



Proposed North Facade

Drawing Index

BUILDING ARCHITECTURE
 RICK BRAUTIGAN ARCHITECTURE, INC.
 1025 South Dixie Highway
 Delray Beach, Florida, 33483

No.	Title	Issued	Revisions
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A2	Existing Site Plan & Project Data.....	7-13-18	
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STRUCTURAL ENGINEERING
 Design Engineering & Supply Inc.
 2799 NW Boca Raton Blvd., Suite 111
 Boca Raton, Florida, 33431

No.	Title	Issued	Revisions
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M/E/P ENGINEERS
 BEACON CONSULTING ENGINEERS
 100 NE 6th Street Suite 102
 Boyton Beach, Florida, 33435

No.	Title	Issued	Revisions
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ELECTRICAL			
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Level II Alteration
 The Eduardo Building
 for Hollywood
 2006 Realty LLC
 2006 Hollywood Blvd
 Hollywood
 Florida 33060
 RBA-PN-12018-001
 © 5.23.18: PACO Submittal
 © 7.13.18: Permit Set
 ©: G.C. Bid Set
 ©: Owner Rev Plan Set

REVISIONS
 △ 10-11-18: Building Dept. Comments

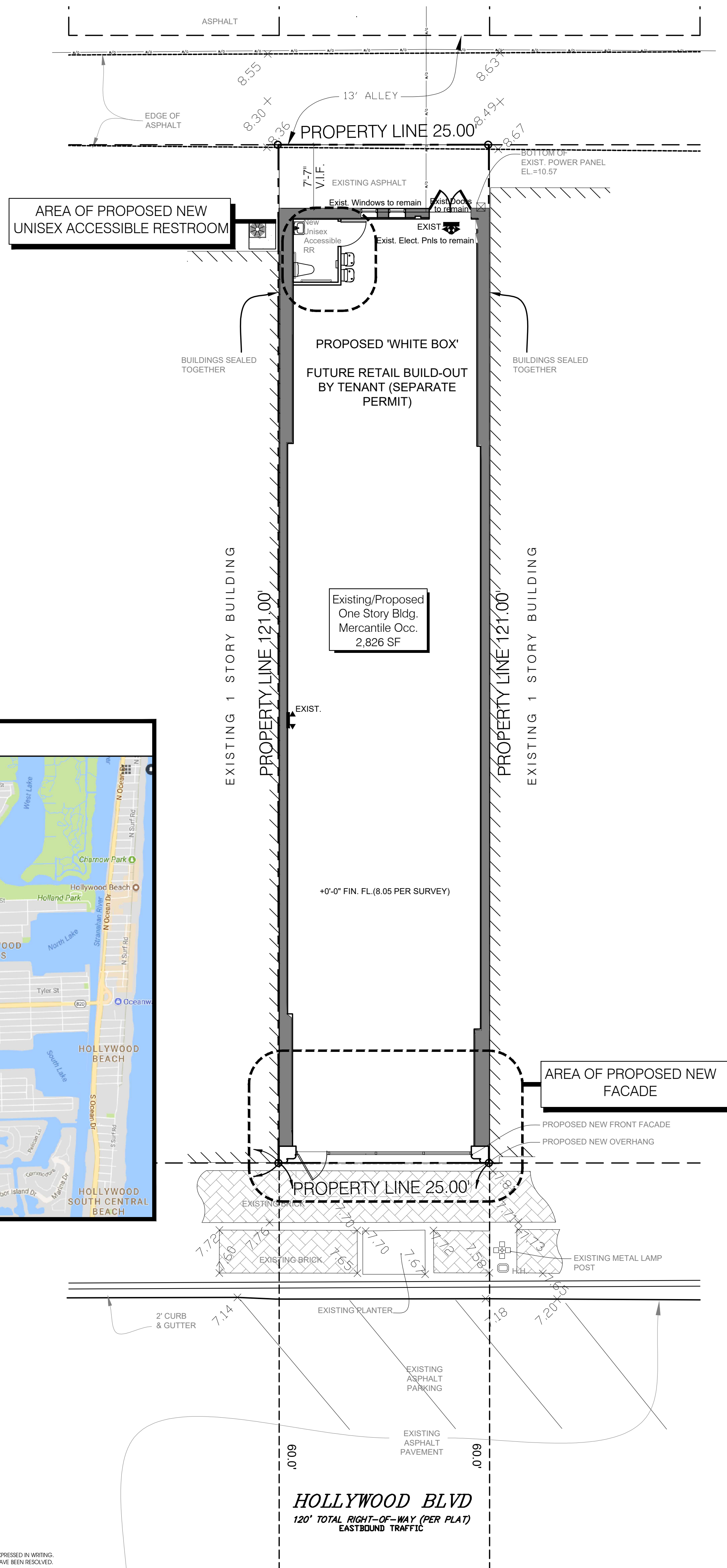
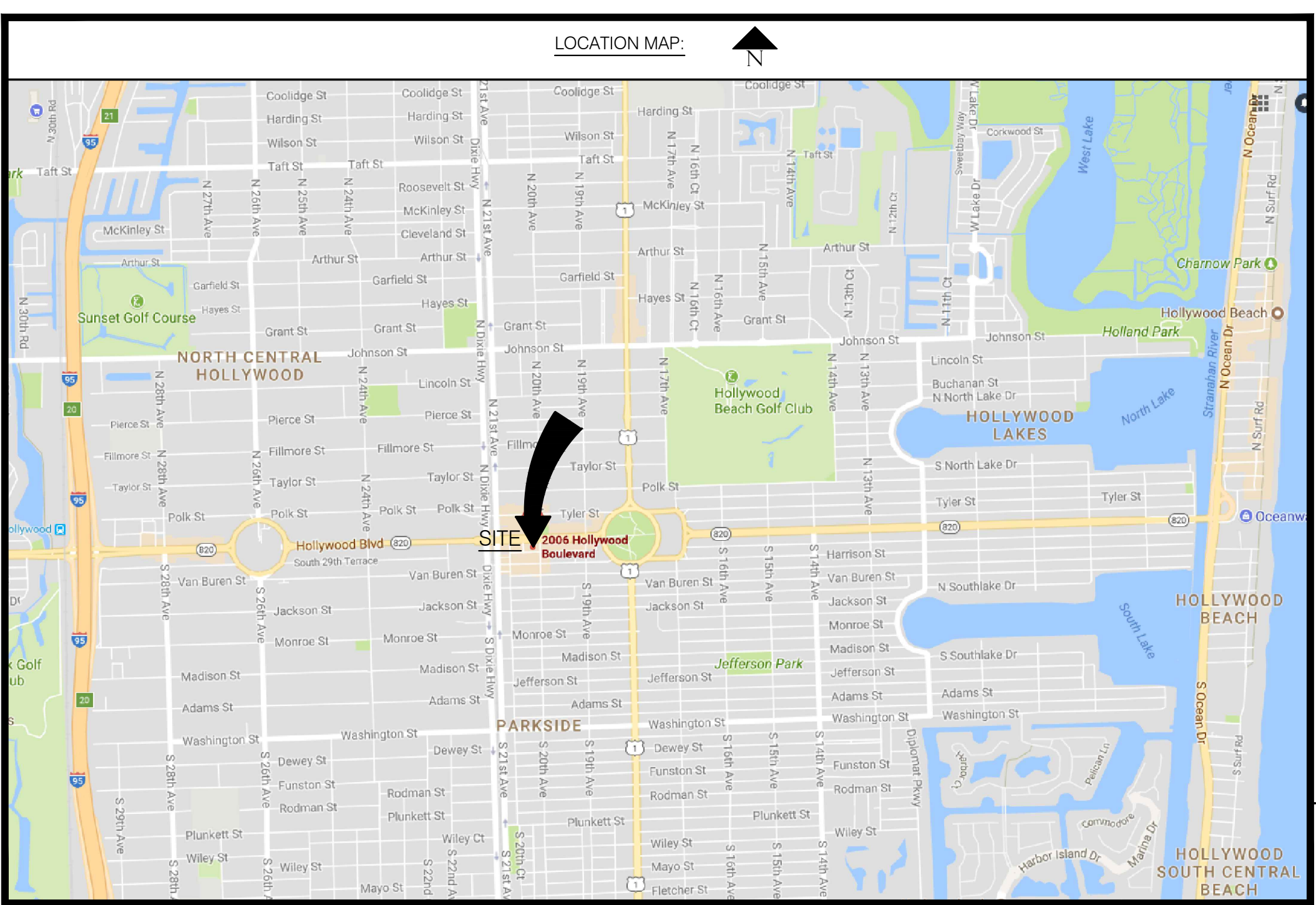
Level II Alteration for:

The Eduardo Building

2006 Hollywood Blvd • Hollywood • Florida

Cover Sheet

- Commercial General Notes:**
- The architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and he will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents. The architect will not be responsible for or have control or charge over the acts or omissions of the contractor, subcontractors, or any of their agents or employees, or any other persons performing any of the work.
 - All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing, fire codes. Contractor shall verify all code requirements and the construction documents.
 - Errors and omissions which may occur in contract documents shall be brought to the attention of the architect in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors, discrepancies, or omissions which the contractor failed to notify the architect of before construction and /or fabrication of the work.
 - Contractor and subcontractors are to verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of work. Do not scale drawings. Architect shall be notified in writing, prior to commencing any work, of any errors or discrepancies in drawings or between prepared drawings and field conditions.
 - It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
 - The contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. Shall be left clean and ready for occupancy upon completion of the project.
 - All work is to be done under the supervision of the general contractor, in accordance with the owner-contractor agreement.
 - All wood in contact with concrete or masonry or below finished floor is to be pressure treated.
 - All materials and products used for and in construction are required to have applicable products control code approval.
 - Contractor shall carry all necessary insurance as required by law and hold harmless the owner or architect from any loss, liability, claim or demand for damages arising out of or relating to the performance of the work as described by these drawings.
 - The owner shall effect and maintain fire, extended coverage and vandalism insurance for 100% of the insurable value of all construction on the site.
 - The general contractor shall guarantee all work specified and/or described by these drawings free from any defects or malfunctions for a period of one year commencing from the substantial completion date or from the time of occupancy, whichever occurs first. The general contractor is responsible for all work executed by subcontractors or other trades, plumbing equipment.
 - The contractor shall acquire all permits and licenses and pay all fees necessary for the execution of the work.



- Applicable Codes**
- Florida Building Code 2017 Edition
 - Florida Fire Prevention Code (6th Edition)
 - NFPA 1 - Fire Code (2015 Edition)
 - NFPA 101 - Life Safety Code (2015 Edition)
 - Florida Accessibility Code for Building Construction in Florida Building Code 2017 Edition
 - City of Hollywood Zoning & Land Development Regulations

Project Data:

Existing Land Use:	RAC (Regional Activity Center)
Existing Zoning Classification:	RC-2 (Historic Retail Core)
Existing Floor Area to remain:	2,826 s.f.
Existing/Proposed Building Height:	21'-2" (55 feet max. allowed)
Existing/Proposed Number of Stories:	1 (5 stories max. allowed)
Existing/Proposed Occupancy:	Group M (Mercantile)
Setbacks:	Front: Min. Required - 0 ft. Provided: 0 ft.
	Side: Min. Required - 0 ft. Existing: 0 ft.
	Alley: Min. Required - 5 ft. Existing: 7 ft.6 in.
	All frontage Max. Setback: 25 feet

Scope of Work:

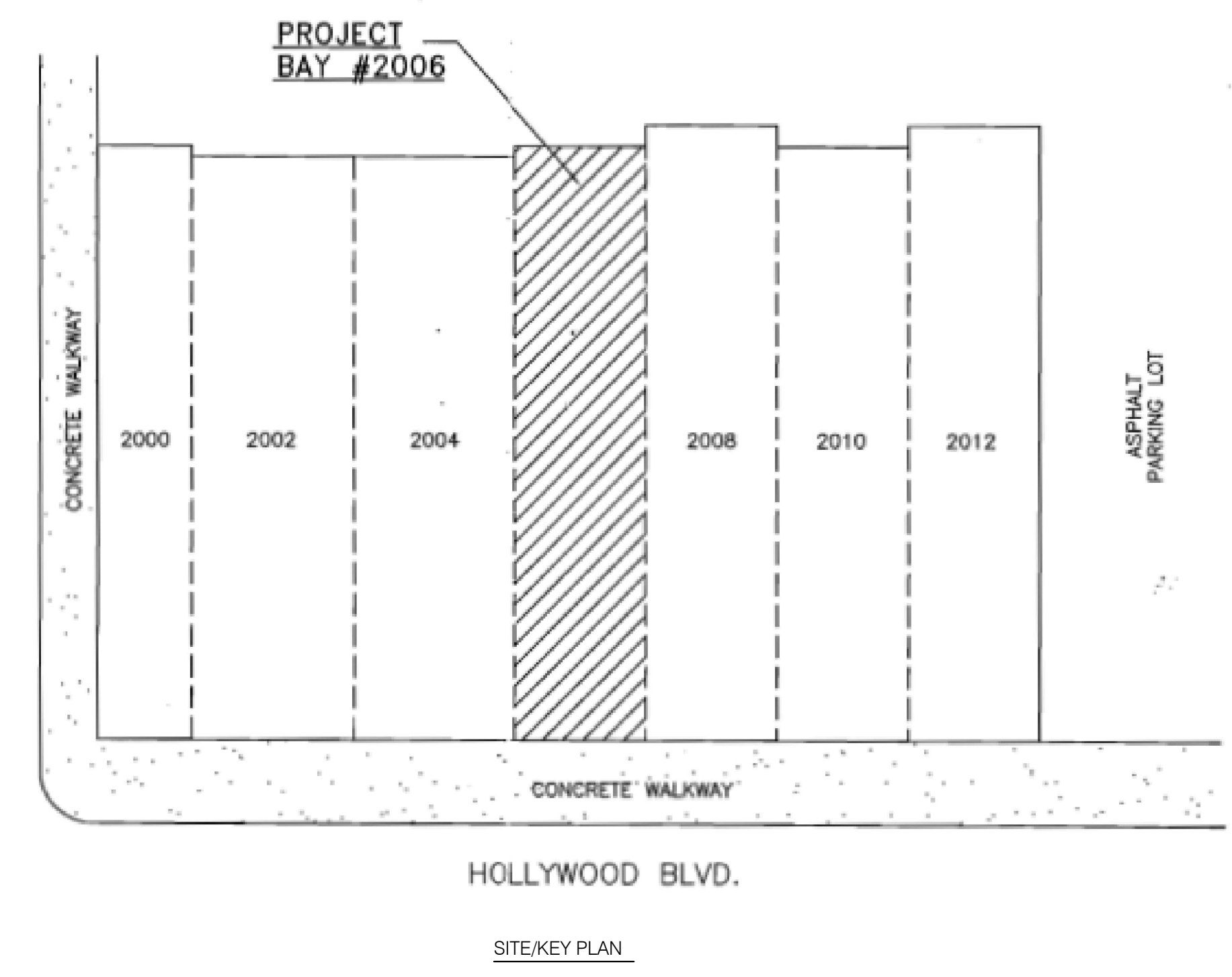
Demolition of existing front facade, ADA ramp and restroom. Proposed floor plan shows 'white box' with new front facade/storefront, new concrete slab at the front of tenant space, new interior Unisex Restroom, new ADA drinking fountain. Future Build-out by Tenant (including new service sink)

- Safety light in the rear and emergency/exit lights in the interior of the building are existing to remain
- Existing HVAC system will be replaced

WALL LEGEND

	Existing walls to remain
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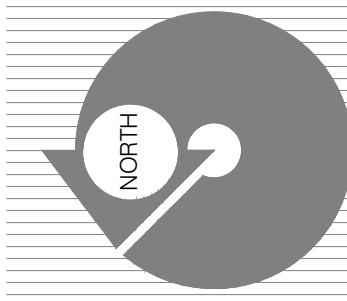
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS



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Proposed Site Plan
 Project Data SC 1/8"

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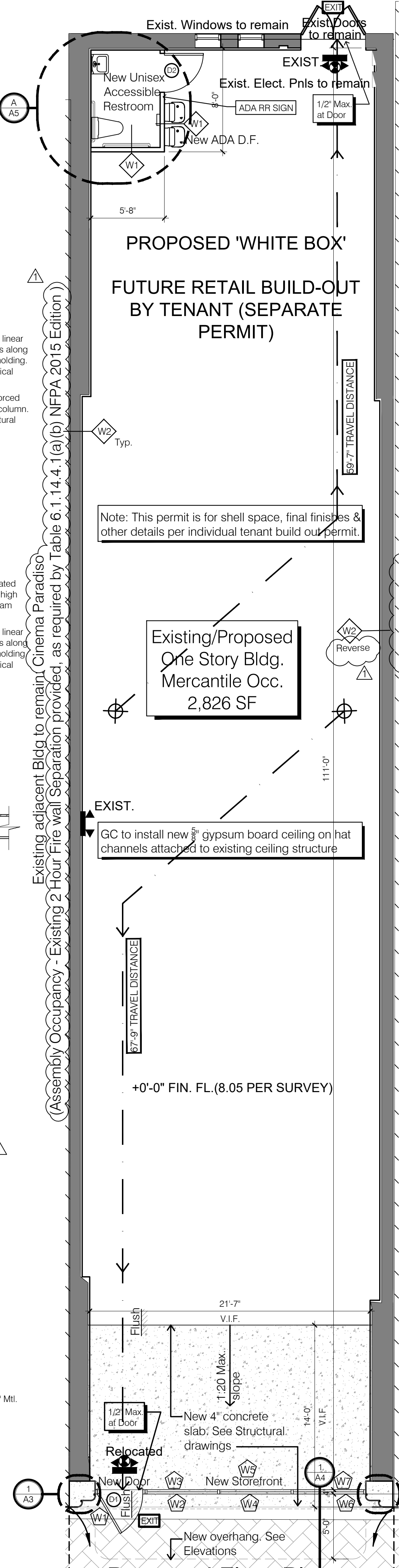
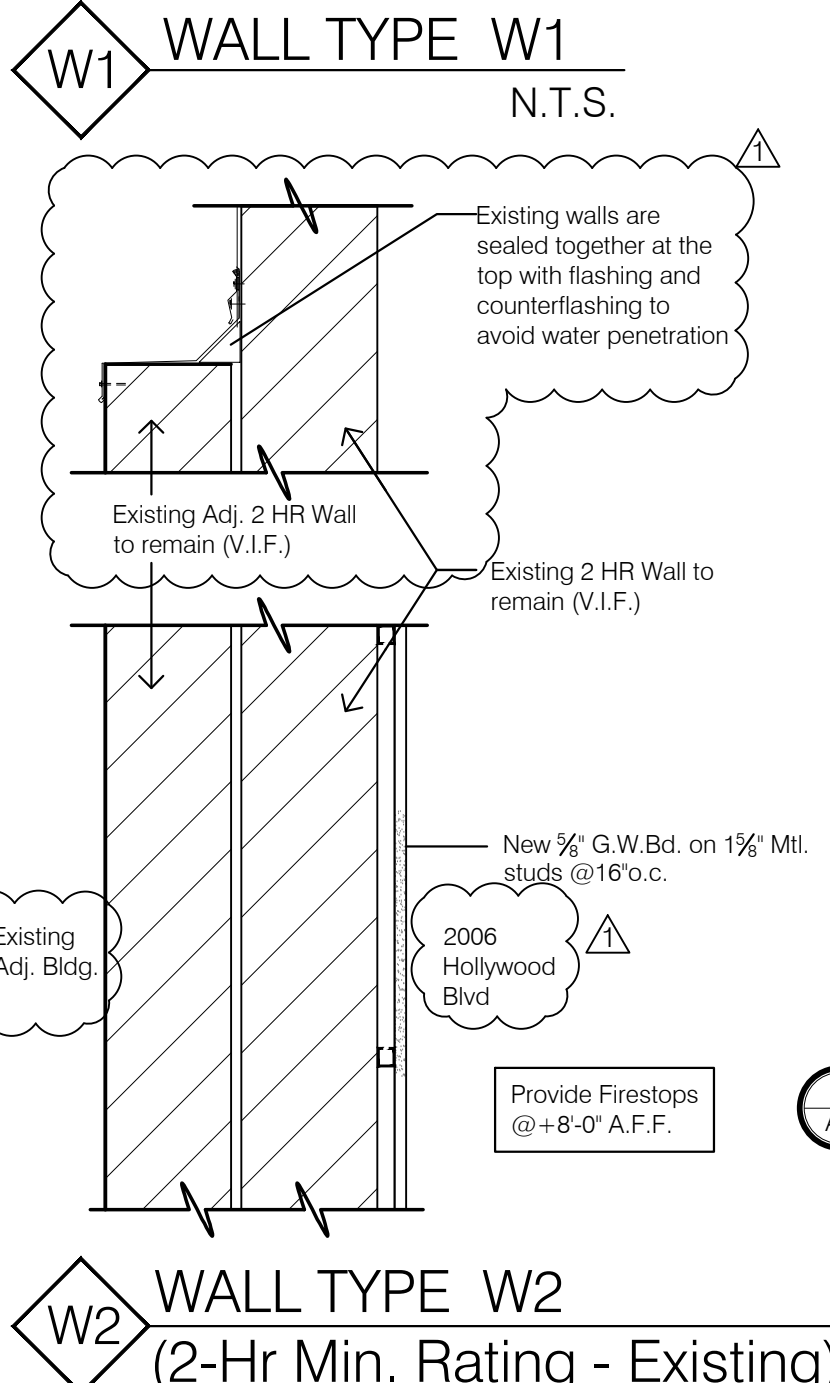
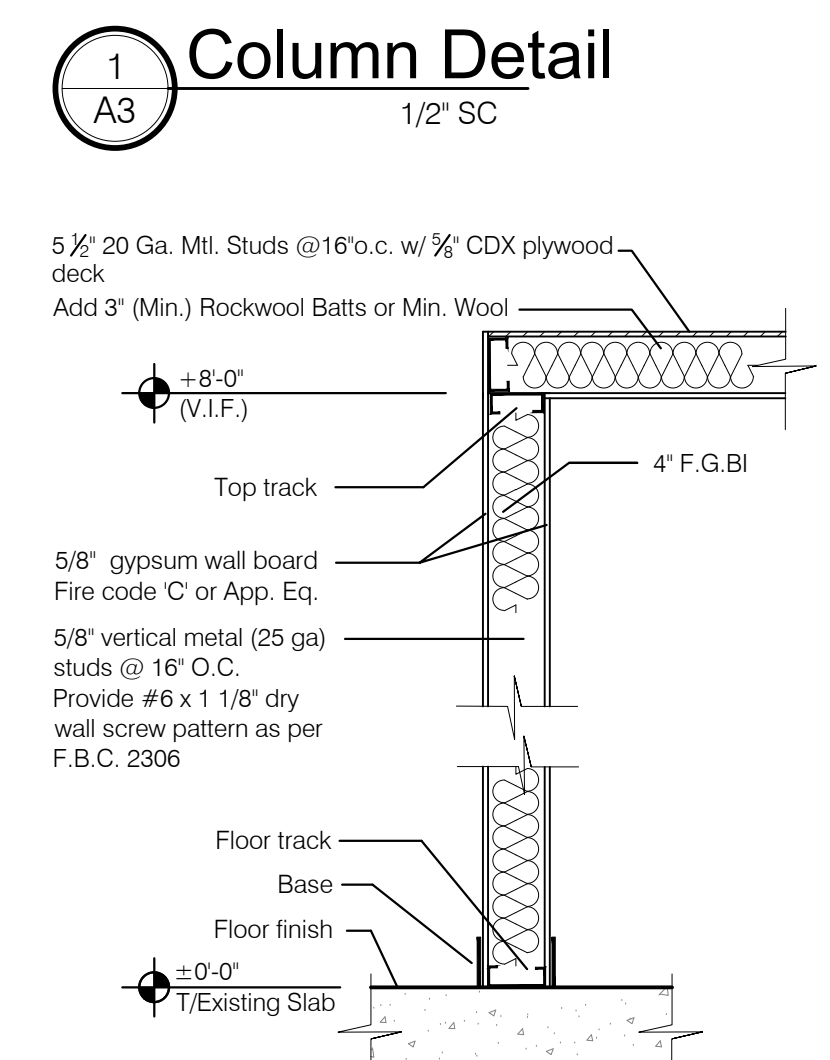
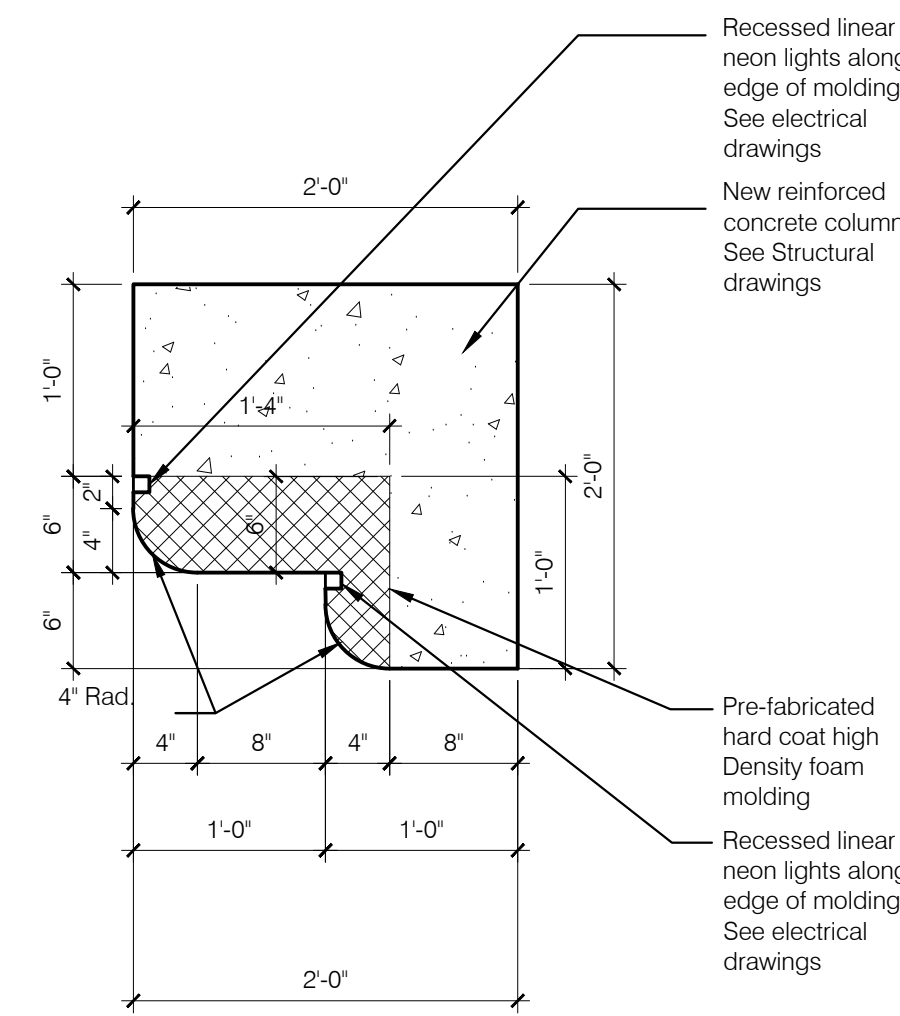
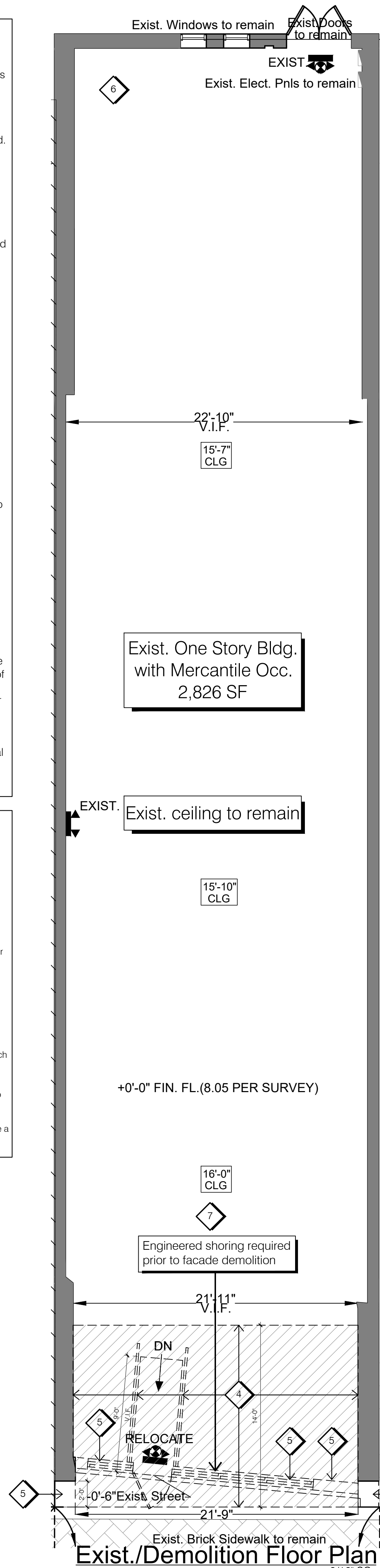
General Demolition Notes:

- Contractor to notify architect of any discrepancies between plans and construction drawings prior to removal.
- All waste material and debris shall be removed from the site by the contractor. Material shall not be allowed to accumulate or become a safety/fire hazard. Open burning will not be permitted. All the salvaged materials will become the contractors property unless otherwise noted.
- The owner reserves the right to inspect the material scheduled for removal and salvage any items they deem usable as spare parts.
- Dust control: Use all means necessary to control air pollution and other environmental contamination as required to prevent dust or debris being a nuisance to the public, neighbors, and concurrent performance of other work in the building.
- Protection: install and maintain barricades, and pedestrian cautions in accordance with local safety regulations and ordinances.
- Cutting and patching: it is intended that the general contractor shall perform all cutting and patching for general construction trades, mechanical and electrical. Patching shall mean the restoration of a surface or item to its original condition to match the existing unless otherwise indicated, noted, detailed or specified. cutting and patching shall be done by the proper trades and crafts necessary for the materials involved.
- Contractor to field verify removal of any structural members not identified on plans with architect prior to demolition.
- Electrician to field inspect and cap appropriate electrical prior to demolition.
- Plumber to field inspect and cap appropriate plumbing prior to demolition.
- During the execution of the work, all required location, rerouting, etc., of existing equipment and systems in the existing building shall be performed by the contractor, or as required by job conditions and as determined by the architect in the field, to facilitate the installation of the new systems.
- Prior to relocation and/or demolition work, arrange a conference with the architect and/or the owner in the field to inspect each of the items to be removed or relocated. Care shall be taken to protect all equipment designated to be relocated and reused or to remain in operation and be integrated with the new systems.
- All deactivation, relocation, and temporary tie-ins shall be provided by the contractor. All demolition, removal and the legal disposal of demolished materials of system designated to be demolished shall be provided by the contractor.

Demolition Plan Notes:

- Remove existing interior partition wall as indicated. Contractor to notify architect if existing wall is load-bearing prior to removal for instructions on adequate shoring of structure. Patch, repair, and paint all existing to remain surfaces (floor, walls and ceiling) as required.
- Remove existing door and frame. Return to owner or dispose of under owner's direction.
- Remove existing plumbing fixtures, toilet partitions, millwork and floor/wall finishes. Prepare existing plumbing/walls/floors to receive replacement per owner's specifications
- Remove existing slab (front 14' - VIF), ADA ramp and railings, as shown
- Remove front facade as shown (front wall, storefront, entry door, upper windows and front 24' of existing demising walls). See Sheet A4 for Demolition Elevation & Structural drawings for required shoring of existing roof. GC shall perform the work without damaging adjacent buildings (patch and repair if required)
- Cut existing concrete slab as required to accommodate for new plumbing fixtures shown on the proposed floor plan. See structural drawings for slab repair details
- General Contractor shall patch and repair existing concrete slab to provide a level surface throughout

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS



FBC/NFPA CODE DATA

Group M Occupancy - Mercantile, Class C (per Sec. 37.1.2.2.1(3), NFPA 2015 Ed.)

Type III (B: Unprotected)

Allowable SF/ Floor: 9,000 SF
This Bldg. is (One Floor): 2,826 SF

Existing/Proposed Height: 21'-2"
Number of stories this bldg: 1

Occupant Load Calculation:
Based on Table 1004.1.1 FBC
Mercantile.....60 Gross
2,826 sf/ 60 = 47 occupants

Fire Restrictive Rating For Building Elements
Table 601 FBC
Type V (B) All Elements: O-HRS

No Existing/Proposed Sprinkler System

1 SERVICE SINK SHALL BE PROVIDED IN TENANT SPACE, AT THE TIME OF TENANT IMPROVEMENTS PERMIT

New Signage shall be under Separate Permit

NFPA Interior Finish Schedule per section 36.3.3 (Mercantile)
Floors: No Requirements: (B) Class
Walls: Required: Class A, B, or C compliance
Provided: Class A Drywall
Ceiling: Required: Class A, B, or C compliance
Provided: Class A Gypsum Board/ Class A Susp. Tile Clg.

See MEP drawings for reflected ceiling plan w/ mechanical, electrical and plumbing work

ADA Access Note:
Provide level transition at entrances to building in compliance with ADA. Verify all slopes leading up to entry comply.

Fire Extinguishers: F.E.
Provide temporary fire extinguishers with a minimum rating of 2-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum travel distance of 50'-0" between. Fire extinguishers are to be on site and at the locations shown from start of construction. The same equipment will be installed permanently. Construction personnel shall be instructed in the set of the equipment.
Provide 2-A, 10 BC fire extinguishers at locations determined by the Fire Marshall for light (low) hazard occupancy. Each corridor locations shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall identified as extinguishers per code and requirements of fire marshal.

Number of Exits

Occupancy	Number of Exits required	Number of Exits provided
M	1	2

Toilet Room Calculations:
Required Plumbing Fixtures for Mercantile Use under FBC Plumbing Table 400.1
1 Water closet/
1 Lavatory
1 drinking fountain per 1,000 people
1 service sink
Provided:
Unisex Restroom with 1 WC & 1 Lav. each, 1 drinking fountain & 1 service sink

Classification	Occupancy	Description	Water Closets (Urinals See Section 419.2)		Lavatories	Drinking Fountain
			Male	Female		
Mercantile	M	Retail Stores, Service, Stations, Shops, Salesrooms, Markets and Shopping Centers	1 Per 500	1 Per 750	1 Per 1,000	

DOOR SCHEDULE

MARK	SIZE	THK.	TYPE	SYM.	MAT.	FINISH	FRAME	HARDWARE	REMARKS
①	3680	2"	STOREFRONT	A	ALUM./GLASS	ANOD.	ALUM.	ANOD.	Impact rated Exterior Swing Door (NOA) See Structural dwgs for Wind Pressures
②	3068	1-3/4"	SOLID CORE	B	WOOD	By owner	HM	# 1	

NOTES:
1. All exterior doors shall have current Dade County Product Approval and Notice of Acceptance.
2. All closer & hardware to comply with 2017 Florida Accessibility Code.
3. Contractor to verify masonry / rough openings for all windows and doors and adjust columns as required.
4. Provide corrosion resistant flashing at all exterior window and door openings.

HARDWARE SET #1 (Interior Door-Restroom)

	MANUFACTURER	MODEL	FINISH
Hinges	HAGAR	BB 1199, 4 1/2" x 4 1/2"	32D
Latchset	SCHLAGE	Saturn AL40S-F76	626
Threshold	MFG. STND.	ADA	32D
Closer	LCN	41115-CUSH	PAINT
Silencers	GYLNN JOHNSON		

BUCK SCHEDULE
Impact: 1x4 P.T. buck
Wood frame doors: 2x4 P.T. buck
Metal frame doors: 1x4 P.T. buck

NOA: DESIGNATES METRO DADE CO. NOTICE OF ACCEPTANCE REQUIRED.

STOREFRONT WINDOW SCHEDULE

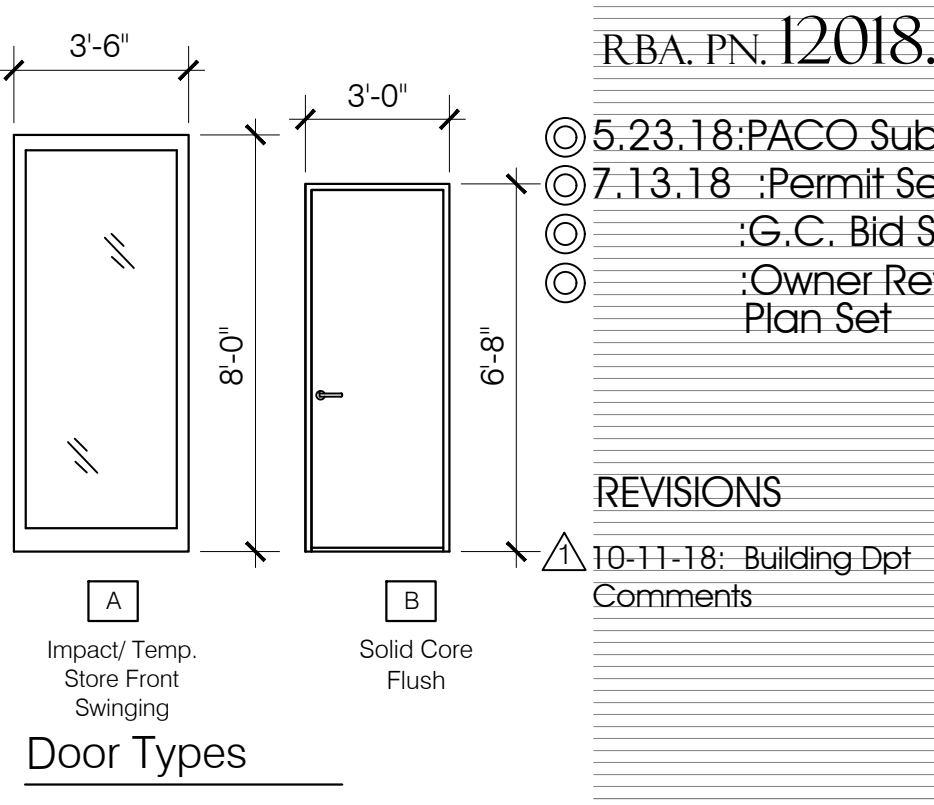
MARK	SIZE	TYPE	GLASS TINT	FRAME	COLOR	NOA	Top of Window (Ref 0'-0")	Bottom of Window (Ref 0'-0")	REMARKS
W1	3'-6" x 3'-8"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+12'-0"	+8'-4"	See Note 1
W2	5'-8" x 8'-0"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+8'-0"	+0'-0"	See Note 1
W3	5'-8" x 3'-8"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+12'-0"	+8'-4"	See Note 1
W4	5'-8" x 8'-0"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+8'-0"	+0'-0"	See Note 1
W5	5'-8" x 3'-8"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+12'-0"	+8'-4"	See Note 1
W6	5'-8" x 8'-0"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+8'-0"	+0'-0"	See Note 1
W7	5'-8" x 3'-8"	STOREFRONT	CLEAR	ALUMINUM	ANODIZED	YES	+12'-0"	+8'-4"	See Note 1

Note 1: See Structural drawings for Wind Pressures

Exterior Storefront shall have impact rated glass with clear anodized aluminum frame attached to CMU per NOA and pre-engineered shop drawings. Submit sample. Refer to NOAs for Head/Jamb/ Sill buck details/attachment to CMU for all doors and storefront

WALL LEGEND

- Existing walls to remain
- New interior partition. See wall type detail W1

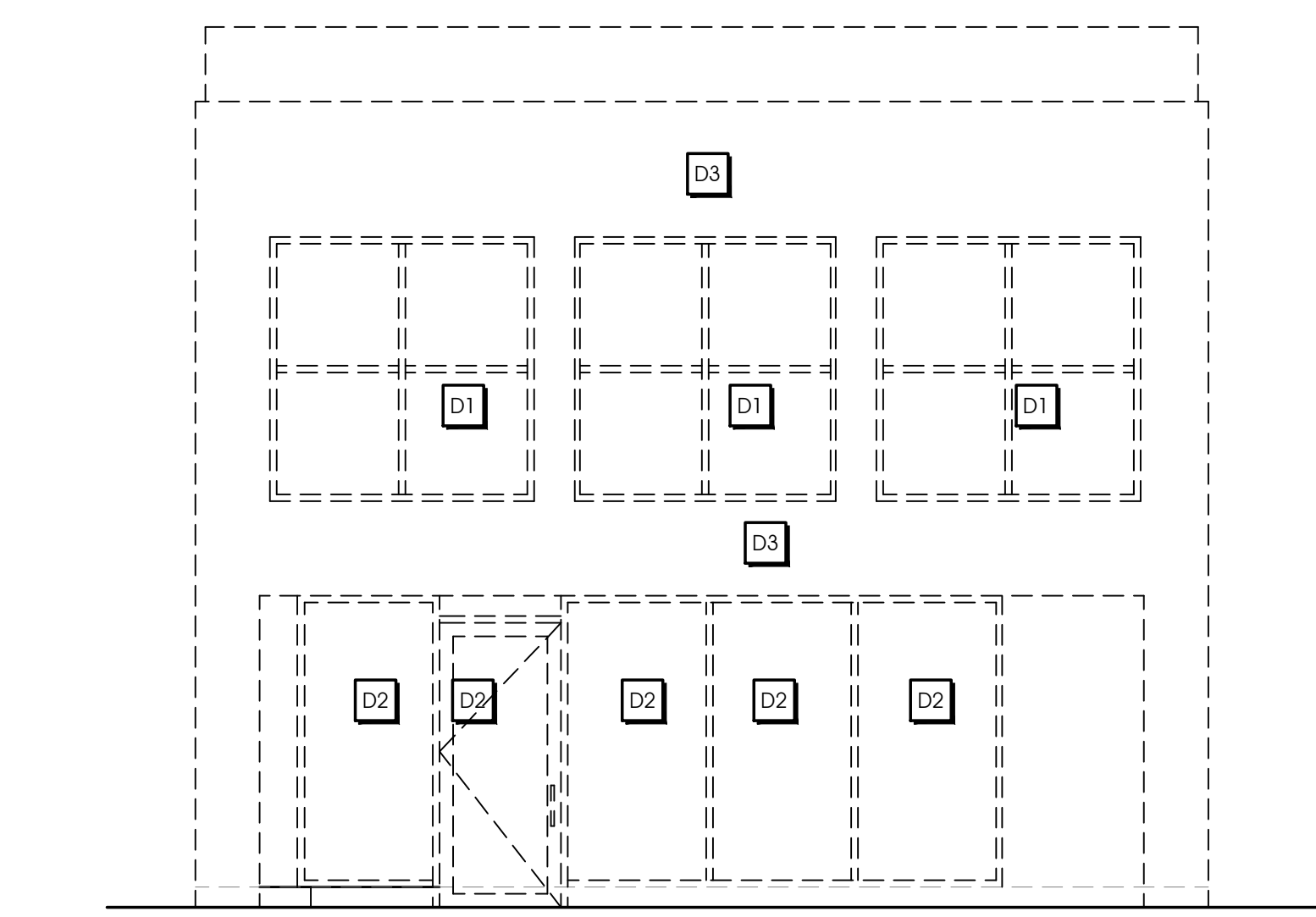


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G.C. Bldg Se
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Plan Set

REVISIONS
10-11-18: Building Dept
Comments

Existing/Demolition & Proposed Floor Plans SC 3/16'

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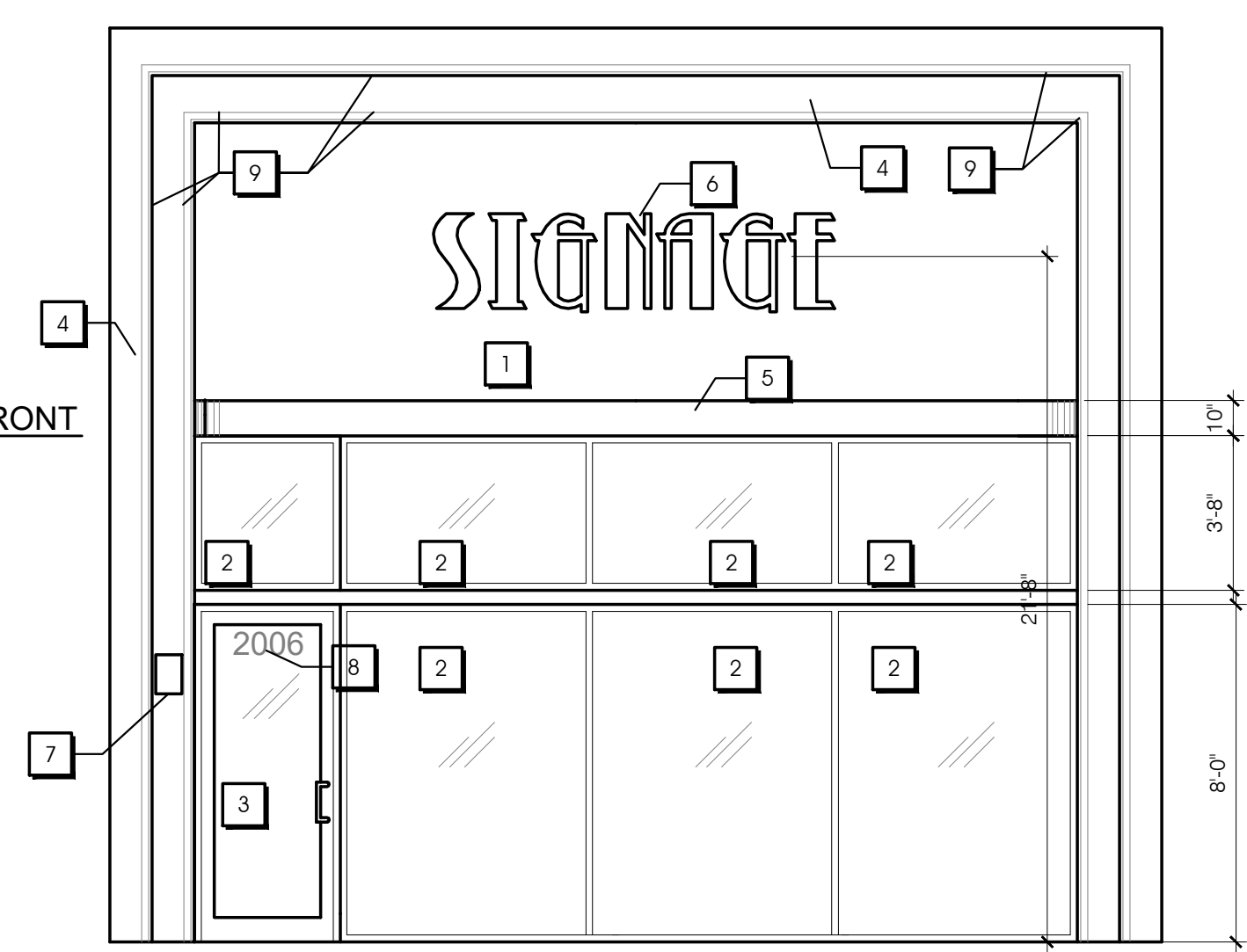
DEMOLITION NOTES

- D1 Existing windows to be removed
- D2 Existing Storefront windows/doors to be removed
- D3 Remove entire existing front facade. Existing roof structure to be shored up. Shoring requirements will be provided by structural engineer at permit drawings phase

+21'-2" EXIST. PARAPET

+12'-0" TOP OF NEW STOREFRONT

+0'-0" EXIST. FIN. FL.

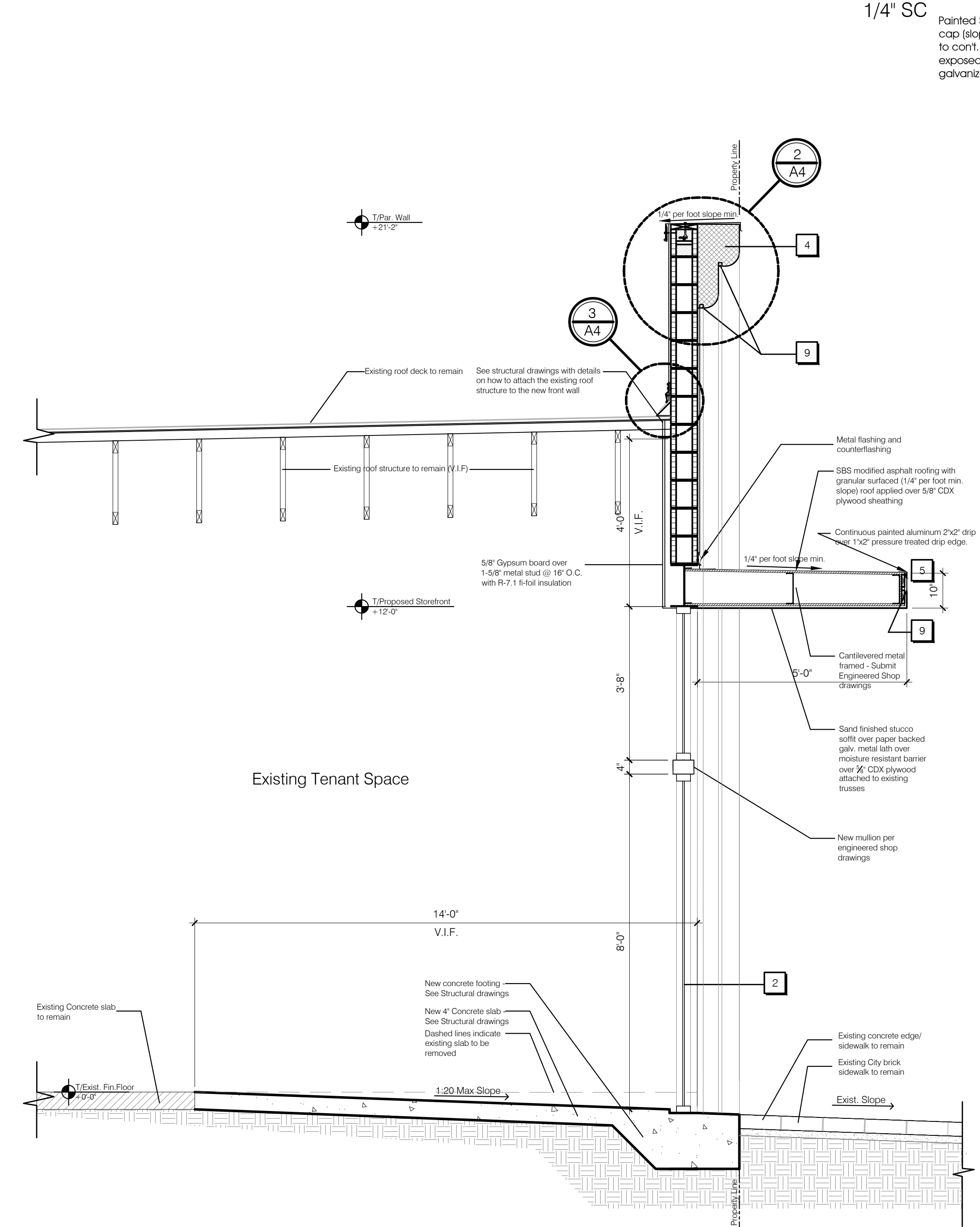


FINISH NOTES:

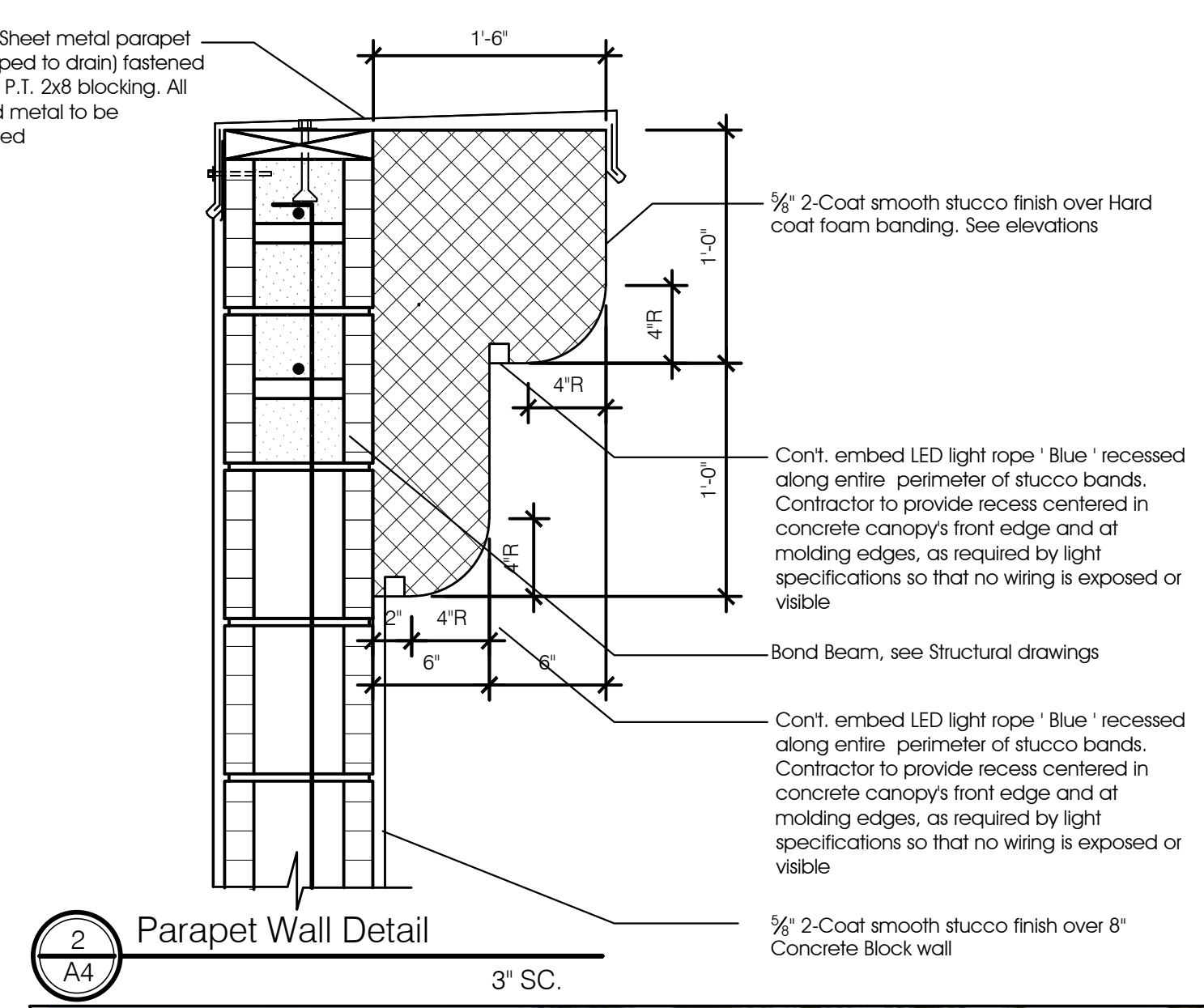
- 2-coat 3/8" thick (min.) smooth stucco over app. water resistive barrier over 8" c.m.u.
- Storefront with mill finish aluminum frame clear impact glass per NOA and engineered shop dwg's.
- Storefront door with mill finish aluminum frame clear impact glass per NOA engineered shop dwg's.
- (2) 12" wide raised stucco bands with rounded corners as shown over applied 'Stone cast' moulding
- 10' high x 5' deep wood framed canopy with 3-coat 3/8" thick (min.) smooth stucco over app. water resistive barrier over 1/2" exterior grade plywood
- Future sign (sep. permit by others)
- Knox Box for Fire Dept access
- Building Number
- Cont. embed LED light rope 'Blue' recessed along entire perimeter of stucco bands. Contractor to provide recess centered in concrete canopy's front edge and at molding edges, as required by light specifications so that no wiring is exposed or visible

EXISTING/DEMOLITION OF FRONT (NORTH) FACADE 1/4" SC

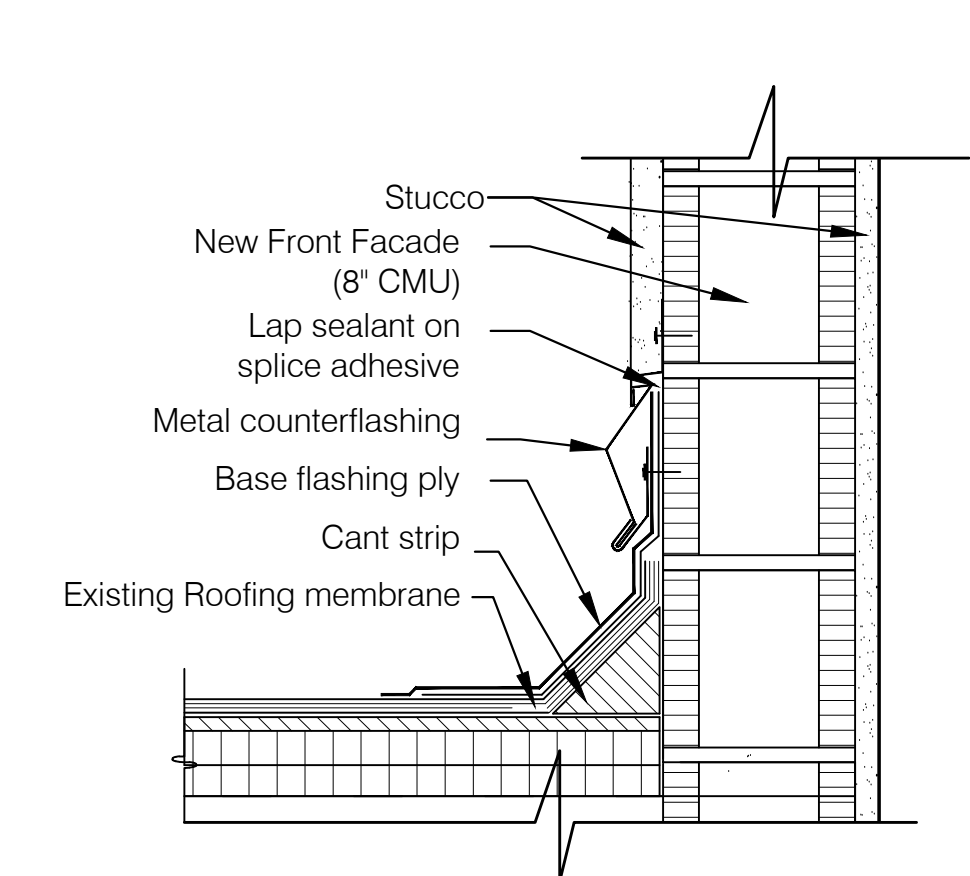
PROPOSED FRONT (NORTH) ELEVATION 1/4" SC



1 A4 NEW FRONT FACADE WALL SECTION 1/2" SC



2 A4 Parapet Wall Detail 3" SC



3 A4 Typical Parapet Wall at Roof deck flashing Detail 1-1/2" SC

R-Guard FastFlash Flashing at Windows, Doors, Openings and Penetrations (Prepare):
(Fluid-Applied & Water-Resistive Barrier System For New Construction)

A. Apply R-Guard FastFlash over surfaces prepared with R-Guard Joint & Seam Filler to seal and waterproof rough openings.

- Apply a thick bead of R-Guard FastFlash over any visible gaps in the prepared rough opening.
- Immediately press and spread the wet product into gaps.
- Allow treated surface to skin.
- Starting at the top, apply a thick bead of R-Guard FastFlash in a zigzag pattern to the structural wall surrounding the rough opening.
- Spread the wet product to create an opaque, monolithic flashing membrane which surrounds the rough opening and extends 4 to 6 inches over the face of the structural wall. Apply and spread additional product as needed to create an opaque, monolithic flashing membrane free of voids and pin holes.
- Apply additional product in a zigzag pattern over a structural framing inside the rough opening.
- Apply R-Guard FastFlash within temperature and weather limitations as required by manufacturer.
- Apply R-Guard FastFlash to perimeters, sills and adjacent sheathing and building face, in accordance with manufacturer's product data sheet and R-Guard installation guidelines illustrations.
- Extend flashing onto building face 4 to 6 inches.
- Install preparation products in accordance with manufacturer's Application Guideline illustrations.



EXISTING FRONT (NORTH) ELEVATION



PROPOSED FRONT (NORTH) ELEVATION

Existing & Proposed Elevations
SCALE AS NOTED

Level II Alteratic
The Eduardo Bldg
for Hollywo
2006 Realty L
2006 Hollywood Bl
Hollywo
Florida 330
R.B.A. PN. 12018.0
© 5.23.18 :PACO Subr
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