

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 04/30/2018

Location Address: 1727-1745 Van Buren St, 1700-1716 Harrison St, 1740-1760 S. Young Circle

Lot(s): _____ Block(s): 58 Subdivision: _____

Folio Number(s): 51421502-1190, 1150, 1170, 1113, 1111, 1220, 1140, 1110, 1200, 1230

Zoning Classification: PD-YC-B58 Land Use Classification: RAC ZONE

Existing Property Use: Commercial / Garage / all vacant Sq Ft/Number of Units: 35,017 sf / 0 units

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Ordinance No. 0-2011-12 5/12/2011

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: Final TAC site plan review for site plan revision

Number of units/rooms: 433 DU Sq Ft: 913,536 gsf

Value of Improvement: TBD Estimated Date of Completion: TBD

Will Project be Phased? (x) Yes () No If Phased, Estimated Completion of Each Phase TBD

Name of Current Property Owner: MG3 Hollywood, LLC

Address of Property Owner: 1915 Harrison Street, Hollywood, Florida 33020

Telephone: 954.929.5229 Fax: 954.929.5226 Email Address: john.gavenas@gmail.com

Name of Consultant/Representative/Tenant (circle one): John Gavenas

Address: 1915 Harrison Street, Hollywood, FL 33020 Telephone: 954.444.6417

Fax: 954.929.5226 Email Address: john.gavenas@gmail.com

Date of Purchase: 2/7/2013 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Pamela Butler Address: MG3 Developer Group, LLC

1915 Harrison Street, Hollywood, FL 33020 Email Address: pbutler@mg3developer.com

PLANNING DIVISION



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Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: Marcelo Saiegh Date: 4/30/2018

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: John Gavenas Date: 4/30/2018

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for final TAC site plan review _____ to my property, which is hereby made by me or I am hereby authorizing John Gavenas to be my legal representative before the planning (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 30 day of April, 2018

Notary Public
State of Florida

My Commission Expires: 6/9/2018 (Check One) Personally known to me; OR Produced Identification _____



Signature of Current Owner

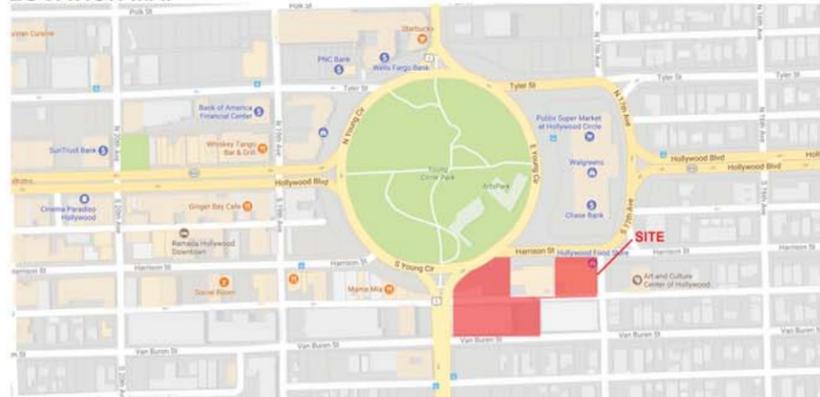
Marcelo Saiegh

Print Name



PARC PLACE

LOCATION MAP



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4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515

project info :

Parc Place

Phase 1, 2 & 3

Hollywood, Florida

seal :

ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :

drawing data :

COVER

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

sheet number :

DEVELOPER

MG3 Developer Group
1915 Harrison Street
Hollywood, Florida 33020
T. 954-929-5229
F. 954-929-5226
Contact: John Gavenas
E. jgavenas@mg3developer.com

ARCHITECT

Modis Architects, LLC
4955 Southwest 75th Avenue
Miami, Florida 33155
T. 786-879-8882
F. 786-350-1515
Florida Corp. AA# 26001777
Contact: Ivo Fernandez, Leed AP
BD+C, CDP
E. Ivo@modisarchitects.com
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LANDSCAPE ARCHITECT

DSBOCA Design Studio Boca
2300 Corporate Blvd.
NW, Suite 214
Boca Raton, Florida 33431
T. 561-955.8623
F. 561-362-4749
Contact: Mark T. Jacobsen,
Principal
E. mark@dsboca.com

CIVIL ENGINEERING

Louis Berger
470 South Andrews Avenue
Suite 206
Pompano Beach, Florida 33069
T. 786-362-8527
Contact: Rodrigo Mazuera, PE.
E. rmazuera@louisberger.com

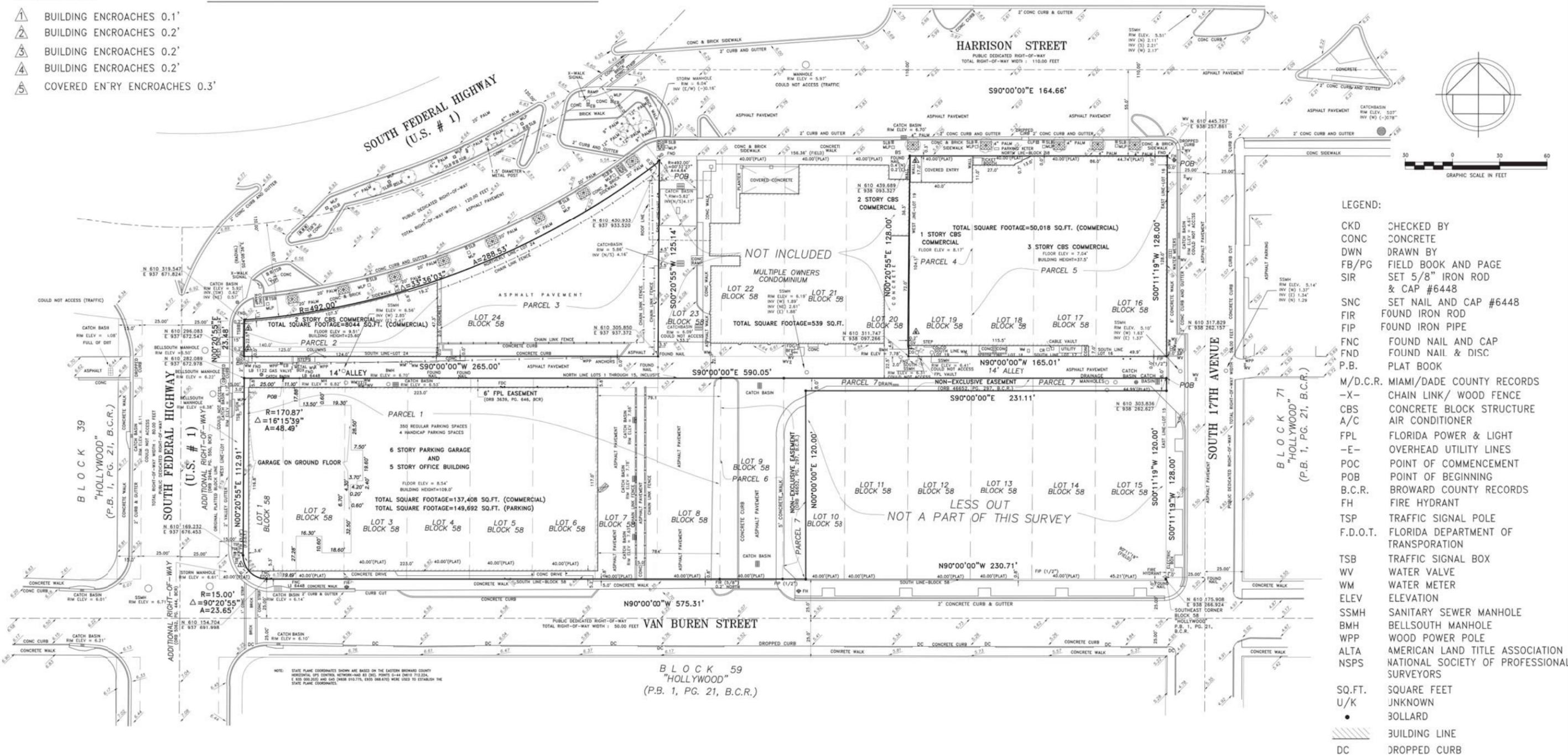
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ALTA/NSPS LAND TITLE SURVEY

ENCROACHMENTS

- BUILDING ENCROACHES 0.1'
- BUILDING ENCROACHES 0.2'
- BUILDING ENCROACHES 0.2'
- BUILDING ENCROACHES 0.2'
- COVERED ENTRY ENCROACHES 0.3'



- LEGEND:**
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET 5/8" IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - M/D.C.R. MIAMI/DADE COUNTY RECORDS
 - X- CHAIN LINK/ WOOD FENCE
 - CBS CONCRETE BLOCK STRUCTURE
 - A/C AIR CONDITIONER
 - FPL FLORIDA POWER & LIGHT
 - E- OVERHEAD UTILITY LINES
 - POC POINT OF COMMENCEMENT
 - POB POINT OF BEGINNING
 - B.C.R. BROWARD COUNTY RECORDS
 - FH FIRE HYDRANT
 - TSP TRAFFIC SIGNAL POLE
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - TSB TRAFFIC SIGNAL BOX
 - WV WATER VALVE
 - WM WATER METER
 - ELEV ELEVATION
 - SSMH SANITARY SEWER MANHOLE
 - BMH BELLSOUTH MANHOLE
 - WPP WOOD POWER POLE
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
 - SQ.FT. SQUARE FEET
 - U/K UNKNOWN
 - BOLLARD
 - BUILDING LINE
 - DC DROPPED CURB

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	0.2 PCT
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

NET AREA			
PARCEL A	AREA =	75,500 SQ.FT.	/ 1.7332 ACRES
PARCEL B	AREA =	21,098 SQ.FT.	/ 0.4843 ACRES
PARCEL C	AREA =	15,693 SQ.FT.	/ 0.3606 ACRES
LESS OUT	=	27,709 SQ.FT.	/ 0.6361 ACRES
TOTAL NET AREA	=	84,582 SQ.FT.	/ 1.9419 ACRES
TOTAL GROSS AREA	=	141,083 SQ.FT.	/ 3.2388 ACRES

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7793

CLIENT :
MG3 HOLLYWOOD LLC

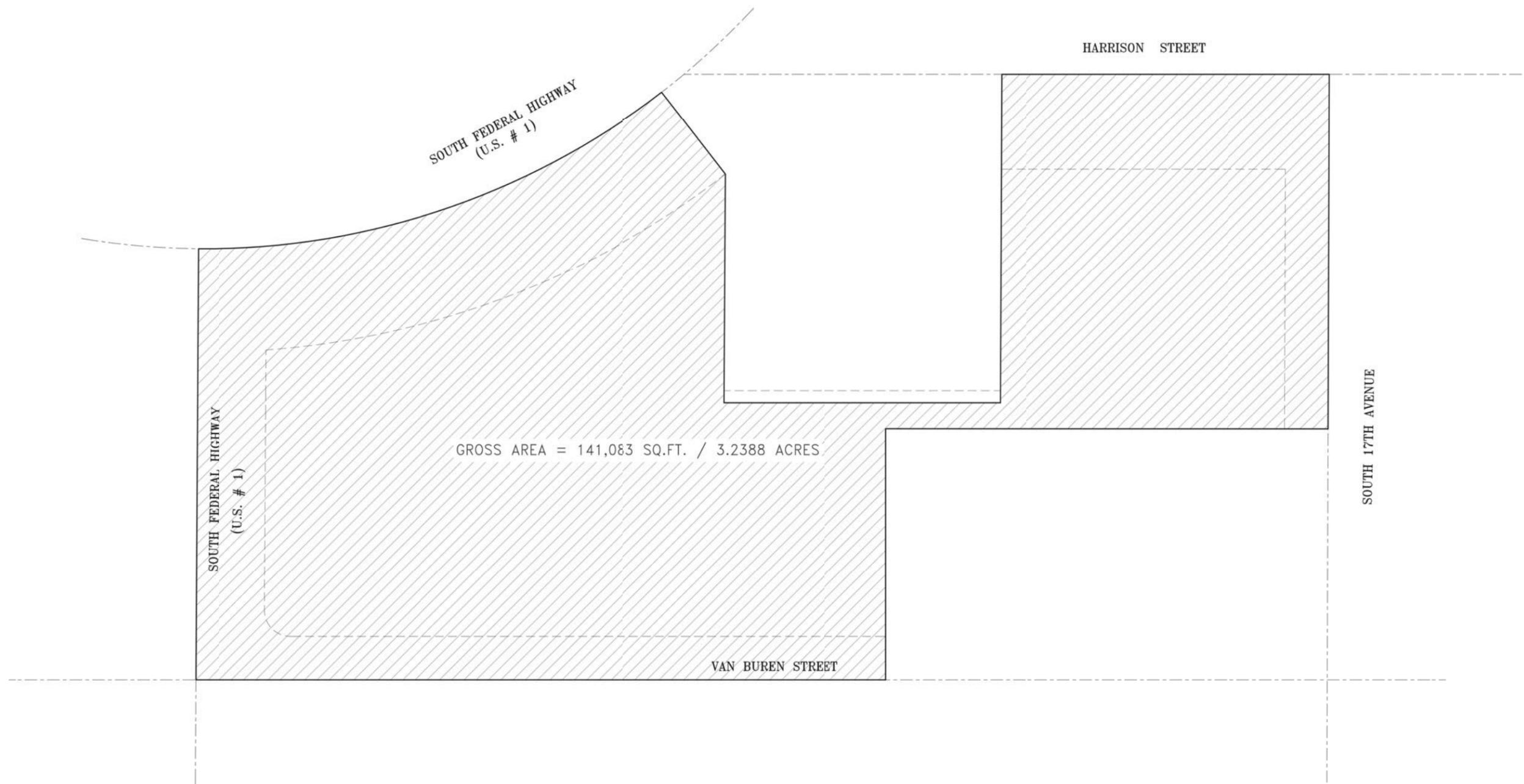
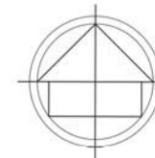
PARC PLACE
 PORTION OF BLOCK 58
 HOLLYWOOD, FLORIDA

REVISIONS	DATE	FB/PG	DWN	CKD
UPDATE SURVEY	01/30/13	SKETCH	AM	REC
UPDATE SURVEY	11/20/13	SKETCH	JD	REC
UPDATE SURVEY	08/27/14	SKETCH	REC	REC
REVISED ZONING INFORMATION	04/18/16	-----	REC	REC
ADDED TOTAL GROSS AREA	04/21/16	-----	AM	REC
UPDATE SURVEY	05/16/16	-----	AM	REC

REVISIONS	DATE	FB/PG	DWN	CKD
REVISED PER ATTORNEY'S COMMENTS	05/20/16	-----	AM	REC
REVISED PER UPDATED OWNER & ENCUMBRANCE SEARCH REPORT	06/07/16	-----	JD	REC
REVISED PER UPDATED OWNER & ENCUMBRANCE SEARCH REPORT	01/17/17	-----	JD	REC
ADDED SECTION, TOWNSHIP AND RANGE	08/11/17	-----	AC	REC

PROJECT NUMBER : 5418-05
 SCALE : 1" = 30'

SHEET
 2 OF 3
 SHEETS



REVISIONS				DATE	FB/PG	DWN	CKD
UPDATE SURVEY		01/30/13	SKETCH	AM	REC		
UPDATE SURVEY		11/20/13	SKETCH	JD	REC		
UPDATE SURVEY		08/27/14	SKETCH	REC	REC		
REVISED ZONING INFORMATION		04/18/16	-----	REC	REC		
ADDED TOTAL GROSS AREA		04/21/16	-----	AM	REC		
ADDED SECTION, TOWNSHIP AND RANGE		08/11/17	-----	AC	REC		

GENERAL NOTES:

- SEE ENLARGED PLANS FOR FURTHER DIMS AND NOTES.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL SIGNAGE UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- SEE CIVIL DRAWINGS FOR ON-STREET PARKING AND PAVING INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR SIDEWALK AND PLANTING INFORMATION.
- ALL BUILDING WILL COMPLY WITH NFPA 1, 11.10 TO MEET THE MINIMUM TW-WAY RADIO COMMUNICATION SIGNAL REQUIREMENTS.
- ALL SIGNAGE SHALL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

SITE LIGHTING NOTE:

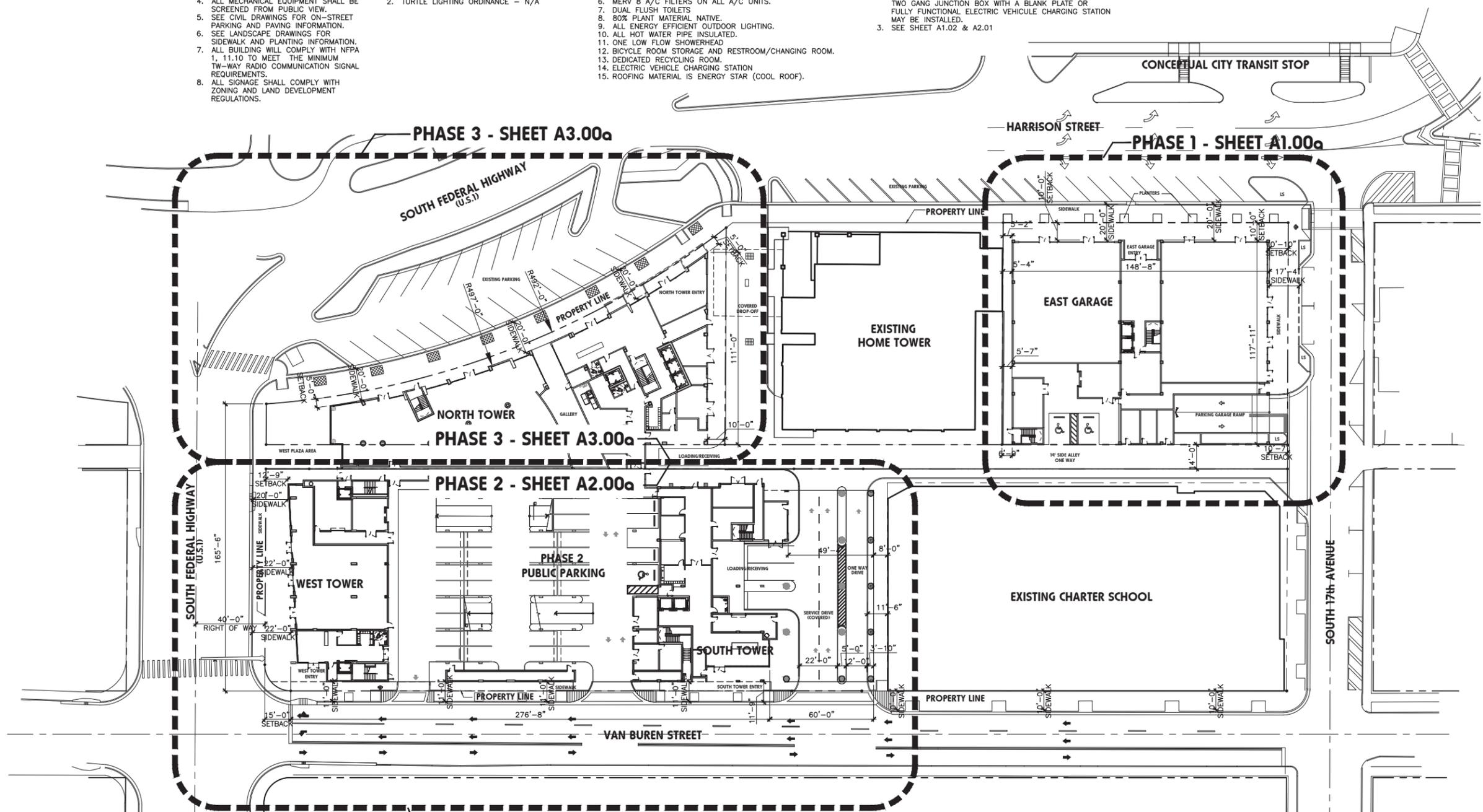
- SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREA. EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.
- TURTLE LIGHTING ORDINANCE - N/A

GREEN BUILDING PRACTICES:

- PROJECT TO ACHIEVE LEED CERTIFICATION OR GREEN GLOBE CERTIFICATION DOCUMENTATION WILL BE PROVIDED AT TIME OF BUILDING PERMIT.
- ENERGY EFFICIENT LOW E WINDOW
- DOORS: INSULATED AND FIRE RATED
- PROGRAMMABLE THERMOSTATS.
- ENERGY STAR APPLIANCES.
- MERV 8 A/C FILTERS ON ALL A/C UNITS.
- DUAL FLUSH TOILETS
- 80% PLANT MATERIAL NATIVE.
- ALL ENERGY EFFICIENT OUTDOOR LIGHTING.
- ALL HOT WATER PIPE INSULATED.
- ONE LOW FLOW SHOWERHEAD.
- BICYCLE ROOM STORAGE AND RESTROOM/CHANGING ROOM.
- DEDICATED RECYCLING ROOM.
- ELECTRIC VEHICLE CHARGING STATION
- ROOFING MATERIAL IS ENERGY STAR (COOL ROOF).

ELECTRIC VEHICLE CHARGING STATION:

- IN COMPLIANCE WITH CITY ORDINANCES, ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE IS PROVIDED AT BOTH GARAGES OF EAST TOWER AND SOUTH/WEST TOWER.
- MINIMALLY THE FOLLOWING SHALL BE INSTALLED:
EMPTY 3" RACEWAY FROM BRANCH CIRCUIT PANEL BOARD TO A LOCATION IN THE GARAGE OR PARKING AREA, WITH TWO GANG JUNCTION BOX WITH A BLANK PLATE OR FULLY FUNCTIONAL ELECTRIC VEHICLE CHARGING STATION MAY BE INSTALLED.
- SEE SHEET A1.02 & A2.01



Master Development Plan

SCALE: 1"=30'-0"

LEGAL DESCRIPTION

PARCEL 1:

LOTS 1 THROUGH 8, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT:

THE WEST 15 FEET OF LOT 1, WHICH WAS CONVEYED TO THE CITY OF HOLLYWOOD FOR ROAD PURPOSES BY QUIT-CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 2946, PAGE 550.

FURTHER LESS AND EXCEPT : ROAD RIGHT-OF-WAY FOR U.S. 1.

FURTHER LESS AND EXCEPT: THAT PART OF LOT 1, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15-FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF LOT 1 AND TANGENT TO A LINE WHICH IS 15 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 1. THIS PROPERTY WAS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 5062, PAGE 444.

PARCEL 2:

THE EAST 125.0 FEET OF THE WEST 140.0 FEET OF LOT 24, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

LOT 24, LESS THE WEST 140 FEET, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4:

LOT 19, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 5:

LOTS 16, 17 AND 18, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 6:

LOT 9, BLOCK 58 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 7:

LOTS 10, 11, 12, 13, 14 AND 15 BLOCK 58 OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM

A PORTION OF LOTS 10 THROUGH 15, INCLUSIVE, BLOCK 58 "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID BLOCK 58; THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF SAID BLOCK 58, A DISTANCE OF 230.71 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 120.00 FEET; THENCE SOUTH 90°00'00" EAST ALONG A LINE 8.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOTS 10 THROUGH 15, INCLUSIVE, A DISTANCE OF 231.11 FEET; THENCE SOUTH 00°11'19" WEST ALONG THE EAST LINE OF SAID BLOCK 58, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING.

modis architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 Florida Corp.
 t. 786.879.8882
 f. 786.350.1515
 AA#26001777
 e. MODIS@MODISarchitects.com

project info :

Parc Place
 Phase 1, 2 & 3
 Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

MASTER DEVELOPMENT PLAN

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

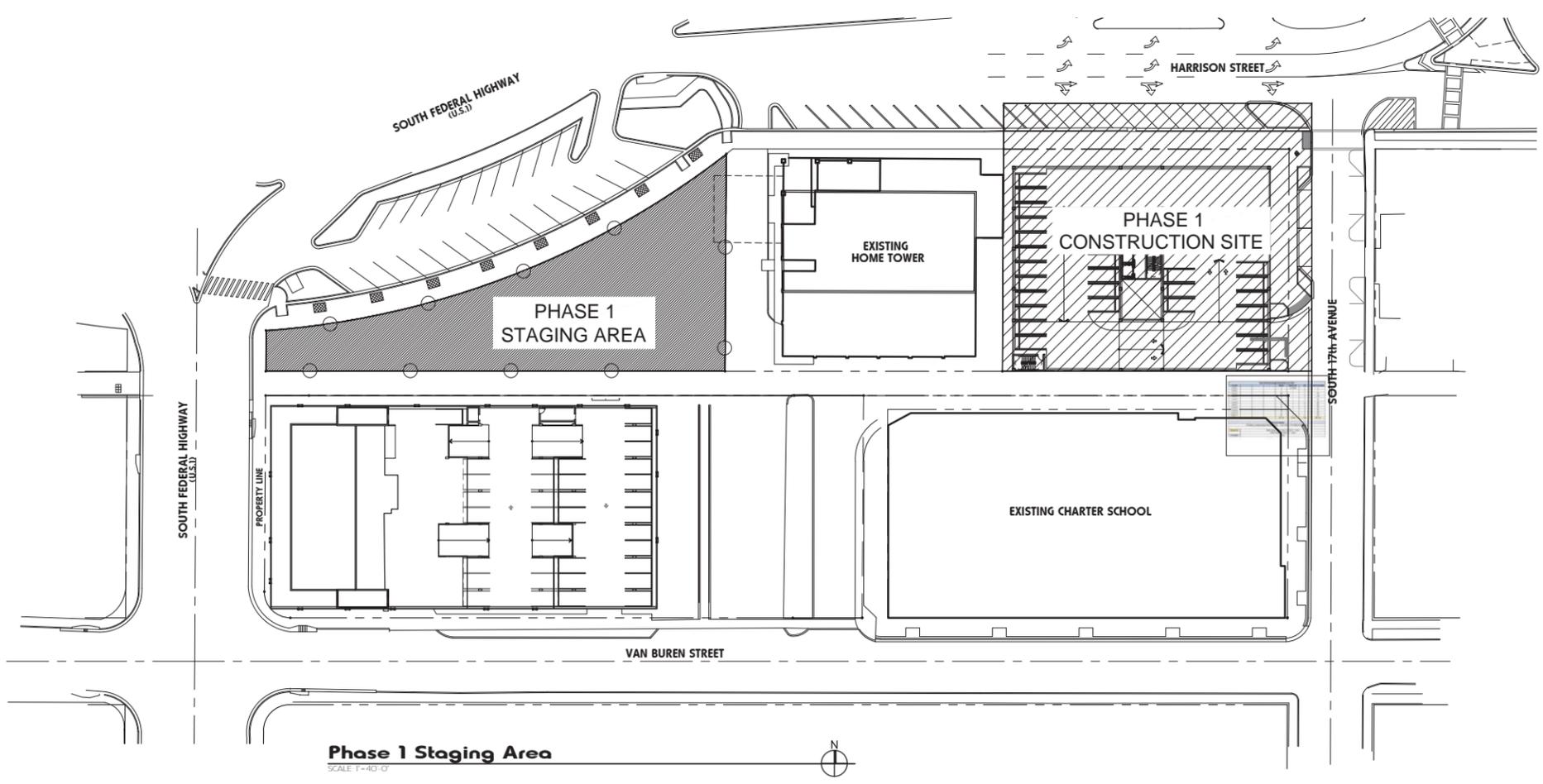
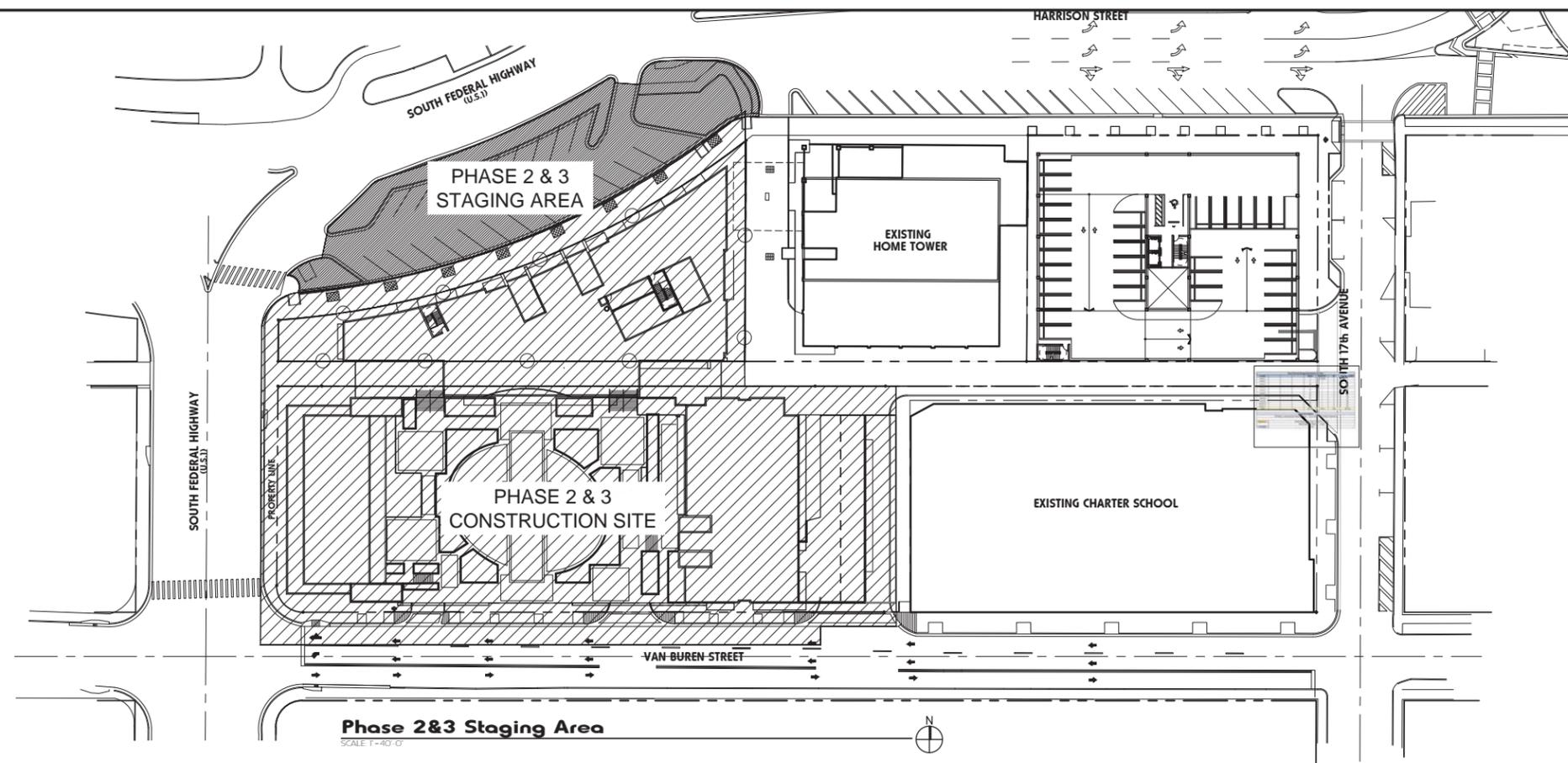
phase : Final TAC

sheet number : A0.02

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modis architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 Florida Corp.
 t. 786.879.8882
 f. 786.350.1515
 AA#26001777
 e. MODIS@MODISarchitects.com

project info :
Parc Place
Phase 1, 2 & 3
 Hollywood, Florida

seal :
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT # AR 93295

revisions :

drawing data :
CONSTRUCTION STAGING PLAN

project number : #15197
 drawing scale : As Shown
 drawing date : 04/26/2018
 phase : Final TAC
 sheet number : **A0.05**

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PHASE 1: EAST GARAGE PROJECT ANALYSIS

East Parking Garage SQ FT by Floor							
Unit Types							
		Non Leasable (cores, Elevator, stairs)	Garage		Retail	Open Atrium	Total
Level 1	0	1228	5814	0	9530	535	17107
Level 2	0	600	16396	0	0	535	17531
Level 3	0	600	16396	0	0	535	17531
Level 4	0	600	16396	0	0	535	17531
Level 5	0	600	16396	0	0	535	17531
Level 6	0	600	16396	0	0	535	17531
Level 7	0	600	16396	0	0	535	17531
Level 8	0	600	16396	0	0	535	17531
Level 9	0	600	16396	0	0	535	17531
Level 10	0	600	16396	0	0	535	17531
Level 11	0	600	16396	0	0	535	17531
Total	sf	7,228 sf	169,774 sf	sf	9,530 sf	5,885 sf	192,417 sf

East Parking Garage Breakdown by Floor							
Levels				Retail	Retail HC	EV	Total Provided
Level 1				0	2 (VAN)	0	2
Level 2				0	1	0	1
Level 3				35	1	2	38
Level 4				37	1	0	38
Level 5				37	1	0	38
Level 6				37	1	0	38
Level 7				37	1	0	38
Level 8				37	1	0	38
Level 9				37	1	0	38
Level 10				37	1	0	38
Level 11				43	1	0	44
Total				337 sp	12 sp	2 sp	351 sp

Required loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sf. = none Retail Space = 9,530 s.f. = none
Provided:	none



PHASE 1: PARC PLACE | EAST GARAGE

LOCATION MAP



modis architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 Florida Corp.
 t. 786.879.8882
 f. 786.350.1515
 AA#26001777
 e. MODIS@MODISarchitects.com

project info :

Parc Place
Phase 1
East Tower
 1700-1716 Harrison Street
 Hollywood, Florida

seal :

ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :

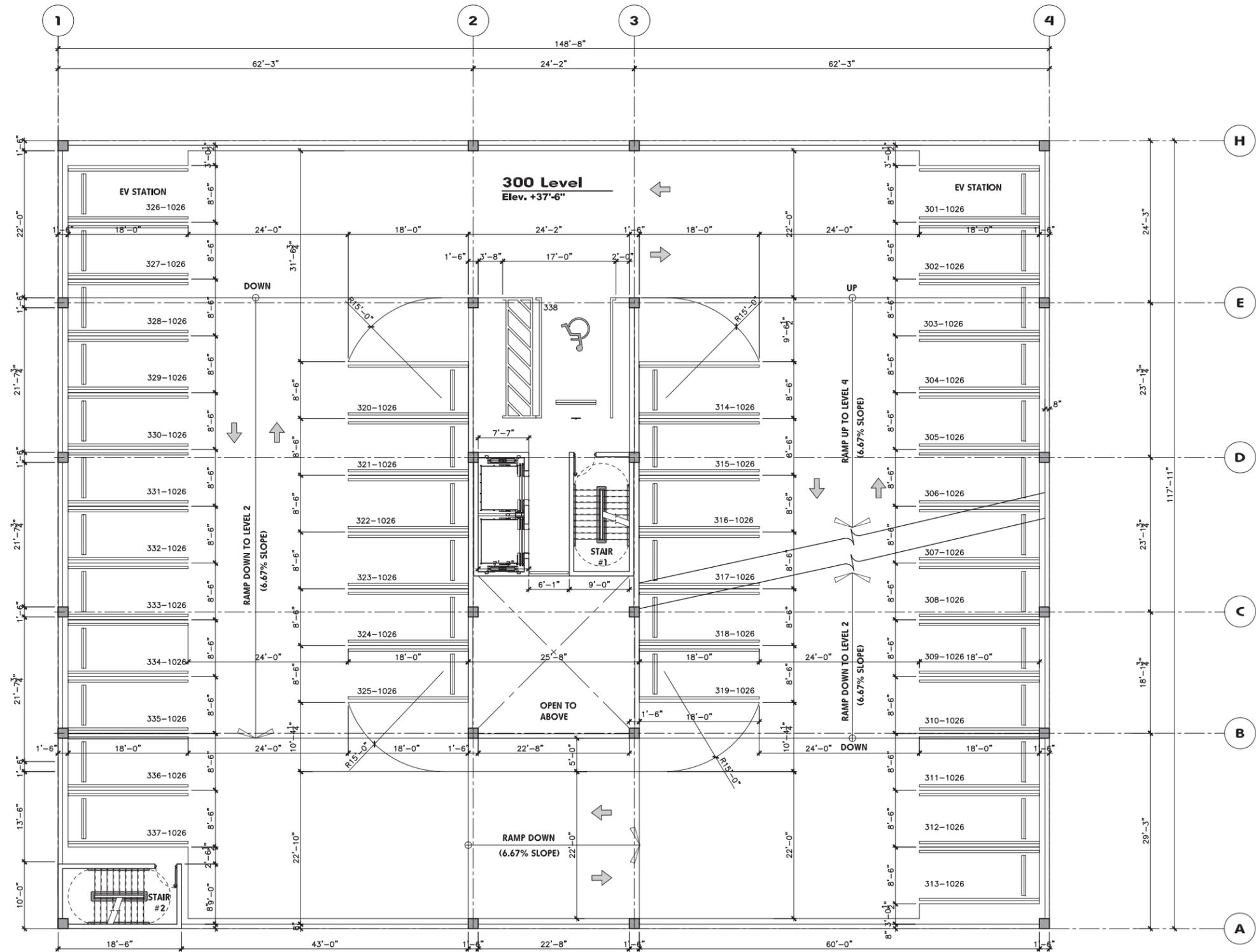
drawing data :

PHASE 1
LOCATION
PLAN

project number : #15197
drawing scale : As Shown
drawing date : 04/26/2018
phase : Final TAC
sheet number : **A1.00**

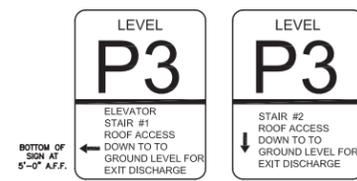
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Level 3 - 10 Floor Plan (P3 - P10 PARKING)

SCALE: 1/8"=1'-0"



Typical Wayfinding Signage

SCALE: n.t.s.

East Parking Garage Breakdown by Floor				
Levels	Retail	Retail HC	EV	Total Provided
Level 1	0	2 (VAN)	0	2
Level 2	0	1	0	1
Level 3	35	1	2	38
Level 4	37	1	0	38
Level 5	37	1	0	38
Level 6	37	1	0	38
Level 7	37	1	0	38
Level 8	37	1	0	38
Level 9	37	1	0	38
Level 10	37	1	0	38
Level 11	43	1	0	44
Total	337 sp	12 sp	2 sp	351 sp

Required loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sq. ft. = none Retail Space = 9,530 sq. ft. = none
Provided:	none

MODIS architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 t. 786.879.8882
 f. 786.350.1515
 e. MODIS@MODISarchitects.com
 AA#26001777

project info:

Parc Place
 Phase 1
 East Parking Garage
 1700-1716 Harrison Street
 Hollywood, Florida

seal:

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT #A 93295

revisions:

drawing data:

PHASE 1
EAST GARAGE
LEVEL 3-22

project number: #15197

drawing scale: As Shown

drawing date: 04/26/2018

phase: Final TAC

sheet number: **A1.03**

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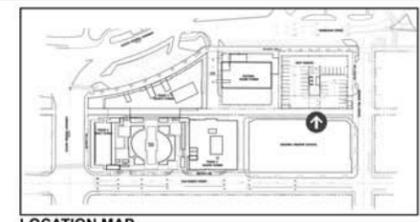
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- ELEV. = +124'-0"
T.O. PARAPET
- ELEV. = +111'-0"
T.O. SLAB - 11TH LEVEL
- ELEV. = +100'-6"
T.O. SLAB - 10TH LEVEL
- ELEV. = +90'-0"
T.O. SLAB - 9TH LEVEL
- ELEV. = +79'-6"
T.O. SLAB - 8TH LEVEL
- ELEV. = +69'-0"
T.O. SLAB - 7TH LEVEL
- ELEV. = +58'-6"
T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
T.O. SLAB - 5TH LEVEL
- ELEV. = +37'-6"
T.O. SLAB - 4TH LEVEL
- ELEV. = +27'-0"
T.O. SLAB - 3RD LEVEL
- ELEV. = +16'-6"
T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
T.O. SLAB - 1ST LEVEL



PHASE 1: SOUTH ELEVATION

NOTE:
ALL PROJECT SIGNAGE/ART DISPLAYS
WILL BE UNDER SEPARATE PERMIT
AND WILL MEET ZONING AND
LAND DEVELOPMENT REGULATIONS.



LOCATION MAP
N.T.S.

ELEVATION KEYNOTES:

- 1 Pure White SW 7005
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 2 Agreeable Gray SW 7029
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 3 Perle Noir SW 9154
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 4 CONCRETE EYEBROW
- 5 STUCCO SCORE LINE
- 6 METAL RAILING
- 7 CONCRETE EYEBROW

project info :

**Parc Place
Phase 1
EAST GARAGE**
1700-1716 Harrison Street
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

NO.	DESCRIPTION

drawing data :

**PHASE 1
EAST GARAGE
SOUTH
ELEVATION**

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

sheet number :

A1.06

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modis architects
4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
t. 786.879.8882
f. 786.350.1515
AA#26001777
e. MODIS@MODISarchitects.com

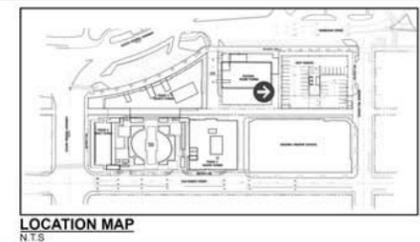
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- ELEV. = +124'-0"
T.O. PARAPET
- ELEV. = +111'-0"
T.O. SLAB - 11TH LEVEL
- ELEV. = +100'-6"
T.O. SLAB - 10TH LEVEL
- ELEV. = +90'-0"
T.O. SLAB - 9TH LEVEL
- ELEV. = +79'-6"
T.O. SLAB - 8TH LEVEL
- ELEV. = +69'-0"
T.O. SLAB - 7TH LEVEL
- ELEV. = +58'-6"
T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
T.O. SLAB - 5TH LEVEL
- ELEV. = +37'-6"
T.O. SLAB - 4TH LEVEL
- ELEV. = +27'-0"
T.O. SLAB - 3RD LEVEL
- ELEV. = +16'-6"
T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
T.O. SLAB - 1ST LEVEL



PHASE 1: WEST ELEVATION

NOTE:
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WILL BE UNDER SEPARATE PERMIT
AND WILL MEET ZONING AND
LAND DEVELOPMENT REGULATIONS.



ELEVATION KEYNOTES:

- 1 Pure White SW 7005
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 2 Agreeable Gray SW 7029
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 3 Perle Noir SW 9154
SHERWIN-WILLIAMS
Smooth Float Finish Stucco
- 4 CONCRETE EYEBROW
- 5 STUCCO SCORE LINE
- 6 Slab Travertine Wall Panels
3/28" Thick
- 7 ALUMINUM LOUVER WITH ESP FINISH

project info :

**Parc Place
Phase 1
EAST GARAGE**
1700-1716 Harrison Street
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

NO.	DESCRIPTION

drawing data :

**PHASE 1
EAST GARAGE
WEST
ELEVATION**

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

sheet number :

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modis architects
4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. e. MODIS@MODISarchitects.com
t. 786.879.8882
f. 786.350.1515
AA#26001777



1 PARC PLACE EAST GARAGE | VIEW SOUTH WEST FROM HARRISON AND 17TH STREET



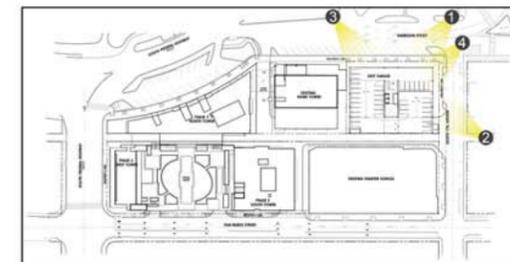
2 PARC PLACE EAST GARAGE | VIEW NORTH ALONG 17TH STREET



3 PARC PLACE EAST GARAGE | VIEW SOUTH ALONG HARRISON STREET



4 PARC PLACE EAST GARAGE | VIEW ALONG HARRISON STREET SIDEWALK



LOCATION MAP
N.T.S.



4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777
t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com

project info :

Parc Place
Phase 1
East Garage
1700-1716 Harrison Street
Hollywood, Florida

seal :

ROBERT K. MONNETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :

drawing data :

PHASE 1
EAST TOWER
RENDERINGS

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

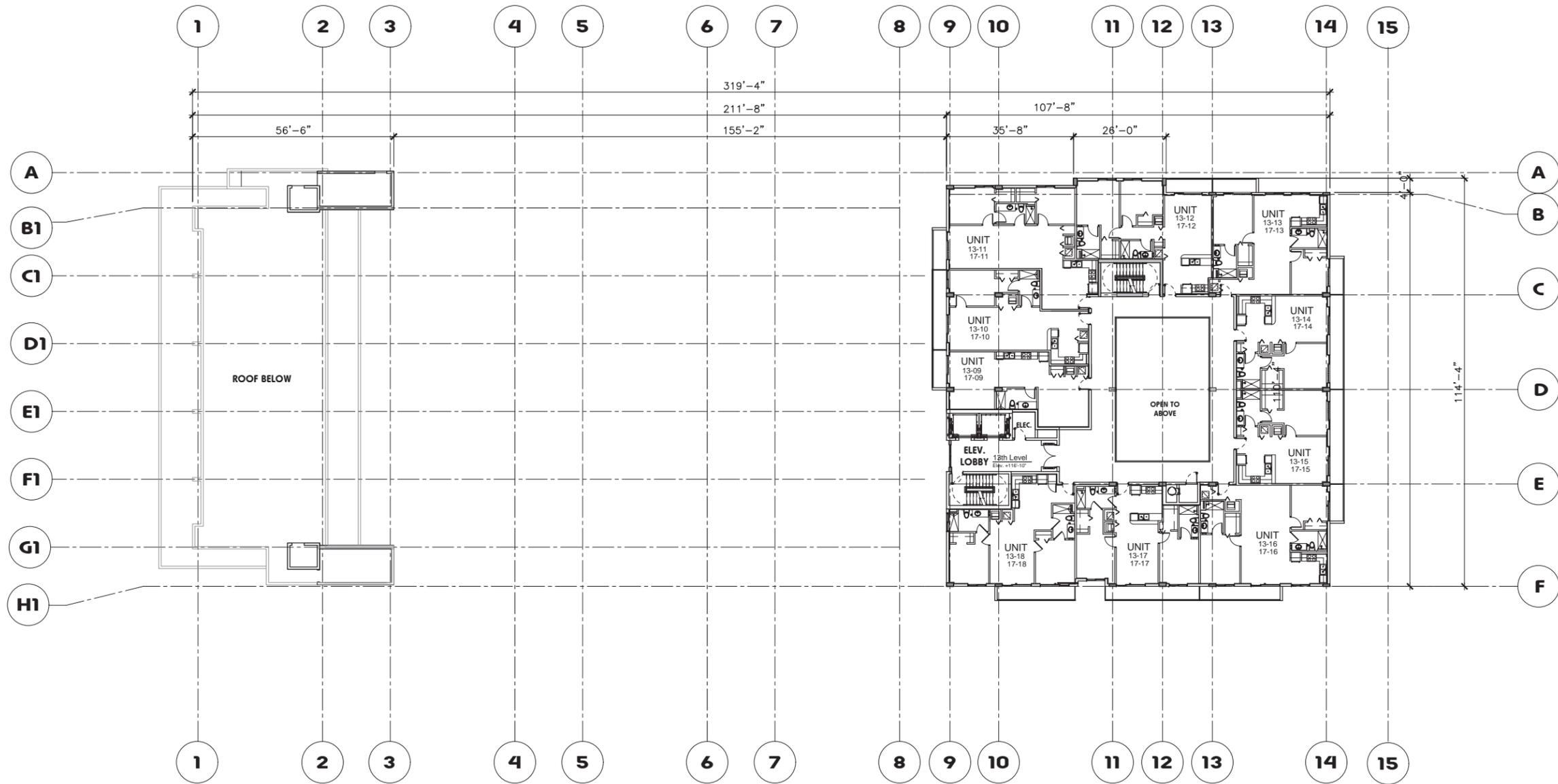
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Level 13-17 Floor Plan

SCALE: 1/16" = 1'-0"

7 DU.



modis architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 Florida Corp.
 e. MODIS@MODISarchitects.com
 t. 786.879.8882
 f. 786.350.1515
 AA#26001777

project info :
**Parc Place
 Phase 2
 South & West Towers**
 1727-1745 Van Buren St.
 Hollywood, Florida

seal :
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :
**PHASE 2
 SOUTH & WEST
 TOWER
 LEVELS 13-17**

project number : #15197
 drawing scale : As Shown
 drawing date : 01/30/2018
 phase : Final TAC
 sheet number : **A2.12**

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SOUTH TOWER HEIGHTS

ELEV. = +179'-2"	T.O. PARAPET
ELEV. = +168'-2"	T.O. SLAB - ROOF LEVEL
ELEV. = +158'-6"	T.O. SLAB - 17TH LEVEL
ELEV. = +148'-10"	T.O. SLAB - 16TH LEVEL
ELEV. = +139'-2"	T.O. SLAB - 15TH LEVEL
ELEV. = +129'-6"	T.O. SLAB - 14TH LEVEL
ELEV. = +119'-10"	T.O. SLAB - 13TH LEVEL
ELEV. = +110'-2"	T.O. SLAB - 12TH LEVEL
ELEV. = +100'-6"	T.O. SLAB - 11TH LEVEL
ELEV. = +90'-10"	T.O. SLAB - 10TH LEVEL
ELEV. = +81'-2"	T.O. SLAB - 9TH LEVEL
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL
ELEV. = +58'-10"	T.O. SLAB - 7TH LEVEL
ELEV. = +50'-0"	T.O. SLAB - 6TH LEVEL
ELEV. = +41'-2"	T.O. SLAB - 5TH LEVEL
ELEV. = +32'-4"	T.O. SLAB - 4TH LEVEL
ELEV. = +23'-6"	T.O. SLAB - 3RD LEVEL
ELEV. = +14'-8"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"	T.O. SLAB - GROUND LEVEL

WEST TOWER HEIGHTS

ELEV. = +128'-5"	T.O. PARAPET
ELEV. = +117'-6"	T.O. SLAB - ROOF LEVEL
ELEV. = +106'-0"	T.O. SLAB - 11TH LEVEL
ELEV. = +94'-6"	T.O. SLAB - 10TH LEVEL
ELEV. = +83'-0"	T.O. SLAB - 9TH LEVEL
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL
ELEV. = +59'-11"	T.O. SLAB - 7TH LEVEL
ELEV. = +48'-7"	T.O. SLAB - 6TH LEVEL
ELEV. = +39'-9"	T.O. SLAB - 5TH LEVEL
ELEV. = +30'-11"	T.O. SLAB - 4TH LEVEL
ELEV. = +22'-1"	T.O. SLAB - 3RD LEVEL
ELEV. = +13'-3"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-6"	T.O. SLAB - GROUND LEVEL

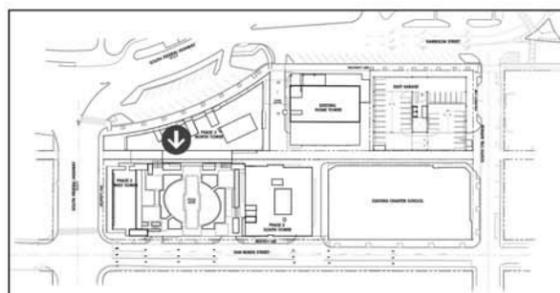


PHASE 2: SOUTH ELEVATION

ELEVATION KEYNOTES:

--	--	--	--	--	--	--	--	--	--	--	--

NOTE:
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LOCATION MAP
N.T.S.

modis architects
 4955 SW 75th Avenue
 Miami, Florida 33155
 Florida Corp. AA#26001777
 e. MODIS@MODISarchitects.com
 t. 786.879.8882
 f. 786.350.1515

project info :

Parc Place
Phase 2
South & West Towers
 1727-1745 Van Buren St.
 Hollywood, Florida

seal :

ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD-C, CDP
 FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :

drawing data :

PHASE 2
SOUTH-WEST
TOWER
SOUTH
ELEVATION

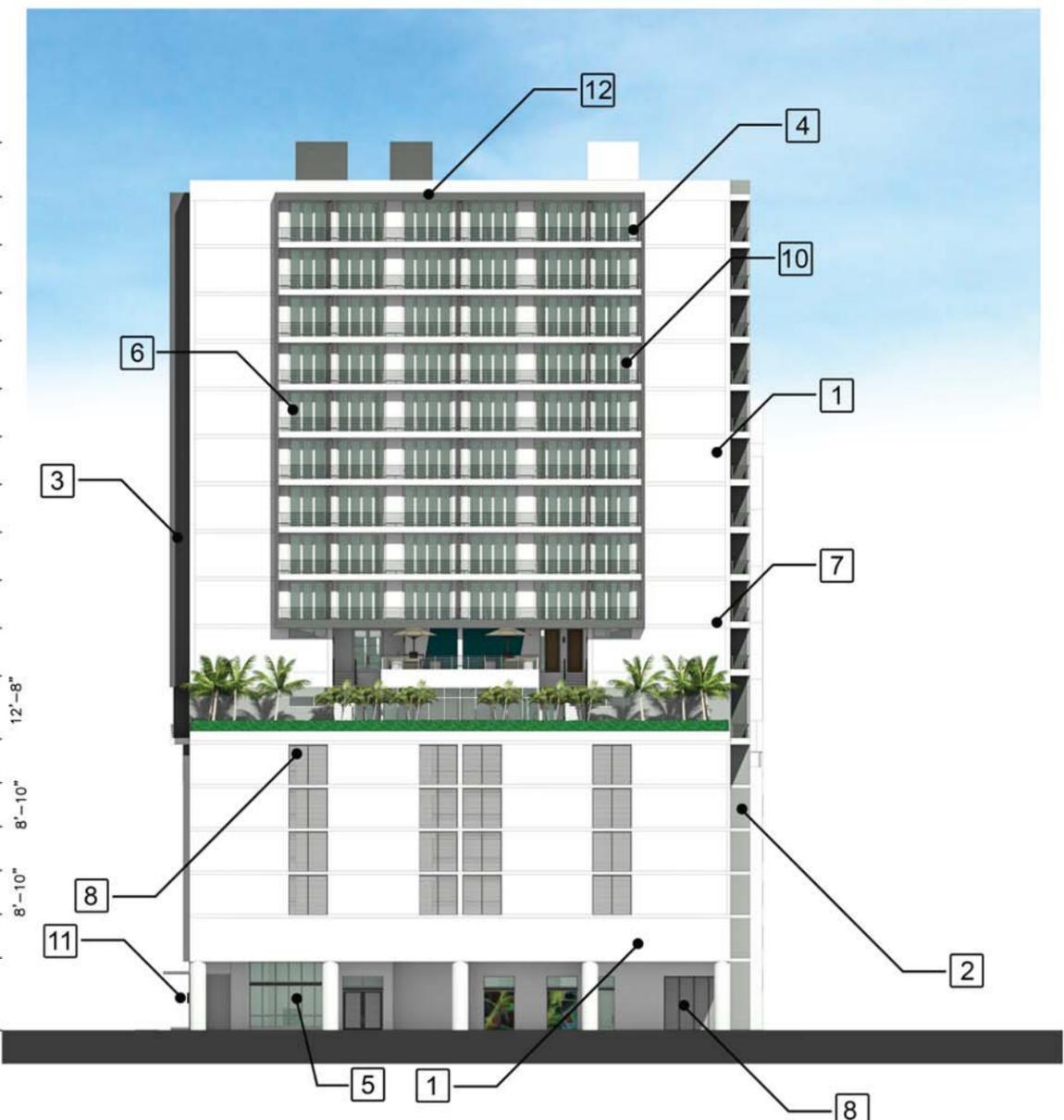
project number : #15197
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drawing date : 04/26/2018
phase : Final TAC
sheet number : **A2.19**

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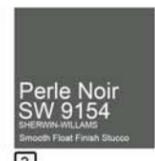
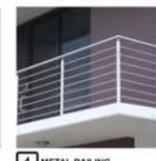
SOUTH TOWER HEIGHTS

ELEV. = +179'-2"	T.O. PARAPET	11'-0"
ELEV. = +168'-2"	T.O. SLAB - ROOF LEVEL	11'-11"
ELEV. = +158'-6"	T.O. SLAB - 17TH LEVEL	9'-8"
ELEV. = +148'-10"	T.O. SLAB - 16TH LEVEL	9'-8"
ELEV. = +139'-2"	T.O. SLAB - 15TH LEVEL	9'-8"
ELEV. = +129'-6"	T.O. SLAB - 14TH LEVEL	9'-8"
ELEV. = +119'-10"	T.O. SLAB - 13TH LEVEL	9'-8"
ELEV. = +110'-2"	T.O. SLAB - 12TH LEVEL	9'-8"
ELEV. = +100'-6"	T.O. SLAB - 11TH LEVEL	9'-8"
ELEV. = +90'-10"	T.O. SLAB - 10TH LEVEL	9'-8"
ELEV. = +81'-2"	T.O. SLAB - 9TH LEVEL	9'-8"
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL	12'-8"
ELEV. = +58'-10"	T.O. SLAB - 7TH LEVEL	8'-10"
ELEV. = +50'-0"	T.O. SLAB - 6TH LEVEL	8'-10"
ELEV. = +41'-2"	T.O. SLAB - 5TH LEVEL	8'-10"
ELEV. = +32'-4"	T.O. SLAB - 4TH LEVEL	8'-10"
ELEV. = +23'-6"	T.O. SLAB - 3RD LEVEL	8'-10"
ELEV. = +14'-8"	T.O. SLAB - 2ND LEVEL	14'-8"
ELEV. = +0'-0"	T.O. SLAB - GROUND LEVEL	

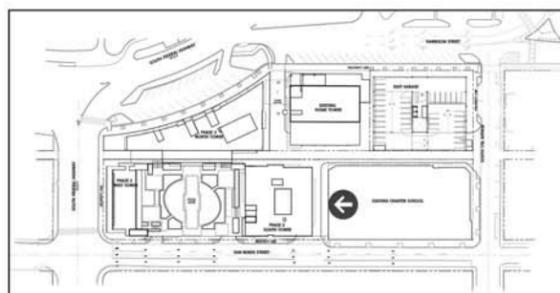


PHASE 2: EAST ELEVATION

ELEVATION KEYNOTES:

										
1	2	3	4	5	6	7	8	10	11	12

NOTE:
ALL PROJECT SIGNAGE/ART DISPLAYS
WILL BE UNDER SEPARATE PERMIT
AND WILL MEET ZONING AND
LAND DEVELOPMENT REGULATIONS.



LOCATION MAP
N.T.S.

modis architects
4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515

project info :

**Parc Place
Phase 2
South & West Towers**
1727-1745 Van Buren St.
Hollywood, Florida

seal :

ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CPF
FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :

drawing data :

**PHASE 2
SOUTH-WEST
TOWER
EAST
ELEVATION**

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

sheet number : **A2.20**

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1 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER EAST FACADE



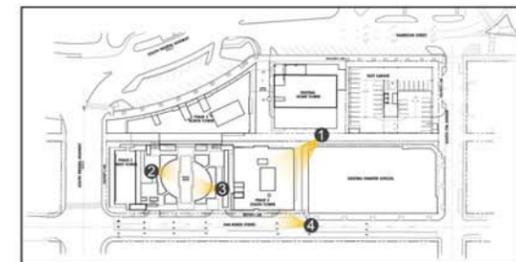
2 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER FROM POOL DECK



3 PARC PLACE SOUTH + WEST TOWERS | VIEW OF WEST TOWER FROM POOL DECK



4 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER ENTRANCE DROP OFF



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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PHASE 2
SOUTH-WEST
TOWER
RENDERINGS

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

sheet number : **A2.23**

