHEETS



NORTH

TOTAL STEEL
 TOTAL STR.
 ZONING DIST.
 LAND USE DIST.
 DEDUCTIVE
 11-HOUR
 12-HOUR
 TOTAL VOLUME
 DENSITY
 MAX ALLOW.
 TOTAL LOTS
 DEDUCTIVE
 (BASED ON)
 PUD & MAX
 TOTAL LOTS
 TOTAL IMPROV.
 TOTAL PAVED
 LOT/AC SPACE
 LOT/AC SPACE
 IMPROVING CUB
 HILL CREST
 MAXIMUM
 LEGEND
 WEST
 (PLAT)
 A

[illegible]

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HILLCREST COUNTRY CLUB REDEVELOPMENT

HILLCREST IG, LLC.

PULTE GROUP

4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

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DESIGN AND ENTITLEMENT CONSULTANTS, LLC.

2135 Belcrest Court
Royal Palm Beach, FL 33411
Tel: (561) 707-3410
Email: info@designandentitlement.com

SITE PLAN

SCALE: 1"=60'

CHECKED BY: K.D.D.

DRAWN BY: K.D.D.

DATE: 07.06.15

FILE: SP.1

SHEET

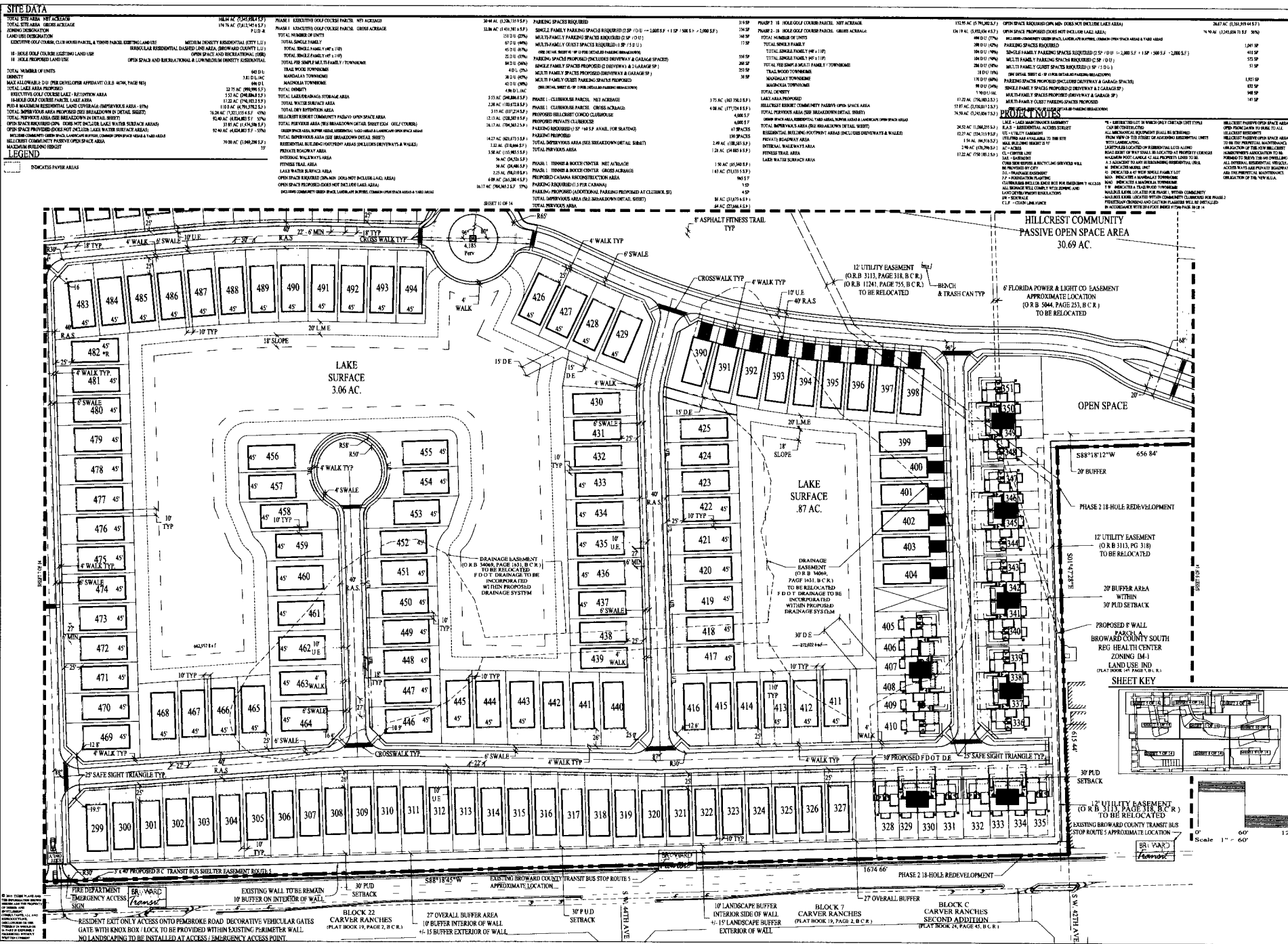
SP.7

7 OF 14 SHEETS

REVISIONS		DATE
NO.	DESCRIPTION	
1	TOTAL COMMENTS 7.30.15	7.30.15
2	TOTAL COMMENTS 7.30.15	7.30.15
3	FINAL SET	7.30.15
4	CITY COMMENTS	7.30.15

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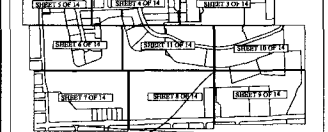
**HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021**



TOTAL SITE AREA: NE	
TOTAL SITE AREA: GR	
ZONING DESIGNATION:	
LAND USE DESIGNATION:	
EXECUTIVE GOLF COURSE	
18 HOLE GOLF COURSE	
11 HOLE PROPOSAL	

TOTAL NUMBER OF UNITS
DENSITY
MAX ALLOWABLE D.U. (PER DEVELOPER AFFIDAVIT) 0.33 47744, PAGE 105
TOTAL LAKE AREA PROPOSED
OBJECTIVE 4 CDS (SEE LAKE / RETENTION AREA
TABLE) 0.00 47744, PAGE 105
TOTAL MAXIMUM ESSENTIAL LAND COVERAGE (IMPervIOUS AREA - 45%
TOTAL IMPervIOUS AREA PROPOSED) (SEE BREAKDOWN IN DETAIL SHEET)
TOTAL IMPervIOUS AREA (SEE BREAKDOWN IN DETAIL SHEET)
OPEN SPACE REQUIRED (30% - DOES NOT INCLUDE LAKE / WATER SURFACE /
OPEN SPACE PROPOSED) (DOES NOT INCLUDE LAKE / WATER SURFACE AREA)
INCLUDES CROWDING INDEX, LAKE / WATER SURFACE, CROWDING INDEX AREA /
WELL-DESIGNED OPEN SPACE AREA
MAXIMUM BUILDING HEIGHT

五
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[illegible]

PRIVATE ROADWAY AREA
INTERNAL WALKWAYS AREA
FITNESS TRAIL AREA
LAKE WATER SURFACE AREA
OPEN SPACE REQUIRED (20% MIN. DOES NOT INCLUDE LAKE AREA)
OPEN SPACE PROVIDED (DOES NOT INCLUDE LAKE AREA)
INCLUDES COMMUNITY GROOM SPACE, LANDSCAPE MATINGS, COMBINATION SPACE, AND A YARD AREA

LEGEND

INSTR. ATTORNEY PAYER AREA

[illegible]

_____ TOTAL PRODUCT AREA

[illegible]

64 AC (27,000.43 V)

[illegible]

ALL OTHERS: RESIDENTIAL, COMMERCIAL, INDUSTRIAL, AND OTHER WASTE AND
HAZARDOUS WASTE AND THERMAL WASTE, HAZARDOUS WASTE, AND THERMAL WASTE

26.87 AC (1,343,919 sq. ft.)	74.58 AC (7,263,267 sq. ft.)	50%
1,861		
416.6		
372.9		
17.9		
1,977.9		
82.1		
146.8		
947.9		

YOU ARE REQUESTED TO RECEIVE THE

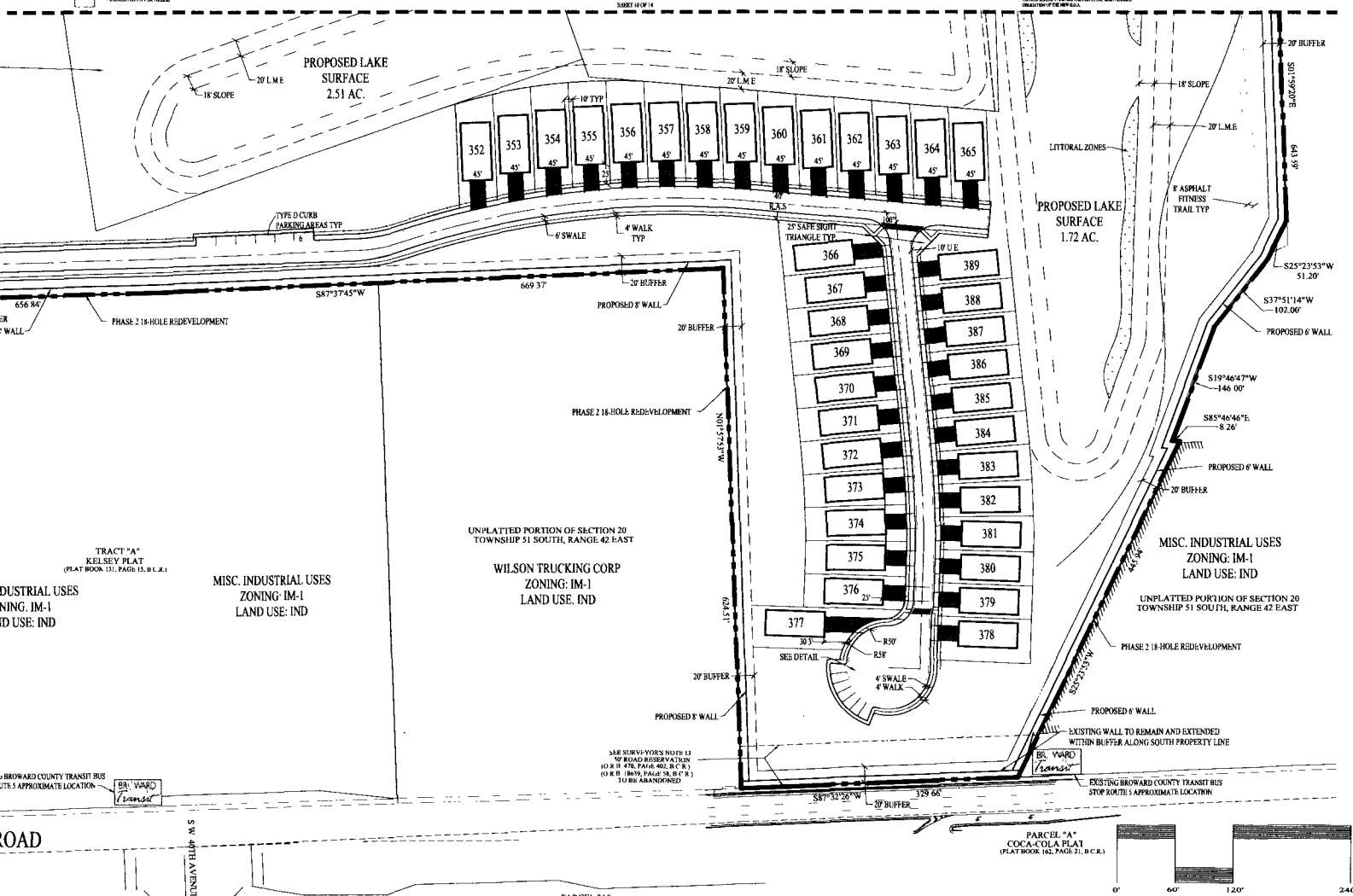
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HOLLYWOOD, FLORIDA 33021

SITE PLAN	
SCALE	1"=60'
CHECKED BY	K.D.D.
DRAWN BY	K.D.D.
DATE	07.06.15
FILE: SP 1	
SHEET	
SP.9	
9	OF 14 SHEETS



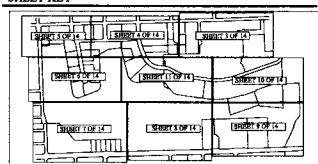
SITE DATA

TOTAL SITE AREA - NOT AVERAGE
TOTAL SITE AREA - ORIGINS AVERAGE
ZONING DESIGNATION
LAND USE DESIGNATION
EXISTING GOLF COURSE, CLUB HOUSE FACILITY, & TOWNHALL FACILITY, EXISTING LAND (BUTLER)

18 - HOLE GOLF COURSE EXISTING LAND USE
18 - HOLE PROPERTY LAND USE OPEN SPACE

TOTAL NUMBER OF LOTS
MAX. ALLOWABLE DENSITY PER DEVELOPER APPROVATY (0.2, 0.4, 0.6, 0.8, 1.0, 1.2, 1.4, 1.6, 1.8, 2.0, 2.2, 2.4, 2.6, 2.8, 3.0, 3.2, 3.4, 3.6, 3.8, 4.0, 4.2, 4.4, 4.6, 4.8, 5.0, 5.2, 5.4, 5.6, 5.8, 6.0, 6.2, 6.4, 6.6, 6.8, 7.0, 7.2, 7.4, 7.6, 7.8, 8.0, 8.2, 8.4, 8.6, 8.8, 9.0, 9.2, 9.4, 9.6, 9.8, 10.0, 10.2, 10.4, 10.6, 10.8, 11.0, 11.2, 11.4, 11.6, 11.8, 12.0, 12.2, 12.4, 12.6, 12.8, 13.0, 13.2, 13.4, 13.6, 13.8, 14.0, 14.2, 14.4, 14.6, 14.8, 15.0, 15.2, 15.4, 15.6, 15.8, 16.0, 16.2, 16.4, 16.6, 16.8, 17.0, 17.2, 17.4, 17.6, 17.8, 18.0, 18.2, 18.4, 18.6, 18.8, 19.0, 19.2, 19.4, 19.6, 19.8, 20.0, 20.2, 20.4, 20.6, 20.8, 21.0, 21.2, 21.4, 21.6, 21.8, 22.0, 22.2, 22.4, 22.6, 22.8, 23.0, 23.2, 23.4, 23.6, 23.8, 24.0, 24.2, 24.4, 24.6, 24.8, 25.0, 25.2, 25.4, 25.6, 25.8, 26.0, 26.2, 26.4, 26.6, 26.8, 27.0, 27.2, 27.4, 27.6, 27.8, 28.0, 28.2, 28.4, 28.6, 28.8, 29.0, 29.2, 29.4, 29.6, 29.8, 30.0, 30.2, 30.4, 30.6, 30.8, 31.0, 31.2, 31.4, 31.6, 31.8, 32.0, 32.2, 32.4, 32.6, 32.8, 33.0, 33.2, 33.4, 33.6, 33.8, 34.0, 34.2, 34.4, 34.6, 34.8, 35.0, 35.2, 35.4, 35.6, 35.8, 36.0, 36.2, 36.4, 36.6, 36.8, 37.0, 37.2, 37.4, 37.6, 37.8, 38.0, 38.2, 38.4, 38.6, 38.8, 39.0, 39.2, 39.4, 39.6, 39.8, 40.0, 40.2, 40.4, 40.6, 40.8, 41.0, 41.2, 41.4, 41.6, 41.8, 42.0, 42.2, 42.4, 42.6, 42.8, 43.0, 43.2, 43.4, 43.6, 43.8, 44.0, 44.2, 44.4, 44.6, 44.8, 45.0, 45.2, 45.4, 45.6, 45.8, 46.0, 46.2, 46.4, 46.6, 46.8, 47.0, 47.2, 47.4, 47.6, 47.8, 48.0, 48.2, 48.4, 48.6, 48.8, 49.0, 49.2, 49.4, 49.6, 49.8, 50.0, 50.2, 50.4, 50.6, 50.8, 51.0, 51.2, 51.4, 51.6, 51.8, 52.0, 52.2, 52.4, 52.6, 52.8, 53.0, 53.2, 53.4, 53.6, 53.8, 54.0, 54.2, 54.4, 54.6, 54.8, 55.0, 55.2, 55.4, 55.6, 55.8, 56.0, 56.2, 56.4, 56.6, 56.8, 57.0, 57.2, 57.4, 57.6, 57.8, 58.0, 58.2, 58.4, 58.6, 58.8, 59.0, 59.2, 59.4, 59.6, 59.8, 60.0, 60.2, 60.4, 60.6, 60.8, 61.0, 61.2, 61.4, 61.6, 61.8, 62.0, 62.2, 62.4, 62.6, 62.8, 63.0, 63.2, 63.4, 63.6, 63.8, 64.0, 64.2, 64.4, 64.6, 64.8, 65.0, 65.2, 65.4, 65.6, 65.8, 66.0, 66.2, 66.4, 66.6, 66.8, 67.0, 67.2, 67.4, 67.6, 67.8, 68.0, 68.2, 68.4, 68.6, 68.8, 69.0, 69.2, 69.4, 69.6, 69.8, 70.0, 70.2, 70.4, 70.6, 70.8, 71.0, 71.2, 71.4, 71.6, 71.8, 72.0, 72.2, 72.4, 72.6, 72.8, 73.0, 73.2, 73.4, 73.6, 73.8, 74.0, 74.2, 74.4, 74.6, 74.8, 75.0, 75.2, 75.4, 75.6, 75.8, 76.0, 76.2, 76.4, 76.6, 76.8, 77.0, 77.2, 77.4, 77.6, 77.8, 78.0, 78.2, 78.4, 78.6, 78.8, 79.0, 79.2, 79.4, 79.6, 79.8, 80.0, 80.2, 80.4, 80.6, 80.8, 81.0, 81.2, 81.4, 81.6, 81.8, 82.0, 82.2, 82.4, 82.6, 82.8, 83.0, 83.2, 83.4, 83.6, 83.8, 84.0, 84.2, 84.4, 84.6, 84.8, 85.0, 85.2, 85.4, 85.6, 85.8, 86.0, 86.2, 86.4, 86.6, 86.8, 87.0, 87.2, 87.4, 87.6, 87.8, 88.0, 88.2, 88.4, 88.6, 88.8, 89.0, 89.2, 89.4, 89.6, 89.8, 90.0, 90.2, 90.4, 90.6, 90.8, 91.0, 91.2, 91.4, 91.6, 91.8, 92.0, 92.2, 92.4, 92.6, 92.8, 93.0, 93.2, 93.4, 93.6, 93.8, 94.0, 94.2, 94.4, 94.6, 94.8, 95.0, 95.2, 95.4, 95.6, 95.8, 96.0, 96.2, 96.4, 96.6, 96.8, 97.0, 97.2, 97.4, 97.6, 97.8, 98.0, 98.2, 98.4, 98.6, 98.8, 99.0, 99.2, 99.4, 99.6, 99.8, 100.0, 100.2, 100.4, 100.6, 100.8, 101.0, 101.2, 101.4, 101.6, 101.8, 102.0, 102.2, 102.4, 102.6, 102.8, 103.0, 103.2, 103.4, 103.6, 103.8, 104.0, 104.2, 104.4, 104.6, 104.8, 105.0, 105.2, 105.4, 105.6, 105.8, 106.0, 106.2, 106.4, 106.6, 106.8, 107.0, 107.2, 107.4, 107.6, 107.8, 108.0, 108.2, 108.4, 108.6, 108.8, 109.0, 109.2, 109.4, 109.6, 109.8, 110.0, 110.2, 110.4, 110.6, 110.8, 111.0, 111.2, 111.4, 111.6, 111.8, 112.0, 112.2, 112.4, 112.6, 112.8, 113.0, 113.2, 113.4, 113.6, 113.8, 114.0, 114.2, 114.4, 114.6, 114.8, 115.0, 115.2, 115.4, 115.6, 115.8, 116.0, 116.2, 116.4, 116.6, 116.8, 117.0, 117.2, 117.4, 117.6, 117.8, 118.0, 118.2, 118.4, 118.6, 118.8, 119.0, 119.2, 119.4, 119.6, 119.8, 120.0, 120.2, 120.4, 120.6, 120.8, 121.0, 121.2, 121.4, 121.6, 121.8, 122.0, 122.2, 122.4, 122.6, 122.8, 123.0, 123.2, 123.4, 123.6, 123.8, 124.0, 124.2, 124.4, 124.6, 124.8, 125.0, 125.2, 125.4, 125.6, 125.8, 126.0, 126.2, 126.4, 126.6, 126.8, 127.0, 127.2, 127.4, 127.6, 127.8, 128.0, 128.2, 128.4, 128.6, 128.8, 129.0, 129.2, 1

SHEET KEY

[illegible]

36.84K (12.36) 10.5 F 1	PHASE 1 - CLOSURE PARCEL - NOT ACQUIRED
37.00K (12.36) 10.5 F 1	PHASE 1 - CLOSURE PARCEL - GROSS ACQUIRED
19.10K (2.70) 0.70 A	PROPOSED HILLCLARK TOWN CLOSURE
47.10K (4.00) 1.00 A	PROPOSED PRIVATE CLOSURE
21.10K (2.00) 0.50 A	PARKING - EXISTING 10' (14.52) PAVING, (SEE LISTING)
21.10K (2.00) 0.50 A	PARKING - PROPOSED
20.10K (2.00) 0.50 A	TOTAL IMPROVEMENT AREA (SEE ILLUSTRATION OF DETAIL SHEET)
4.00K (1.00) 0.10 A	TOTAL IMPROVEMENT AREA
PHASE 1 - TOWN'S 400' CENTER - NOT ACQUIRED	
47.10K (4.00) 1.00 A	PHASE 1 - TOWN'S 400' CENTER - GROSS ACQUIRED
15.9K (2.00) 0.50 A	PROPOSED CALHAN RECONSTRUCTION AREA
2.9K (0.15) 0.05 F 1	PARKING (EXISTING) - PG CALHAN
14.1K (1.02) 0.5 F 1	PARKING - PROPOSED (ADDITIONAL PARKING PROPOSED AT CLOSURE)
12.1K (0.50) 0.5 F 1	TOTAL IMPROVEMENT AREA (SEE ILLUSTRATION OF DETAIL SHEET)
16.1K (2.00) 0.50 F 1	TOTAL PHASE 1'S AREA
14.2K (0.15) 0.05 F 1	
12.0K (0.50) 0.50 F 1	
5.9K (0.15) 0.05 F 1	
2.9K (0.05) 0.05 F 1	
20.4K (2.00) 0.50 F 1	
12.1K (0.50) 0.50 F 1	
4.0K (0.15) 0.05 F 1	
16.1K (2.00) 0.50 F 1	
23.9K	
15.4K	
14.0K	
13.7K	
28.0K	
22.5K	
2.0K	
2.0K	

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12

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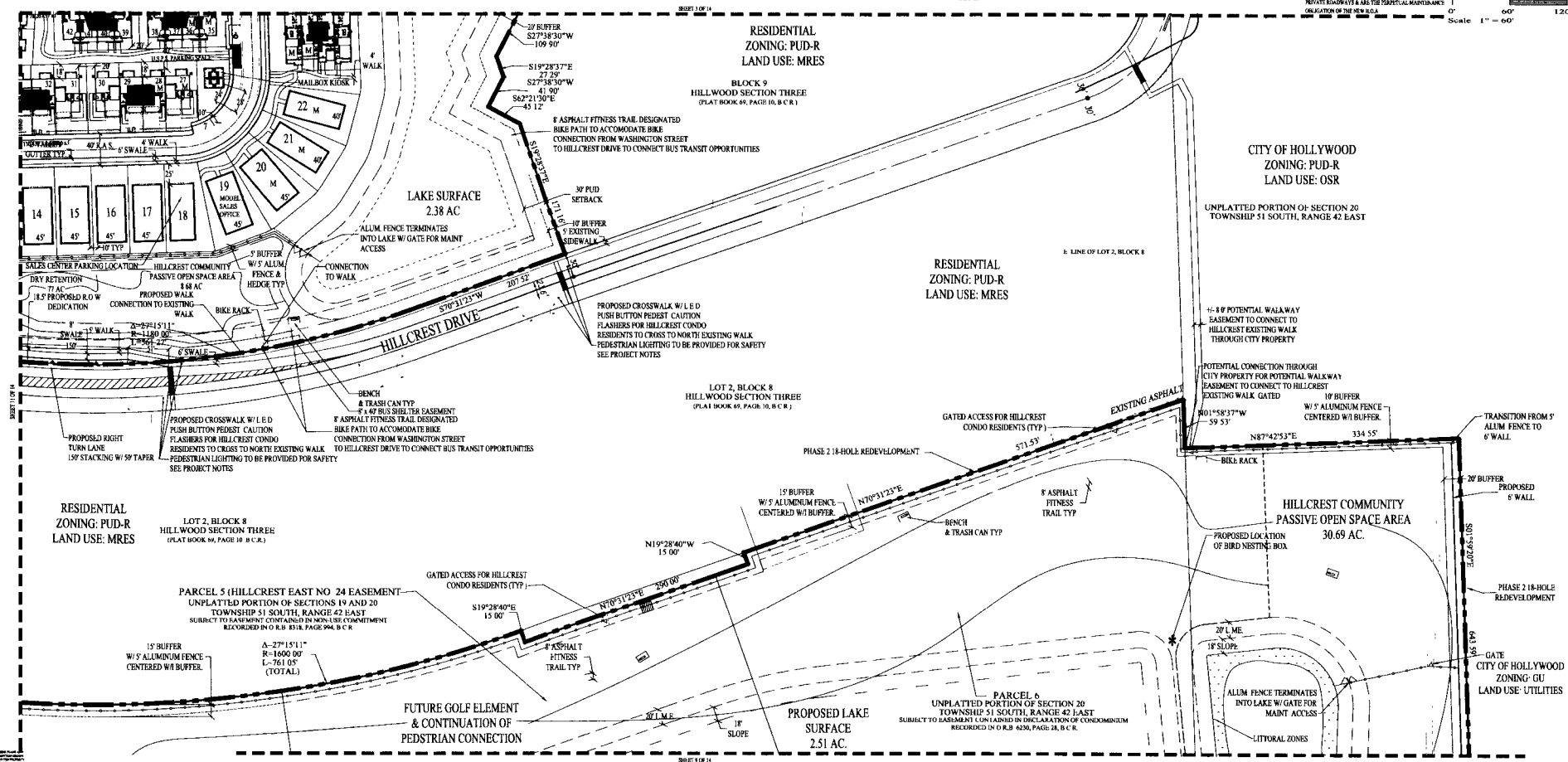
BY	REVISIONS	DATE
KEL	TAL COMMENTS 7.20.15	8/19/15
KEL	TAL COMMENTS 9.08.15	10.30.15
KEL	FINAL TAL	11.30.15
KEL	CITY COMMENTS/REVISIONS	07/16/16

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Email: info@designandentitlement.com

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CONSULTANTS, LLC**

HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

FILED CD	
SITE PLAN	
SCALE:	1"=60'
CHECKED BY	K.D.D
DRAWN BY	K.D.D
DATE:	07/06/15
FILE: SP 1	
SHEET SP.10	

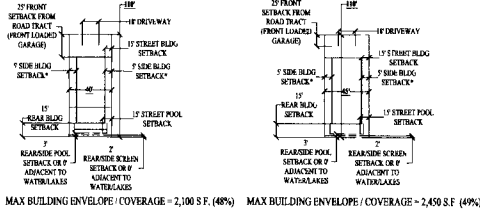


SINGLE FAMILY PROPERTY DEVELOPMENT REGULATION TABLE

SETBACK	PROPOSED
FRONT	25'
SIDE	5'
REAR	15'
SIDE STREET	15'
SITE TRIANGLE	10'
POOL SIDE	3' OR 0' ADJACENT TO WATER
POOL REAR	3' OR 0' ADJACENT TO WATER
SCREEN ENCLOSURE SIDE	2' OR 0' ADJACENT TO WATER
SCREEN ENCLOSURE REAR	2' OR 0' ADJACENT TO WATER

* NOTE: IF/UP FLEXIBLE REGULATION REQUEST TO ALLOW 5' SIDE SETBACKS WITH 2-STORY DWELLING UNITS

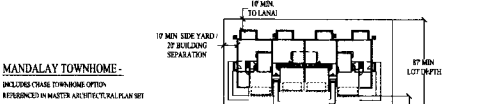
TYPICAL SINGLE FAMILY PROPERTY DEVELOPMENT REGULATION DETAIL



MANDALAY TOWNHOME PROPERTY DEVELOPMENT REGULATION TABLE

SETBACK	PROPOSED
FRONT	20' MIN DRIVEWAY DEPTH
SIDE	10' SIDE YARD / 20' MIN BLDG SEP
REAR	18' MIN / 10' TO LANAI
SITE TRIANGLE	10'

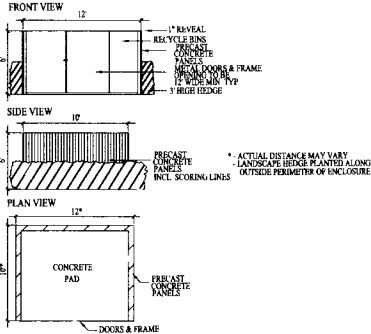
TYPICAL FEE SIMPLE TOWNHOME PROPERTY DEVELOPMENT REGULATION DETAIL



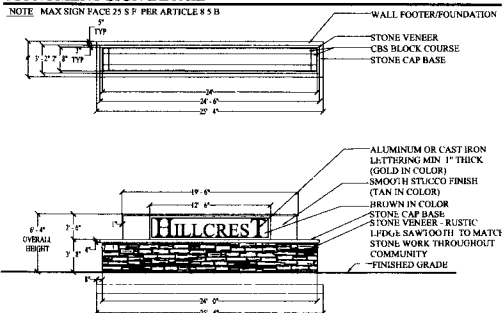
REAR LOADED TOWNHOME PROPERTY DEVELOPMENT REGULATION TABLE

SETBACK	PROPOSED
FRONT	10' / MIN
SIDE	10' SIDE YARD / 20' MIN BLDG SEP
REAR	20' MIN DRIVEWAY DEPTH
SITE TRIANGLE	10'

TYPICAL DUMPSTER DETAIL

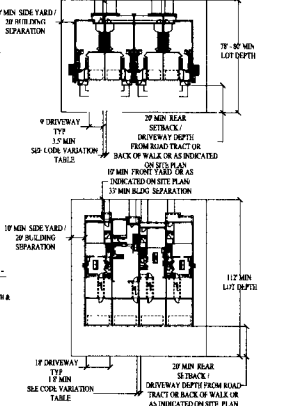


MONUMENT SIGN DETAIL



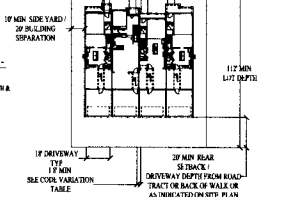
MAGNOLIA REAR LOADED TOWNHOME -

INCLUDES WOODEN DECK AND BATHING OPTION
REFERENCED IN MASTER ARCHITECTURAL PLAN SET

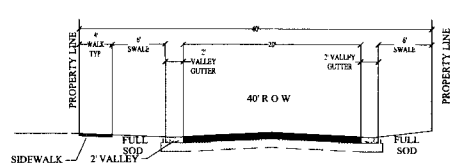


TRAILWOOD REAR LOADED TOWNHOME -

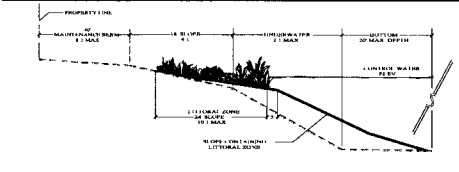
INCLUDES PORTAL, BELLEROSSE FLOORING REFERENCED BY
MASTER ARCHITECTURAL PLAN SET ALL LOTS ARE 1/4 ACRE WITH A
VARIATION BETWEEN APPLICATION IS IN THE BLOCKS AND



40' PRIVATE RESIDENTIAL ACCESS STREET (R.A.S.) CROSS SECTION

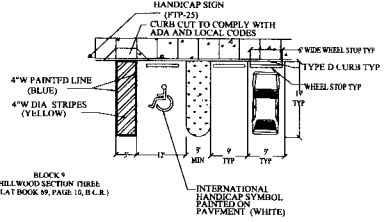


TYPICAL LAKE SECTION

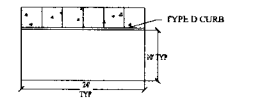


HANDICAP/PARKING DETAIL

NOTE: DESIGN TO CONFORM TO HOLLYWOOD, FLORIDA CODE SECTION ARTICLE 7.1
ALL DIMENSIONS AND NOTES ARE TYPICAL



PARALLEL PARKING DETAIL



SITE (168.64 AC) IMPERVIOUS CALCULATIONS

	PHASE 1 - 35.68 AC CONCRETE/PAVEMENT: 30.48 AC CONCRETE/PAVEMENT: 5.20 AC	PHASE 2 - 18-HOLE GOLF COURSE - 132.95 AC	SITE TOTAL
IMPERVIOUS IMPROVEMENT	LINEAR FOOTAGE	SQUARE FOOTAGE	TOTAL IMPERVIOUS
4' INTERNAL SIDEWALKS	5,624 L.F.	22,496 S.F.	22,496 S.F.
5' INTERNAL SIDEWALKS	1,798 L.F.	8,990 S.F.	8,990 S.F.
6' FITNESS TRAIL	4,081 L.F.	24,486 S.F.	24,486 S.F.
8' FITNESS TRAIL			
PRIVATE ROADWAYS	155,985 S.F.	155,985 S.F.	311,970 S.F.
LAKE WATER SURFACE AREA	99,010 S.F.	99,010 S.F.	198,020 S.F.
40' x 100' S.F. ENCL. DRIVEWAY	2,500 S.F.	40 D.U.	114,700 S.F.
45' x 100' S.F. ENCL. DRIVEWAY	3,000 S.F.	32 D.U.	63,800 S.F.
4' ENCL. DRIVEWAYS & WALKS	7,925 S.F.	8 BLDGS	63,400 S.F.
4' ENCL. DRIVEWAYS & WALKS	11,840 S.F.	1 BLDGS	11,840 S.F.
4' ENCL. DRIVEWAYS & WALKS	8,122 S.F.	1 BLDGS	8,122 S.F.
4' ENCL. DRIVEWAYS & WALKS	5,423 S.F.	3 BLDGS	16,269 S.F.
4' ENCL. DRIVEWAYS & WALKS	8,122 S.F.	5 BLDGS	40,610 S.F.
4' ENCL. DRIVEWAYS & WALKS	35,878 S.F.	2 BLDGS	35,878 S.F.
4' ENCL. DRIVEWAYS & WALKS	72,705 S.F.		72,705 S.F.
4' ENCL. DRIVEWAYS & WALKS	37,873 S.F.	2 BLDGS	37,873 S.F.
TOTAL	11,500 L.F.	80 D.U. BLDGS	774,890 S.F.
			32,516 L.F.
			20 D.U. BLDGS
			2,546,263 S.F.
			3,240,883 S.F.
			3,321,154 S.F.
			4,024,803 S.F.

* INCLUDES TURN LANE AT ENTRANCE OF EXECUTIVE GOLF COURSE PARCEL

CITY OF HOLLYWOOD MANDATORY GREEN BUILDING PRACTICES ORDINANCE

FOR 151 SINGLE FAMILY DWELLING NEW CONSTRUCTION SHALL INCLUDE A MINIMUM OF FIVE GREEN BUILDING PRACTICES

1. ENERGY STAR APPLIANCES WILL BE SPECIFIED WITHIN RESIDENTIAL HOMES
2. LOW FLOW SHOWER HEADS SHALL BE SPECIFIED WITHIN RESIDENTIAL HOMES
3. PROGRAMMABLE THERMOSTATS WILL BE SPECIFIED WITHIN RESIDENTIAL HOMES
4. ALL DRIVEWAYS WILL BE PAVER BLOCK, INTERLOCKED QUALITY AS PERVIOUS PAVEMENT
5. LANDSCAPING PROPOSED WITHIN THE PROTOTYPICAL LANDSCAPE PLANS FOR THE RESIDENTIAL LOTS WILL COMPLY WITH LIST PROVIDED BY S.F.W.M.D. RECOMMENDATION FOR NATIVE PLANT SPECIES
6. RE-USE IRRIGATION IS PROPOSED TO BE UTILIZED FOR ALL PASSIVE OPEN SPACE AREAS, COMMON AREAS AND RESIDENTIAL LOTS
7. BICYCLE STORAGE PROVIDED IN SEVERAL KEY LOCATIONS FOR MULTI-MODAL TRANSPORTATION OPPORTUNITIES
8. ELECTRIC VEHICLE CHARGING STATION PROVIDED AT CENTRALLY LOCATED PRIMARY RECREATION AMENITY FACILITY TO ADDRESS CITY OF HOLLYWOOD GREEN BUILDING ELECTRIC VEHICLE CHARGING ORDINANCE

REV	REVISIONS	DATE
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

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Email: info@designandentitlement.com

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CONSULTANTS, LLC.

HILLCREST COUNTRY CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

DETAILS / REGULATING PLAN

SCALE: N.T.S.
CHECKED BY: K.D.D.
DRAWN BY: K.D.D.
DATE: 7.6.15
FILE: SP1
SHEET: DET.1/SP.12
12 OF 14 SHEETS

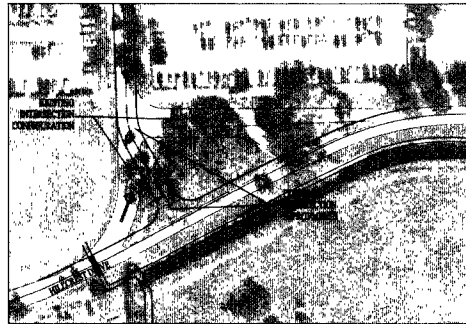


HOLLYWOOD CODE DEVIATION/MODIFICATION REQUEST TABLE

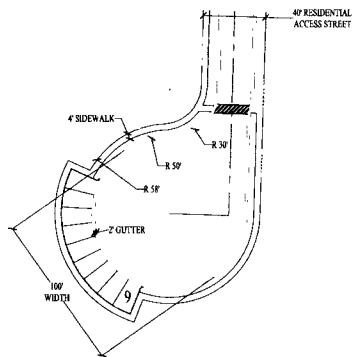
CITY CODE SECTION	CODE REQUIREMENT	CODE DEVIATION REQUEST	NOTES
ART 41 C	5' MIN SIDE YARD SETBACK	7' MIN SIDE YARD SETBACK	1/2 MIN BUILDING SEPARATION SEE PLAN ALTERNATE FOR DEVELOPMENT
ART 71 B2b & ART 71 C	1-STORY RES. BUILDINGS 24' AISLE WIDTH MIN FOR HEAD IN / BACK OUT PARKING	2-STORY RES. BUILDINGS 4' REDUCTION TO 20' ALLEY WIDTH REAR LOADED GARAGES	CODE DEVIATION REQUEST IF ONLY FOR REAR LOADED GARAGES ACCESS BY ALLEY
ART 71 C2c	6' MIN DRIVEWAY SPACING	1' 8" MIN.	TRAILWOOD DRIVEWAY AND SPACING BETWEEN TOWNHOMES ONLY
ART 85 B1	1 MONUMENT SIGN PER NEIGHBORHOOD ENTRANCE	2 MAX MONUMENT SIGNS PER ENTRANCE	SEE PLAN ALTERNATE FOR DEVELOPMENT 12' HEIGHT MAX FOR COMMUNITY IDENTIFIER
ART 85 B2	MAXIMUM SIGN HEIGHT OF 6'		TO ALLOW FOR GATEWAY LIGHTING OPPER AT KEY LOCATIONS AS INDICATED ON SITE PLAN

SOUTH 37TH AVENUE & HILLCREST DRIVE PROPOSED IMPROVEMENTS DETAIL

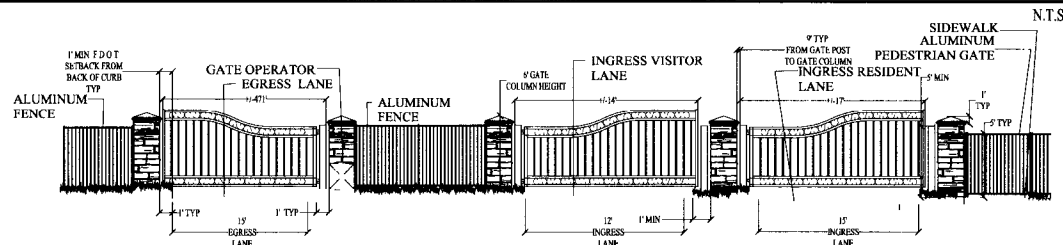
* SEE CONSTRUCTION PLANS FOR DETAILS



CUL DE SAC DETAIL

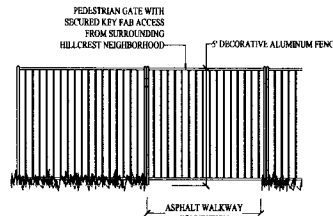


ENTRANCE GATE DETAIL



DECORATIVE ALUMINUM FENCE DETAIL

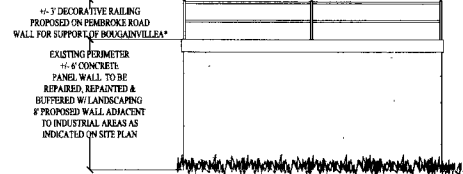
N.T.S.



PERIMETER WALL DETAILS

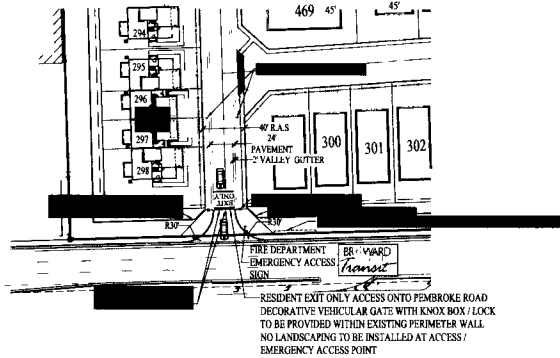
* SEE LANDSCAPE PLANS FOR DETAILS ON BUFFER PLANTING DESIGN

N.T.S.



PEMBROKE ROAD EXIT ONLY ACCESS DETAIL

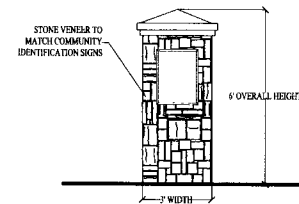
N.T.S.



PEDESTRIAN SCALE COMMUNITY IDENTIFIER

LOCATED ALONG ENTRANCES OR AT KEY INTERSECTIONS WITHIN COMMUNITY

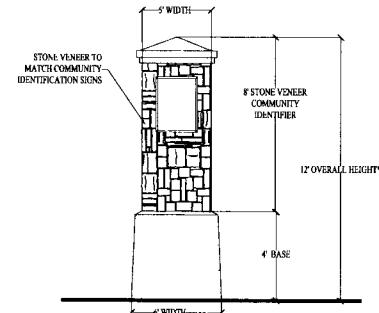
N.T.S.



LARGER SCALE COMMUNITY IDENTIFIER

LOCATED WITHIN ROUNDABOUT ISLANDS IN KEY LOCATIONS
* SEE CODE VARIATION TABLE FOR MAXIMUM HEIGHT DEVIATION

N.T.S.



PARKING CALCULATIONS - ARTICLE 72

SINGLE FAMILY PARKING CALCULATIONS - ARTICLE 72

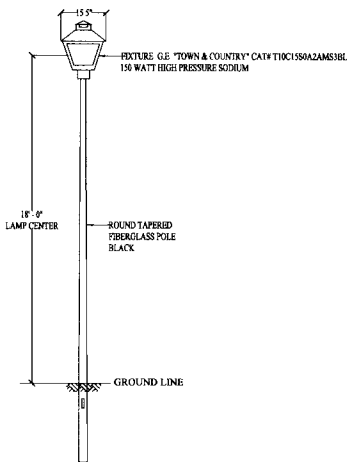
UNIT TYPE	TOTAL S.F. / A.C.	NO. BEDROOMS	PARKING REQUIRED	PARKING PROPOSED
BOARDWALK	2,670 S.F.	4	3 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
DRIFTWOOD	2,445 S.F.	3	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
FIFTH AVENUE	2,523 S.F.	3	3 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
ORLEANS	1,825 S.F.	3	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
PARK PLACE	2,802 S.F.	4	3 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
SEAMIST	2,143 S.F.	3	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
STARBOARD	1,821 S.F.	3	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
TROPIC	1,565 S.F.	3	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
WOODWARD	2,999 S.F.	4	3 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES

TOWNHOME PARKING CALCULATIONS - ARTICLE 72

UNIT TYPE	NO. OF GARAGE SP.	NO. DRIVEWAY SPACES	PARKING REQUIRED	PARKING PROPOSED
MANDALAY T.H.	2 SP.	2 SP.	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
MAGNOLIA	1 SP.	1 SP.	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES
TRAILWOOD	2 SP.	2 SP.	2 SP.	(1) CAR GARAGE + 1 DRIVEWAY SPACES

INTERNAL VEHICULAR ACCESSWAYS STREET LIGHT DETAIL - F.P.L. STANDARD TOWN & COUNTRY LIGHT

N.T.S.



REV.	REVISIONS	DATE
1	REVISIONS	1/15/15
2	REVISIONS	1/15/15
3	REVISIONS	1/15/15
4	REVISIONS	1/15/15
5	REVISIONS	1/15/15
6	REVISIONS	1/15/15
7	REVISIONS	1/15/15
8	REVISIONS	1/15/15
9	REVISIONS	1/15/15
10	REVISIONS	1/15/15

Design and Entitlement Consultants, LLC.
2135 Belcrest Court
Royal Palm Beach, FL 33411
Tel: (561) 707-3410
Email: info@designandentitlement.com

DESIGN AND ENTITLEMENT CONSULTANTS, LLC.

HILLCREST COUNTRY CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

DETAIL / REGULATING PLAN

SCALE	N.T.S.
CHECKED BY	K.D.D.
DRAWN BY	K.D.D.
DATE	7/6/15
FILE SP1	
SHEET	DET.2/SP.13
13 OF 14 SHEETS	



PEDESTRIAN / MULTIMODAL CONNECTION KEY

- INDICATES EXISTING PEDESTRIAN CONNECTIONS
- INDICATES PROPOSED PEDESTRIAN CONNECTIONS
- INDICATES PROPOSED 8' BIKE PATH / PEDESTRIAN CONNECTION TO TRANSIT OPPORTUNITIES
- INDICATES PROPOSED CONNECTION TO SURROUNDING COMMUNITY
- INDICATES PROPOSED CROSSWALK IMPROVEMENTS
- INDICATES EXISTING & PROPOSED (INTERNAL) TRAFFIC MITIGATION / SPEED TABLES
- INDICATES EXISTING BROWARD COUNTY BUS TRANSIT STOP
- INDICATES GENERAL DIRECTION (N W) TO HOLLYWOOD TRI-RAIL AMTRAK STATION



REV	REVISIONS	DATE
1	KDD TAC COMMENTS 7.20.15	8.15.15
2	KDD TAC COMMENTS 8.05.15	8.30.15
3	KDD FINAL TAC	9.1.15
4	KDD FINAL TAC COMMENTS	9.22.15
5	KDD CITY COMMAU/ISSUED	10.16.15

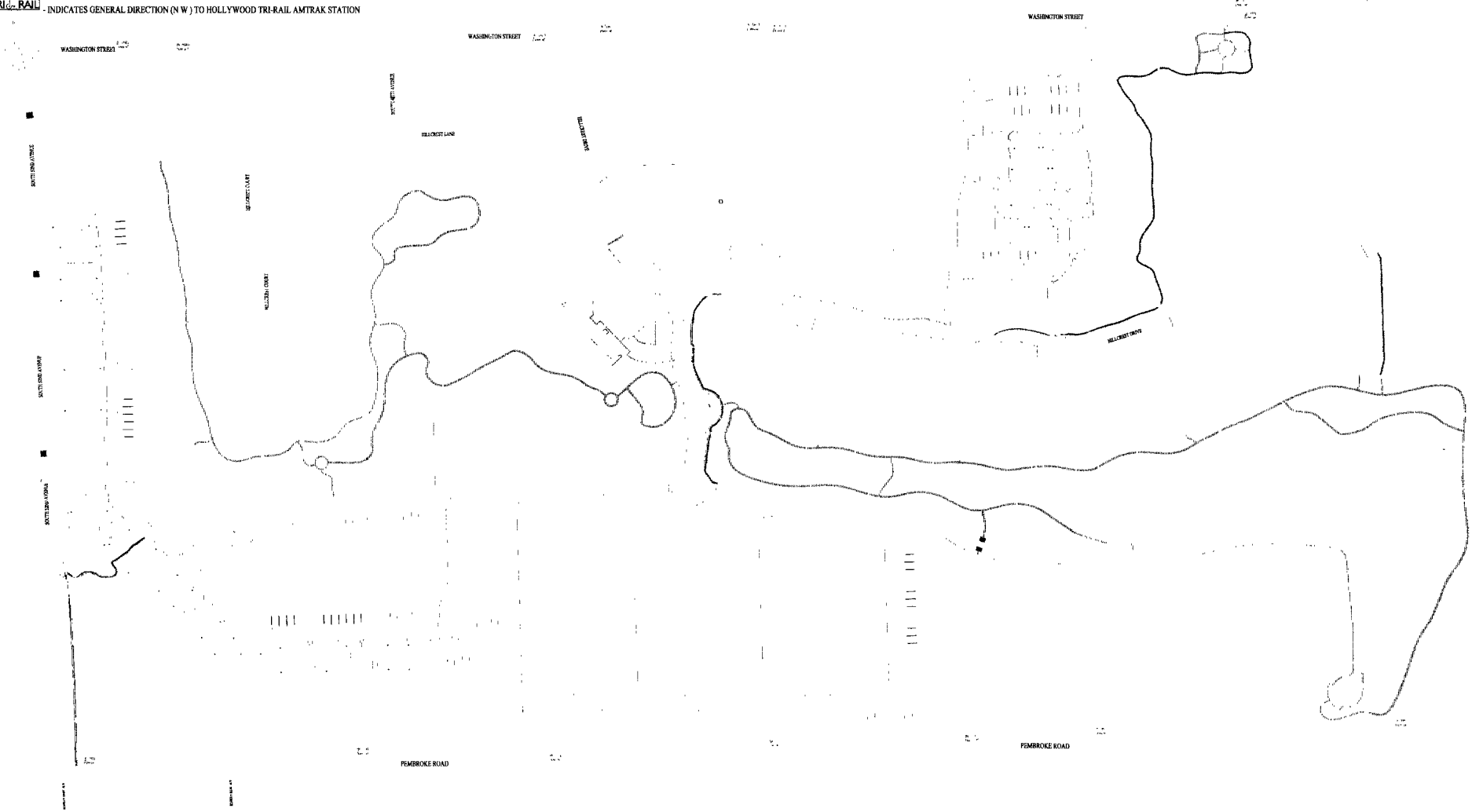
Design and Entitlement
Consultants, LLC.
2135 Belcrest Court
Royal Palm Beach, FL 33411
Tel: (561) 787-3410
Email: info@designandentitlement.com

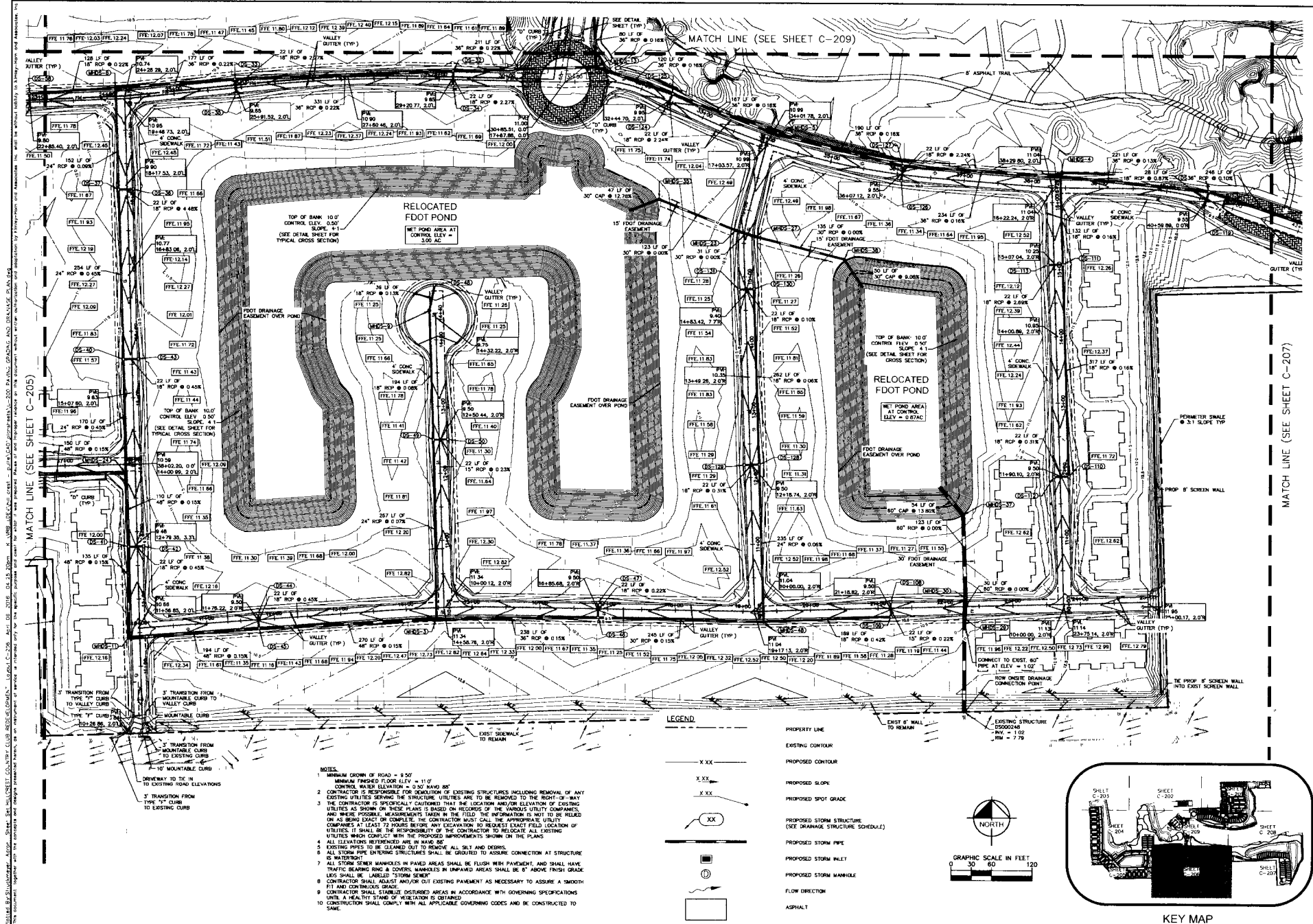


HILLCREST COUNTRY
CLUB REDEVELOPMENT
HILLCREST IG, LLC.
PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FLORIDA 33021

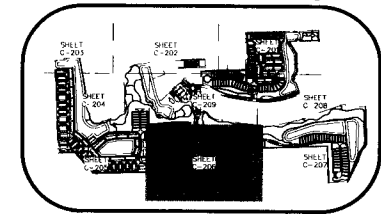
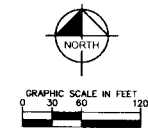
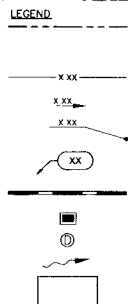
PEDESTRIAN / MULTIMODAL CONNECTIVITY PLAN

SCALE	NTS
CHECKED BY	K.D.D
DRAWN BY	K.D.D
DATE	7.6.15
FILL SP1	
SHEET	
DFT.3/SP.14	
14 OF 14 SHEETS	





- NOTES**
- MINIMUM CROWN OF ROAD = 4.50'
 - MINIMUM FINISHED FLOOR ELEV = 11.0'
 - CONTROL WATER ELEVATION = 0.50' HAVO 80'
 - CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING UTILITIES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 14 DAYS BEFORE ANY EXCAVATION OR REQUIRED EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL ELEVATIONS REFERENCED ARE IN NAVD 83.
 - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SLOTTED AND OTHER DEBRIS.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE & WATERPUMP.
 - ALL STORM GUTTER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & CONTROL MANHOLES IN UNPAVED AREAS SHALL BE 8" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.



MATCH LINE (SEE SHEET C-207)

Kimley»Horn 2015 KIMLEY-HORN AND ASSOCIATES, INC. 440 24TH STREET, SUITE 11, JERICHO, NY 11753-1515 PHONE: 772-774-4100 FAX: 772-774-4101 WWW.KIMLEY-HORN.COM		DATE 01/06/2016 PROJECT NO 047897016 SHEET NUMBER C-206
DESIGN ENGINEER KIM F. HISSANY ALIGNED UTILITY NUMBER 75461	SCALE AS SHOWN DRAWN BY J. HISSANY CHECKED BY J. HISSANY	DATE 01/06/2016 PROJECT NO 047897016 SHEET NUMBER C-206
PAVING GRADING AND DRAINAGE PLAN HILCREST COUNTRY CLUB REDEVELOPMENT 4800 HILLCREST DRIVE HOLLYWOOD, FL 33021		

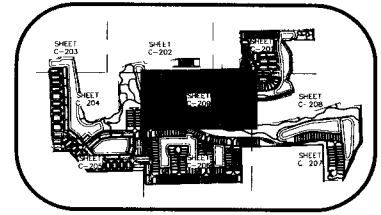
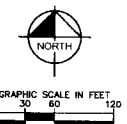
PLANNING, DESIGN, AND CONSTRUCTION, INC. 2016. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM PLANNING, DESIGN, AND CONSTRUCTION, INC.

LEGEND

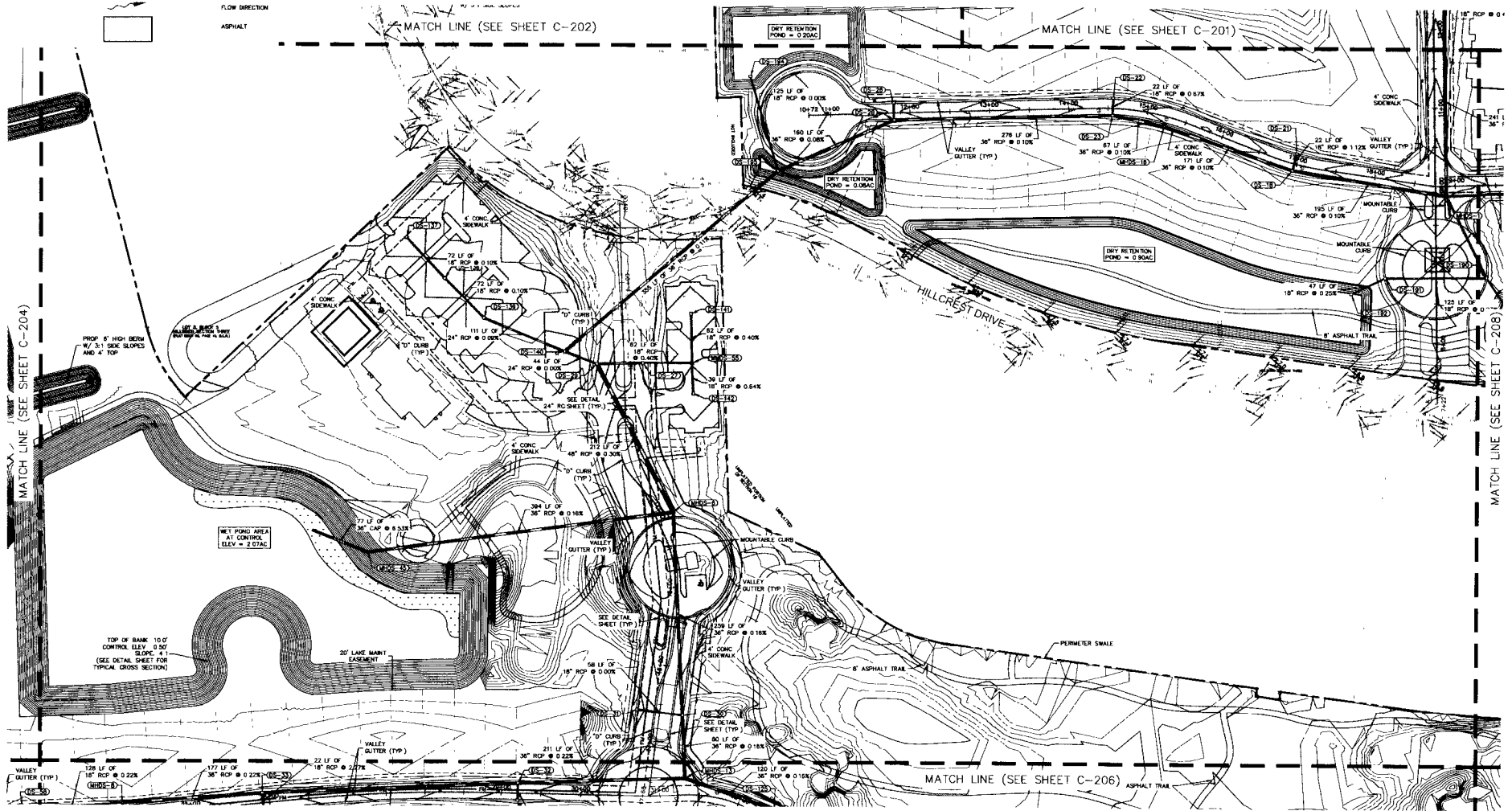
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SLOPE
- PROPOSED SPOT GRADE
- PROPOSED STORM STRUCTURE (SEE DRAINAGE STRUCTURE SCHEDULE)
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- FLOW DIRECTION
- ASPHALT

NOTES

1. MINIMUM CROWN OF ROAD = 8.50'
2. MINIMUM FINISHED FLOOR ELEV. = 11.0'
3. CONTROL WATER ELEVATION = 0.50' HIGHER THAN EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF EXISTING UTILITIES. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF EXISTING UTILITIES. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF EXISTING UTILITIES.
4. ALL ELEVATIONS REFERENCED ARE IN NAVD 83
5. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS
6. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE
7. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE
8. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE
10. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME



KEY MAP



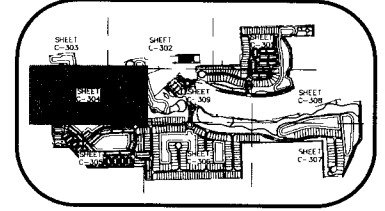
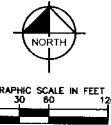
Kimley»Horn	
DESIGN PRINCIPAL	ALAN F. HORN
DESIGNED BY	ALAN F. HORN
DRAWN BY	ALAN F. HORN
CHECKED BY	ALAN F. HORN
DATE	01/06/2016
PROJECT NO.	04/18/1016
SHEET NUMBER	C-209
HILLCREST COUNTRY CLUB REDEVELOPMENT 4600 HILLCREST DRIVE HOLLYWOOD, FL 33021	
PAVING GRADING AND DRAINAGE PLAN	
DATE: 01/06/2016 PROJECT NO: 04/18/1016 SHEET NUMBER: C-209	

UTILITY LEGEND

- V — PROPOSED WATER LINE
- G — PROPOSED GATE VALVE
- F — PROPOSED FIRE HYDRANT
- D — PROPOSED SINGLE WATER SERVICE (1" LINE W/ 4" 90° ELBOW UNLESS OTHERWISE NOTED)
- B — PROPOSED DOUBLE WATER SERVICE (1" LINE W/ (2) 3/8" METERS UNLESS OTHERWISE NOTED)
- S — PROPOSED SINGLE SEWER SERVICE
- D — PROPOSED DOUBLE SEWER SERVICE
- S — PROPOSED SANITARY MANHOLE
- S — PROPOSED SANITARY SEWER
- (MS-XX) — SANITARY MANHOLE NUMBER
- E — PROPOSED WATER CAP
- T — PROPOSED TEE
- C — PROPOSED CROSS
- C — CITY OF HOLLYWOOD
- U — UTILITY CROSSING NUMBER (REFERENCE CROSSING PLAN)

NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY UTILITIES COMPANY, AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO VERIFY THAT THE LOCATION OF UTILITIES IS THAT OF THE CITY OF HOLLYWOOD.
- ALL UTILITIES ARE TO BE IN PLACE AND COMPLETE BEFORE INSTALLATION OF PROPOSED UTILITIES.
- IF ANY UTILITIES ARE FOUND TO BE IN PLACE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES.
- ALL UTILITIES SHALL BE 12" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS.
- ALL UTILITIES SHALL BE 12" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS.
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- ALL UTILITIES SHALL BE 12" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS.
- ALL UTILITIES SHALL BE 12" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS.



KEY MAP

MATCH LINE (SEE SHEET C-303)

STRUCTURE NAME	DETAILS
MS-1	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-2	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-3	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-4	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-5	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-6	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-7	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-8	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-9	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-10	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-11	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)
MS-37	10.15 8" PVC Ø 0.408 SV OUT: 8.10 (3)

MATCH LINE (SEE SHEET C-309)

UTILITY PLAN

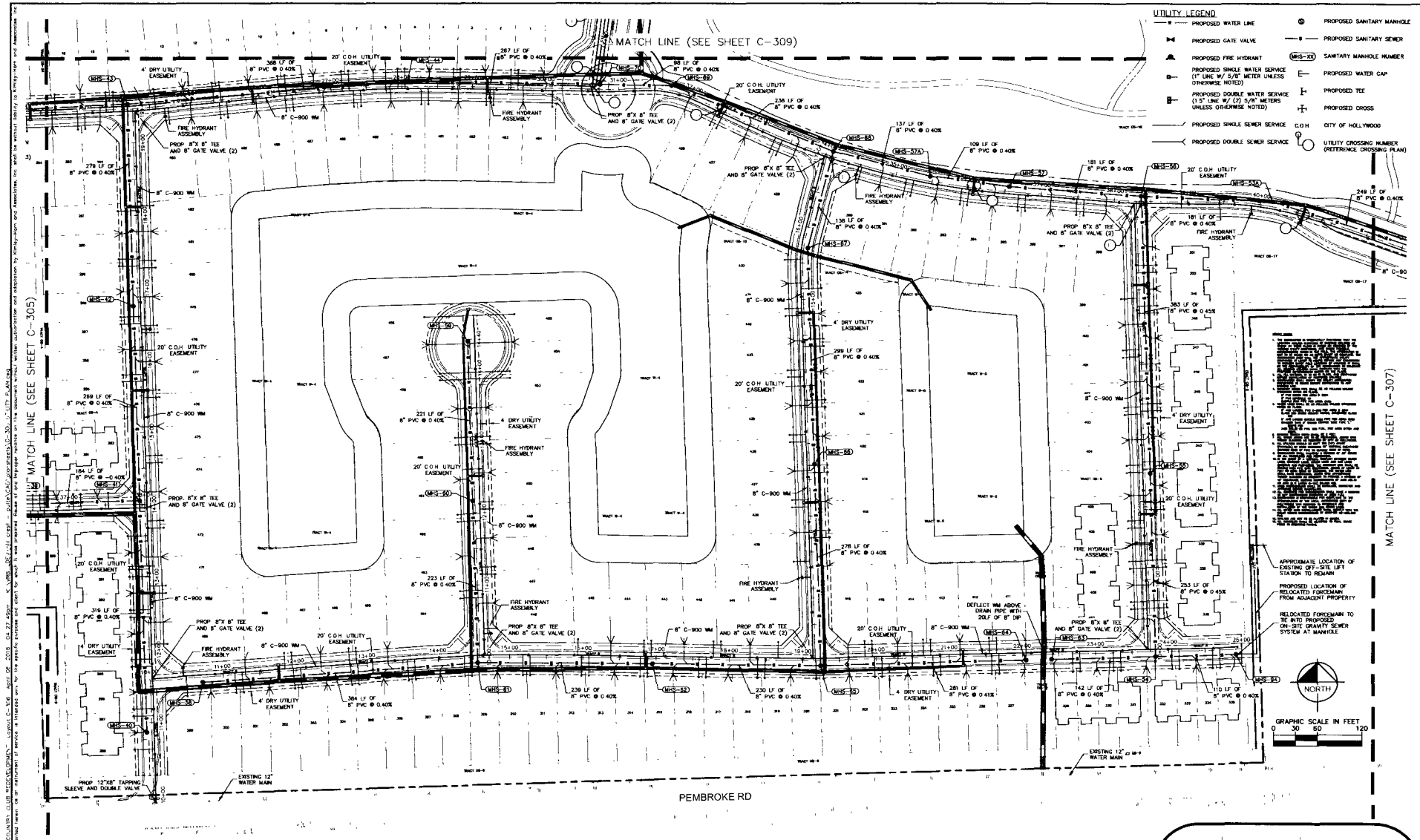
HILLCREST COUNTRY CLUB
REDEVELOPMENT
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021

DATE
01/05/2016
PROJECT NO
047897016
SHEET NUMBER
C-304

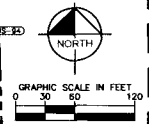
DESIGNER
KIMLEY-HORN
DESIGNED BY
KIMLEY-HORN
DRAWN BY
KIMLEY-HORN
CHECKED BY
KIMLEY-HORN
DATE
01/05/2016

Kimley-Horn
2015 KIMLEY-HORN AND ASSOCIATES, INC.
442 24th Street, Suite 100
Hollywood, FL 33021
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM
CA 00000686

REVISIONS
NO
DATE



- UTILITY LEGEND**
- PROPOSED WATER LINE
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SINGLE WATER SERVICE (1" LINE W/ 5/8" METER UNLESS OTHERWISE NOTED)
 - PROPOSED DOUBLE WATER SERVICE (1" LINE W/ (2) 5/8" METERS UNLESS OTHERWISE NOTED)
 - PROPOSED SINGLE SEWER SERVICE
 - PROPOSED DOUBLE SEWER SERVICE
 - PROPOSED SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE NUMBER
 - PROPOSED WATER CAP
 - PROPOSED TEE
 - PROPOSED CROSS
 - C.O.H. CITY OF HOLLYWOOD
 - UTILITY CROSSING MANHOLE (REFERENCE CROSSING PLAN)



STRUCTURE NAME	DETAILS
MIS-40	R/W: 8.83 R/W OUT: 8.80 (0)
MIS-41	R/W: 10.39 R/W IN: -5.83 (0) R/W OUT: 4.82 (0) R/W OUT: 4.82 (0)
MIS-42	R/W: 10.63 R/W IN: 3.56 (0) R/W OUT: 3.56 (0)

STRUCTURE NAME	DETAILS
MIS-43	DROP MANHOLE R/W: 10.61 R/W IN: -4.83 (0) R/W OUT: 3.33 (0) R/W OUT: -4.83 (0)
MIS-44	R/W: 10.46 R/W IN: -4.48 (0) R/W OUT: -4.58 (0)
MIS-53A	R/W: 9.73 R/W IN: -3.89 (0) R/W OUT: -3.89 (0)

STRUCTURE NAME	DETAILS
MIS-54	R/W: 11.08 R/W IN: 2.98 (0) R/W OUT: -4.83 (0) R/W OUT: 2.88 (0)
MIS-55	R/W: 9.78 R/W IN: 1.72 (0) R/W OUT: 1.82 (0)
MIS-56	DROP MANHOLE R/W: 10.80 R/W IN: -3.71 (0) R/W OUT: -3.10 (0) R/W OUT: -3.10 (0)

STRUCTURE NAME	DETAILS
MIS-57	R/W: 9.78 R/W IN: -4.83 (0) R/W OUT: -4.83 (0)
MIS-57A	R/W: 9.88 R/W IN: -5.07 (0) R/W OUT: -5.17 (0)
MIS-58	R/W: 10.08 R/W OUT: 5.80 (0)

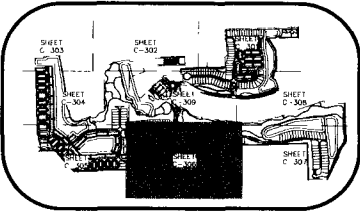
STRUCTURE NAME	DETAILS
MIS-59	R/W: 9.70 R/W OUT: 5.80 (0)
MIS-60	R/W: 9.80 R/W IN: 6.02 (0) R/W OUT: 4.92 (0)
MIS-61	R/W: 11.22 R/W IN: 4.30 (0) R/W IN: 4.30 (0) R/W OUT: 3.92 (0)

STRUCTURE NAME	DETAILS
MIS-62	R/W: 9.46 R/W IN: 2.87 (0) R/W OUT: 2.87 (0)
MIS-63	R/W: 10.18 R/W OUT: 3.53 (0)
MIS-64	R/W: 9.88 R/W OUT: 3.08 (0)

STRUCTURE NAME	DETAILS
MIS-65	DROP MANHOLE R/W: 10.89 R/W IN: 1.95 (0) R/W OUT: 1.85 (0)
MIS-66	R/W: 9.74 R/W IN: 0.74 (0) R/W OUT: 0.84 (0)
MIS-67	R/W: 10.04 R/W IN: -0.98 (0) R/W OUT: -0.98 (0)

STRUCTURE NAME	DETAILS
MIS-68	R/W: 10.85 R/W IN: -5.72 (0) R/W IN: -1.21 (0) R/W OUT: -5.82 (0)
MIS-69	R/W: 10.34 R/W IN: -4.77 (0) R/W OUT: -4.98 (0)
MIS-70	R/W: 10.80 R/W IN: -8.85 (0) R/W IN: -4.85 (0) R/W OUT: -8.72 (0)

STRUCTURE NAME	DETAILS
MIS-84	R/W: 11.80 R/W OUT: 3.74 (0)



KEY MAP

Kimley»Horn

445 PTH AVENUE, SUITE 200, FORT MYERS, FL 33901
WWW.KIMLEY-HORN.COM CA 0000088

DATE: 11/25/15

REVISIONS:

SCALE: ENGINEER: KIMLEY-HORN

DESIGNED BY: KIMLEY-HORN

DRAWN BY: KIMLEY-HORN

CHECKED BY: KIMLEY-HORN

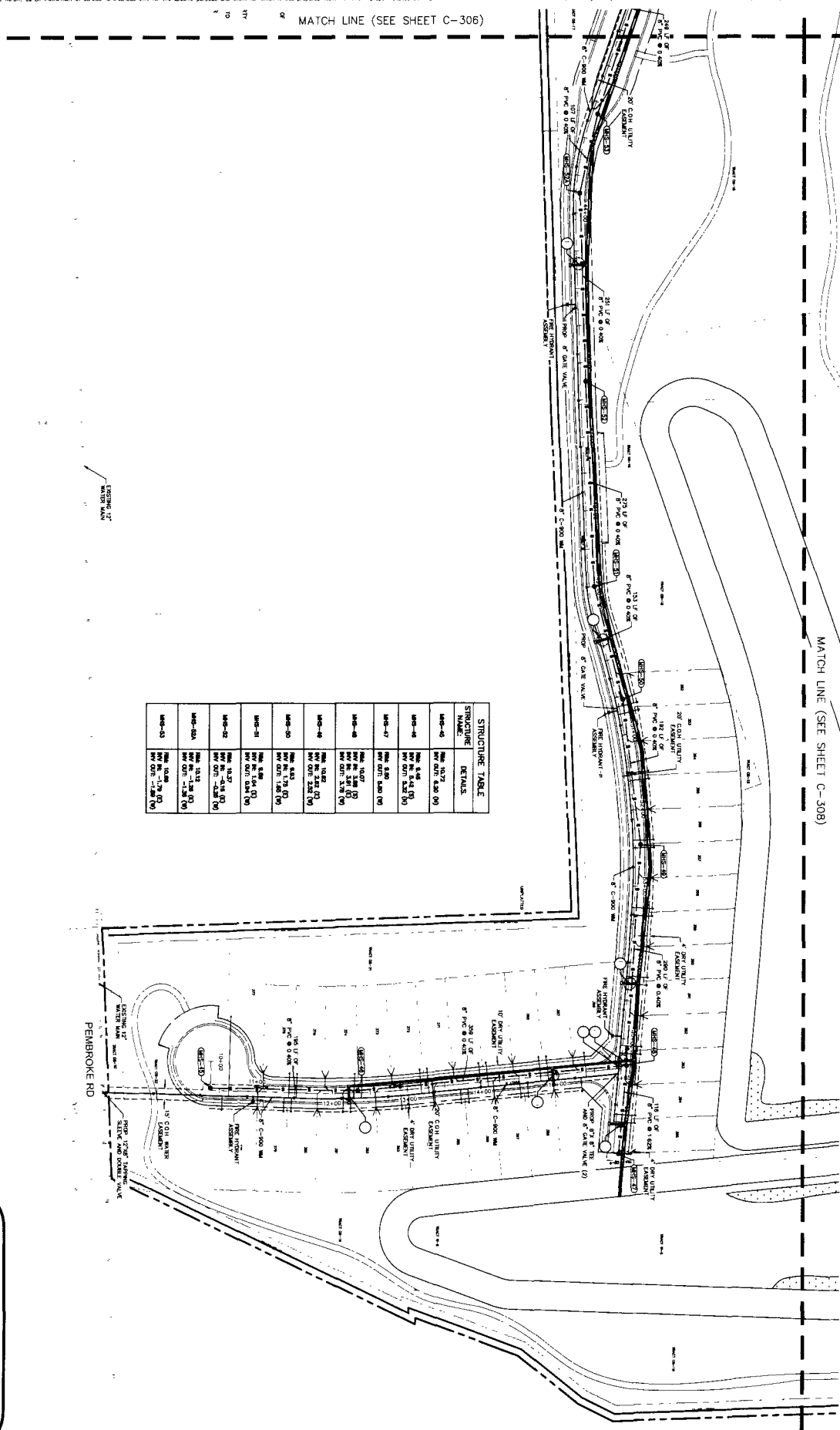
PROJECT NO: 047897016

SHEET NUMBER: C-306

UTILITY PLAN

HILLCREST COUNTRY CLUB
REDEVELOPMENT
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021

MATCH LINE (SEE SHEET C-306)



STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
MS-05	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-06	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-07	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-08	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-09	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-10	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-11	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-12	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-13	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-14	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)
MS-15	Sbs 5.00 PV DRT 5.00 (0) PV DRT 5.00 (0) PV DRT 5.00 (0)

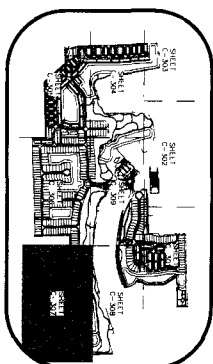
UTILITY LEGEND

- [illegible]

MATCH LINE (SEE SHEET C-308)

PEMBROKE RD

A graphic scale bar labeled "GRAPHIC SCALE IN FEET" with markings at 0, 30, 60, and 120. To the right of the scale is a north arrow pointing upwards, with the word "NORTH" written vertically inside the arrow's shaft.



KEY MAP

UTILITY PLAN

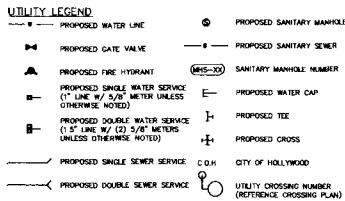
HILLCREST COUNTRY CLUB
REDEVELOPMENT
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021

SCALE
DESIGNED BY
DRAWN BY
CHECKED BY

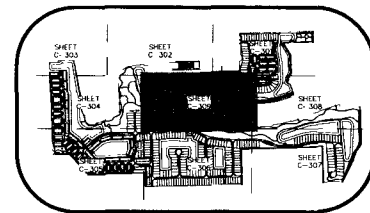
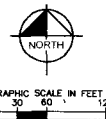
DESIGN ENGINEER
KINAN F HUSADNY
FLORIDA LICENSE NUMBER
75481
DATE

Kimley»Horn
© 2015 KIMLEY-HORN AND ASSOCIATES INC.
445 24TH STREET, SUITE 200 VERO BEACH, FL 32980
PHONE 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000000

[illegible]

**UTILITY MONITOR**

- [illegible]



KEY MAP

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
MHS-44	RBE: 10.49 INV BE: -8.48 (0) INV OUT: -8.58 (0)
MHS-66	RBE: 10.34 INV BE: -8.77 (0) INV OUT: -8.26 (1)
MHS-70	RBE: 10.80 INV BE: -8.90 (0) INV OUT: -8.75 (0)
MHS-88	DROP MANHOLE RBE: 11.31 INV BE: 0.87 (0) INV BE: -0.50 (0) INV OUT: -0.80 (1)
MHS-87	RBE: 10.22 INV BE: -1.38 (0) INV OUT: -1.48 (1)

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
MFIS-08	Risk: 10.81 INV RC: -2.31 (3) INV OUT: -2.41 (3)
MFIS-08A	Risk: 10.27 INV RC: -2.80 (3) INV OUT: -2.90 (3)
MFIS-09	Risk: 10.51 INV RC: -4.18 (3) INV OUT: -4.28 (3)
MFIS-90	Risk: 7.50 INV RC: -4.87 (3) INV OUT: -5.07 (3)
MFIS-91	Risk: 8.50 INV RC: -4.50 (3) INV OUT: -4.60 (3)

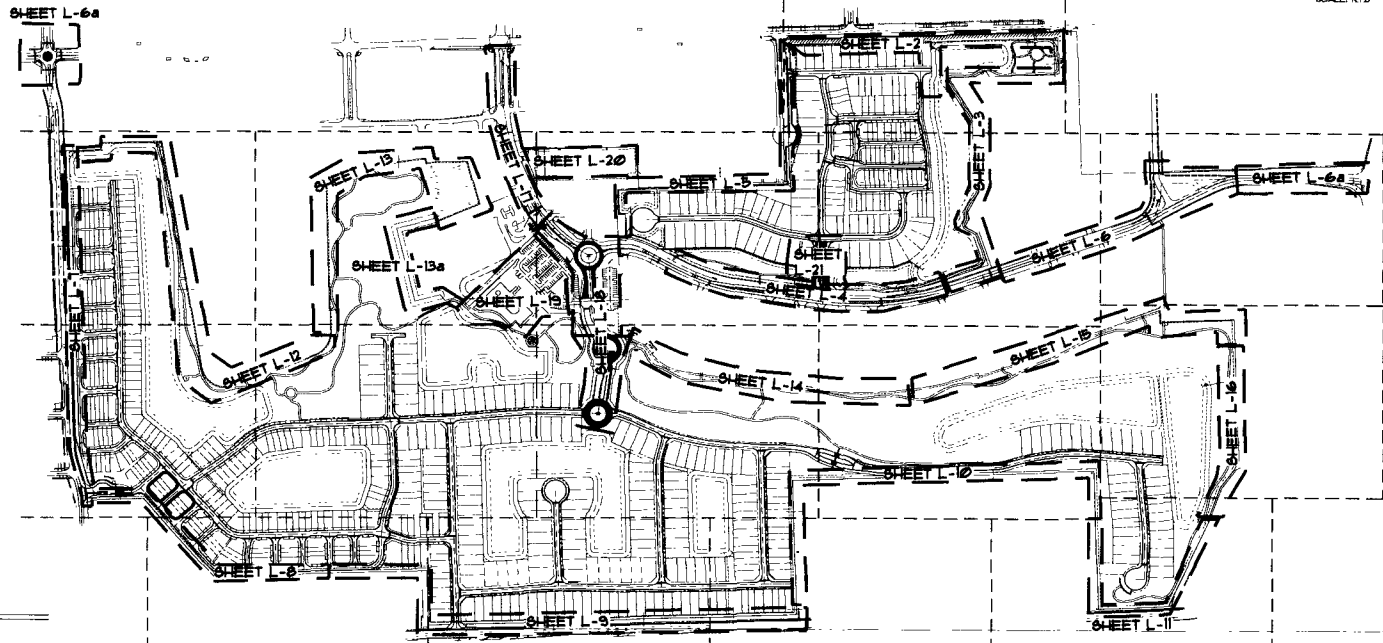
STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
MHS-02	RMR: 10.04 INV RM: -11.71 (5) INV BE: -7.14 (4) INV OUT: -10.82 (3)
MHS-03	RMR: 11.17 INV RM: -10.72 (5) INV OUT: -10.82 (3)
MHS002410	EXISTING MANHOLE RMR: 7.37 INV RM: -3.07 (5C) INV OUT: -3.80 (3)
MHS002415	EXISTING MANHOLE RMR: 7.08 INV RM: -4.43 (5) INV BE: -6.82 (3) INV OUT: -4.52 (4)

Planting Plans for:

SHEET KEY

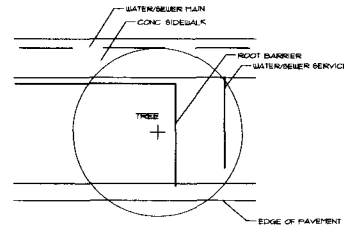
- Sheet L1 COVER SHEET
- Sheet L2 NORTH BUFFER PLANTING PLAN
- Sheet L3 EAST BUFFER PLANTING PLAN
- Sheet L4 HILLCREST DRIVE PLANTING PLAN
- Sheet L5 NORTH BUFFER PLANTING PLAN
- Sheet L6 OFF-SITE IMPROVEMENT PLANTING PLAN
- Sheet L6a OFF-SITE IMPROVEMENT PLANTING PLAN
- Sheet L7 WEST BUFFER PLANTING PLAN
- Sheet L8 SOUTH BUFFER PLANTING PLAN
- Sheet L9 SOUTH BUFFER PLANTING PLAN
- Sheet L10 SOUTH BUFFER PLANTING PLAN
- Sheet L11 SOUTH BUFFER PLANTING PLAN
- Sheet L12 NORTH BUFFER PLANTING PLAN
- Sheet L13 NORTH BUFFER PLANTING PLAN
- Sheet L13a NORTH BUFFER PLANTING PLAN
- Sheet L14 HILLCREST DRIVE BUFFER PLANTING PLAN
- Sheet L15 HILLCREST DRIVE BUFFER PLANTING PLAN
- Sheet L16 EAST BUFFER PLANTING PLAN
- Sheet L17 HILLCREST DR PLANTING PLAN
- Sheet L18 ENTRY PLANTING PLAN
- Sheet L19 REC CENTER PLANTING PLAN
- Sheet L20 TENNIS AND BOCCIE CENTER PLANTING PLAN
- Sheet L21 ENTRY PLANTING PLAN

**See Sheets L-22 to L-38 for Lake Edge and Open Space Planting Plans



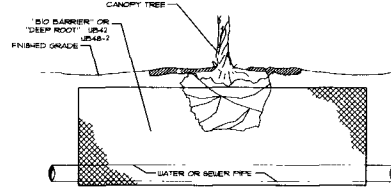
Notes:

- 1) SHADED AREAS (UTILITY EASEMENTS) TO REMAIN CLEAR OF TREES
- 2) TREES WITHIN SIGHT LINES TO HAVE 8' MIN. CLEARANCE TO BOTTOM OF CANOPY, BE A MIN. 16 FT. 4 IN. 40' ON CENTER (TYPICAL)
- 3) SHRUBS WITHIN SIGHT LINES TO BE PERPETUALLY MAINTAINED AT A MAXIMUM HEIGHT OF 30' FROM ADJACENT GROUND OF ROAD
- 4) BOTTOM OF TREE CANOPY SHALL HAVE 13'-6" CLEARANCE WHERE CANOPY OVERHANGS ROAD
- 5) ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NUMBER ONE OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY
- 6) ALL PLANT MATERIAL SHALL MEET SIZE AND CONTAINER SPECIFICATIONS IN PLANT LIST. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY ISSUES WITH OWNER PRIOR TO COMMENCING WORK.
- 7) ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED BY THE PALM BEACH COUNTY UNIFIED LAND DEVELOPMENT CODE
- 8) ALL PLANTING TO HAVE AN AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE 50% OVERLAP. A RAIN SENSOR SWITCH SHALL BE INSTALLED ON SYSTEMS WITH AUTOMATIC CONTROLLERS
- 9) INVASIVE SPECIES INCLUDING BRAZILIAN PEPPER, AUSTRALIAN PINE, MELALEUCA, AND EARLEAF ACACIA SHALL BE ERADICATED IN THE DEVELOPMENT AREA, AND REMOVED FROM THE SITE
- 10) LANDSCAPING SHALL BE KEPT FREE OF VISIBLE SIGNS OF INSECTS AND DISEASE AND APPROPRIATELY IRRIGATED AND FERTILIZED TO ENABLE LANDSCAPING TO BE IN HEALTHY CONDITION
- 11) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THERE ARE NO CONFLICTS WITH ABOVE OR BELOW GROUND UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY OWNER IF CONFLICTS EXIST
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- 13) ALL LANDSCAPING SHALL BE KEPT IN A HEALTHY GROWING CONDITION AT ALL TIMES
- 14) TREES SHOWN ON THESE PLANS ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN HEREON. ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCROACH INTO A UTILITY EASEMENT AND ONLY SOIF CAN BE INSTALLED WITHIN 15' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL
- 15) HILLCREST HOA AND ITS SUCCESSORS AND ASSIGNS SHALL ENSURE THAT REGULAR MAINTENANCE IS PERFORMED ON ALL ROYAL PALMS AND COCONUT PALMS AS SHOWN HEREIN TO A LEVEL THAT SIGNIFICANTLY REDUCES THE LIKELIHOOD OF ANY INDIVIDUAL OR COLLECTIVE PARTY(IES) WHICH MAY CAUSE INJURY OR DAMAGE FROM FALLING INTO A ROAD RIGHT-OF-WAY OR ONTO ANY PEDESTRIAN OR VEHICLE USE AREA



* IF A TREE IS INSTALLED WITH LESS THAN 10' SEPARATION FROM A WATER OR SEWER MAIN AND/OR SERVICE THE CONTRACTOR SHALL INSTALL A ROOT BARRIER. THE BARRIER SHALL BE 10' IN LENGTH CENTERED ON THE TREE TRUNK AND INSTALLED PARALLEL TO THE UTILITY WITH A MINIMUM 10' HORIZONTAL SEPARATION.

Plan View



Root Barrier Detail

N70

Landscape Data Table:

18 HOLE REDEVELOPMENT	Code	Plantings Requested	Trans/Plants Provided	Add Trees Provided	ACE Above Trees Provided	Native Trees Provided
North buffer: 7720 LE adjacent to street, condos	(1/20 LE)	380	437	51	232	305
East buffer: 1362 LE adjacent to Hollywood Public Works	(1/20 LE)	68	71	2	41	68
South buffer: 6447 LE adjacent to industrial/Pembroke	(1/20 LE)	323	362	40	184	245
West buffer: 1488 LE adjacent to S. 52nd Ave	(1/20 LE)	75	85	20	45	71
EXECUTIVE COURSE REDEVELOPMENT						
North buffer: 1200 LE adjacent to Washington St	(1/20 LE)	82	114	32	48	67
East buffer: 1567 LE adjacent to street, condos	(1/20 LE)	80	84	34	36	77
South buffer: 1485 LE adjacent to Hillcrest Dr	(1/20 LE)	74	80	6	44	56
West buffer: 1640 LE adjacent to medical/residential	(1/20 LE)	80	91	11	48	74
Recreation Area						
North buffer: 280 LE adjacent to Hillcrest Dr	(1/20 LE)	15	24	8	9	17
West buffer: 486 LE adjacent to school	(1/20 LE)	23	29	7	14	28
East buffer: 250 LE adjacent to school	(1/20 LE)	12	13	1	7	11
Interior LE area for VMA	25% VMA	10,780 SF of 13 Area	13,380 SF of 13 Area			
Trees for VMA	(1/1000)	28	33	4	17	31
Previous Area: 1.12 AC (46,040 s.f.)	(1/1000 s.f.)	48	56	16	30	34
Tennis and Bocce Center						
West buffer: 140 LE adjacent to school	(1/20 LE)	7	7	0	4	7
Interior LE area for VMA	25% VMA	850 SF of 13 Area	872 SF of 13 Area			
Trees for VMA	(1/1000)	3	3	0	2	3
Previous Area: .58 AC (25,877 s.f.)	(1/1000 s.f.)	28	28	2	16	22
Total trees:		1278	1534	258	784	1113

Landscape Data Table:

18 HOLE REDEVELOPMENT	Code	Plantings Requested	Trans/Plants Provided	ACE Above Trees Provided	Native Trees Provided
Previous Area: 53.12 AC (2,314,145 s.f.)	(1/1000 s.f.)	2,314	1,346	208.6 trees (1,635.75 in.)	1,388 (1,051.3 in.)
EXECUTIVE COURSE REDEVELOPMENT					
Previous Area: 9.75 AC (425,710 s.f.)	(1/1000 s.f.)	425	322.6 (2)	50 trees (1,635.75 in.)	273 (202.6 in.)
SINGLE FAMILY FRONT YARD LANDSCAPING (3)					
Front Yard Landscaping	(1/1250 s.f.)	1 per lot	3 per lot		
		271	813		
MULTI FAMILY LANDSCAPING (3)					
18 HOLE REDEVELOPMENT	(1/1000 s.f.)	330	1/1000 s.f.		
EXECUTIVE COURSE REDEVELOPMENT	(1/1000 s.f.)	86	1/1000 s.f.		
Street Tree Landscaping (3)					
Street Tree Landscaping	(1/1250 s.f.)	1 per 50'	738	773 (3)	

- (1) 1,137.3 proposed trees + 208.6 preserved trees (5,204.5 inches preserved) = 1,346 trees
 (2) 180.3 proposed not. trees + 71 not. preserved trees (2,368.75 inches preserved) = 1,051.3 native trees
 (3) 272.6 proposed trees + 50 preserved trees (1,635.75 inches preserved) = 322.6 trees
 (4) 196.66 proposed not. trees + 6 not. preserved trees (302.25 inches preserved) = 202.6 native trees
 (5) Final planting plans for Single Family lots and Multifamily Units to be provided at time of permit.
 (6) Street tree layout is conceptual and may change based on final planting plans for SF and MF unit planting plans. Final report to be provided.

Trees Replacement Data Table

	Shrubbery Inches to be Replaced	Shrubbery Inches to be Preserved	Shrubbery Inches to be Replaced	Number of Palms to be Preserved	Replacement Tree Required (5" dbh)	Replacement Trees Provided
All Species	24,025.18	7,840.25	186	122		
Prohibited Species	20,310.80	5,671.50	---	---	6,893.3	(1)
Native Species and Other Species	3,714.38	2,168.75	186	122	1,100	(1)

(1) Final value of proposed mitigation to be reviewed and approved by City Staff and may include value of off-site improvements.

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Fax: (561) 747-2041
Email: mail@pyd.com
License: PLC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FLITE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
PLANTING PLAN COVER SHEET

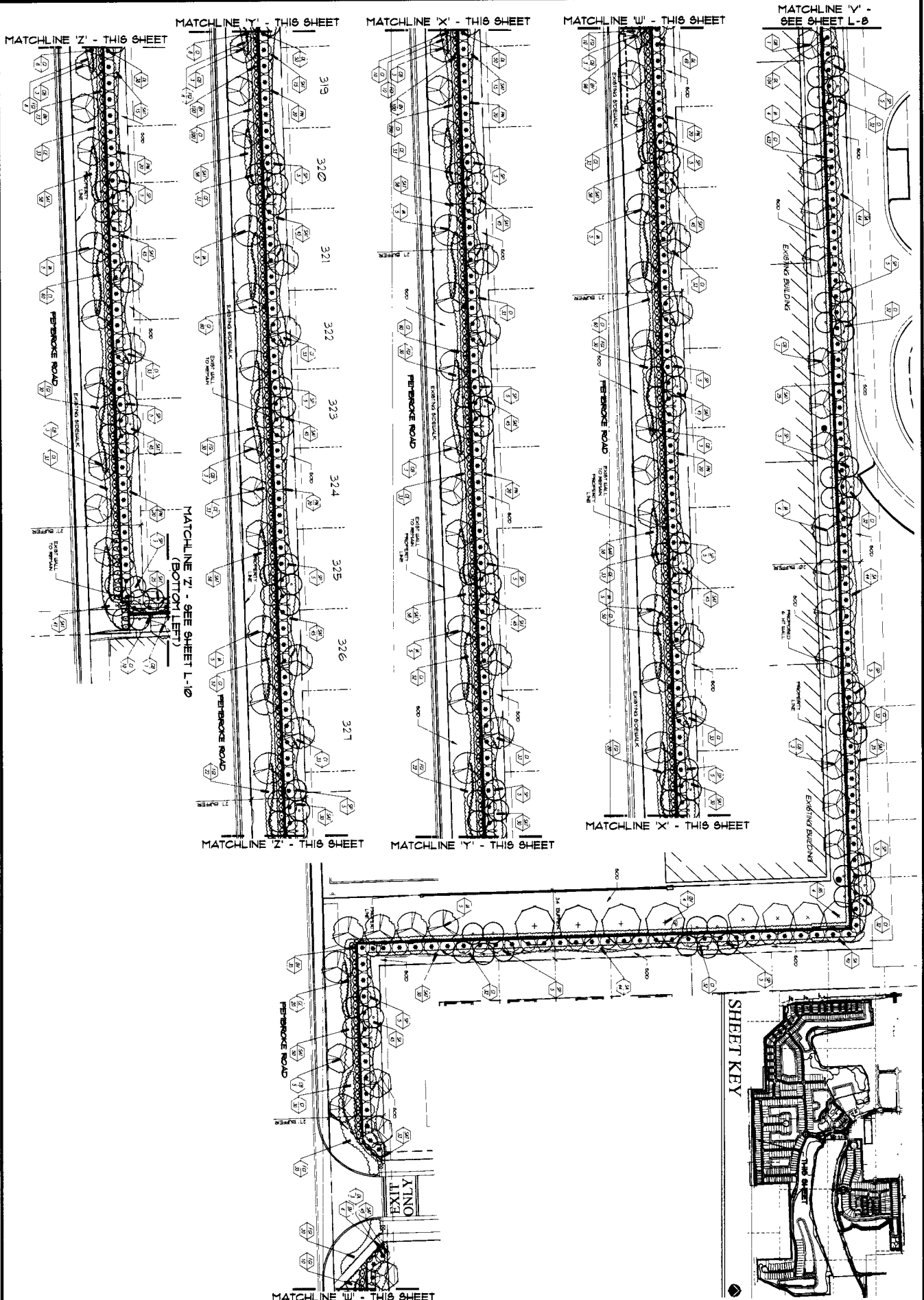
DATE: 07/20/15
DRAWN BY: AJC
JOB NO. 14-061
SCALE: N/A
FILENAME: Hillcrest 22

REVISIONS:
07/20/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:
08/05/15 TAC Revise:



SHEET

L-1



MATCHLINE 'AA' - THIS SHEET

MATCHLINE 'AA' - THIS SHEET

MATCHLINE 'CC' - THIS SHEET

MATCHLINE 'BB' - THIS SHEET

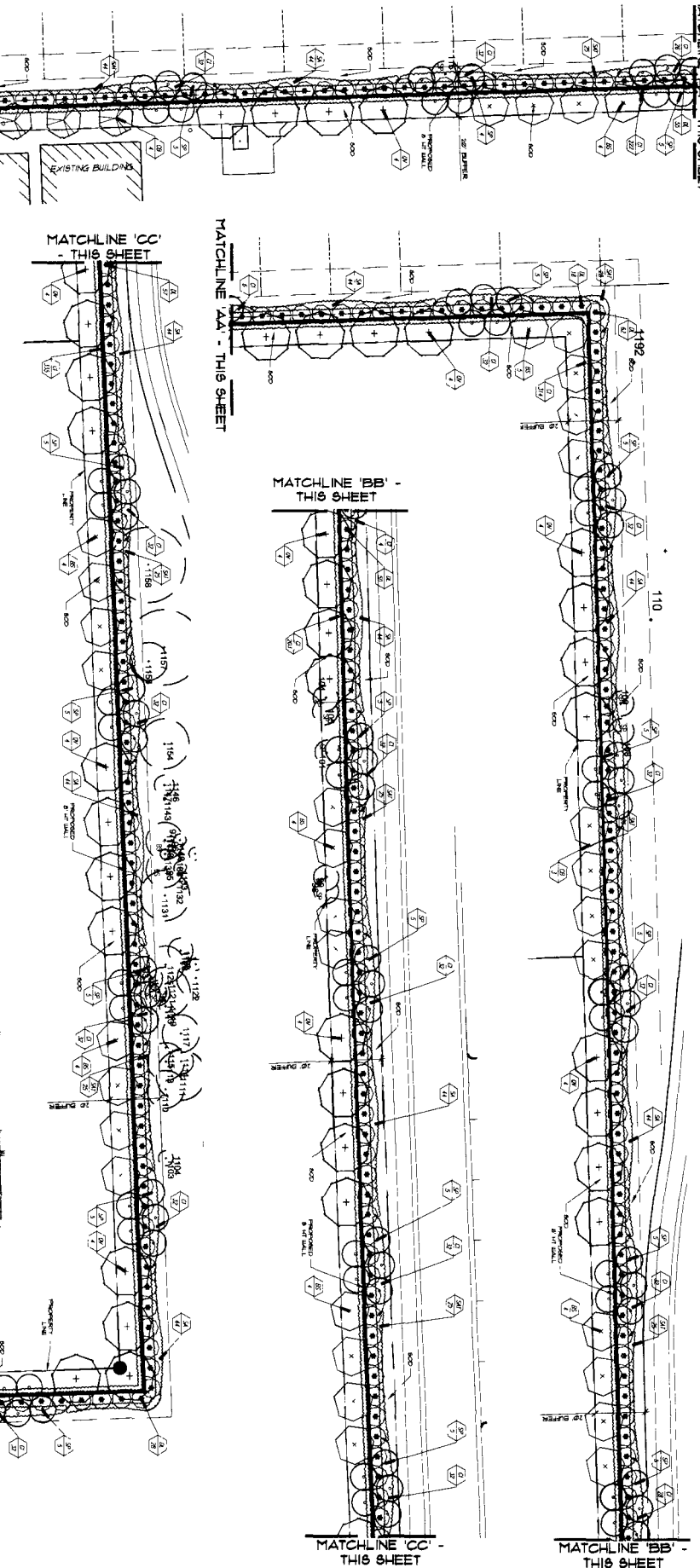
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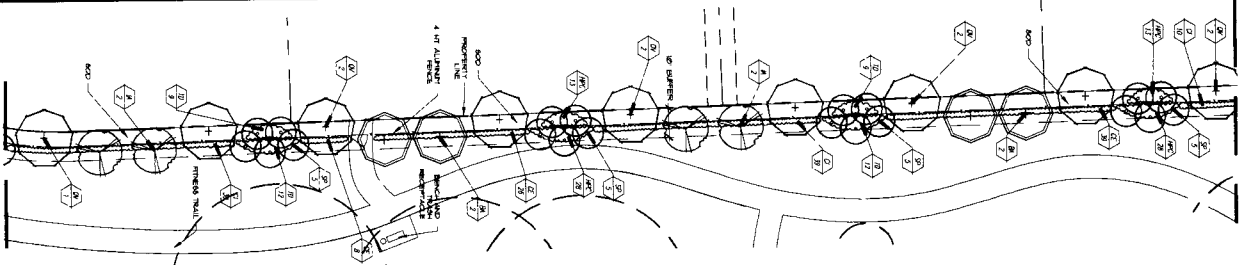
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MATCHLINE 'DD' - SEE SHEET L-11

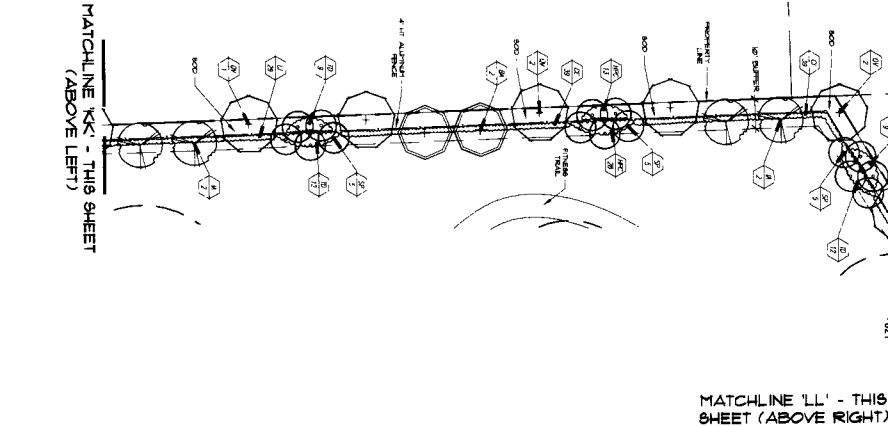
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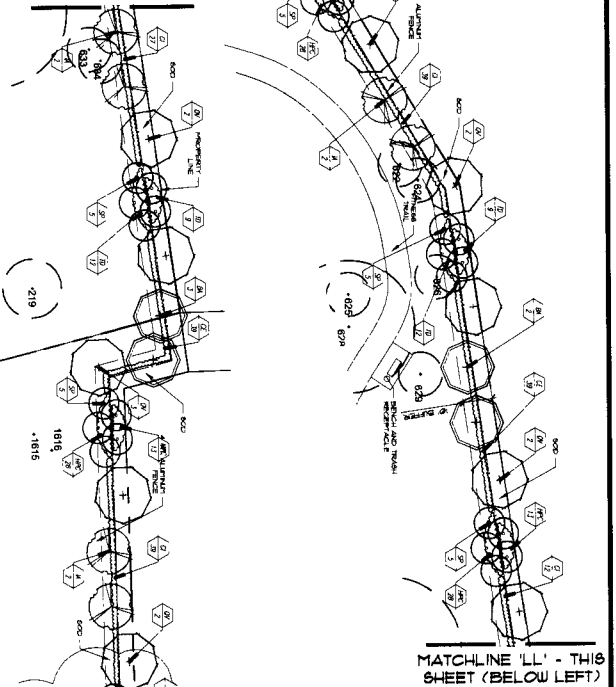
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(BELOW RIGHT)



MATCHLINE 'KK' - THIS SHEET
(ABOVE LEFT)

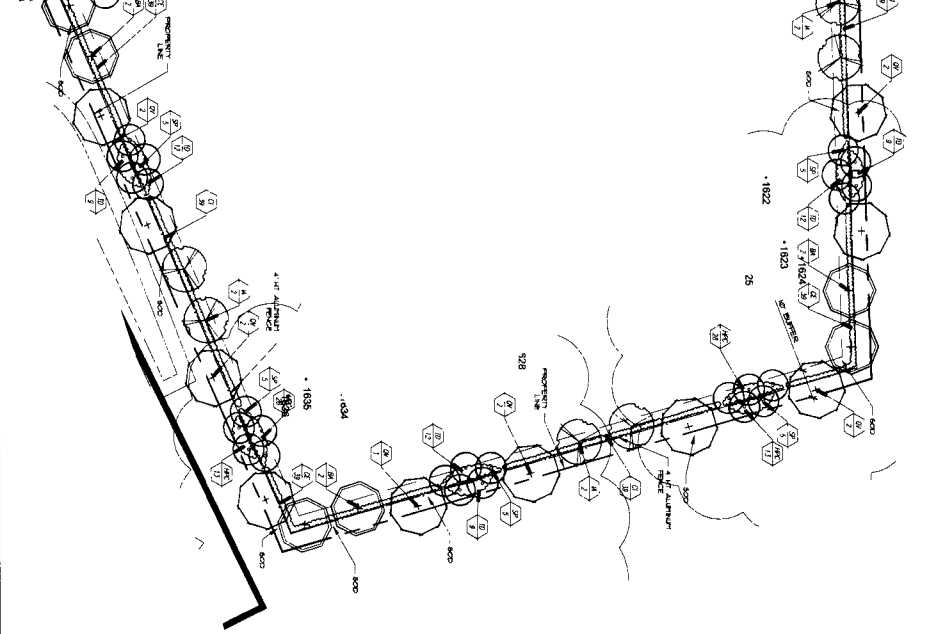


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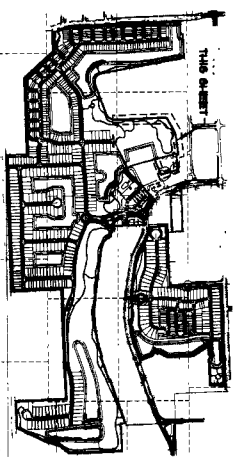


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MATCHLINE 'YY' -
SEE SHEET L-13a



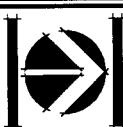
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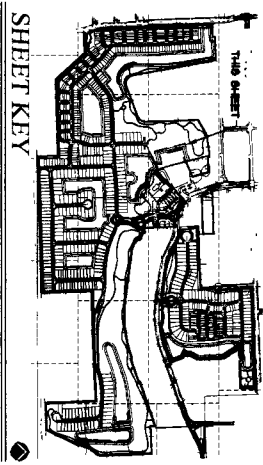
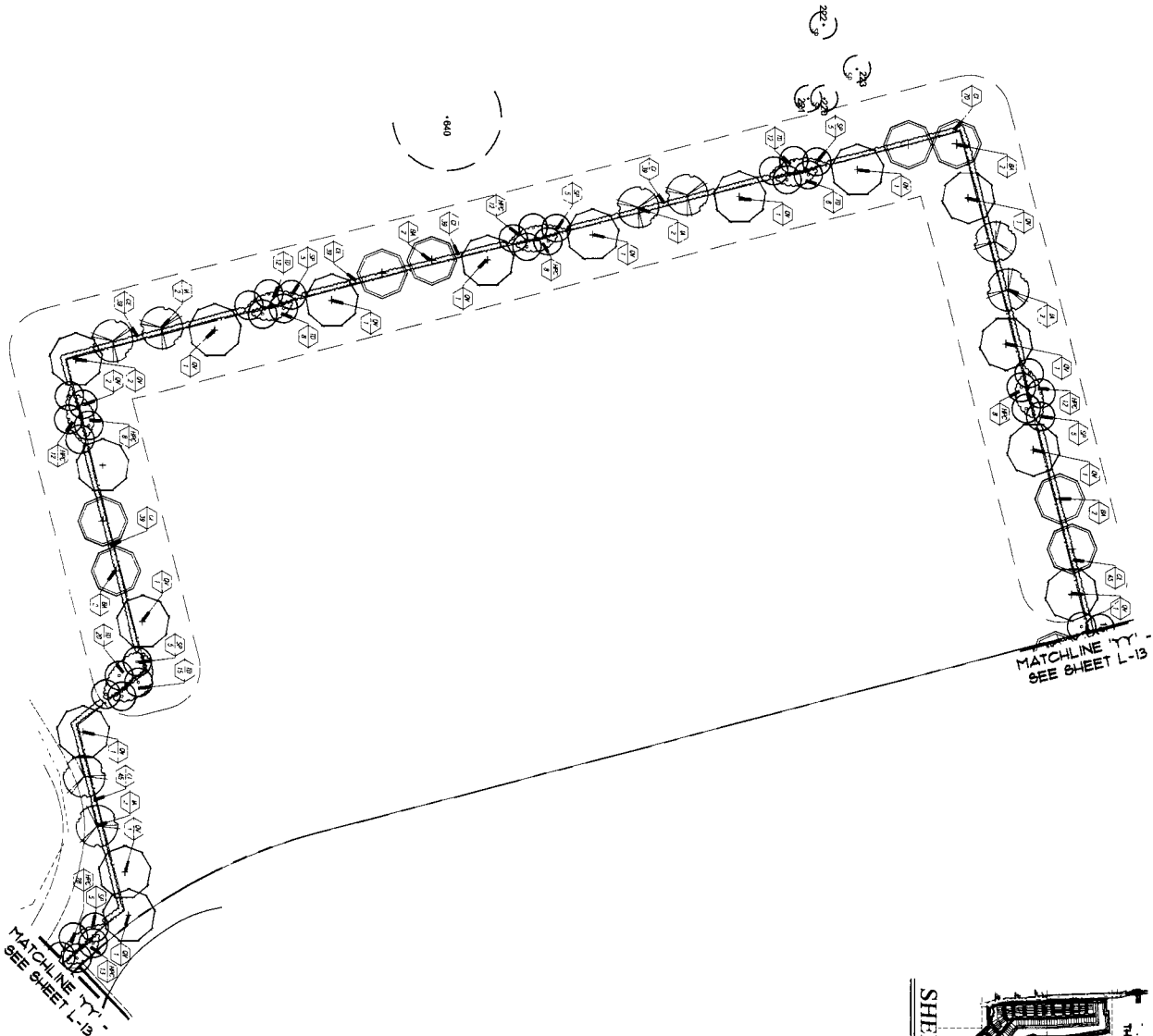
HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
PLANTING PLAN

DATE: 07/2015
DRAWN BY: AJO
SCALE: 1" = 20'-0"
PLANTING: 11/07/2015
REVISIONS:
1. 07/2015: 1.46 Revised
12/28/15: 1.46 Revised
1/14/16: 1.46 Revised
2/11/16: 1.46 Revised
2/11/16: 1.46 Revised
2/11/16: 1.46 Revised

SHEET
L-13



PARKER + NANNETTE
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Fax: (407) 947-5066
Email: info@parker-nannette.com
License: FL-C-00002787

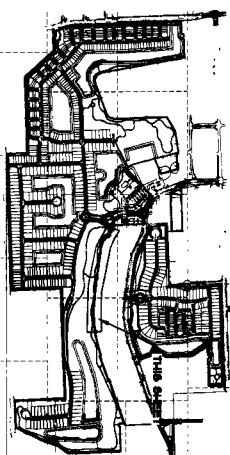


MATCHLINE 'NN' - THIS SHEET

MATCHLINE 'MM' - SEE SHEET L-XX



SHEET KEY



MATCHLINE 'OO' - SEE SHEET L-15

MATCHLINE 'NN' - THIS SHEET

L-14



DATE: 07/23/15
 DRAWN BY: AJO
 SCALE: 1" = 20' 0"
 PROJECT: HILLCREST COUNTRY CLUB
 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 2119 7TH AVE SW
 33406
 781.309.1111
 781.309.1111

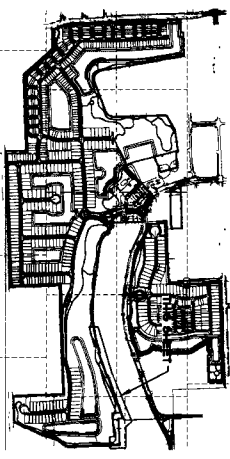
HILLCREST COUNTRY CLUB REDEVELOPMENT
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 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 PLANTING PLAN

LANDSCAPE ARCHITECTS
 755 SOUTH 11TH AVENUE
 SUITE 100
 MIAMI, FL 33130
 TEL: (305) 374-2541
 FAX: (305) 374-2541
 WWW: WWW.PARKER-YANNETTE.COM

PARKER-YANNETTE
 design group, inc.



SHEET KEY



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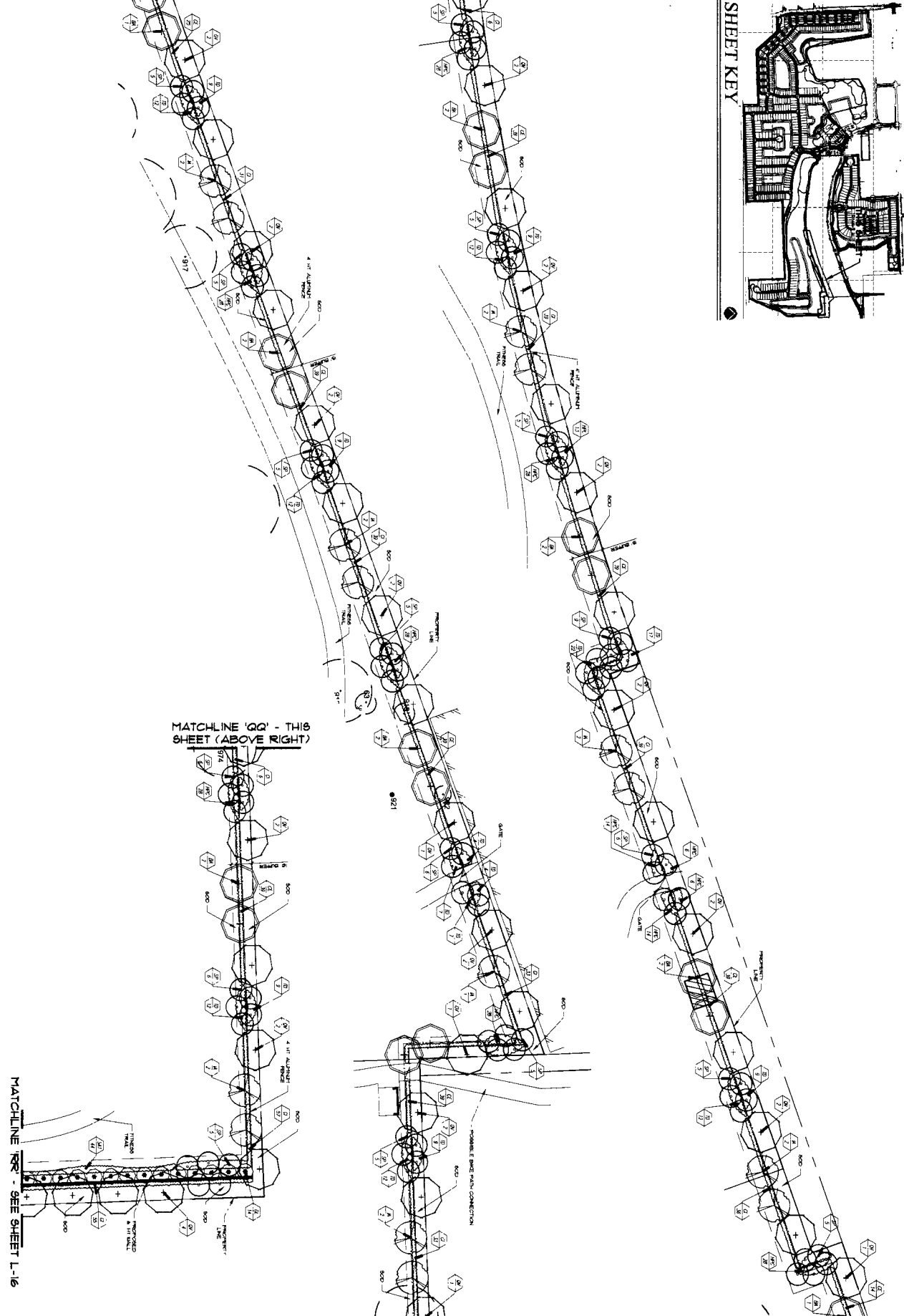
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MATCHLINE 'RR' - SEE SHEET L-16

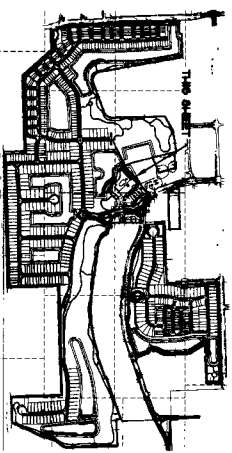
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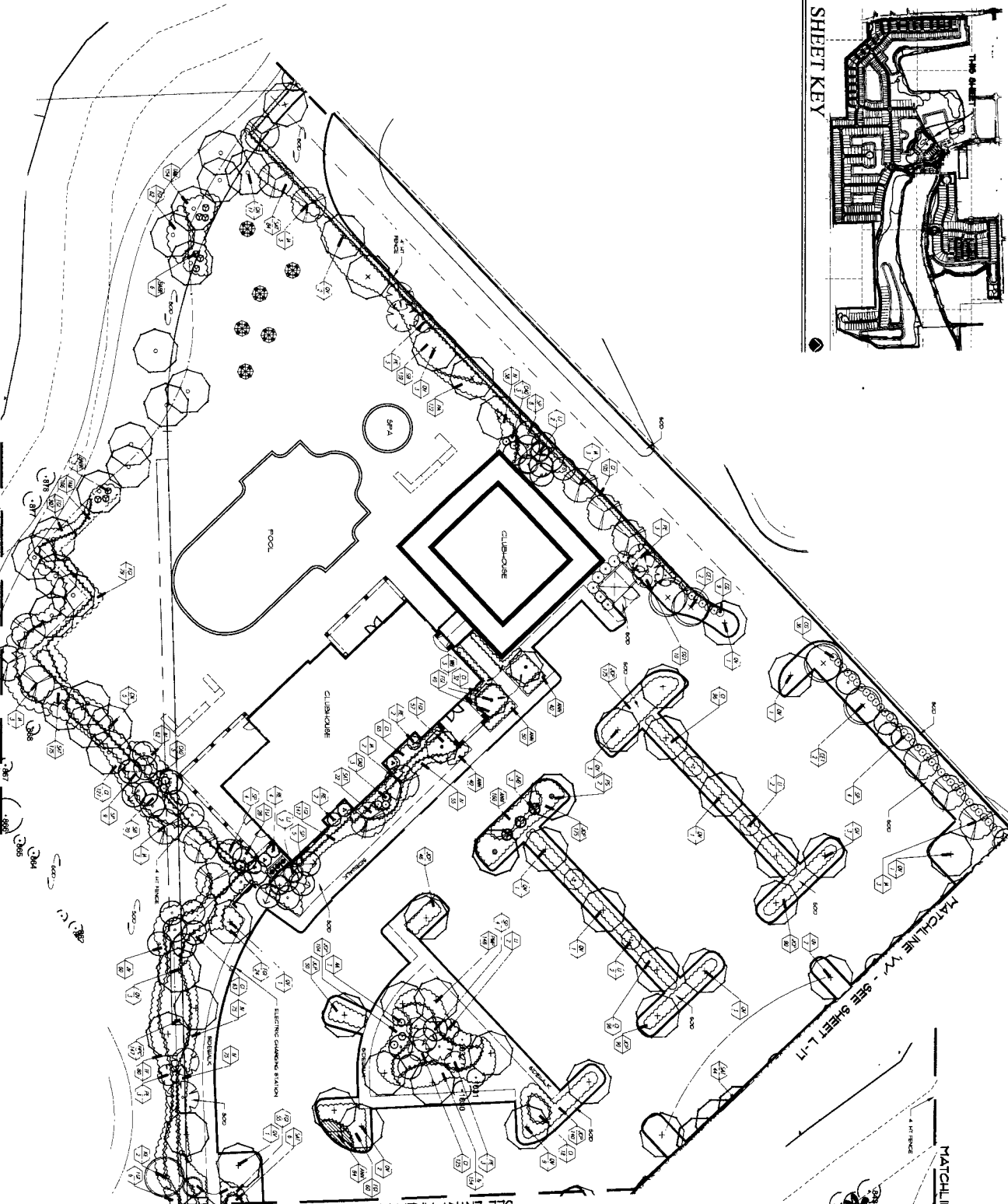
MATCHLINE 'PP' - THIS SHEET



SHEET KEY



MATCHLINE W - THIS SHEET (TOP RIGHT)



MATCHLINE W - SEE SHEET L-11

MATCHLINE W - THIS SHEET

SEE ENTRY AREA PLANTING PLAN - SHEET L-10

L-19



DATE: 08/03/03
DRAWN BY: AJO
CHECKED BY: J. H. H. H.
PROJECT: HILLCREST COUNTRY CLUB
SHEET: L-19

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
PLANTING PLAN

LANDSCAPE ARCHITECTURE
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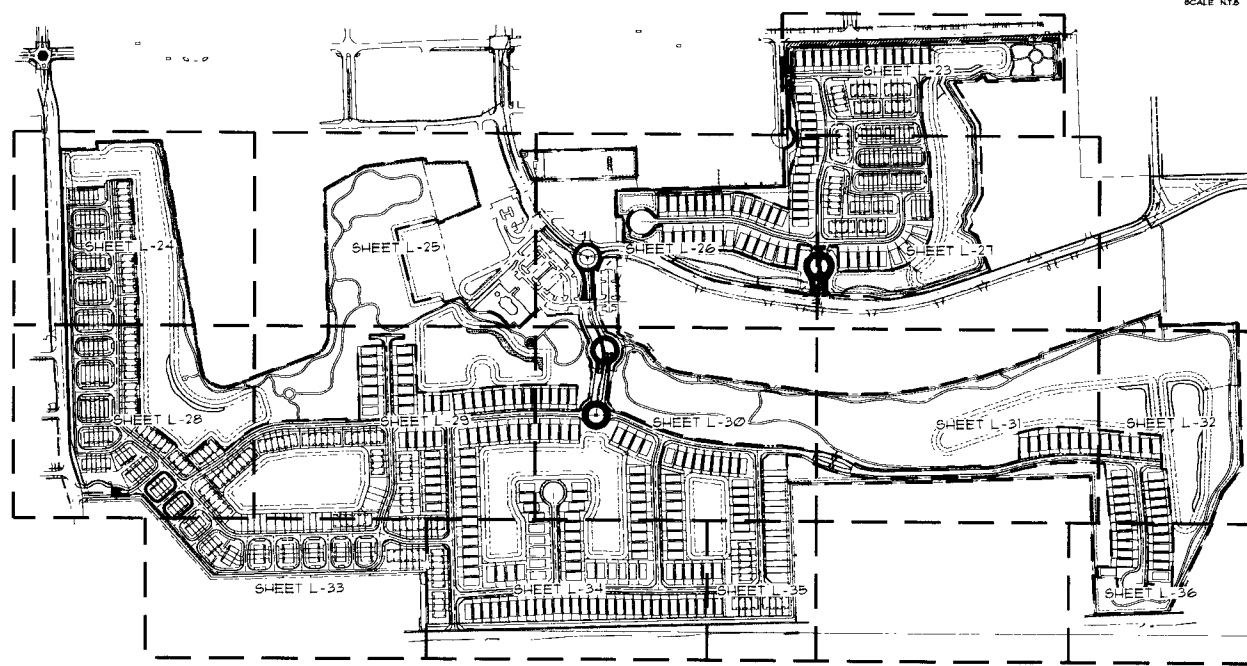
PARKER VANETTE
design group, inc.



Planting Plans for:

Sheet L22	COVER SHEET
Sheet L23	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L24	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L25	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L26	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L27	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L28	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L29	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L30	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L31	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L32	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L33	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L34	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L35	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L36	LAKE EDGE AND OPEN SPACE PLANTING PLAN
Sheet L37	PLANT LIST, PLANT SPECIFICATIONS AND DETAILS
Sheet L38	CANOPY COVERAGE PLAN

SHEET KEY



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design group, inc.

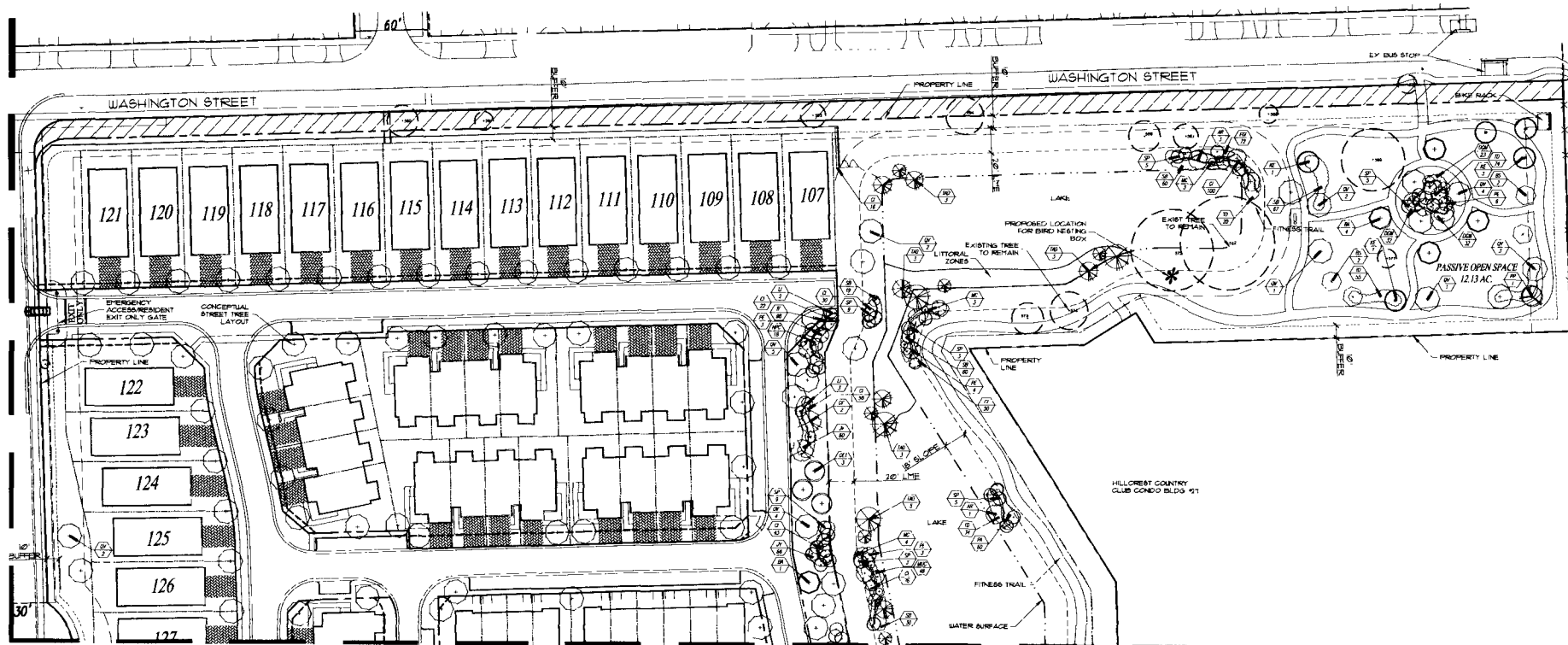
LANDSCAPE ARCHITECTURE
PLANNING - GRAPHICS
125 South U.S. 1 Highway One
Suite 130
Jupiter, Florida 33477
Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mya@pydg.com
License: #LC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FILITE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN COVER SHEET

DATE: 07/25/15
DRAWN BY: AJO
JOB NO: 14-004
SCALE: N/A
FILENAME: Hillcrest 22
REVISIONS:
07/25/15 TAC Revise:
08/20/15 TAC Revise:
11/20/15 TAC Revise:
02/25/16 City Center
10/25/16 Final/Check sheet
Final TAC 12/20/16
2/17/16 Tree count of LME
City Center Revise 3/16/16

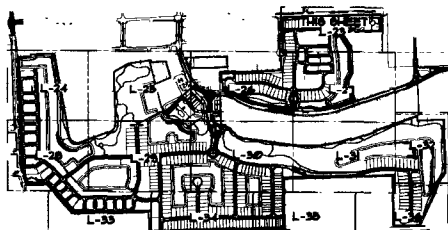


SHEET
L-22



MATCHLINE 'AAA' - SHEET L-26

MATCHLINE 'BBB' - SHEET L-27



SHEET KEY

PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING GRAPHICS
825 South U.S. Highway One
Suite 330
Jupiter, Florida 33477
Telephone: (561) 747 5069
Fax: (561) 747 2041
Email: ryad@pyd.com
License: FLEC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

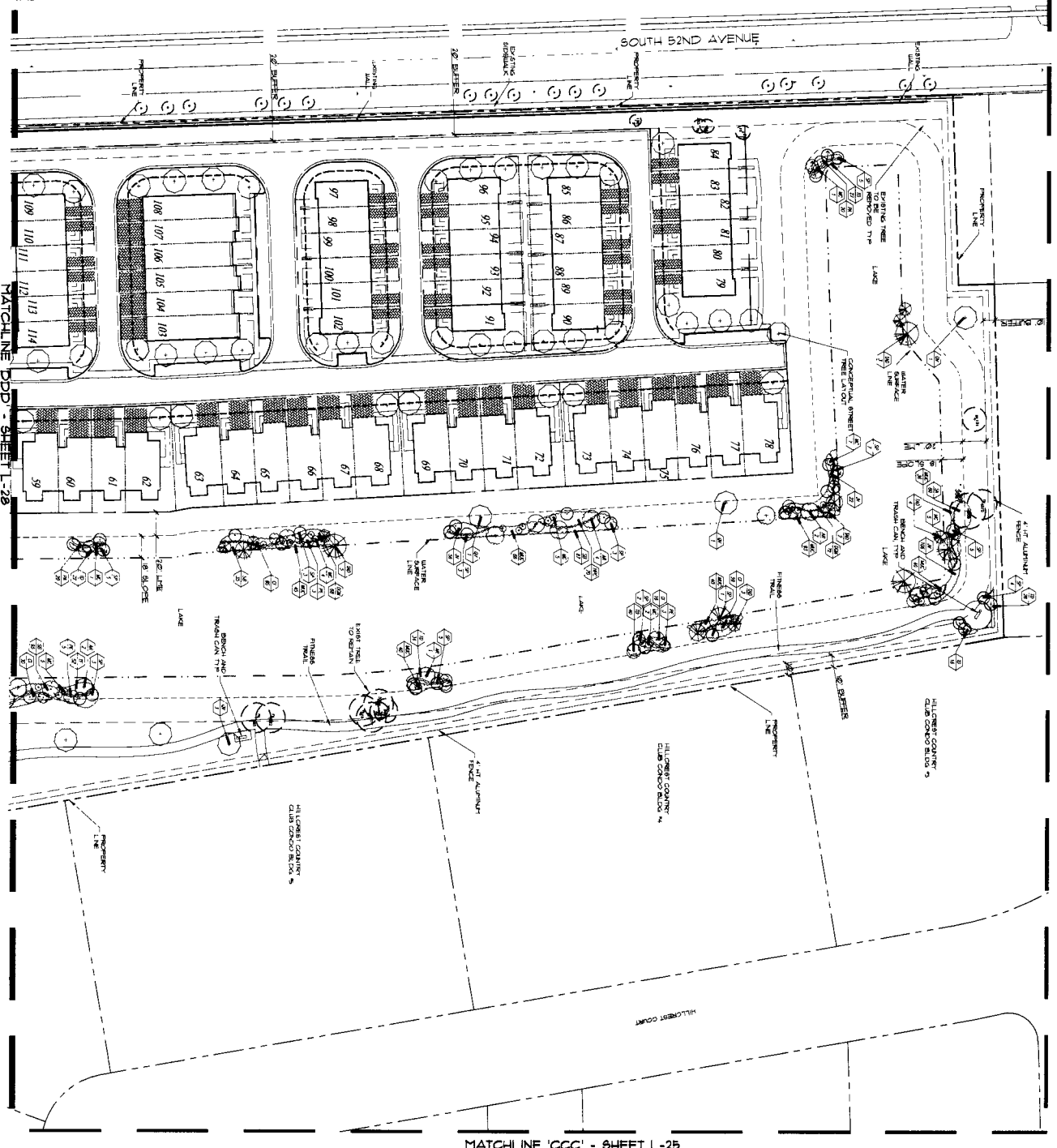
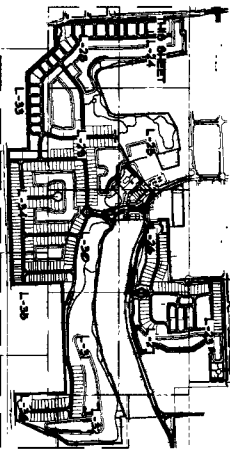
DATE: 07/23/05
DRAWN BY: AJO
JOB NO.: 14-0461
SCALE: 1" = 40'-0"
FILENAME: hillcrest 22

REVISIONS:
8/18/05 TAC Revise
8/30/05 TAC Revise
10/30/05 TAC Revise
12/23/05 City Comm
1/25/06 No Porcupine exit
Final TAC 12/30/05
2/1/06 Trans out of LIME
City Comm Rev 3/16/06



SHEET
L-23

SHEET KEY



MATCHLINE 'CCC' - SHEET L-25

L-24



DATE: 07/20/10
 DRAWN BY: A.O.
 SCALE: 1" = 40'-0"
 FILENAME: HILLCREST 22
 REVISIONS:
 01: 07/20/10, A.O.
 02: 07/20/10, A.O.
 03: 07/20/10, A.O.
 04: 07/20/10, A.O.
 05: 07/20/10, A.O.
 06: 07/20/10, A.O.
 07: 07/20/10, A.O.
 08: 07/20/10, A.O.
 09: 07/20/10, A.O.
 10: 07/20/10, A.O.
 11: 07/20/10, A.O.
 12: 07/20/10, A.O.

HILLCREST COUNTRY CLUB REDEVELOPMENT
 PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 LAKE EDGE AND OPEN SPACE PLANTING PLAN

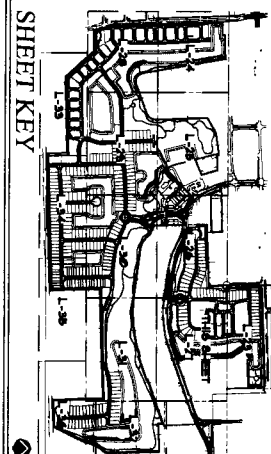
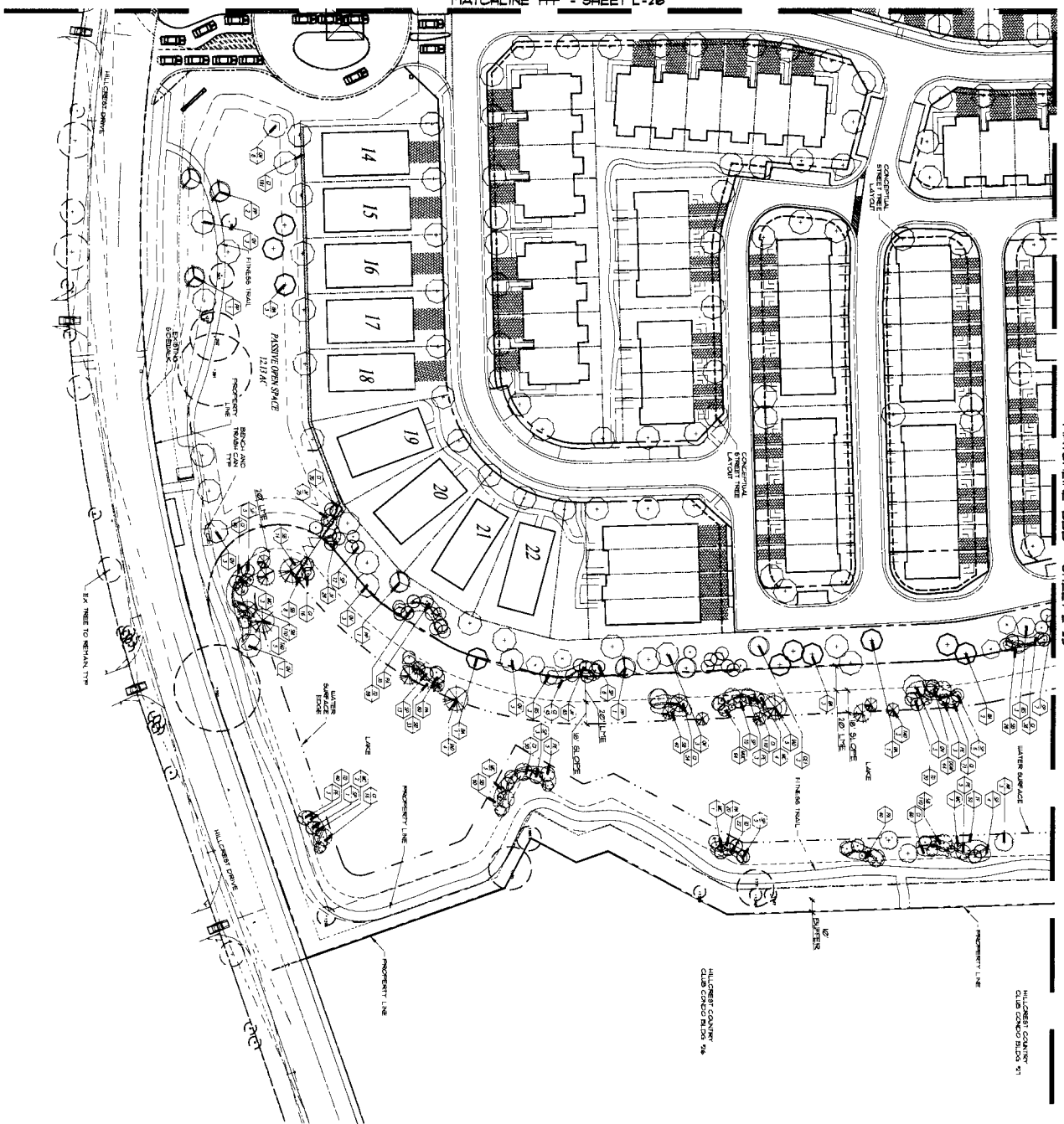
LANDSCAPE ARCHITECTS
 222 South 11th Highway, Suite 100
 Fort Lauderdale, FL 33304
 Tel: (954) 747-5044
 Fax: (954) 747-5044
 E-mail: info@parker-vanette.com
 License No. 00000207

PARKER VANETTE
 design group, inc.



MATCHLINE 'BB' - SHEET L-23

MATCHLINE 'HH' - SHEET L-31

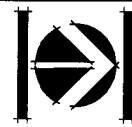


SHEET KEY

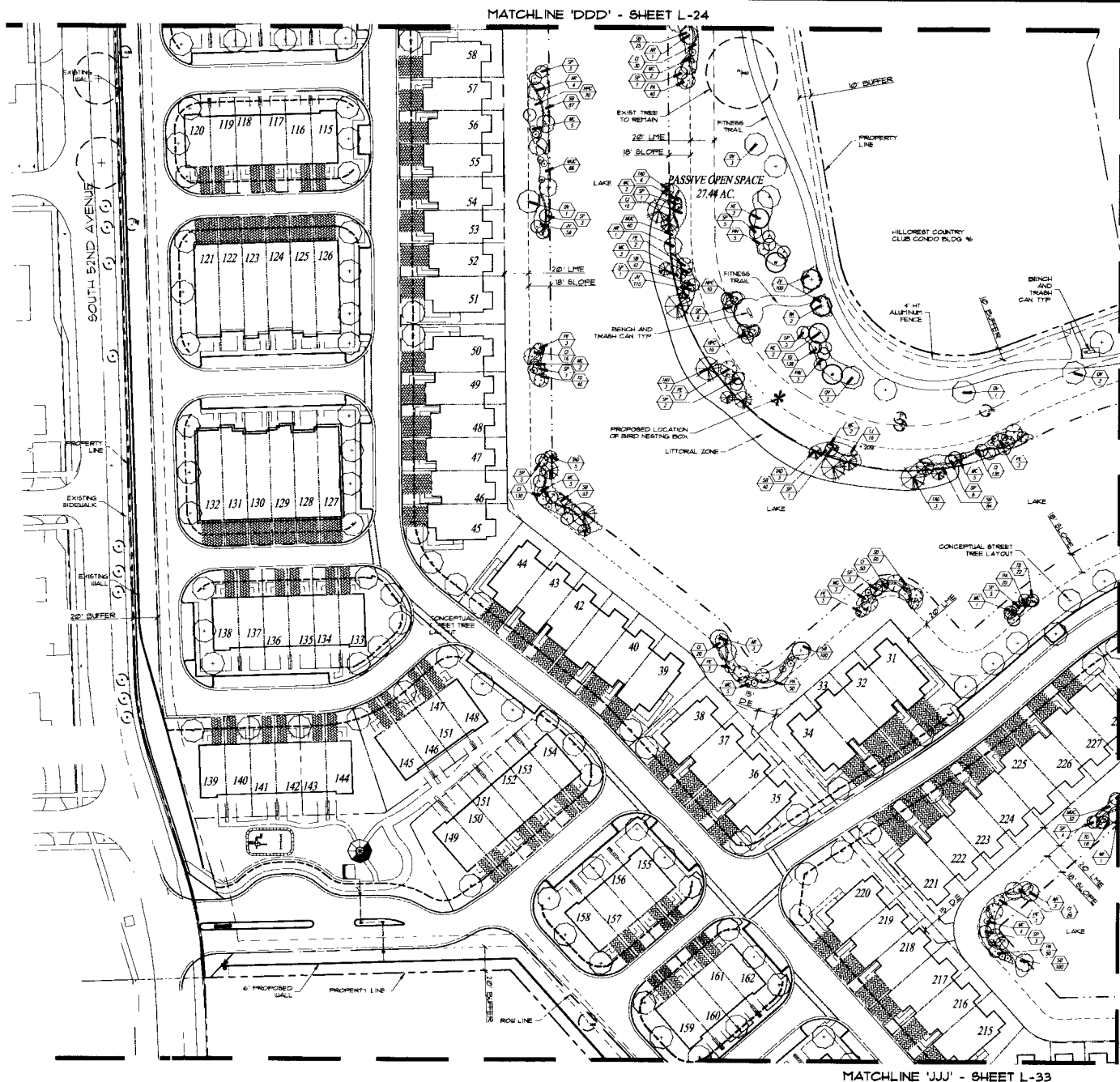
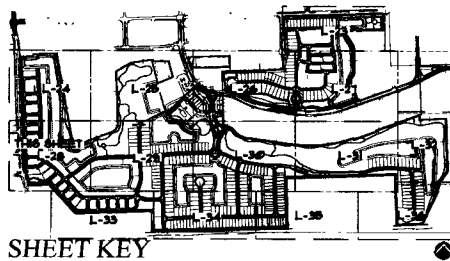
HILLCREST COUNTRY CLUB REDEVELOPMENT
 PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 LAKE EDGE AND OPEN SPACE PLANTING PLAN

PARKER VANMETRE
 design group, inc.
 LANDSCAPE ARCHITECTS
 1000 N. W. 10th Ave.
 Suite 1000, Fort Lauderdale, FL 33304
 Phone: (954) 551-1000
 Fax: (954) 551-1001
 Email: info@pvm.com
 License: #12,000,000

DATE: 07/20/15
 DRAWN BY: ADO
 CHECKED BY: J. VANMETRE
 PROJECT: HILLCREST COUNTRY CLUB
 SHEET: L-27
 TOTAL SHEETS: 100
 PROJECT LOCATION: 4600 HILLCREST DRIVE, HOLLYWOOD, FL 33021
 PROJECT OWNER: HILLCREST IG, LLC AND FULTE GROUP



L-27



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING GRAPHICS
125 South U.S. Highway One
Suite 330
Fort Lauderdale, Florida 33477
Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: pny@pnydg.com
License: FL-C-0000297

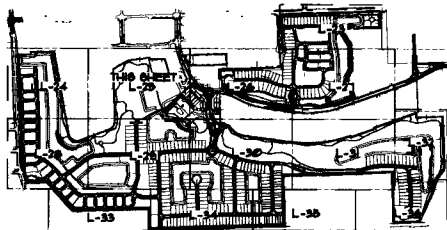
HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND MILTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

DATE: 6/12/15
DRAWN BY: AJO
JOB NO.: 14-004
SCALE: 1" = 40'-0"
FILENAME: HILLCREST 22

REVISIONS:
8/15/15 TAC: Revised
10/30/15 TAC: Revised
11/30/15 TAC: Revised
1/21/16 City: Approved
1/25/16 Professional Seal
1/21/16: Tree List of LITE
City Code: Rev. 316.16



L-28



SHEET KEY

HILLCREST COUNTRY CLUB CONDO BLDG #6

PROPERTY LINE

4' HIGH ALUMINUM FENCE

HILLCREST COUNTRY CLUB CONDO BLDG #5

HILLCREST COUNTRY CLUB CONDO BLDG #9

10' BUFFER

PROPERTY LINE

HILLCREST COUNTRY CLUB CONDO BLDG #5

HILLCREST COUNTRY CLUB CONDO BLDG #6

PROPERTY LINE

10' BUFFER

4' HIGH ALUMINUM FENCE

PASSIVE OPEN SPACE
27.44 AC.

EXIST. TREE TO REMAIN

PINE STRAU MULCH

FITNESS TRAIL

FITNESS TRAIL

FITNESS TRAIL

FITNESS TRAIL

MATCHLINE 'EEE' - SHEET L-23

PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING (LAP) (LAP) (LAP)
825 South U.S. Highway One
Suite 300
Jupiter, Florida 33477
Telephone (561) 747-5069
Fax: (561) 747-2041
Email: ead@pydg.com
License: #LC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FILTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

DATE: 07/20/05
DRAWN BY: AJO
JOB NO.: 14-004
SCALE: 1" = 40'-0"
FILENAME: Hillcrest 22

REVISIONS:
07/20/05 TAC: Revised
08/30/05 TAC: Revised
11/30/05 TAC: Revised
12/23/05 City: revised
10/25/06 Professional seal
FINAL TAC: 11/30/05
211 No. Trade Out of Line
City Corner Rev: 3/16/06



SHEET
L-25



PARKER-YANNETT
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHIC
825 South U.S. Highway One
Suite 330
Jupiter, Florida 33477

Telephone: (561) 747-5066
Fax: (561) 747-2041
E-mail: mail@pydg.com
License #: FL-C-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST CO. LLC AND PULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANNING, INC.

DATE 01/03/15
DRAWN BY AJO
JOB NO 14-061
SCALE 1" = 40'-0"
FILENAME Hillcrest 2

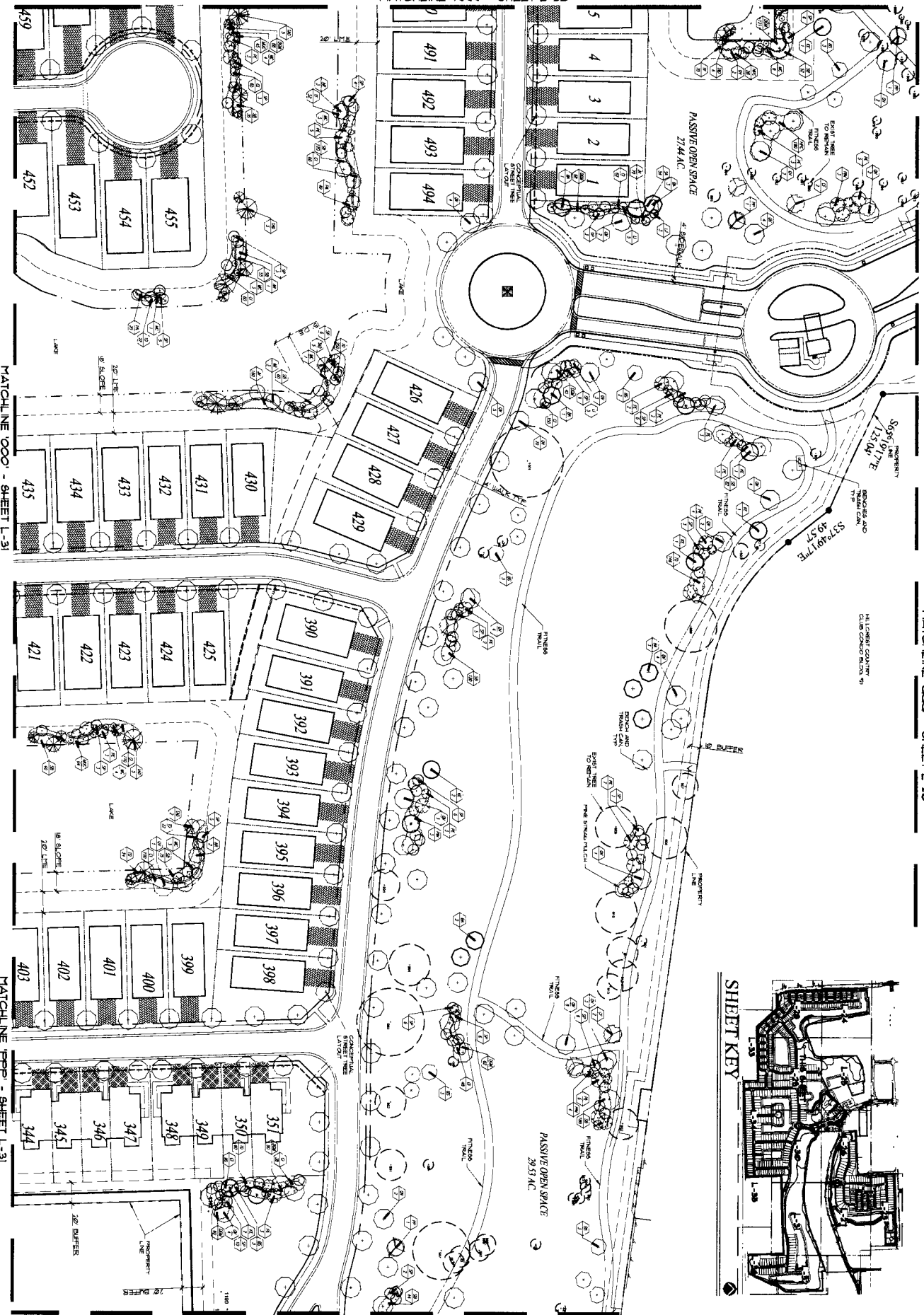
REVISIONS
01015 TAC Resub
02305 TAC Resub
11305 TAC Resub
02315 City cmts
12516 Florbroke exit
Final TAC 11305
21716 Trees out of LM
City Comm Rev 316



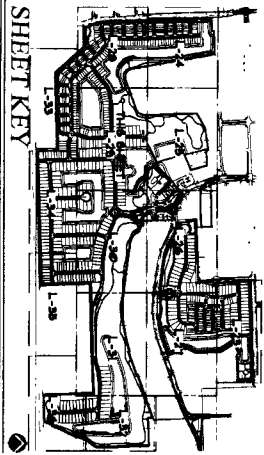
SHEET

L-29

MATCHLINE 'KKK' - SHEET L-30



MATCHLINE 'NNN' - SHEET L-31



MATCHLINE 'GGG' - SHEET L-26

MATCHLINE 'OOO' - SHEET L-31

MATCHLINE 'PPP' - SHEET L-31

L-30



DATE: 02/15/18
 DRAWN BY: AJO
 SCALE: 1" = 40'-0"
 REVISION: 11/08/18 22
 PROJECT: HILLCREST COUNTRY CLUB REDEVELOPMENT
 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 2176' x 1100' (approx.)
 2176' x 1100' (approx.)
 2176' x 1100' (approx.)

HILLCREST COUNTRY CLUB REDEVELOPMENT
 PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
 4600 HILLCREST DRIVE
 HOLLYWOOD, FL 33021
 LAKE EDGE AND OPEN SPACE PLANTING PLAN

PARKER VANNETTE
 design group, inc.
 1400 N. W. 11th Ave., Suite 1115
 Fort Lauderdale, FL 33304
 Phone: (954) 347-5066
 Fax: (954) 347-5066
 Email: info@parker-vannette.com
 License: 01-0000029

HILL CREST COUNTRY
CLUB CONDO BLDG 74

MATCHLINE 'HHH' - SHEET L-27

MATCHLINE 'UUU' - SHEET L-27

MATCHLINE 'QQQ' - SHEET L-32

MATCHLINE 'TTT' - SHEET L-21

MATCHLINE 'NNN' - SHEET L-30

MATCHLINE 'RRR' - SHEET L-31

MATCHLINE 'SSS' - SHEET L-31

و

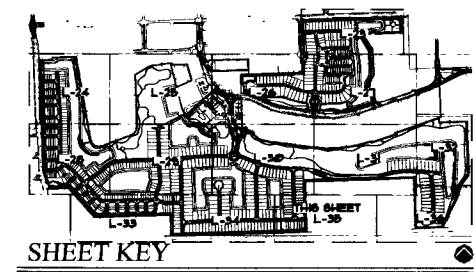
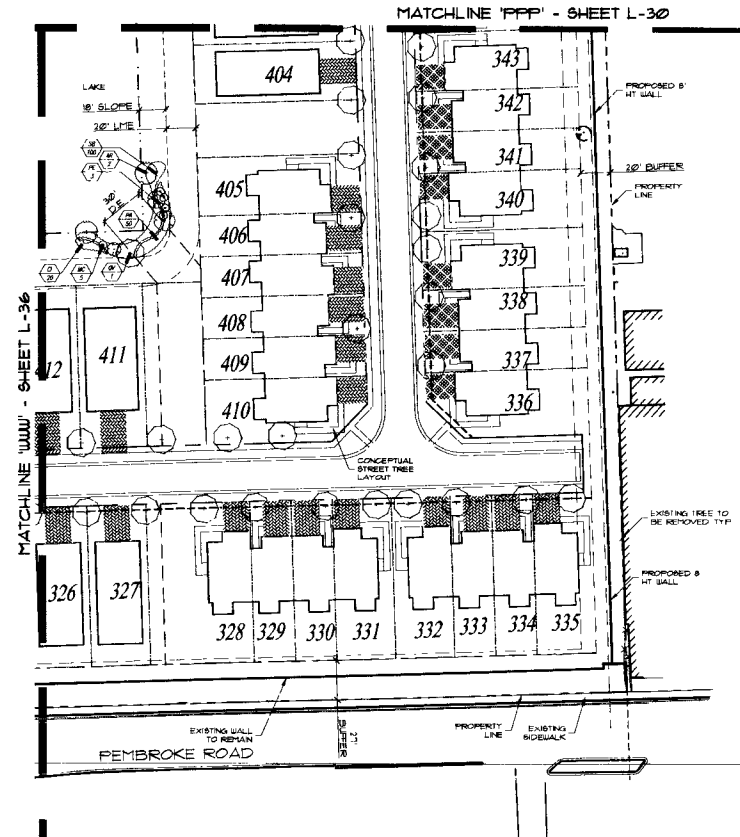
HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

LANDSCAPE ARCHITECTURE
PLANNING • DESIGNERS
825 South U.S. Highway One
Suite 300
Jupiter, Florida 33477
Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pvdg.com
License #LC 0000297

PARKER-YANNETTE
design group, inc

DATE 07/03/15
DRAWN BY ALO
JOB NO 14-061
SCALE 1" = 40'-0"
FILE NAME 14100cat.22





SHEET KEY

PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING - GRAPHICS
825 South U.S. Highway One
Suite 330
Jupiter, Florida 33477
Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: smd@pyrdg.com
License #LC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FILITE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

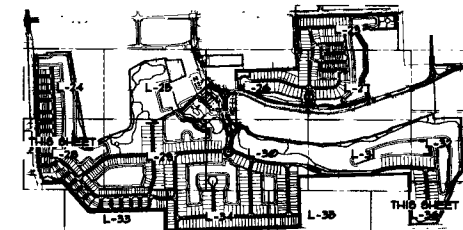
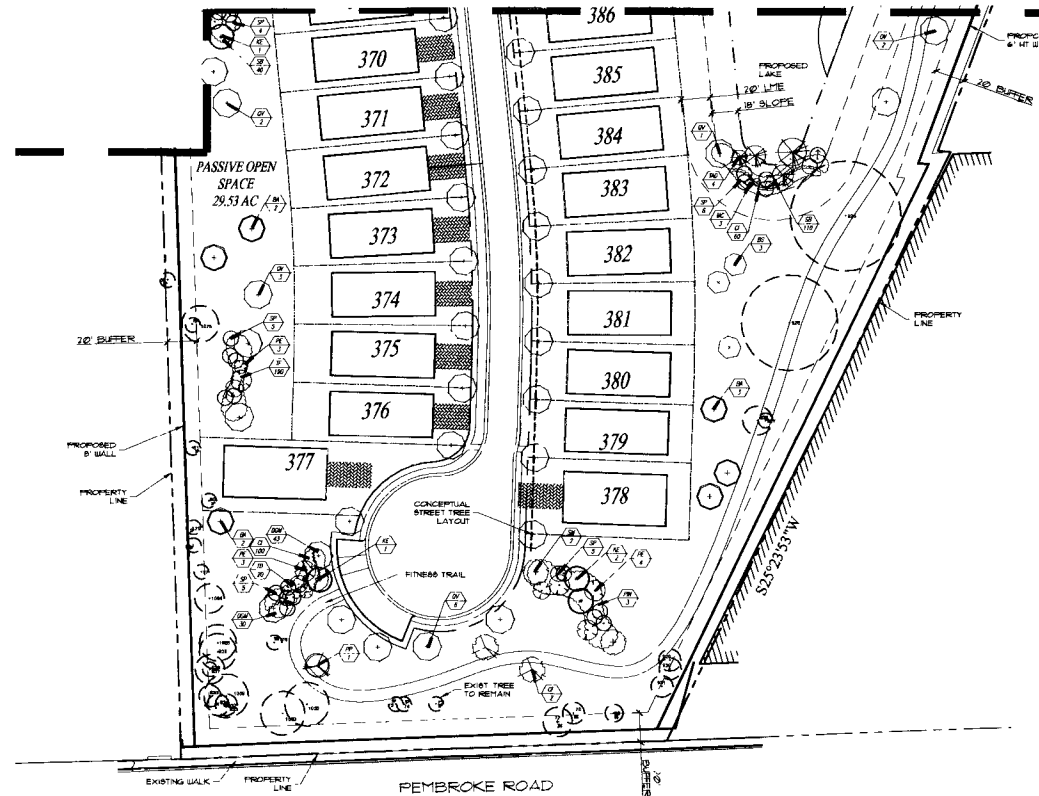
DATE: 07.23.05
DRAWN BY: JAO
JOB NO: 14-061
SCALE: 1" = 40'-0"
FILENAME: L-35.dwg

REVISIONS:
07/23/05 TAC Revise:
08/30/05 TAC Revise:
10/30/05 TAC Revise:
02/23/06 City Review:
02/23/06 to Pembroke unit:
Final TAC 10/30/05
07/16/06 from end of L-34
City Corner Revise 3/16/06



SHEET
L-35

MATCHLINE 'TT' - SHEET L-32



SHEET KEY



PARKER-YANNETTE
design group, inc.

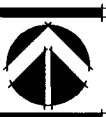
LANDSCAPE ARCHITECTURE
PLANNING - GRAPHICS
825 South U.S. Highway One
Suite 330
Jupiter, Florida 33477

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: myd@pyd.com
License #LC 0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
LAKE EDGE AND OPEN SPACE PLANTING PLAN

DATE: 07/03/05
DRAWN BY: AJO
JOB NO: 14-061
SCALE: 1" = 40'-0"
FILE NAME: Hillcrest 22

REVISIONS:
07/05/05 TAC Revise:
07/05/05 TAC Revise:
07/05/05 City Permit
07/05/05 City Permit
Final TAC 07/05/05
27.1% Trees and 1% of LVE
City Come Rev 3/6/16



SHEET
L-36

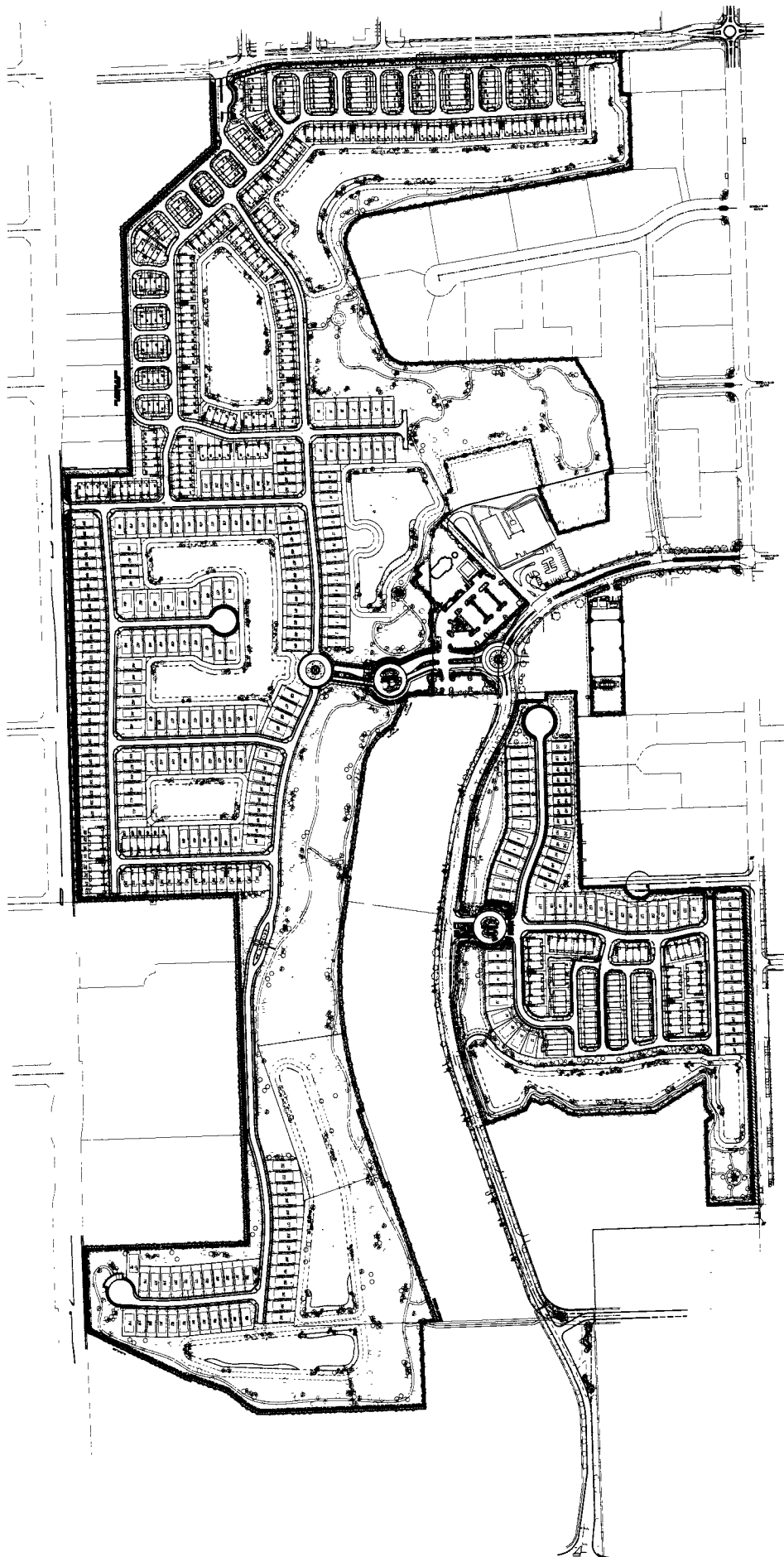
Overall height (OH) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Plants with married or burned trunks will not be accepted.

FOR 100% (40%)
WATER.
BY THE USE OF AQUEOUS POLYMER EMULSIONS AND HYDROGELS.
BRANDED SPIN-ON LITHOGRAPHY MAY BE USED TO MANUFACTURE 3D
STRUCTURED TAPED-LAYER CONTRACT FILLS. MATERIALS HAVE FOR POLY-
MERIZED IN POLYMER, LAMINATE, POLYMER, AND MATERIALS. AQUEOUS POLY-

- Prior to the installation of any plant material all existing and reported soils will be tested and analyzed to meet the soil specifications and specific plants needs as shown on the plan.
- All plant material, such as specified as being Florida Friendly or approved on the Florida Grade Nurseries list as determined by the Florida Department of Agriculture.
- All plant material and soil will have an automatic irrigation system providing 100% coverage.
- Maintain positive drainage away from residence.
- All plant material will be planted, fertilized and mulched as per the Plant Details and Plant Specifications notes on the plan.
- Landscaping Contractor shall research plants and obtain appropriate approvals as determine location and quantity of plants to be installed. Any deficiency or unmet planting conditions will be reported immediately to the landscape architect.
- Landscaping Contractor will be responsible for obtaining all necessary permits, licenses, inspections and approvals for the project.
- Invasive species, including Brazilian Pepper, Australian Pine, Platisteneo Shrub, Silvercherry and Eastern Acaacia will be eradicated in the development area and removed from the site.

[illegible][illegible][illegible]

-37

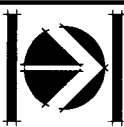


PARKER-VANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING - GRADING
2335 S.W. 13 Highway One
Fort Lauderdale, Florida 33317
Telephone (561) 747-5069
Fax (561) 747-2041
Email: info@pvtg.com
License #LC-0000297

HILLCREST COUNTRY CLUB REDEVELOPMENT
PREPARED FOR HILLCREST IG, LLC AND FULTE GROUP
4600 HILLCREST DRIVE
HOLLYWOOD, FL 33021
CANOPY COVERAGE PLAN

DATE: 07/20/06
DRAWN BY: AJO
CHECKED BY: JLD
PROJECT NO.: 14-061
REVISION: 11/20/06



HILLCREST IG, LLC
4600 Hillcrest Drive
Hollywood, FL 33021
Phone: (954) 944-1111
Fax: (954) 944-1112
Email: info@hillcrestig.com

L-38