

## Technical Advisory Committee

Monday, April 15, 2024

1:30 PM

## City of Hollywood



Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

**Room 215**

Thank you for demonstrating an interest in the City of Hollywood Technical Advisory Committee meeting. The public may view the meeting either in person or virtually <http://hollywoodfl.org/calendar> and selecting the meeting's date.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

**In-person:**

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Committee Chair prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

**Virtually:**

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be **REQUIRED**.

To register use the Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Comments **CANNOT** be read into the record. Public comment shall be limited to three minutes speaking time maximum. Comments left on voicemail machines, emailed, posted to the City's social media accounts shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: [cip@hollywoodfl.org](mailto:cip@hollywoodfl.org). For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at [planningdivision@hollywoodfl.org](mailto:planningdivision@hollywoodfl.org).

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

**A. Roll Call**

**B. Approval of Minutes**

**Attachments:** [2024\\_0318\\_Minutes.pdf](#)

**C. Preliminary Site Plan Review**

**1. 2024 0415**

**FILE NO.:** 24-DP-24  
**APPLICANT:** Grace Harrison  
**LOCATION:** 6013 Rodman Street  
**REQUEST:** Site Plan Review for a 2,064 sq. ft. warehouse development

**Attachments:** [2424 P Application Package 2024\\_0415.pdf](#)

**2. 2024 0415**

**FILE NO.:** 24-DP-27  
**APPLICANT:** Plunkett Apt LLC/Silvia Llorca  
**LOCATION:** 2011 Plunkett Street  
**REQUEST:** Site Plan Review for a 16-unit residential development

**Attachments:** [2427 P Application Package 2024\\_0415.pdf](#)

**D. Final Site Plan Review**

**E. Old Business**

**F. New Business**

**G. Adjournment**

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

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Note: Pre-Application Conceptual Overview (PACO) conference will be held immediately following conclusion of the Technical Advisory Committee (TAC). PACO is a non-sunshine conference.



# City of Hollywood

## Staff Summary

Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

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**Agenda Date:** 4/15/2024

**Agenda Number:**

**To:** Technical Advisory Committee

**Title:**

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**SUMMARY OF THE MINUTES  
TECHNICAL ADVISORY COMMITTEE MEETING**

**CITY OF HOLLYWOOD  
2600 HOLLYWOOD BOULEVARD  
HOLLYWOOD, FLORIDA 33020**

**A. ADMINISTRATIONS**

The regular meeting of the Technical Advisory Committee (TAC) convened at 1:34 p.m. on March 18, 2024, at City Hall located at 2600 Hollywood Boulevard, Room 215, and via Cisco Webex, with the following members present:

Andria Wingett	Director of Development Services
Anand Balram	Planning Division – Planning Manager
Cameron Palmer	Planning Division – Principal Planner
Clarissa Ip	Engineering Division – City Engineer
Rick Mitinger	Engineering Division – Transportation Engineer
Alicia Vereas-Feria	Public Utilities – Utilities Permit Review Administrator
Favio Perez	Landscape Inspector/Plans Examiner
Francisco Diaz-Mendez	CRA – Project Manager
Herbert Conde-Parlato	CMED – Economic Development Manager
Chris Clinton	Fire Rescue and Beach Safety – Fire Marshall
Jovan Douglas	Director of Parking

The following members from the Department of Development Services – Division of Planning and Urban Design were also present:

Carmen Diaz	Planning Administrator
Reginald White	Planning Administrator
Daniela Solange Baquero-Meza	Development Review Coordinator
Margaret Smart	Administrative Assistant I
Shira Ridley Risk	Administrative Specialist II

**B. APPROVAL OF MINUTES**

Motion for approval of the March 4, 2024, minutes was made by Rick Mitinger and seconded by Cameron Palmer. (Approved).

**C. PRELIMINARY SITE PLAN REVIEW**

There were no Items discussed.

**D. FINAL SITE PLAN REVIEW**

- 1. FILE NO.:** 24-DP-02
- APPLICANT:** 2022 Mayo LLC
- LOCATION:** 1835 Fletcher Street
- REQUEST:** Site Plan and Design for a 15-unit residential development.

Anand Balram asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

Anand Balram opened the public comment portion, and no comments were submitted or made. Anand Balram closed public comment portion.

The Applicant asked questions to the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off.

**E. OLD BUSINESS**

Nothing was discussed.

**F. NEW BUSINESS**

Anand Balram shared the Priority Project List and emphasized that Staff is trying to bring those projects forward to the next Planning and Development Board meetings. TAC Members suggested a color-coded mechanism when reviews are done.

The next TAC Meeting is scheduled April 1, 2024, and comments are due by March 28, 2024.

**G. ADJOURNMENT**

The meeting was adjourned at 2:28 p.m.

**H. PRE-APPLICATION CONCEPTUAL OVERVIEW (PACO)**

There were 4 Items for discussion.



# City of Hollywood

## Staff Summary

Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

**File Number: 1. 2024 0415**

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**Agenda Date:** 4/15/2024 **Agenda Number:**

**To:** Technical Advisory Committee

**Title:** FILE NO.: 24-DP-24  
APPLICANT: Grace Harrison  
LOCATION: 6013 Rodman Street  
REQUEST: Site Plan Review for a 2,064 sq. ft. warehouse development

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# GENERAL APPLICATION

APPLICATION DATE: 03/13/2024

**2600 Hollywood Blvd**

Room 315  
Hollywood, FL 33022  
Tel: (954) 921-3471  
Email: Development@Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

**APPLICATION TYPE (CHECK ONE):**

- Technical Advisory Committee       Administrative Approvals  
 City Commission                                       Historic Preservation Board  
 Planning and Development Board

**PROPERTY INFORMATION**

Location Address: 6013 Rodman St, Hollywood, FL 33023  
 Lot(s): 8 Block(s): 4 Subdivision: Beverly Park  
 Folio Number(s): 514124140731  
S-MU  
 Zoning Classification: S-MU Land Use Classification: 28-01  
 Existing Property Use: VACANT Sq Ft/Number of Units: \_\_\_\_\_  
 Is the request the result of a violation notice? ( ) Yes ( ) No If yes, attach a copy of violation.  
 Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.: \_\_\_\_\_

**DEVELOPMENT PROPOSAL**

Explanation of Request: Warehouse for textile material  
Store textile material for Online sell  
 Phased Project: Yes / No  Number of Phases: \_\_\_\_\_

Project	Proposal
Units/rooms (# of units)	(Area: _____ S.F.)
Proposed Non-Residential Uses	<u>2,064</u> S.F.
Open Space (% and SQ.FT.)	<u>61%</u> (Area: <u>3,236</u> S.F.)
Parking (# of spaces)	<u>3</u> (Area: <u>1,793</u> S.F.)
Height (# of stories)	<u>1</u> ( <u>24</u> FT.)
<b>Gross Floor Area (SQ. FT)</b>	<u>2,064</u>

Name of Current Property Owner: GRACE HARRISON  
 Address of Property Owner: 5250 NW 75th Ave., Lauderhill, FL 33319  
 Telephone: 561-281-8116 Email Address: hnthony18@gmail.com  
 Applicant Anthony Harrison  Consultant |  Representative |  Tenant (check one)  
 Address: 5250 NW 75th Ave., Lauderhill, FL 33319 Telephone: 561-281-8116  
 Email Address: \_\_\_\_\_  
 Email Address #2: anthony11317@gmail.com  
 Date of Purchase: 7/30/2002 Is there an option to purchase the Property? Yes  No   
 If Yes, Attach Copy of the Contract.  
 Noticing Agent (FTAC & Board submissions only) : \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_



PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Grace Harrison Date: 3/14/24

PRINT NAME: GRACE HARRISON Date: 3/14/24

Signature of Consultant/Representative: Anthony Harrison Date: 3/14/24

PRINT NAME: ANTHONY HARRISON Date: 3/14/24

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

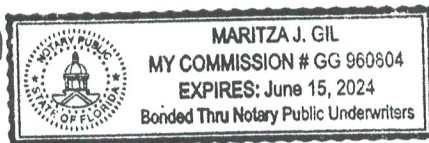
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for development to my property, which is hereby made by me or I am hereby authorizing Anthony Harrison to be my legal representative before the Technical Advisory Com (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 03 day of March 2024

[Signature]  
Notary Public  
State of Florida



Grace Harrison

Signature of Current Owner

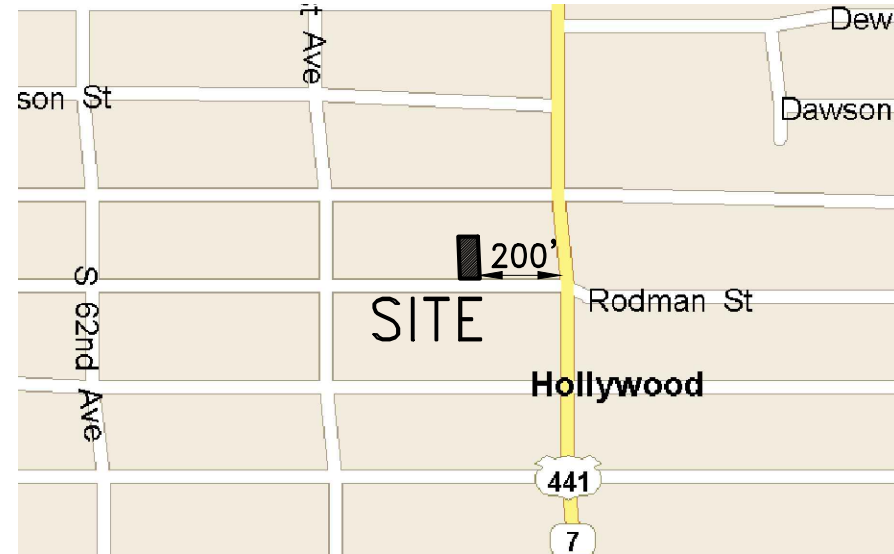
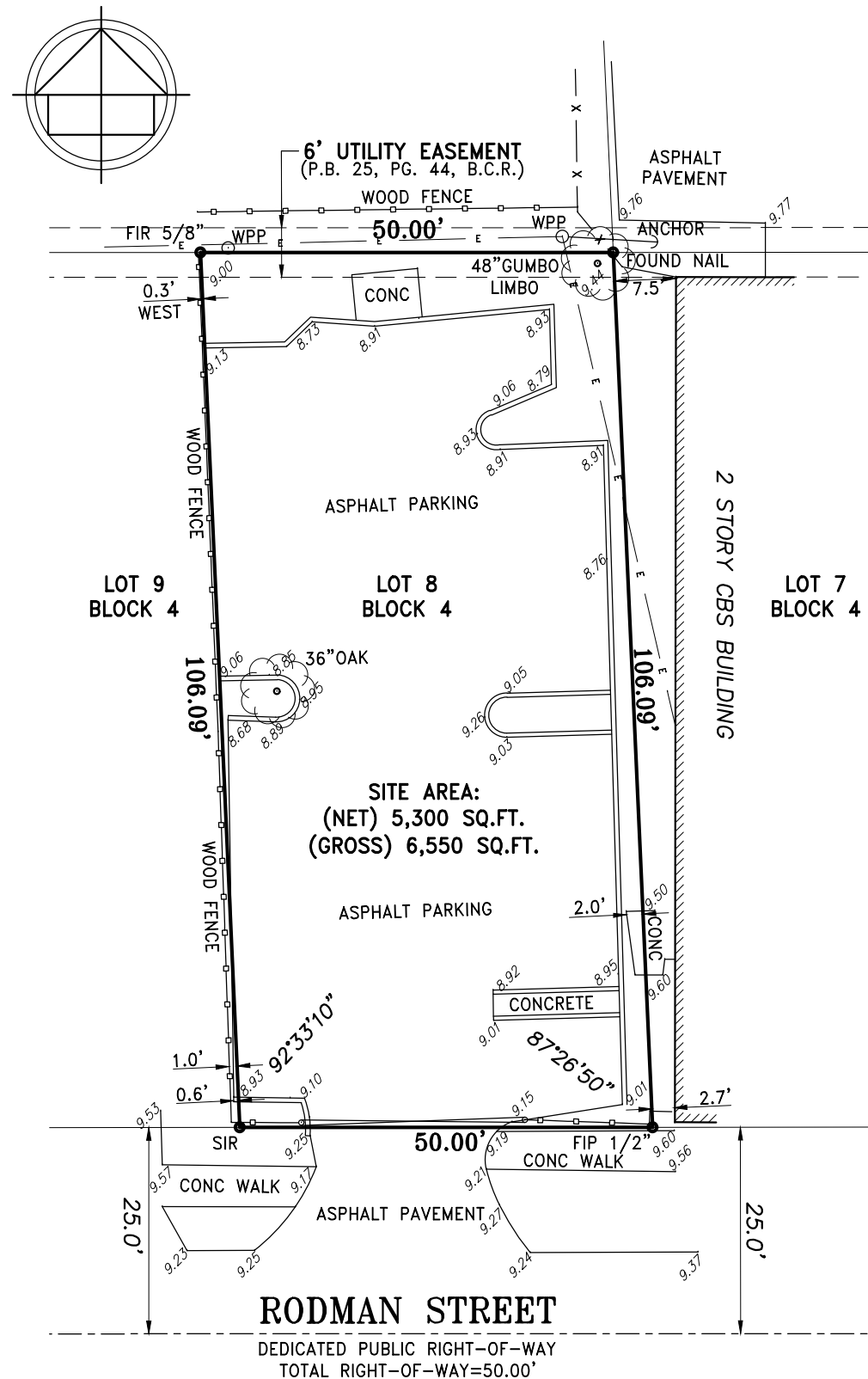
GRACE HARRISON

Print Name

My Commission Expires: 6/15/24 (Check One)  Personally known to me; OR  Produced Identification

Grace Harrison  
D.L.# H625-301-48-2630

# ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CLP	CONCRETE LIGHT POLE
0.00	ELEVATIONS
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK
SQ.FT.	SQUARE FEET
NTS	NOT TO SCALE

LAND DESCRIPTION:

LOT 8, BLOCK 4 OF "BEVERLY PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK REFERENCE: FDOT BENCHMARK 'BM8', ELEVATION=9.78' (NAVD88)
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY ----- INSURANCE COMPANY, ORDER NO.: ----- WITH AN EFFECTIVE DATE OF ---- 2021 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY OTHER THAN (THE SW CORNER OF THE PARKING LOT ENCLOSES ON THE LOT TO THE WEST BY 0.6'), AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO RODMAN STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 25, PAGE 44, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAY MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 14, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 18TH, 2024.

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

**COUSINS SURVEYORS & ASSOCIATES, INC.**

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314

CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766 EMAIL: OFFICE@CSASURVEY.NET

PROJECT NUMBER : 10135-24

CLIENT :  
TONY DHU

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	01/18/24	SKETCH	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0727H
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

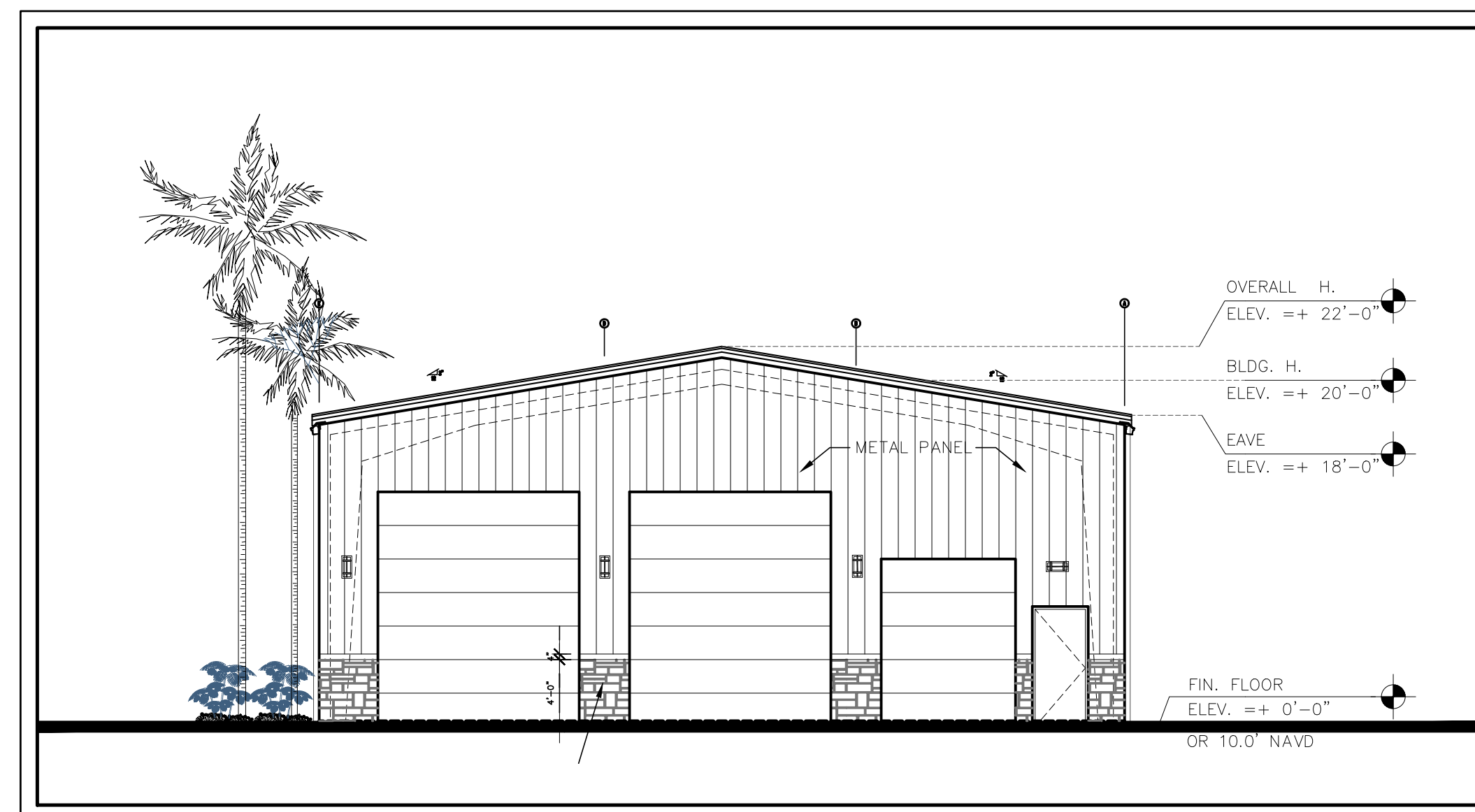
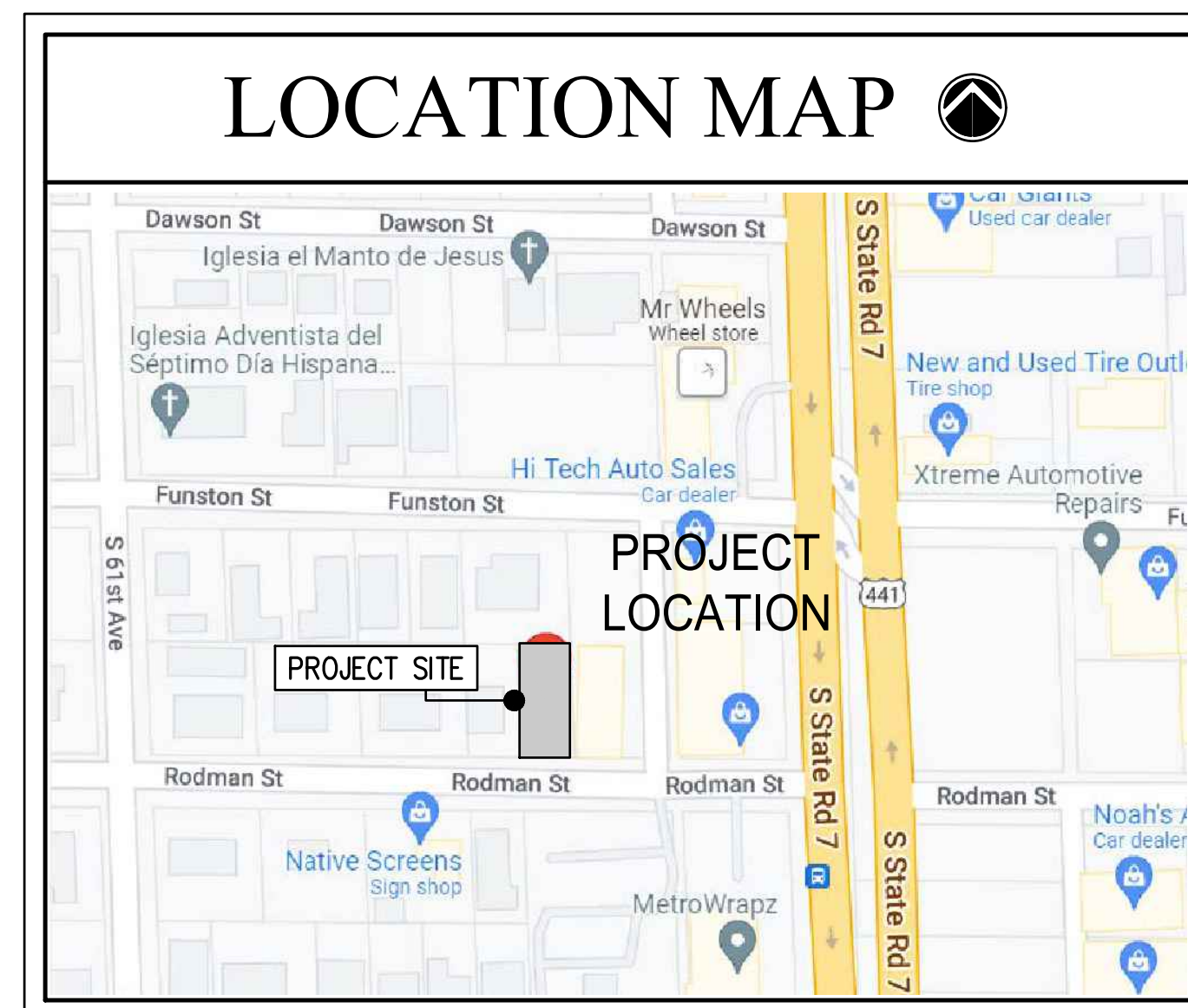
PROPERTY ADDRESS :  
6013 RODMAN STREET

SCALE: 1" = 20'

SHEET 1 OF 1





# WAREHOUSE METAL BUILDING

## 6013 RODMAN STREET HOLLYWOOD, FL 33023




SHEET INDEX	
A-0	COVER SHEET
SURVEY	
ARCHITECTURAL	
A-1.0	PROPOSED GROUND FLOOR & TYPICAL HC TOILET ROOM DETAIL
A-1.1	PROPOSED MEZZANINE PLAN & TYPICAL STAIR DETAILS
A-1.2	PROPOSED ROOF PLAN & UL-263 DETAIL
A-2.0	PROPOSED SOUTH ELEVATION & PROPOSED NORTH ELEVATION
A-2.1	PROPOSED EAST ELEVATION & PROPOSED WEST ELEVATION

### PROJECT TEAM

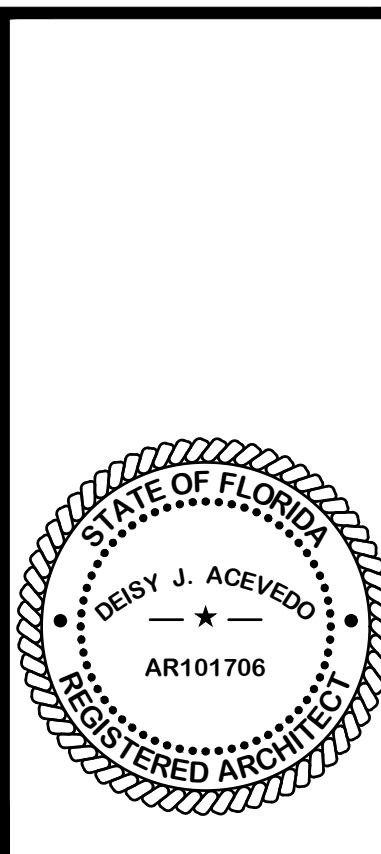
ARCHITECT:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:	STRUCTURAL ENGINEER:	MEP ENGINEER:	CONSULTING ENGINEERS:
 <p><b>DAISY J. ACEVEDO, CORP</b> Architect 2072 SW 72ND AVE DAVIE FL 33317 (954) 473-5252 FLORIDA REGISTRATION AR NO. 101706</p>	<p>GATOR ENGINEERING ASSOCIATES, INC. 11390 TEMPLE STREET COOPER CITY, FL 33330 TEL: (954) 434-5905 FAX: (954) 434-5904 CERTIFICATE OF AUTHORIZATION NUMBER 30320</p>	<p><i>Peter DeWick &amp; Associates</i> 4165 SW 23 Street Ft. Lauderdale, Florida 33317 Tel. (954) 792-4023 www.land-planning.org</p>	 <p>VASQUEZ STRUCTURAL ENGINEERS 6635 W. Commercial Blvd. Suite 215 Tamarac, FL 33319 Ph: (954) 726-7500 Fax: (954) 726-7501 Email: alvaro@vasquezstructural.com</p> <p>Alvaro Vasquez, P.E. FL, PE # 60843 FL, CA # 30130</p>	 <p>LEONARDO NAVEIRAS, INC. "CONSULTING ENGINEERS" Leonardo Naveiras P.M. CA# 25830 Julio C. Vidal P.E. PE# 52792 1918 Harrison St. # 207 Hollywood, FL 33020 Phone: 954-270-4822 Fax: 954-241-6850 E-mail: hvacleo@aol.com</p>	<p>ALLIED STEEL BUILDINGS</p>  <p>PH: 888-864-8666 Fax: 866-783-3521 alliedbuildings.com</p>

REVISION	BY:

**DAISY J. ACEVEDO, CORP**  
Architect  
2072 SW 72ND AVE  
DAVIE FL 33317  
(954) 473-5252  
FLORIDA REGISTRATION  
AR NO. 101706

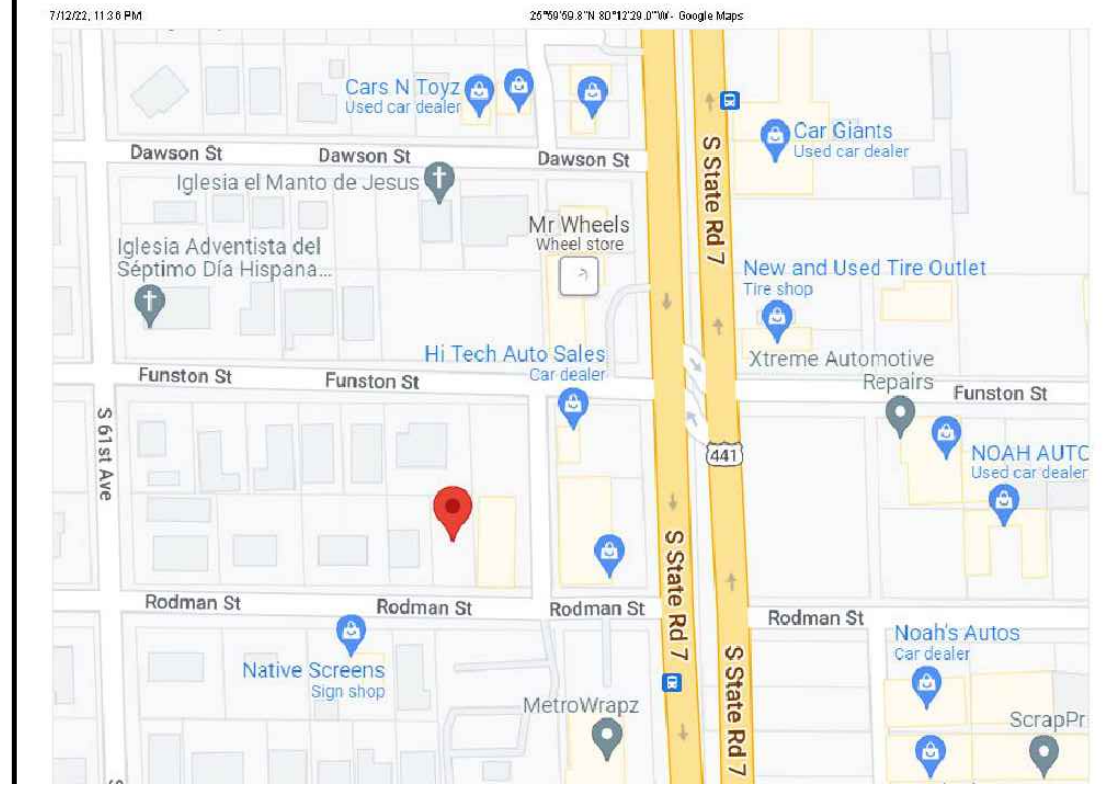


**WAREHOUSE METAL BUILDING**  
6013 RODMAN STREET  
HOLLYWOOD, FL 33023



DRAWN	<b>M.J.G.</b>
CHECKED	<b>D.J.A.</b>
DATE	<b>JULY, 2022</b>
SCALE	<b>AS NOTED</b>
JOB. NO.	<b>22-005</b>
OF SHEETS	<b>A-0</b>

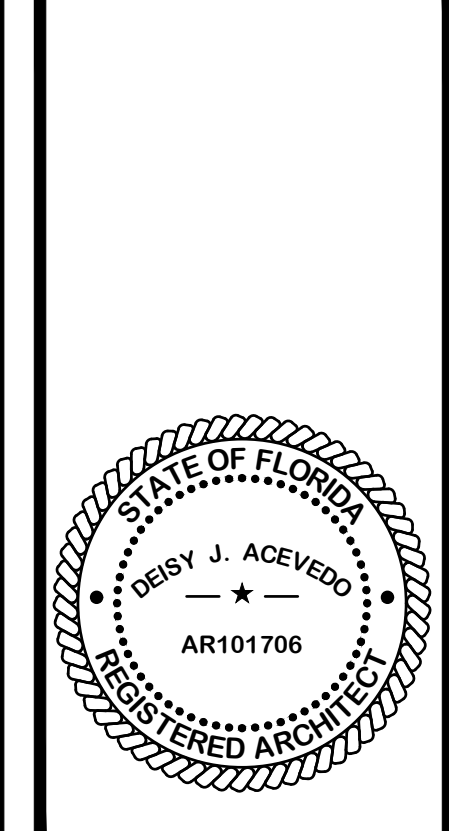
SETBACK DATA				
	LANDSCAPE SETBACK REQUIRED	LANDSCAPE SETBACK PROVIDED	BUILDING SETBACK REQUIRED	BUILDING SETBACK PROVIDED
NORTH (REAR) SETBACK	5'-0"	5'-2"	5'-0"	5'-1 1/2"
SOUTH (FRONT) SETBACK	10'-0"	10'-0"	10'-0"	56'-3 1/4"
EAST (SIDE) SETBACK	-	-	0'-0"	11 1/4"
WEST (SIDE) SETBACK	-	-	0'-0"	1'-0"



REVISION	BY:

**DAISY J. ACEVEDO, CORP**  
 Architect  
 2072 SW 72ND AVE  
 DAVIE FL 33317  
 (954) 473-5252  
 FLORIDA REGISTRATION  
 AR NO. 101706

**WAREHOUSE METAL BUILDING**  
 6013 RODMAN STREET  
 HOLLYWOOD, FL 33023



DRAWN **D.J.A.**  
 CHECKED **D.J.A.**  
 DATE **JULY, 2022**  
 SCALE **AS NOTED**  
 JOB NO. **22-005**  
**SP-1**  
 OF SHEETS

**7 SETBACK DATA**

**1 LOCATION MAP**  
 SCALE: N.T.S.

**2 LEGAL DESCRIPTION**  
 SCALE: N.T.S.

LAND DESCRIPTION :  
 LOTS 8, BOOK 4, BEVERLY PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, AT PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

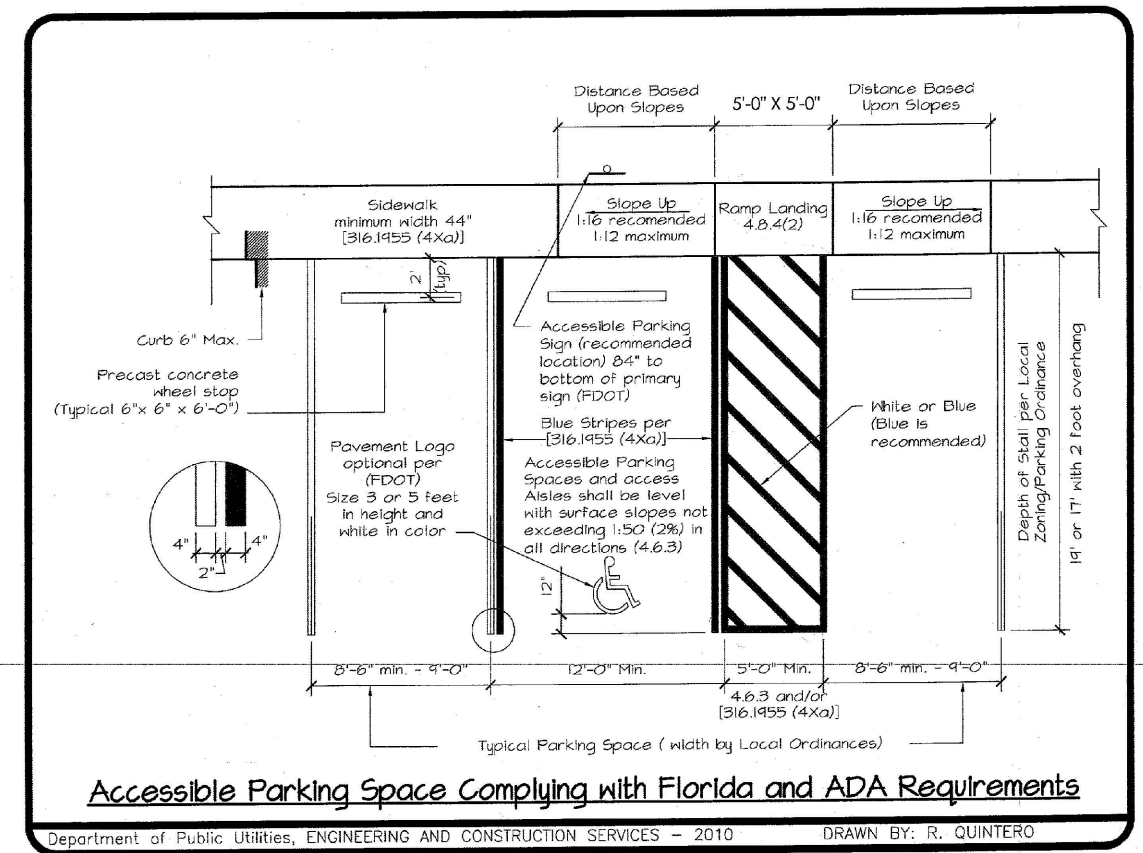
**PROJECT DESCRIPTION- MAIN SITE DATA TABLE**

NEW WAREHOUSE METAL BUILDING  
 PROPERTY ADDRESS: 6013 RODMAN STREET, HOLLYWOOD FL 33023  
 ZONING DESIGNATION: S-MU  
 WATER / WASTEWATER SERVICE PROVIDER: CITY OF HOLLYWOOD  
 NON RESIDENTIAL DEVELOPMENT:  
 PROPOSED USE: WAREHOUSE FOR TEXTILE MATERIAL METAL BUILDING  
 TOTAL SITE AREA:  
 SITE AREA: 5,300.00 SQ. FT. 0.12 AC.  
 BUILDING HEIGHT ALLOWED: 65'-0"  
 BUILDING HEIGHT PROVIDED: 24'-0" A.F.F. (TOP OF RIDGE)  
 NUMBER OF STORIES: (1) STORY BUILDING  
 PERVIOUS / IMPERVIOUS AREAS:  
 BUILDING FOOTPRINT: 2,064.00 SQ. FT.  
 VEHICULAR USE AREA: 1,793.00 SQ. FT.  
 CONC. WALKWAY AREA: 190.00 SQ. FT.  
 LANDSCAPE AREA: 1,253.00 SQ. FT.  
 OPEN SPACE REQUIRED: 5% MIN. OF TOTAL SITE AREA  
 = 265.00 SQ. FT.  
 OPEN SPACE PROVIDED: 3,236.00 SQ. FT.  
 LANDSCAPE WITHIN VEHICULAR USE AREA (15% REQUIRED):  
 VEHICULAR USE AREA: 15% OF 1,793.00 = 268.95 SQ. FT.  
 GREEN AREA ADJACENT TO VUA: 885.00 SQ. FT. OR 49% OF VUA

**BUILDING DATA**  
 TYPE OF CONSTRUCTION: TYPE V-B (NOT SPRINKLERED)  
 OCCUPANCY GROUP: GROUP "S1"

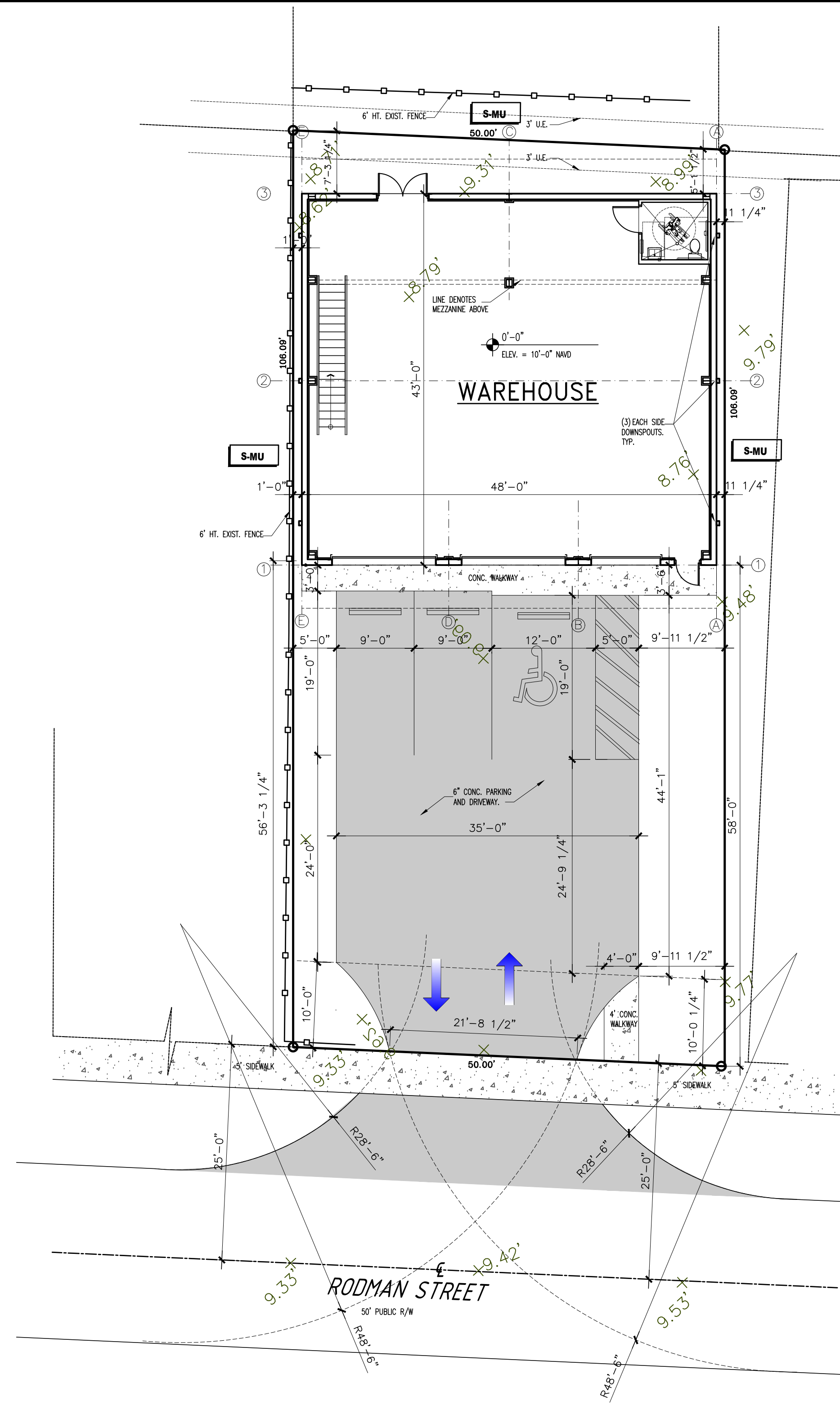
**PARKING DATA:**

AS REQUESTED BY THE CITY OF HOLLYWOOD:  
 TOTAL PARKING REQUIRED (WAREHOUSE) = 1/ PER 1000  
 2,040 / 1000 = 2 SPACES  
 TOTAL PARKING PROVIDED = 3 SPACES  
 (INCLUDING 1 HANDICAPPED SPACES)  
 LOADING ZONE  
 LOADING ZONE: NOT REQUIRED  
 TOTAL PARKING PROVIDE = 3 SPACES



**5 PARKING DETAIL**  
 N.T.S.

**4 PROPOSED SITE PLAN**  
 SCALE: 1" = 10'-0"



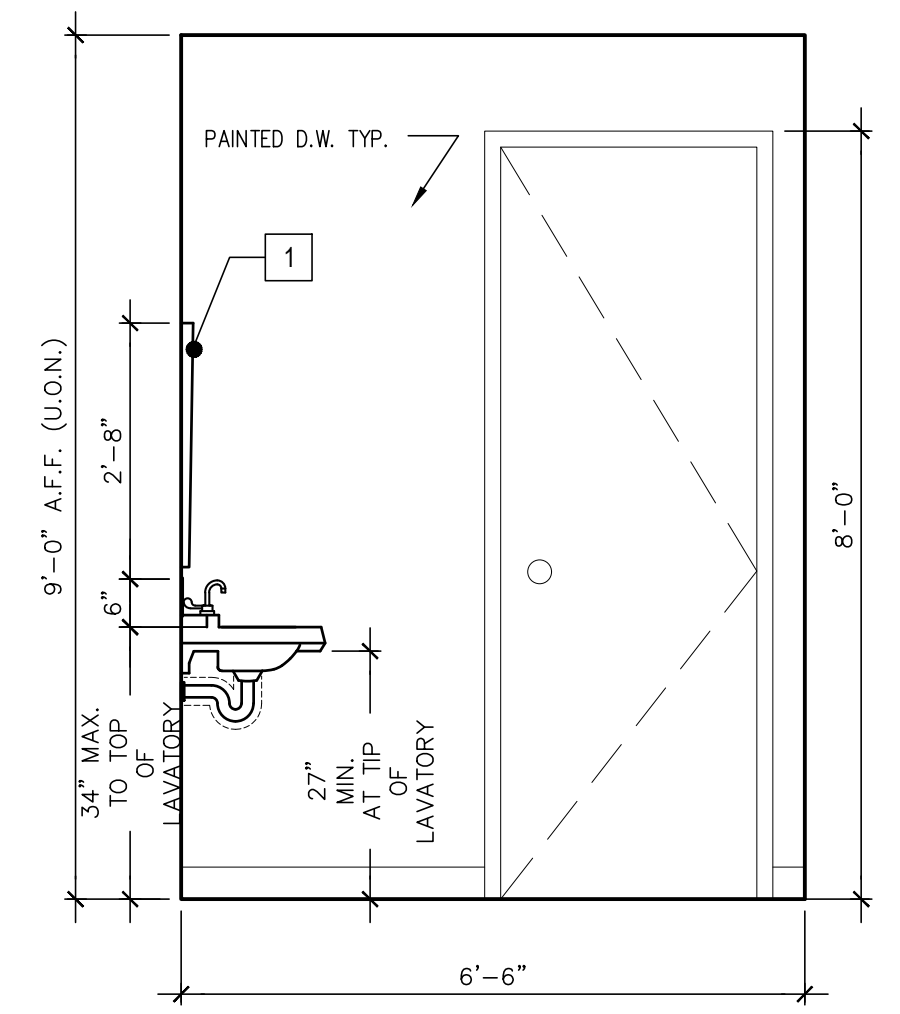
**3 BUILDING DATA**  
 SCALE:

**TOILET ROOMS TO RECEIVE:**

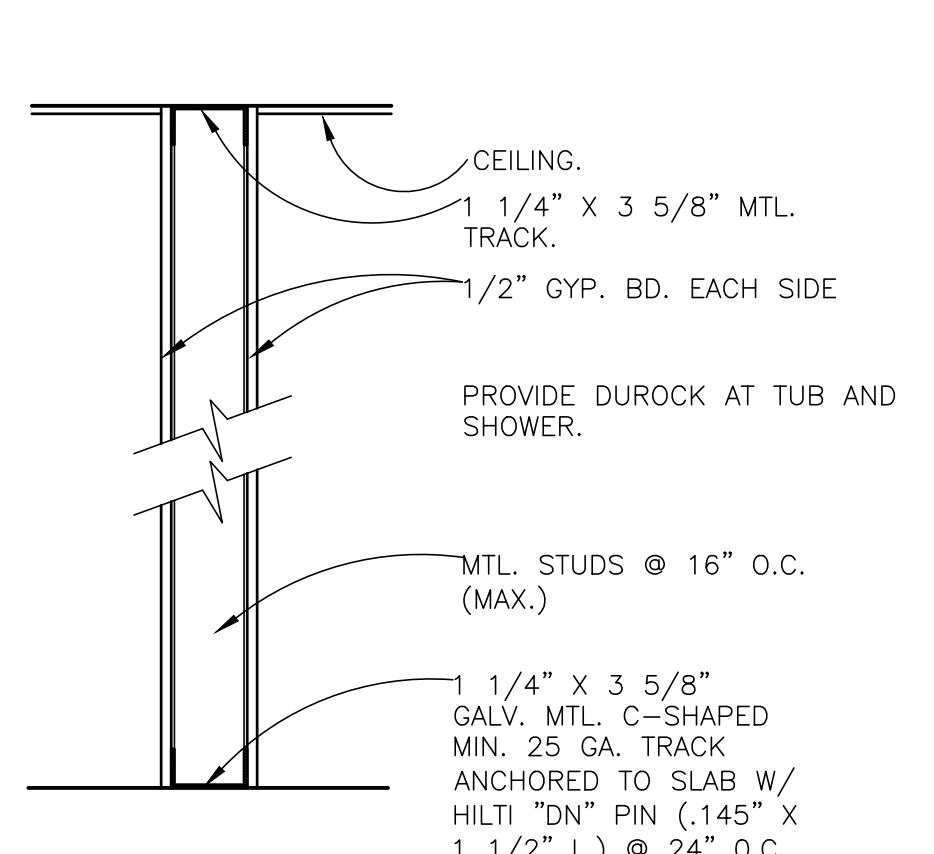
- 1 16" x 30" MIRROR.
- 2 SURFACE MOUNTED SOAP DISPENSER.
- 3 GRAB BAR 36"L x 1 1/2" DIA.
- 4 GRAB BAR 42" L x 1 1/2" DIA.
- 5 SINGLE TOILET PAPER DISPENSER.
- 6 RECESSED MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE.

**NOTE:**

1. WALLS IN ALL TOILET ROOMS MUST BE IMPERVIOUS TO A HEIGHT OF AT LEAST 4' ABOVE THE FLOOR PER 413.3.5.5, F.B.C.
2. FLOOR BASE IN TOILET ROOMS MUST BE SMOOTH, HARD AND NON-ABSORBENT PER 1210.1 FBC.
3. ALL BATHROOM ACCESSORIES SUPPLIED AND INSTALLED BY C. CONTRACTOR, SELECTED BY OWNER, TYP.



**ELEVATION "C"**  
NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



**TYPICAL INTERIOR PARTITION**  
NON-LOAD BEARING,  
NON-FIRE RATED

WALL TYPE SCHEDULE	
GRAPHIC DESCRIPTION:	
	PRE-MANUFACTURE STEEL BLDG. SYSTEM TYP. REFER TO SHEET A-4.0 & A-4.1 FOR FIRE RATING DETAILS.
	PAINTED 1/2" INCH GYPSUM WALLBOARD, FLOOR TO CEILING, REFER INTERIOR PARTITION DETAIL 3 SHEET A-1.0.

- DOORS (IMPACT RESIST.)**
1. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT PROTECTED BY PRODUCT APPROVED STORM SHUTTERS. TYPICAL.
  2. SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS PRIOR TO INSTALLATION.
  3. INSTALL ALL EXTERIOR DOORS IN ACCORDANCE WITH PRODUCT APPROVAL SPECIFICATIONS.
  4. ATTACH DOOR BUCKS WITH FASTENERS, STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C., STAGGERED. APPLY CAULKING BETWEEN BUCK AND MASONRY, BOTH SIDES.
- PRODUCT APPROVALS**
1. SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**ROOF PERMIT**

1. SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**TYPE OF CONSTRUCTION:** III-B (NOT SPRINKLERED)  
**OCCUPANCY:** "S1"  
**DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.**

**BATHROOMS NOTES:**

ALL WATER CLOSET HAS BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL, SHOWER, TUB, CABINET OR OTHER OBSTRUCTION AND PLACED NOT CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

**GENERAL NOTES:**

DIMENSIONS: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION, SPECIALLY THOSE MARK AS "I.F." (VERIFY IN FIELD).

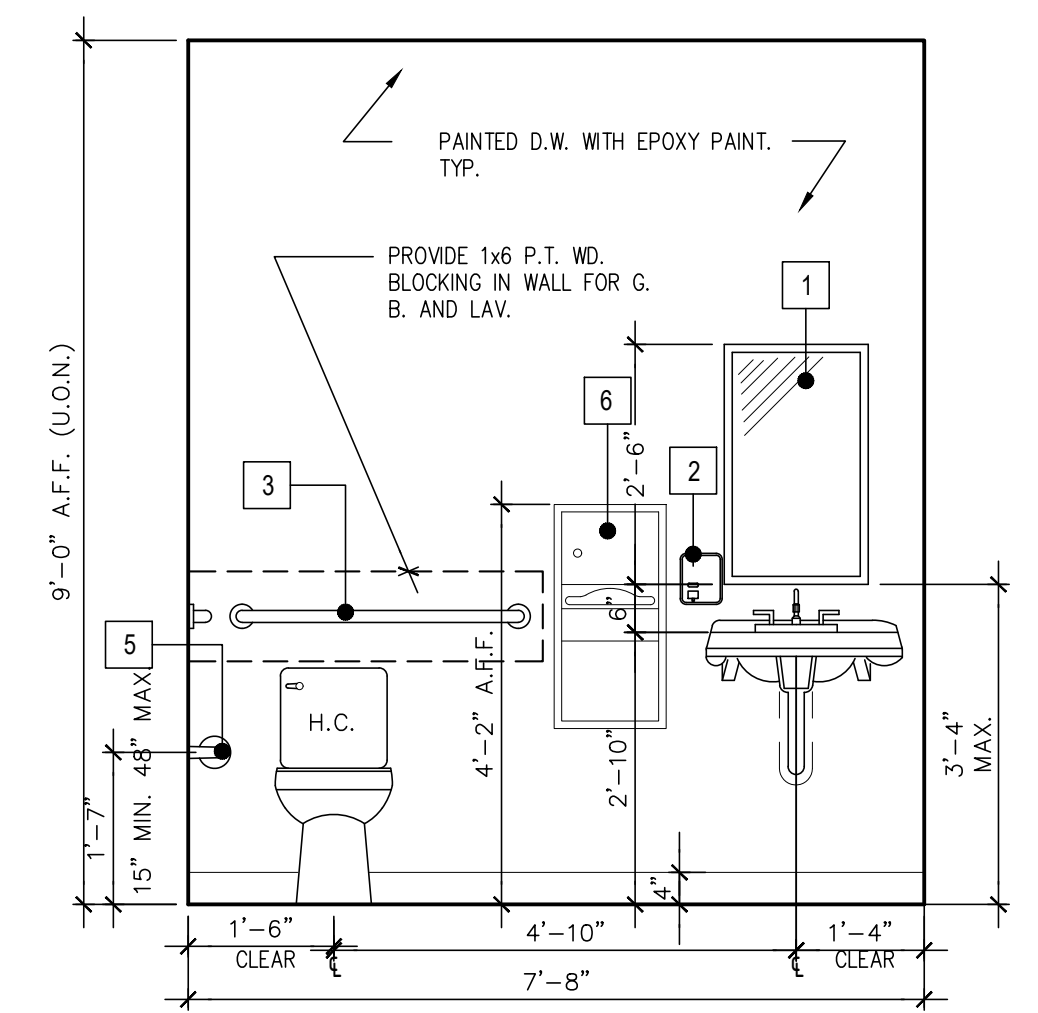
REVISION	BY:

**DAISY J. ACEVEDO, CORP**  
 Architect  
 2072 SW 72ND AVE  
 DAVIE FL 33317  
 (954) 473-5252  
 FLORIDA REGISTRATION  
 AR NO. 101706

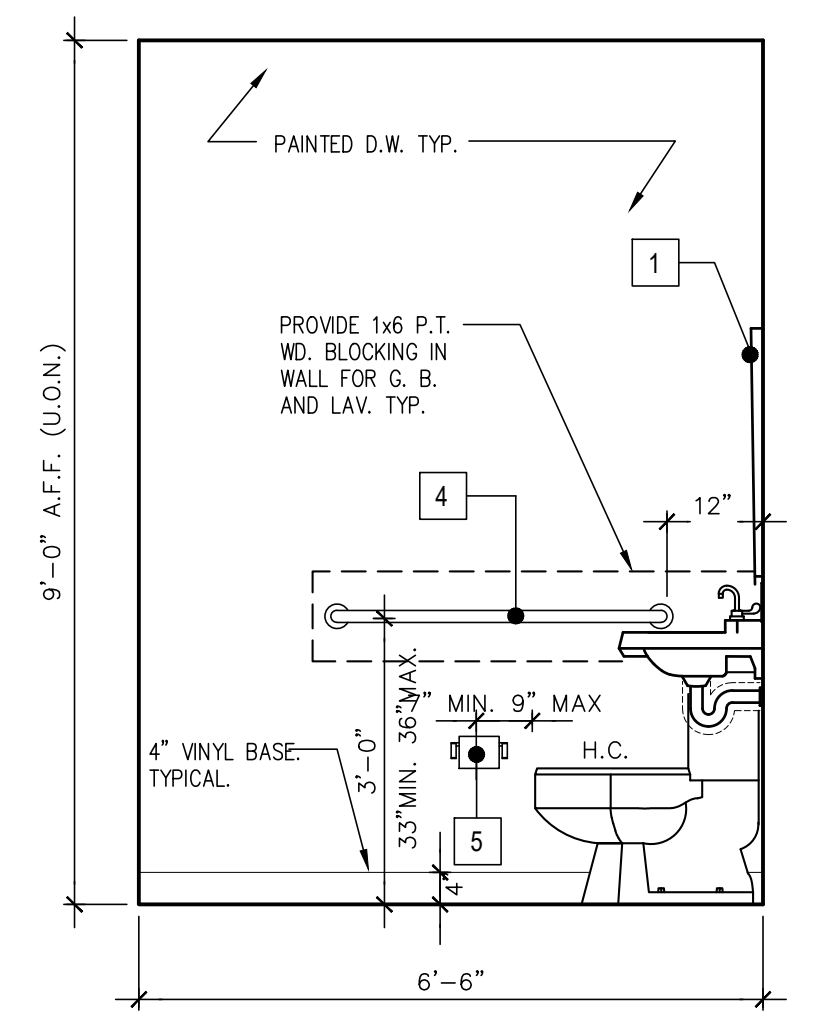
**WAREHOUSE METAL BUILDING**  
 6013 RODMAN STREET  
 HOLLYWOOD, FL 33023

DRAWN **M.J.G.**  
 CHECKED **D.J.A.**  
 DATE **JULY, 2022**  
 SCALE **AS NOTED**  
 JOB NO. **22-005**

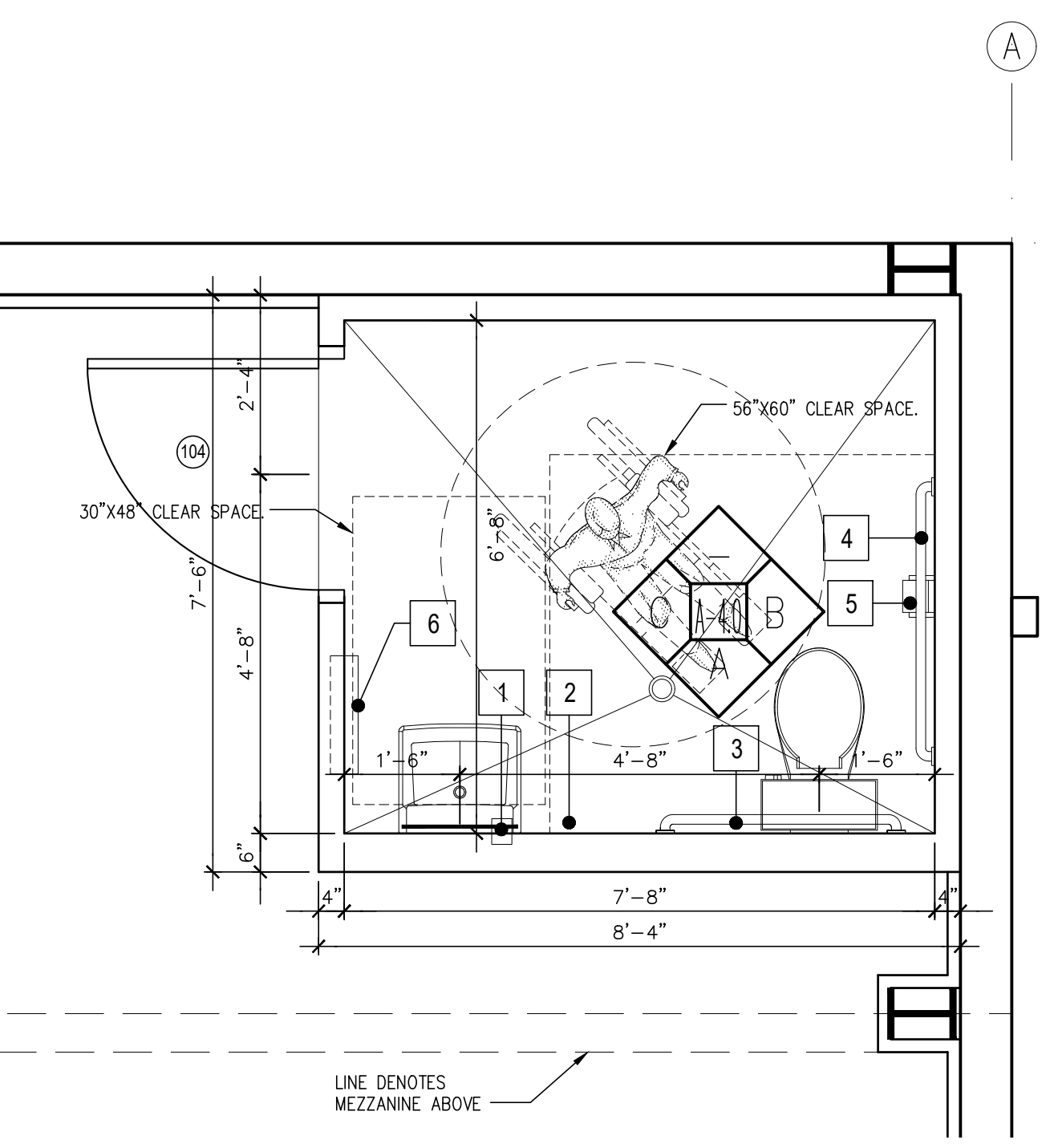
**A-1.0**  
 OF SHEETS



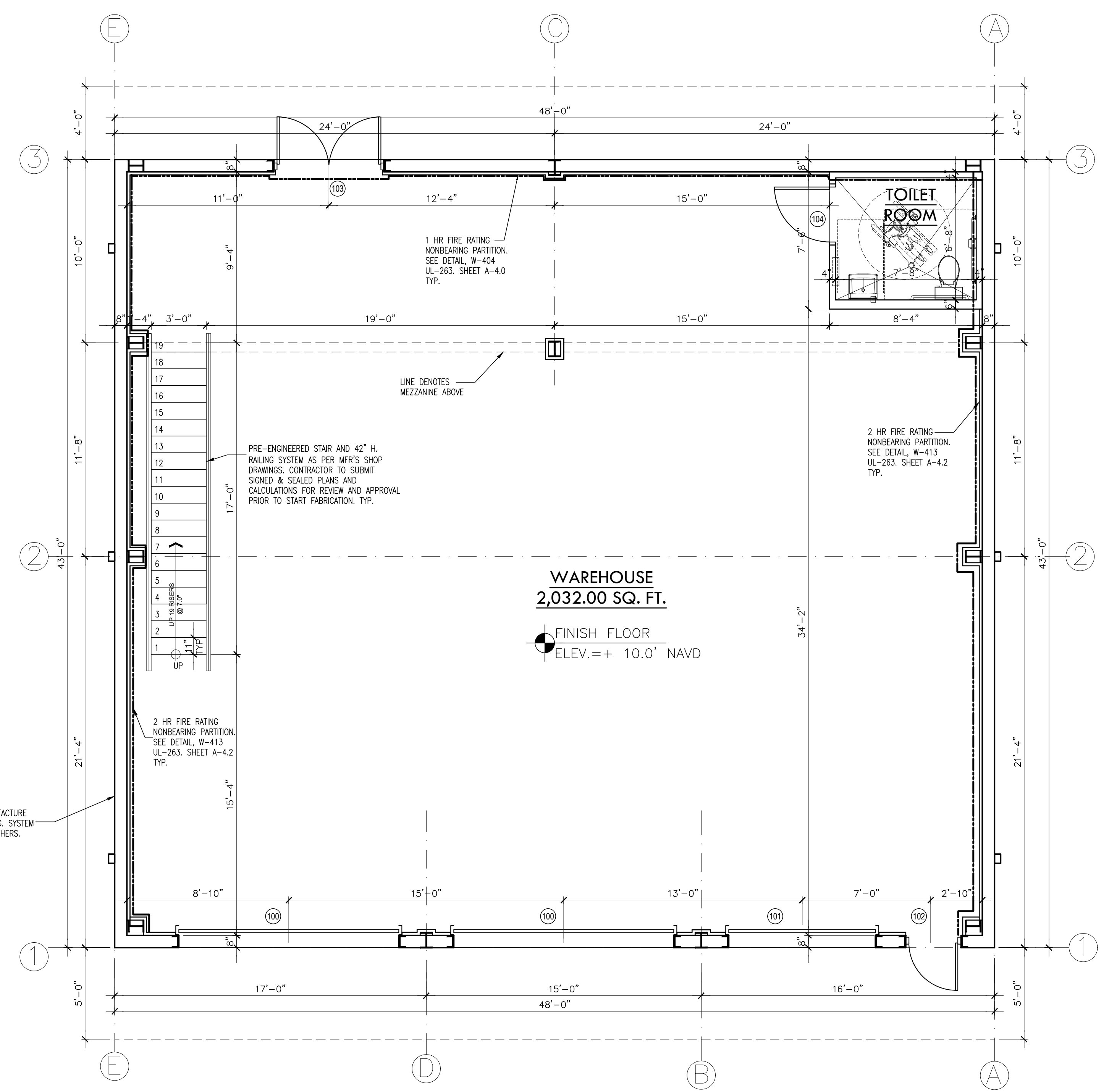
**ELEVATION "A"**  
NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



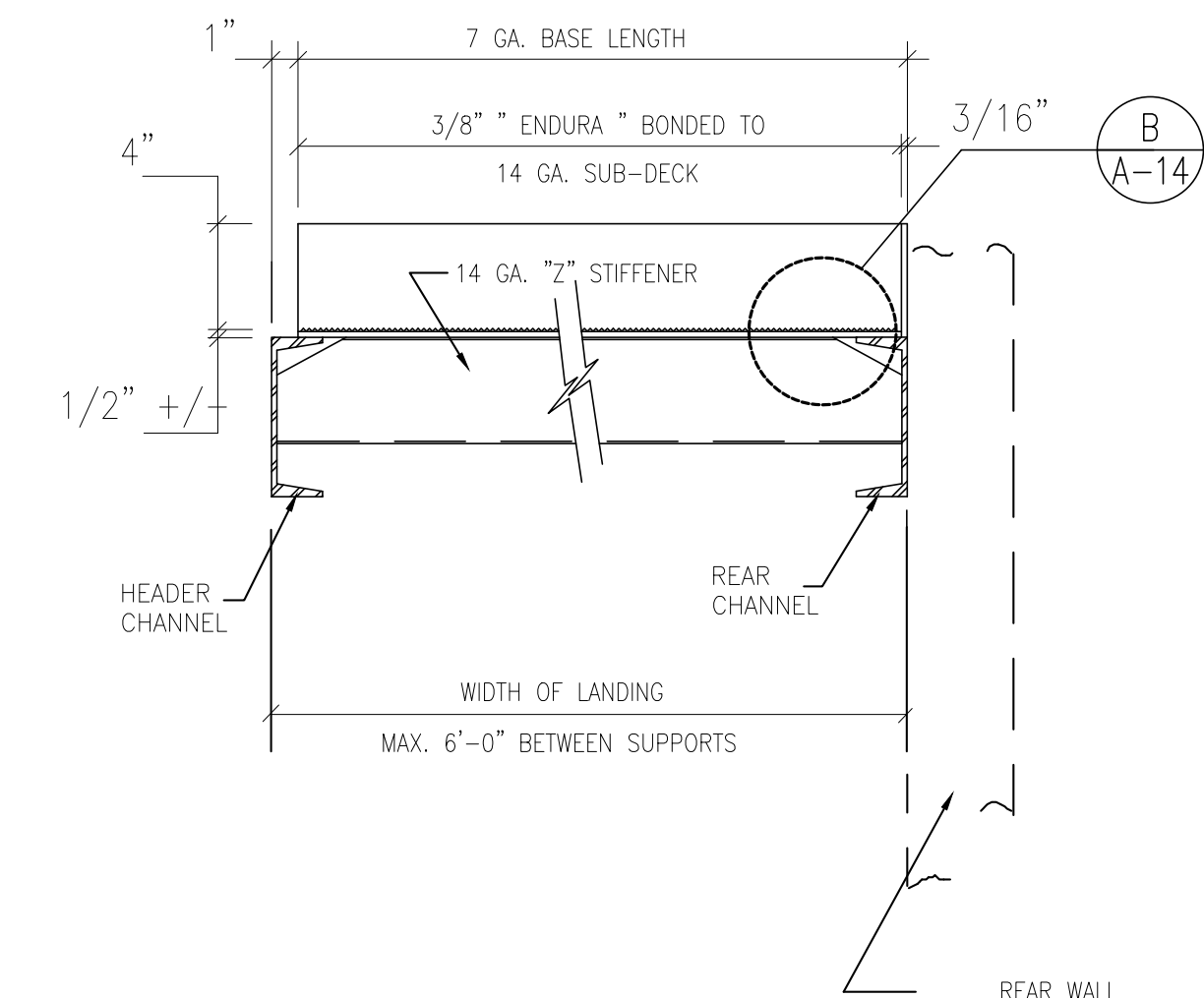
**ELEVATION "B"**  
NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



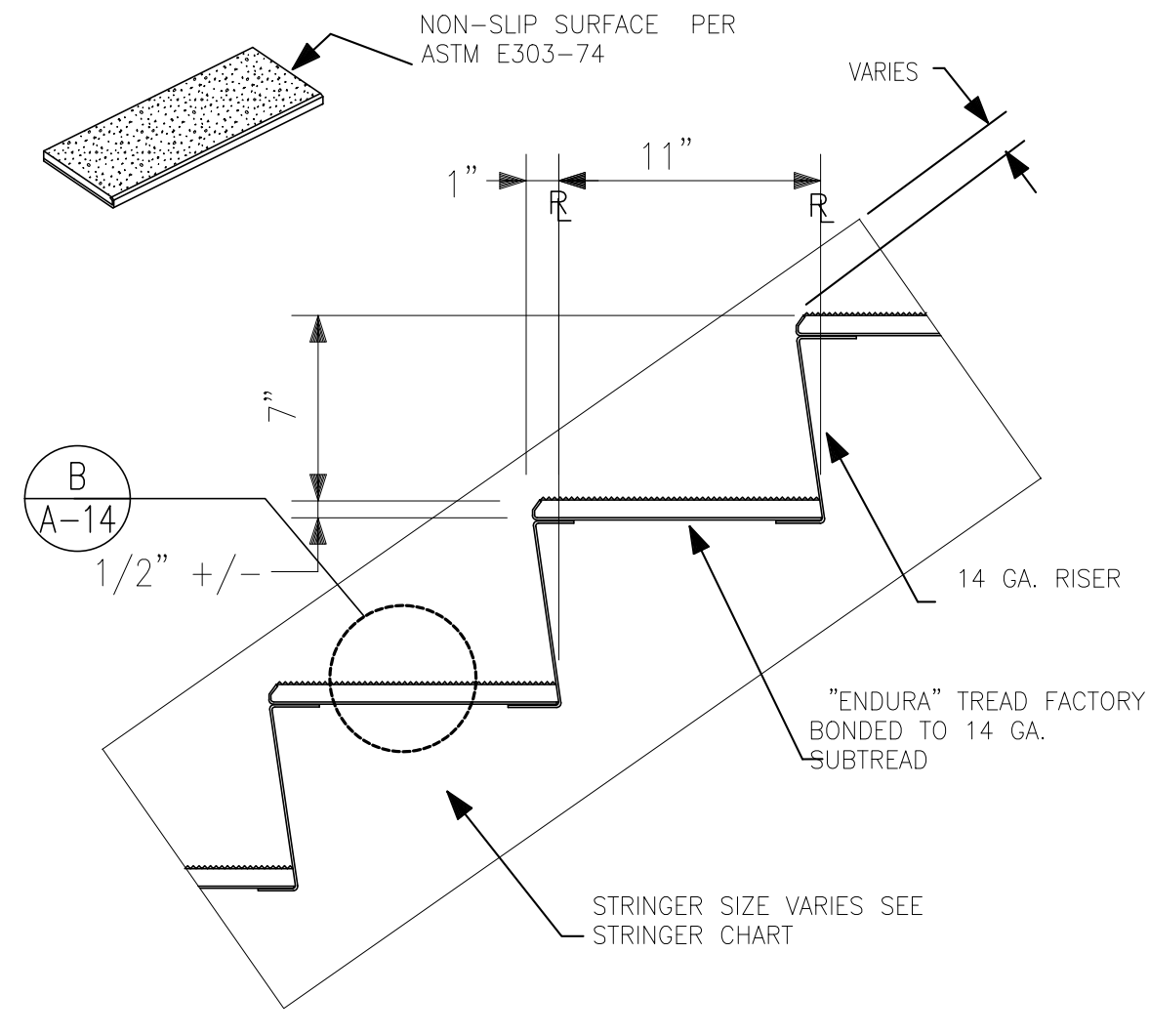
**4 TYPICAL HC TOILET ROOM DETAIL**  
SCALE: 1/2" = 1'-0"



**1 PROPOSED GROUND FLOOR**  
SCALE: 1/4" = 1'-0" NORTH

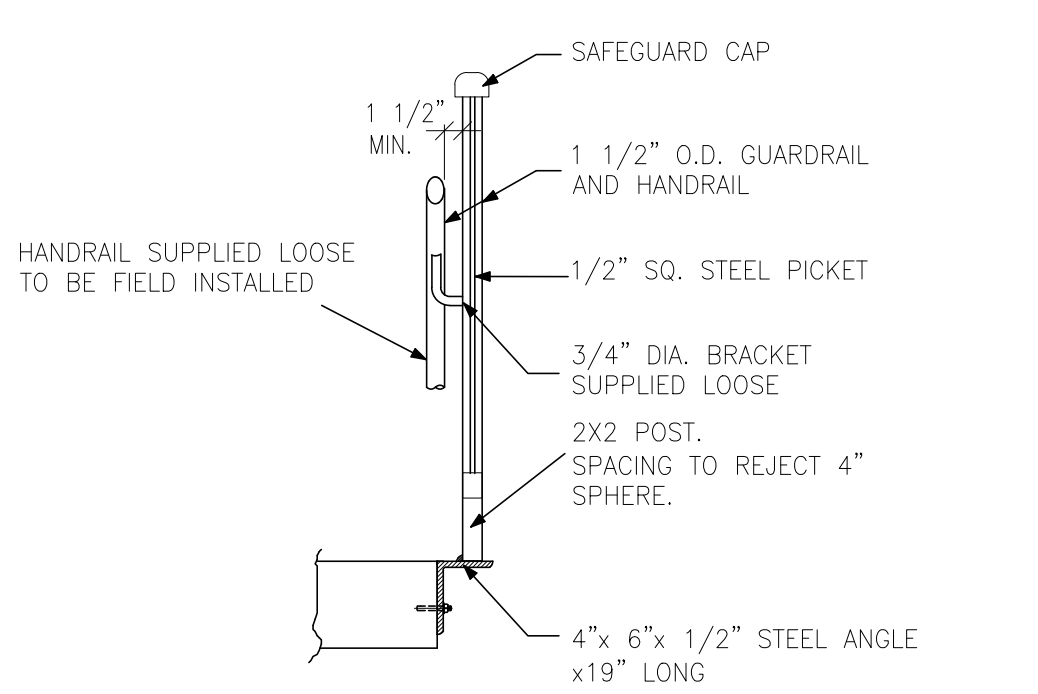


**A**  
A-14 STAIR LANDING  
N.T.S.

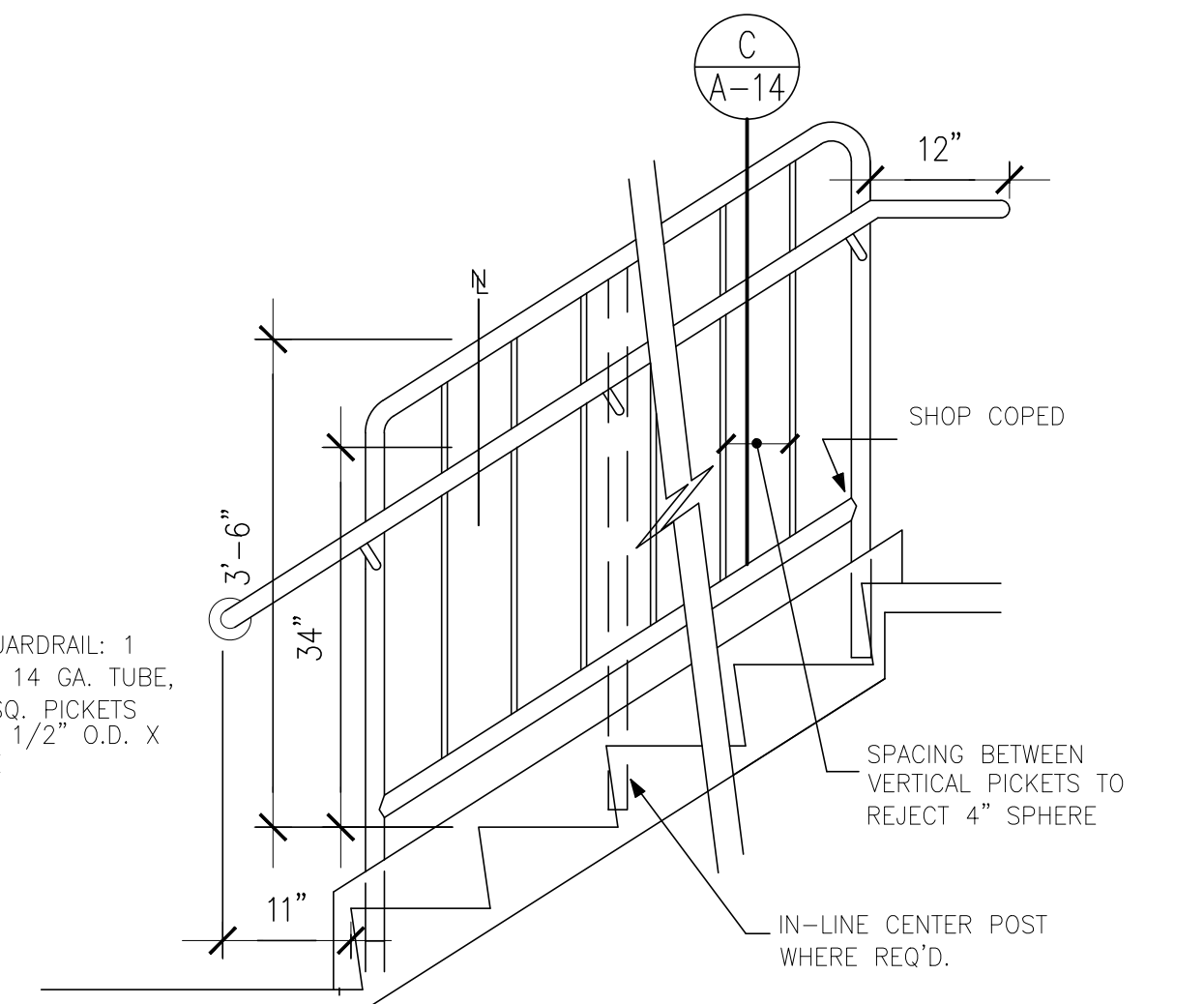


**B**  
A-14 STAIR DETAIL  
N.T.S.

**NOTE:** PRE-FAB. METAL STAIR  
SUBMIT SHOP DRAWINGS  
FOR ARCHITECT'S APPROVAL



**C**  
A-14 HANDRAIL / GUARDRAIL DETAIL  
1/2" = 1'-0"



**D**  
A-14 RAILING DETAIL  
N.T.S.

WALL TYPE	SCHEDULE
GRAPHIC DESCRIPTION:	
	PRE-MANUFACTURE STEEL BLDG. SYSTEM TYP. REFER TO SHEET A-4.0 & A-4.1 FOR FIRE RATING DETAILS.
	PAINTED 1/2" INCH GYPSUM WALLBOARD, FLOOR TO CEILING. REFER INTERIOR PARTITION DETAIL 3 SHEET A-1.0.

- DOORS (IMPACT RESIST.)**
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT PROTECTED BY PRODUCT APPROVED STORM SHUTTERS, TYPICAL.
  - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS PRIOR TO INSTALLATION.
  - INSTALL ALL EXTERIOR DOORS IN ACCORDANCE WITH PRODUCT APPROVAL SPECIFICATIONS.
  - ATTACH DOOR BUMPS WITH FASTENERS, STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C., STAGGERED, APPLY CAULKING BETWEEN BUMPS AND MASONRY, BOTH SIDES.
- PRODUCT APPROVALS**
- SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**ROOF PERMIT**

1. SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

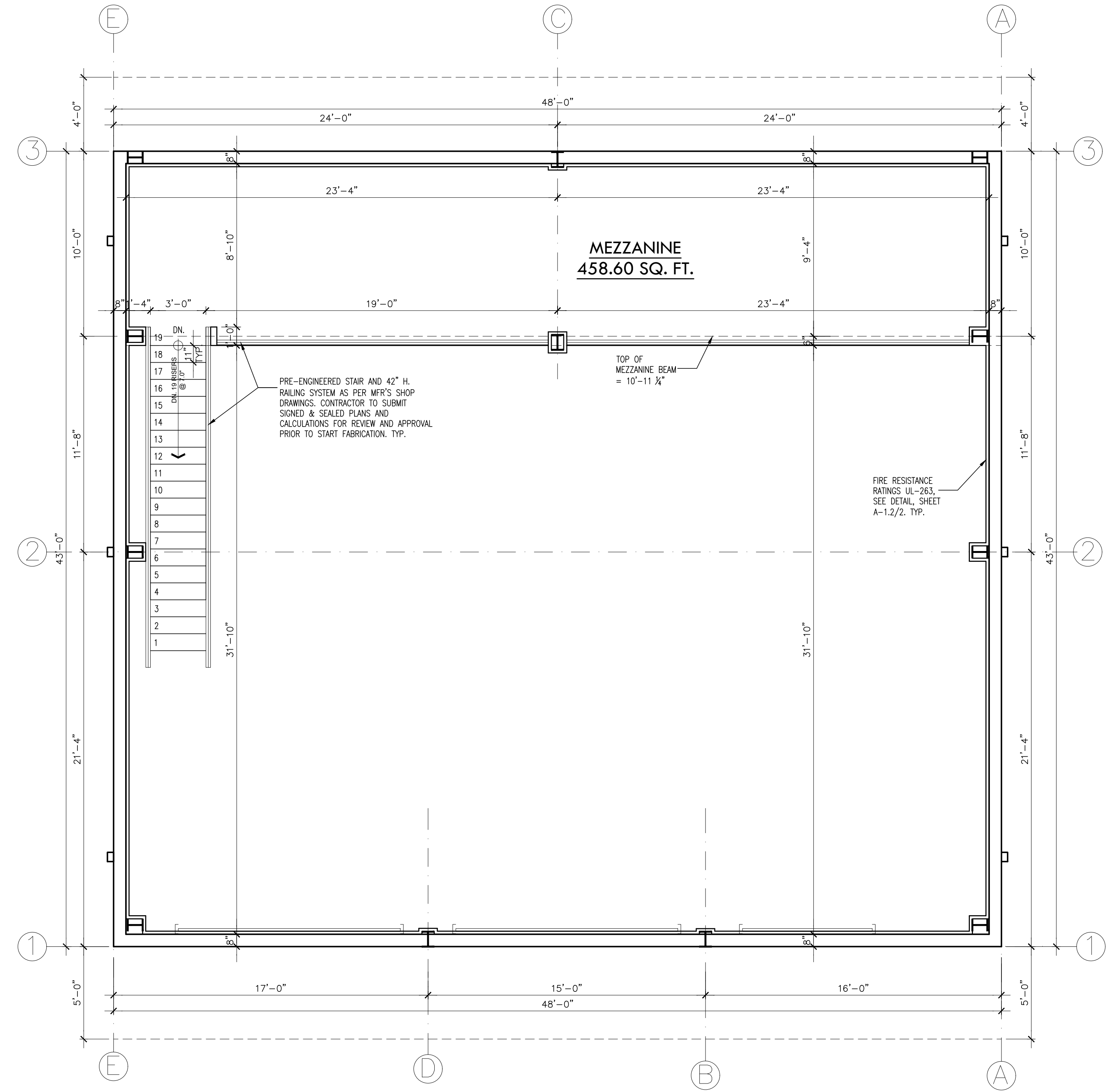
**TYPE OF CONSTRUCTION:** III-B (NOT SPRINKLERED)  
**OCCUPANCY:** "S1"  
**DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.**

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**GENERAL NOTES:**

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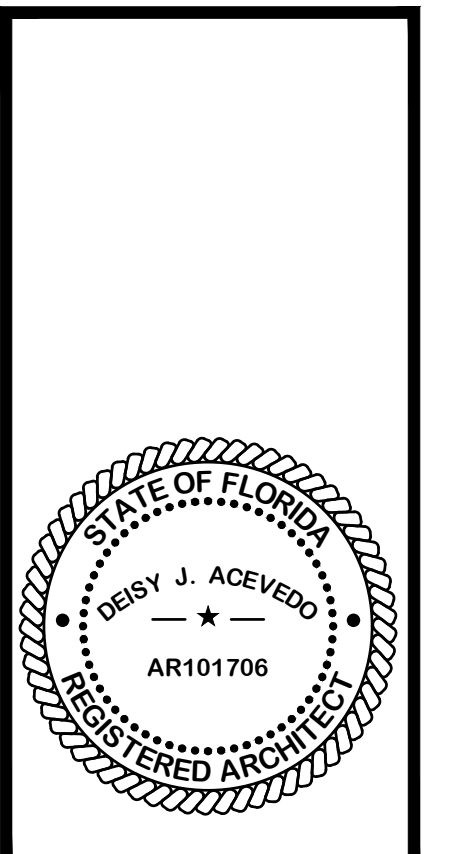


**1** PROPOSED MEZZANINE PLAN NORTH  
SCALE: 1/4" = 1'-0"

REVISION	BY:

**DAISY J. ACEVEDO, CORP**  
 Architect  
 2072 SW 72ND AVE  
 DAVIE FL 33317  
 (954) 473-5252  
 FLORIDA REGISTRATION  
 ARCHITECT  
 AR. NO. 101706

**WAREHOUSE METAL BUILDING**  
 6013 RODMAN STREET  
 HOLLYWOOD, FL 33023



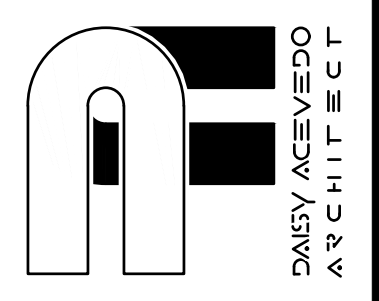
DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

**A-1.1**  
OF SHEETS

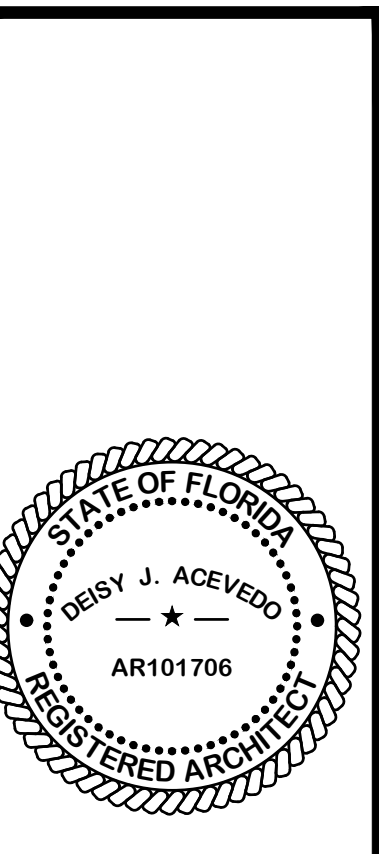
**2** TYPICAL STAIR DETAILS  
SCALE: 1/2" = 1'-0"

REVISION	BY:

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 Architect  
 2072 SW 72ND AVE  
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**WAREHOUSE METAL BUILDING**  
 6013 RODMAN STREET  
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

**A-1.2**  
 OF SHEETS

WALL TYPE	SCHEDULE
GRAPHIC DESCRIPTION:	
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- PRODUCT APPROVALS**
- SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**ROOF PERMIT**

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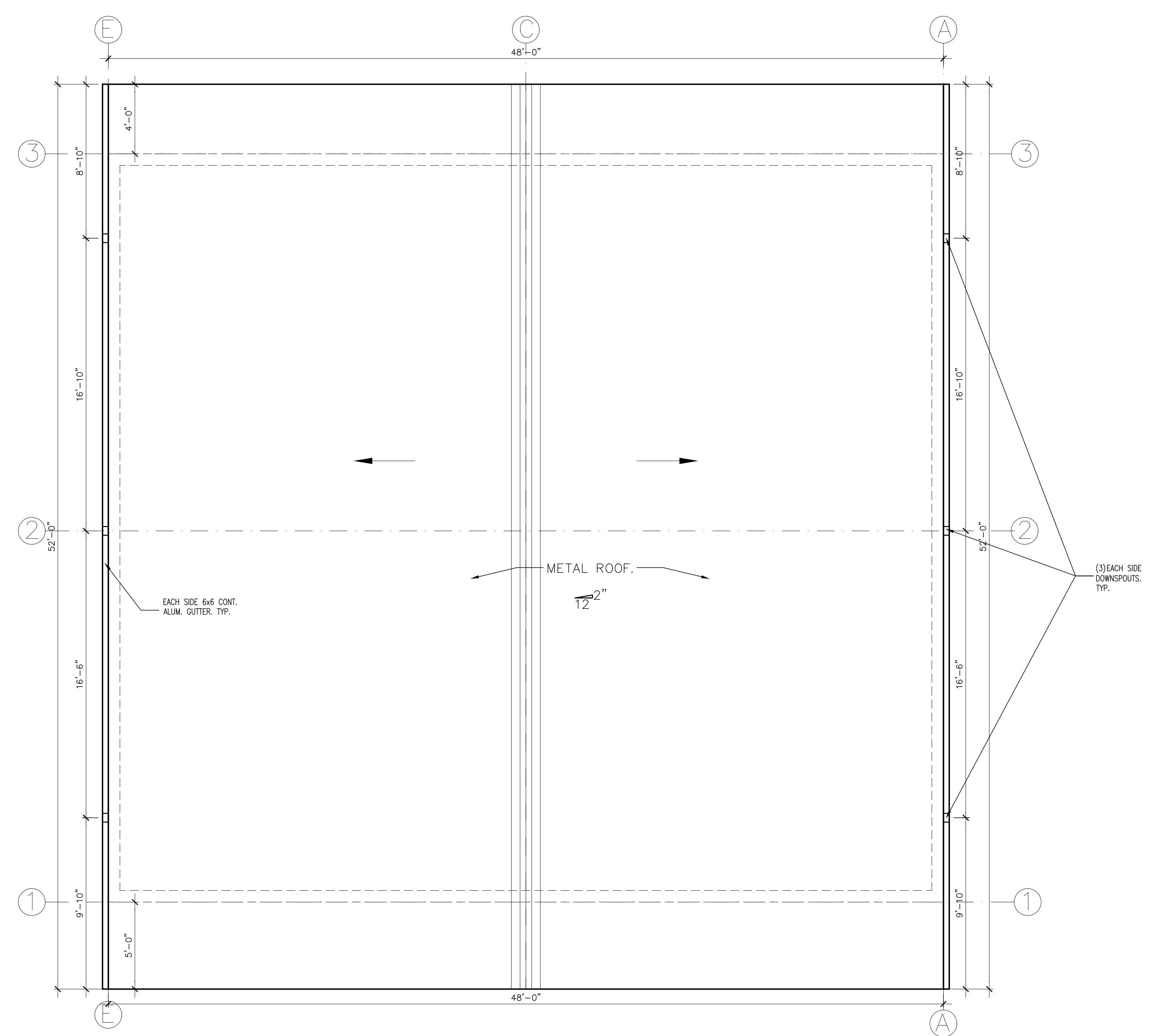
**TYPE OF CONSTRUCTION:** III-B (NOT SPRINKLERED)  
**OCCUPANCY:** "S1"  
**DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.**

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**2 NOT USED**  
 SCALE: -

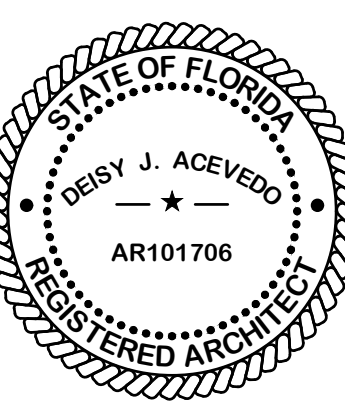
**1 PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0" NORTH

REVISION	BY:

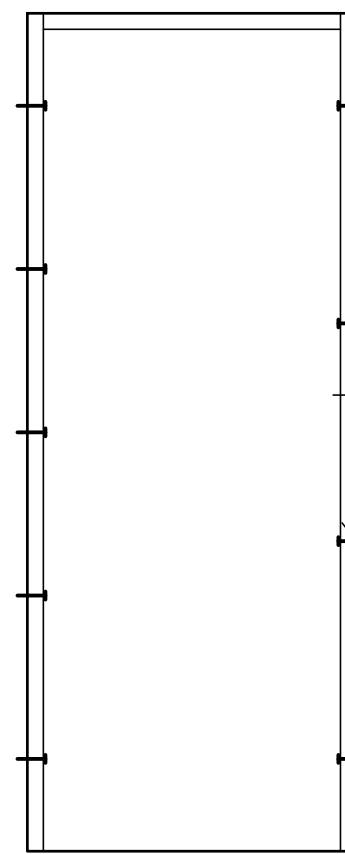
**DAISY J. ACEVEDO, CORP**  
 Architect  
 2072 SW 72ND AVE  
 DAVIE FL 33317  
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 AR NO. 101706



**WAREHOUSE METAL BUILDING**  
 6013 RODMAN STREET  
 HOLLYWOOD, FL 33023



DRAWN	<b>M.J.G.</b>
CHECKED	<b>D.J.A.</b>
DATE	<b>JULY, 2022</b>
SCALE	<b>AS NOTED</b>
JOB. NO.	<b>22-005</b>
<b>A-2.0</b>	
OF	SHEETS

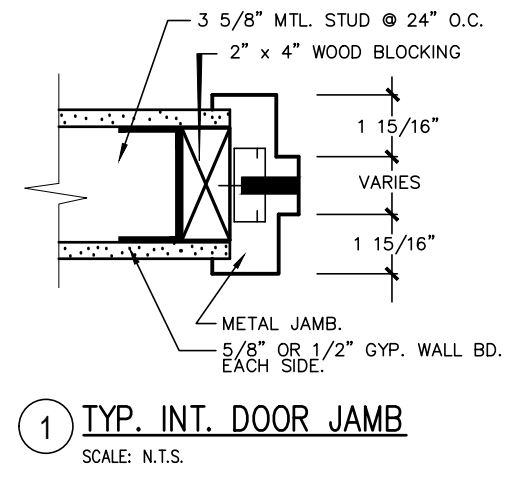


NOTE: FASTENING SPECIFICATION ARE DIAGRAMMATIC AND IS INTENDED AS A GUIDE. INSTALLATION SHALL BE IN ACCORDANCE TO MIAMI DADE PRODUCT APPROVAL AND SHALL SUPERSEDE ARCHITECTS DETAIL. PROVIDE MIAMI DADE PRODUCT APPROVAL TO A & E FOR REVIEW PRIOR TO INSTALLATION.

METAL FRAME BY DOOR MANUF.

(4) PER JAMB FLAT HEAD SLEEVE ANCHORS 3/8" x 5 INCH.

NOTE: METAL DOOR TO BE ATTACHED DIRECTLY TO METAL BUILDING AS PER MFR'S PRODUCT APPROVAL.



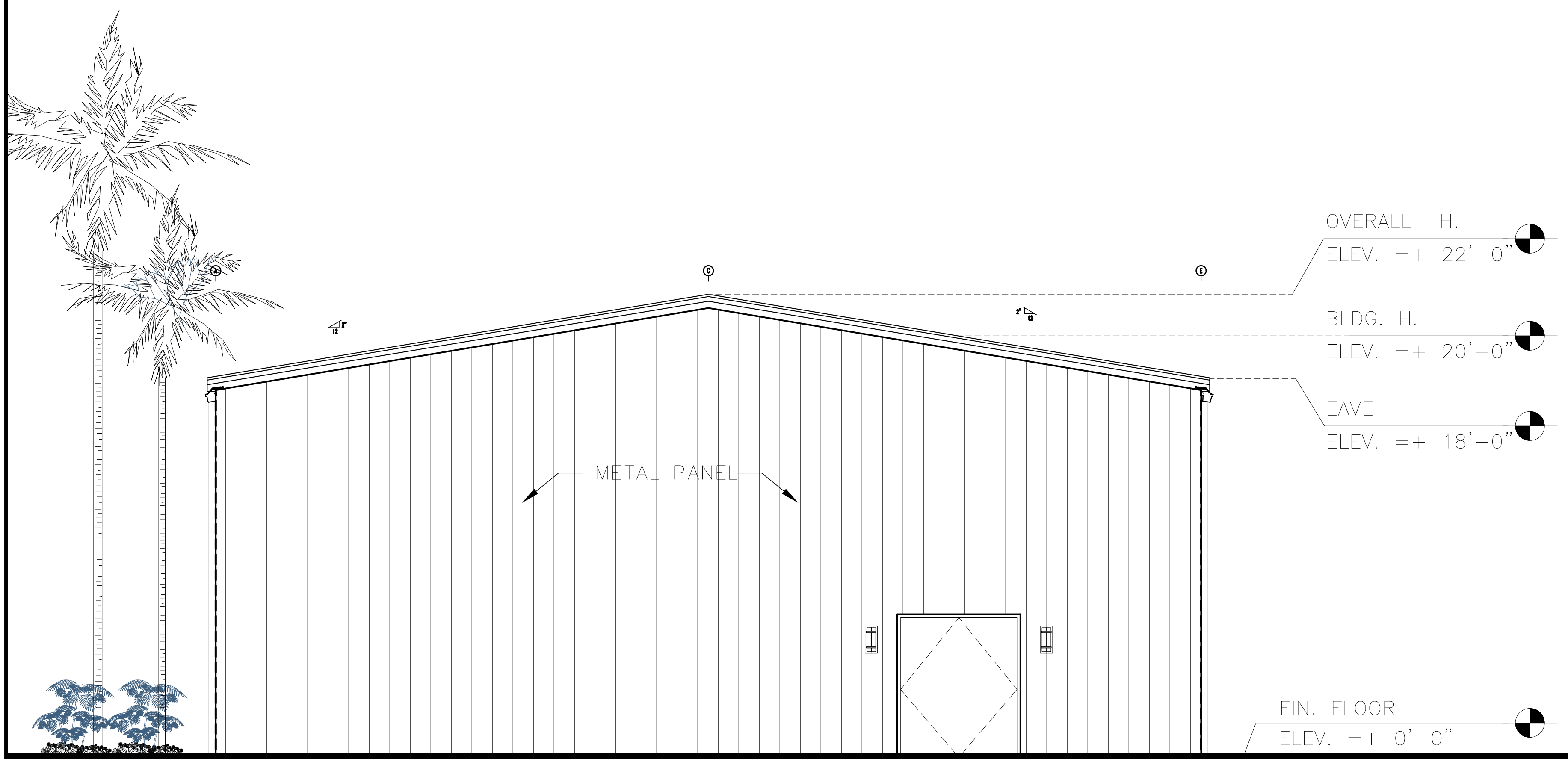
2 DOOR INSTALLATION DETAIL  
 SCALE: N.T.S.

**DOOR SCHEDULE**

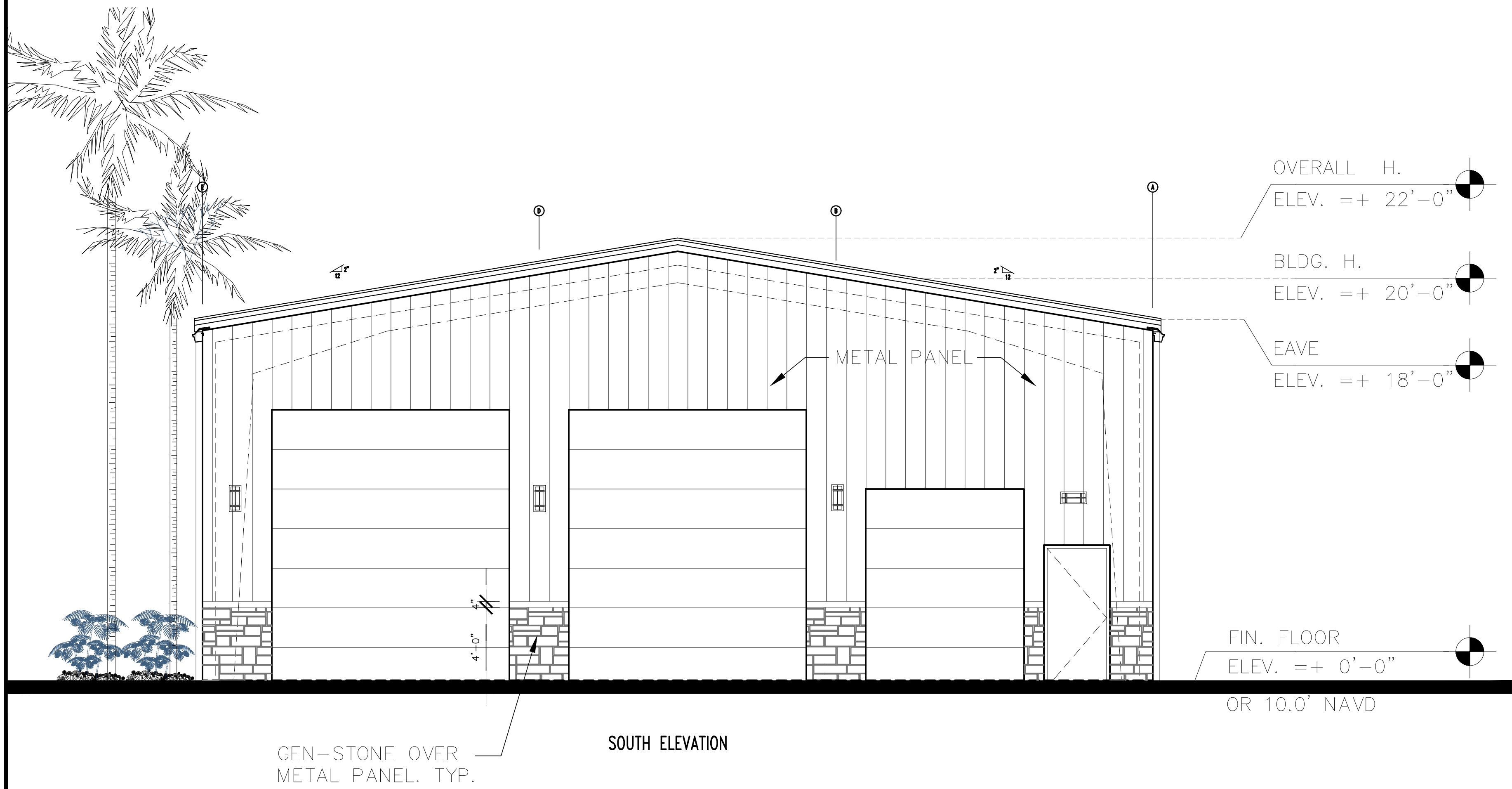
MARK	QTY.	SIZE	MODEL	ROUGH OPENING DIMENSION		MATERIAL	FRAME		WIND PRESSURE		FIRE RATE	HDWR.	EGRESS / ESCAPE	SHUTTER	PRODUCT ACCEPTANCE
				WIDTH (INCHES)	HEIGHT (INCHES)		MATERIAL	FINISH	MIN. DESIGN PRESS. (-)	MIN. DESIGN PRESS. (+)					
100	2	12'-0"x14'-0"	ROLL UP DR.	12'-0"	14'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	-	-	EXT. LOCKSET	NO	NO	DADE CO.
101	1	8'-0"x10'-0"	ROLL UP DR.	8'-0"	10'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	-	-	EXT. LOCKSET	NO	NO	DADE CO.
102	1	3'-0"x7'-0"	SWING DR.	3'-4"	7'-2"	METAL S.C.	METAL	PAINT	SEE STRUCTURAL PLANS	-	-	EXT. LOCKSET	YES	NO	DADE CO.
103	1	6'-0"x6'-10"	DBL SWING DR.	6'-4"	7'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	45 MIN.	-	EXT. LOCKSET	NO	NO	DADE CO.
104	1	3'-0"x7'-0"	SWING DR.	-	-	WOOD H.C.	METAL	PAINT	SEE STRUCTURAL PLANS	-	-	INT. LOCKSET	-	-	-

- GENERAL NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY WITH MANUFACTURER ALL ROUGH OPENINGS PRIOR TO START THE CONSTRUCTION.
  - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS, PRIOR TO INSTALLATION.
  - DOOR HARDWARE TO COMPLY WITH A.D.A. LEVER TYPE. TYPICAL.
  - ALL THRESHOLDS TO BE A.D.A. APPROVED.
  - INCLUDE 1-1/2" PR. HINGES, LOCKSET.
  - INCLUDE 1-1/2" PR. HINGES, LOCKSET, THRESHOLD AND WEATHER-STRIPPING.
  - CONTRACTOR TO PROVIDE HARDWARE SCHEDULE FOR REVIEW PRIOR TO INSTALLATION. TYPICAL.
  - ALL HOLLOW METAL DOOR IN THE REAR OF THE BUILDING SHOULD INCLUDE A DRIP GUARD AND A PICK-GUARD.

3 DOOR SCHEDULE

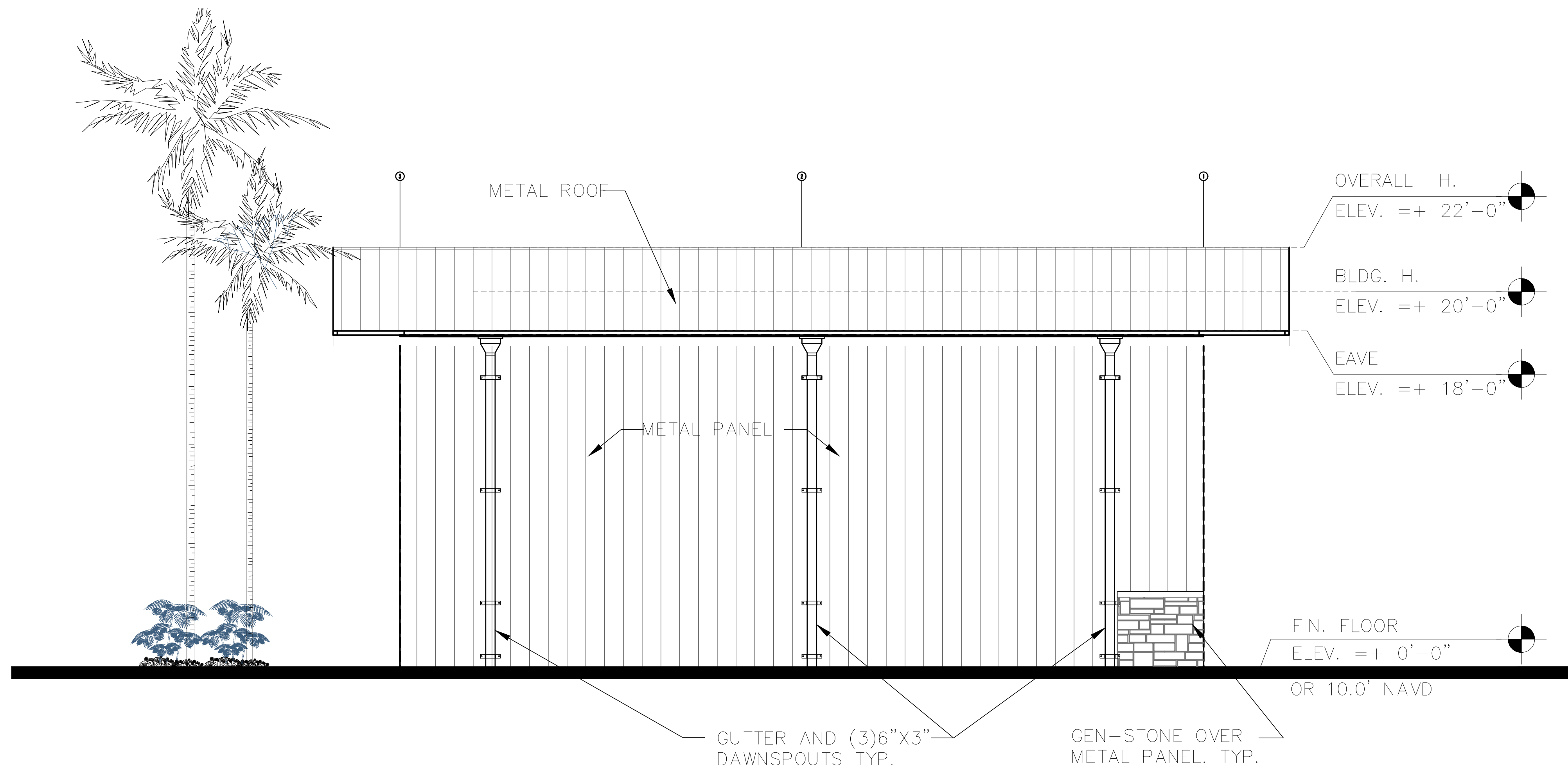


2 PROPOSED NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

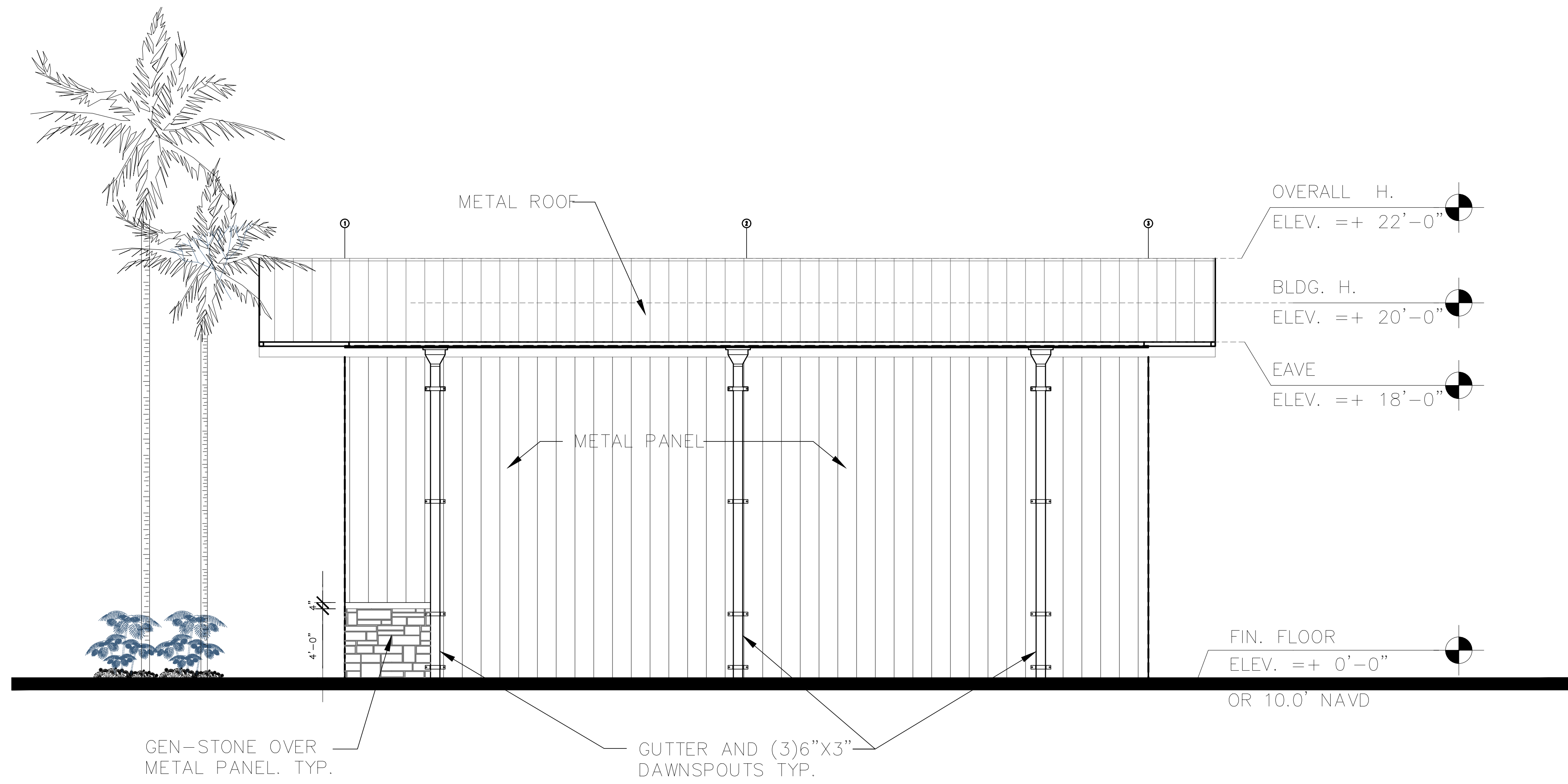


1 PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"





**2 PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISION	BY:

**DAISY J. ACEVEDO, CORP**  
Architect  
2072 SW 72ND AVE  
DAVIE FL 33317  
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**WAREHOUSE METAL BUILDING**  
6013 RODMAN STREET  
HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

**A-2.1**  
OF SHEETS





# City of Hollywood

## Staff Summary

Hollywood City Hall  
2600 Hollywood Blvd  
Hollywood, FL 33020  
<http://www.hollywoodfl.org>

**File Number: 2. 2024 0415**

---

**Agenda Date:** 4/15/2024 **Agenda Number:**

**To:** Technical Advisory Committee

**Title:** FILE NO.: 24-DP-27  
APPLICANT: Plunkett Apt LLC/Silvia Llorca  
LOCATION: 2011 Plunkett Street  
REQUEST: Site Plan Review for a 16-unit residential development

---



CITY OF  
**Hollywood**  
DEVELOPMENT SERVICES  
PLANNING DIVISION

# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

**CLICK HERE FOR  
FORMS, CHECKLISTS, &  
MEETING DATES**

**APPLICATION TYPE:**

- Technical Advisory Committee
- City Commission

Variance/Special Exception Requested

- Administrative Approvals
- Historic Preservation Board
- Planning and Development Board

**PROPERTY INFORMATION**

**Location Address:** 2011 Plunkett ST , Hollywood FL 33020

Lot(s): 14,15 Block(s): 1 Subdivision: Hollywood South Side Add No2

Folio Number(s): 5142 22 10 0100

Zoning Classification: PS-1 Land Use Classification: RAC-MULTIFAMILY

Existing Property Use: 01-01 House Sq Ft/Number of Units: 1

Is the request the result of a violation notice? ( ) Yes  No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.: \_\_\_\_\_

**DEVELOPMENT PROPOSAL**

Explanation of Request: PRE-TAC SUBMITTAL FOR NEW MULTIFAMILY APARTMENT BUILDING - 18 UNITS.

Phased Project: Yes / No  Number of Phases: \_\_\_\_\_

Project	Proposal		
Units/rooms (# of units)	<b>16</b>	(Area:	S.F.)
Proposed Non-Residential Uses			S.F.
Open Space (% and SQ.FT.)	<b>31%</b>	(Area: <b>3,406</b>	S.F.)
Parking (# of spaces)	<b>18</b>	(Area:	S.F.)
Height (# of stories)	<b>4</b>	( <b>42</b>	FT.)
<b>Gross Floor Area (SQ. FT)</b>	<b>14,595 SFT</b>		

**Name of Current Property Owner:** Plunkett Apt LLC

Address of Property Owner: 3330 NE 190th ST #1010 , Miami FL 33180

Telephone: 954-673-6951 Email Address: Isaac.bachar@outlook.com

**Applicant** SILVIA LLORCA  Consultant |  Representative |  Tenant (check one)

Address: 1141 ADAMS ST, HOLLYWOOD 33019 Telephone: 386-366-3254

Email Address: SILVIALLORCAG@GMAIL.COM

Email Address #2: \_\_\_\_\_

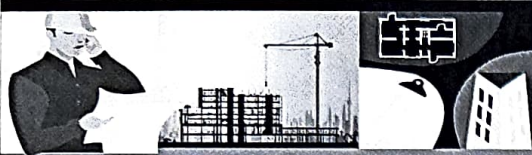
Date of Purchase: 07-26-2022 Is there an option to purchase the Property? Yes  No

If Yes, Attach Copy of the Contract.

**Noticing Agent** (FTAC & Board submissions only) : \_\_\_\_\_

E-mail Address: \_\_\_\_\_

PLANNING DIVISION



File No. (Internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *itzhak B* Date: \_\_\_\_\_

PRINT NAME: Plankett Apt LLC Date: 03/28/24

Signature of Consultant/Representative: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

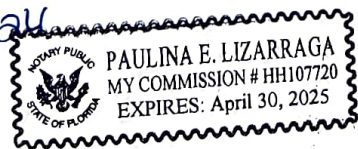
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 28 day of March, 2024

*[Signature]*  
Notary Public  
State of Florida



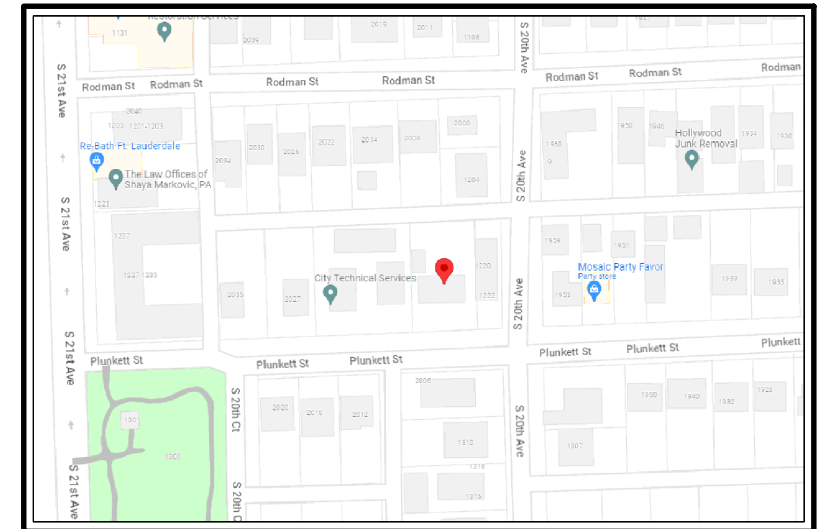
*itzhak B*  
Signature of Current Owner

Yitzhak Bachar  
Print Name

My Commission Expires: \_\_\_\_\_ (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_

# BOUNDARY SURVEY

SCALE: 1" = 20'



## LOCATION MAP

NOT TO SCALE



**PROPERTY ADDRESS:** 2011 PLUNKETT STREET, HOLLYWOOD, FLORIDA, 33020

**LEGAL DESCRIPTION:** Lots 14 and 15, Block 1 of **HOLLYWOOD SOUTH SIDE ADDITION NO. 2** according to the Plat thereof, as recorded in Plat Book 3, at Page 17, of the Public Records of Broward County, Florida. Parcel I.D. #5142 22 10 0100

## LEGEND AND ABBREVIATIONS

A= ARC DISTANCE	P.B.= PLAT BOOK	+0.00= ELEVATION	[Symbol] = CATCH BASIN
AC= AIR CONDITIONED UNIT	P.C.P.= PERMANENT CONTROL POINT	[Symbol] = WATER METER	[Symbol] = SANITARY SEWER
ADJ.= ADJACENT	P.G.= PAGE	[Symbol] = POWER POLE	[Symbol] = WATER VALVE
B.C.= BLOCK CORNER	P.O.B.= POINT OF BEGINNING	[Symbol] = LIGHT POLE	[Symbol] = TV BOX
BLDG.= BUILDING	P.O.C.= POINT OF COMMENCE	[Symbol] = FIRE HYDRANT	[Symbol] = FPL TRANS.
B.O.B.= BASIS OF BEARINGS	P.P.= POOL PUMP	[Symbol] = MANHOLE	[Symbol] = CONC. POWER POLE
CL.= CLEAR	R.= RADIUS		
C.L.F.= CHAIN LINK FENCE	R/W= RIGHT-OF-WAY		
CONC.= CONCRETE	TYP.= TYPICAL		
D.M.E.= DRAINAGE MAINT. EASEMENT	U.E.= UTILITY EASEMENT		
ENC.= ENCROACHMENT	W.F.= WOOD FENCE		
FD.= FOUND	W.M.= WATER METER		
F.F.ELEV.: FINISHED FLOOR ELEVATION	Ø= DIAMETER		
I.F.= IRON FENCE	⊕= CENTER LINE		
L.F.ELEV.: LOWEST FLOOR ELEVATION			

JOB NUMBER: 230910

## TREE TABLE

No.	NAME (Common)	DIA. (feet)	HEIGHT (feet)	CANOPY (feet)
1	PALM	0.8	24	5
2	PALM	0.6	25	6
3	PALM	1	30	5
4	UNKNOWN	1	24	7
5	PALM	0.5	16	10
6	UNKNOWN	0.4	1	2
7	UNKNOWN	5.5	55	15
8	UNKNOWN	0.6	2	2
9	PALM	0.5	20	10
10	UNKNOWN	0.7	25	15
11	PALM	0.5	20	10
12	PALM	0.5	20	10
13	PALM	0.5	20	10
14	UNKNOWN	0.7	16	8
15	UNKNOWN	0.8	16	8
16	PALM	1	40	5
17	PALM	0.4	20	8
18	PALM	0.4	40	6
19	PALM	0.9	25	5
20	PALM	0.9	20	1
21	PALM	0.3	12	3
22	PALM	0.3	12	3

## NOTES:

Before any construction the setbacks must be checked. The certificate does not extended to any unnamed party. Elevations are referred to Broward County BM: #1135, Elev= 9.24' of N.A.V.D. of 1988. There may be Easements recorded in Public Records not shown on this Survey.

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY AGENCY REVISED ON 8-18-14 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN:

ZONE X-AH BASE FLOOD ELEV. N/A - 8' COMMUNITY NUMBER: 125113 PANEL NUMBER 0569 SUFFIX H

## LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATION, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS. LEGAL DESCRIPTION PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1: 10000. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES. FOR THOSE PURPOSES A TOPOGRAPHIC SURVEY IS REQUIRED.

CERTIFIED TO:  
Plunkett Apt, LLC

DATE OF FIELD WORK: September 3, 2023

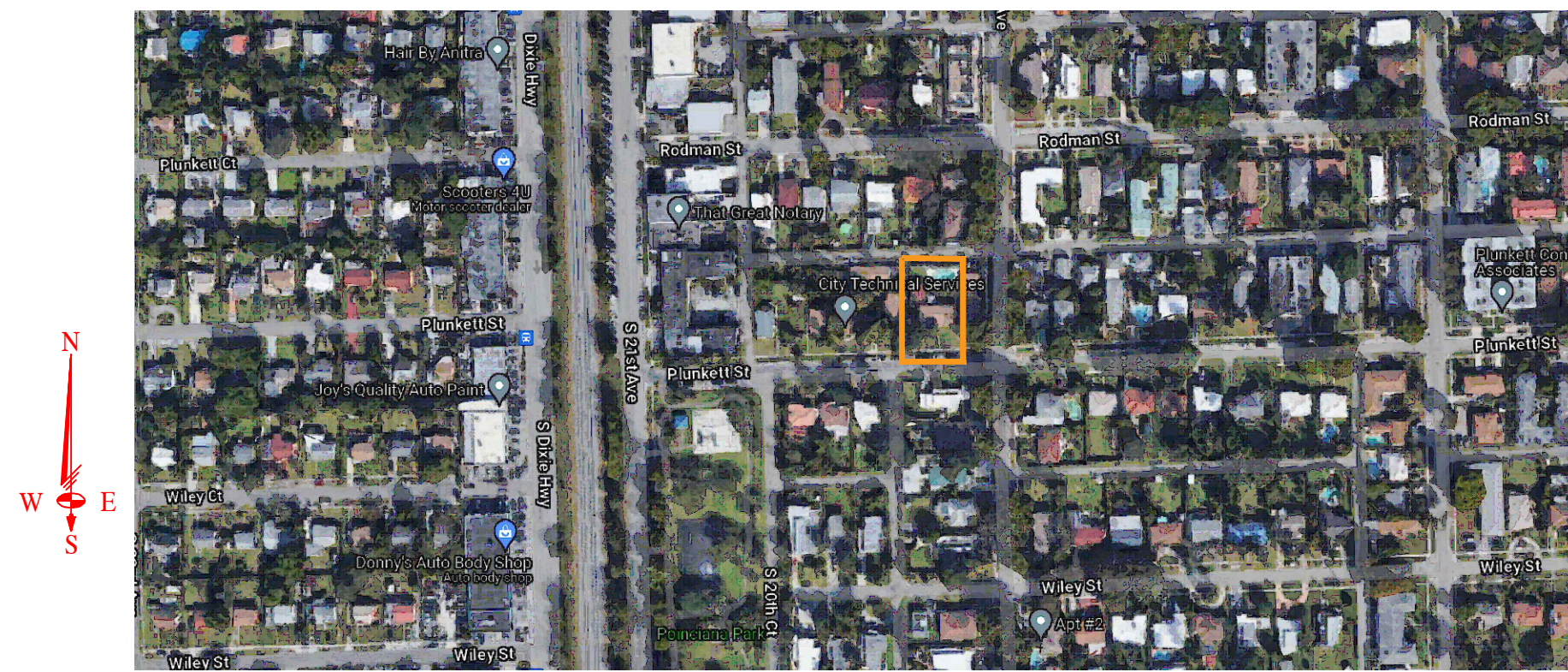
REVISED ON:

I hereby certify that the attached Sketch of Survey of the herein described property is to the best of my knowledge and belief, a true and correct representation, of a field survey performed under my direction. And also meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in chapter 5J-17.050 thru 5J-17.052 F.A.C. pursuant to Section 472.027 F. S.

**ARTURO R. TOIRAC**  
PROFESSIONAL LAND SURVEYOR & MAPPER  
14317 S.W. 45th Terrace Miami, Florida 33175  
Tel: (305) 552-7504 Fax: (305) 229-8068  
E-mail: enpav@yahoo.es

ARTURO R. TOIRAC, P.S.M. 3102  
Not valid without the signature and the original embossed seal of a Florida Licensed Surveyor and Mapper.

# LOCATION MAP



## PROJECT DIRECTORY

**OWNER:** PLUNKETT APT LLC  
**ADDRESS:** 2011 PLUNKETT ST  
 HOLLYWOOD FL 33020

**ENGINEER:** JOSE ANTONIO MENDEZ  
 P.E. No: 53288

**MENDEZ PROFESSIONAL ENGINEERING CORP.**  
 1385 CORAL WAY # 203, MIAMI, FL 33141  
 Phone: 386-366-3254  
 Email: silviallorcag@gmail.com

## CODE SUMMARY

### PROPERTY INFORMATION:

- FOLIOS: 5142 22 10 0100
- PROPERTY ADDRESS: 2011 PLUNKETT ST  
HOLLYWOOD FL 33020
- MILLAGE CODE: 0513
- USE CODE: 01
- CITY ZONING CODES: PS-1
- CURRENT LAND USE: RAC - MULTIFAMILY
- EXISTING UNITS: 1
- PROPOSED USE: NEW MULTIFAMILY BUILDING, 18 UNITS
- LOT AREA: 10,840 Sq.Ft = 0.25 ACRES
- SUBDIVISION: HOLLYWOOD SOUTH SIDE ADD No 2

### LEGAL DESCRIPTION:

HOLLYWOOD SOUTH SIDE ADD No 2  
 3-17 B LOT 14, 15 BLK 1

### CODES & CITY:

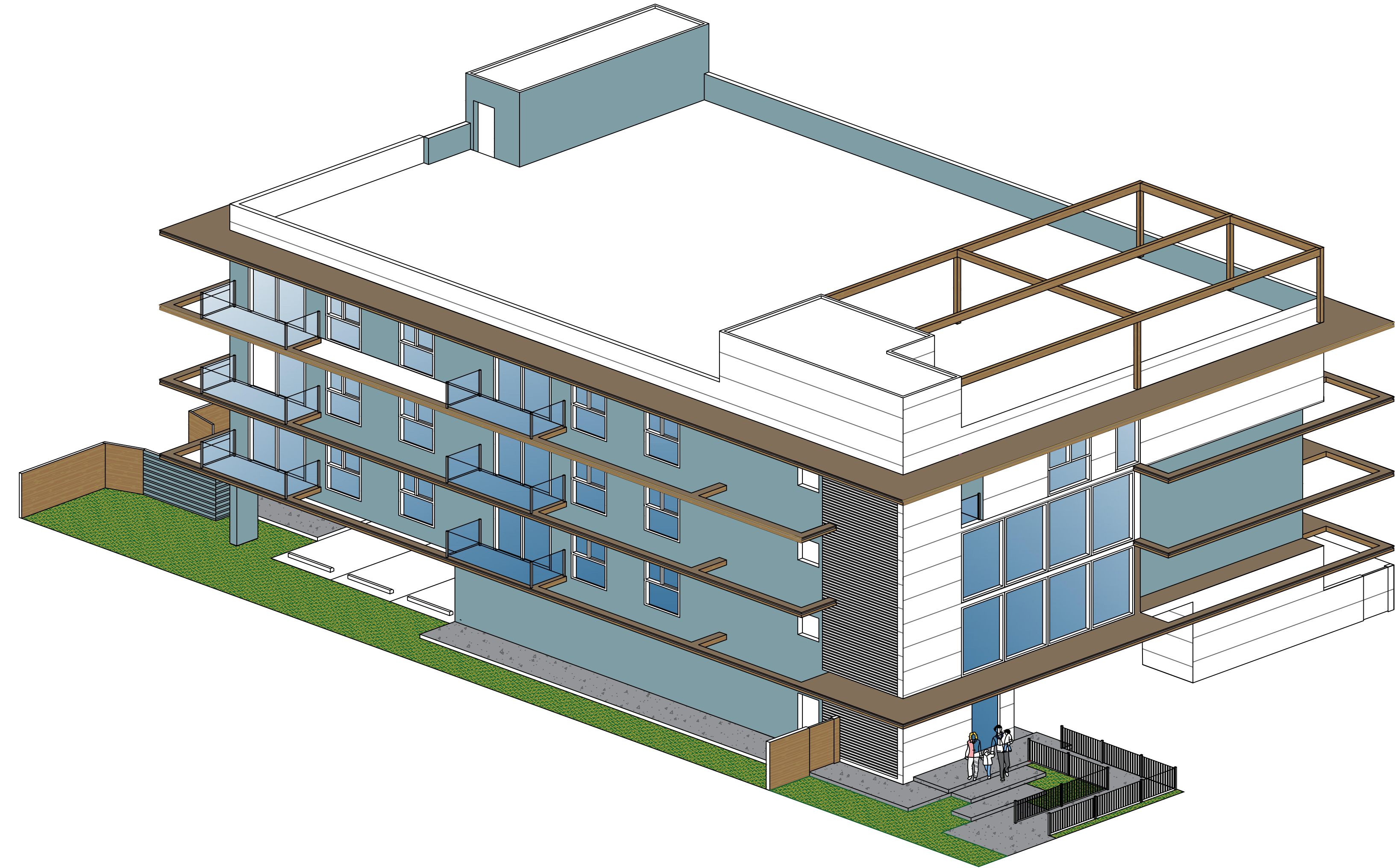
- 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION
- 2022 FLORIDA PLUMBING CODE
- 2022 FLORIDA ELECTRICAL CODE
- 2022 FLORIDA ENERGY CODE
- CITY OF HOLLYWOOD BUILDING DEPT.
- CITY OF HOLLYWOOD ZONING & PLANNING DPT.
- FLORIDA FIRE PREVENTION CODE (7TH EDITION)
- FLORIDA FIRE PREVENTION CODE
- 2022 NFPA-1: UNIFORM FIRE CODE. (2018 INITIAL)
- 2022 NFPA-101: LIFE SAFETY CODE. (2018 INITIAL)
- 2021 NFPA-13: SPRINKLER SYSTEM. (2019 INITIAL)
- 2021 NFPA-72: FIRE ALARM & SIGNALING CODE. (2019 INITIAL)
- 2022 NFPA-24: PRIVATE FIRE SERVICE MAINS. (2019 INITIAL)

## INDEX:

- CS-1 COVER SHEET
- SP-1 SITE PLAN
- A-101 SITE DATA
- A-102 SECOND & THIRD FLOOR PLAN
- A-103 FOURTH & ROOF FLOOR PLAN
- A-104 ELEVATIONS PLAN
- A-105 BUILDING 3D PLAN

## ANNEX:

- ANNEX I: GENERAL APPLICATION
- ANNEX II: SURVEY



SUBMITTAL TO P.A.C.O. MEETING ON ....12/18/2023.....  
 SUBMITTAL TO PRELIMINARY TAC MEETING ON .....  
 SUBMITTAL TO FINAL TAC MEETING ON.....  
 SUBMITTAL TO PDB MEETING ON.....

# NEW MULTI-FAMILY APARTMENT BUILDING FOR: PLUNKETT APT LLC.

LOCATED AT:  
 2011 PLUNKETT ST, HOLLYWOOD, FL 33020

**COVER SHEET**  
**N.S.**

REVISIONS	BY

**PLUNKETT APT**  
 2011 PLUNKETT ST.  
 HOLLYWOOD, FL, 33020

**D'LOLA DESIGN & CONSTRUCTION**  
 1141 ADAMS ST  
 HOLLYWOOD, FL 33019  
 Phone: (386) 366 3254

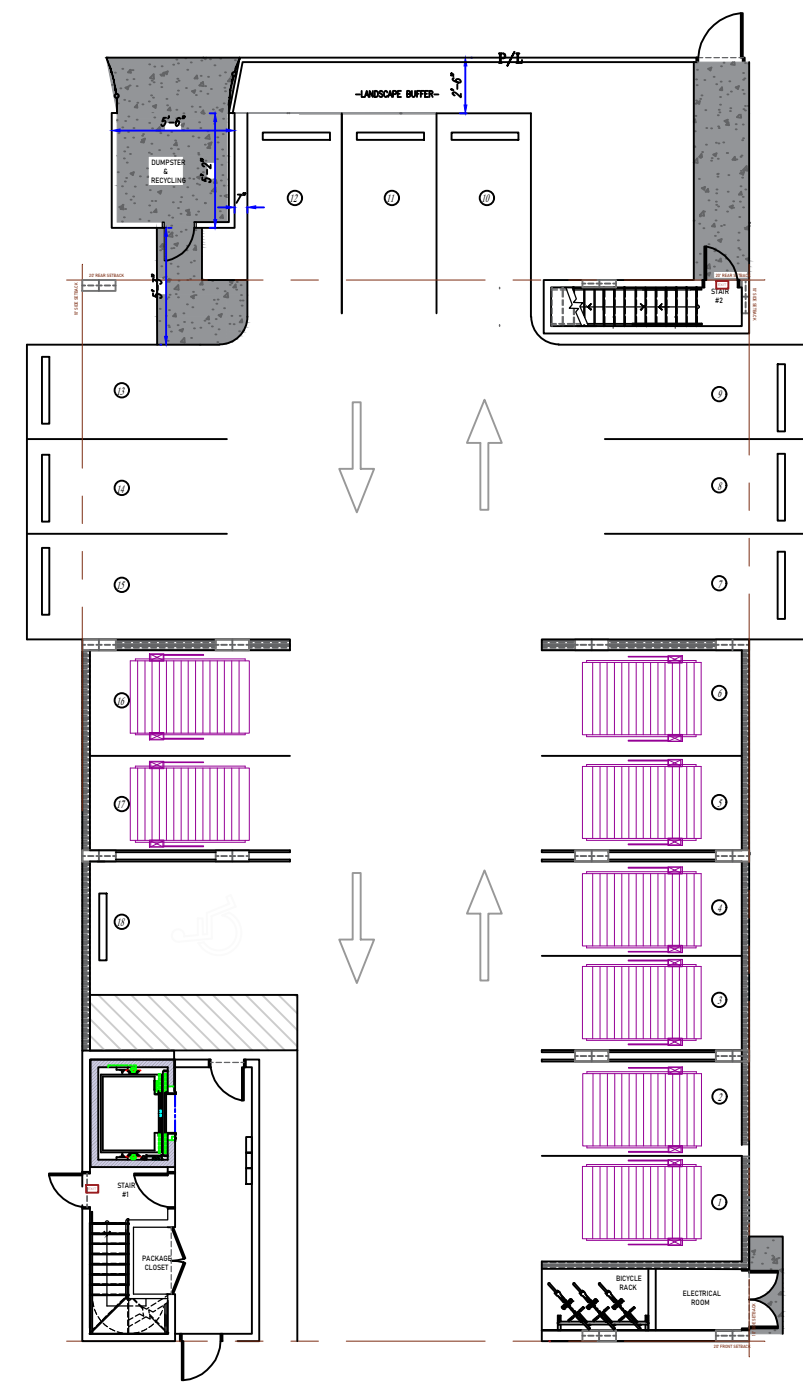
**MENDEZ PROFESSIONAL ENGINEERING CORP.**  
 CA 0008324  
 P.E. No 53288  
 Jose Antonio Mendez  
 Professional Engineer  
 1385 Coral Way Suite #203  
 Miami, FL 33145  
 PH: (305) 854-9824  
 FAX: (305) 856-1797  
 josea118@aol.com

Date: SEPT. 2019  
 Scale: AS NOTED  
 Drawn: E.V.  
 Proj: 2019-34  
 Drawing: CS-1

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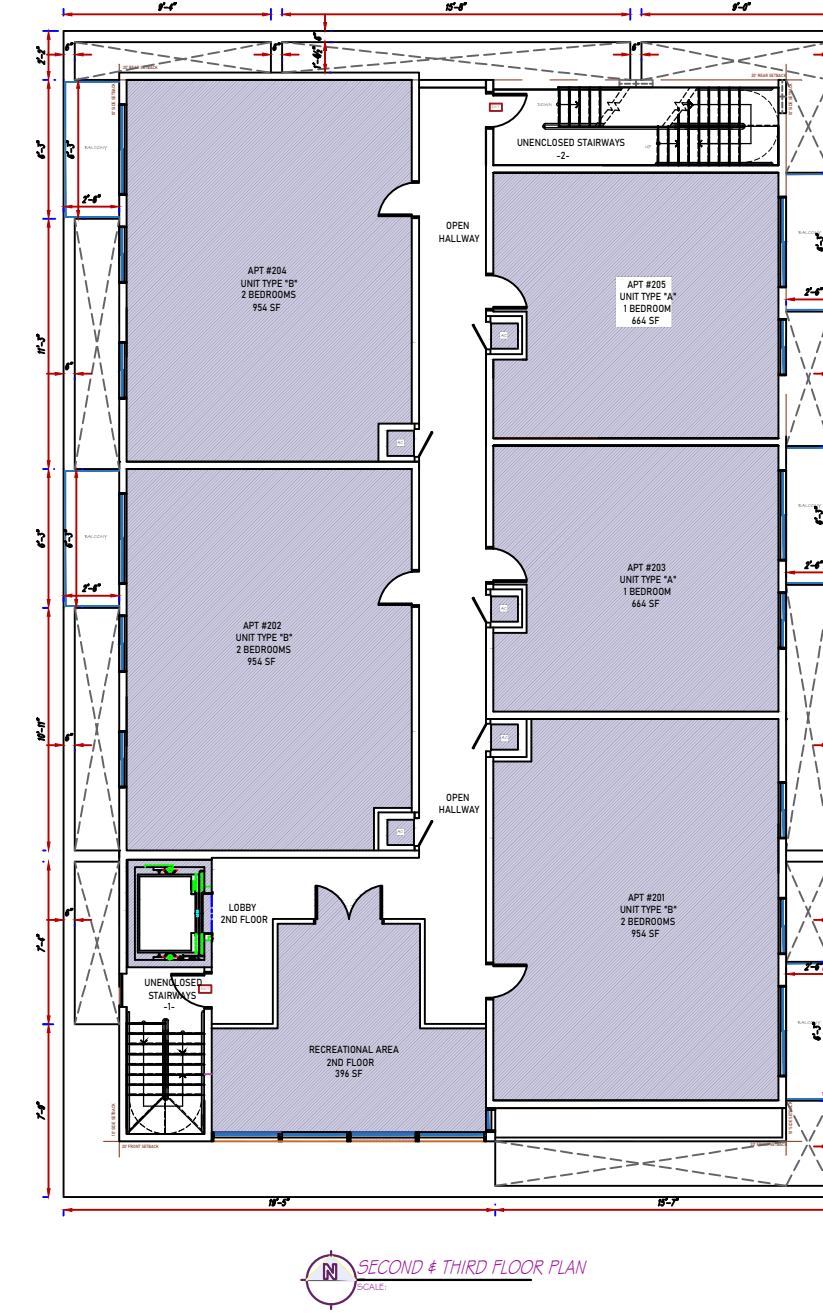


**ROOF FLOOR AREA RATIO (FAR) CALCULATION:**

Lobby	215 sft
Elevator	88 sft
Unenclosed Stairways #1	108 sft
Unenclosed Stairways #2	90 sft

Total F.A.R @ 3rd Floor= 303 sft

Note: Unenclosed stairways and Open hallways are not counted as part of the FAR calculation.



**SECOND FLOOR AREA RATIO (FAR) CALCULATION:**

Apt. #201	954 sft	Balcony	62.50 sft
Apt. #202	954 sft	Balcony	62.50 sft
Apt #203	664 sft	Balcony	62.50 sft
Apt #204	954 sft	Balcony	62.50 sft
Apt #205	664 sft	Balcony	62.50 sft
Recreational Area	396 sft		
Open Hallway	660 sft		
Elevator	88 sft		
Unenclosed Stairways #1	125 sft		
Unenclosed Stairways #2	216 sft		

Total F.A.R @ 2nd Floor= 4,674 sft

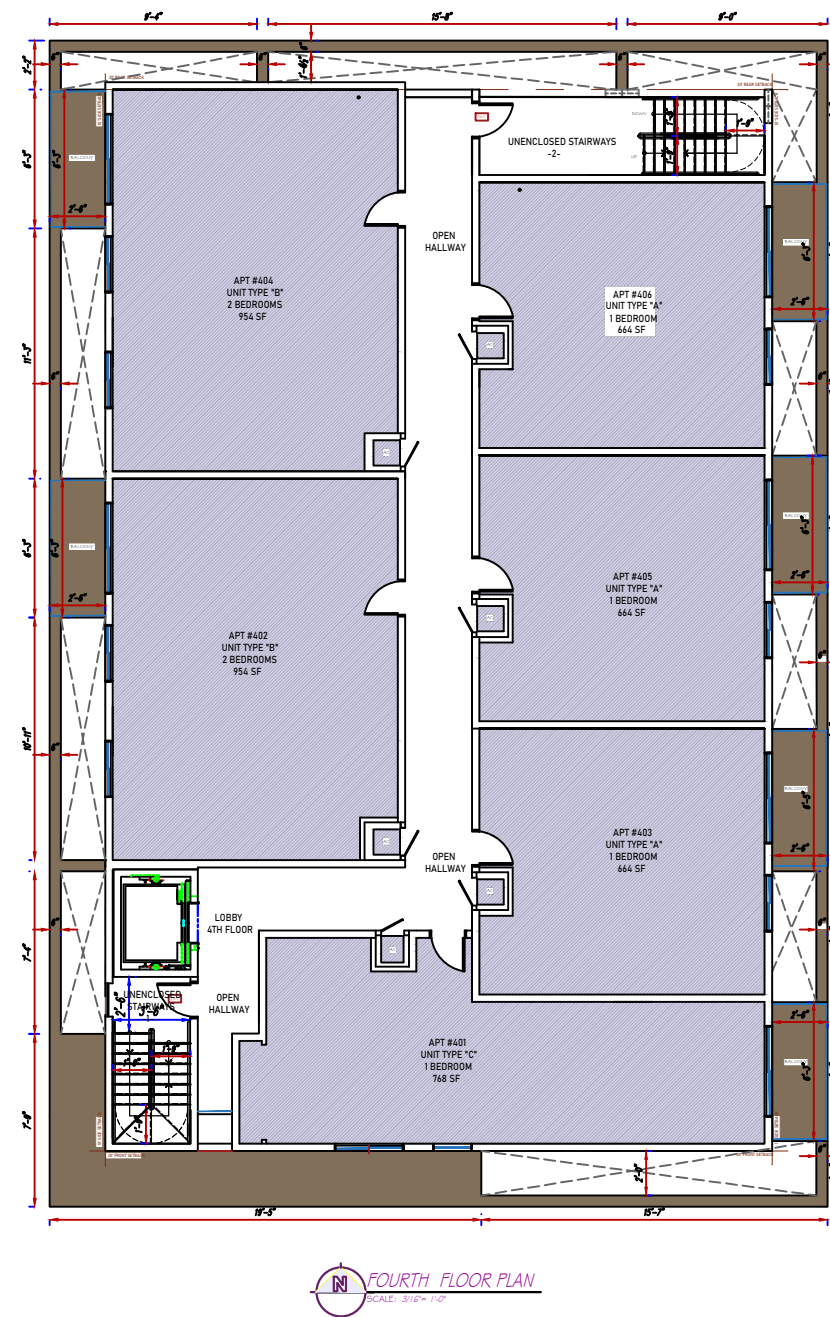
Note: Unenclosed stairways and Open hallways are not counted as part of the FAR calculation.

**THIRD FLOOR AREA RATIO (FAR) CALCULATION:**

Apt. #301	954 sft	Balcony	62.50 sft
Apt. #302	954 sft	Balcony	62.50 sft
Apt #303	664 sft	Balcony	62.50 sft
Apt #304	954 sft	Balcony	62.50 sft
Apt #305	664 sft	Balcony	62.50 sft
Recreational Area	396 sft		
Open Hallway	660 sft		
Elevator	88 sft		
Unenclosed Stairways #1	125 sft		
Unenclosed Stairways #2	216 sft		

Total F.A.R @ 3rd Floor= 4,674 sft

Note: Unenclosed stairways and Open hallways are not counted as part of the FAR calculation.

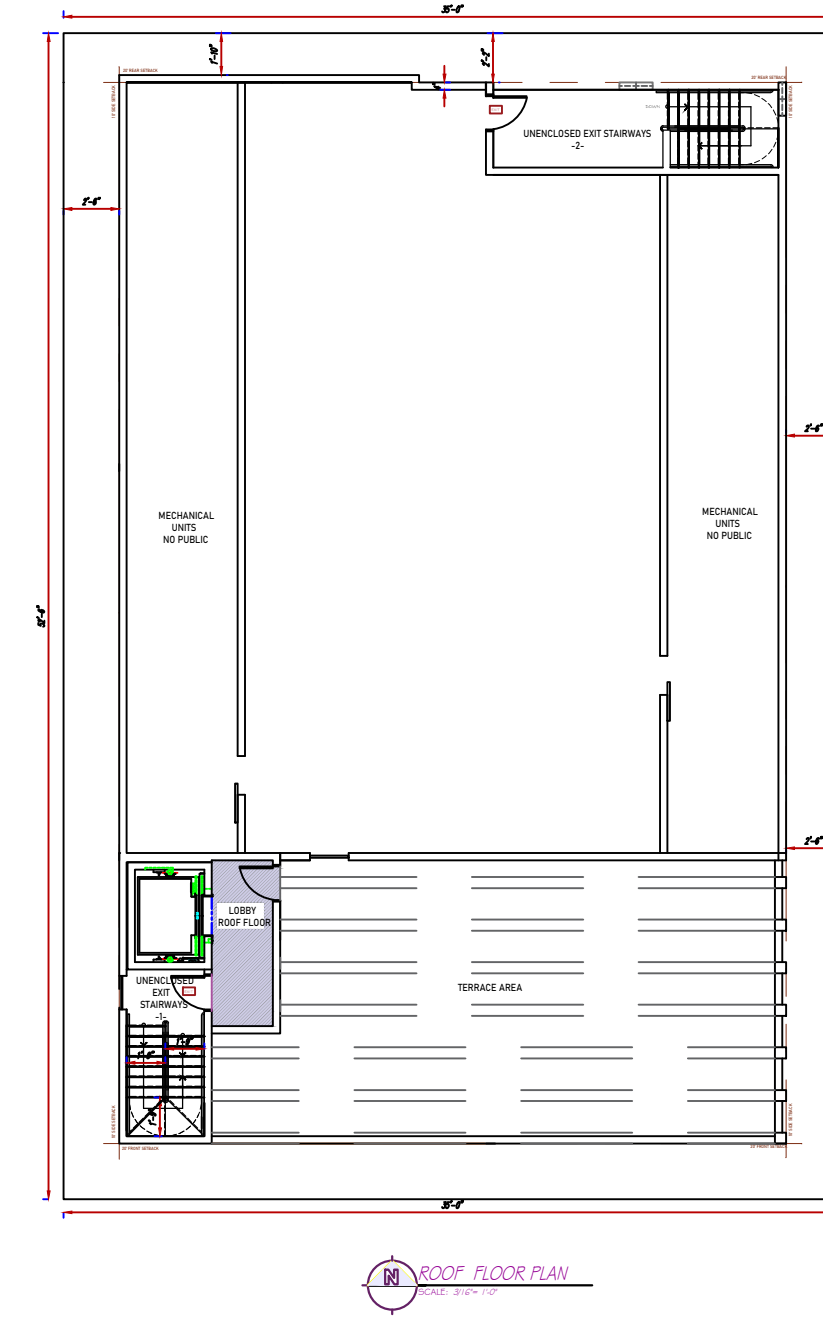


**FOURTH FLOOR AREA RATIO (FAR) CALCULATION:**

Apt. #401	768 sft	Balcony	62.50 sft
Apt. #402	954 sft	Balcony	62.50 sft
Apt #403	664 sft	Balcony	62.50 sft
Apt #404	954 sft	Balcony	62.50 sft
Apt #405	664 sft	Balcony	62.50 sft
Apt #406	664 sft	Balcony	62.50 sft
Open Hallway	643 sft		
Elevator	88 sft		
Unenclosed Stairways #1	125 sft		
Unenclosed Stairways #2	216 sft		

Total F.A.R @ 3rd Floor= 4,756 sft

Note: unenclosed stairways and Open hallways are not counted as part of the FAR calculation.



**ROOF FLOOR AREA RATIO (FAR) CALCULATION:**

Lobby	100 sft
Elevator	88 sft
Unenclosed Stairways #1	125 sft
Unenclosed Stairways #2	216 sft

Total F.A.R @ 3rd Floor= 188 sft

Note: Unenclosed stairways and Open hallways are not counted as part of the FAR calculation.

**TOTAL FLOOR AREA RATIO (FAR) CALCULATION:**

GROUND FLOOR	303 SFT
SECOND FLOOR	4,674 SFT
THIRD FLOOR	4,674 SFT
FOURTH FLOOR	4,756 SFT
ROOF FLOOR	188 SFT

TOTAL F.A.R= 14,595 SFT

Note: Unenclosed stairways and Open hallways are not counted as part of the FAR calculation.

**SITE DATA**  
**NTS.**

REVISIONS	BY

**PLUNKETT APT**  
**2011 PLUNKETT ST.**  
**HOLLYWOOD, FL, 33020**

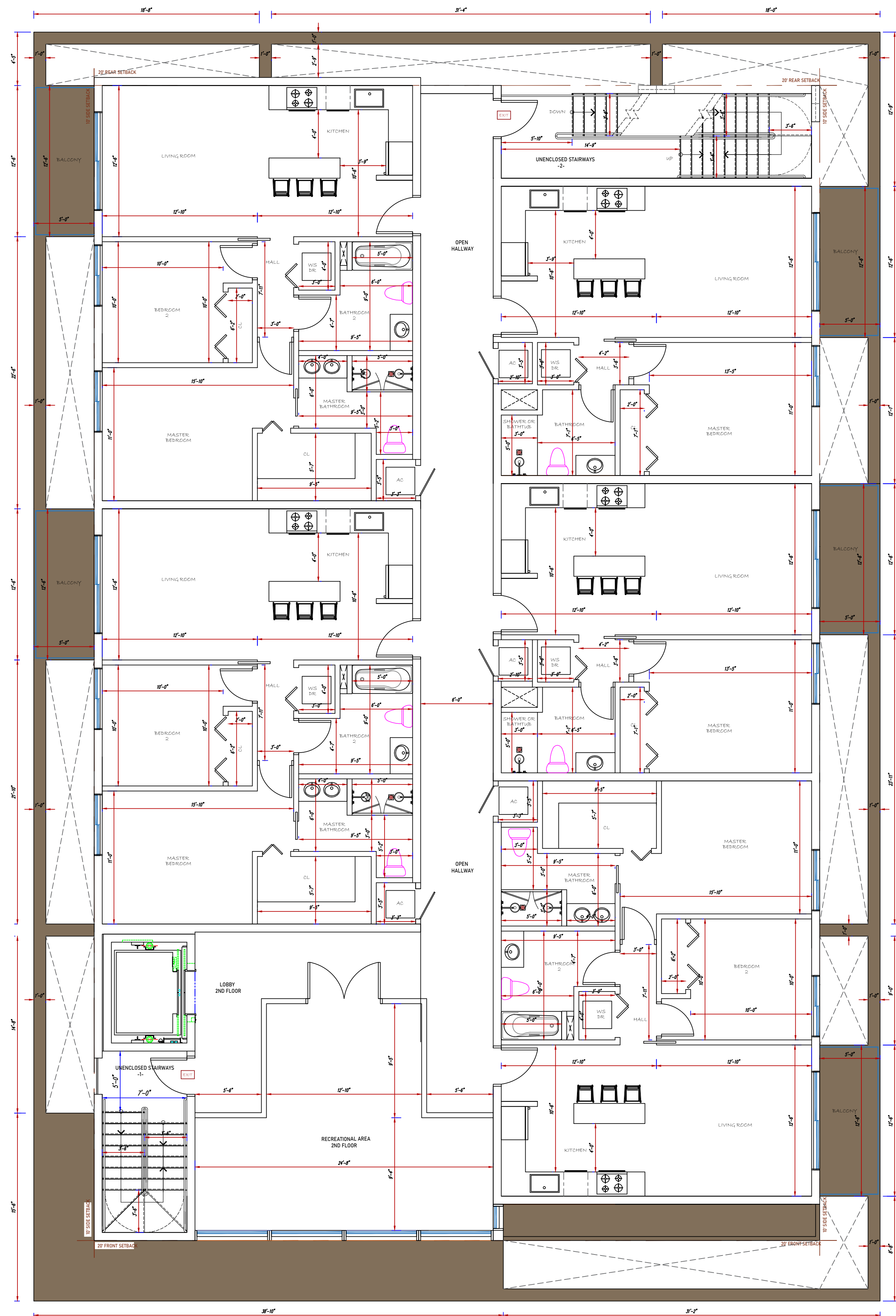
**D'LOLA DESIGN & CONSTRUCTION**  
**1141 ADAMS ST**  
**HOLLYWOOD, FL 33019**  
**Phone: (386) 366 3254**



**MENDEZ**  
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1385 Coral Way Suite #203  
Miami, FL 33145  
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FAX: (305) 856-1797  
jose0118@aol.com

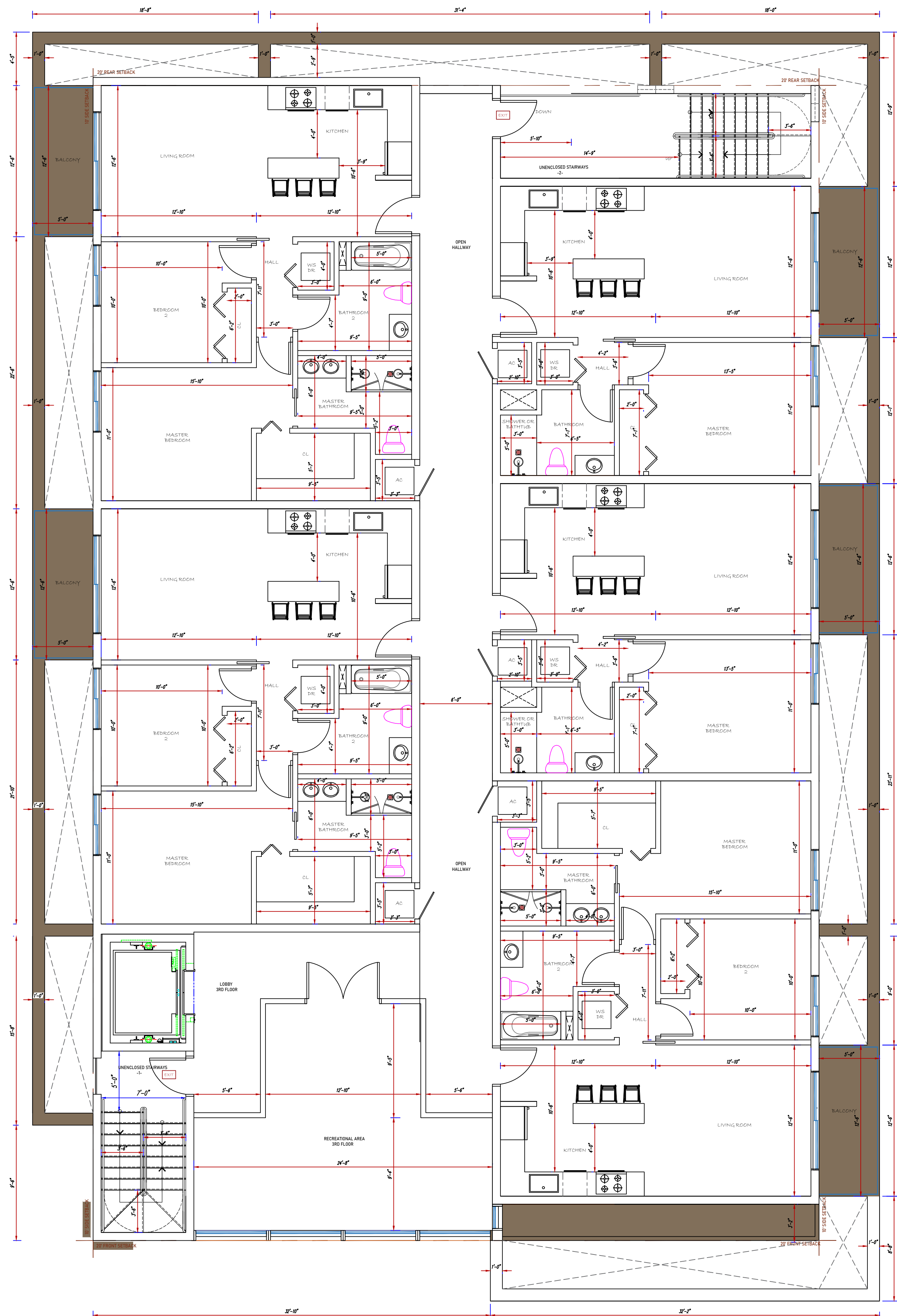
Date **SEPT. 2019**  
Scale **AS NOTED**  
Drawn **E.V.**  
Proj. **2019-34**

Drawing  
**A-101**



**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**SECOND & THIRD FLOOR PLAN**  
3/16"=1'-0"



**THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

REVISIONS	BY

**PLUNKETT APT**  
2011 PLUNKETT ST.  
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Date: SEPT. 2019  
Scale: AS NOTED  
Drawn: E.V.  
Proj.: 2019-34

Drawing: **A-102**

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