

ATTACHMENT II
Revised Design

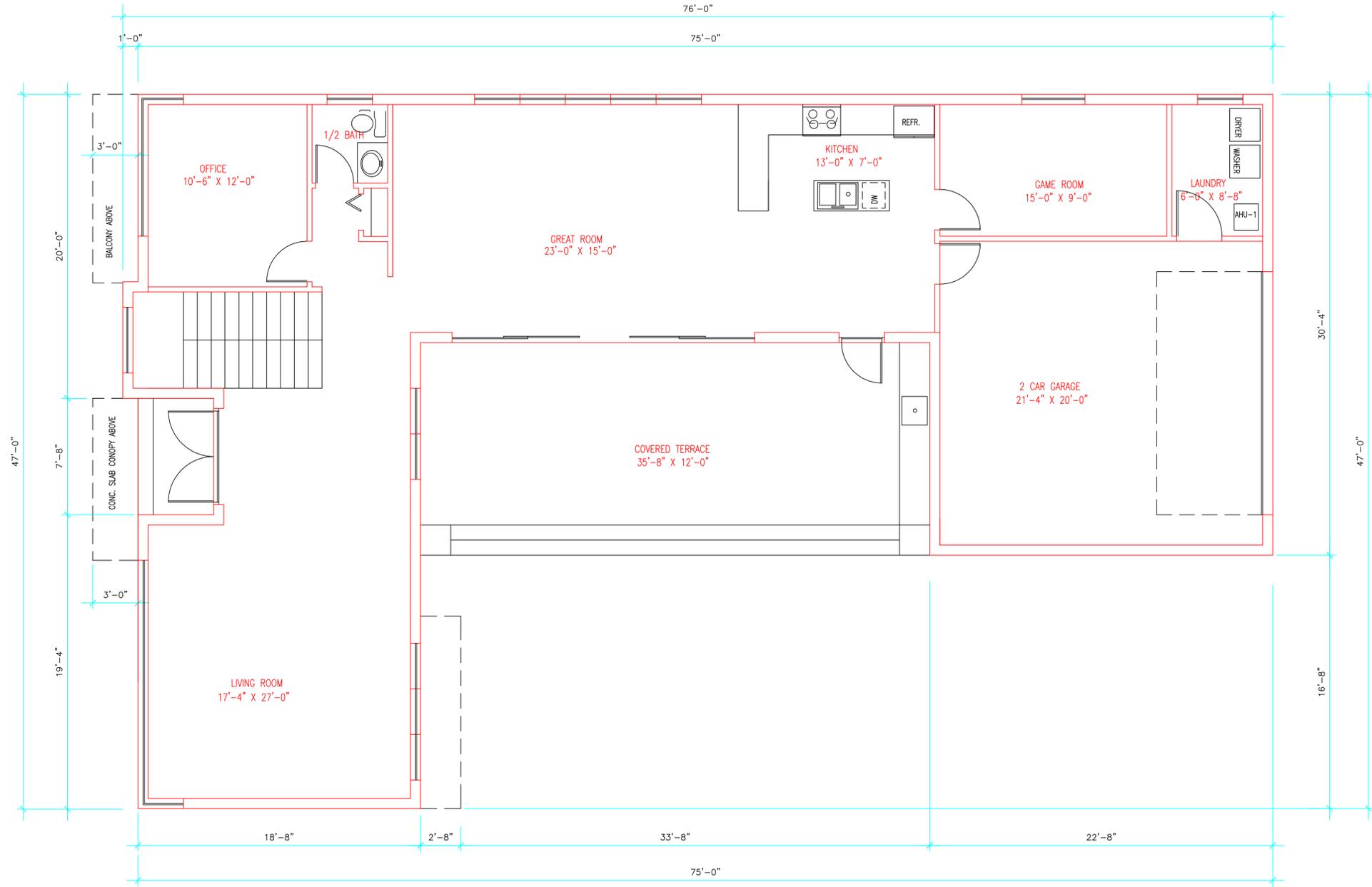
WILKES RESIDENCE
1380 HOLLYWOOD BLVD.
HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR-13378

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

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SHT-2	SITE PLAN
SHT-3	GROUND FLOOR PLAN
SHT-4	SECOND FLOOR PLAN
SHT-5	BUILDING ELEVATIONS



GROUND FLOOR PLAN
 SCALE: 1/4"=1'-0"

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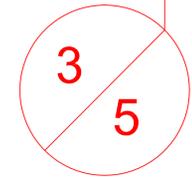
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 DATE 10-22-2019
 COMM. NO. 18-204

NO.	DATE	REVISION
1	12-12-2019	ZONING COMMENTS

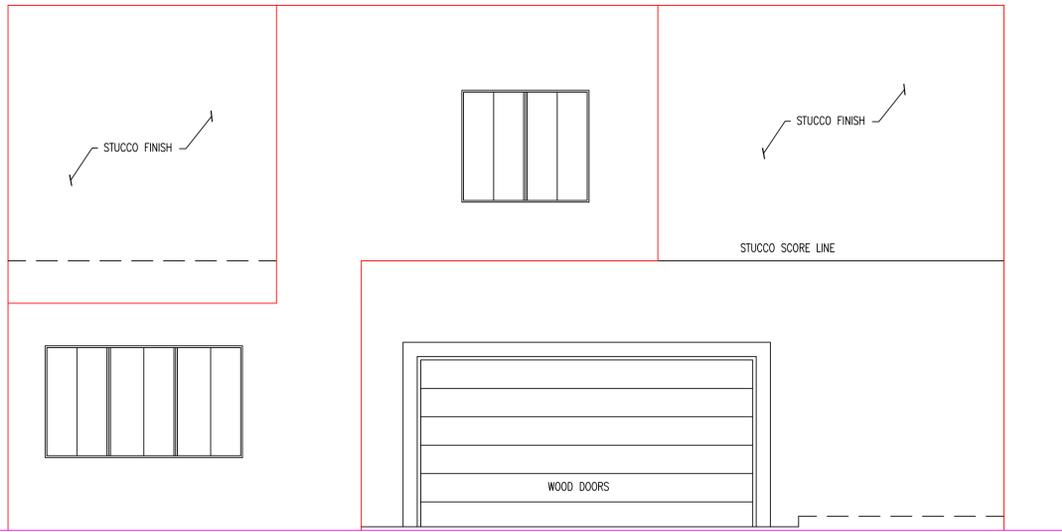
WILKES RESIDENCE
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ALL DESIGN, DRAWINGS, REPORTS, FIELD SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS SHALL BE THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, ALTERED IN WHOLE OR IN PART, IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREIN. NO PARTS NOT TO BE USED ON ANY OTHER PROJECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW AND STATUTE RIGHTS AND OTHER RESERVED RIGHTS IN THIS DESIGN AND ANY OTHER WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

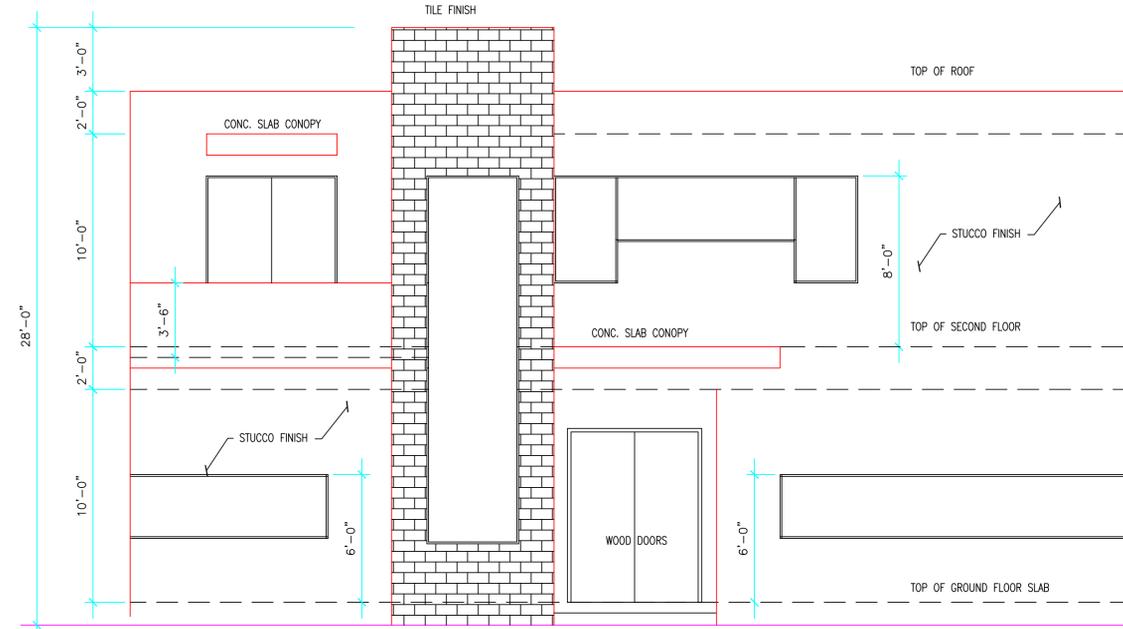


CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK



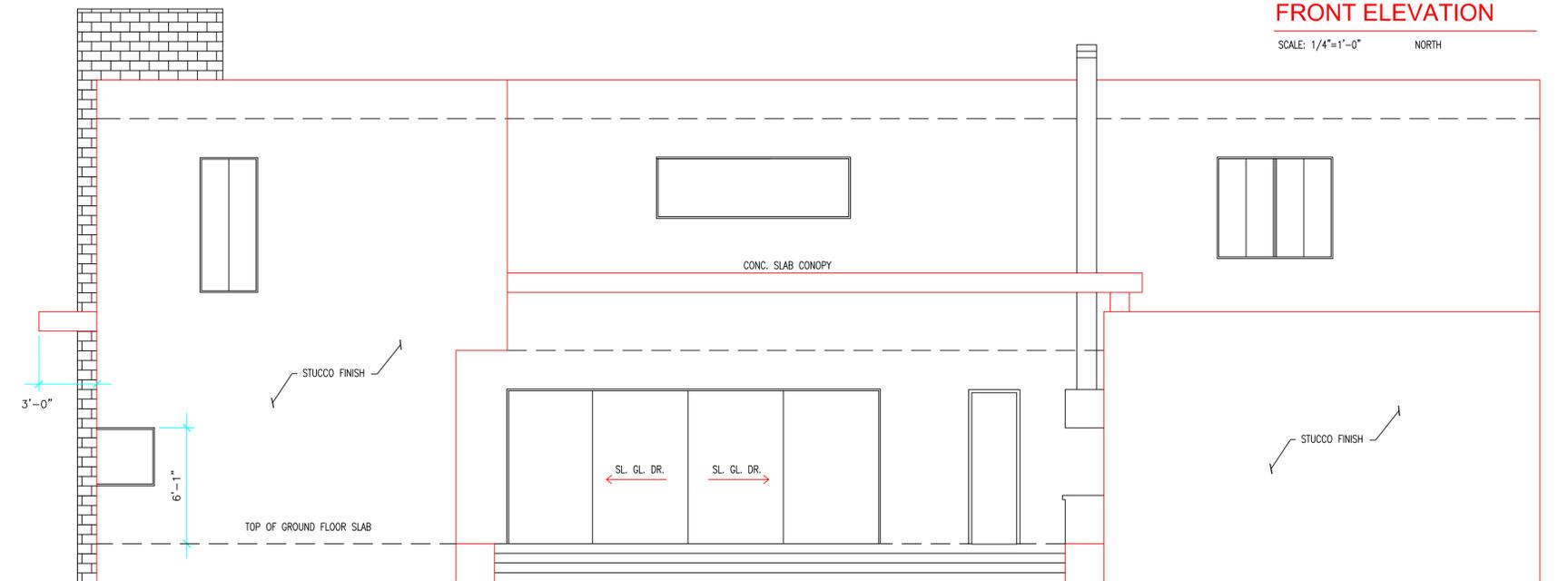
REAR ELEVATION

SCALE: 1/4"=1'-0" SOUTH



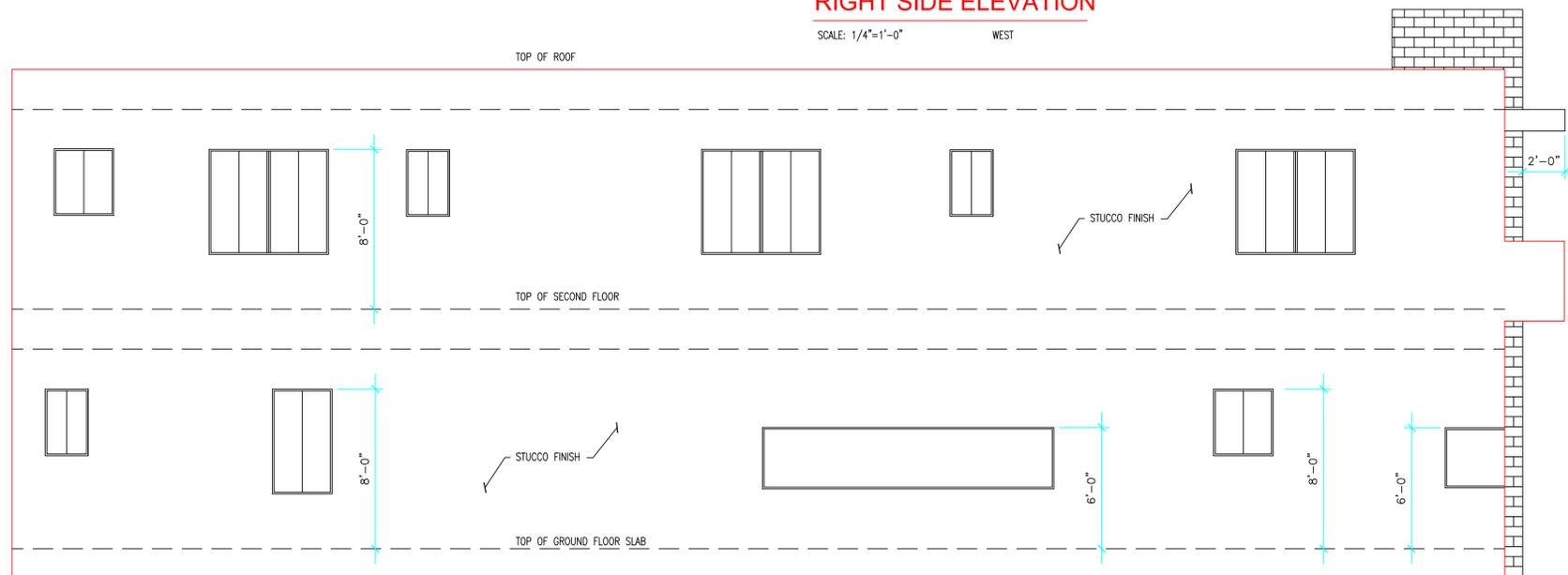
FRONT ELEVATION

SCALE: 1/4"=1'-0" NORTH



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0" WEST



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0" EAST

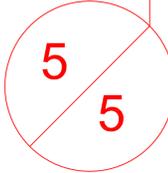
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CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

GENERAL NOTES & SPECIFICATIONS

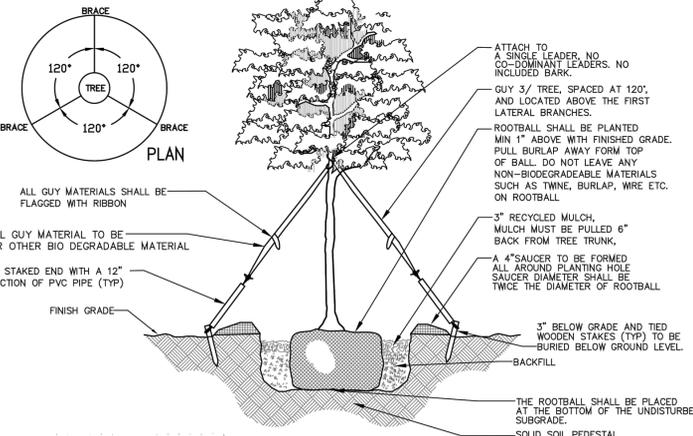
- All proposed plant material shall be a minimum of Florida No. 1 or better as described in Grades and Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
- All planted areas shall contain a three (3) inch layer of shredded sterilized Eucalyptus or Melaleuca mulch such as Flori-mulch. Keep mulch a min. 12" away from tree trunks. Create min. 5' diameter mulch tree rings around all trees not within a shrub or groundcover bed.
- All sod or seed shall be certified (if applicable), and weed and insect free.
- Contractor shall be responsible for locating existing utilities or other obstructions which may interfere with plant installation. Call Sunshine One service for underground utility locations 48 hours prior to any excavation or digging 1-800-432-4770.
- Corner clip and visibility triangles shall be maintained for clear sight visibility in accordance with Local and County roadway clear sight requirements.
- The landscape plans were designed to comply with Florida Friendly Landscape principles with specific consideration of water needs, shade/sun tolerances, structural heat gain, and site opportunities and constraints.
- A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree, and/or site tree work.
- Local Utility and Fire Rescue Clearance Zones shall be provided around all above ground or at grade meters and equipment.
- Where overhead power lines exist, all proposed trees and palm setbacks shall conform with the Florida Power and Light (FPL) Guidelines for setbacks from overhead utility lines.
- Plant quantities are provided for convenience. In the event of discrepancies between plant list counts and plan, plan quantities and layout shall take precedence based on symbols and center-to-center spacing specified on plant list.
- All landscape planting areas shall have amended planting soil of uncompacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash. All compacted soil, contaminated soil or roadbase fill shall be removed. Amended planting soil shall be premixed off site and shall be a ratio by volume mixture of 50% pulverized topsoil/Florida muck organic content and 50% clean, screened sand, free of nematodes and vegetative growth. 10% sphagnum peat or other organic amenity is acceptable in the amended soil mix.
- All sod shall be Paspalum 'Sea Isle 2000' variety turfgrass or approved equal (*Paspalum vaginatum* 'Sea Isle 2000') variety except where noted as "bahagrass sod" which shall be Argentine variety of Bahiagrass (*Paspalum notatum* 'Argentine'). All sod shall be in solid, full pieces. Lay sod tight with staggered joints and roll if necessary to produce a smooth, even finish grade. Infill any gaps or voids in or between pieces with course sand. See detail this page.
- All plant materials shall be guaranteed by the contractor for a period of one year to be in a thriving, healthy condition that is indicative of each species. Any plants that fail within that period shall be replaced immediately with like kind, size, and specs.
- Remove any and all prohibited exotic vegetation from site.
- All landscaped areas shall have an automatic irrigation system with rain sensor and programmable automatic controller as permitted by South Florida Water Management District, County, and Local Codes.
- Other than existing Mahogany tree to remain, all existing vegetation, turf, weeds, groundcover, and other deleterious materials are to be removed in their entirety prior to planting preparation. See landscape planting details and notes herein for amended soil mix and planting preparation.

PLANT LIST AND SPECIFICATIONS

TREE AND PALMS						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
PTY ELE	2	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	8' & 14' GW	10'	STRAIGHT TRUNK, FULL CROWN
*N CALLOUT	16	EXISTING PALMS TO REMAIN	SPECIES VARIES	VARIES	VARIES	SEE SHEET L-100 AND PROTECTION BARRIER DETAIL
*N CALLOUT	4	<i>Roystonea elata</i> (existing to be relocated)	ROYAL PALM RELOCATES	VARIES	VARIES	ROYAL PALMS TO BE RELOCATED, SEE SHEET L-100
SHRUBS AND GROUNDCOVER						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
*N AEC BLA	8	<i>Aechmea blanchetiana</i> 'Raspberry'	GIANT ORANGE BROMELIAD	30" HT	36"	FULL, SPACE PER PLAN
*N EUG RHO	191	<i>Eugenia rhombea</i>	RED STOPPER	24" HT	24"	FULL, SPACE 24" ON CENTER
TRA PUR	203	<i>Tradescantia pallida</i> 'Purpurea'	PURPLE QUEEN	6" CONTAINER	10"	FULL, SPACE 18" ON CENTER

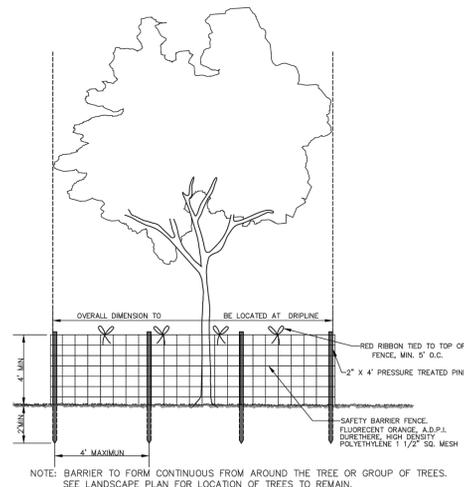
TABULAR DATA CODE CHART

REGULATING DOCUMENT: LANDSCAPE MANUAL & ARTICLE 9 LAND DEVELOPMENT & ZONING REGULATIONS		
ZONING/LAND USE: RS		
SECTION : 2.1 SINGLE FAMILY RESIDENCE (RS)	REQUIRED	PROVIDED
STREET TREE REQUIREMENTS 1 TREE/50LF STREET FRONTAGE @ 191LF	4 TREES	5 TREES (3 RELOCATED, 2 EXTG.)
FRONT YARD TREE REQUIREMENTS 1 TREE/1,250 SF OF FRONT YARD LANDSCAPE AREA	1 TREE	9 EXISTING TREES
NATIVE SPECIES REQUIREMENTS	60% TREES/50% SHRUBS	75% TREES/100% SHRUBS
MITIGATION FOR PALM REMOVALS	1:1 PALM OR 1:3 DICOT	1 DICOT = 3 PALMS @ 1:3



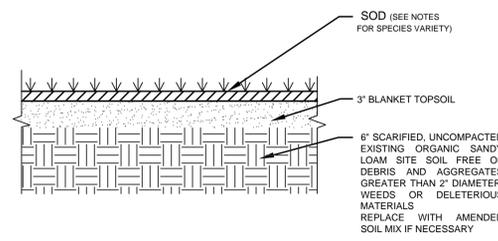
TREE PLANTING DETAIL

N.T.S.



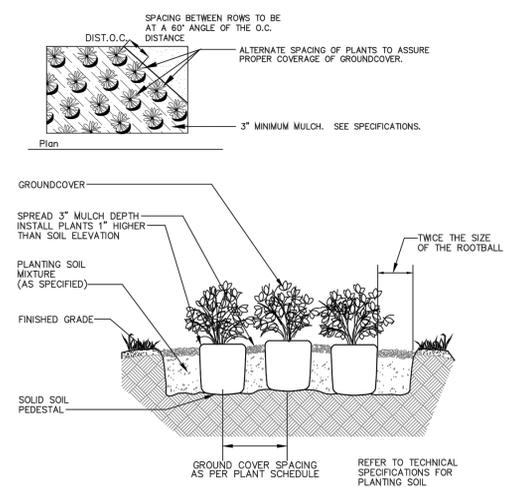
TREE PROTECTION BARRIER DETAIL

N.T.S.



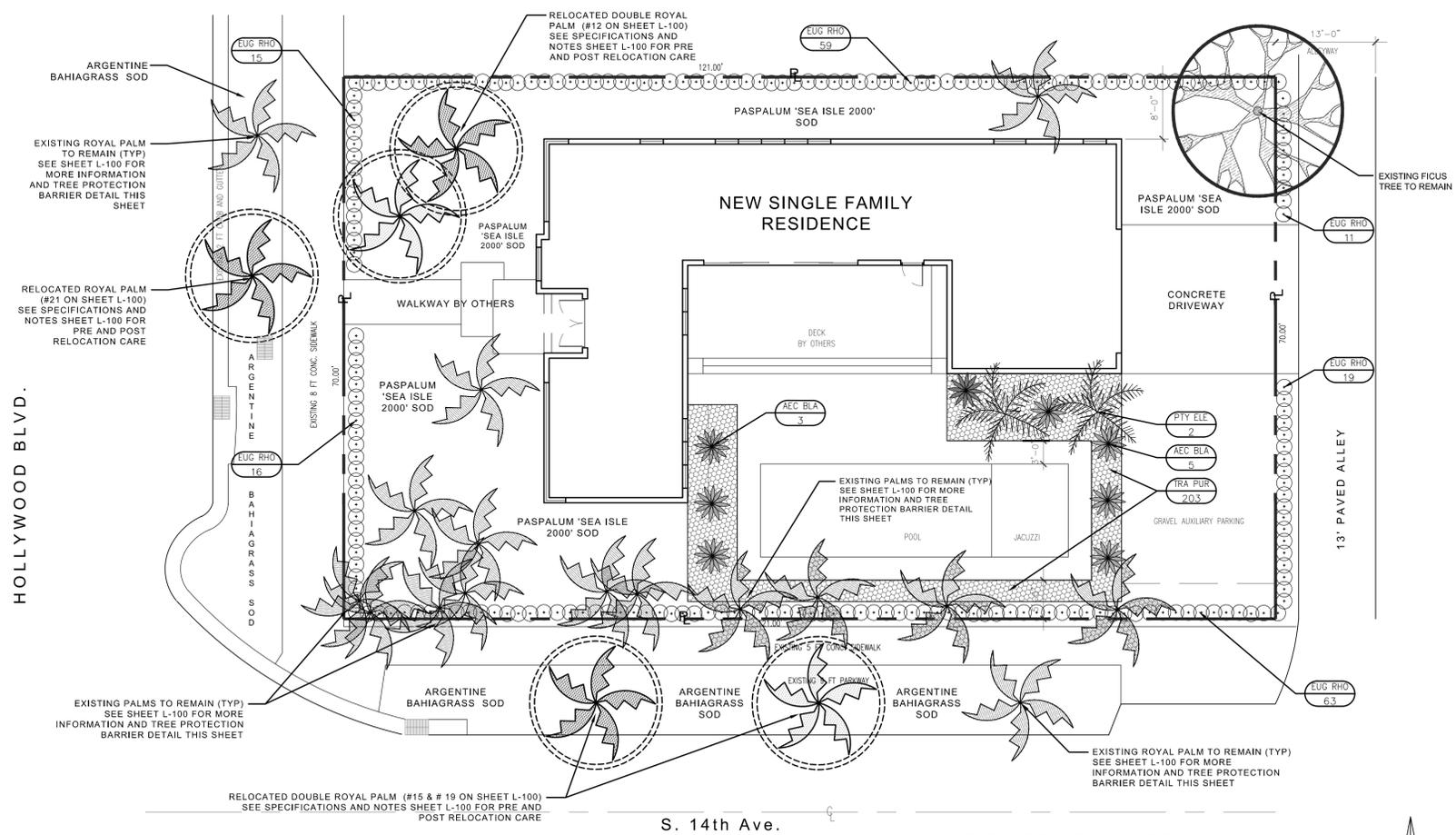
SOD PLANTING DETAIL

N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL

N.T.S.



LANDSCAPE PLANTING PLAN

SCALE: 1" = 10'



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and improper reliance on this document without written authorization and adaptation by Green Earth Landscape Architect, shall be without liability to Green Earth Landscape Architect.

LICENSED PROFESSIONAL
William Dale Bryant
FL LICENSE NUMBER
LA666943

PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISIONS
19-108	04-23-19	AS NOTED	WDB	WDB	WDB	
						12-03-19 WDB

FLORIDA
BROWARD COUNTY

NEW SINGLE FAMILY RESIDENCE
1380 Hollywood Blvd.
Hollywood, FL

GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
PHONE: 352-418-1923
WWW.GREENEARTHARCHITECTURE.COM

LANDSCAPE
PLANTING PLAN

SHEET NUMBER
L-200

IRRIGATION NOTES & SPECIFICATIONS

- CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER, AND SHALL BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL.
- THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS TO REMAIN DURING CONSTRUCTION. ALL TREES TO REMAIN SHALL RECEIVE A FENCE BARRIER PROTECTION DURING CONSTRUCTION. SEE LANDSCAPE DETAILS FOR MORE INFORMATION ON TREE PROTECTION.
- THIS PLAN NOT COMPLETE WITHOUT ALL LANDSCAPE SHEETS.
- IRRIGATION SYSTEM WILL BE A NEW 1-1/2 HP PUMP CENTRIFUGAL PUMP WITH ELECTRONIC CONTROL VALVES, POP-UP SPRINKLER SPRAY HEADS AND AN AUTOMATIC PROGRAMMABLE TIMER WITH RAIN SENSOR SHUT-OFF DEVICE.
- IRRIGATION CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND GENERAL CONTRACTOR TO COORDINATE POWER NEEDS FOR 220V PUMP STATION AND CONTROLLER. THIS MUST BE DONE BEFORE PROJECT CONSTRUCTION BEGINS SO PROPER CALCULATIONS CAN BE DETERMINED AND PROPER INFRASTRUCTURE FOR IRRIGATION AND ELECTRICAL REQUIREMENTS ARE PROVIDED BEFORE PAVING OCCURS. CONTROLLER LOCATION SHOWN IS RECOMMENDED LOCATION ONLY. FINAL DETERMINATION TO BE BY OWNER OR OWNER'S REPRESENTATIVE FOR CONVENIENCE, EASE OF MAINTENANCE AND ACCESS.
- THE SCOPE OF WORK INTENDED WHEN BIDDING ON THESE IRRIGATION PLANS IS TO PROVIDE A COMPLETE, COMPLIANT, SAFE, FULLY-OPERATIONAL, INSTALLED IRRIGATION SYSTEM ACCORDING TO THE DESIGNED IRRIGATION SYSTEM HEREIN. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL COMPONENTS, APPROVALS, AND WORKMANSHIP TO MAKE THE SYSTEM FUNCTION PROPERLY AND PROVIDE 100% (HEAD-TO-HEAD) COVERAGE OF ALL PVIOUS AREAS WITHIN THE SCOPE OF WORK.
- THE IRRIGATION CONTRACTOR SHALL VISIT THE SITE PRIOR TO PLACING A BID AND BECOME FAMILIAR WITH EXISTING CONDITIONS. AFTER REVIEWING THE PLANS AND VISITING THE SITE, CONTRACTOR SHALL BRING ALL QUESTIONS OR POTENTIAL CONFLICTS TO THE WRITTEN ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PLACING A BID.
- ALL SLEEVE SHALL BE SCHEDULE 80 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN THE SUPPLY LINE(S) CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 12" BELOW FINISHED GRADE OF PAVEMENT OR AS REQUIRED BY CODE. ALL PIPE AND CONTROL WIRING SHALL BE INSTALLED IN SLEEVES WHEN BENEATH PAVEMENT.
- ALL AUTOMATIC RAINBIRD VALVES SHALL BE INSTALLED IN A RECTANGULAR FIBERGLASS BOX AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND ACCESS. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE AND SHALL INSURE PERCOLATION THROUGH THE BOX.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS OR RESTRICTIONS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION PLAN IS SCHEMATIC. IRRIGATION CONTRACTOR TO ADJUST TO FIELD CONDITIONS AND INACCURACIES THAT ARE INHERENT WITH DRAWINGS AT THIS SCALE. IRRIGATION CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR ANY SUBSTANTIAL CHANGES THAT WOULD NOT CONFORM TO THE INTENT OF THE IRRIGATION PLANS. NO SUBSTITUTIONS IN MANUFACTURER MATERIALS WILL BE ACCEPTED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO ORDERING, PLANNING, OR INSTALLATION.
- ALL MAIN AND LATERAL PIPING RUNS TO HAVE SOLVENT WELD JOINTS.
- CONTROLLER SHALL BE RAINBIRD ESP-RZx6 4-STATION CONTROLLER WITH INTEGRATED RAIN SENSOR SHUT-OFF.
- PLAN WAS DESIGNED BASED ON ASSUMPTION OF AT LEAST 30 PSI TO END OF ZONES INCLUDING PRESSURE LOSS FROM PIPE RUN LENGTHS, TURNS, ZONE VALVES, FITTINGS AND ELEVATION CHANGES.
- ALL ZONE VALVE WIRING TO BE DIRECT BURIAL TYPE AS RECOMMENDED BY ZONE VALVE MANUFACTURER.
- INSTALL A MINIMUM OF ONE (1) BUBBLER NOZZLE AT EACH TREE OR PALM ROOTBALL SET AT A RATE OF .25 GPM. BUBBLER NOZZLES ARE NOT SHOWN ON THE PLAN FOR GRAPHIC CLARITY OF OTHER COMPONENTS.

IRRIGATION SYMBOL LEGEND

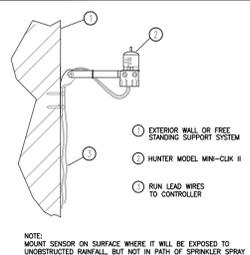
- RAINBIRD PGB REMOTE ELECTRIC ZONE VALVE
- 1-1/2" SCHEDULE 40 PVC MAIN LINE PIPE
- SCHEDULE 200 LATERAL (CIRCUIT) PVC PIPE
- IRRIGATION ZONE CALLOUT
- SCHEDULE 80 PVC SLEEVE PIPE (MINIMUM TWICE THE SIZE OF PIPE BEING SLEEVED)
- 1-1/2 HP PUMP STATION INCLUDING:
 - 1-1/2 HP CENTRIFUGAL SINGLE PHASE 240V SELF PRIMING PUMP
 - RAINBIRD ESP-RZx6 6-STATION PROGRAMMABLE CONTROLLER WITH INTEGRAL RAIN SENSOR SHUT-OFF DEVICE (CLEAR OF OVERHEAD OBSTRUCTIONS)
 - ELECTRICAL CIRCUIT OVERLOAD PROTECTION
 - 3,000 PSI 4" CONCRETE PAD WITH SHOCK ABSORBING PUMP MOUNTS

NOTE: INSTALL ONE BUBBLER NOZZLE FOR EACH NEW TREE ON FLEXIBLE PIPING. ADJUST SET SCREW TO EMIT NO MORE THAN .25 GPM.

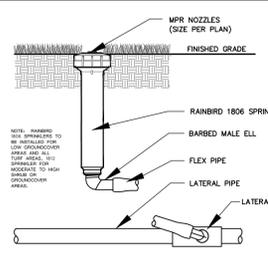
SPRINKLER AND NOZZLE SCHEDULE

SYMBOL	DESCRIPTION	G.P.M.	THROW
8Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10Q MPR SPRAY NOZZLE	.26	8'
10Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10Q MPR SPRAY NOZZLE	.39	10'
10H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10H MPR SPRAY NOZZLE	.79	10'
12Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12Q MPR SPRAY NOZZLE	.65	12'
12H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12H MPR SPRAY NOZZLE	1.30	12'
12V	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12V MPR SPRAY NOZZLE	VARIES	12'
15Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15Q MPR SPRAY NOZZLE	.92	15'
15H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15H MPR SPRAY NOZZLE	1.85	15'
15V	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15V MPR SPRAY NOZZLE	VARIES	15'
15EST	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15RCS MPR SPRAY NOZZLE	.49	4X15'
15SST	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15SST MPR SPRAY NOZZLE	1.21	4X30'
PDP-ADJ	HUNTER PDP ADJUSTABLE POP UP GEAR DRIVE ROTOR (SPRAY NOZZLE VARIES WITH RADII)	2.50	30' MAX

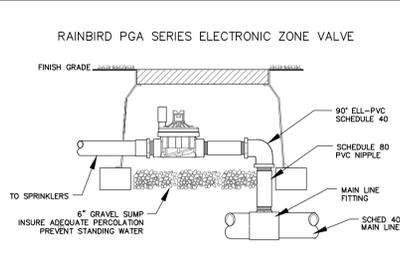
IRRIGATION DETAILS N.T.S.



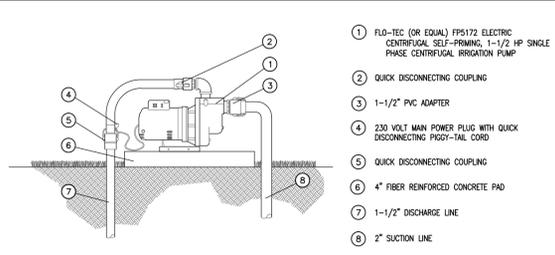
RAIN SENSOR DETAIL



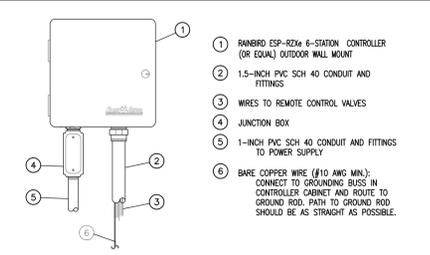
SPRINKLER HEAD DETAIL



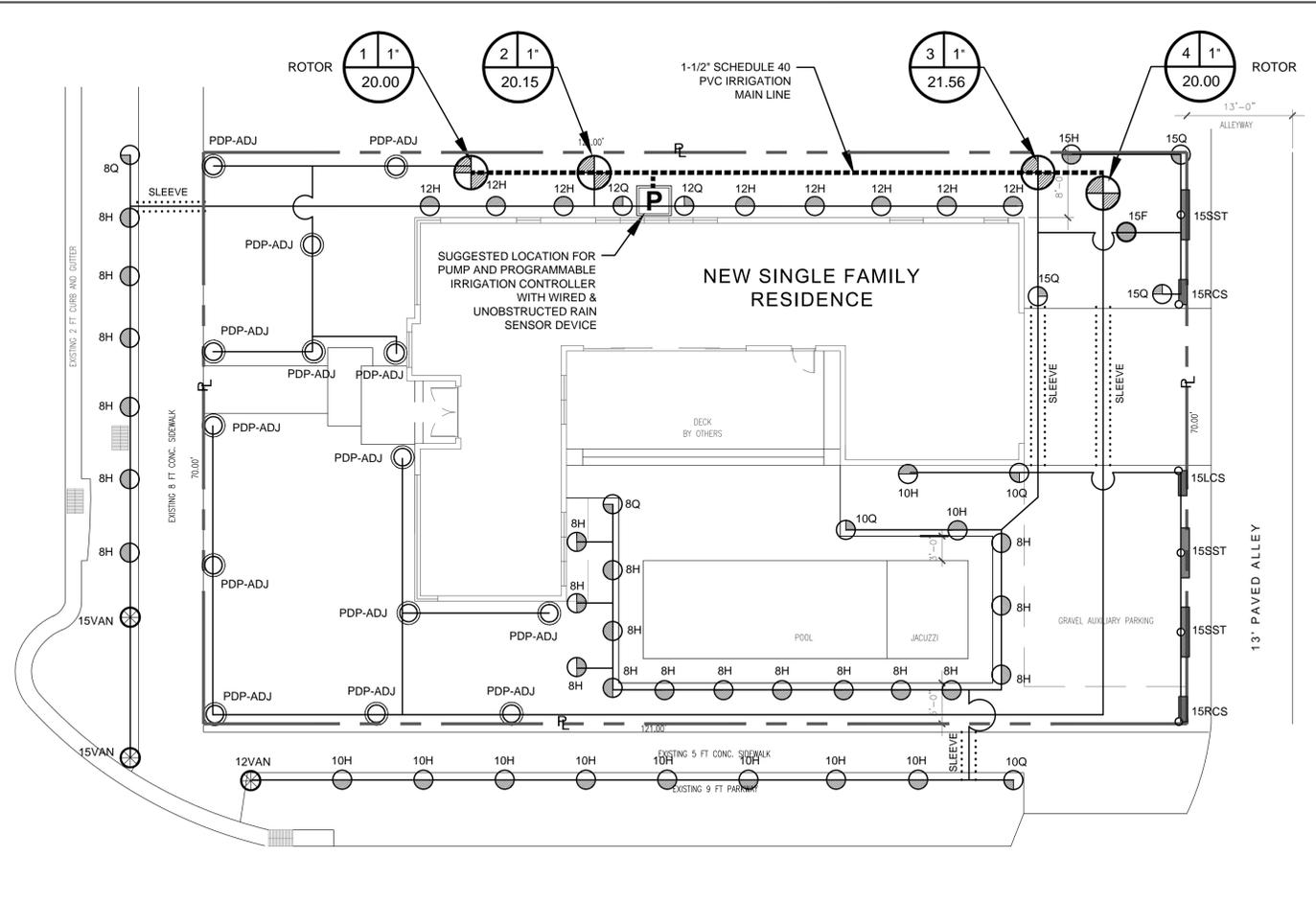
ZONE VALVE DETAIL



IRRIGATION PUMP DETAIL



PROGRAMMABLE CONTROLLER DETAIL



IRRIGATION PLAN

SCALE: 1" = 10'



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LICENSED PROFESSIONAL
 William Dale Bryant
 FL LICENSE NUMBER
 LA666943

NO.	REVISIONS	DATE	BY

PROJECT # 19-108
 DATE 04-23-19
 SCALE AS NOTED
 DESIGNED BY WDB
 DRAWN BY WDB
 CHECKED BY WDB

FLORIDA
 BROWARD COUNTY
 NEW SINGLE FAMILY RESIDENCE
 1380 Hollywood Blvd.
 Hollywood, FL

GREEN EARTH
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 C.W.M. 0161.0191@greenearthla.com PHONE: 954-618-1822

IRRIGATION PLAN

SHEET NUMBER
L-300





