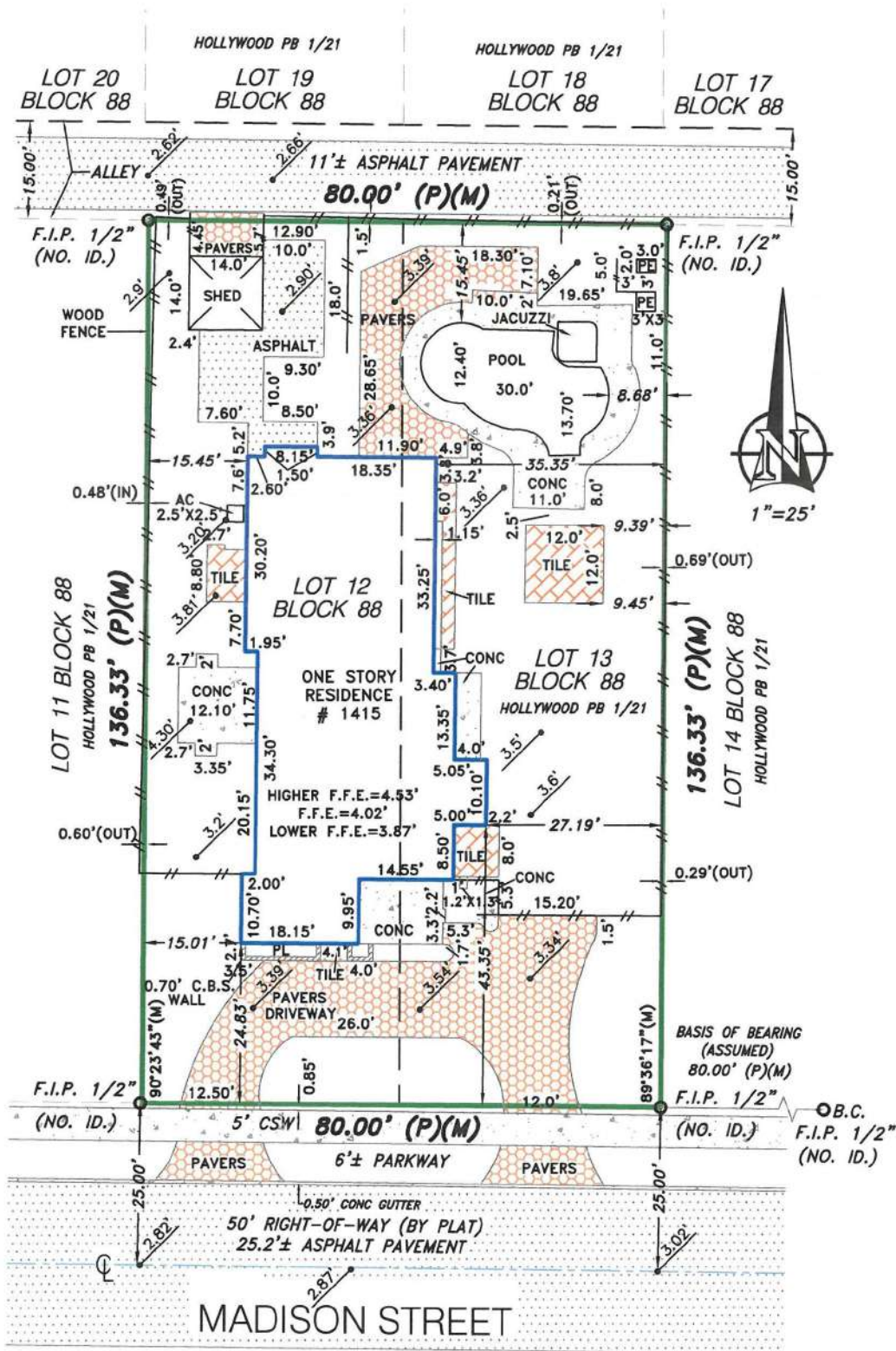
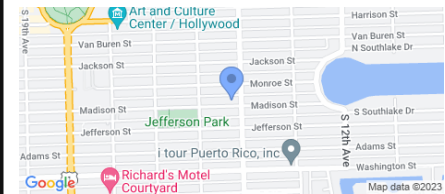


**ATTACHMENT A**  
**Application Package**  
**Part II**





NOTE: ELEVATIONS SHOWN ARE N.A.V.D.88  
BENCHMARK USED = NO. BCED-1915  
ELEVATION = 3.27' N.G.V.D.29

Accepted By: \_\_\_\_\_

Property Address:  
1415 Madison Street  
Hollywood, FLORIDA 33020

Notes: **PAVERS EXTEND BEYOND NORTH AND SOUTH PROPERTY LINES.**

**SURVEYOR'S CERTIFICATION** I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYOR'S IN CHAPTER 5J-17-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 427-023 FLORIDA STATUTES.

**SIGNED** \_\_\_\_\_ **FOR THE FIRM**  
**Miguel Espinosa**  
**STATE OF FLORIDA**  
**P.S.M. No. 5101**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND / OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER

M.E. Land Surveying, LLC  
P.O. Box 970685  
Miami, FL 33197  
Phone: (305) 740-3319  
Fax: (305) 669-3190  
LB#: 7989



Surveyor's Legend

	LIMITED ACCESS RIGHT-OF-WAY LINE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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Property Address:

1415 Madison Street  
Hollywood, FLORIDA 33020

Flood Information:

Community Number: 125113  
Panel Number: 12011C0569  
Suffix: H  
Date of Firm Index: 08/18/2014  
Flood Zone: AE  
Base Flood Elevation: 7.0'  
Date of Field Work: 11/20/2023  
Date of Completion: 12/06/2023

General Notes:

- 1.) The Legal Description used to perform this survey was supplied by others. This survey does not determine or is not to imply ownership  
2.) This survey only shows above ground improvements. Underground utilities, footings, or encroachments are not located on this survey map  
3.) The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement. Well-identified features as depicted on the Survey Map were measure to an estimated horizontal positional accuracy of 1/10 foot.  
4.) If there is a septic tank, well, or drain field on this survey, the location of such items was shown to us by others and the information was not verified.  
5.) Examination of the abstract of title will have to be made to determine recorded instruments, if any, affect this property. The lands shown herein were not abstracted for easement or other recorded encumbrances not shown on the plat.  
6.) Wall/fence ties shown are from the inside face of the wall/fence to the property line.  
7.) Fence ownership is not determined.  
8.) Bearings referenced to line noted B.R also are assumed.  
9.) Dimensions shown are platted and measured unless otherwise shown.  
10.) No identification found on property corners unless noted.  
11.) Not valid unless sealed with the signing surveyors embossed seal.  
12.) Boundary survey means a drawing and/or graphic representation of the survey work performed in the field, could be drawn at a shown scale and/or not to scale.  
13.) Elevations if shown are based upon NGVD 1929 unless otherwise noted.  
14.) This is a BOUNDARY SURVEY unless otherwise noted.  
15.) This survey is exclusive for the use of the parties to whom it is certified. The certifications do not extend to any unnamed parties.  
16.) This survey may be used for construction/permitting purposes

Legal Description:

Lot 12 and 13, of Block 88, of HOLLYWOOD , according to the plat thereof, as recorded in Plat Book 1, Page 21, of the public records of Broward County, FLORIDA

Printing Instructions:

While viewing the survey in any PDF Reader, select the File Drop-down and select "Print". Select a color printer, if available; or at least one with 8.5" x 14" (legal) paper.  
Select ALL for Print Range, and the # of copies you would like to print out.  
Under the "Page Scaling" please make sure you have selected "None".  
Do not check the "Auto-rotate and Center" box.  
Check the "Choose Paper size by PDF" checkbox, then click OK to print.

Certified To:

**PLA Holdings, LLC**  
**Self**

its successors and/or assigns as their interest may appear.

Please copy below for policy preparation purposes only:

*This policy does not insure against loss or damage by reason of the following exceptions: Any rights, easements, interests, or claims which may exist by reason of, or reflected by, the following facts shown on the survey prepared by Miguel Espinosa , for M.E. Land Surveying, LLC., dated 12/06/2023 bearing Job # B-134477 :*  
a. PAVERS EXTEND BEYOND NORTH AND SOUTH PROPERTY LINES.



M.E. Land Surveying, LLC

P.O. Box 970685 Miami, FL 33197  
Phone: (305) 740-3319  
Fax: (305) 669-3190  
LB#: 7989







SCHISM ARCHITECTURE + DESIGN  
SCHNEUR Z. MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

SCHISM<sup>ARCHITECTURE</sup> + DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND CONTRACTS ARE SIGNED TO AND TO THESE CHANGES. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES, APPROVAL AND REQUIREMENTS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.  
PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOLI REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THE DRAWING SET. ANY CHANGES TO THE DRAWING SET SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET. IF ANY CONTRACTORS ARE ASKED TO MAKE CHANGES TO THE DRAWING SET, THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BUILDING WORK AND OR PLUMBING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:

DRAWING TITLE:  
STREET  
PROFILE

PROJECT # 2307

DRAWING NO.  
H 1.00





1415 MADISON ST - EXISTING PROPERTY



1419 MADISON ST - ADJACENT PROPERTY WEST SIDE



1414 MADISON ST - PROPERTY ACROSS THE STREET



1425 MADISON ST - NEARBY PROPERTY



1401 MADISON ST - ADJACENT PROPERTY EAST SIDE (EAST FACADE)



1418 MADISON ST - NEARBY PROPERTY

SCHISM ARCHITECTURE + DESIGN  
SCHNEUR Z MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

SCHISM ARCHITECTURE + DESIGN  
RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

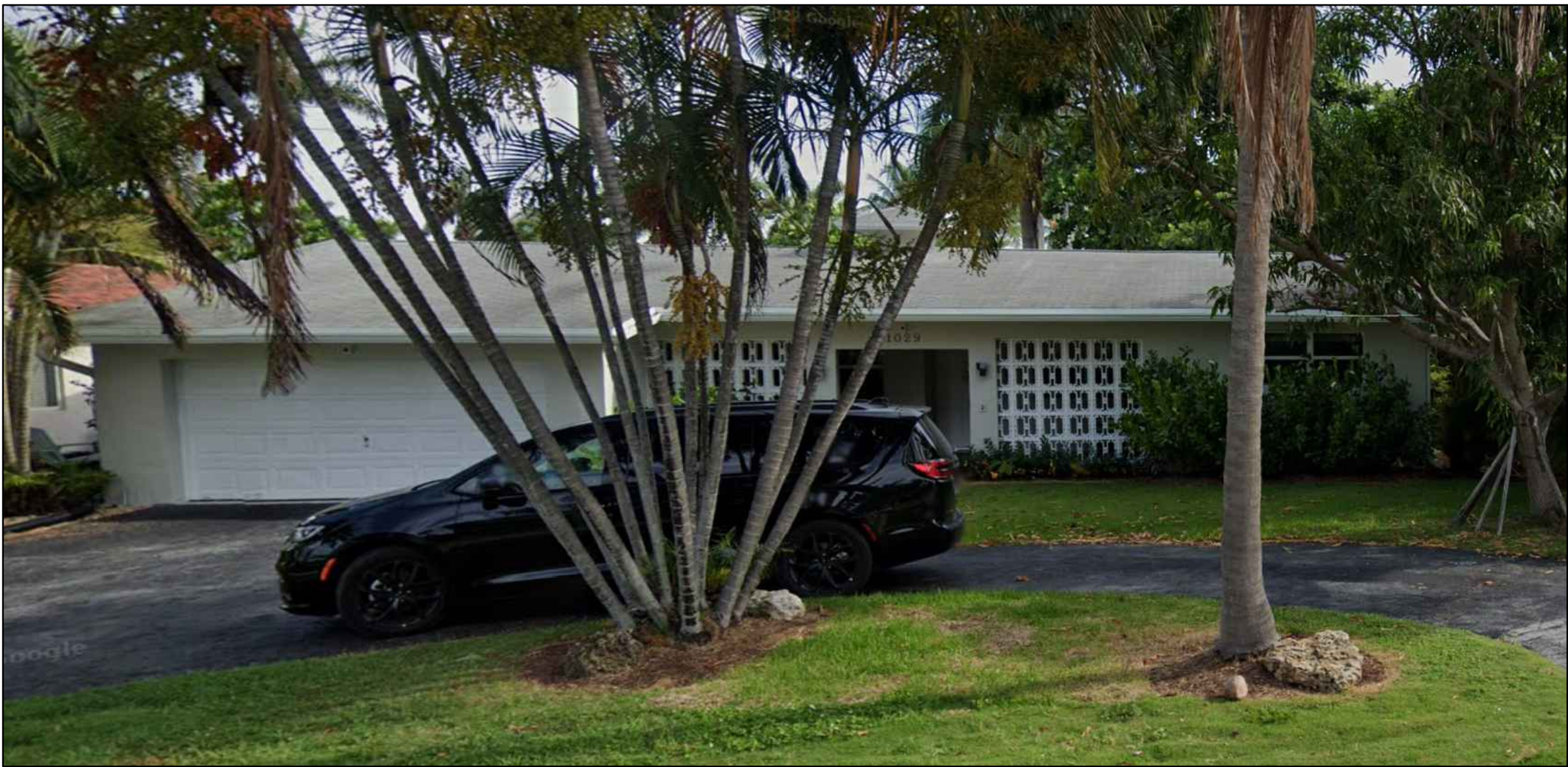
PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMPLETED. THESE PLANS ARE PROVIDED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DRAWN BY: SZM  
DATE: 5/3/2024  
REVISIONS:

DRAWING TITLE:  
ADJACENT PROPERTIES

PROJECT # 2307  
DRAWING NO.  
H 1.01





1029 WASHINGTON ST - NEARBY PROPERTY BUILT IN 1962



800 TYLER ST - NEARBY PROPERTY BUILT IN 1956



1447 MADISON ST - NEARBY PROPERTY BUILT IN 1950



1417 VAN BUREN ST - NEARBY PROPERTY BUILT IN 1952

REFERENCE HOMES BUILT WITHIN SIMILAR TIME PERIOD AND STYLE.

SCHISM<sup>ARCHITECTURE</sup> + DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMPLETED. APPROVALS ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THESE PLANS ARE SUBJECT TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR DURING DIFFERENT MUNICIPALITY APPROVAL AND REVIEW. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

DRAWN BY: SZM

DATE: 5/3/2024

REVISIONS:

DRAWING TITLE:

ADJACENT  
PROPERTIES

PROJECT # 2307

DRAWING NO.

H 1.02









SCHISM<sup>R</sup>CHITECTURE  
+ DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO VARIATIONS IN THE INTERPRETATION OF THE CODE, IT MAY OCCUR IN DIFFERENT MUNICIPALITIES FINAL APPROVAL AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

PLEASE NOTE: THE DRAWINGS ARE SUBJECT TO SPECIFICATIONS, NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS, AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS, ANY INFORMATION NOTED IN THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET, IF ANY DISCREPANCY OR CONFLICT EXISTS BETWEEN THESE DRAWINGS SET THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BUILDING, WORK AND/OR PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:

1	2/15/24 BLDG DEPT NOTES
---	-------------------------

DRAWING TITLE:

RENDERED  
ELEVATION

PROJECT # 2307

DRAWING NO.

H 10

H 1.04





PROPOSED RENDERED VIEW OF FRONT OF HOME



PROPOSED RENDERED VIEW OF FRONT OF HOME



PROPOSED RENDERED VIEW OF FRONT OF HOME

SCHISM ARCHITECTURE + DESIGN  
SCHNEUR Z MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

SCHISM<sup>ARCHITECTURE</sup> + DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT EXIST, ANY DIFFERENT MANIPULATED FINAL APPROVAL AND REVISIONS ARE NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.  
PLEASE NOTE: THIS DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCES, PRODUCTS AND EQUIPMENT BOOKS AND MANUALS AND SQA REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS. ANY INFORMATION WITHIN THIS SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HERS CONTRACTORS TO BE AWARE WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET. IF ANY CONFLICTS OR DISCREPANCIES WITH THE DESCRIPTION OF WORK IN THE DRAWING SET, THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BEGINNING WORK AND/OR PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:

DRAWING TITLE:  
PROPOSED  
RENDERS

PROJECT # 2307

DRAWING NO.  
H 1.05



PERMIT SET: DECEMBER 05, 2023  
REV1: FEBRUARY 15, 2024  
REV1.5: MARCH 14, 2024  
REV2: MAY 3, 2024

# RENOVATION & ADDITION

## 1415 MADISON ST, HOLLYWOOD, FL 33020

### BUILDING INFORMATION:

**PROPERTY ADDRESS:** 1415 MADISON STREET HOLLYWOOD, 33020  
**PROPERTY ID:** 514215026400  
**YEAR BUILT:** 1952  
**LOT SIZE:** 10,916 SQ. FT.  
**FLOOD ZONE:** AE | 7.0 B.F.E  
**ZONING:** RS-6 - SINGLE FAMILY DISTRICT  
**CONSTRUCTION TYPE:** IIIB (CMU WALLS W/ WOOD TRUSS ROOF)

### APPLICABLE CODES:

ALL DRAWINGS DONE IN ACCORDANCE WITH:

- FLORIDA BUILDING CODE 2020 (7th EDITION)
- FLORIDA FIRE PREVENTION CODE 2020 (7th EDITION)
- FLORIDA BUILDING RESIDENTIAL CODE 2020 (7th EDITION)
- NATIONAL ELECTRICAL CODE (2017)

### LEGAL DESCRIPTION:

LOT 12 AND 13, OF BLOCK 88, OF HOLLYWOOD , ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

### SCOPE OF WORK:

- DEMOLISH EXISTING UNSAFE OUT-OF CODE ADDITION IN THE REAR OF THE PROPERTY IN ITS ENTIRETY
- REBUILD EXISTING ADDITION WITH FLAT ROOF JOISTS. SEE STRUCTURAL
- NEW WINDOWS AND DOORS AS PER PLAN
- INTERIOR RENOVATION AND MODIFICATION OF EXISTING BEDROOMS AND BATHROOMS
- GENERAL REMODEL OF INTERIOR SPACES INCLUDING CABINERY, FLOORING, WALL FINISHES ETC..
- NEW MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS AS SHOWN ON PLANS FOR NEW ADDITION AND RECONFIGURATION OF SPACES.
- PATCH, PAINT AND REPAIR EXISTING STUCCO AROUND HOME
- REMOVAL OF CONCRETE SLABS AND NEW LANDSCAPING AROUND HOME.

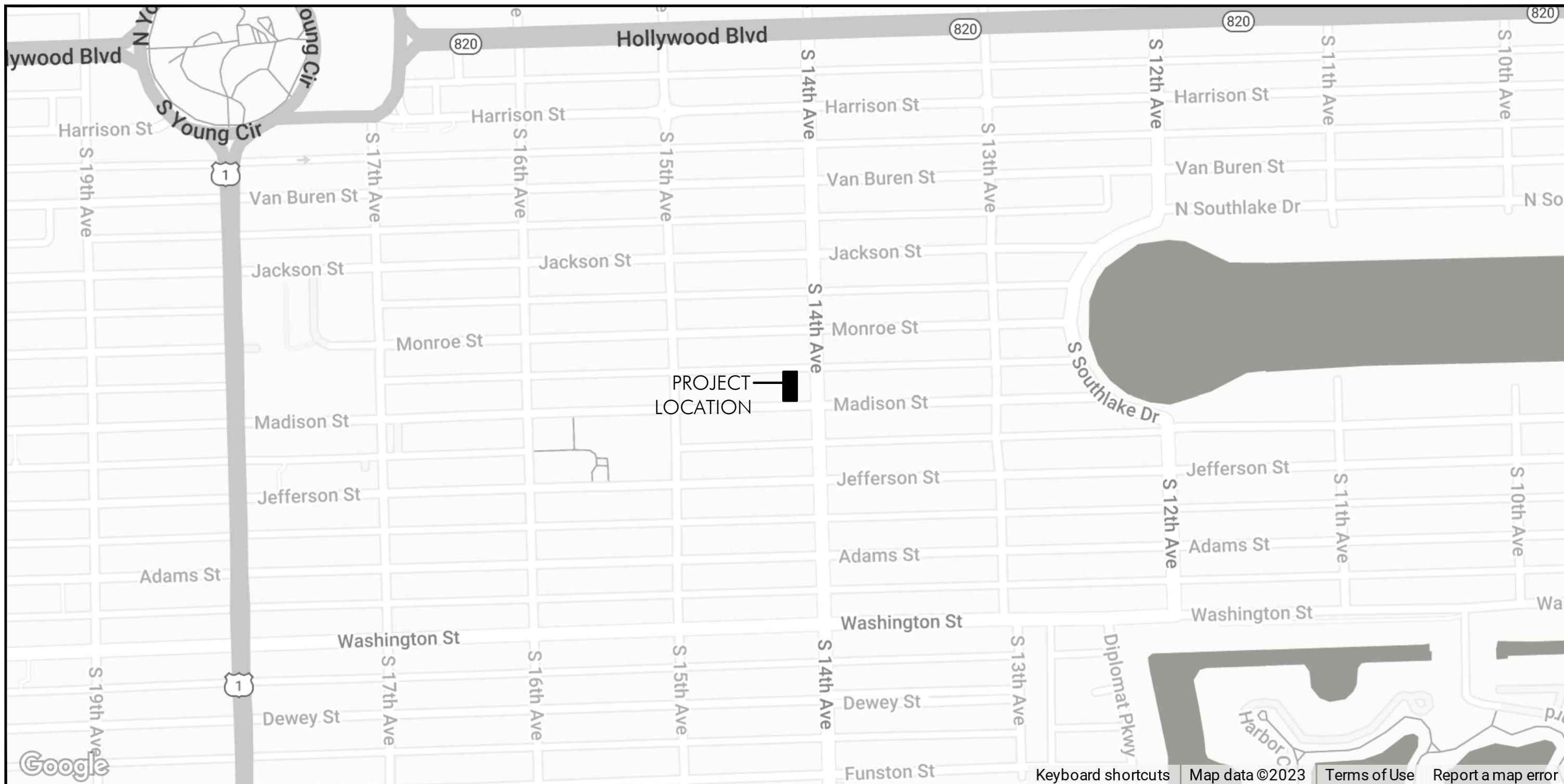
THE SCOPE OF WORK DESCRIBED HERE IS INTENDED TO BE FOR GENERAL INFORMATION TO THE BUILDING DEPARTMENT AND CONTRACTOR. THE ENTIRE SCOPE OF WORK IS DESCRIBED IN THE FULL SET OF CONSTRUCTION DOCUMENTS INCLUDING ALL DRAWINGS AND SPECIFICATIONS.

### ALTERATION LEVEL 2:

DRAWINGS DONE IN ACCORDANCE TO FLORIDA BUILDING CODE, EXISTING BUILDING 7TH EDITION (2020)  
FBC EXISTING 603.1: "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT"

### GENERAL NOTES:

- GENERAL CONTRACTOR SHALL BE FAMILIAR WITH THE SITE & VERIFY ALL EXISTING UTILITY SERVICE LOCATIONS IN ALL AREAS INCLUDED IN THE SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION.
- ANY EXISTING ITEMS THAT ARE DISTURBED, DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW OR REPAIRED TO THE OWNERS SATISFACTION AND LIKE NEW CONDITION.
- DO NOT DISTURB ANY STRUCTURAL COMPONENTS OF EXISTING BUILDINGS WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT.
- PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ANY UTILITIES ACCIDENTALLY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE
- EACH CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- ALL UNANTICIPATED AND UNFORESEEN DEMOLITION AND OR NEW CONSTRUCTION CONDITIONS WHICH REQUIRE DEVIATION FROM THE PLANS AND NOTES HEREIN SHALL BE REPORTED TO THE ARCHITECT, IN WRITING, AND APPROVAL SOUGHT PRIOR TO COMMENCING SAID WORK PER CONTRACT.
- ARCHITECT SHALL NOT BE LIABLE FOR PROBLEMS RELATING TO EXISTING CONDITIONS. NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY IF PROBLEMS ARISE.
- ALL NEW MATERIAL AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL, EXCEPT AS SPECIFICALLY NOTED HEREIN.
- G.C. IS TO THOROUGHLY REVIEW ALL DRAWINGS AND PROVIDE OVERVIEW TO ALL TRADES. ALL SUBCONTRACTORS ARE TO REVIEW ALL DRAWING SHEETS - GENERAL CONTRACTOR TO PROVIDE COMPLETE SETS OF PLANS TO ALL SUBCONTRACTORS FOR REVIEW. ITEMS SHOWN ON ARCHITECTURAL DRAWINGS ARE REQUIRED TO BE COMPLETELY INSTALLED REGARDLESS IF THEY ARE NOT SPECIFICALLY DESIGNATED ON ELECTRICAL, MECHANICAL OR PLUMBING ENGINEERING DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED ITEMS WITH ALL SUBCONTRACTORS AND THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE W/ ALL APPLICABLE NATIONAL, STATE, COUNTY & LOCAL CODES AND ORDINANCES. WORK SHALL BE DONE IN A WORKMANLIKE MANNER AS PER STANDARD BUILDING TECHNIQUES AND PRACTICES.
- G.C. IS RESPONSIBLE TO FILE AND OBTAIN THE BUILDING DEPARTMENT PERMIT.
- G.C. IS RESPONSIBLE FOR ALL SAFETY CONDITIONS PER OSHA AND ALL STATE AND LOCAL REGULATIONS RELATING TO JOB CONSTRUCTION.
- G.C. IS TO VISIT THE SITE AND CAREFULLY INSPECT THE EXISTING CONDITIONS AFFECTING THE WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO ARCHITECT IN WRITING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION OF SPECIALTY SHOP DRAWINGS. ALL SPECIALTY PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS, WIND LOADS, AND LATERAL LOADS, AND SHALL INCLUDE, BUT ARE NOT LIMITED TO LIGHT GUAGE METAL FRAMING, HANDRAILS AND SAFETY RAILS, MISCELLANEOUS METALS AND HANGERS.



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PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT WOULD INHERENTLY AFFECT THE FINAL APPROVAL AND REVIEW, IT IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCE, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, AND NO PART OF THIS ENTITY SHALL BE CONSIDERED SEPARATE FROM THE OTHERS. ANY INFORMATION WITHIN THE SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE. THE RESPONSIBILITY OF THE CONTRACTOR AND THE SUBCONTRACTOR TO THE FINALITY OF ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET OF ANY CONTRACTOR SHALL BE WITHIN THE DESCRIPTION OF WORK IN THE DRAWING SET. THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY DESIGN, WORK, AND/OR PURCHASING.

DRAWN BY: SZM

DATE: 5/3/2024

REVISIONS:

2/15/24 BLDG DEPT COMMENTS

5/3/24 BLDG DEPT COMMENTS

DRAWING TITLE:

COVER

PROJECT # 2307

DRAWING NO.

G 1.00



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION, AND THE ZONING REQUIREMENTS OF BROWARD COUNTY, FLORIDA AND OTHER APPLICABLE MUNICIPAL REQUIREMENTS, AND THE BASE BUILDING SPECIFICATIONS.
2. BEFORE PERFORMING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ANY EXISTING AND NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DIFFERENCES FOUND SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT OR ENGINEER FOR VERIFICATION BEFORE PROCEEDING WITH WORK. ANY DISCREPANCY IN DIMENSIONS OR SPECIAL MODIFICATIONS REQUIRED DUE TO FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION, OR APPROVAL OR MODIFICATION BEFORE COMMENCING WORK. THE RESPONSIBILITY FOR ANY CHANGES MADE IN THE FIELD WITHOUT PRIOR NOTIFICATIONS TO THE ARCHITECT SHALL REST WITH THE CONTRACTOR OR ANY OTHER PERSON APPROVING SUCH CHANGE.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THESE DRAWINGS AS DATED ON THIS SHEET.
4. THE AIA GENERAL CONDITIONS, THE SUPPLEMENTARY GENERAL CONDITIONS, AND GENERAL REQUIREMENTS SHALL BE CONSIDERED AN INCLUSIVE PART OF THESE SPECIFICATIONS AND OR DRAWINGS. ALL SUBCONTRACTORS, AS WELL AS THE GENERAL CONTRACTOR, SHALL BE GOVERNED BY ALL APPLICABLE SECTIONS OF THESE DOCUMENTS WITH REFERENCE TO THEIR RESPECTIVE AREAS OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ADVISE HIS SUBCONTRACTORS AND SUPPLIERS OF THESE REQUIREMENTS.
5. THE GENERAL CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE SITE WITH RESPECT TO ALL EXISTING FIELD CONDITIONS AND TO HAVE FULLY EXAMINED THE COMPLETE SET OF ARCHITECTURAL DRAWINGS AS PREPARED BY OTHERS, AND SHALL BE RESPONSIBLE FOR THE COORDINATION AND EXECUTION OF THIS DRAWING SET, AS IS INCLUDED AS PART OF THE ORIGINAL DRAWINGS PACKAGE.
6. THE GENERAL CONTRACTOR SHALL LOCATE ALL GENERAL REFERENCE POINTS AND TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION. EACH PRIME SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, MEASUREMENTS AND OTHERS AS MAY BE REQUIRED OF AND FOR HIS WORK. HE SHALL BE RESPONSIBLE FOR VERIFYING ALL FIGURES AND DETAILS SHOWN ON THE DRAWINGS, WHICH RELATE TO HIS WORK, PRIOR TO LAYING OUT THE WORK. HE SHALL BE HELD RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO TAKE SUCH PRECAUTIONS.
7. DIVISIONS OF THE WORK FOR SUBCONTRACTING PURPOSES SHALL BE AS PER THE GENERAL CONTRACTORS' DIRECTIONS.
8. IT SHALL BE THE RESPONSIBILITY OF ALL THE SUBCONTRACTORS TO HAVE EXAMINED AND REVIEWED THE COMPLETE SET OF WORKING DRAWINGS AND/OR SPECIFICATIONS AND TO PROVIDE ALL LABOR AND MATERIAL FOR THEIR RESPECTIVE AREA TO WORK FOR A COMPLETE AND FINISHED INSTALLATION IN COMPLIANCE WITH THE INTENT OF THE DRAWING AND/OR SPECIFICATIONS, WHETHER IT IS INDICATED OR NOT. ALL WORK WHETHER INDICATED OR NOT, SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES WHICH ARE APPLICABLE TO THE PROJECT.
9. SUBCONTRACTORS SHALL COOPERATE WITH EACH OTHER AND WITH THE GENERAL CONTRACTOR TO PROVIDE MATERIAL AND LABOR THAT ARE NECESSARY IN EACH OTHERS WORK AT THE PROPER TIMES SO THAT THE CONSTRUCTION SCHEDULE IS NOT MATERIALLY AFFECTED. THIS INTERFACING SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS WHOSE WORK IS AFFECTED AS SUCH.
10. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
11. PRODUCT MANUFACTURERS INDICATED IN SCHEDULE AND OR PLANS WERE SELECTED BASED ON QUALITY, STYLE, SIZE, COLOR, ETC., AND ARE NOT INTENDED TO RESTRICT COMPETITIVE BIDDING. PRODUCTS "EQUAL TO" INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO THE ARCHITECTS APPROVAL IN WRITING PRIOR TO PRODUCT INSTALLATION.
12. THIS DRAWING PACKAGE IS BASED ON DOCUMENTS, SPECIFICATIONS AND RELATED INFORMATION PROVIDED BY OWNER/TEENANT AND/OR OWNER/TEENANTS AGENT.
13. THE DESIGN INFORMATION INDICATED ON THIS PLAN IS INTENDED TO BE A COMPLETE AND WORKABLE SYSTEM IN ACCORDANCE WITH ALL PRODUCT MANUFACTURERS SPECIFICATIONS, EXISTING AND/OR PROPOSED, BUILDING DESIGN, FIELD CONDITIONS, ETC. ALL MISCELLANEOUS MATERIALS, PARTS, DESIGN DIMENSIONS, WHETHER INDICATED ON PLANS OR NOT, SHALL BE INCLUDED AS PART OF THIS DRAWING PACKAGE.
14. ARCHITECT SHALL BE NOTIFIED PRIOR TO STARTUP OF CONSTRUCTION, SHOULD EXISTING FIELD CONDITIONS VARY FROM DRAWINGS BY GREATER THAN 2".
15. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION SO THAT NO INTERFERENCE BY DISRUPTION WILL BE CAUSED.
16. ALL FINAL SURFACE GRADING SHALL BE COMPLETED TO FACILITATE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ITS NEIGHBORING PROPERTIES.
17. THE GENERAL CONTRACTOR OR SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL MATERIALS AND ITEMS COMMONLY REFERRED TO AS "DEBRIS" OR DETERMINED BY THE ARCHITECT AS REFUSE.
18. THE GENERAL CONTRACTOR SHALL HAVE HAD MADE ALL REQUIRED PROVISIONS FOR THE REMOVAL OF DEBRIS FROM THE SITE, HAVING CHARGES, DUMPING FEES, ETC., IN HIS ORIGINAL BID SUBMISSION.
19. REMOVE ANY OTHER ITEM OR CONSTRUCTION AS REQUIRED TO ACCOMPLISH ALL NEW WORK AND/OR REVISION WORK TO EXISTING AREAS AS SHOWN OR DESCRIBED ELSEWHERE IN THE CONTRACT DOCUMENTS.
20. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SIGNAGE, BARRICADES, FENCING, LIGHTING, ETC. AS REQUIRED FOR THE PREVENTION OF PERSONAL INJURIES TO THE OWNERS, ITS EMPLOYEES, REPRESENTATIVES, CLIENTELE, OR OTHERS WITHIN THE AREAS OF CONSTRUCTION.
21. PROTECTIVE DEVICES TO BE INSTALLED SHALL COMPLY WITH THE REQUIREMENTS OF ALL LOCAL, STATE AND NATIONAL GOVERNING CODES, THE BUILDING OWNER GUIDELINES, AND OTHER GOVERNING FORMS OF AUTHORITY. THE GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION DURING THE COURSE OF WORK.
22. GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO SECURE AND PROTECT MATERIALS TO BE RELOCATED OR WAREHOUSED.
23. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL SECURE ALL PERMITS, LICENSES, UTILITY CONNECTION CONFIRMATIONS, GOVERNMENTAL APPROVALS, ETC., NECESSARY FOR FULL COMPLETION OF THE PROJECT.
24. SEE FINISH SCHEDULE FOR STUCCO NOTES
25. SEE FINISH SCHEDULE FOR PAINT NOTES
26. GENERAL CONTRACTOR SHALL PROVIDE ALL OF THE REQUIRED METAL FRAMING, WOOD BLOCKING AND PLYWOOD BACKING NECESSARY BETWEEN CONCRETE SLABS, ROOF TRUSSES, CONCRETE BLOCK OR METAL PARTITIONS FOR THE SUPPORT OF ALL EQUIPMENT, SUSPENDED LIGHT FIXTURES, DEMISING WALLS, LIGHT TRACTS, VALANCES, PLUMBING (FIXTURES AND ACCESSORIES FOR EXACT LOCATION COORDINATE WITH OWNER ARCHITECT).
27. ANY SUBCONTRACTOR CUTTING INTO WORK ALREADY COMPLETED SUCH AS CUTTING CHASES AND OR TRENCHES FOR THE INSTALLATION OF HIS WORK AND EQUIPMENT IN THE BUILDING SHALL DO OR PAY FOR ALL BACK FILLING, REPARATION OR WALLS, FLOORS ETC OR DAMAGE BY SUCH SUBCONTRACTOR. ALL REPAIRS SHALL MATCH EXISTING SURFACES.
28. SEE DOOR SCHEDULE FOR CAULKING AND SEALANTS NOTES
29. PROVIDE A PROTECTIVE BOARD OVER ALL WATERPROOFING MEMBRANE AT ALL WALLS AND CONCRETE SLABS EXPOSED TO EARTH.
30. GENERAL CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES. THEY MUST BE VERIFIED AS TO THEIR EXACT LOCATIONS SO THAT NO INTERFERENCE BY DISRUPTION WILL BE CAUSED. DAMAGED THAT MAY BE CAUSED BY THE CONTRACTOR OR SUBCONTRACTORS TO ANY OF THE ABOVE MENTIONED SHALL BE REPAIRED BY HIM AND LEFT IN AS GOOD CONDITION AS THE EXISTING PRIOR TO DAMAGING.
32. SEE WALL SCHEDULE FOR GYPSUM DRYWALL NOTES.
33. PROVIDE GALVANIC INSULATION BETWEEN ALL DISSIMILAR METALS.
34. THE GENERAL CONTRACTOR SHALL FILL WITH CONCRETE ALL OF THE BROKEN CONCRETE BLOCK CELLS AT ALL INTERIOR AND EXTERIOR MASONRY WALLS CAUSED BY ANY OF THE GENERAL CONTRACTORS OR SUB CONTRACTORS WORKERS DURING THE INSTALLATION OF PLUMBING, ELECTRICAL, AIR CONDITIONING OR MECHANICAL PIPES SLEEVES, CONDUITS, BOXES, EQUIPMENT AND/OR ACCESSORIES DURING THE CONSTRUCTION OF THIS PROJECT.
- PLEASE NOTE:**  
THIS DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT SCHEDULES AND MANUALS, AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY. NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS.
- NO DRAWING IN THIS SET OR SPECIFICATION MAY BE CONSIDERED ON ITS OWN. ANY INFORMATION WITHIN THIS SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET. IF ANY CONFLICTS ARISE AS WITHIN THE DESCRIPTION OF WORK IN THIS DRAWING SET THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BIDDING, WORK AND/OR PURCHASING.

35. ALL OF THE ITEMS BELOW SHALL HAVE PRODUCT CONTROL APPROVAL AND/OR SEPARATE BUILDING PERMIT FOR EACH ITEM (WHEN APPLICABLE) IN COMPLIANCE WITH THE FLORIDA BUILDING CODE. ALL MANUFACTURERS AND/OR SUPPLIERS SHALL ENGINEERED SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

- |  |  |
|--|--|
| 1. ANCHORS   | 21. DOORS                                |
| 2. AWNINGS/SUN SHADES  | 22. STEEL JOISTS                         |
| 3.   | 23. WOOD CONNECTORS                      |
| 4. CANOPIES  | 24. PREFABRICATED FENCES                 |
| 5. COOLERS AND FREEZERS  | 25. ROOFING, VENTILATORS, TURBINES,VENTS |
| 6.   |  |
| 7. GARAGE DOORS  | 26. SCREEN ENCLOSURES                    |
| 8. GLASS BLOCKS  | 27. SCREEN ROOM AND WIND BREAKERS        |
| 9. INSULATION (NON-ROOFING)                                    | 28. SHEDS & MANUFACTURED BUILDINGS       |
| 10. METAL AND SANDWICH PANELS                                  | 29. SHUTTERS                             |
| 11. METAL ROOF SYSTEMS   | 30. SKYLIGHTS SUCH                       |
| 12. NAIL & WOOD FASTENERS                                      | 31. SOLAR HEATERS                        |
| 13. PASS THROUGH DEVICES                                       | 32. SOLAR PHOTOVOLTAIC ARRAYS            |
| 14. PASSAGE DOORS  | 33. SPAS (EXTERIOR)                      |
| 15. PLASTICS   | 34. TRUSS PLATES                         |
| 16. PLASTIC PLUMBING FIXTURES                                  | 35. VENEERED LUMBER                      |
| 17. PLUMBING MATERIAL  | 36. VINYL SIDING AND SOFFIT              |
| APPLIANCES, POOL CHLORINATORS, GLASS & ELECTRICAL POOL HEATERS | 37. WINDOWS                              |
| 18. PREFABRICATED BEAMS  | 38. WOOD TRUSSES                         |
| 19. PREFABRICATED POOLS  | 39. SIGNS                                |
| 20. PREFABRICATED RAILINGS (STAIRS & BALCONIES)                |  |

36. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.

37. WINDOW AND DOOR MANUFACTURER TO VERIFY ALL OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.

38. CONTRACTOR TO OBTAIN THE LATEST SET OF DRAWINGS INCLUDING ANY REVISIONS BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND ARCHITECT OR ENGINEER.

39. THE ARCHITECT IS NOT RESPONSIBLE FOR THE MISINTERPRETATIONS OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL APPROVAL BY OTHERS.

40. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE REVISIONS, ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF WORK. THE CONTRACTOR SHALL USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.

41. THE CONTRACTOR SHALL DELIVER AND ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF WORK AS A CONDITION OF ACCEPTANCE.

42. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE SEQUENCES AND PROCEDURES USED.

43. THE CONTRACTOR SHALL PRODUCE BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.

44. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK EITHER IMPLIED OR REASONABLE INFERRED FROM THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS.

45. DRAWINGS SHOWN ARE BASED ON MEASUREMENTS TAKEN DURING SITE VISITS DURING JUNE 2023 AND EXISTING DRAWINGS AS PROVIDED BY OWNER, AS THE HOME IS ALMOST 70 YEARS OLD, NORMAL STRUCTURAL SETTLING AND WEAR TO DRYWALL MAY MAKE SOME WALLS UNEVEN, ALL DIMENSIONS SHOULD BE FIELD VERIFIED BEFORE INSTALLATION OF NEW EQUIPMENT.

ABBREVIATIONS:

AB	- ANCHOR BOLT	KIP(a)	- 1000 POUNDS
ALT	- ALTERNATE	KLF	- KIPS PER LINEAR FOOT
APPROX	- APPROXIMATELY	KJ	- CONSTRUCTION JOINT
ARCH	- ARCHITECT	LG	- ANGLE
ARCHL	- ARCHITECTURAL	LH	- LONG
B/	- BOTTOM OF	LH1	- LONG LEG HORIZONTAL
BC	- BOTTOM CHORD	LLV	- LONG LEG VERTICAL
BLDG	- BUILDING	LP	- LOW POINT
BM	- BEAM	LW	- LONG WAY
BOTT	- BOTTOM	MFR	- MANUFACTURER
BRG	- BEARING	MAS	- MASONRY
C/C	- CENTER TO CENTER	MO	- MASONRY OPENING
CIP	- CAST IN PLACE	MATL	- MATERIAL
CI	- CONSTRUCTION JOINT	MAX	- MAXIMUM
CL	- CENTERLINE	MECHL	- MECHANICAL
CLR	- CLEAR	MTL	- METAL
CNU	- CONCRETE MASONRY UNIT	MIN	- MINIMUM
COL	- COLUMN	MISC	- MISCELLANEOUS
CONC	- CONCRETE	NIC	- NEAR SIDE
CONFIG	- CONFIGURATION	NS	- NOT IN CONTRACT
CONT	- CONTINUOUS	NTS	- NOT TO SCALE
CONTR	- CONTRACTOR	OC	- ON CENTER
CTR	- CENTER	OH	- OPPOSITE HAND
DBL	- DOUBLE	OPNG	- OPENING
DET	- DETAIL	PAF	- POWDER ACTUATED FASTENERS
DIA	- DIAMETER	PART	- PARTITION
DIM	- DIMENSION	PARTL	- PARTIAL
DN	- DOWN	PCJ	- PRECAST CONCRETE JOIST
DR	- DRAIN/RAIN	PL	- PLATE
DWG	- DRAWING	PLF	- POUNDS PER LINEAR FOOT
EA	- EACH	PSF	- POUNDS PER SQUARE FOOT
EE	- EACH END	PSI	- POUNDS PER SQUARE INCH
EF	- EACH FACE	PT	- POST TENSIONED/PRESSURE TREATED
EJ	- EXPANSION JOINT	R	- RISKER/RADIUS
ELEV	- ELEVATION	REG	- REGULAR
ELEV	- ELEVATION/ELEVATOR	REINF	- REINFORCING
ENGR	- ENGINEER	REM	- REMAINDER
EOR	- ENGINEER OF RECORD	REQD	- REQUIRED
EOS	- EDGE OF SLAB	REV	- REVISED/REVISION
EQ	- EQUAL	RM	- ROOM
EW	- EACH WAY	RO	- ROUGH OPENING
EXIST	- EXISTING	RQMTS	- REQUIREMENTS
EXP	- EXPANSION	SCHED	- SCHEDULE
EXT	- EXTERIOR	SECT	- SECTION
FIN	- FINISH	SIM	- SIMILAR
FLR	- FLOOR	SL	- SLOPE
FND	- FOUNDATION	SOG	- SLAB-ON-GRADE
FMS	- FACE OF MASONRY	SPIR	- SPIRAL
FOM	- FAR SIDE	SQ	- SQUARE
FT	- FOOT	SS	- STAINLESS STEEL
FTG	- FOOTING	STD	- STANDARD
GA	- GAGE	STL	- STEEL
GALV	- GALVANIZED	STRUCTL	- STRUCTURAL
GC	- GENERAL CONTRACTOR	SW	- SHEARWALL/SHORT WAY
GT	- GIRDER TRUSS	T/	- TOP OF
HC	- HOLLOW CORE	TB	- THE BEAM
HCP	- HOLLOW CORE PLANK	TC	- THE COLUMN/TOP CHORD
HDG	- HOT DIPPED GALVANIZED	TEMP	- TEMPERATURE
HG	- HIP GIRDER	TJ	- THE JOIST
HOOK	- HOOK	TRU	- THRU OUT
HORIZ	- HORIZONTAL	TR	- TREAD/TRUSS
HP	- HIGH POINT	TYP	- TYPICAL
HS	- HIGH STRENGTH	UNO	- UNLESS NOTED OTHERWISE
HSS	- HOLLOW STRUCTL SECTION	VERT	- VERTICAL
I	- ISOLATION JOINT	W/	- WITH
INFO	- INFORMATION	WO	- WITHOUT
INT	- INTERIOR	WD	- WOOD
IRR	- IRREGULAR	WP	- WORK POINT
JR	- JAMB REINFORCING	WWF	- WELDED WIRE FABRIC
JO	- JOINT		
K	- KIP(a)		

FINISH NOTES:

FINISH CARPENTRY

SECTION 06200

PROVIDE MISCELLANEOUS FINISH CARPENTRY ITEMS AS SHOWN ON THE DRAWINGS.

INSTALLATION: INSTALL WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT TO FIT ADJOINING WORK. INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES TO THE GREATEST EXTENT POSSIBLE. COPE AT RETURNS, MITER AT CORNERS, AND USE SCARF JOINTS FOR END-TO-END JOINTS TO PROVIDE TIGHT FITTING JOINTS WITH FULL SURFACE CONTACT THROUGHOUT LENGTH OF JOINT.

ANCHOR TO BLOCKING OR DIRECTLY TO SUBSTRATE WITH COUNTERSUNK, CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. ANCHOR COUNTERTOPS SECURELY TO SUPPORT SYSTEMS AS INDICATED. AT DRYWALL PARTITIONS, WHERE BLOCKING DOES NOT EXIST, USE ADHESIVE AND PER.

DRILLED COUNTERSUNK TRIM-HEAD SHEET METAL SCREWS TO ATTACH FINISH CARPENTRY TO METAL STUDS. FILL RECESS TO MATCH SURFACE COLOR OF WOOD.

STUCCO FINISH NOTES

1. STUCCO FINISH APPLIED TO EXTERIOR MASONRY AND CONCRETE SURFACES, SCRATCHED AND FLOATED IN TWO COATS STANDARD OPERATION IN THICKNESS AND FINISH AS SHOWN ON PLANS UNLESS OTHERWISE NOTED.

A. MASONRY CEMENT: DOMESTIC ASTM C 91-66,

B. PORTLAND CEMENT: ASTM C150-67, TYPE 1,

C. WATERPROOFING AGENT: OMICRON OR EQUAL,

D. STUCCO: 1 PART PORTLAND CEMENT, 1 PART MASONRY CEMENT, 4-5 PARTS FINE SAND, ADD WATERPROOFING AGENT IN FINAL COAT.

E. AGGREGATE: ASTM C34-62, F. WATER: POTABLE.

1. FINAL STUCCO FINISH TO BE SMOOTH TYPICAL ALL CONDITIONS NO TEXTURE. STUCCO CONTRACTOR TO SUBMIT SAMPLE FOR ARCHITECT AND OWNER APPROVAL.

METAL FRAMING

SECTION 05810

MATERIALS: ALL STUD FRAMING MEMBERS SHALL BE OF THE TYPE, SIZE AND GAUGE AS SHOW ON THE PLANS AND SPECIFIED HEREIN.

ALL STUDS SHALL BE 20 GAUGE GALVANIZED (UNLESS OTHERWISE NOTED) AND SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO ASTM A446

ALL GALVANIZED STUDS AND ACCESSORIES SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE REQUIREMENTS OF ASTM A446, GRADE A, WITH A MINIMUM YIELD OF 33, 000 PSI.

ALL FRAMING COMPONENTS SHALL BE CUT SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS, OR AS REQUIRED FOR AN ANGULAR FIT AGAINST ABUTTING MEMBERS. MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED.

INSTALLATION TRACKS SHALL BE SECURELY ANCHORED TO THE SUPPORTING STRUCTURES AS SHOWN. FLOOR TRACKS SHALL RECEIVE CONTINUOUS SILICON SEALANT EACH SIDE OF THE TRACK BEFORE INSTALLATION OF WALL SHEATHING/FINISH MATERIAL.

AT TRACK BUTT JOINTS, ABUTTING PIECES OF TACK SHALL BE SECURELY ANCHORED TO A COMMON STRUCTURAL ELEMENT, OR THEY SHALL BE BUTT WELDED OR SPICED TOGETHER.

STUDS SHALL BE PLUMBED, ALIGNED AND SECURELY ATTACHED TO THE FLANGES OR WEBS OF BOTH UPPER AND LOWER TRACKS.

STUDS SHALL BE INSTALLED AT 16" ON CENTER UNLESS OTHERWISE NOTED ON THE PLANS.

WALL STUD BRIDGING SHALL BE ATTACHED IN A MANNER TO PREVENT STUD ROTATION. BRIDGING ROWS SHALL BE SPACED ACCORDING TO THE FOLLOWING SCHEDULE. WALL UP TO 10'-0" HEIGHT: BRIDGING AT MID-HEIGHT WALLS EXCEEDING 10'-0" HEIGHT: BRIDGING ROWS SPACED NOT TO EXCEED 4'-0" O. C.

WALL BACKING

FOR MOUNTING BASE AND WALL CABINETS PROVIDE 1'x6" PT WOOD BACKING IN ALL STUD WALLS AND FURRING SPACE OF ALL C.M.U. WALLS. TOP OF WOOD BACKING WILL BE AT 34" AND 84" A.F.F. - MATCH CASEWORK ELEVATIONS

PORCELAIN TILE

PROVIDE PORCELAIN TILE FLOORING WITH MATCHING COVE BASE AND BULLNOSE EDGE TRIM, WHERE INDICATED ON THE DRAWINGS AND AS REQUIRED HEREIN.

TILE SHALL BE THIN-SET IN ADHESIVE. USE SANDED CEMENT GROUT WITH ACRYLIC ADDITIVE, IN ACCORDANCE WITH TCA HANDBOOK METHOD NO F1.13.

MATERIALS: OWNER TO SELECT FINAL FINISHES, CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL TO OWNER AND ARCHITECT

COMPLY WITH MANUFACTURES INSTRUCTIONS FOR MIXING AND INSTALLATION OF MATERIALS.

EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND CABINETS EQUIPMENT AND FIXTURES, TO FORM A COMPLETE COVERING WITHOUT INTERRUPTIONS, EXCEPT AS OTHERWISE SHOWN. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES AND CORNERS WITHOUT DISRUPTING PATTERN OR JOINT ALIGNMENT. ACCURATELY FORM INTERACTIONS AND RETURNS. PERFORM CUTTING AND DRILLING OF TILE WITHOUT MARKING VISIBLE SURFACES. CAREFULLY GRIND CUT EDGES OF TILE ABUTTING TRIM, FINISH OR BUILT-IN ITEMS FOR STRAIGHT ALIGNED JOINTS. FIT TILE CLOSELY TO ELECTRICAL OUTLETS, PIPING, FIXTURES AND OTHER PENETRATIONS SO THAT PLATES, COLORS, OR COVERS OVERLAP TILE.

JOINTING PATTERNS: UNLESS OTHERWISE SHOWN, LAY TILE IN GRID PATTERN. ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, WALLS AND TRIM ARE SAME SIZE. LAYOUT TILE WALL AND CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. ADJUST TO MINIMIZE TILE CUTTING. PROVIDE UNIFORM JOINT WIDTHS, UNLESS OTHERWISE SHOWN.

PROVIDE EXPANSION JOINTS IN TILE AT ALL EXPANSION, CONSTRUCTION AND CONTROL JOINTS IN THE BUILDING STRUCTURE IN ACCORDANCE WITH TCA HANDBOOK METHOD E11.71. KEEP EXPANSION JOINTS FREE FROM ADHESIVE OR GROUT. INSTALL BACKER ROD AND SEALANT AS DETAILED ON DRAWINGS.

CLEANING: UPON COMPLETION OF PLACEMENT AND GROUTING, CLEAN ALL CERAMIC TILE SURFACES SO THEY ARE FREE OF FOREIGN MATTER. UNGLAZED TILE MAY BE CLEANED WITH ACID SOLUTIONS ONLY WHEN PERMITTED BY TILE AND GROUT MANUFACTURERS, PRINTED INSTRUCTIONS, BUT SOONER THAN 14 DAYS AFTER INSTALLATION. PROTECT METAL SURFACES, CAST IRON AND VITREOUS PLUMBING FIXTURES FROM EFFECTS OF ACID CLEANING. FLUSH SURFACE WITH CLEAN WATER BEFORE AND AFTER CLEANING.

FINISH TILE WORK: LEAVE FINISHED INSTALLATION CLEAN AND FREE OF CRACKED, CHIPPED, BROKEN UNBONDED, OR OTHERWISE DEFECTIVE TILE WORK.

PROTECTION: WHEN RECOMMENDED BY TILE MANUFACTURER, APPLY A PROTECTIVE COAT OF NEUTRAL PROTECTIVE CLEANER TO COMPLETED TILE WALL AND FLOORS. PROTECT INSTALLED TILE WORK WITH KEAT PAPER OF OTHER HEAVY COVERING DURING CONSTRUCTION PERIOD TO PREVENT DAMAGE AND WEAR.

PROHIBIT FOOT AND WHEEL TRAFFIC FROM USING TILED FLOORS FOR AT LEAST THREE (3) DAYS AFTER GROUTING IS COMPLETED.

BEFORE FINAL INSPECTION REMOVE PROTECTIVE COVERINGS AND RISE NEUTRAL CLEANER FROM TILE SURFACE.

ADDITIONAL TILE NOTES

INSTALL PORCELAIN TILE TO CEILING AT ALL TUB AND SHOWER ENCLOSURES AT ALL BATHROOM WALL AT TUBS AND SHOWERS, INSTALL TILE ON ½ " DENSESHIELD OR AQUA-SHIELD, AT ALL OTHER BATHROOM WALLS INSTALL ½ " M.R. GREEN BOARD.

ALL BATHROOM WALL TILE TO BE PORCELAIN TILE.

ALL BATHROOM FLOORS SHALL HAVE A KERDI MEMBRANE - WITH MIN 1'-0" UP WALL RETURNS

GYPSUM DRYWALL SECTION 09250

A. ALL DRYWALL TO BE LEVEL 4 FINISH WITH NO MARLS, RIDGES, MARKINGS, DEFORMATIONS, WARPING OR TELEGRAPHING OF ANY DEGREE. SMOOTH SANDED FINISH READY FOR PRIMER AND PAINT FINISH

B. GYPSUM WALLBOARD, SHALL CONFORM TO THE REQUIRED OR SPECIFIED UNDERWRITERS LABORATORY (UL) ASSEMBLY SEE PARTITION SCHEDULE. ALL GYPSUM WALLBOARD SHALL MANUFACTURED BY UL APPROVED COMPANIES. INSTALLATION SHALL MEET THE FOLLOWING: A. ½ OR 5/8 INCH THICK BY 48 WIDE BY HEIGHT REQUIRED APPLIED VERTICALLY ON FURRING STRIPS AT INSIDE OF EXTERIOR MASONRY WALLS AT CEILING AS INDICATED.

C. GYPSUM BOARD PARTITIONS SHALL BE ERCTED AS SHOWN ON THE PLANS OR CALLED FOR IN THE WALL SCHEDULE. ALL JOINTS SHALL BE LOCATED SO THAT THE PANELS OPPOSITE ONE ANOTHER SHALL FALL ON ALTERNATE STUDS. ALL JOINTS SHALL BE TAPED SPACKLED AND FINISHED SMOOTH.

D. ALL GYPSUM BOARD CONSTRUCTION SHALL BE ERECTED PLUMB, LEVEL, SQUARE, STRAIGHT AND SECURELY INSTALLED WITH ALL SEAMS TO BE VERTICAL. ALL JOINTS ON EXPOSED SURFACES SHALL BE FLUSH, TIGHT, AND NEATLY CUT AND CLOSELY FIT AT OPENINGS FOR THE WORK OF OTHER TRADES AT THE INTERSECTIONS OF GYPSUM BOARD AND OTHER MATERIALS.

E. METAL CORNER BEAD SHALL BE USED AT ALL EXPOSED CORNERS AND ENDS.

F. ALL RESTROOMS SHALL USE MOISTURE RESISTANT BOARD "GREEN BOARD" AT ALL AREAS WITHIN 8'-0" OF ANY PLUMBING FIXTURE.

G. INSTALL PER MANUFACTURERS SPECIFICATIONS.

H. PROVIDE AND INSTALL SCREW-TYPE METAL SUPPORT SYSTEM, GYPSUM WALLBOARD, AND DRYWALL FINISHING OF PARTITIONS, FURRING, CEILING AND SOFFIT DROPS WHERE SHOWN OR NOTED ON THE DRAWINGS AND AS SPECIFIED HEREIN.

I. METAL FURRING: ASTM A525, G90, 26 GAGE MINIMUM, 1 ½" DEPTH UNLESS NOTED OTHERWISE. SCREW-TYPE ZEE-SHAPED FURRING MEMBERS DESIGNED FOR MECHANICAL ATTACHMENT OF INSULATION BOARDS TO MONOLITHIC CONCRETE AND MASONRY WALLS.

J. TRIM ACCESSORIES: ASTM C475. PAPER REINFORCING JOINT TAPE, WITH READY MIXED VINYL-TYPE JOINT COMPOUND, MULTI-PURPOSE, GRADE.

K. COMPLY WITH "GYPSUM CONSTRUCTION HANDBOOK" BY UNITED STATES GYPSUM CO. GYPSUM ASSOCIATION GA-216 "RECOMMENDED SPECIFICATIONS FOR APPLICATION AND FINISHING OF GYPSUM BOARD" AND ASTM C754 "INSTALLATION OF FRAMING MEMBERS TO RECEIVE SCREW ATTACHED GYPSUM WALLBOARD, BACKING BOARD, OR WATER RESISTANT BACKING BOARD" FOR ALL INSTALLATION WORK.

L. BASE OF WATER RESISTANT GYPSUM BOARD: PROVIDE ½" GAP BETWEEN BOTTOM OF WATER RESISTANT GYPSUM BOARD AND FLOOR SURFACE FOR INSTALLATION OF CONTINUOUS SILICONE SEALANT.

M. INSTALL CONTROL JOINTS ABOVE ALL DOOR JAMBS, AND AS INDICATED ON THE DRAWINGS.

N. APPLY JOINT TREATMENT AT ALL JOINTS (BOTH DIRECTIONS), METAL TRIM FLANGES, PENETRATIONS, FASTENERS HEADS, SURFACE DEFECTS AND ELSEWHERE AS REQUIRED TO PREPARE WORK FOR FINAL FINISH. APPLY JOINT COMPOUND IN THREE (3) COATS AND SAND SMOOTH BETWEEN LAST TWO (2) COATS AND AFTER LAST COAT.

O. INSTALL ACOUSTICAL INSULATION IN PARTITIONS INDICATED ON DRAWINGS TO ACHIEVE STC RATINGS OF 35 FOR INTERIOR WALLS AND STC RATING OF 50 BETWEEN UNITS AND HALLWAY. INSTALL ACOUSTICAL INSULATION IN PARTITIONS TIGHT WITHIN SPACES, AROUND CUT OPENINGS, BEHIND AROUND AND TIGHT TO PENETRATION ITEMS INSTALL ACOUSTICAL SEALANT IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

P. DRYWALL MUST BE FABRICATED IN NORTH AMERICA

PLUMBING CHASE

STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GA. WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864 I n 4.

SUCH STUD SHALL BE RIGIDLY CONNECTED TOP AND BOTTOM TO PREVENT SIGNIFICANT END ROTATION OR DISPLACEMENT.

A HORIZONTAL MEMBER SECURELY FASTENED TO NOT LESS THAN TWO STUDS SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE.

MISC NOTES:

- CEILINGS TO BE 5/8" GYPSUM DRYWALL ON SUSPENDED METAL FRAMING WITH PAINT FINISH.
- PARTITIONS IN BATHROOMS, POWDER ROOM OR KITCHEN PLUMBING WALLS TO BE MOISTURE RESISTANT GYPSUM WALL BOARD FLOOR TO CEILING
- PARTITIONS WITH TILE TO BE 5/8" DUROCK. CO-ORDINATE WITH OWNER FOR FINISH SELECTIONS .
- ALL FINISHES TO BE CLASS "A" TYP.
- FLAME SPREAD FOR INSULATION MAX 25, SMOKE DEVELOPED MAX 450 PER FBC R302.10
- FLAME SPREAD FOR WALL AND CEILING FINISHES MAX 200, SMOKE DEVELOPED MAX 450 PER FBC R302.9
- OWNER TO SELECT COLORS, CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL
- PROVIDE CROSS BRACING AT ALL INTERIOR NON-BEARING PARTITIONS. SECURE TO ROOF TRUSSES ABOVE
- PROVIDE HORIZONTAL STUDS (FIRE STOPS) AT ALL CEILING LEVELS, BOTH SIDES OF WALL/PARTITION, NOT TO EXCEED 8'-0" HORIZONTALLY

PAINTING

SECTION 09900

WORK INCLUDES SURFACE PREPARATION AND PAINTING OF INTERIOR AND EXTERIOR SURFACES FOR THE TOTAL PROJECT. WHERE ITEMS OR SURFACES ARE NOT SPECIFICALLY MENTIONED, POINT THE SAME AS SIMILAR ADJACENT MATERIALS OR AREAS. EXPOSED PORTIONS OF FLUSH, MOUNTED GRILLES, DIFFUSERS, AND RECESSED LIGHT FIXTURE TRIMS SHALL BE PAINTED TO MATCH THE COLOR OF THE CEILING, IF THE CEILING IS PAINTED OTHER THAN WHITE.

PAINTING NOT REQUIRED: UNLESS OTHERWISE INDICATED, PAINTING IS NOT REQUIRED ON CASEWORK, PLASTIC LAMINATE, MECHANICAL EQUIPMENT, PLUMBING FIXTURE, ELECTRICAL EQUIPMENT (EXCLUDING EXPOSED DISTRIBUTION CABINETS) ELECTRICAL DEVICES. PAINTING IS NOT REQUIRED ON SURFACES SUCH AS WALL OR CEILING IN CONCEALED OR INACCESSIBLE AREAS. METAL SURFACES OF ANODIZED ALUMINUM, STAINLESS STEEL, CHROMIUM PLATE AND SIMILAR FINISHED MATERIALS DO NOT REQUIRE FINISH PAINTING. DO NOT PAINT OVER CODE-REQUIRED LABELS OR EQUIPMENT IDENTIFICATION LABELS AND SPRINKLER HEADS.





Page 1 of 2 Not valid without all pages

<b>Property Address:</b>  1415 Madison Street Hollywood, FLORIDA 33020	<b>General Notes:</b> 1) The Legal Description used to perform this survey was supplied by others. This survey does not determine or is not to imply ownership. 2) This survey only shows above ground improvements. Underground utilities, footings, or encroachments are not located on this survey map. 3) The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement. Well-identified features as depicted on the Survey Map were measure to an estimated horizontal positional accuracy of 1/10 foot. 4) If there is a septic tank, well, or drain field on this survey, the location of such items was shown to us by others and the information was not verified. 5) Examination of the abstract of title will have to be made to determine recorded instruments, if any, affect this property. The lands shown herein were not abstracted for easement or other recorded encumbrances not shown on the plat. 6) Wall/fence ties shown are from the inside face of the wall/fence to the property line. 7) Fence ownership is not determined. 8) Bearings referenced to line noted B.R also are assumed. 9) Dimensions shown are platted and measured unless otherwise shown. 10) No identification found on property corners unless noted. 11) No valid unless sealed with the signing surveyors embossed seal. 12) Boundary survey means a drawing and/or graphic representation of the survey work performed in the field, could be drawn at a shown scale and/or not to scale. 13) Elevations if shown are based upon NGVD 1929 unless otherwise noted. 14) This is a BOUNDARY SURVEY unless otherwise noted. 15) This survey is exclusive for the use of the parties to whom it is certified. The certifications do not extend to any unnamed parties. 16) This survey may be used for construction/permitting purposes
<b>Flood Information:</b>  <b>Community Number:</b> 125113 <b>Panel Number:</b> 12011C0569 <b>Suffix:</b> H <b>Date of Firm Index:</b> 08/18/2014 <b>Flood Zone:</b> AE <b>Base Flood Elevation:</b> 7.0' <b>Date of Field Work:</b> 11/20/2023 <b>Date of Completion:</b> 12/06/2023	

**Please copy below for policy preparation purposes only:**  
*This policy does not insure against loss or damage by reason of the following exceptions: Any rights, easements, interests, or claims which may exist by reason of, or reflected by, the following facts shown on the survey prepared by*  
Miguel Espinosa, for M.E. Land Surveying, LLC., dated 12/06  
2023 bearing Job # B-134477 :  
 a. PAVERS EXTEND BEYOND NORTH AND SOUTH PROPERTY LINES.



Page 2 of 2 Not valid without all pages

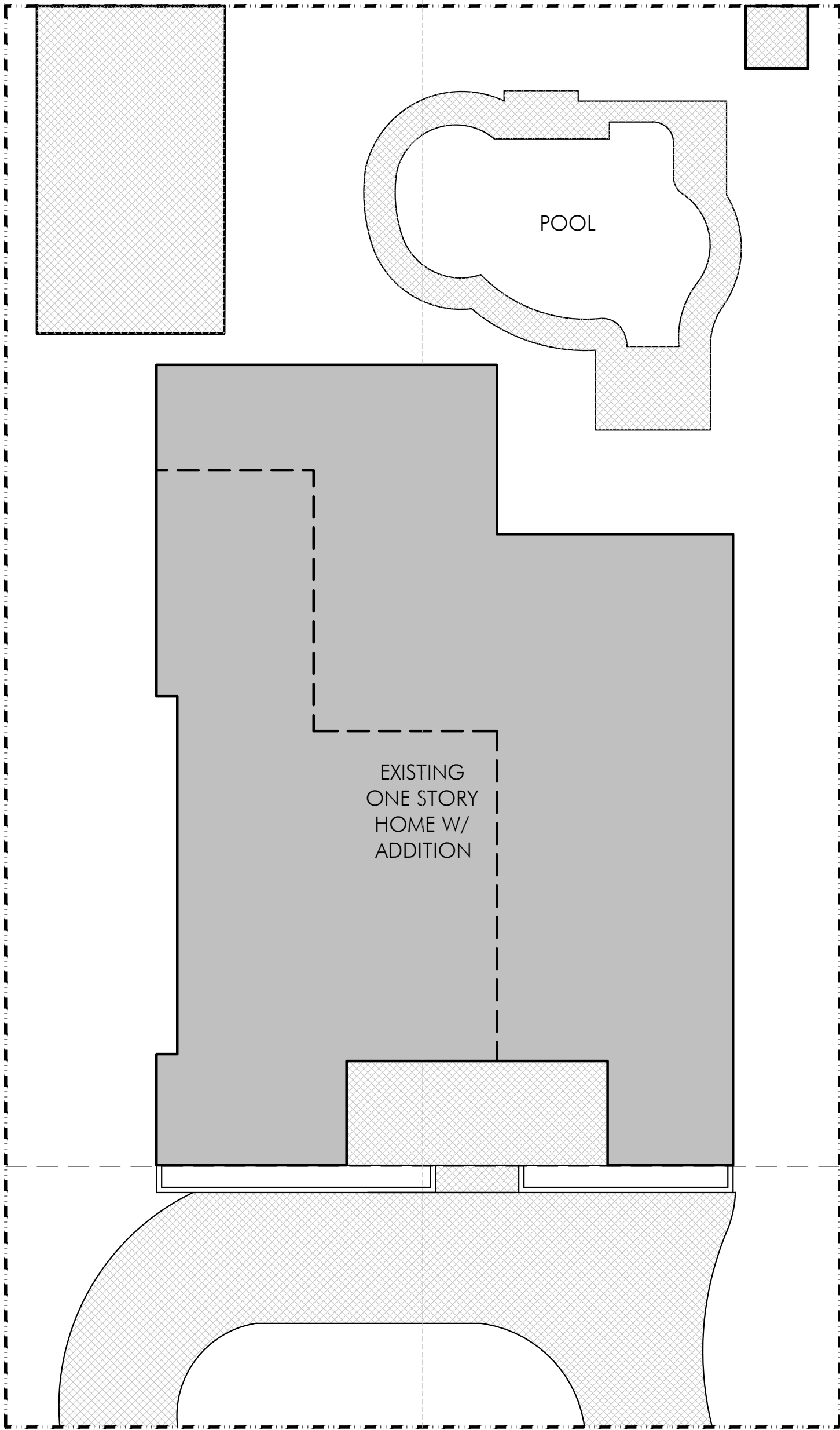
RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

V 1.00

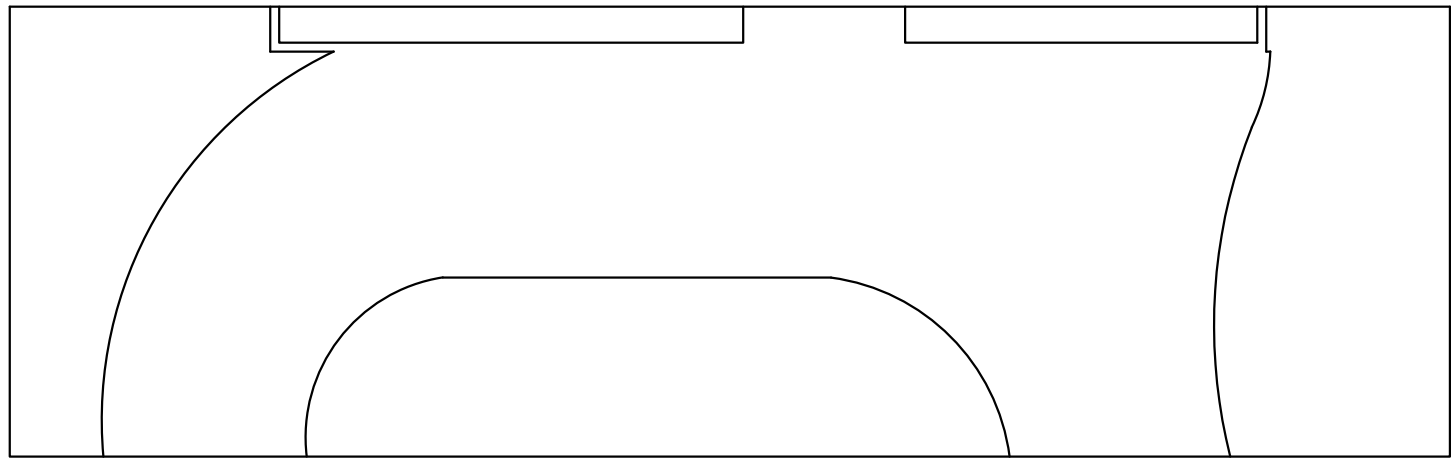


ZONING DISTRICT:	RS-6   SINGLE FAMILY	
	ALLOWED/PERMITTED	PROPOSED
FRONT YARD OPEN AREA	20 % MIN ( 200 SQFT)	46.85%   937 SQFT (UNCHANGED)
SIDE SETBACKS	10'-0" EACH SIDE	14'-6" / 10'-2"
REAR SETBACK	20'-5" (15% OF LOT DEPTH)	34'-5" (UNCHANGED)
FRONT SETBACK	25'-0"	25'-0" (UNCHANGED)
ROOF HEIGHT	30'-0"	16'-2"
FLOORS	TWO	ONE (UNCHANGED)
MINIMUM LOT SIZE	6,000 SQFT	10,916 SQFT (UNCHANGED)
FLOOD ZONE / B.F.E.	AE 7 / 7.00 N.A.V.D	4.53 N.A.V.D. (EXISTING) ⚠
PARKING	5 (2/2,000 + 1/500)	5
LANDSCAPE	40%	51.7%
FRONT YARD LANDSCAPE	20%	46.8%
UNDER A/C SQFT	-	3,562 SQFT

LANDSCAPED PERVIOUS OPEN SPACE:  
LOT SIZE: 10,916 SQ. FT.  
PROPOSED: 5,070 SQFT (46.44%) OF ALLOWED: MIN 40%

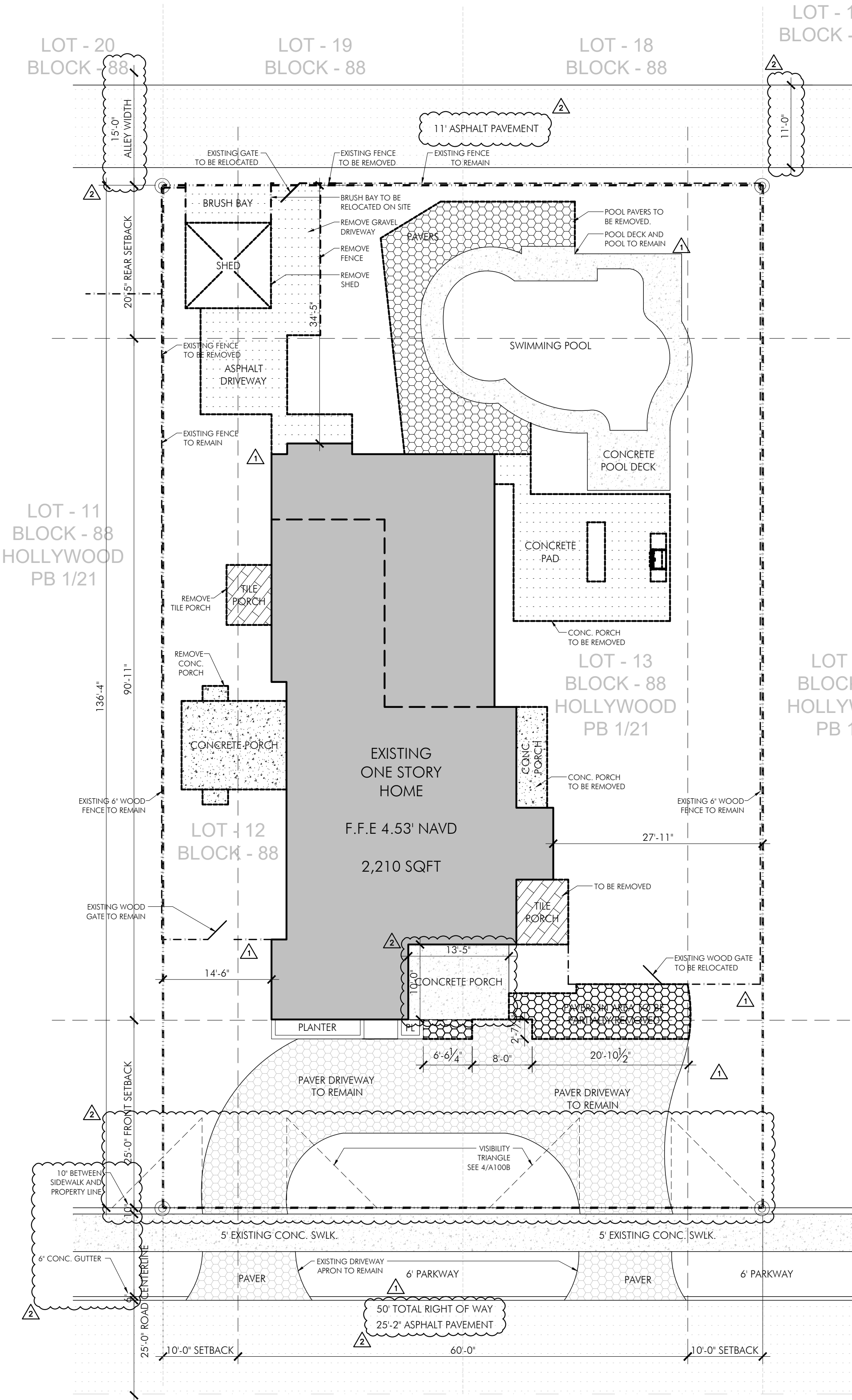


FRONT YARD LANDSCAPED PERVIOUS OPEN SPACE:  
FRONT YARD (25'-0" x 80'-0"): 2,000 SQFT  
FRONT YARD REQUIRED: 20% (400 SQFT)  
PROPOSED: 965 SQFT .....(48.25%)



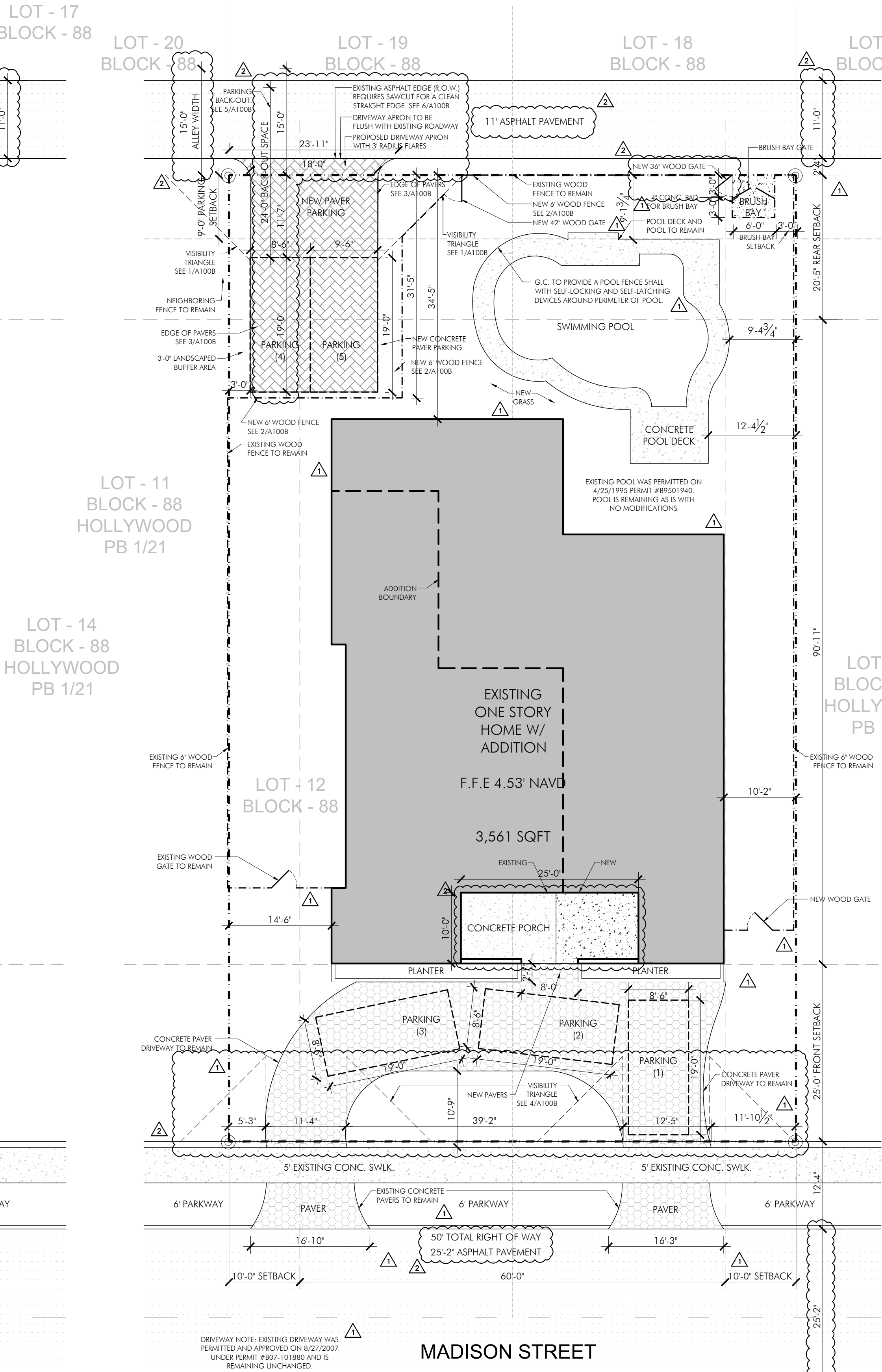
3 SITE DIAGRAMS  
3/32" = 1'-0"

DRIVEWAY NOTE
EXISTING DRIVEWAY WAS PERMITTED AND APPROVED ON 8/27/2007 UNDER PERMIT #B07-101880 AND IS REMAINING UNCHANGED.
UTILITIES NOTE
ALL UTILITY CONNECTIONS ARE TO BE MADE WITHIN THE PROPERTY LINES OF THE SITE. NO WORK IS PROPOSED IN THE CITY OF HOLLYWOOD R.O.W.



1 EXISTING SITE PLAN  
3/32" = 1'-0"

FLOODPLAIN NOTE
EXISTING HOME WAS CONSTRUCTED IN 1952 IN A HISTORIC DISTRICT & WAS BUILT BELOW EXISTING FLOODPLAIN. ALL NEW ADDITIONS ARE BEING BUILT TO MATCH THE HIGHEST EXISTING FINISHED FLOOR ELEVATION.



2 PROPOSED SITE PLAN  
3/32" = 1'-0"

REAR PARKING NOTE
PARKING SURFACE TO BE INTERLOCKING CONCRETE PAVER WITH THE FOLLOWING CONDITIONS: MINIMUM 2 3/8" PAVERS PLACED OVER A 1 1/2" INCH SAND BASE AND COMPACTED SUB-BASE. MINIMUM SIX-INCH EDGE RESTRAINT (CONCRETE BORDER) AROUND PERIMETER TO INTERLOCK PAVERS. THE REAR DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE ALLEY.

ARCH 0'-0" = 3.20" N.A.V.D.



SCHISM ARCHITECTURE + DESIGN

RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT LOCAL BUILDING DEPARTMENT PERMITS, APPROVAL, AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS. ANY INFORMATION WITHIN THIS SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE. SEE ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND THE USER OF THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS OF THE WORK DESCRIBED WITHIN THESE DRAWINGS. IF ANY CONFLICTS OR DISCREPANCIES ARE FOUND, THE USER SHALL NOTIFY THE ARCHITECT PRIOR TO THE BEGINNING OF ANY BUILDING WORK AND/OR PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:  
2/15/24 BLDG DEPT COMMENTS  
5/3/24 BLDG DEPT COMMENTS

DRAWING TITLE:  
SITE PLANS  
+ ZONING

PROJECT # 2307

DRAWING NO.  
A 1.00



LEGEND

EXISTING EXTERIOR CONCRETE MASONRY WALL

EXISTING INTERIOR PARTITION

OBJECT OVERHEAD

EXISTING WINDOW

EXISTING DOOR

1

EXISTING FLOOR PLAN

1/4" = 1'-0"

ARCH 0'-0" = 3.20' N.A.V.D.

N

SCHISM<sup>ARCHITECTURE</sup> + DESIGN

SCHNEUR Z. MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCES, PRODUCTS AND EQUIPMENT BOOKS AND MANUALS AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS. ANY INFORMATION WITHIN THE SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE, SET BY THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HERS CONTRACTORS TO BE AWARE WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET OF ANY CONFLICTS OR INCONSISTENCIES WITH THE WORK. IN THE DRAWING SET THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BUILDING WORK AND/OR PURCHASING.

DRAWN BY: SZM

DATE: 5/3/2024

REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
EXISTING FLOOR PLAN

PROJECT # 2307

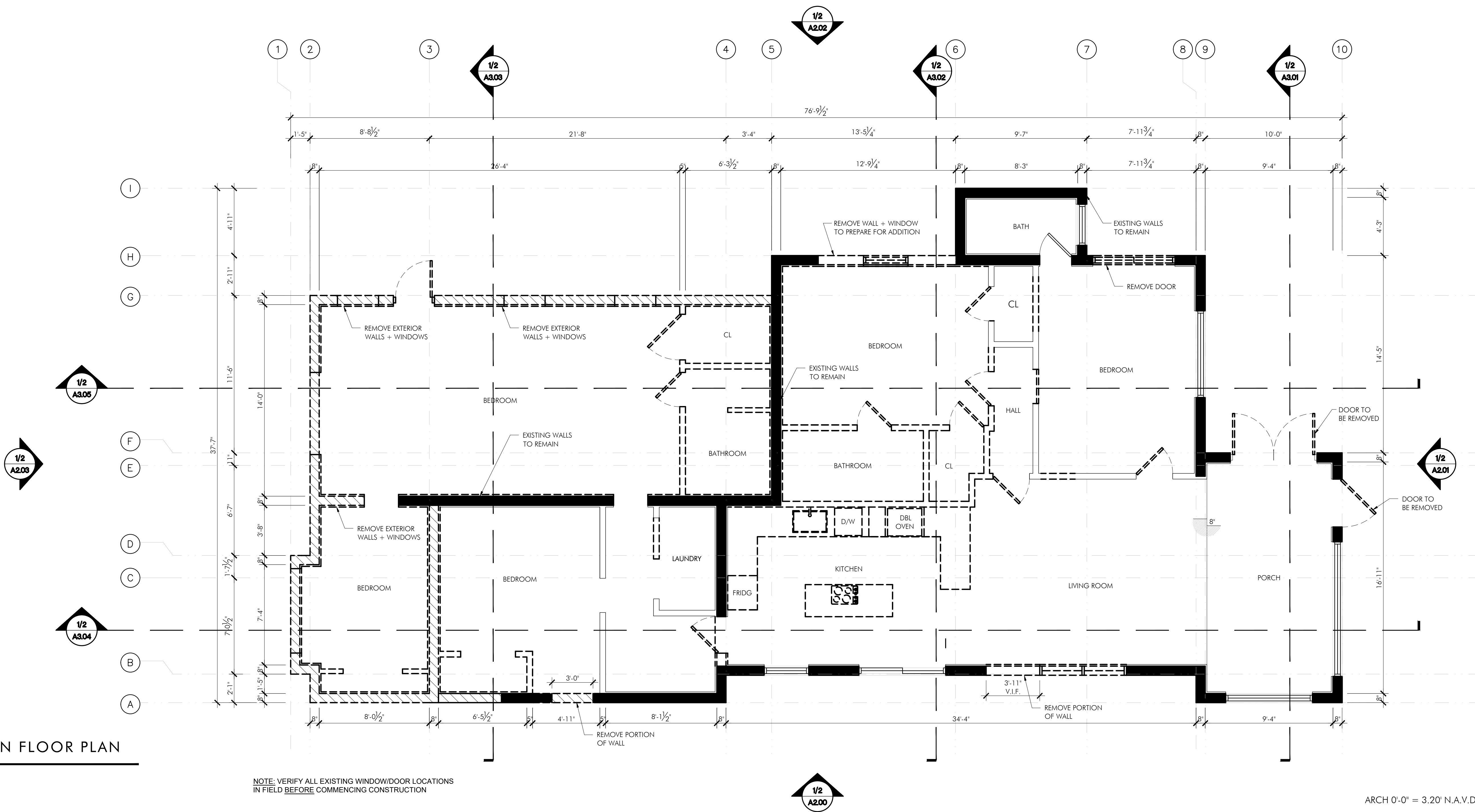
DRAWING NO.  
A 1.01



DEMOLITION LEGEND	
	EXISTING EXTERIOR CONCRETE MASONRY WALL TO REMAIN
	EXISTING EXTERIOR CONCRETE MASONRY WALL TO BE REMOVED
	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING INTERIOR PARTITION TO BE REMOVED
	OBJECT OVERHEAD TO BE REMOVED
	OBJECT OVERHEAD TO REMAIN
	EXISTING WINDOW TO REMAIN
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES**
- CONTRACTOR TO PROTECT ALL EXISTING AREAS OUTSIDE THE LIMITS OF CONSTRUCTION (TYP.). CONTRACTOR SHALL PATCH, REPAIR OR REPLACE ANY DAMAGE, INTENTIONAL OR NOT, CAUSED BY CONSTRUCTION WORK OR WORKERS TO AREAS OUTSIDE THE LIMITS OF CONSTRUCTION (TYP.)
  - REMOVE ALL EXISTING BATHROOM & KITCHEN APPLIANCES
  - CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION AND CONSTRUCTION.
  - ALL UTILITY LINES INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ETC. SHALL BE SHUT OFF, CAPPED, OR OTHERWISE CONTROLLED BEFORE DEMOLITION WORK IS STARTED. CO-ORDINATE WITH CITY STAFF PRIOR TO ANY SHUT-DOWNS.

- SCOPE OF WORK NOTE**
- HOME WAS RECENTLY BOUGHT BY NEW OWNER. DEMOLITION WORK TO THE REAR STRUCTURE IS TO REMOVE AND REPLACE AN UNSAFE STRUCTURE THAT WAS BUILT & ENCLOSED WITHOUT PERMITS. NEW AREA IS TO RETAIN EXISTING FOOTPRINT BUT REBUILD IN A SAFE AND CODE COMPLIANT WAY.
  - RENOVATE EXISTING HOME AND BRING ALL FLOORS UP TO GROUND LEVEL.
  - NEW 1,219 SQFT CMU ADDITION WITH NEW WOOD TRUSS.



**1** DEMOLITION FLOOR PLAN  
1/4" = 1'-0"

NOTE: VERIFY ALL EXISTING WINDOW/DOOR LOCATIONS  
IN FIELD BEFORE COMMENCING CONSTRUCTION

ARCH 0'-0" = 3.20' N.A.V.D.



SCHISM ARCHITECTURE + DESIGN

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FL: AR101781

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PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCEPTANCE, PRODUCT AND EQUIPMENT BOOKS AND MANUALS, AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THIS SET. IT SHALL BE CONSIDERED WHOLE BY THE USER AND INFORMATION WITHIN THE SET AND SPECIFICATIONS MUST BE UNDERSTOOD AS PART OF THE WHOLE SET. THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUB-CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET OF ANY CONFLICTS ARE TO BE IN THE DESCRIPTION OF WORK IN THIS DRAWING SET. THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY FIELD WORK AND OR FIELDWORKING.

DRAWN BY: SZM

DATE: 5/3/2024

REVISIONS:

2/15/24 BLDG DEPT NOTES

DRAWING TITLE:

DEMOLITION FLOOR PLAN

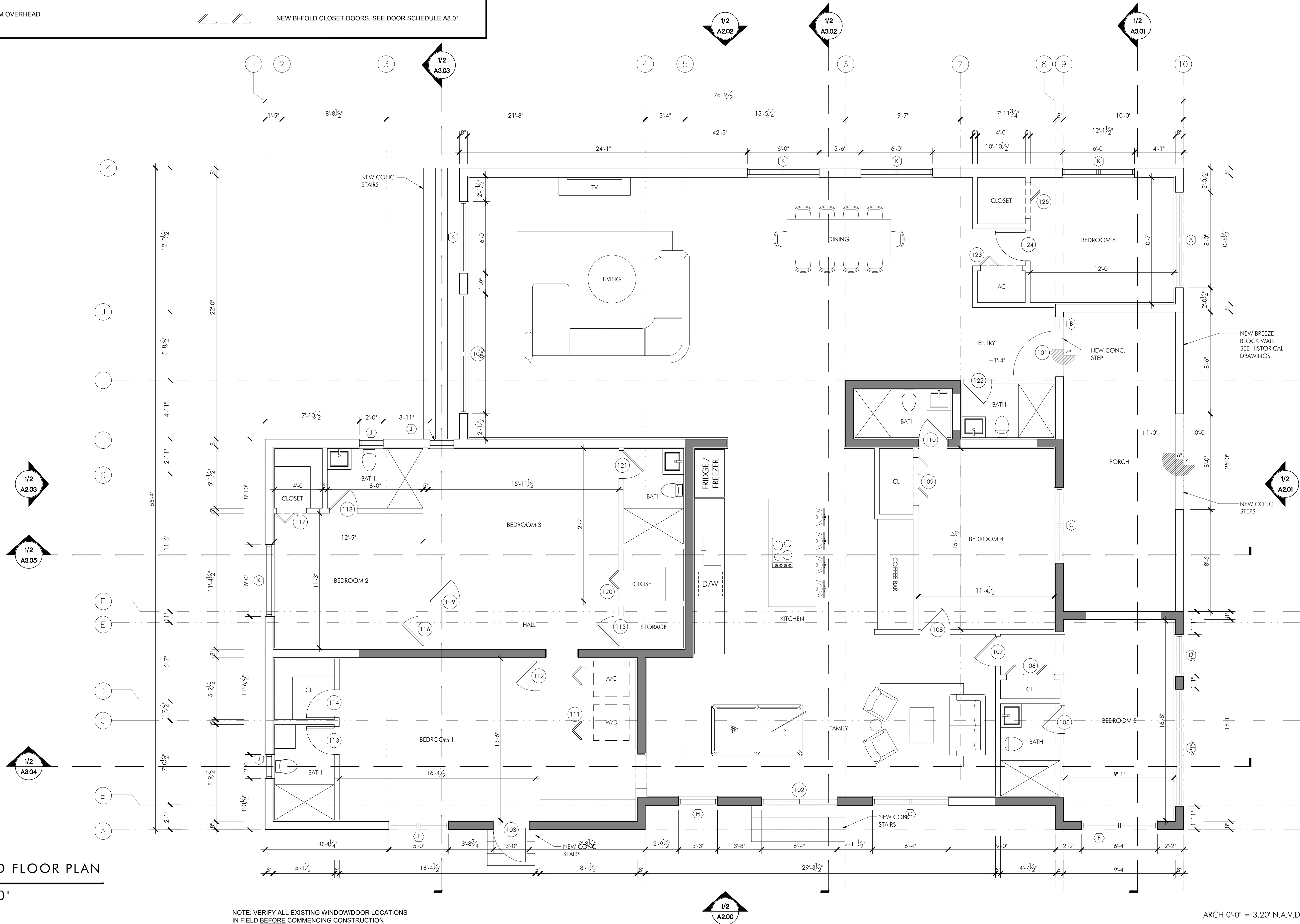
PROJECT # 2307

DRAWING NO.

A 1.02



FLOORPLAN LEGEND			
	NEW 8" CONCRETE MASONRY WALL UNIT. SEE STRUCTURAL DRAWINGS.		EXISTING IMPACT RATED EXTERIOR WINDOW TO REMAIN. SEE WINDOW SCHEDULE A8.02
	EXISTING MASONRY WALL TO REMAIN.		NEW IMPACT RATED EXTERIOR WINDOW. SEE WINDOW SCHEDULE A8.02
	EXISTING INTERIOR PARTITION TO REMAIN		WINDOW TAG. SEE WINDOW SCHEDULE A8.02
	NEW INTERIOR PARTITION WALL. SEE WALL SCHEDULE.		DOOR TAG. SEE DOOR SCHEDULE A8.01
	BEAM OVERHEAD		NEW BI-FOLD CLOSET DOORS. SEE DOOR SCHEDULE A8.01



1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

NOTE: VERIFY ALL EXISTING WINDOW/DOOR LOCATIONS  
IN FIELD BEFORE COMMENCING CONSTRUCTION

ARCH 0'-0" = 3'-20" N.A.V.D.  
N

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SCHNEUR Z MEYER, AIA  
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1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW.  
THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION  
DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE  
OBTAINED AND COMPLETED. ANY CHANGES TO THESE PLANS  
DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT  
REQUIRE DIFFERENT MEASUREMENTS SHALL BE APPROVED AND REVISIONS  
NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND  
SPECIFICATIONS.  
PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE  
OF ACCEPTANCES, PRODUCTS AND EQUIPMENT BOOKS AND MANUALS AND  
SOL REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THE  
ENTIRETY SHALL BE CONSIDERED WHEN THE OTHERS DO NOT.  
INFORMATION WITHIN THE SET AND SPECIFICATIONS MUST BE  
UNDERSTOOD AS PART OF THE WHOLE. THE RESPONSIBILITY OF THE  
CONTRACTOR AND HIS SUB CONTRACTORS TO BE FAIRLY AWARE  
ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET. IF  
ANY CONTRACTORS ARE ASKED TO DESCRIBE WORK IN THIS  
DRAWING SET, THE CONTRACTOR MUST NOTIFY THE OWNER AND  
ARCHITECT PRIOR TO THE BEGINNING OF ANY BRICK, WORK AND/OR  
PLASTERING.

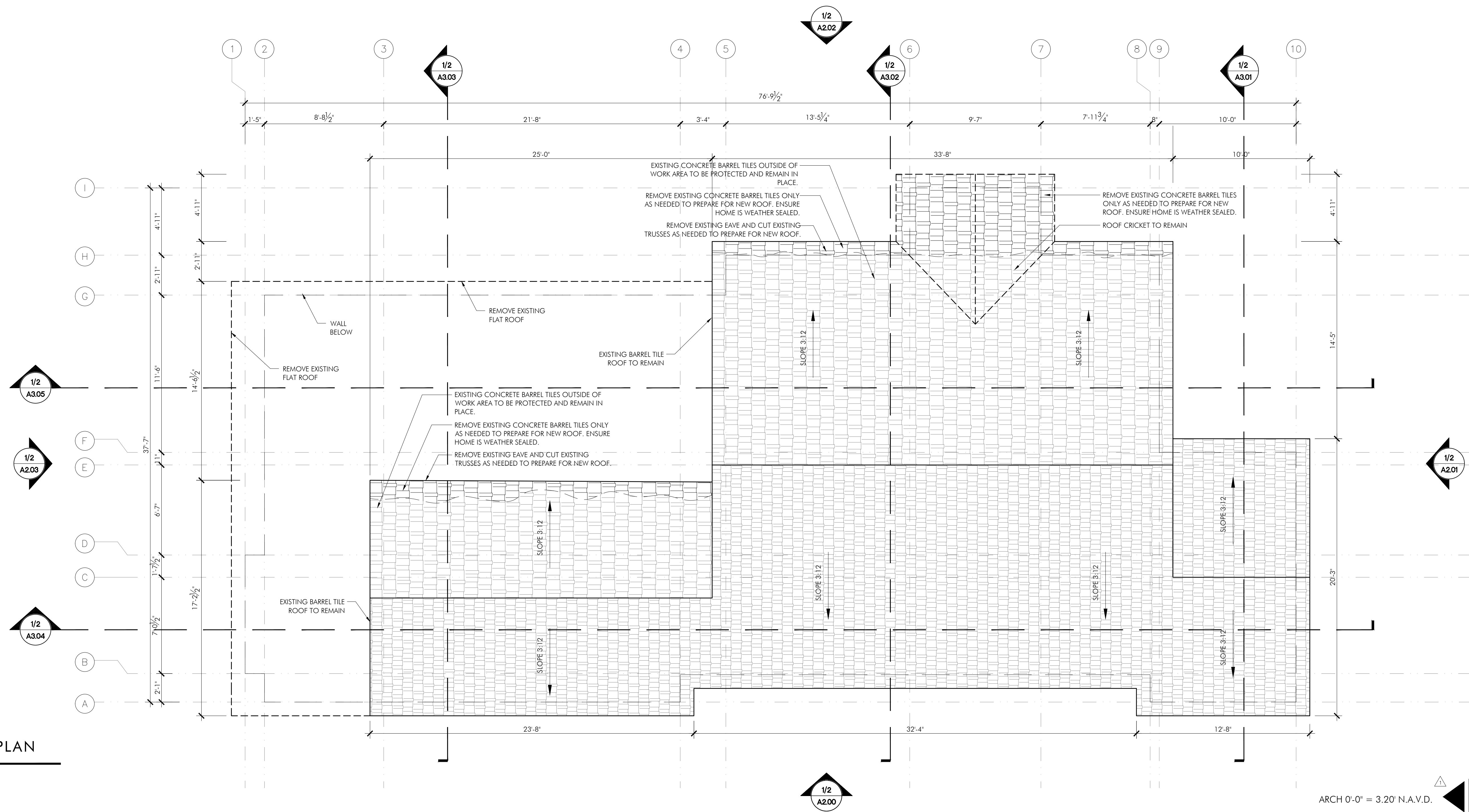
DRAWN BY: SZM  
DATE: 5/3/2024  
REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
PROPOSED  
FLOOR PLAN

PROJECT # 2307  
DRAWING NO.  
A 1.03



1 EXISTING ROOF PLAN  
1/4" = 1'-0"



ARCH 0'-0" = 3.20' N.A.V.D.

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PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ADOPTIONS, PRODUCT AND EQUIPMENT BOOKS AND MANUALS, AND SOLI REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS ENTITY SHALL BE CONSIDERED WITHOUT THE OTHERS. ANY INFORMATION WITHIN THE SET AND SPECIFICATIONS MUST BE UNDERSTOOD AS PART OF THE WHOLE. SET IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE SUB CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET. IF ANY CONFLICTS ARISE AS WITHIN THE DESCRIPTION OF WORK IN THIS DRAWING SET, THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BEDDING WORK AND/OR FINISHING.

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DATE: 5/3/2024

REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
EXISTING ROOF PLAN

PROJECT # 2307

DRAWING NO.  
A 1.04



**GENERAL ROOFING NOTES:**

NOTE: ROOFING INSTALLER TO SUBMIT ENGINEERED SHOP DRAWINGS FOR ARCHITECT REVIEW AND SUPPLY OWNER WITH 20-YEAR WRITTEN GUARANTY AT COMPLETION OF WORK OR APPROVED EQUAL.

ROOFING SUB-CONTRACTOR TO COORDINATE LOCATION OF H.V.A.C. UNITS AND ROOF-TOP ACCESSORIES WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR PLACEMENT.

ROOF SYSTEMS SPECIFIED SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED APPLICATOR IN ORDER TO MEET GUARANTEE REQUIREMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING LOCATION OF ALL MECHANICAL UNITS WITH STRUCTURAL AND MECHANICAL DRAWINGS.

REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION.

ALL CURBS AND PIPE PENETRATIONS SHALL HAVE A MIN. OF 16" CLEAR FROM EACH OTHER FOR ROOF FLASHING PURPOSES. ALL EQUIPMENT SHALL HAVE A MIN. 16" CLEAR FROM ALL ADJACENT PARAPETS. ALL H.V.A.C. MOUNTED EQUIPMENT (DISC. BOXES, GFI, PIPE SUPPORTS) SHALL NOT BE CLOSER THAN 16" FROM EACH OTHER OR CURB. NO UNISTRUT PIPE SUPPORTS SHALL BE USED AS VERTICAL MEMBERS FOR MOUNTING EQUIPMENT TO ROOF SURFACE.

PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.

ALL FLASHING CEMENTS, ASPHALTS, PRODUCTS AND ACCESSORIES SHALL BE APPROVED BY ROOFING MANUFACTURER WITH THE MANUFACTURER'S BRAND. ALL ASPHALTS SHALL BE AMERICAN MANUFACTURED PRODUCTS.

ALL METALS USED FOR THE PROJECT SHALL BE GALVANIZED METAL IN 20 GA., 24 GA. AND/OR 26 GA. AS INDICATED IN THE REFERENCED DETAILS.

ALL METALS SHALL BE MANUFACTURED AND INSTALLED PER S.H.A.N.C.A. STANDARDS AND RECOMMENDATIONS.

FULL SUBMITTALS FOR ALL ROOF SYSTEM, MATERIALS, PRODUCT AND ACCESSORIES SHALL BE SUBMITTED FOR THE ARCHITECT'S REVIEW.

ALL WOOD USED FOR ROOFING AND APPLICATIONS SHALL BE PRESSURE TREATED WOOD IN COMPLIANCE WITH F.B.C. 2010 AND R.A.S.-111.

ALL CONDENSATE PIPE SUPPORTS SHALL BE ON ADJUSTABLE SUPPORTS IN COMPLIANCE WITH R.A.S.-111 AND THE F.B.C. 2020.

GENERAL CONTRACTOR TO NOTE ALL P.P.'s & E.C.'s MUST BE KEPT A MINIMUM OF 16" FROM H.V.A.C. CURB AND A MINIMUM OF 12" AWAY FROM ADJACENT PIPING OR CURBS. GENERAL CONTRACTOR TO PROVIDE A 1/2" CRICKET INSTALLED BEHIND ALL ROOF FANS. CONTRACTOR TO COORDINATE CURB HEIGHT ON UNIT WITH CRICKET TO MAINTAIN A MINIMUM OF 8" FLASHING HEIGHT. (TYP.)

ROOFING MATERIAL HAVING AN SRI OF AT LEAST 78".

**ROOFING SPECIFICATIONS:**

FLAT ROOF:  
GAF LIBERTY SBS SELF-ADHERING MODIFIED BITUMEN ROOF SYSTEM OVER WOOD DECKS  
NOA #22-0301.26 EXP. 02-22-28

SLOPED ROOF:  
SANTAFE SPANISH 'S' CLAY ROOF TILE  
NOA NO.: 21-0614.05  
EXPIRATION DATE: 02/01/26  
APPROVAL DATE: 07/01/21

(ROOF ASSEMBLY R VALUE AVERAGE = 30)  
ROOF DECK TO BE SLOPED 1/8" PER FOOT TYPICAL

SEE STRUCTURAL DWGS FOR WIND PRESSURES

ROOFING INSTALLER TO SUBMIT ENGINEERED SHOP DRAWINGS FOR ARCHITECT REVIEW AND SUPPLY OWNER SURFACE OF ROOF TO BE WHITE WITH 20-YEAR WRITTEN GUARANTY AT COMPLETION OF WORK.

ROOFING MATERIALS SHALL MEET OR EXCEED AN INITIAL REFLECTANCE VALUE OF 0.72 OR A THREE YEAR INSTALLED REFLECTANCE VALUE OF 0.5 AS DETERMINED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR.

**FASTENER NOTES:**

ALL FASTENERS USED TO ATTACH THE WOODWORK TO THE STRUCTURAL SUBSTRATE SHALL BE A #14 HEAVY DUTY COATED ROOFING FASTENER AND PLATES UNDER NO CIRCUMSTANCES FASTENER CAN BE ATTACHED TO THE ROOF INSULATION.

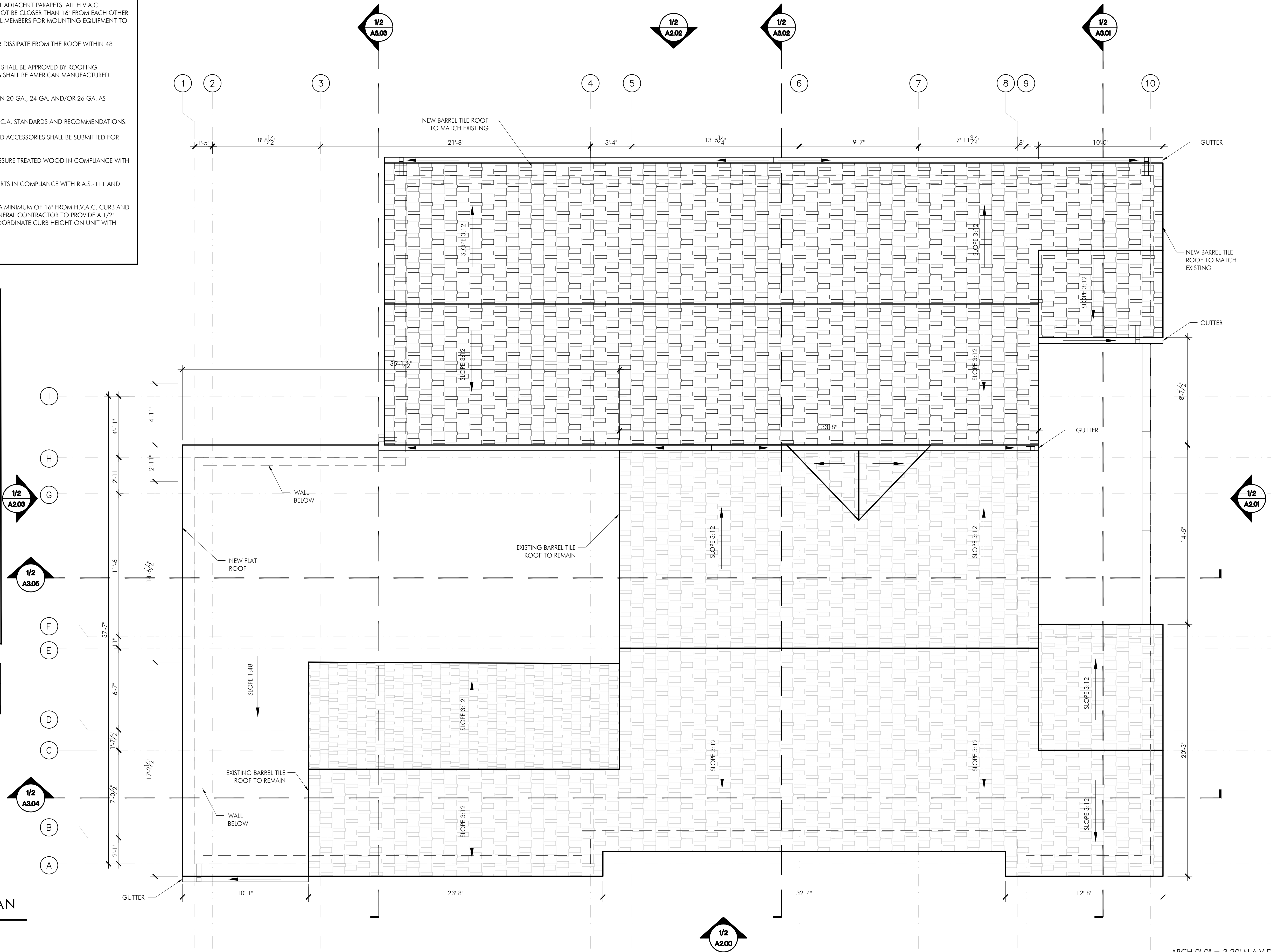
#14 HEAVY DUTY COATED FASTENER AND PLATES  
LENGTH: 2" TO 12" AS APPLICABLE.  
SHANK DIAMETER: .201  
PATTERN: ASCE-7-98 UPLIFT CALC. REQ.  
AS APPROVED BY OLYMPIC, TW BUILDEX, RAWL OR EQUAL.

ALL BOLTS FOR ROOF DRAINS SHALL BE STAINLESS STEEL.

**ROOF FRAMING NOTE**

SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING PLAN.

**1** PROPOSED ROOF PLAN  
1/4" = 1'-0"



ARCH 0'-0" = 3.20' N.A.V.D.

**SCHISM** ARCHITECTURE + DESIGN

SCHISM ARCHITECTURE + DESIGN  
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**SCHISM** ARCHITECTURE + DESIGN

RENOVATION & ADDITION  
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HOLLYWOOD, FL 33020

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PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCE PRODUCTS AND TO PROVIDE BOOKS AND MANUALS AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THE ENTIRETY SHALL BE CONSIDERED WHOLE. IF THE CREATOR ANY INFORMATION WITHIN THE SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED. WITHIN THE RESPONSIBILITY OF ANY CONFLICTS ARE AS NOTED THE DESCRIPTION OF WORK IN THIS DRAWING SET. THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY ROOFING WORK AND OR PIERCING.

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DATE: 5/3/2024

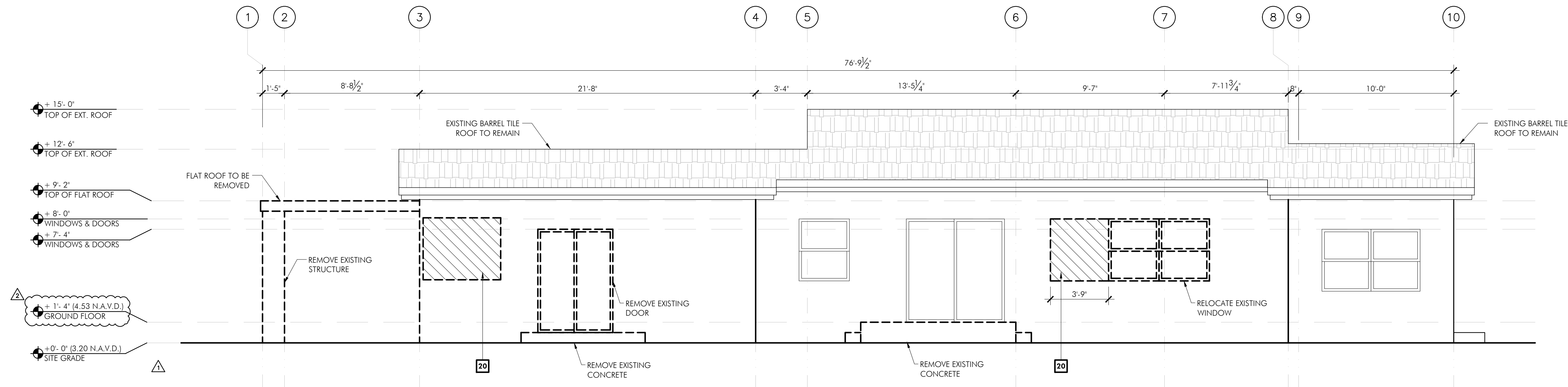
REVISIONS:

DRAWING TITLE:  
**PROPOSED ROOF PLAN**

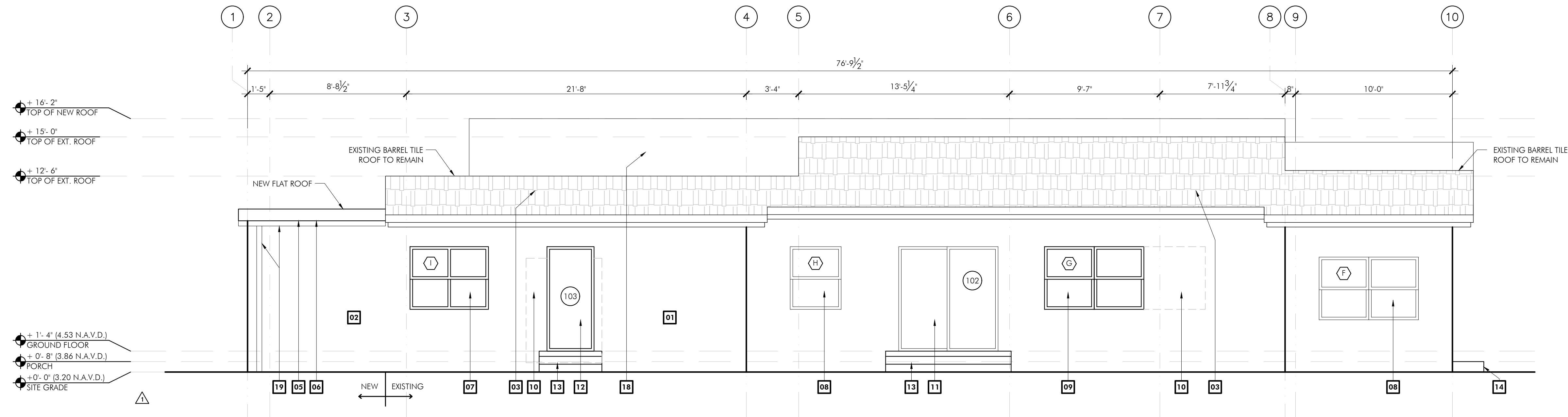
PROJECT # 2307

DRAWING NO.  
**A 1.05**





**1** EXISTING WEST ELEVATION  
1/4" = 1'-0"



**2** PROPOSED WEST ELEVATION  
1/4" = 1'-0"

NOTES:					
01	EXISTING PAINTED 5/8" SMOOTH STUCCO OVER 8" EXTERIOR MASONRY WALL. PATCH STUCCO AND PAINT AS NEEDED.	11	EXISTING IMPACT RATED ALUMINUM FRAME GLASS DOOR TO REMAIN. SEE DOOR SCHEDULE A801.	20	REMOVE AREA OF WALL FOR NEW WINDOW/DOOR
02	NEW PAINTED 5/8" SMOOTH STUCCO OVER 8" EXTERIOR MASONRY WALL. PAINT TO MATCH EXISTING.	12	NEW IMPACT RATED ALUMINUM FRAME GLASS DOOR TO MATCH EXISTING. SEE DOOR SCHEDULE SHEET A801.	21	NEW IMPACT RATED SOLID WOOD ENTRY DOOR SEE DOOR SCHEDULE SHEET A801.
03	EXISTING BARREL TILE ROOF TO REMAIN. REPAIR AS NEEDED.	13	NEW CONCRETE STAIRS. SEE STRUCTURAL DRAWINGS.		
04	NEW BARREL TILE ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	14	EXISTING CONCRETE PLANTER TO REMAIN.		
05	NEW FLAT WOOD JOIST ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	15	NEW CONCRETE BREEZE BLOCK TO BE SELECTED BY OWNER, APPROVED BY ARCHITECT.		
06	METAL FLASHING ALL AROUND AT ALL ROOFS. SEE 3/A105	16	DECORATIVE CONCRETE EMBLEM TO REMAIN.		
07	NEW IMPACT RATED ALUMINUM FRAME WINDOW TO MATCH EXISTING. SEE WINDOW SCHEDULE SHEET A802.	17	NEW DECORATIVE CONCRETE EMBLEM TO MATCH EXISTING.		
08	EXISTING IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	18	NEW ROOF BEYOND.		
09	EXISTING BUT RELOCATED IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	19	GUTTER / DOWNSPOUT		
10	PHANTOM LINE FOR PREVIOUS EXISTING OPENING BEYOND.	---	---		
		---	---		
			TO BE REMOVED		

EXTERIOR GLAZING INFORMATION:
ALL EXTERIOR GLAZING IN WINDOWS SHALL BE TEMPERED AND HAVE MIAMI-DADE PRODUCT APPROVAL FOR WIND-BORNE DEBRIS PER 1626.1 AND 1626.2 LARGE MISSILE IMPACT TESTS, FBC SEVENTH EDITION (2020).
EXTERIOR GLAZING SHALL COMPLY WITH 2411.3.2.1.

DESIGN WIND PRESSURES:
SEE STRUCTURAL DWGS

SCHISM ARCHITECTURE + DESIGN  
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TEL (305) 761-2541

SCHISM ARCHITECTURE + DESIGN

RENOVATION & ADDITION  
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HOLLYWOOD, FL 33020

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DRAWN BY: SZM  
DATE: 5/3/2024

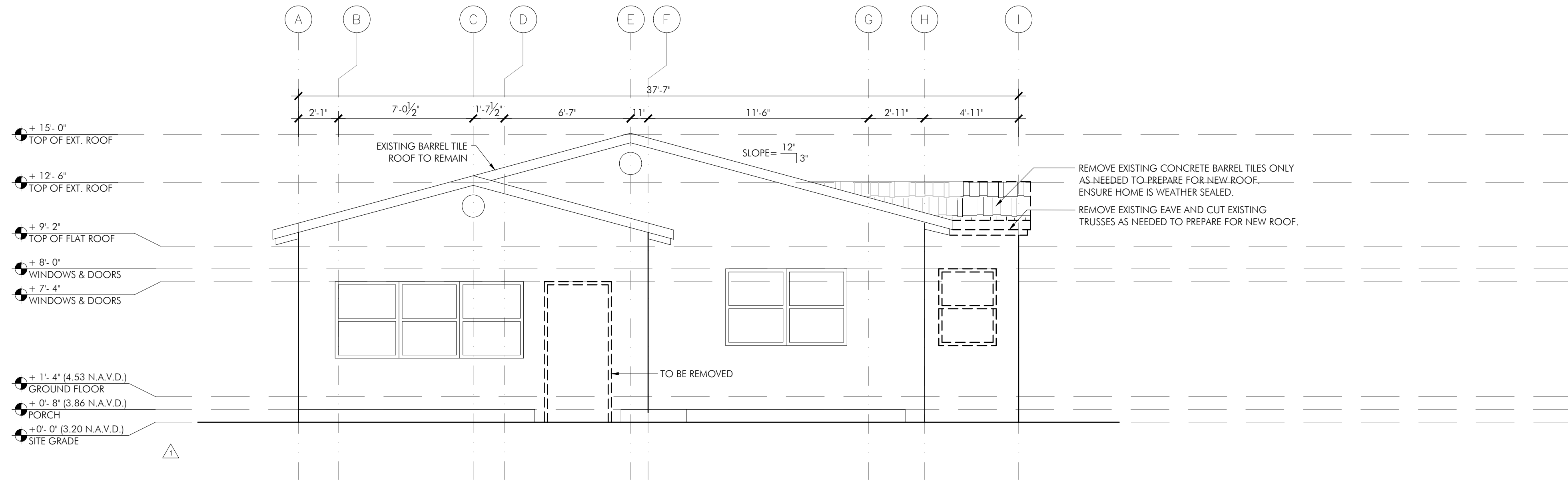
REVISIONS:  
2/15/24 BLDG DEPT NOTES  
5/3/24 BLDG DEPT NOTES

DRAWING TITLE:  
WEST ELEVATIONS

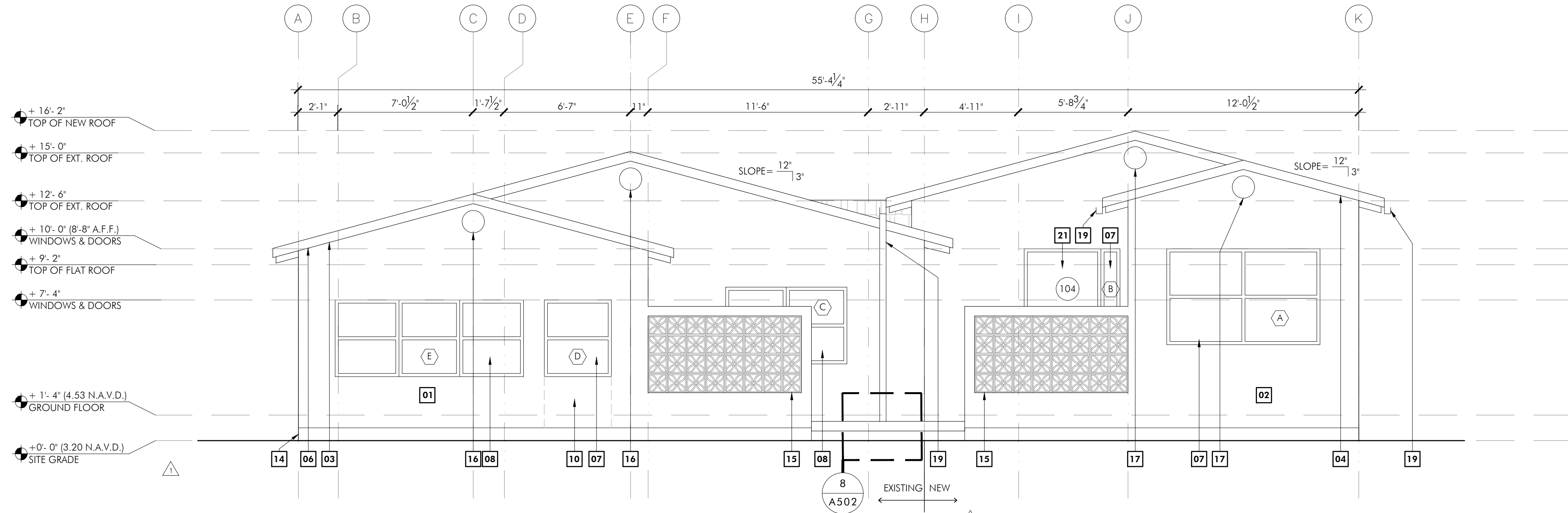
PROJECT # 2307

DRAWING NO.  
A 2.00





1 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

NOTES:		
01 EXISTING PAINTED 5/8" SMOOTH STUCCO OVER 8" EXTERIOR MASONRY WALL. PATCH STUCCO AND PAINT AS NEEDED.	11 EXISTING IMPACT RATED ALUMINUM FRAME GLASS DOOR TO REMAIN. SEE DOOR SCHEDULE A801.	20 REMOVE AREA OF WALL FOR NEW WINDOW/DOOR
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03 EXISTING BARREL TILE ROOF TO REMAIN. REPAIR AS NEEDED.	13 NEW CONCRETE STAIRS. SEE STRUCTURAL DRAWINGS.	
04 NEW BARREL TILE ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	14 EXISTING CONCRETE PLANTER TO REMAIN.	
05 NEW FLAT WOOD JOIST ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	15 NEW CONCRETE BREEZE BLOCK TO BE SELECTED BY OWNER, APPROVED BY ARCHITECT.	
06 METAL FLASHING ALL AROUND AT ALL ROOFS. SEE 3/A105	16 DECORATIVE CONCRETE EMBLEM TO REMAIN.	
07 NEW IMPACT RATED ALUMINUM FRAME WINDOW TO MATCH EXISTING. SEE WINDOW SCHEDULE SHEET A802.	17 NEW DECORATIVE CONCRETE EMBLEM TO MATCH EXISTING.	
08 EXISTING IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	18 NEW ROOF BEYOND.	
09 EXISTING BUT RELOCATED IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	19 GUTTER / DOWNSPOUT	
10 PHANTOM LINE FOR PREVIOUS EXISTING OPENING BEYOND.	TO BE REMOVED	

EXTERIOR GLAZING INFORMATION:
ALL EXTERIOR GLAZING IN WINDOWS SHALL BE TEMPERED AND HAVE MIAMI-DADE PRODUCT APPROVAL FOR WIND-BORNE DEBRIS PER 1626.1 AND 1626.2 LARGE MISSILE IMPACT TESTS, FBC SEVENTH EDITION (2020).
EXTERIOR GLAZING SHALL COMPLY WITH 2411.3.2.1.

DESIGN WIND PRESSURES:
SEE STRUCTURAL DWGS

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DATE: 5/3/2024

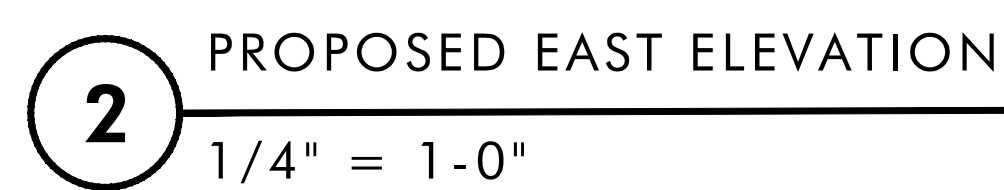
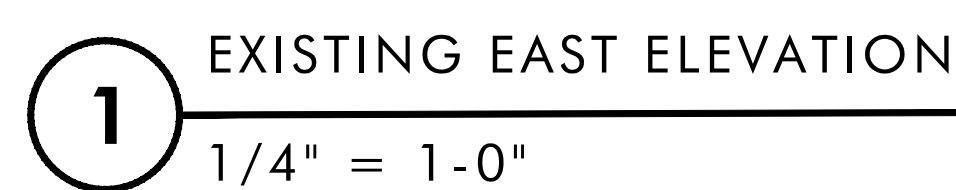
REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
SOUTH ELEVATIONS

PROJECT # 2307

DRAWING NO.  
A 2.01





## EXTERIOR GLAZING INFORMATION:

ALL EXTERIOR GLAZING IN WINDOWS SHALL BE TEMPERED AND HAVE MIAMI-DADE PRODUCT APPROVAL FOR WIND-BORNE DEBRIS PER 1626.1 AND 1626.2 LARGE MISSILE IMPACT TESTS, FBC SEVENTH EDITION (2020).

EXTERIOR GLAZING SHALL COMPLY WITH 2411.3.2.1.

DESIGN WIND PRESSURES:

SEE STRUCTURAL DWGS

SCHISM<sup>ARCHITECTURE</sup>  
+ DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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PLEASE NOTE: THIS DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS, AND SCHEDULES SHALL CONSTITUTE THE ENTIRE CONTRACT. THE CONTRACTOR'S ENTIRETY SHALL BE CONSIDERED WITHOUT THE OTHERS.

INFORMATION WITHIN THE SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WORK. THE SET LISTS THE RESPONSIBILITY OF THE CONTRACTOR AND ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET; ANY CONFLICTS ARISE AS WITHIN THE DESCRIPTION OF WORKING IN THIS DRAWING SET. THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY IN WRITING OF ANY SUCH WORKING AND OF PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:

1 2/15/24 BLDG DEPT NOTES

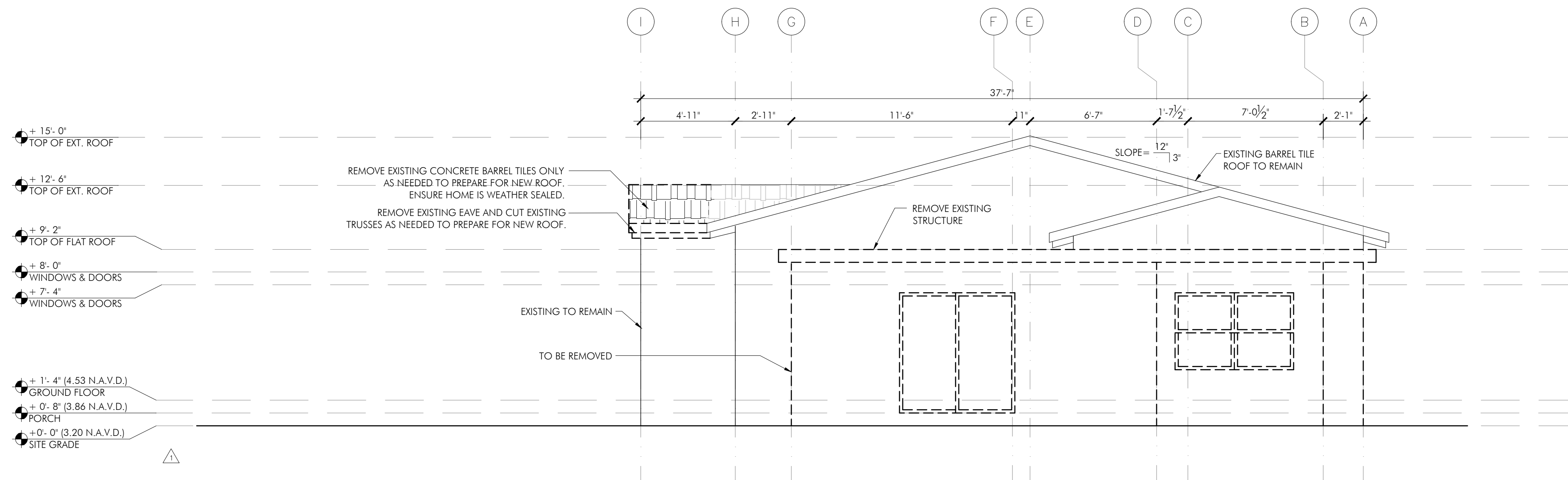
DRAWING TITLE:

**EAST  
ELEVATIONS**

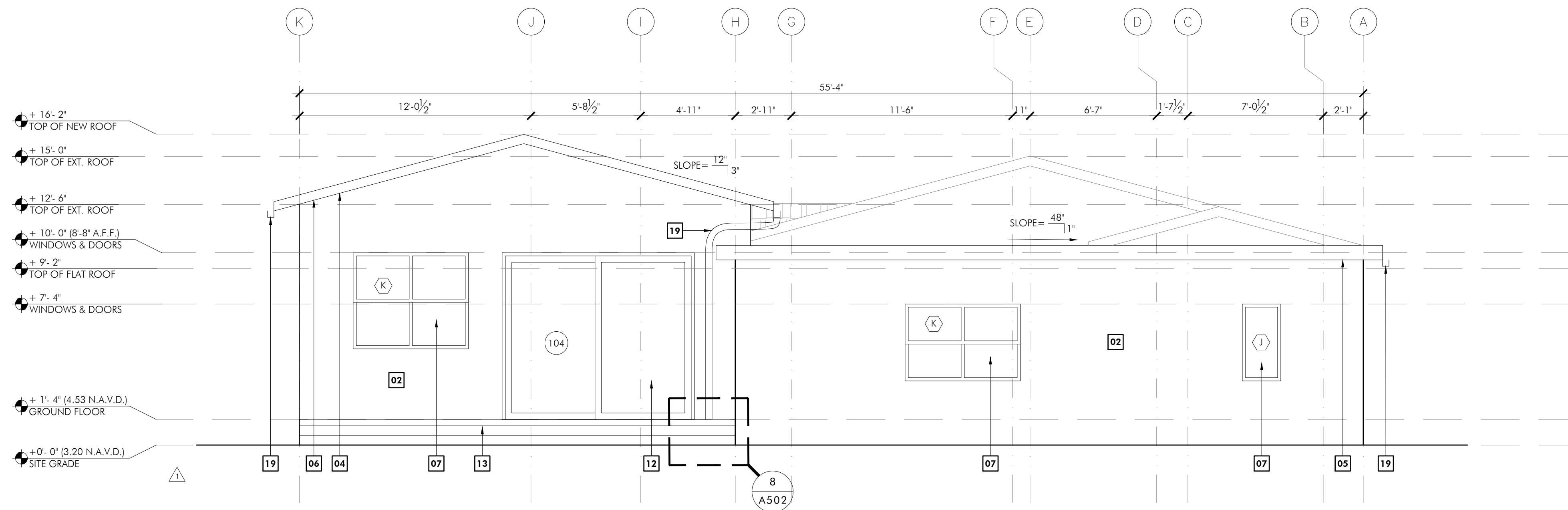
PROJECT # 2307

DRAWING NO.  
**A 2.02**





1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

NOTES:		
01 EXISTING PAINTED 5/8" SMOOTH STUCCO OVER 8" EXTERIOR MASONRY WALL. PATCH STUCCO AND PAINT AS NEEDED.	11 EXISTING IMPACT RATED ALUMINUM FRAME GLASS DOOR TO REMAIN. SEE DOOR SCHEDULE A801.	20 REMOVE AREA OF WALL FOR NEW WINDOW/DOOR
02 NEW PAINTED 5/8" SMOOTH STUCCO OVER 8" EXTERIOR MASONRY WALL. PAINT TO MATCH EXISTING.	12 NEW IMPACT RATED ALUMINUM FRAME GLASS DOOR TO MATCH EXISTING. SEE DOOR SCHEDULE SHEET A801.	21 NEW IMPACT RATED SOLID WOOD DENTRY DOOR SEE DOOR SCHEDULE SHEET A801.
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04 NEW BARREL TILE ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	14 EXISTING CONCRETE PLANTER TO REMAIN.	
05 NEW FLAT WOOD JOIST ROOF. SEE STRUCTURAL DRAWINGS & ROOF SHEETS A1.04/A1.05	15 NEW CONCRETE BREEZE BLOCK TO BE SELECTED BY OWNER, APPROVED BY ARCHITECT.	
06 METAL FLASHING ALL AROUND AT ALL ROOFS. SEE 3/A105	16 DECORATIVE CONCRETE EMBLEM TO REMAIN.	
07 NEW IMPACT RATED ALUMINUM FRAME WINDOW TO MATCH EXISTING. SEE WINDOW SCHEDULE SHEET A802.	17 NEW DECORATIVE CONCRETE EMBLEM TO MATCH EXISTING.	
08 EXISTING IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	18 NEW ROOF BEYOND.	
09 EXISTING BUT RELOCATED IMPACT RATED WINDOW TO REMAIN. SEE WINDOW SCHEDULE SHEET A802.	19 GUTTER / DOWNSPOUT	
10 PHANTOM LINE FOR PREVIOUS EXISTING OPENING BEYOND.	TO BE REMOVED	

EXTERIOR GLAZING INFORMATION:
ALL EXTERIOR GLAZING IN WINDOWS SHALL BE TEMPERED AND HAVE MIAMI-DADE PRODUCT APPROVAL FOR WIND-BORNE DEBRIS PER 1626.1 AND 1626.2 LARGE MISSILE IMPACT TESTS, FBC SEVENTH EDITION (2020).
EXTERIOR GLAZING SHALL COMPLY WITH 2411.3.2.1.

DESIGN WIND PRESSURES:
SEE STRUCTURAL DWGS

SCHISM ARCHITECTURE + DESIGN  
SCHNEUR Z. MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

SCHISM ARCHITECTURE + DESIGN

RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMANDS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES, APPROVAL AND REVISIONS ARE NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOLI REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THIS SET. ANY CHANGES TO THE SET SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET. IF ANY CONTRACTORS ARE ASKED TO MAKE CHANGES TO THE DRAWING SET, THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BUILDING WORK AND OR REVISIONS.

DRAWN BY: SZM  
DATE: 5/3/2024

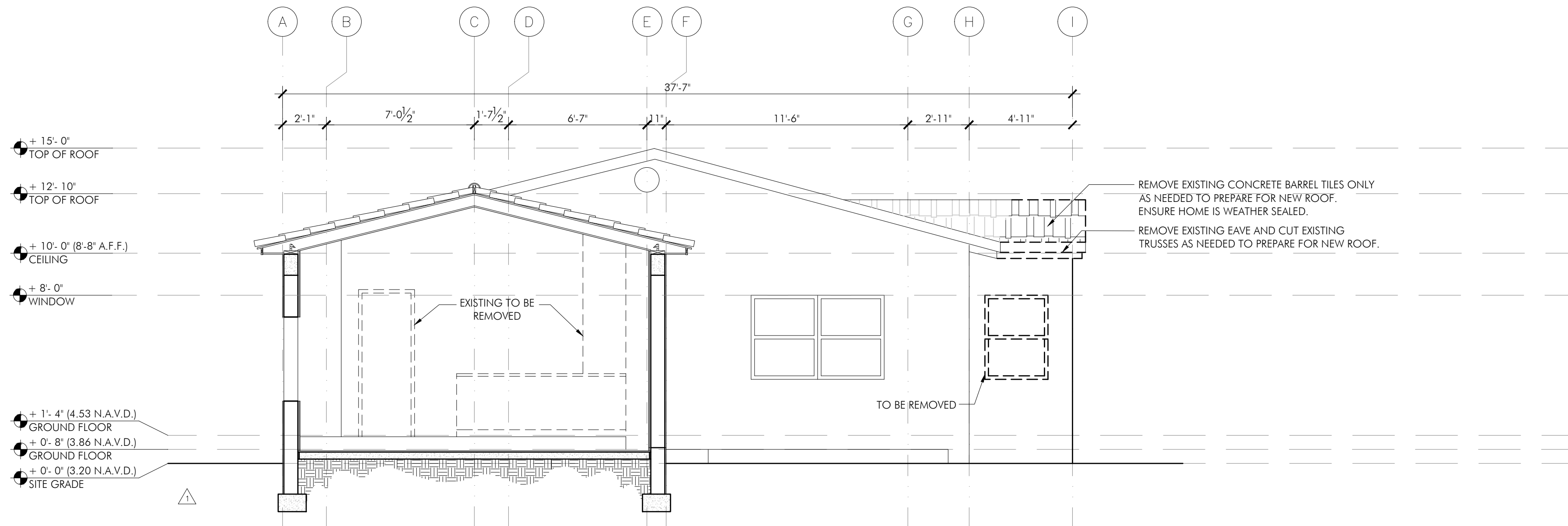
REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
NORTH ELEVATIONS

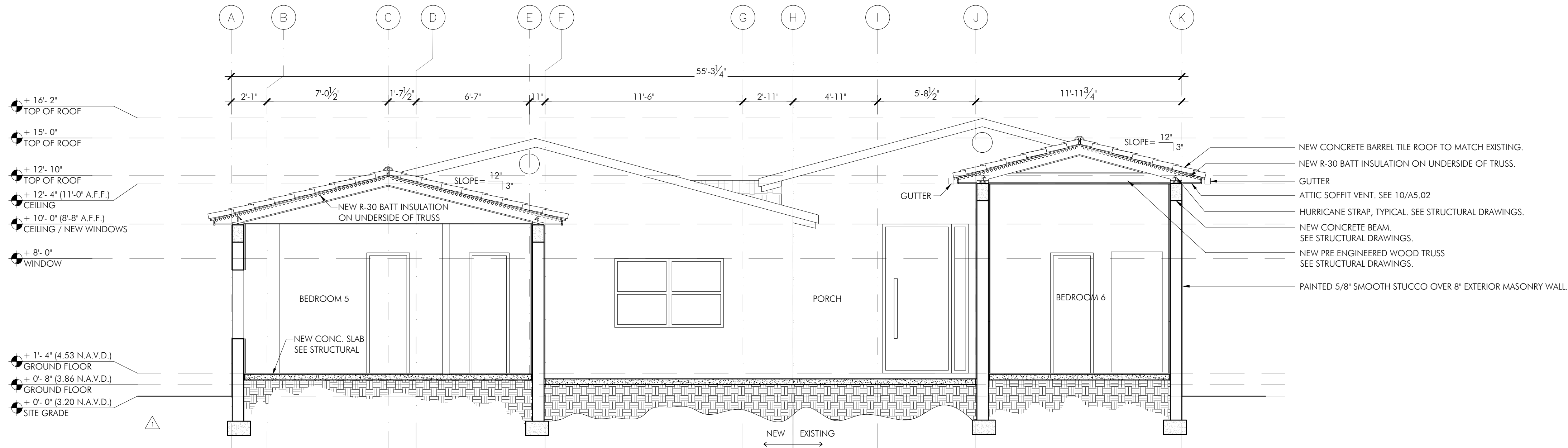
PROJECT # 2307

DRAWING NO.  
A 2.03





1 EXISTING SECTION  
1/4" = 1'-0"



2 PROPOSED SECTION  
1/4" = 1'-0"

SCHISM ARCHITECTURE + DESIGN  
SCHNEUR Z. MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
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SCHISM ARCHITECTURE + DESIGN

RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCEPTANCE, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOLI REPORTS SHALL CONSTITUTE A SINGLE ENTITY AND PART OF THIS DOCUMENT. ANY CHANGES TO THESE PLANS, INCLUDING DIFFERENT MATERIALS, SHALL BE APPROVED AND REVISIONS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

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DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:  
2/15/24 BLDG DEPT NOTES

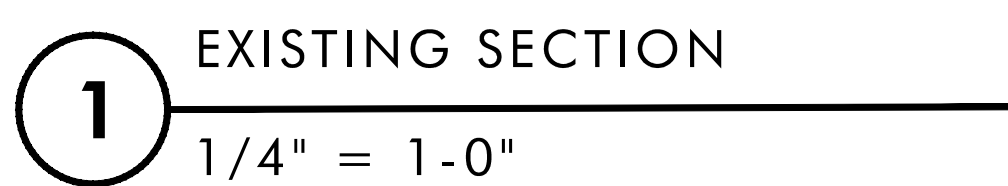
DRAWING TITLE:

SECTIONS

PROJECT # 2307

DRAWING NO.  
A 3.01





SCHISM ARCHITECTURE + DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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PLEASE NOTE: THIS DRAWING SET AND ITS SPECIFICATIONS, NOTICE OF ACCESSORIES, PRODUCT AND EQUIPMENT BOOKS AND MANUALS, AND SCHEDULES SHALL BE CONSIDERED PARTS OF THE CONTRACT. THIS ENTITY SHALL BE CONSIDERED WITH THE OTHERS, ANY INFORMATION WITHIN THIS SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE. SET IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET, IF ANY CONFLICTS ARISE AS WITHIN THE DESCRIPTION OF WORK IN THIS DRAWING SET THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE WORK BEING WORK-OR-FOR-PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:

1	2/15/24 BLDG DEPT NOTE
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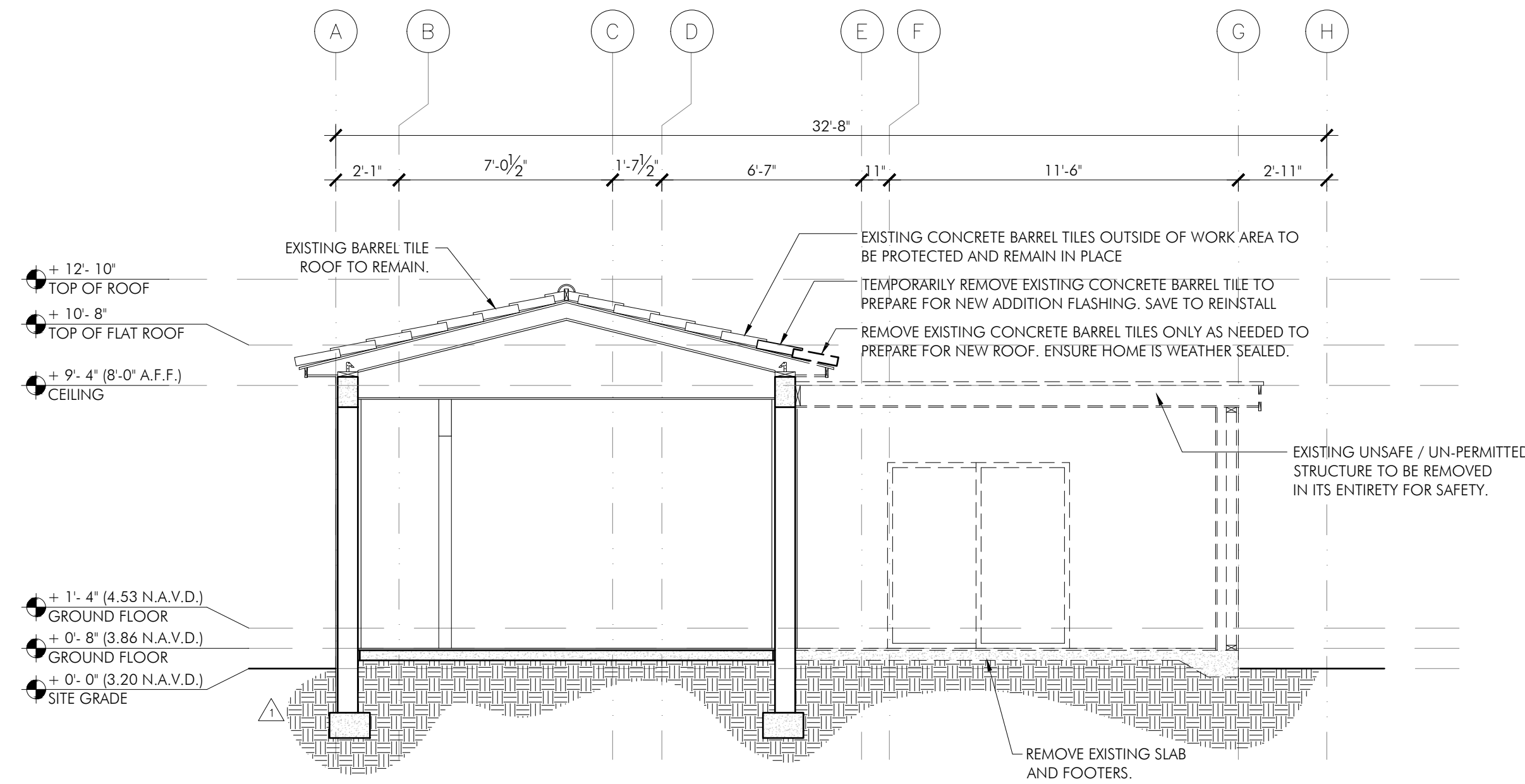
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PROJECT # 2307

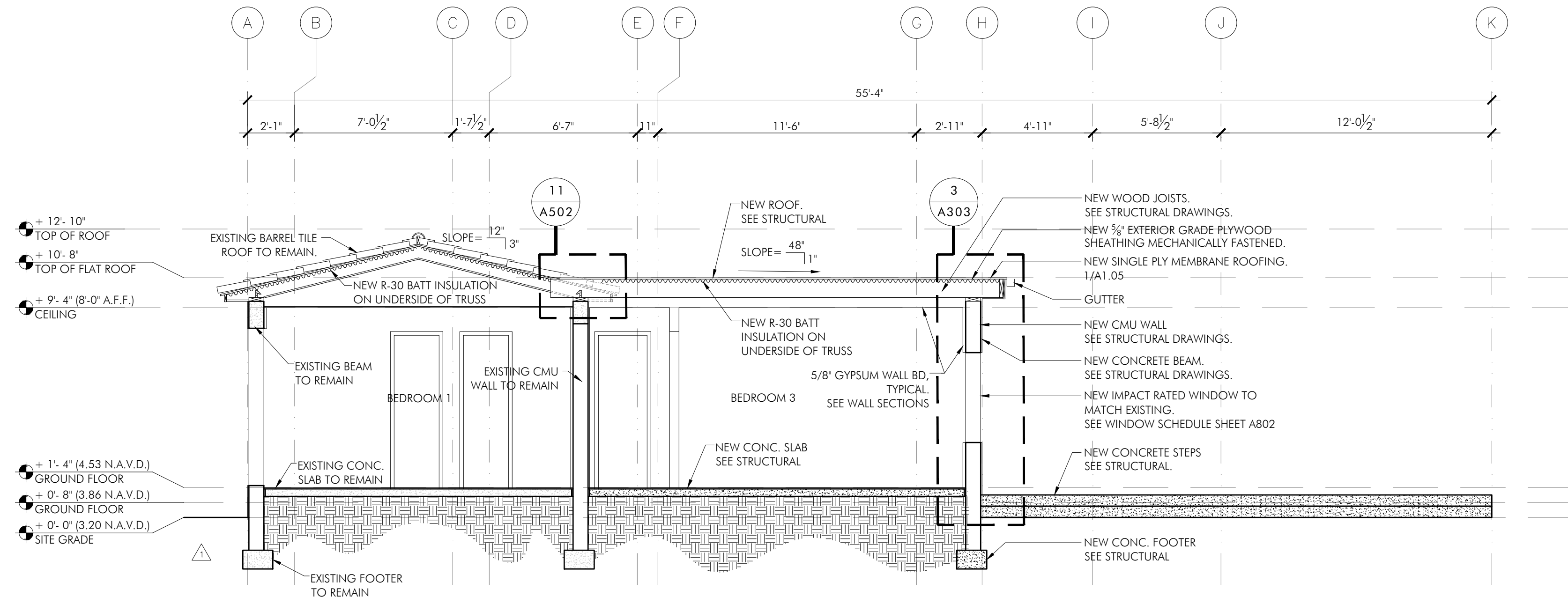
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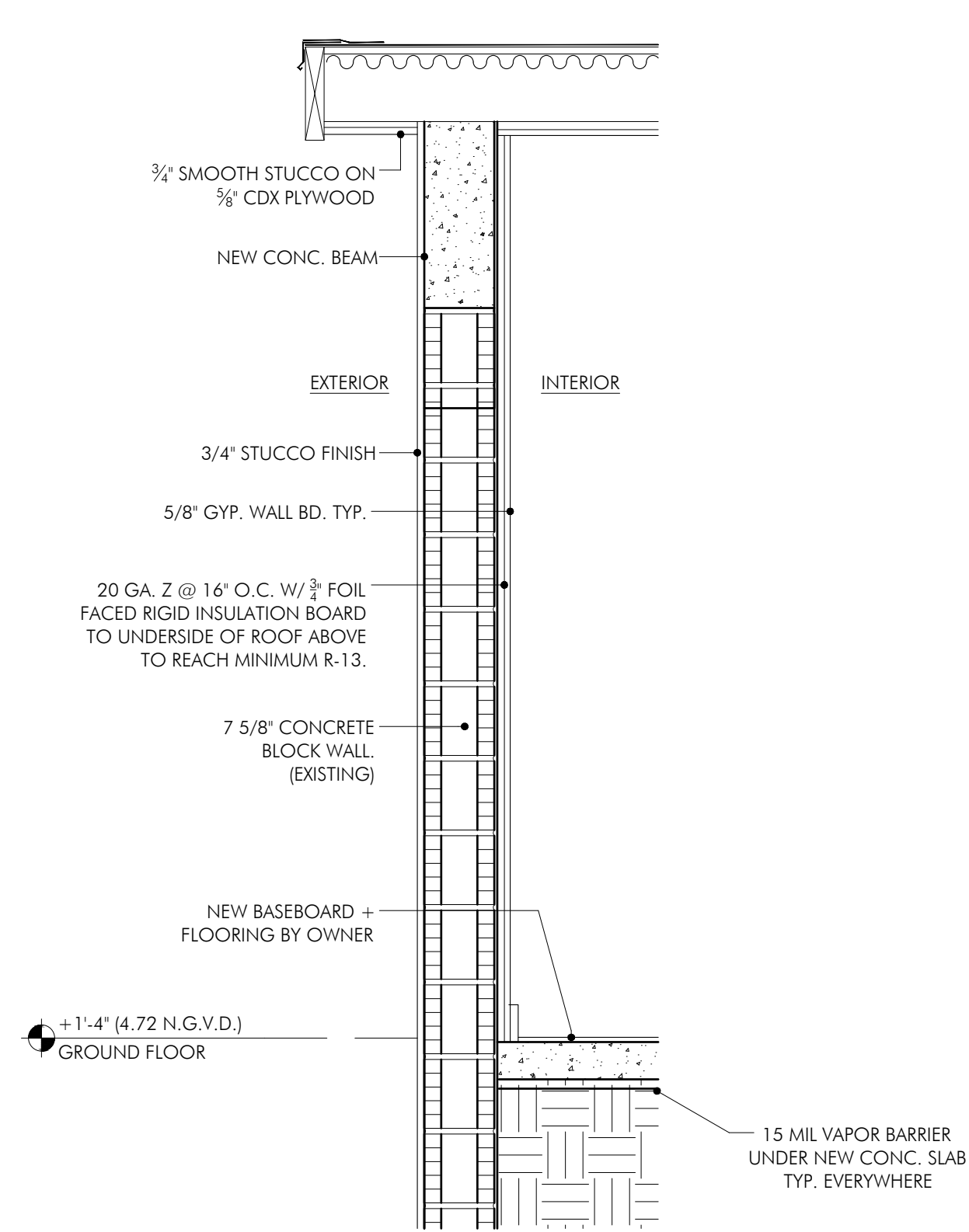




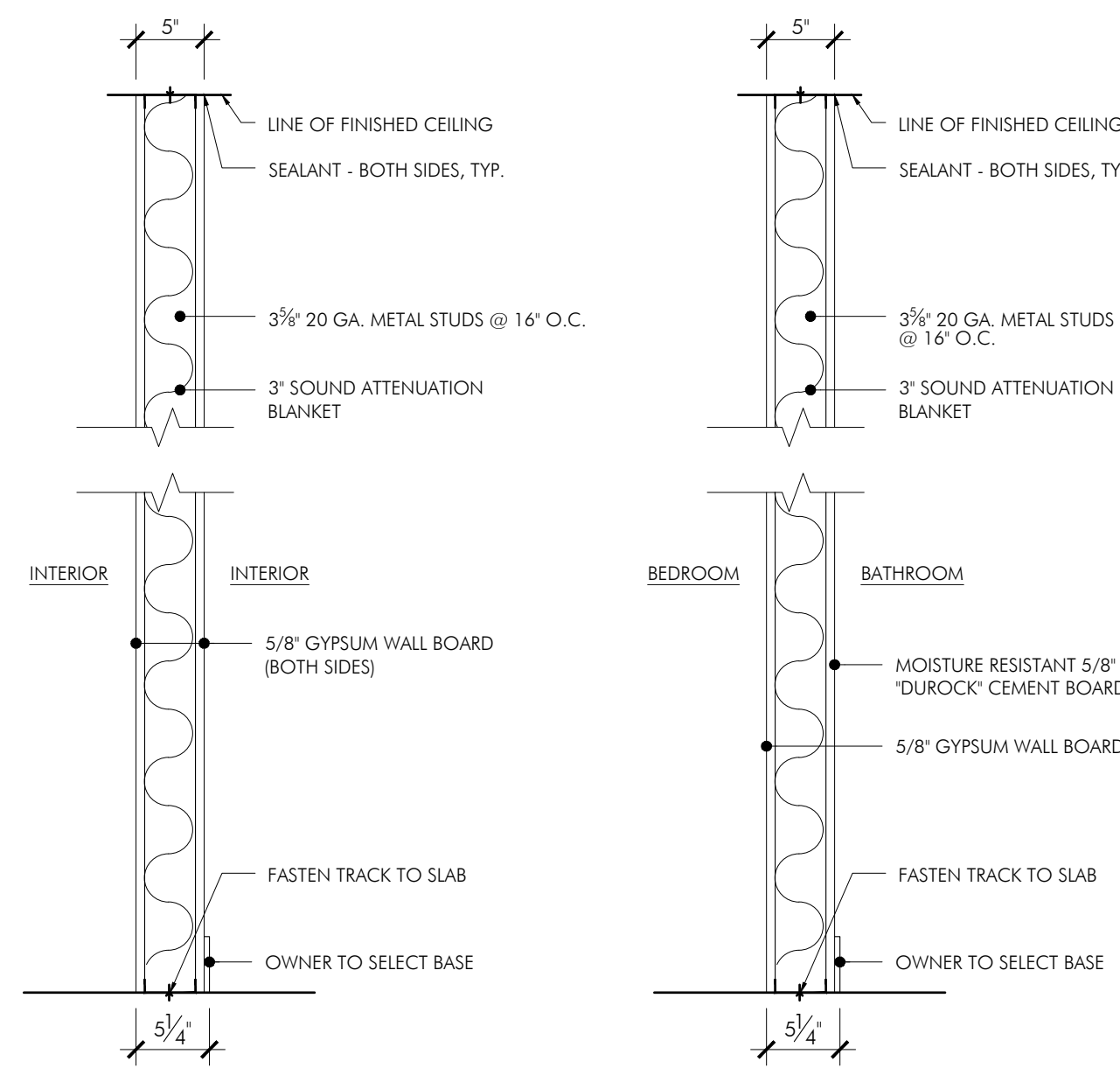
1 EXISTING SECTION  
1/4" = 1'-0"



2 PROPOSED SECTION  
1/4" = 1'-0"



3 TYPICAL EXTERIOR WALL DETAIL  
3/4" = 1'-0"



4 TYPICAL INTERIOR WALL DETAILS  
1" = 1'-0"

SCHISM ARCHITECTURE + DESIGN

SCHNEUR Z. MEYER, AIA  
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RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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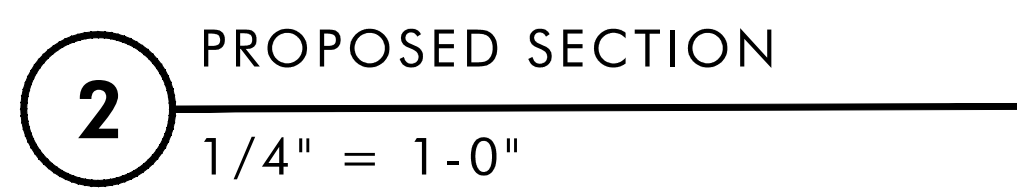
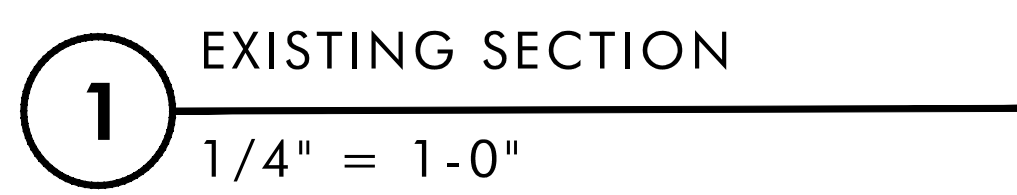
REVISIONS:  
2/15/24 BLDG DEPT NOTES

DRAWING TITLE:  
SECTIONS

PROJECT # 2307

DRAWING NO.  
A 3.03





SCHISM  
ARCHITECTURE  
+ DESIGN

RENOVATION &  
ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

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PLEASE NOTE: THIS DRAWING SET AND SPECIFICATIONS, NOTICE OF COSTS/FEE, PRODUCT AND MATERIAL BOOKS AND MANUALS, AND ALL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THIS DRAWING SET SHALL BE CONSIDERED WITHOUT THE OTHERS. ANY INFORMATION WITHIN THIS SET AND SPECIFICATIONS MUST BE CONSIDERED AS THE PROPERTY OF THE BUILDING DEPARTMENT OF THE CITY OF CHICAGO. THE OWNER, THE DESIGN FIRM, THE GENERAL CONTRACTOR AND HIS SUB CONTRACTORS TO BE FAMILIAR WITH ALL ASPECTS OF THE WORK DESCRIBED WITHIN THIS DRAWING SET. ANY QUESTIONS ARISING FROM THE DESIGN DOCUMENTS AND DRAWINGS MUST BE FORWARDED TO THE CONTRACTOR'S NOTIFIER, THE OWNER AND PROJECT PRIOR TO THE BEGINNING OF ANY BUILDING WORK AND OR PURCHASING.

REVISIONS:

1	2/15/24 BLDG DEPT NOTES
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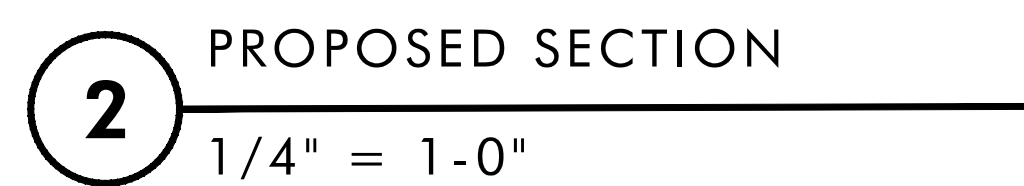
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## SECTIONS

PROJECT # 2307

DRAWING NO.  
**A 3.04**





SCHISM<sup>ARCHITECTURE</sup>  
+ DESIGN

RENOVATION &  
ADDITION

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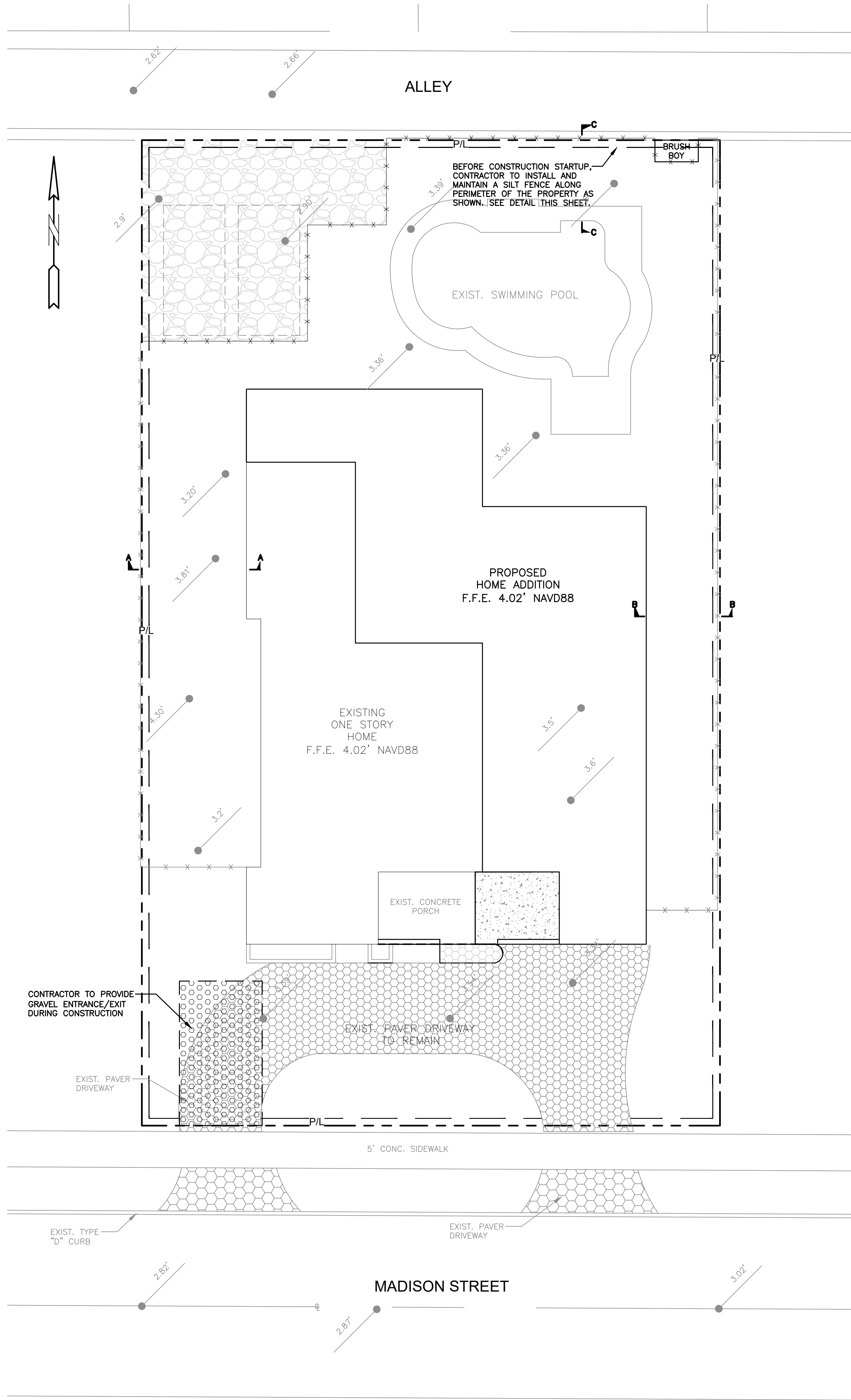
REVISIONS:

1 2/15/24 BLDG DEPT NOTES

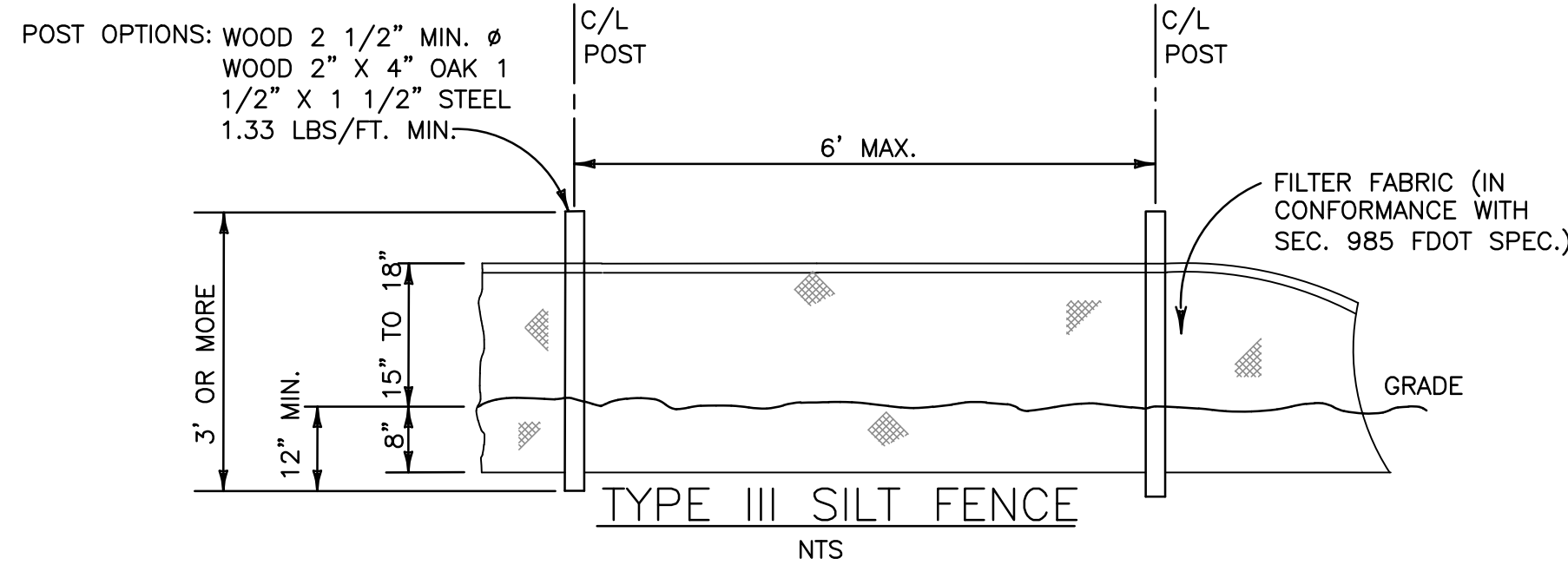
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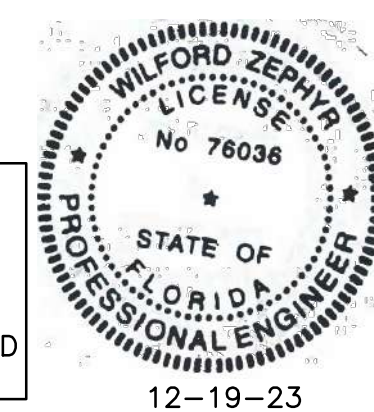




LOCATION MAP  
NOT TO SCALE



- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12-19-23

## EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

- LEGEND**
- PROPOSED CONCRETE
  - PROPOSED GRADE
  - EXISTING ELEVATION
  - PROPOSED WATER METER
  - PROPOSED BFP DEVICE

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

REVISIONS	
NO.	DATE

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA# 31158

**ZE**

**RENOVATION & ADDITION**  
1415 MADISON ST.  
HOLLYWOOD, FLORIDA

P.E.#: 76036

DATE: 12/6/23

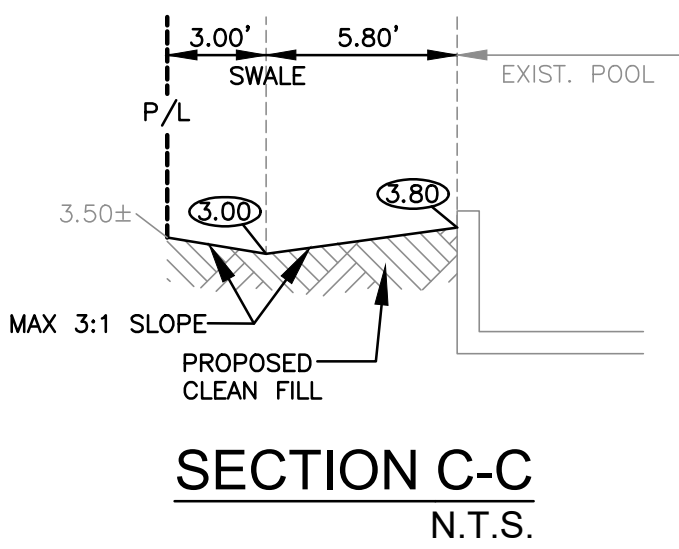
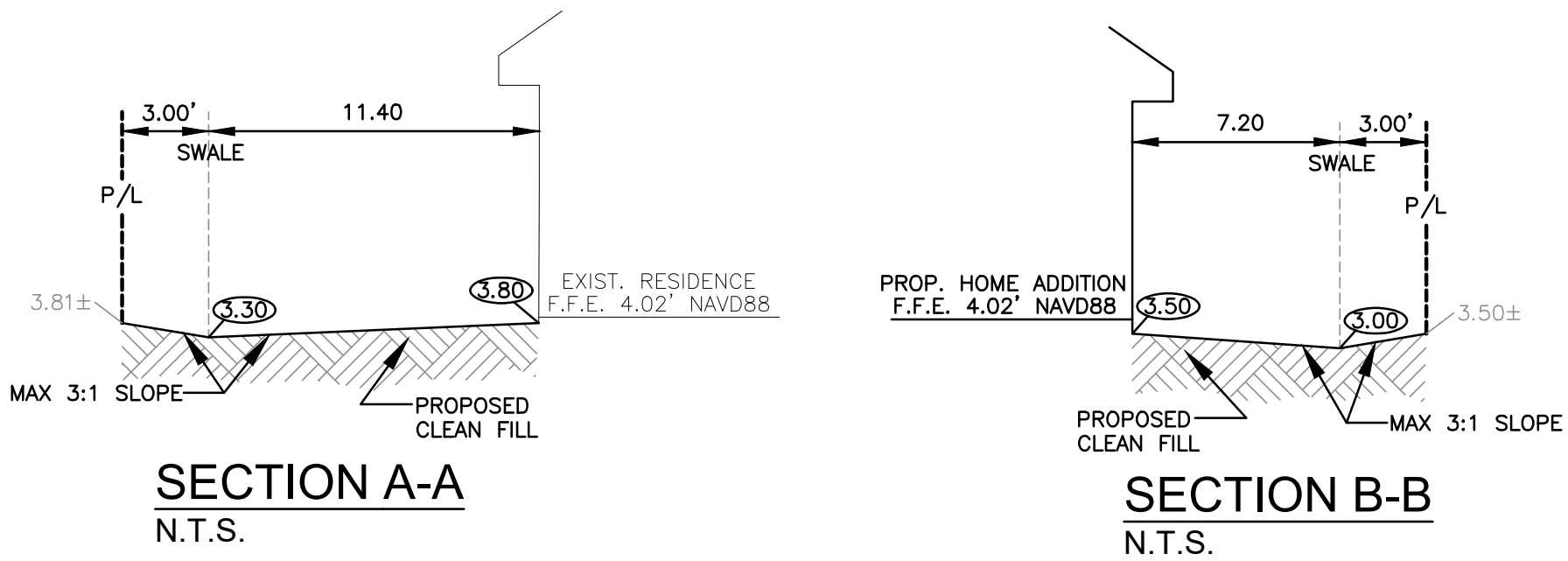
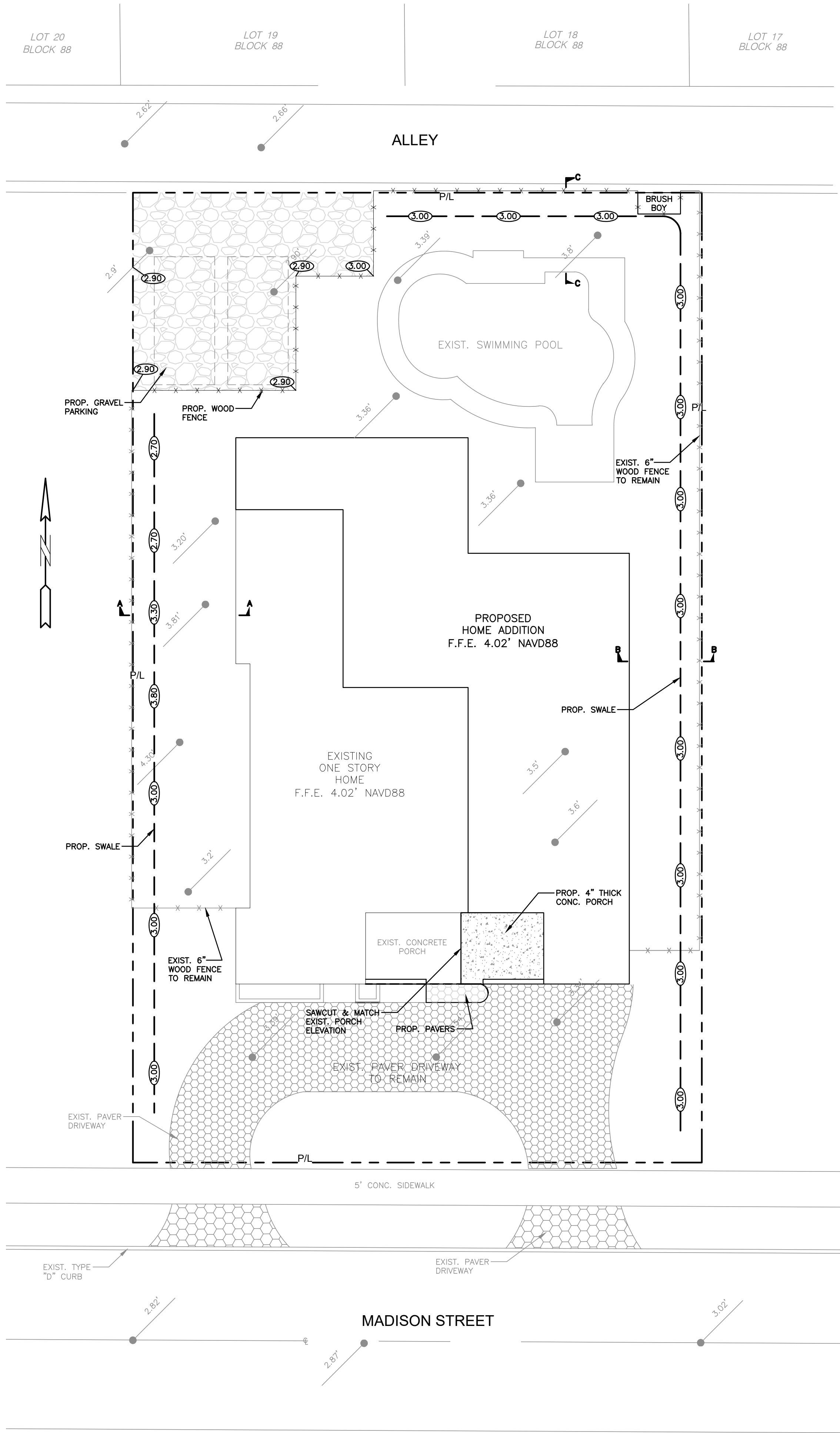
SCALE: 1"=10'

SHEET NO.: **C1**  
1 OF 2

PROJECT NO.: 23-64



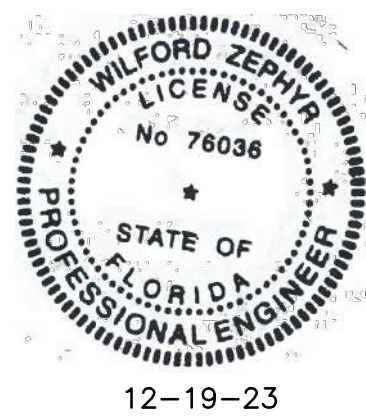
ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
  - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
  - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
  - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
  - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
  - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
  - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

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SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.



**PAVING, GRADING & DRAINAGE PLAN**  
SCALE: 1"=10'

- LEGEND**
- PROPOSED CONCRETE
  - PROPOSED GRADE
  - EXISTING ELEVATION
  - PROPOSED WATER METER
  - PROPOSED BFP DEVICE

REVISIONS	
NO.	DESCRIPTION

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158

**ZE**

**RENOVATION & ADDITION**  
1415 MADISON ST.  
HOLLYWOOD, FLORIDA

P.E.#:76036

DATE: 12/6/23

SCALE: 1"=10'

SHEET NO.:

C2

2 OF 2

PROJECT NO.: 23-64



GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with gridding, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limrock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root fair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

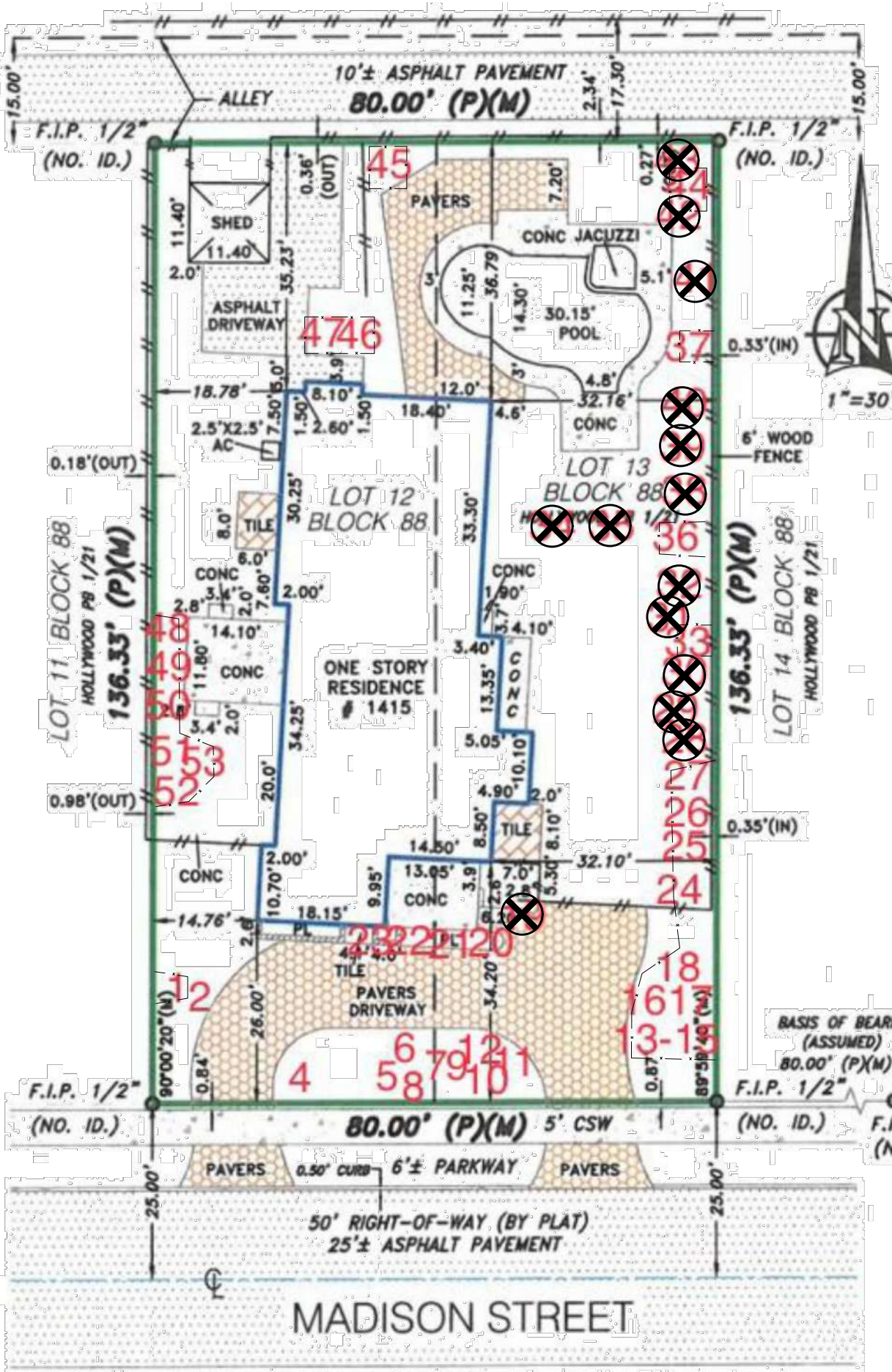
Please refer to the planting details for a graphic representation of the above notes. All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.

No landscape substitutions shall be made without the City of Hollywood approval.

No tree removal or planting allowed until sub permits are fully approved by city.

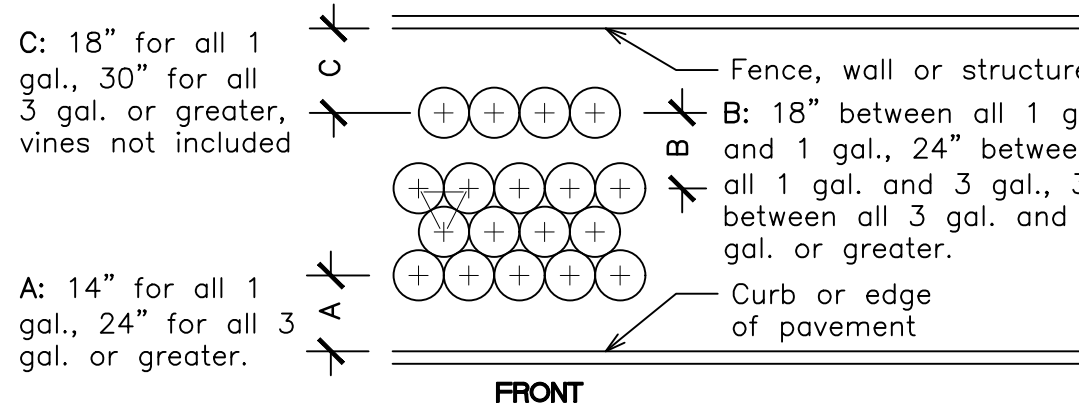
1415 Madison Street Plant List

Code	Drought	QTY.	Botanical Name / Common Name	Specifications		
EXISTING TREES / PALMS						
		1	Adonidia merrillii / Christmas Palm	25' Ht.		
		2	Caryota mitis / Fishtail Palm	20' Ht.		
		1	Clerodendrum quadriloculare / Starburst	20' Ht. x 10' Spr., 5" DBH		
		6	Dyopsis lutescens / Areca Palm	20-25' Ht.		
		3	Myrcianthes fragrans / Simpson Stopper	20' Ht. x 7-10' Spr., 3-5" DBH		
		27	Psychosperma elegans / Solitaire Palm	20-30' Ht.		
		14	Roystonea elata / Cuban-Florida Royal Palm	30-60' Ht.		
		4	Sabal palmetto / Cabbage Palm	20-30' Ht.		
		1	Syagrus romanzoffiana / Queen palm	30' Ht.		
		1	Tabebuia heterophylla / Pink Trumpet Tree	25 Ht. x 15' Spr., 7" DBH		
		1	Washingtonia robusta / Washington Palm	60' Ht.		
		1	Yucca aloifolia / Spanish Bayonet	15' Ht.		
		41	Palms Counted 3:1 - Christmas, Solitaire, Sabals, Queen, Washingtonia			
PROPOSED TREES / PALMS						
LI	V	1	Lagerstroemia indica / Crape Myrtle	12x5-6", 2" DBH, Sng. Trunk		
KF	(N)	V	1	Krugiodendron ferreum / Black Ironwood	12x5-6", 2" DBH, Sng. Trunk	
		2	Total Site Trees			
		1	Native Trees			
		50%	Native Trees			
EXISTING TREES / PALMS TO BE REMOVED						
#19		1	Ptychosperma elegans / Solitaire Palm	20' Ht.		
#34		1	Myrcianthes fragrans / Simpson Stopper	20' Ht. x 7-10' Spr., 3" DBH		
#35		1	Myrcianthes fragrans / Simpson Stopper	20' Ht. x 7-10' Spr., 5" DBH		
MITIGATION TREE LIST						
Code	Drought	QTY.	Botanical Name / Common Name	Specifications	Total	
NA	NA	0	No Mitigation Trees	NA		
				Total DBH Added	0	
				Total DBH Removed	8	
				DBH Deficiency	8	
				Payment Into the Tree Trust Fund @ \$350 per every 2" =	\$1,400	
MITIGATION PALM LIST						
Code	Drought	QTY.	Botanical Name / Common Name	Specifications	Total	
AM	V	1	Adonidia merrillii / Christmas Palm	8' CT		
				Total Palms Added	1	
				Total Palms Removed	1	
				Palms Deficiency	0	
HEDGES / SHRUBS						
CRS	(N)	V	18	Clusia rosea / Small Leaf Clusia	48"x 24", 36" OC	
PMP	V	7	Podocarpus neri / Podocarpus	56" OA Ht., 2' CT, Sng. Trunk		
		25	Total Shrubs			
		18	Native Shrubs			
		72%	Native Shrubs			
SOD	M	By GC	S.F. Stenotaphrum secundatum / St. Augustine Palmetto	Solid install, no gaps between seams		



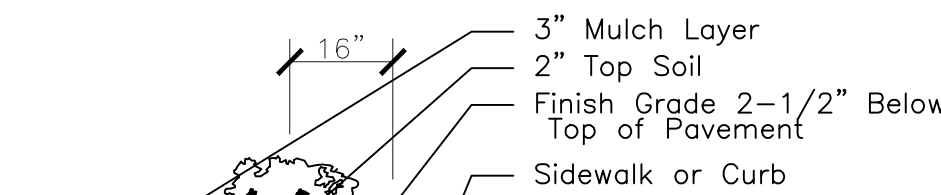
TREE SURVEY

SCALE: 1"=20'



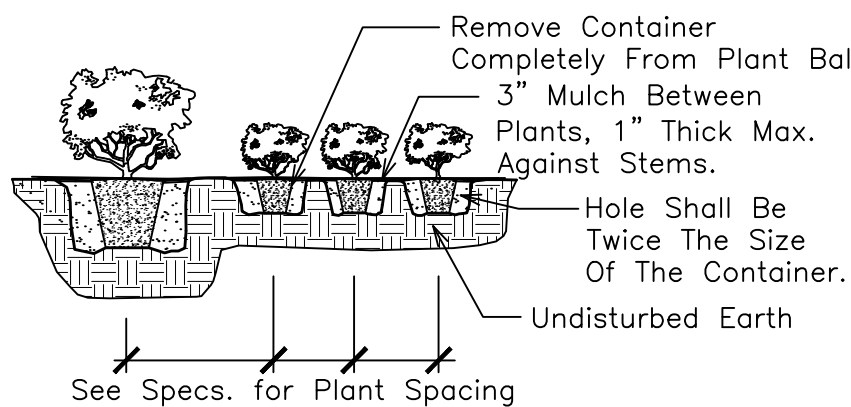
TYPICAL SHRUB SPACING DETAIL

NTS



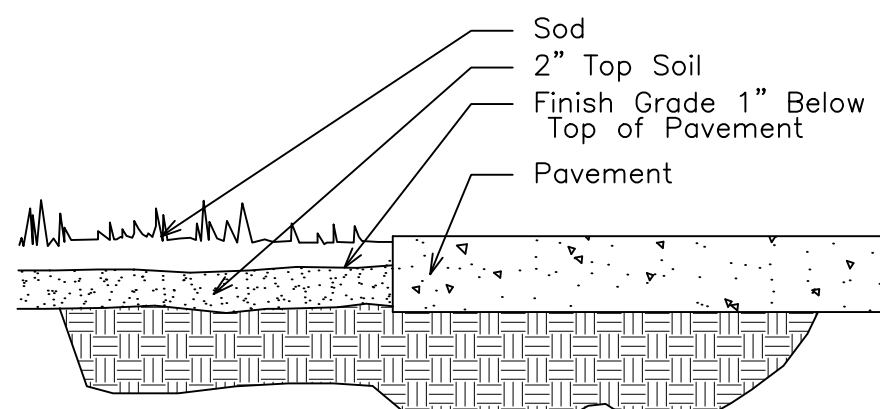
SHRUB INSTALLATION DETAIL

NTS



SHRUB PLANTING DETAIL

NTS

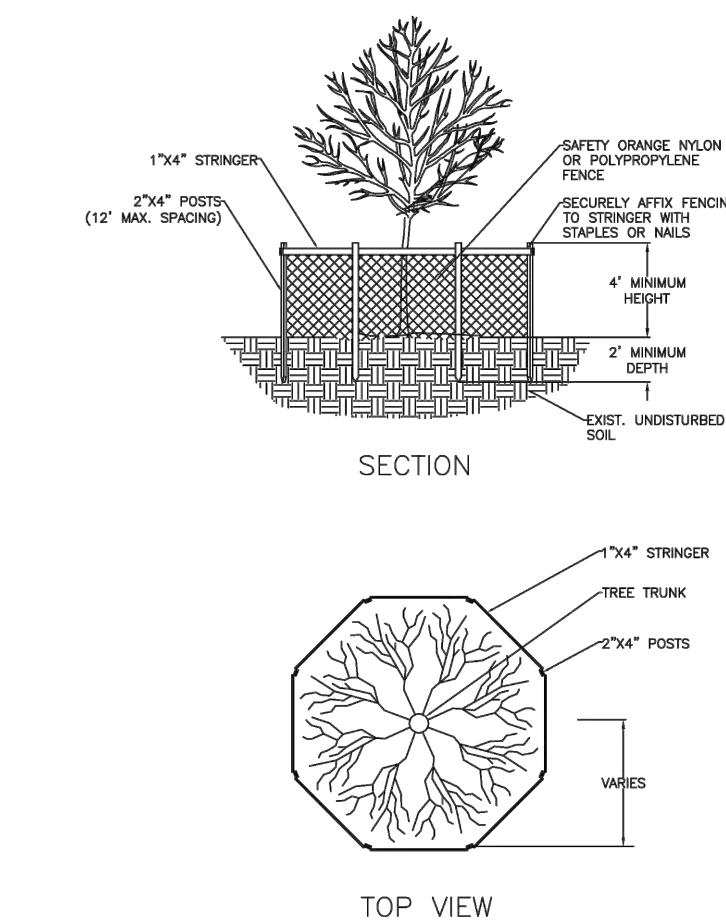


SOD INSTALLATION DETAIL

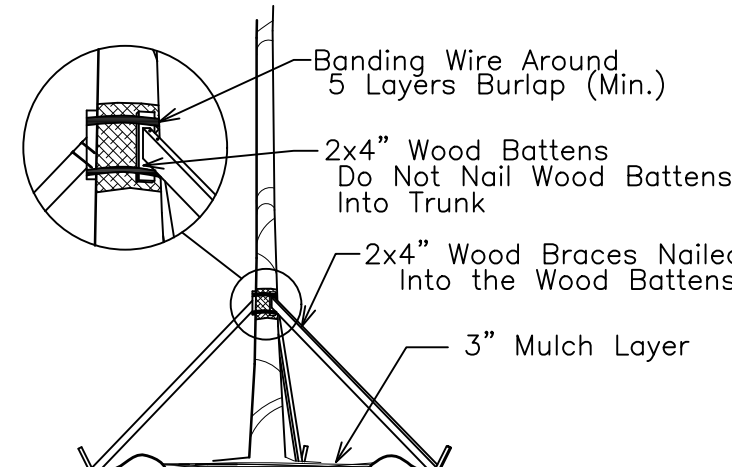
NTS

EXISTING TREE / PALM LIST

SCIENTIFIC NAME	COMMON NAME	DBH	SPREAD	HEIGHT	TPZ RADII	CONDITION	DISPOSITION
1 Adonidia merillii	Christmas palm tree	4"	6"	25'	2'	FAIR 80%	REMAIN
2 Clerodendrum quadriloculare	Starburst tree	5"	10'	20'	3'	FAIR 80%	REMAIN
3 Sabal palmetto	Cabbage palm tree	9"	10'	22'	3'	FAIR 80%	REMAIN
4 Roystonia regia	Royal palm tree	14"	22'	35'	3'	FAIR 80%	REMAIN
5 Ptychosperma elegans (8)	Solitaire palm tree	2"	5"	18-35"	2"	FAIR 80%	REMAIN
7 Roystonia regia	Royal palm tree	13"	20'	45'	3'	FAIR 80%	REMAIN
8 Syagrus romanzoffiana	Queen palm tree	8"	16'	32'	3'	FAIR 80%	REMAIN
9 Roystonia regia	Royal palm tree	15"	22'	44'	3'	FAIR 80%	REMAIN
10 Sabal palmetto	Cabbage palm tree	16"	10'	21'	3'	FAIR 80%	REMAIN
11 Roystonia regia (2)	Royal palm tree	8-9"	22"	30"	Yes	FAIR 80%	REMAIN
12 Washingtonia robusta	Mexican fan palm tree	5"	8"	18'	3'	FAIR 80%	REMAIN
13-14 Roystonia regia (6)	Royal palm tree	10"-14"	22"	36-50"	Yes	FAIR 80%	REMAIN
19-22 Ptychosperma elegans (6)	Solitaire palm tree	2"	5"	18-30"	2"	FAIR 80%	REMAIN
23 Myrcianthes fragrans	Simpson Stopper tree	3"	10'	18'	3'	FAIR 80%	REMAIN
24-26 Dyopsis lutescens (3)	Areca palm tree	14"-20"	15'-22"	20'-27"	Yes	FAIR 80%	REMAIN
27 Tabebuia rosea	Pink Trumpet tree	3"	10'	20'	4'	POOR/INVASIVE 50%	REMAIN
28-33 Schefflera actinophylla (5)	Umbrella tree	4"-10"	20'-25"	20'-30"	Yes	POOR/INVASIVE 50%	REMAIN
33 Roystonia regia	Royal palm tree	14"	22'	46'	3'	FAIR 80%	REMAIN
34-35 Myrcianthes fragrans (2)	Simpson Stopper tree	15-25"	15'-20"	20'-24"	Yes	MODERATE 60%	REMAIN
36-37 Dyopsis lutescens (2)	Areca palm tree	10"-20"	14'-20"	22'-27"	Yes	MODERATE 60%	REMAIN
38-41 Schefflera actinophylla (4)	Umbrella tree	8"-36"	15'-20"	20'-35"	Yes	POOR/INVASIVE 50%	REMAIN
42-43 Commersonia bartramia (2)	Carewren tree	15'-17"	25"	24'-28"	Yes	FAIR/INVASIVE 60%	REMAIN
44 Sabal palmetto	Cabbage palm tree	12"	12'	35'	3'	FAIR 80%	REMAIN
45 Caryota mitis	Fishtail palm tree	13"	16'	32'	3'	POOR 50%	REMAIN
46-47 Ptychosperma elegans (7)	Solitaire palm tree	2"	5"	18-30"	2"	FAIR 80%	REMAIN
48 Dyopsis lutescens	Areca palm tree	20"	20'	30'	3'	MODERATE 60%	REMAIN
49 Yucca aloifolia	Spanish Bayonet tree	5"	7'	14'	3'	MODERATE 70%	REMAIN
50 Ptychosperma elegans (4)	Solitaire palm tree	2"	5"	22'-28"	2"	FAIR 80%	REMAIN
51-52 Roystonia regia (2)	Royal palm tree	11"-13"	22"	40-47"	Yes	FAIR 80%	REMAIN
53 Sabal palmetto	Cabbage palm tree	10"	8"	30'	3'	FAIR 80%	REMAIN

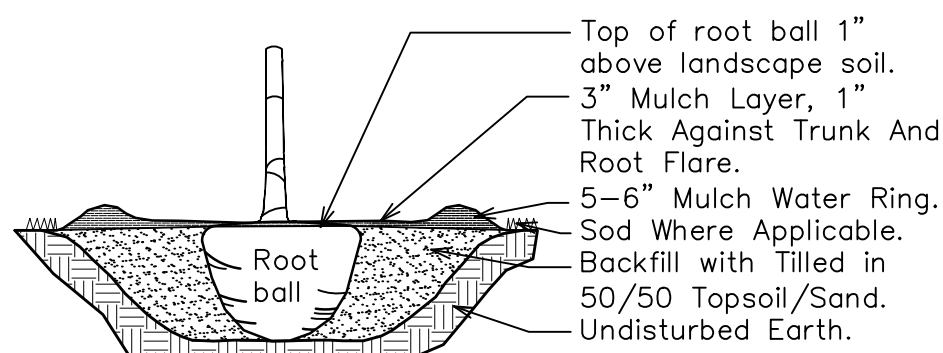


NOTES:  
1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNKS. FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.  
2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRICADE SHALL BE PLACED AROUND THE TREE AT A DISTANCE 8 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.



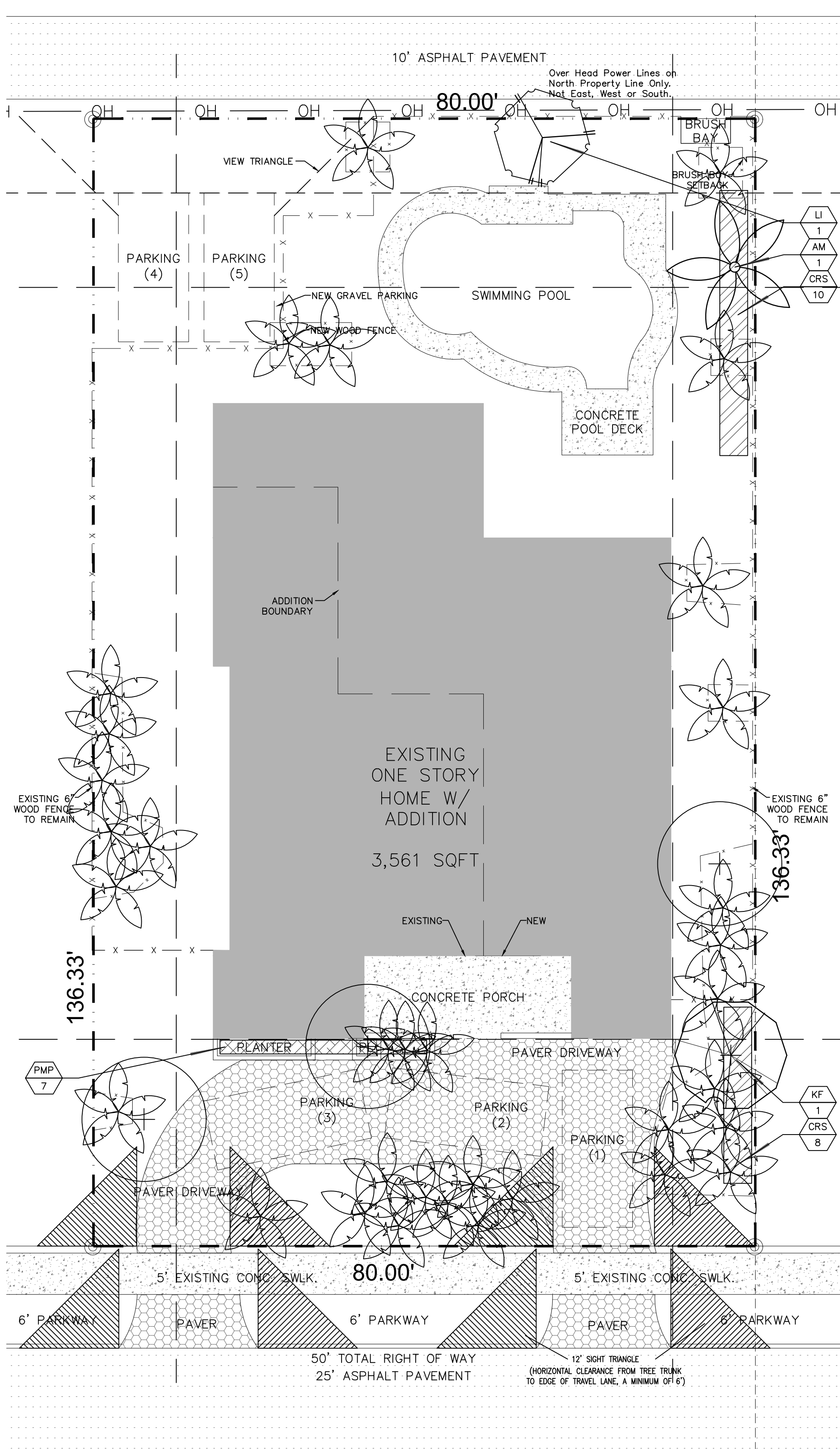
TREE/PALM BRACING DETAIL

NTS



TREE/PALM PLANTING DETAIL

NTS



LANDSCAPE PLAN

SCALE: 1"=10'

CITY OF HOLLYWOOD PLANTING CALCULATIONS		Required	Provided	
Sec. 2.1.1	Perimeter Street Tree Requirement: One 12" Tree at 50' OC 80 Feet of Madison Street	2	2	2 Exist: #4 & #11 Royals
Sec. 2.1	SFR: Tree and Shrub Requirement - Single Family Residence 3 Trees Front Half of Plot	3	3	1 Exist: #23 Stopper 1 Exist: #27 Pink Tab
	15 Shrubs Front Half of Plot	15	15	
	1 Tree Rear Half of Plot	1	1	
	10 Shrubs Rear Half of Plot	10	10	
	Total Trees:	6	6	
	Total Shrubs:	25	25	

**Sunshine811**  
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.  
Check positive response codes before you dig!

THOMAS WHITE, ASLA-ISA  
LANDSCAPE ARCHITECT, LEED GREEN  
ASSOCIATE, CERTIFIED ARBORIST  
2600 NE 27th AVENUE  
FORT LAUDERDALE, FLORIDA 33306  
tcwhite@ellsouth.net  
954-253-2265

REVISIONS

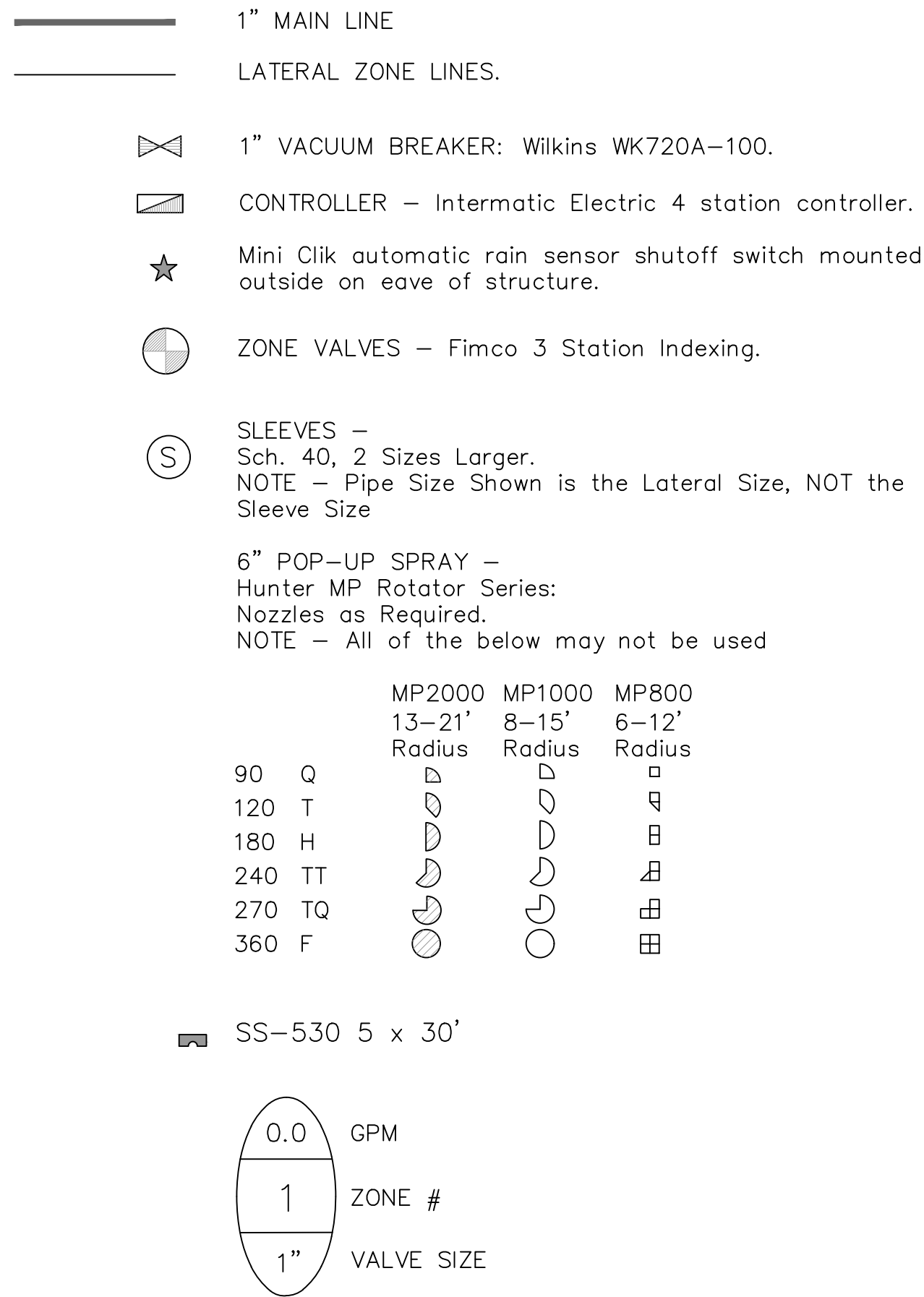
Tree Survey / Landscape Permit Plan  
**Single Family Residence**  
1415 Madison Street  
Hollywood, Florida 33020



DRAWN:  
TW  
CHECKED:  
TW  
DATE:  
2-6-2024  
SCALE: 1"=20'  
Sheet No.  
**L-1**  
Sheet 1 Of 2



IRRIGATION LEGEND:



IRRIGATION NOTES:

Piping:  
Main Lines: PVC SCH 40 Solvent Weld.  
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. and 3/4 in. are not used.  
All lateral pipe is 1 inch.  
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.  
Sleeving under pavement = 24 in. depth, min.  
Suction Line = 24 in. depth, nominal.  
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

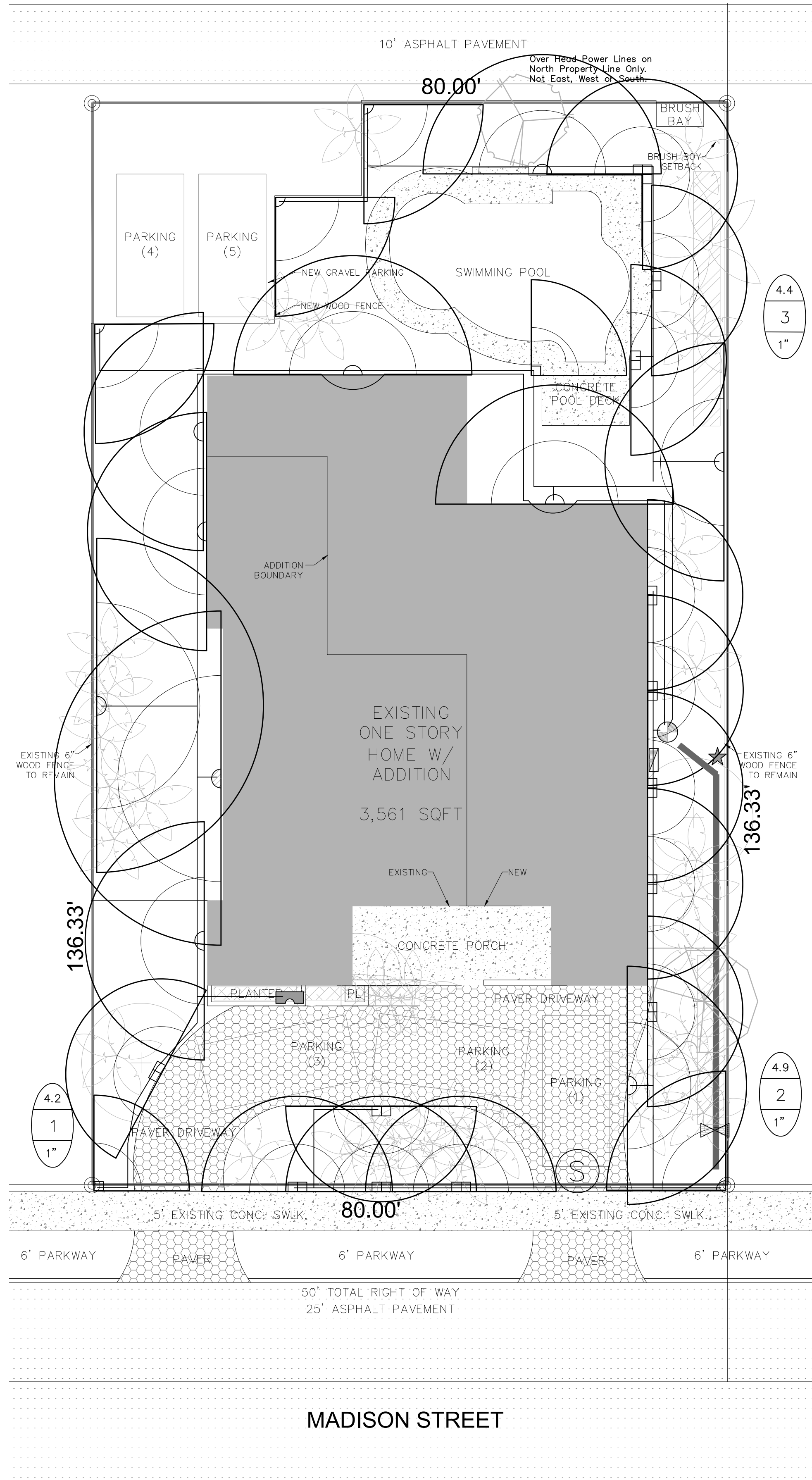
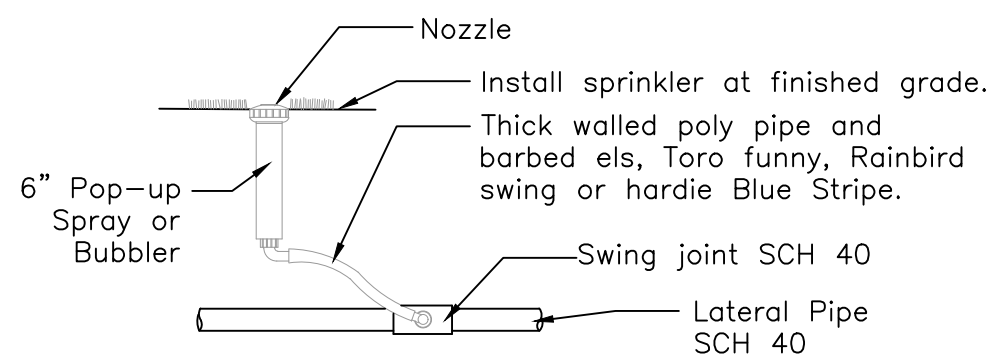
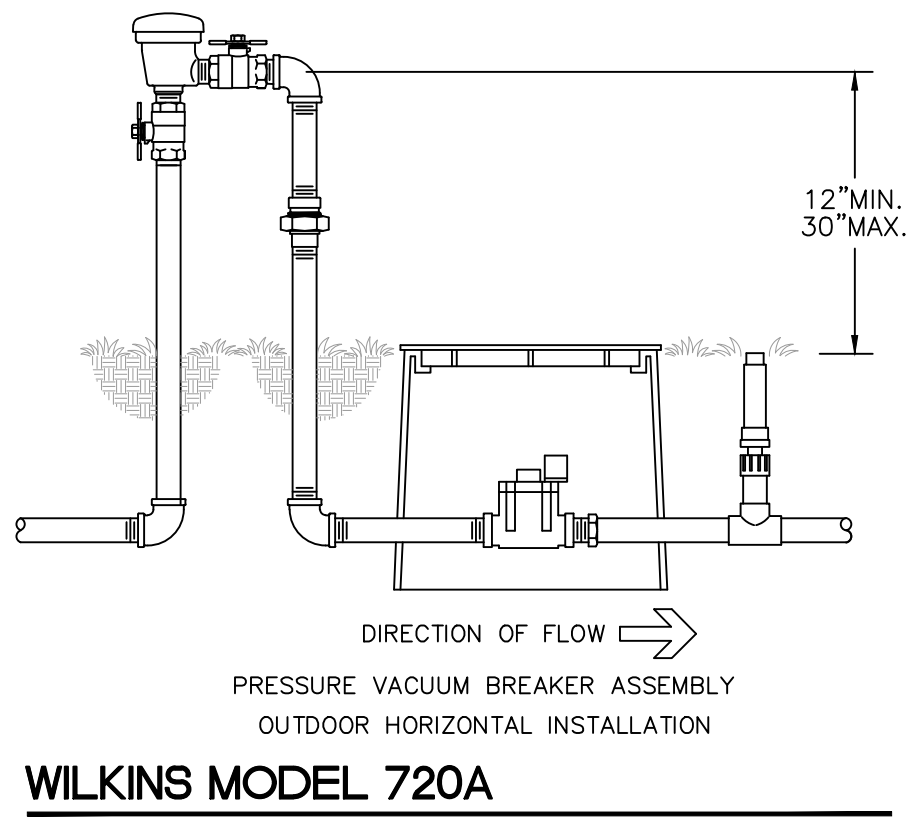
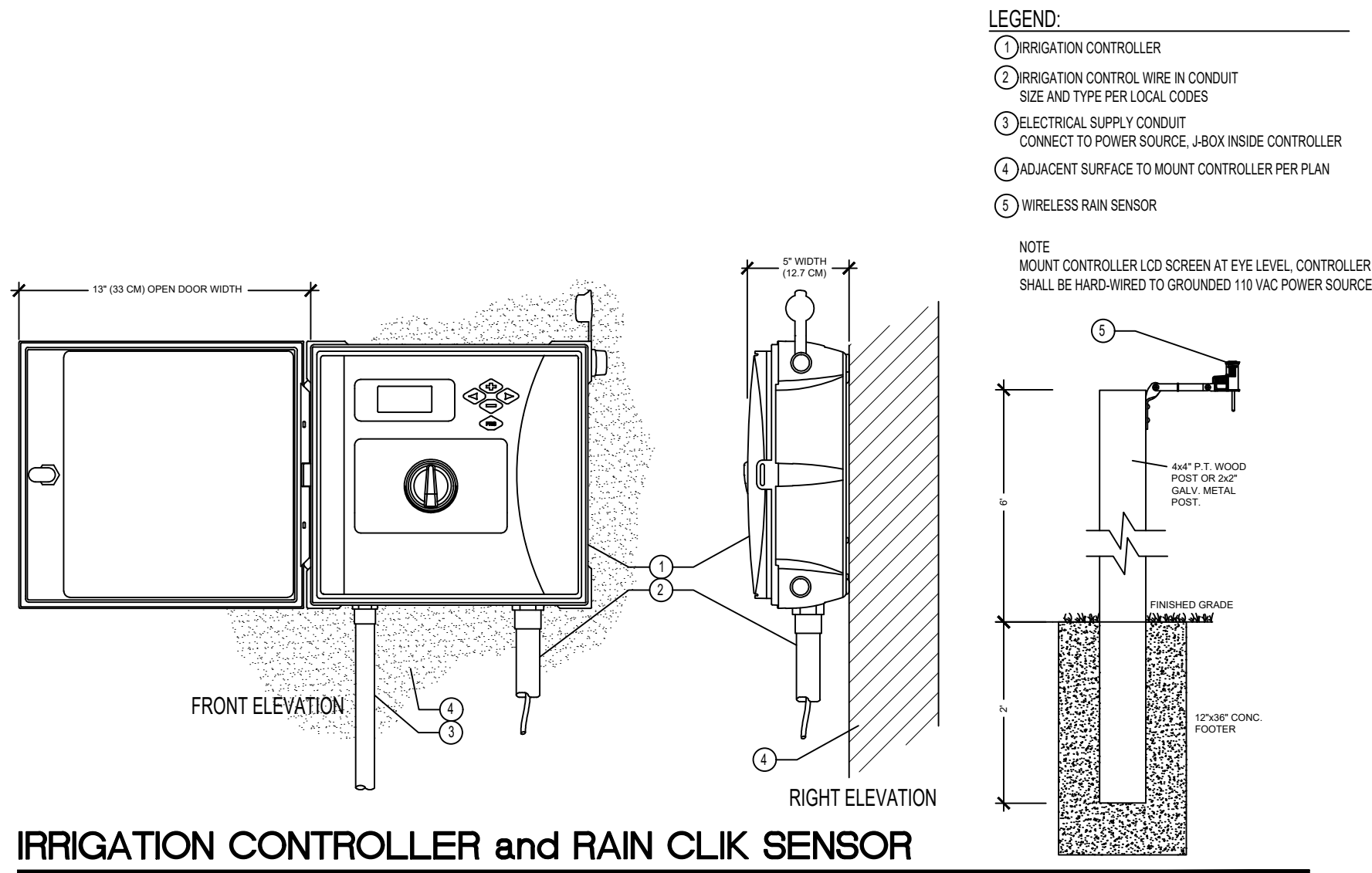
Control Wires: AWG 14 for all hot wires and AWG 12 for common.  
Solid copper type UF UL listed for direct burial.  
Run wires under main.  
Run spares, two min.  
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.  
Common shall be white, hot shall be red or color coded  
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



Irriation Permit Plan

Single Family Residence

1415 Madison Street

Hollywood, Florida 33020

THOMAS WHITE, ASLA-ISA

LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST

2600 NE 27th AVENUE

FORT LAUDERDALE, FLORIDA 33306

tcwhite@telsouth.net

954-253-2265

REVISIONS

NO.	DESCRIPTION



DRAWN: TW

CHECKED: TW

DATE: 2-6-2024

SCALE: 1"=10'

Sheet No.

L-2

Sheet 2 Of 2

**Sunshine811**

Call 811 or [www.sunshine811.com](http://www.sunshine811.com) two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

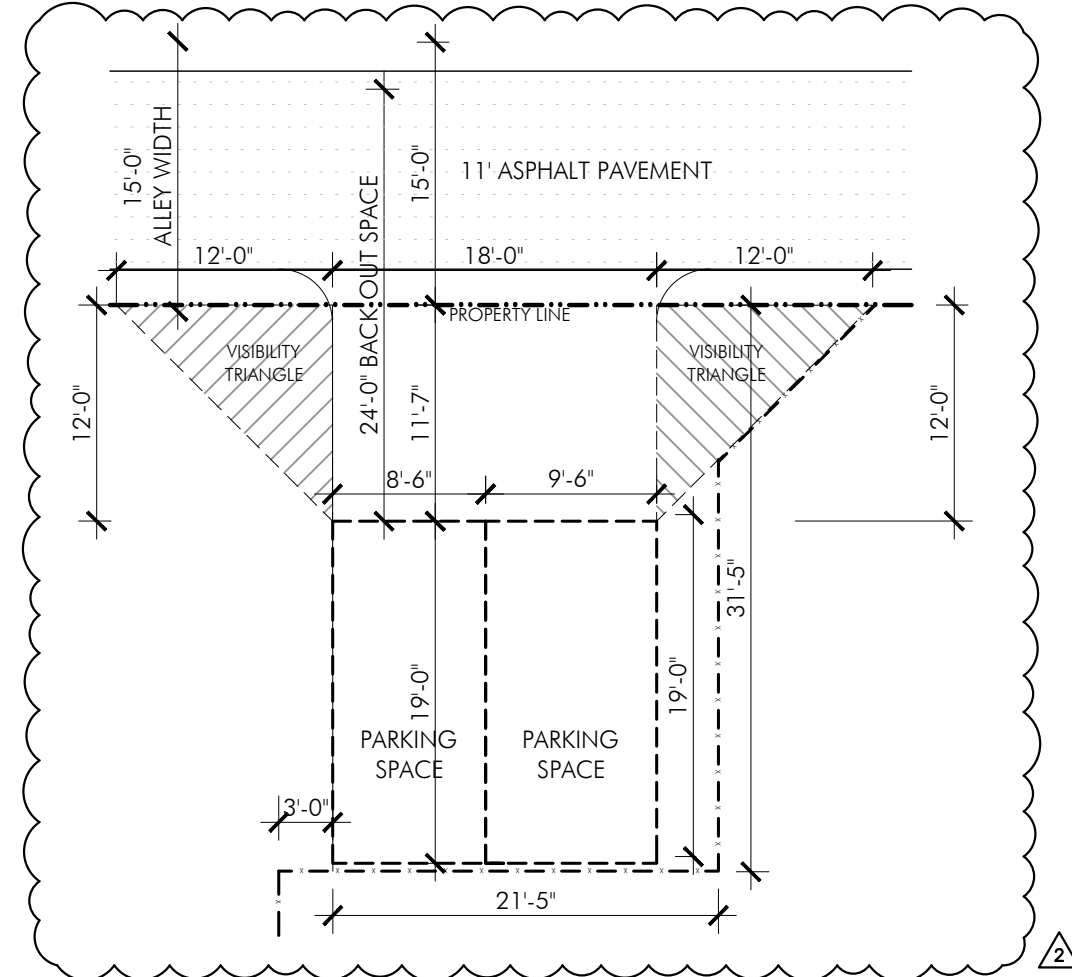


PARKING CALCULATIONS:

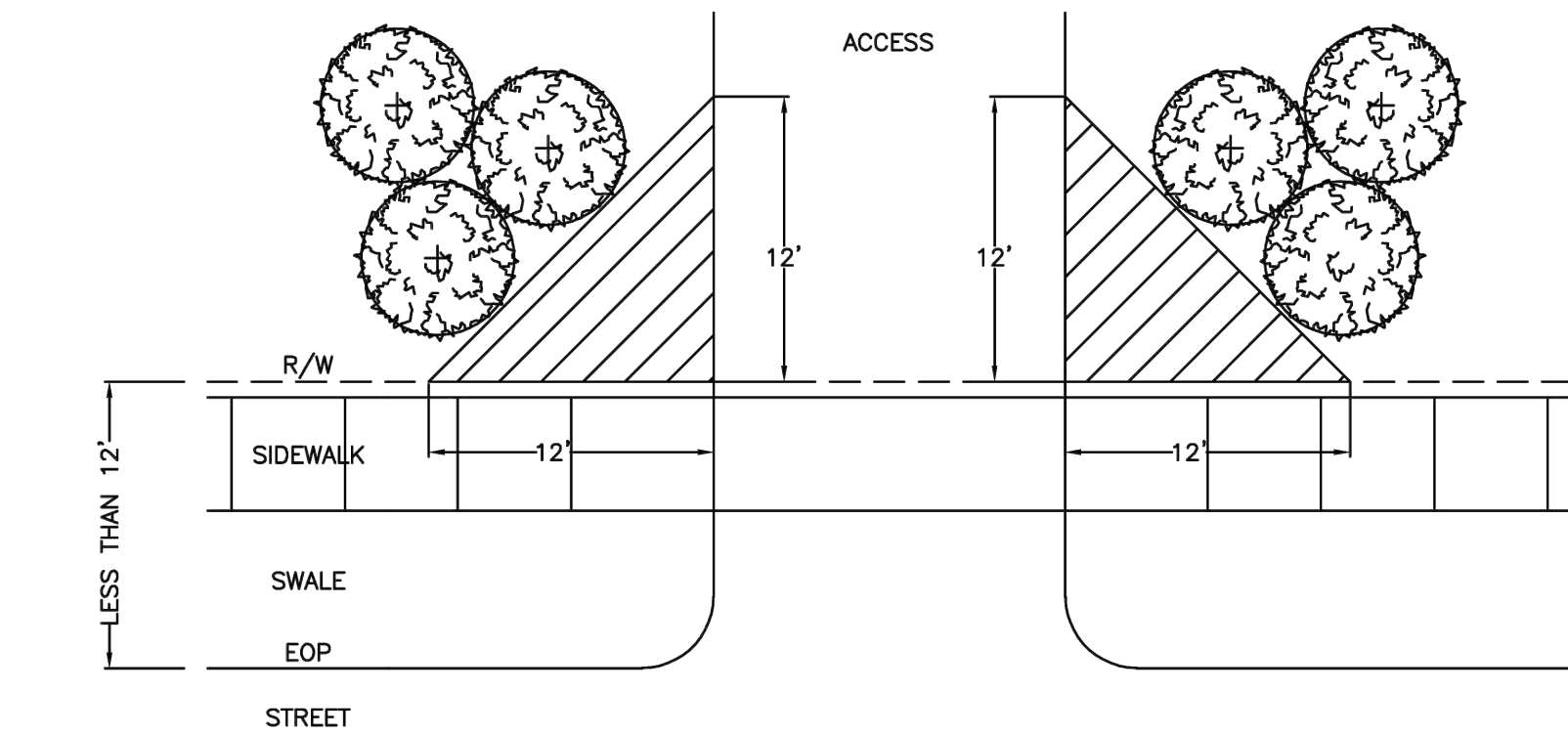
CALCULATIONS MUST ACT IN ACCORDANCE TO THE FOLLOWING:  
2 SPACES FOR RESIDENCES WITH 2,000 SQFT OR LESS  
1 SPACE PER 500 SQFT ABOVE FIRST 2,000 SQFT.

ALL PARKING SPACES ARE 8.5 FT WIDE AND 19FT DEEP.  
SPACES NEXT TO FENCE ARE 9.5 FT WIDE AND 19FT DEEP.

TOTAL RESIDENCE AREA..... 3,561 SQFT  
FIRST 2,000 SQFT..... 2 SPACES  
ADDITIONAL 1,561 SQFT..... 3 SPACES  
TOTAL PARKING SPACES REQUIRED..... 5 SPACES  
TOTAL PARKING SPACES PROVIDED..... 5 SPACES

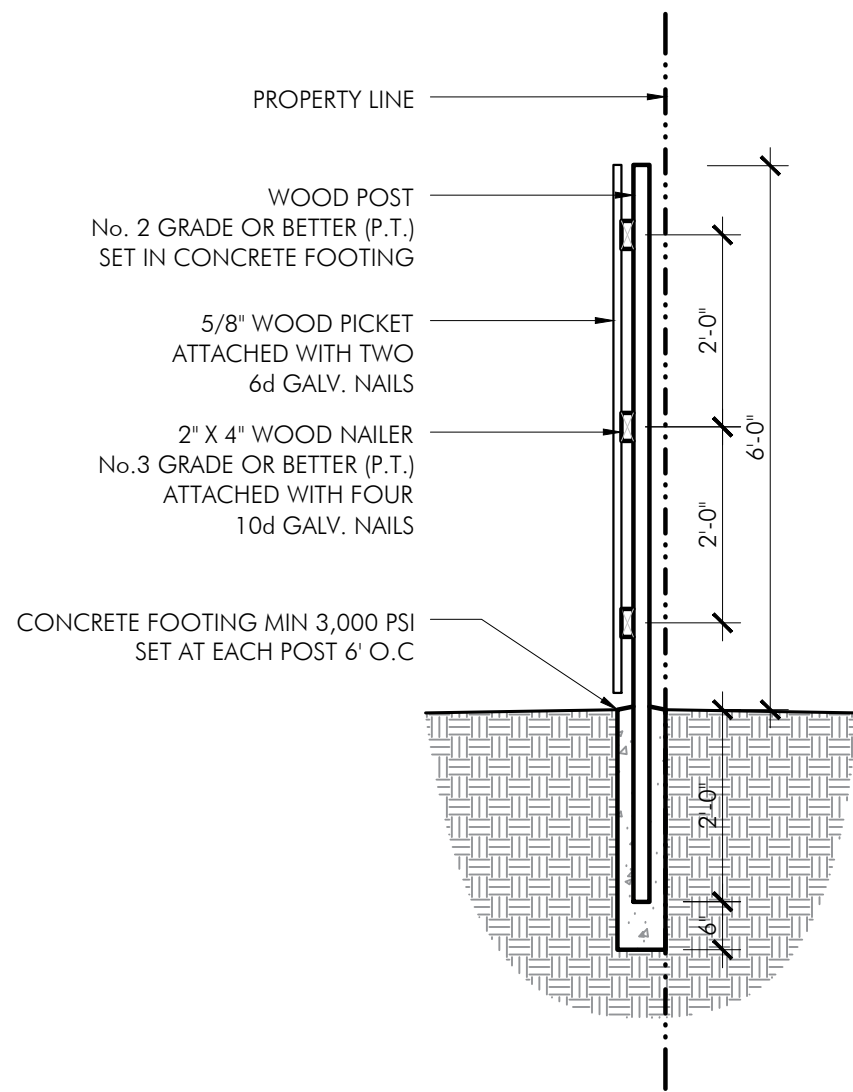


1 REAR PARKING DIAGRAM  
3/32" = 1'-0"

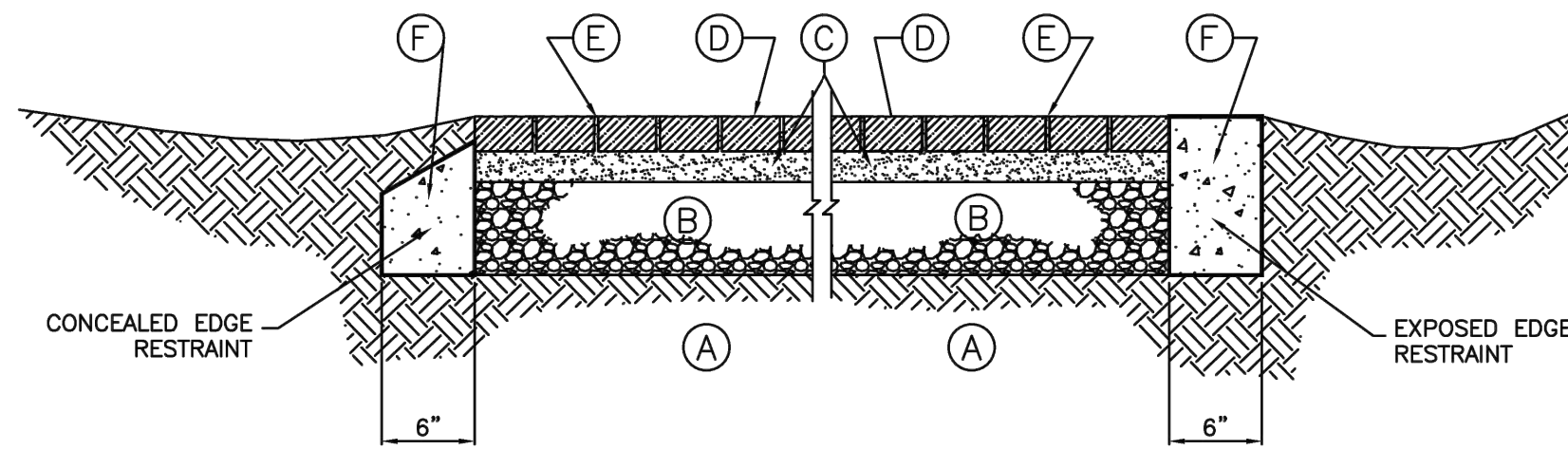


NOTES:  
1. ALL FENCES, WALLS, BUSHES, HEDGES, AND ANY OTHER LANDSCAPING OR PLANT MATERIAL, WITHIN THE VIEW TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND 72 INCHES ABOVE GROUND LEVEL.  
2. TREES HAVING OVER 72 INCHES OF CLEAR TRUNK WITH LIMBS AND FOLIAGE TRIMMED IN SUCH A MANNER AS NOT TO EXTEND INTO THE VIEW TRIANGLE SHALL BE PERMITTED WITHIN SAID AREAS, PROVIDED THEY IN NO WAY IMPEDE VISIBILITY. NO LANDSCAPING ELEMENTS, EXCEPT FOR REQUIRED GRASS OR GROUND COVER, SHALL BE LOCATED CLOSER THAN 36 INCHES FROM THE EDGE OF ANY VEHICULAR TRAVEL LANE.

4 VISIBILITY TRIANGLE DETAIL  
N.T.S.



2 NEW WOOD FENCE DETAIL  
N.T.S.



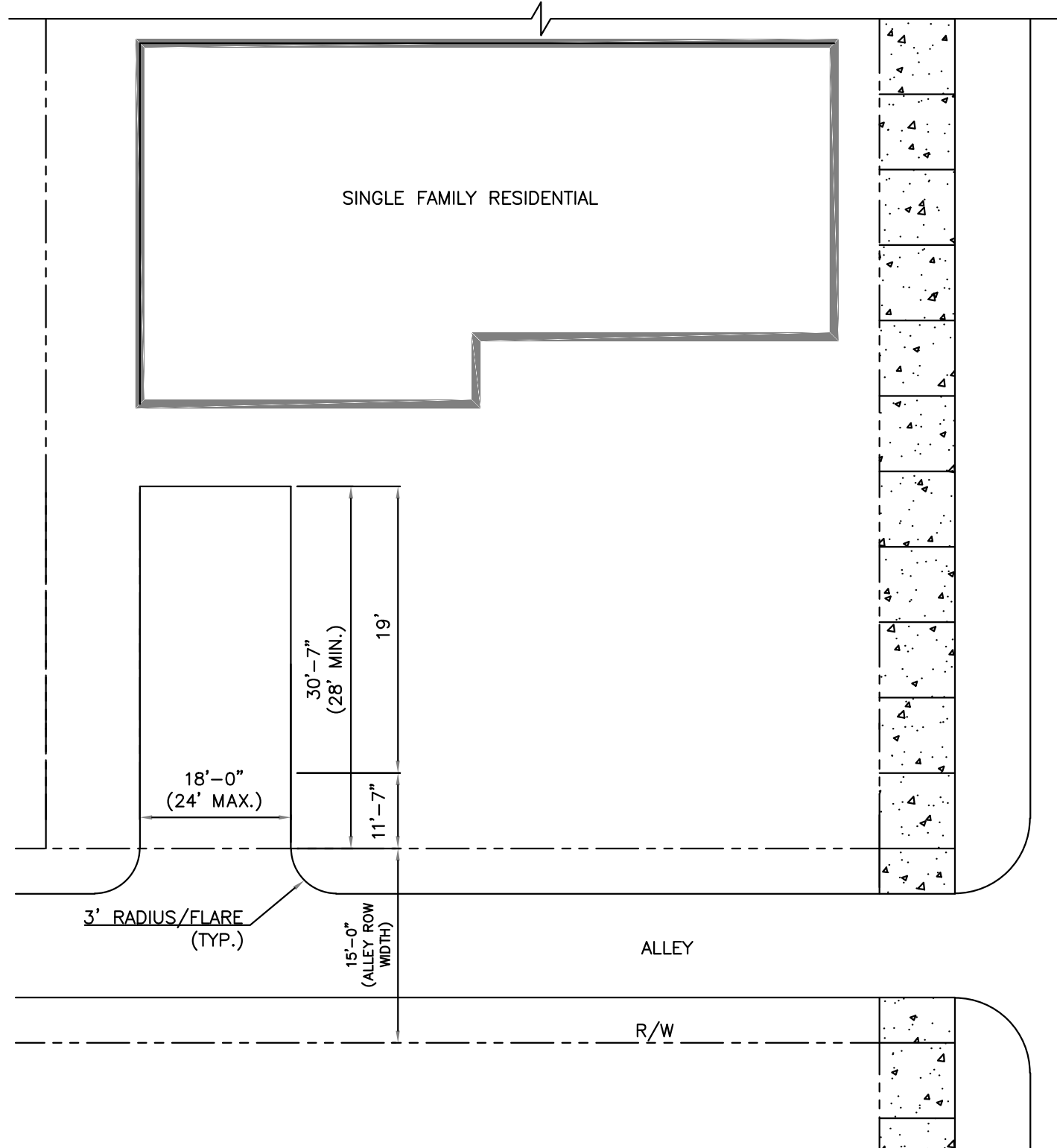
LEGEND:

- (A) SUITABLE SUBGRADE (SEE NOTE No. 1)  
(B) LIMEROCK BASE COMPACTED TO A MIN. OF 98% OF MAX. DENSITY AS DETERMINED BY AASHTO T-180 MINIMUM THICKNESS REQUIRED:  
6" IN THE PUBLIC RIGHT OF WAY  
4" ON PRIVATE PROPERTY  
(C) SAND BEDDING COURSE, 2" TYPICAL  
(D) CONCRETE SEGMENTAL PAVING UNITS  
(E) JOINT-FILLING SAND  
(F) 3,000PSI CONCRETE @ CONTINUOUS EXPOSED EDGE RESTRAINT REQUIRED IN THE PUBLIC RIGHT-OF-WAY.

LIMITATIONS:

1. LIGHT TRAFFIC AND DOMESTIC USE ONLY. HEAVIER TRAFFIC OR UNSUITABLE SOIL CONDITIONS REQUIRE SPECIAL PAVEMENT STRUCTURE AND THICKNESS DESIGN.  
2. SURFACE DRAINAGE: RECOMMENDED MINIMUM GRADE OF 2% TO SWALE PERVIOUS AREA.  
3. THIS IS A NON-STANDARD TYPE OF DRIVEWAY CONSTRUCTION AND AN AFFIDAVIT IS REQUIRED FROM THE OWNER FOR WORK IN PUBLIC RIGHT-OF-WAY OR EASEMENT.

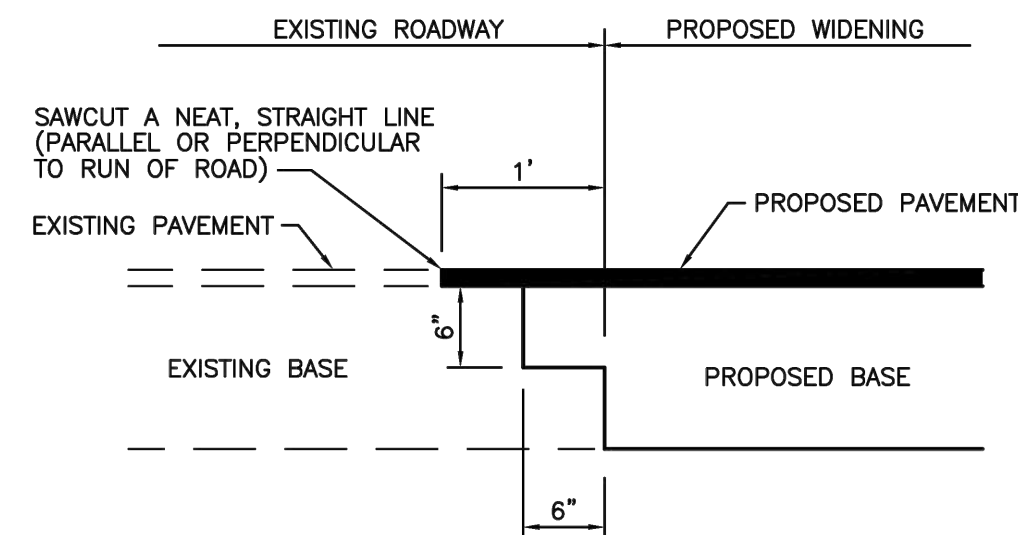
3 CONCRETE PAVERS DETAIL  
N.T.S.



NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.  
2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW:  
2.1. A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.  
2.2. RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.  
2.3. CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.

5 DRIVEWAY ADJACENT TO ALLEY DETAIL  
N.T.S.



6 SAWCUT DETAIL  
N.T.S.

ARCH 0'-0" = 3.20' N.A.V.D.

SCHISM ARCHITECTURE + DESIGN

SCHNEUR Z. MEYER, AIA  
FL: AR101781  
1622 NW 36TH ST, MIAMI FL 33142  
SAD-ARC.COM  
TEL (305) 761-2541

RENOVATION & ADDITION  
1415 MADISON ST  
HOLLYWOOD, FL 33020

PLEASE NOTE: THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS ARE INCORPORATED INTO THESE DRAWINGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT WOULD BE DIFFERENT AND INADEQUATE FOR APPROVAL AND REVIEW, IT IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.  
PLEASE NOTE: THE DRAWING SET AND ITS SPECIFICATIONS NOTICE OF ACCEPTANCE, PRODUCT AND EQUIPMENT BOOKS AND MANUALS AND SOIL REPORTS SHALL CONSTITUTE A SINGLE ENTITY, NO PART OF THE DRAWING SET SHALL BE CONSIDERED SEPARATE FROM THE OTHERS. ANY INFORMATION WITHIN THE SET AND SPECIFICATION MUST BE UNDERSTOOD AS PART OF THE WHOLE. THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBS TO CONFORM TO THE DRAWING SET, ALL ASPECTS OF THE WORK DESCRIBED WITHIN THE DRAWING SET, OF ANY CONFLICT OR DISCREPANCY WITH THE DESCRIPTION OF WORK IN THE DRAWING SET THE CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO THE BEGINNING OF ANY BEDDING WORK AND OR PURCHASING.

DRAWN BY: SZM  
DATE: 5/3/2024

REVISIONS:  
2/15/24 BLDG DEPT COMMENTS  
5/3/24 BLDG DEPT COMMENTS

DRAWING TITLE:  
SITE PLAN  
NOTES + DETAILS

PROJECT # 2307

DRAWING NO.  
A 1.00 B