

**1 BIKE RACK DETAIL**  
SCALE: N/A

**SITE PLAN GENERAL NOTES:**

- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
- ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
- MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
- ANY LIP IN THE PAVEMENT 1/4" BUT NOT LARGER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

**APPLICABLE CODES:**

**BUILDING ACCESSIBILITY:** FLORIDA BUILDING CODE , BUILDING, 8th EDITION(2023). FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AS ADOPTED PURSUANT TO SECTION 553.503 FLORIDA STATUTES.  
**LIFE SAFETY FIRE PREVENTION:** N.E.F.A. 101 - LIFE SAFETY CODE (2021). FLORIDA FIRE PREVENTION CODE, 8th EDITION (2023).

**ZONING:**

EXISTING: PUD-R

**LAND USE:**

EXISTING CLASSIFICATION: MEDIUM (16) RESIDENTIAL  
EXISTING USE: OFFICE AND VACANT

**DENSITY:**

ALLOWED: UNLIMITED  
PROPOSED: 49 UNITS / ACRE (DU/ACRE)

**LEGAL DESCRIPTION:**

Portions of Blocks 6 and 9 of "HILLWOOD SECTION THREE as recorded in Plat Book 69, Page 10 of the Public Records of Broward County, Florida Together with portions of Tracts Osm and brish, Hillcrest Country Club North, as recorded in Plat Book 163, Pages is through 24 of the Public Records or Broward County, Florida, sold portions being more particularly described as follows;

Commencing at the Westerly Most Northwest corner of said Tract OS-1; Thence North 88°17'07" East, along the North line of said Tract OS-1, 29.91 feet to a point of intersection with the Northerly Prolongation of the Westerly line of said Tract OS-1 and the Point of Beginning; Thence South 01°43'26" East, along said Northerly Prolongation and said Westerly line, 236.74 feet to a point on a non-tangent curve concave to the Southwest (through which a radial line bears South 10°29'57" West to the radius point) lying on the Northerly right-of-way line of Hillcrest Drive also being the Southerly line of said Block 9; Thence, along the Northerly and Easterly right-of-way line of said Hillcrest Drive, the Southerly line of said Block 9 and the Southerly and Westerly line of said Block 6 the following four courses (4); (1) Northwesterly, along the arc of said curve having a Radius of 468.63 feet, a Central Angle of 07°40'58" and an Arc distance of 64.07 feet to point of Tangency; (2) North 87°20'01" West, 48.17 feet to a point of curvature of a curve concave to the Northwest; (3) Northwesterly along the arc of said curve having Radius of 300.00 feet, a Central Angle of 64°06'35" and an Arc distance of 335.68 feet to a point of Tangency; Thence North 23°13'26" West, 94.61 feet; Thence, departing said Westerly right-of-way line and the Easterly line of said Block 6, North 88°17'07" East, 368.66 feet; Thence North 01°38'31" West, 185.00 feet; Thence North 88°17'07" East, 103.00 feet to point on the East line of said Block 6 also being the West line of Parcel 4, Tallwood Amended as recorded in Plat Book 64, Page 39 of the Public Records of Broward County, Florida; Thence South 01°38'31" East, along said East and West line, 185.00 feet to a point on the North line of said OS-1; Thence South 88°17'07" West, along said North line 69.38 feet to the Point of Beginning.

Said lands lying in the City of Hollywood, Broward County, Florida and containing an area of 106,862 Square Feet, (2.453 Acres) more or less.

**FLOOD ZONE:**

FLOOD ZONE: AH 9'  
ELEVATION: 6.54' (NAVD88) (PUBLISHED AS ELEVATION = 8.14 (NGVD29) BEING A SQUARE CUT IN NW CORNER OF CONCRETE SIDEWALK AT #2550 PARK ROAD, AND TO NATIONAL GEODETIC SURVEY (NGS) DESIGNATION - M312, ELEVATION = 13.44' (NAVD88)

**SITE INFO:**

	REQUIRED	PROVIDED
LOT AREA:	106,800 SF	106,800 SF (2.45 ACRE)
LOT COVERAGE:	N/A	19,064 SF
FAR:	3.00 MAX	1.08
OPEN SPACE TOTAL:	(MIN. 20% PUD)	SITE 36% (37,973 SF)
PERVIOUS AREA (LANDSCAPE):	(MIN. 35% PUD)	SITE 30 % (32,149 SF)
IMPERVIOUS AREA:	(MIN. 65% PUD)	SITE 70 % (74,651 SF)
BUILDING HEIGHT:	140'-0" MAX.	90'-8" TO HIGHEST POINT
# BUILDING STORIES:	MAX. 10 STORIES	8 STORIES

**BUILDING HEIGHT:**

PROPOSED HEIGHT: 8 STORIES

**BUILDING SETBACKS:**

	REQUIRED	PROVIDED
FRONT (HILLCREST):	50'-0"	7'-6"
SIDE (EAST):	50'-0"	114'-0"
SIDE (NORTH):	50'-0"	54'-4"

**UNIT MATRIX:**

UNIT TYPE	DESCRIPTION	PROJECT TOTAL (%)	UNIT AREA (SF)	BALCONY AREA (SF)	TOTAL UNITS
A1	1B/1B	56 %	671	50	68
A2	1B/1B	6 %	691	50	7
B1	2B/2B	20 %	989	50	24
B2	2B/2B	12 %	937	50	14
B3	2B/2B	6 %	1,010	50	7
TOTAL UNITS IN PROJECT					120 (100%)

**PROPOSED PARKING:**

PARKING REQUIREMENTS:	CRITERIA:	REQUIRED:
OFFICE: 3,901 SF	1 PER 250 SF	16 SPACES
MULTI-FAMILY	CRITERIA:	REQUIRED:
120 TOTAL UNITS (A1-A2)	1.5 SPACE / UNIT	112.5 SPACES
(B1-B2-B3) 45 UNITS	1.5 SPACE / UNIT	67.5 SPACES
GUEST PARKING	1 SPACE / 5 UNITS	24 SPACES
TOTAL PARKING SPACES REQUIRED:		204 SPACES
TOTAL PARKING SPACES PROVIDED:		137 SPACES (TOTAL) (INCL. 5 ADA SPACES)

**GENERAL LAYOUT LEGEND (SITE PLAN)**

- LANDSCAPE
- CONCRETE SIDEWALK
- DRIVEWAY
- SIDEWALK TILE TYPE 1
- SIDEWALK TILE TYPE 2
- BUILDING AREA
- POOL

**SYMBOLS LEGEND**

- EXIT ACCESS TRAVEL DISTANCE (FBC TABLE 1017.2 - SPRKL 250' MAX.)
- 5'-0" LANDSCAPE BUFFER
- 6'-0" EASEMENT
- EV READY STALLS

- WHITE SYMBOL ON BLUE: PARKING BY DISABLED PERMIT ONLY
- BLACK LETTERS ON WHITE W/ 1/2" LETTERS: TOW-AWAY ZONE AND FINE UP TO \$250.00
- WHITE LETTERS ON BLUE: VAN ACCESSIBLE
- NOTES: SIGN TO BE PLACED AT A CLEARANCE OF 84" FROM FINISH FLOOR
- HANDICAP PARKING SIGN

- NOTES: 1. GROUT FULLY FULLY UNDER WHEEL STOP.
- PRECAST CONC. WHEEL STOP 6'-0" LONG W/CONT. #4 BAR SET ON FULL BED OF EPOXY ADHESIVE.
- DRIVEWAY SURFACE
- NOTES: THE BOTTOM OF THE SIGN MUST BE AT LEAST 84" ABOVE GRADE WHEN ATTACHED TO A BUILDING, OR 7 FEET ABOVE GRADE FOR A DETACHED SIGN.

- BLACK LETTERS ON WHITE W/ 1/2" LETTERS: ELECTRIC VEHICLE CHARGING AND STATION
- ELECTRIC VEHICLE CHARGING STATION SIGN

- 4'x4' HANDICAP SYMBOL (WHITE PAINTED) IN THE REAR 1/3 OF PARKING STALL
- PRECAST CONC. WHEEL STOP ADHERED TO SLAB

- 4" BLUE PAINTED STRIPE WHERE REQ'D. (TYP.)
- 4" WHITE PAINTED STRIPE WHERE REQ'D. @ 45 DEGREES AND 24" O. C. (TYP.)
- STANDART PARKING STALL STRIPING

- 4" WHITE PAINTED STRIPE WHERE REQ'D. (TYP.)

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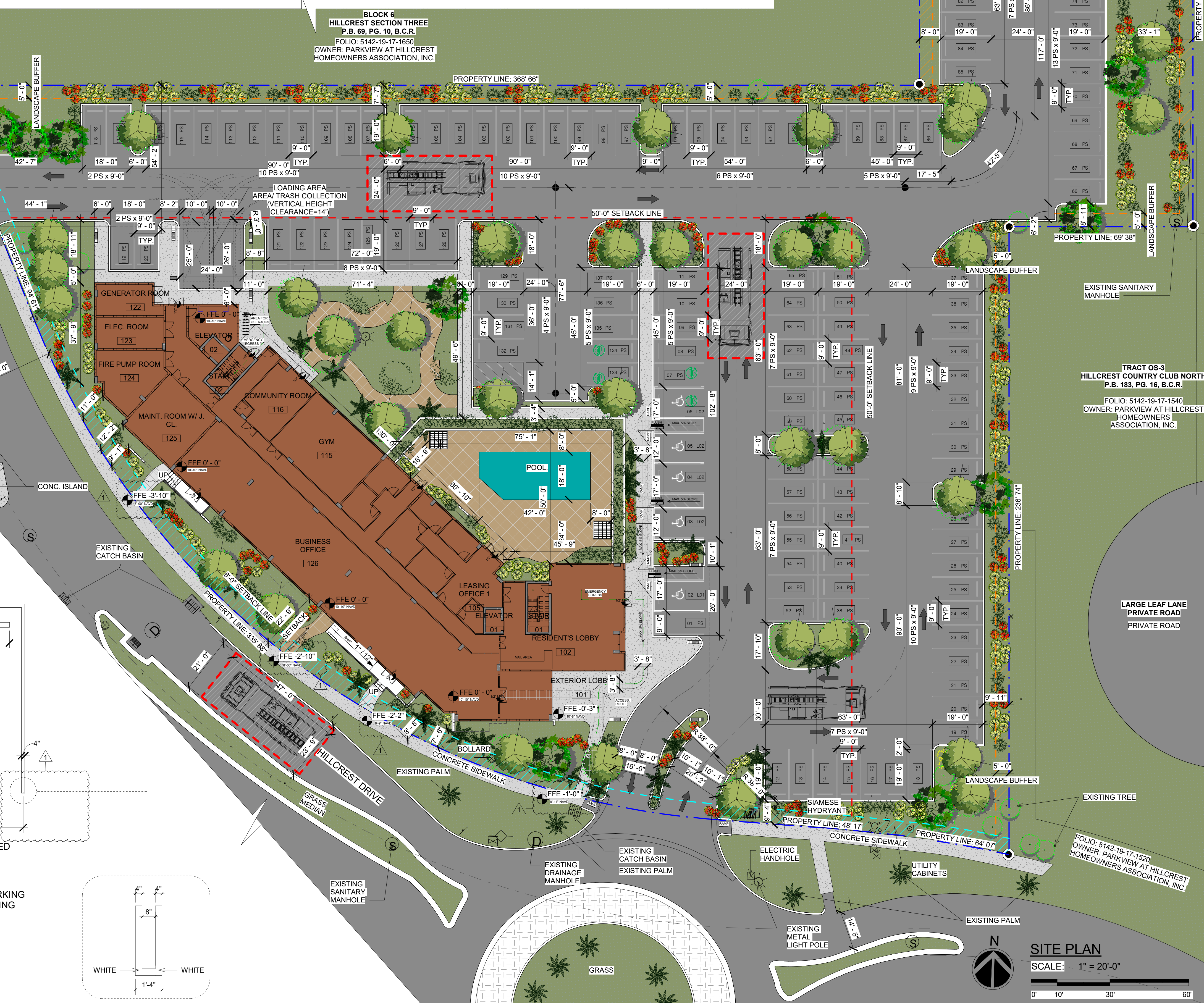
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- 4" WHITE PAINTED STRIPE WHERE REQ'D. (TYP.)



**SITE PLAN**  
SCALE: 1" = 20'-0"

FINAL TAC (NOT FOR CONSTRUCTION)



1701 PONCE DE LEON BLVD | SUITE 201  
CORAL GABLES, FLORIDA 33134  
o - 305.284.7325  
e - ra@realizationarchitects.com  
w - www.realizationarchitects.com

CLIENT / PROJECT:

HILLCREST VILLAGE  
1101 HILLCREST DRIVE,  
HOLLYWOOD, FL 33021

CONSULTANTS:  
CIVIL: HSG GROUP, LLC  
4577 N NOB HILL ROAD, SUITE 205  
SUNRISE, FLORIDA, 33351  
(954) 440-6990 X1000  
Justine@hsggroup.net

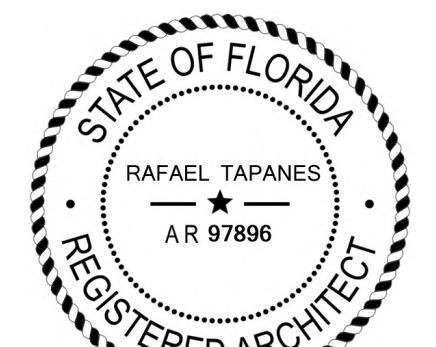
LANDSCAPE: WALKLAUD  
6915 SW 57TH AVENUE ||  
SUITE 203  
CORAL GABLES, FL 33143  
O-785.508.2008  
Devin@walklaud.com

**REVISIONS:**

No.	Description	Date
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RAFAEL TAPANES AR97896

DISCIPLINE / SHEET TITLE:

SITE PLAN

SCALE: AS SHOWN

SHEET NO:

**A-100**

50'-0" SETBACK LINE

GENERAL INFORMATION	GENERAL LAYOUT LEGEND																				
<b>COUNT</b> UNIT A1 = 68 UNIT A2 = 7  UNIT B1 = 24 UNIT B2 = 14 UNIT B3 = 7  <b>TOTAL UNITS IN PROJECT = 120</b>  <b>UNIT SQFT</b> UNIT A1 = 671 SQFT UNIT A2 = 691 SQFT  UNIT B1 = 989 SQFT UNIT B2 = 937 SQFT UNIT B3 = 1,010 SQFT  <b>PARKING</b> REQUIRED = 167 SPACES PROVIDED = 136 SPACES	<table border="0"> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span></td> <td>COMMON AREA</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span></td> <td>VERTICAL CIRCULATION</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightyellow;"></span></td> <td>AMENITIES</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightorange;"></span></td> <td>BOH PROGRAM</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightpurple;"></span></td> <td>UNIT A1</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span></td> <td>UNIT A2</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span></td> <td>UNIT B1</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightyellow;"></span></td> <td>UNIT B2</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightorange;"></span></td> <td>UNIT B3</td> </tr> <tr> <td><span style="display:inline-block; width:15px; height:10px; background-color:lightpurple;"></span></td> <td>UNIT B3</td> </tr> </table>	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	COMMON AREA	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	VERTICAL CIRCULATION	<span style="display:inline-block; width:15px; height:10px; background-color:lightyellow;"></span>	AMENITIES	<span style="display:inline-block; width:15px; height:10px; background-color:lightorange;"></span>	BOH PROGRAM	<span style="display:inline-block; width:15px; height:10px; background-color:lightpurple;"></span>	UNIT A1	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	UNIT A2	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	UNIT B1	<span style="display:inline-block; width:15px; height:10px; background-color:lightyellow;"></span>	UNIT B2	<span style="display:inline-block; width:15px; height:10px; background-color:lightorange;"></span>	UNIT B3	<span style="display:inline-block; width:15px; height:10px; background-color:lightpurple;"></span>	UNIT B3
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1701 PONCE DE LEON BLVD | SUITE 201  
 CORAL GABLES, FLORIDA 33134  
 P - 305.284.7325  
 E - ra@realizationarchitects.com  
 W - www.realizationarchitects.com

CLIENT / PROJECT:

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 1101 HILLCREST DRIVE,  
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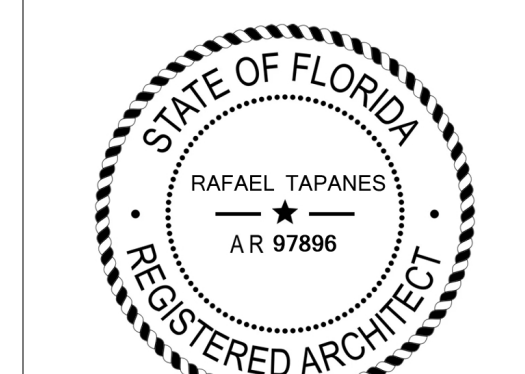
CONSULTANTS:  
**CIVIL**  
 HSQ GROUP, LLC  
 4577 N NOB HILL ROAD, SUITE 205  
 SUNRISE, FLORIDA 33351  
 (954) 440-6990 X1000  
 Justine@hsqgroup.net

**LANDSCAPE**  
 WALKLAUD  
 6915 SW 57TH AVENUE II  
 SUITE 203  
 CORAL GABLES, FL 33143  
 (305) 440-2000  
 Devin@walklaud.com

REVISIONS:

No.	Description	Date
1	Revision 1	02/12/2025

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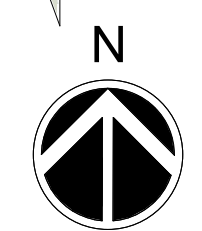
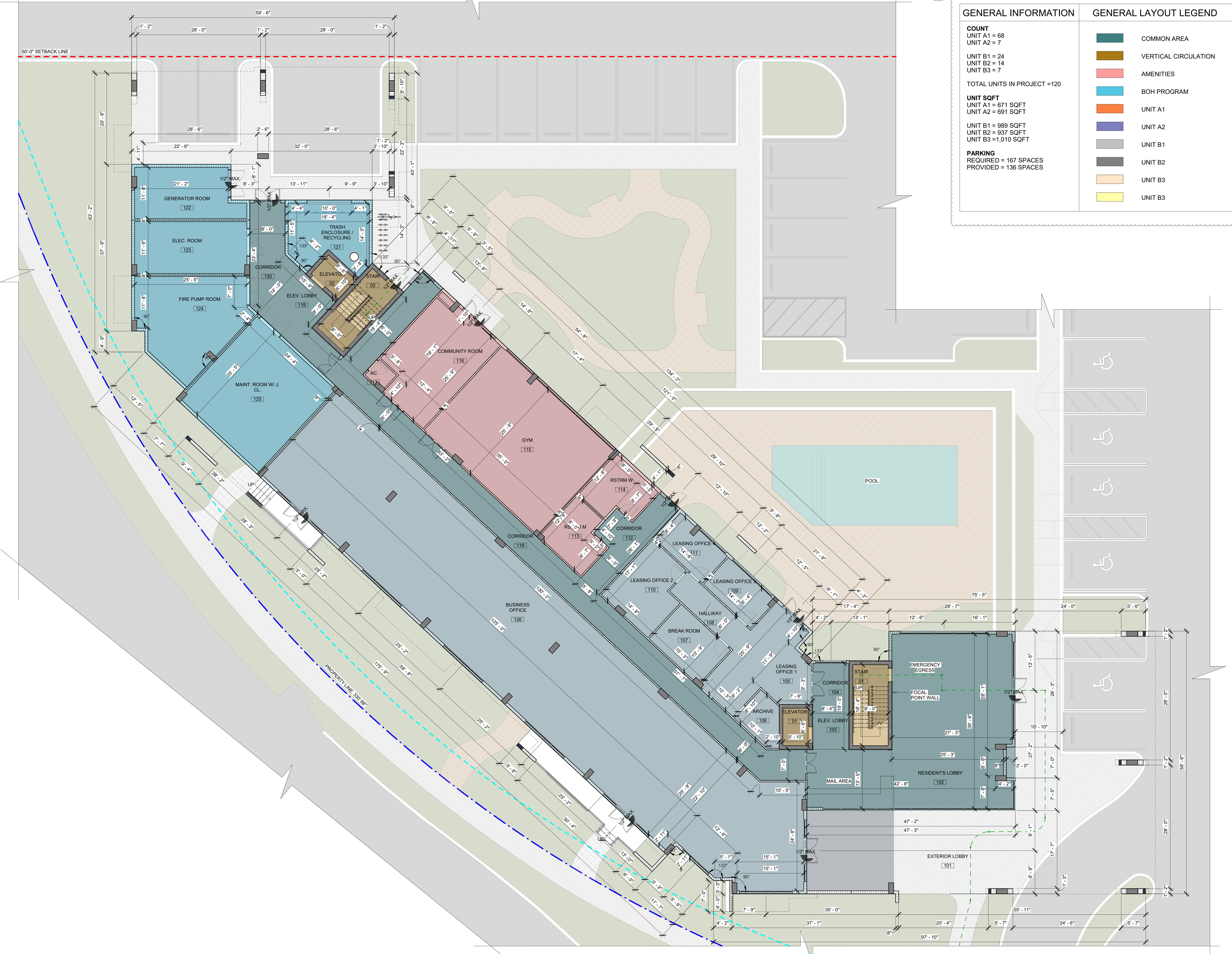
DISCIPLINE / SHEET TITLE:

OVERALL FLOOR PLAN - LEVEL 01

SCALE: AS SHOWN

SHEET NO:

**A-200**



**OVERALL FLOOR PLAN - LEVEL 01**

SCALE: 1/8" = 1'-0"



FINAL TAC (NOT FOR CONSTRUCTION)



GENERAL INFORMATION	GENERAL LAYOUT LEGEND
<b>COUNT</b> UNIT A1 = 68 UNIT A2 = 7  UNIT B1 = 24 UNIT B2 = 14 UNIT B3 = 7  TOTAL UNITS IN PROJECT = 120	<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> <p><b>UNIT SQFT</b> UNIT A1 = 671 SQFT UNIT A2 = 691 SQFT  UNIT B1 = 989 SQFT UNIT B2 = 937 SQFT UNIT B3 = 1,010 SQFT</p> <p><b>PARKING</b> REQUIRED = 167 SPACES PROVIDED = 136 SPACES</p> </div> <div style="width: 55%;"> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #4682B4; margin-right: 5px;"></span> COMMON AREA</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #8B4513; margin-right: 5px;"></span> VERTICAL CIRCULATION</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF69B4; margin-right: 5px;"></span> AMENITIES</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #00CED1; margin-right: 5px;"></span> BOH PROGRAM</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF4500; margin-right: 5px;"></span> UNIT A1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #483D8B; margin-right: 5px;"></span> UNIT A2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #A9A9A9; margin-right: 5px;"></span> UNIT B1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #696969; margin-right: 5px;"></span> UNIT B2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFDAB9; margin-right: 5px;"></span> UNIT B3</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFFF00; margin-right: 5px;"></span> UNIT B3</li> </ul> </div> </div>

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 1701 PONCE DE LEON BLVD | SUITE 201  
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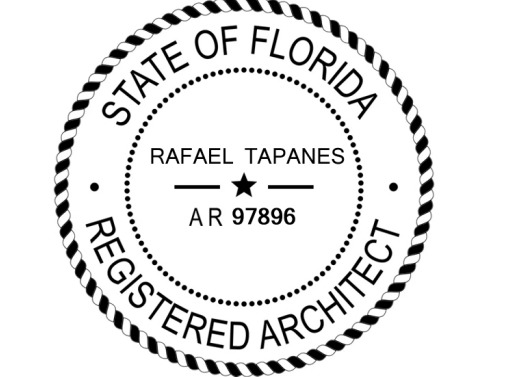
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 WALKLAUD  
 6915 SW 57TH AVENUE ||  
 SUITE 203  
 CORAL GABLES, FL 33143  
 O-786.538.2088  
 Devin@walklaud.com

REVISIONS:

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RAFAEL TAPANES AR97896  
 DISCIPLINE / SHEET TITLE:  
 OVERALL FLOOR PLAN - LEVEL 02  
 SCALE: AS SHOWN  
 SHEET NO: **A-201**

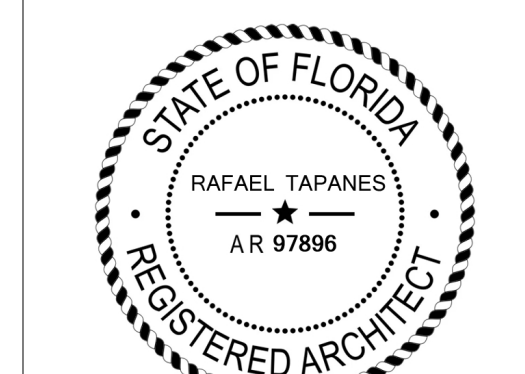
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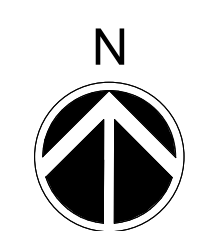
DISCIPLINE / SHEET TITLE:

OVERALL FLOOR PLAN - LEVEL 03, 04, 05, 06 & 07

SCALE: AS SHOWN

SHEET NO:

**A-202**



OVERALL FLOOR PLAN - LEVEL 03, 04, 05, 06 & 07

SCALE: 1/8" = 1'-0"



FINAL TAC (NOT FOR CONSTRUCTION)

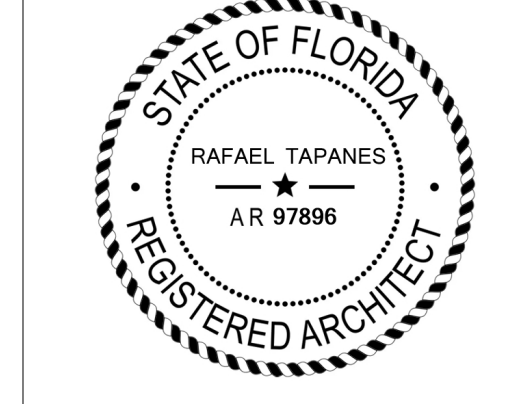
GENERAL INFORMATION	GENERAL LAYOUT LEGEND
<b>COUNT</b> UNIT A1 = 68 UNIT A2 = 7  UNIT B1 = 24 UNIT B2 = 14 UNIT B3 = 7  TOTAL UNITS IN PROJECT = 120  <b>UNIT SQFT</b> UNIT A1 = 671 SQFT UNIT A2 = 691 SQFT  UNIT B1 = 989 SQFT UNIT B2 = 937 SQFT UNIT B3 = 1,010 SQFT  <b>PARKING</b> REQUIRED = 167 SPACES PROVIDED = 136 SPACES	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #4682B4; margin-right: 5px;"></span> COMMON AREA</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #8B4513; margin-right: 5px;"></span> VERTICAL CIRCULATION</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF6347; margin-right: 5px;"></span> AMENITIES</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #00CED1; margin-right: 5px;"></span> BOH PROGRAM</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF8C00; margin-right: 5px;"></span> UNIT A1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #6A5ACD; margin-right: 5px;"></span> UNIT A2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #A9A9A9; margin-right: 5px;"></span> UNIT B1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #696969; margin-right: 5px;"></span> UNIT B2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFDAB9; margin-right: 5px;"></span> UNIT B3</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFFF00; margin-right: 5px;"></span> UNIT B3</li> </ul>



REVISIONS:

No.	Description	Date
1	Revision 1	02/12/2025

DATE: 11.21.2024  
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RAFAEL TAPANES AR97896

DISCIPLINE / SHEET TITLE:

OVERALL FLOOR PLAN - LEVEL 08

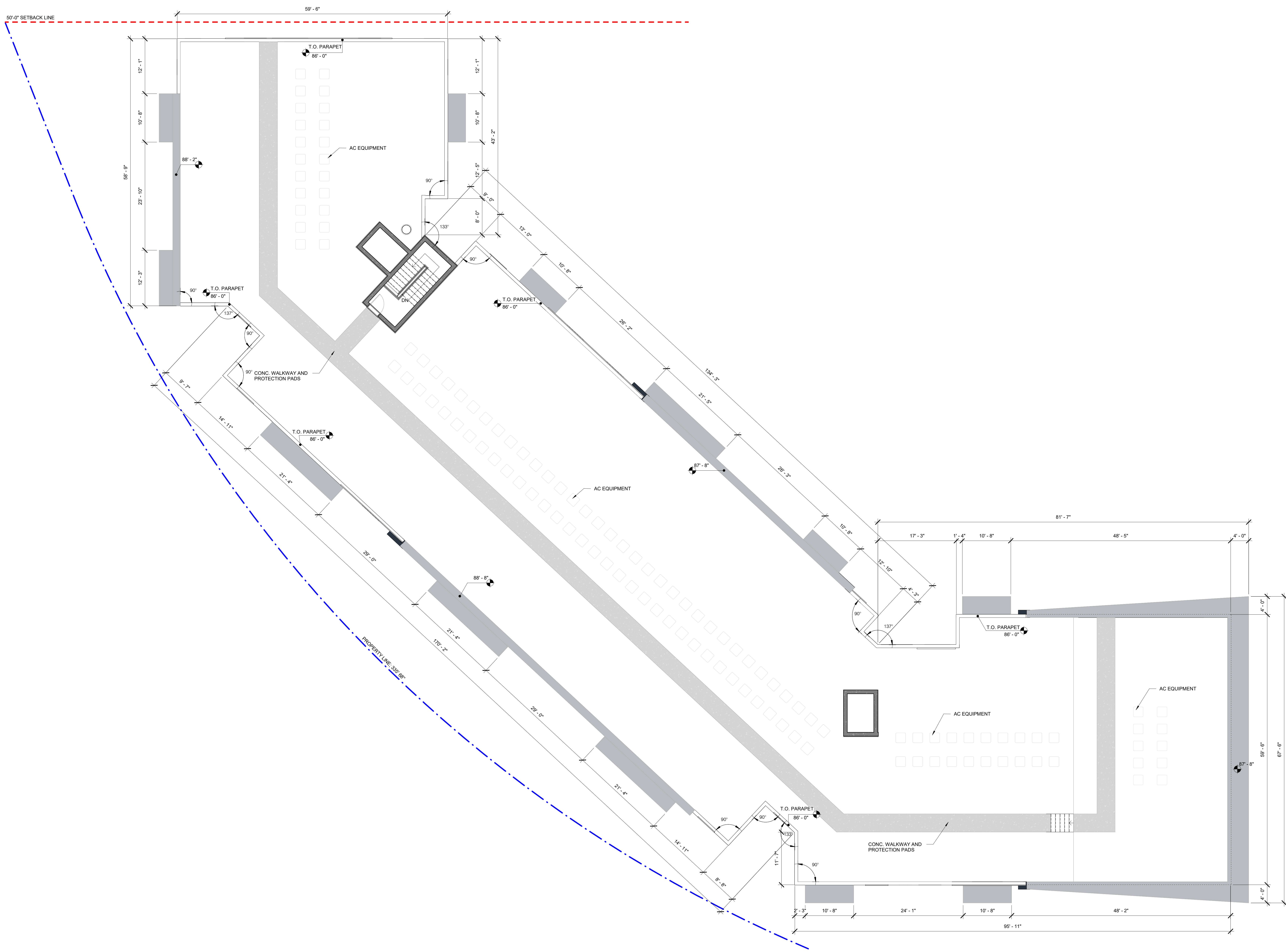
SCALE: AS SHOWN

SHEET NO:

**A-203**

**OVERALL FLOOR PLAN - LEVEL 08**  
 SCALE: 1/8" = 1'-0"

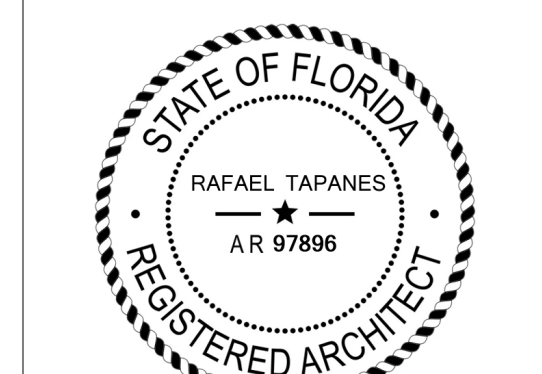
FINAL TAC (NOT FOR CONSTRUCTION)



REVISIONS:

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RAFAEL TAPANES AR97896

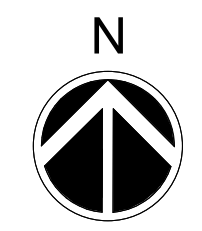
DISCIPLINE / SHEET TITLE:

OVERALL ROOF PLAN

SCALE: AS SHOWN

SHEET NO:

**A-204**



OVERALL ROOF PLAN

SCALE: 1/8" = 1'-0"



FINAL TAC (NOT FOR CONSTRUCTION)

**ELEVATION LEGEND**

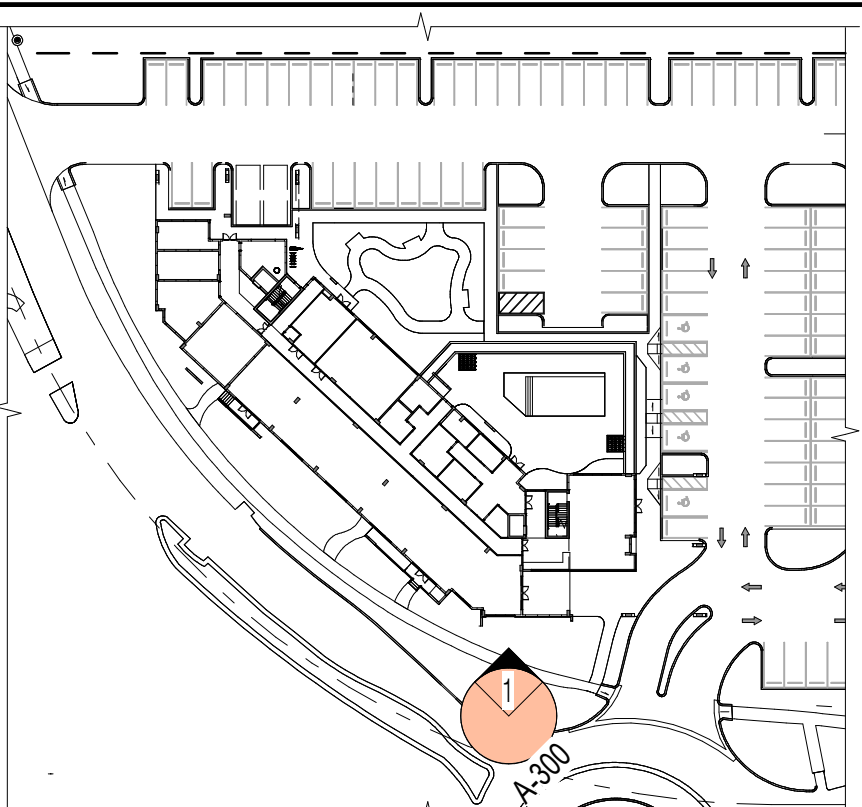
- 1 PAINTED STUCCO FINISH (SW 7551 - GREEK VILLA)
- 2A STUCCO FINISH W/ ACCENT PAINT COLOR (SW 9179- ANCHORS AWEIGH)
- 2B STUCCO FINISH W/ ACCENT PAINT COLOR (SW 7660- EARL GREY)
- 3 W/ TAUPE - SHERWIN-WILLIAMS (SW 7633 - NEUTRAL PAINT COLOR)-STUCCO FINISH W/ GOLDEN OAK WOODEN SLAT
- 4A BALCONY/TERRACE CONCRETE SLAB CONCRETE - FINISHED W/ ACCENT PAINT COLOR (SW 9179- ANCHORS AWEIGH)
- 4B CONCRETE SLAB-CONCRETE - FINISHED W/ ACCENT PAINT COLOR (SW 9179- ANCHORS AWEIGH)
- 4C CONCRETE SLAB-CONCRETE - FINISHED W/ ACCENT PAINT COLOR (SW 7551 - GREEK VILLA)
- 5A 42" HIGH A.F.F. RAILINGS W/ANODIZED ALUMINUM W/GLASS PANEL
- 5B 42" HIGH A.F.F. RAILINGS W/ANODIZED ALUMINUM 1/2" VERTICAL RODS TO REJECT 4" OBJECTS
- 6 WINDOW W/ ALUM. FRAME & IMPACT RESISTANT GLASS (TYP.)
- 7 SLIDING DOOR W/ ALUM. FRAME & IMPACT RESISTANT GLASS (TYP.)
- 8 IMPACT RESISTANT GLASS & ALUMINUM STOREFRONT SYSTEM.
- 9 ACCENT MATERIAL FOR CARPENTRY - PVC EXTERIOR PANEL-STAIR SHAFT SCREEN
- 10 STAIR SHAFT SCREEN
- 11 LIGHT FIXTURE
- 12 GREEN WALL (VEGETATION)

**MATERIAL LEGEND**

- 1 - PAINTED STUCCO FINISH  
4C - CONCRETE SLAB  
CONCRETE - FINISHED W/  
ACCENT PAINT COLOR  
SW 7551 - GREEK VILLA
- 2A - STUCCO FINISH W/  
ACCENT PAINT COLOR  
SW 9179- ANCHORS WEIGH
- 2B- STUCCO FINISH W/  
ACCENT PAINT COLOR  
SW 7660- EARL GREY
- 3- W/ TAUPE - SHERWIN-  
WILLIAMS  
SW 7633 - NEUTRAL PAINT  
COLOR
- 3-STUCCO FINISH W/  
GOLDEN OAK WOODEN SLAT
- 5A - RAILINGS W/ANODIZED  
ALUMINUM W/GLASS PANEL  
FRAME COLOR:  
ALUMINUM - BLACK  
GLASS COLOR: CLEAR BLUE
- 5B - RAILINGS W/ANODIZED  
ALUMINUM  
FRAME COLOR: ALUMINUM -  
BLACK
- 6 & 7 - WINDOW AND DOOR  
W/ ALUMINUM FRAME &  
IMPACT RESISTANT GLASS  
FRAME COLOR:  
ALUMINUM - BLACK

**GENERAL NOTES:**

1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
2. MAXIMUM BUILDING HEIGHT DOES NOT EXCEED 75'-0".



**GENERAL ELEVATION DIAGRAM (SOUTH ELEVATION-1)**



**1 SOUTH ELEVATION - 1**  
SCALE: 1/8" = 1'-0"



**1. COLORED BUILDING ELEVATION - SOUTH ELEVATION 1**  
SCALE: 1/8" = 1'-0"

FINAL TAC (NOT FOR CONSTRUCTION)



1701 PONCE DE LEON BLVD | SUITE 201  
CORAL GABLES, FLORIDA 33134  
o - 305.284.7325  
e - ra@realizationarchitects.com  
w - www.realizationarchitects.com

CLIENT / PROJECT:

**HILLCREST VILLAGE**  
1101 HILLCREST DRIVE,  
HOLLYWOOD, FL 33021

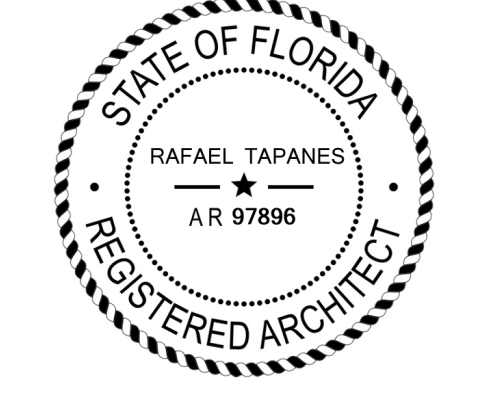
CONSULTANTS:  
CIVIL  
HSQ GROUP, LLC  
4577 N NOB HILL ROAD, SUITE 205  
SUNRISE, FLORIDA 33351  
(954) 440-6990 X1000  
Justine@hsqgroup.net

LANDSCAPE  
WALKAUD  
6915 SW 57th AVENUE II  
SUITE 203  
CORAL GABLES, FL 33143  
O-785.538.2088  
Devin@walkaud.com

REVISIONS:

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RAFAEL TAPANES AR97896  
DISCIPLINE / SHEET TITLE:

OVERALL BUILDING ELEVATION-SOUTH ELEVATION 1

SCALE: AS SHOWN

SHEET NO. **A-300**

**ELEVATION LEGEND**

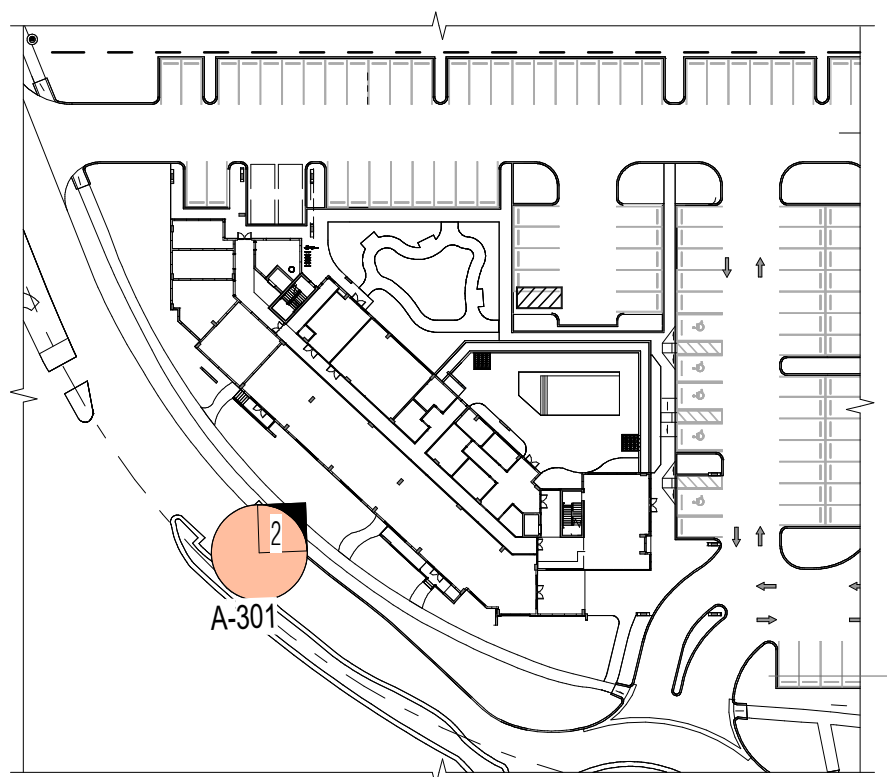
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- 10 STAIR SHAFT SCREEN
- 11 LIGHT FIXTURE
- 12 GREEN WALL (VEGETATION)

**MATERIAL LEGEND**

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CONCRETE - FINISHED W/  
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SW 9179- ANCHORS WEIGH
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SW 7633 - NEUTRAL PAINT  
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FRAME COLOR:  
ALUMINUM - BLACK  
GLASS COLOR: CLEAR BLUE
- 5B - RAILINGS W/ANODIZED  
ALUMINUM  
FRAME COLOR: ALUMINUM -  
BLACK
- 6 & 7 - WINDOW AND DOOR  
W/ ALUMINUM FRAME &  
IMPACT RESISTANT GLASS  
FRAME COLOR:  
ALUMINUM - BLACK

**GENERAL NOTES:**

1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
2. MAXIMUM BUILDING HEIGHT DOES NOT EXCEED 75'-0".



**GENERAL ELEVATION DIAGRAM (EAST ELEVATION-1)**



**2 PARTIAL EAST ELEVATION - 1**  
SCALE: 1/8" = 1'-0"



**2 COLORED BUILDING ELEVATION-PARTIAL EAST ELEVATION-1**  
SCALE: 1/8" = 1'-0"

FINAL TAC (NOT FOR CONSTRUCTION)



1701 PONCE DE LEON BLVD | SUITE 201  
CORAL GABLES, FLORIDA 33134  
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E: ra@realizationarchitects.com  
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CLIENT / PROJECT:

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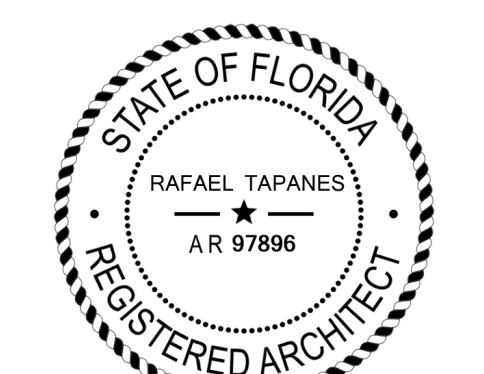
CONSULTANTS:  
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6915 SW 57th AVENUE II  
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Devin@walkaud.com

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RAFAEL TAPANES AR97896

DISCIPLINE / SHEET TITLE:

OVERALL BUILDING ELEVATION-PARTIAL EAST ELEVATION 1

SCALE: AS SHOWN

SHEET NO: **A-301**