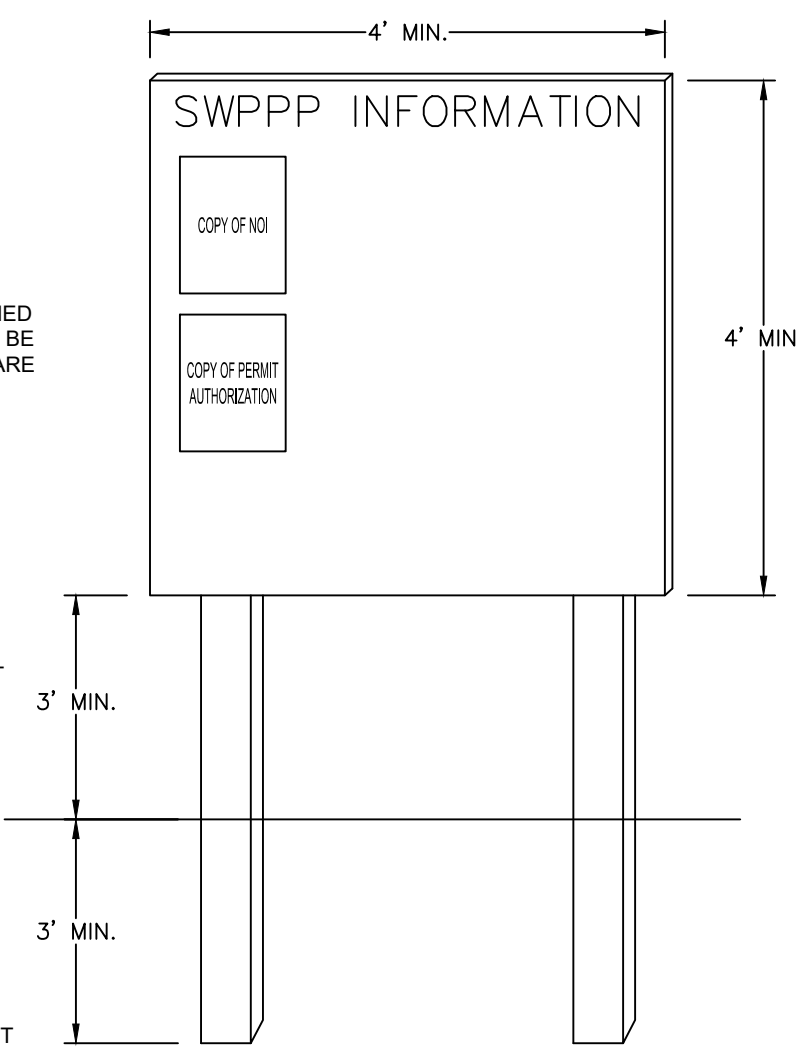


Pinned By: Schuler, Ryan - Sheet: Set: OAKWOOD PLAZA - Layout: C-102 EROSION CONTROL DETAILS - July 12, 2024 - 01:28:19pm - K:\VRB_IDEA\147507131-District House of Sports\CAD\Sheets\C-102 EROSION CONTROL DETAILS.dwg
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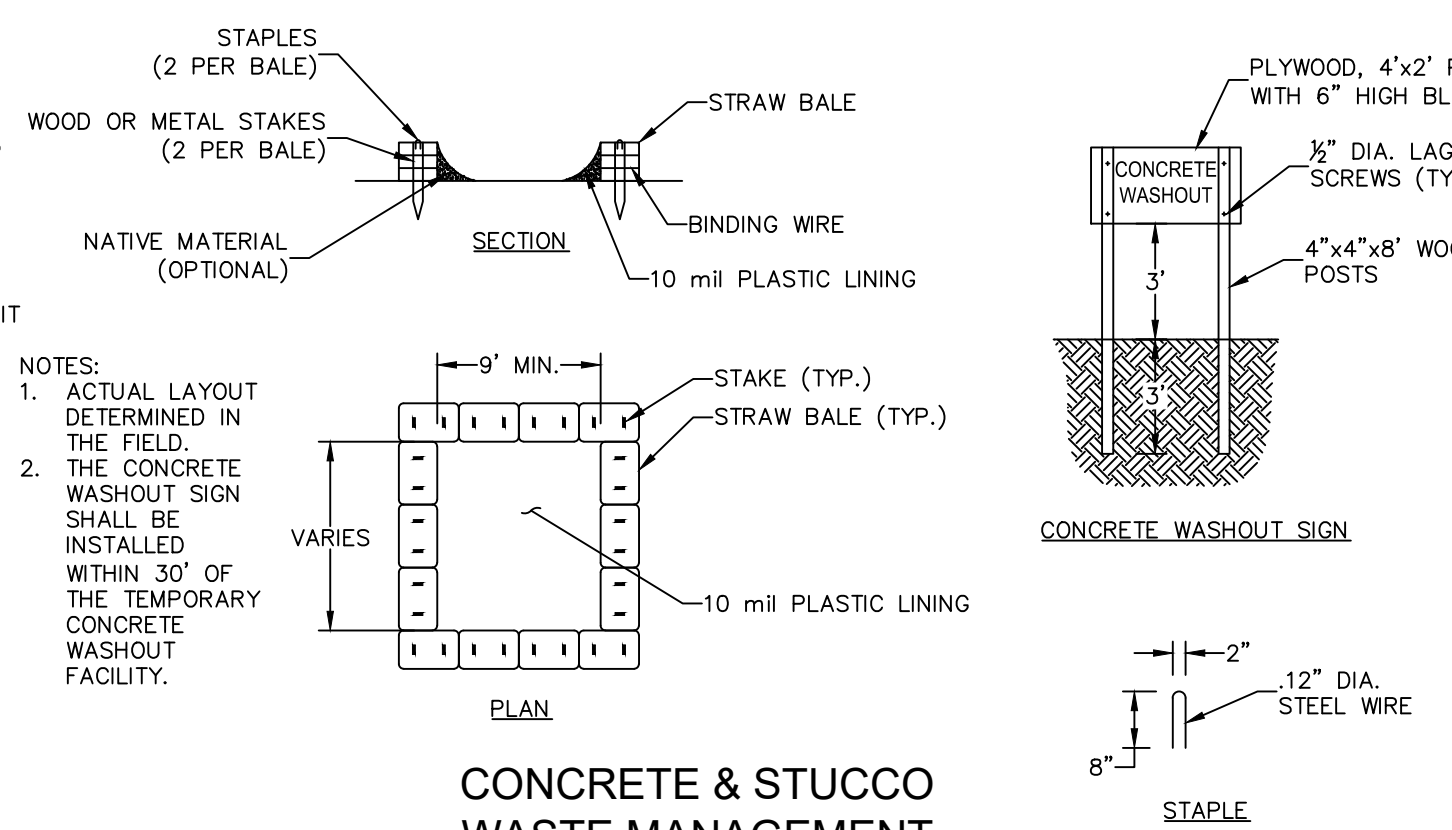
EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROL STRUCTURES. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN THE "FLORIDA EROSION AND SEDIMENT CONTROL MANUAL" AND COUNTY PERMITS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
18. NOI TO BE POSTED ON SITE.

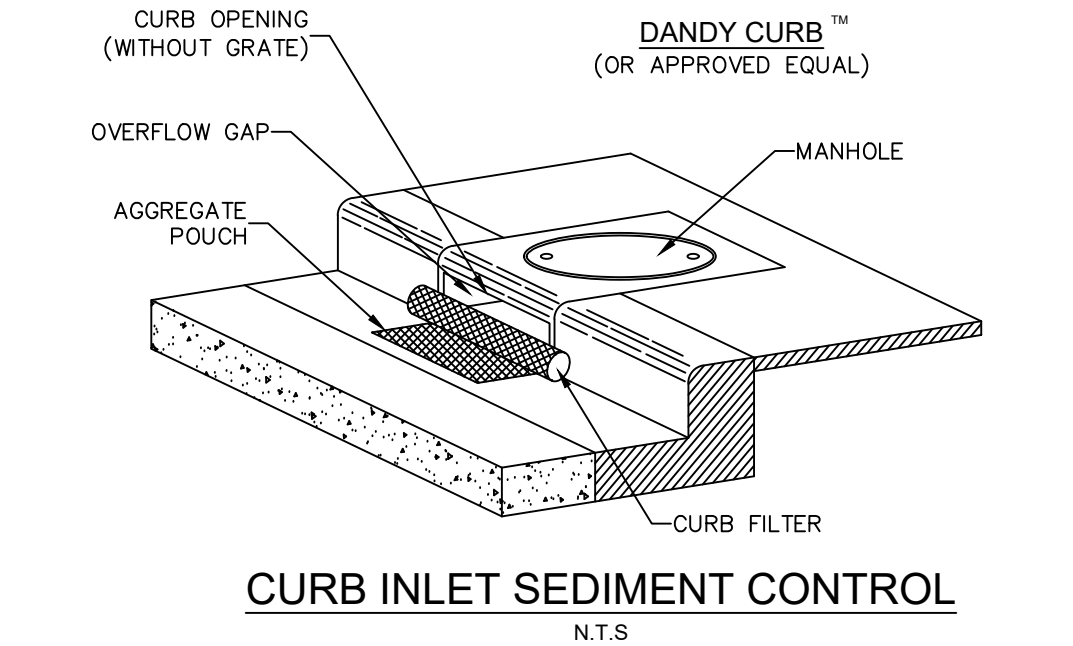
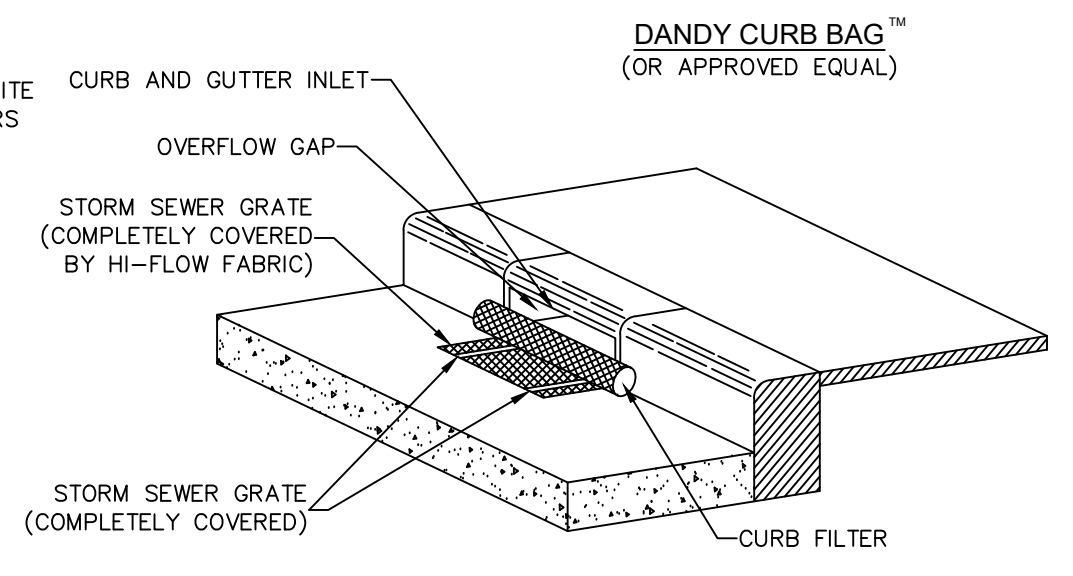


- NOTES:**
1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
 2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
 3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 5. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
 6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

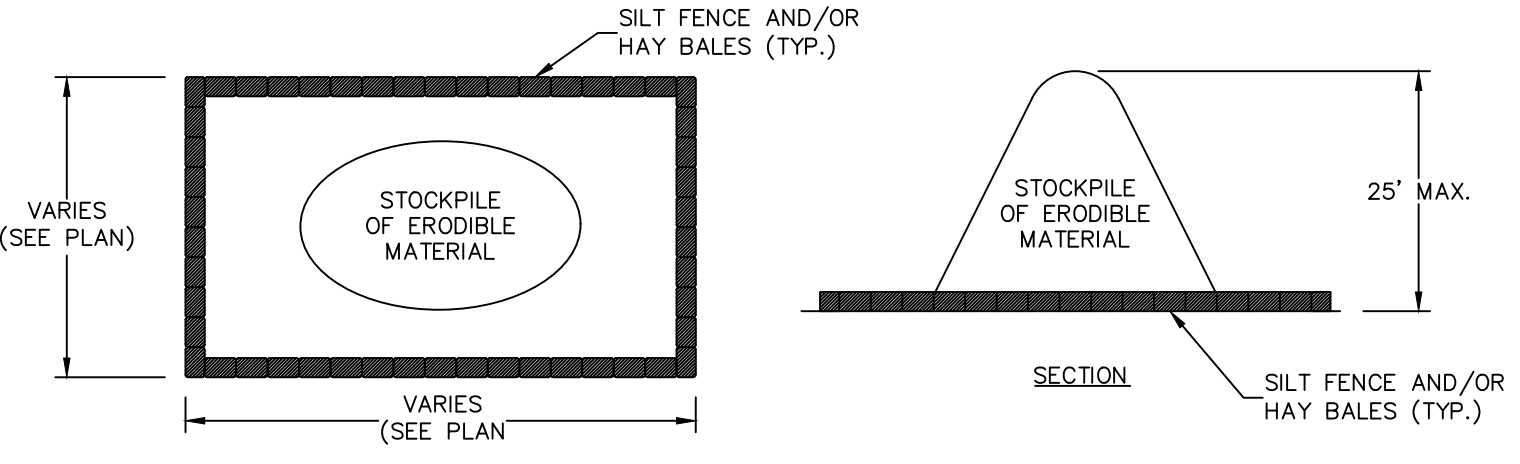
SWPPP INFORMATION SIGN
N.T.S.



CONCRETE & STUCCO WASTE MANAGEMENT
N.T.S.

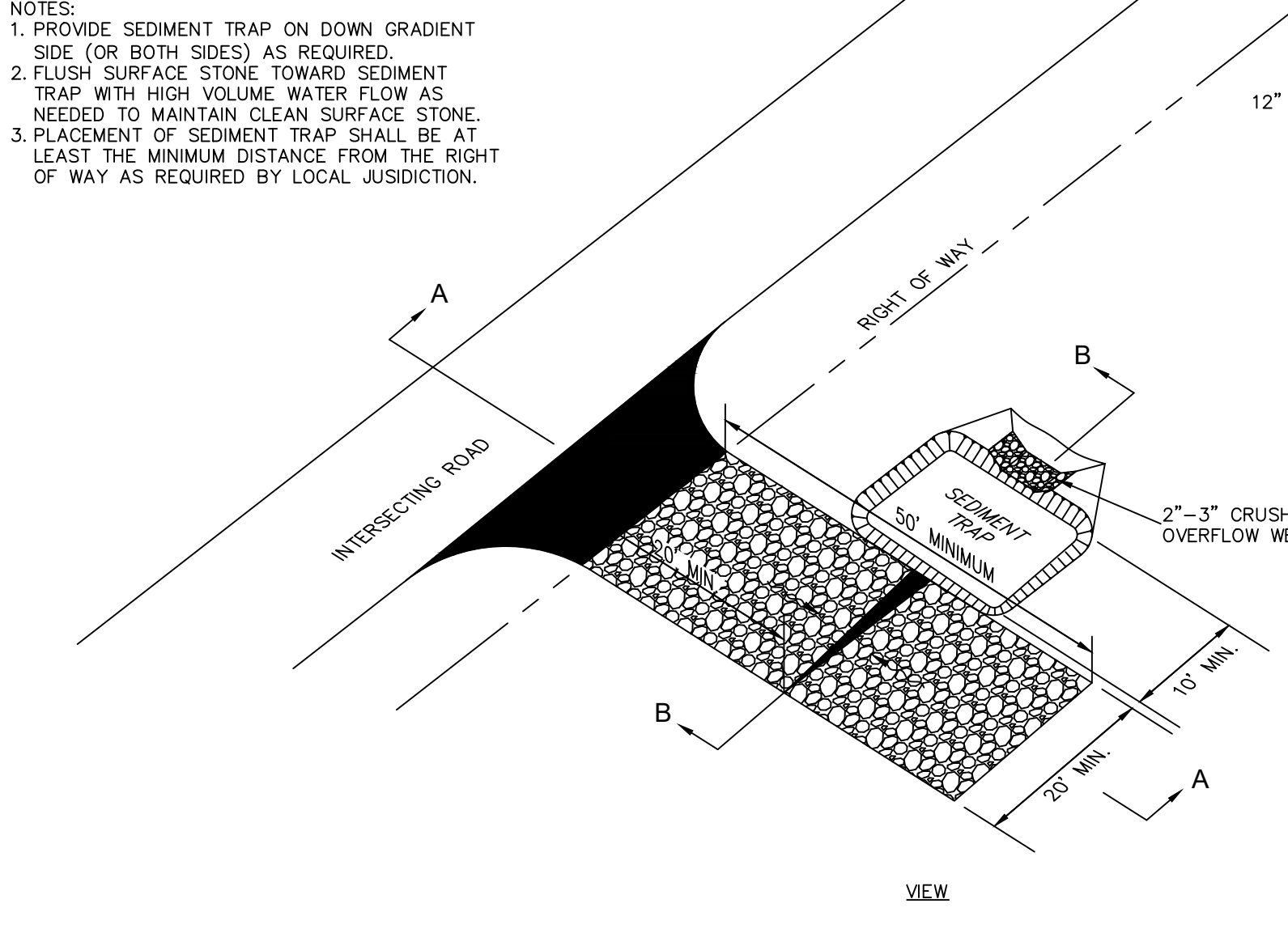


CURB INLET SEDIMENT CONTROL
N.T.S.

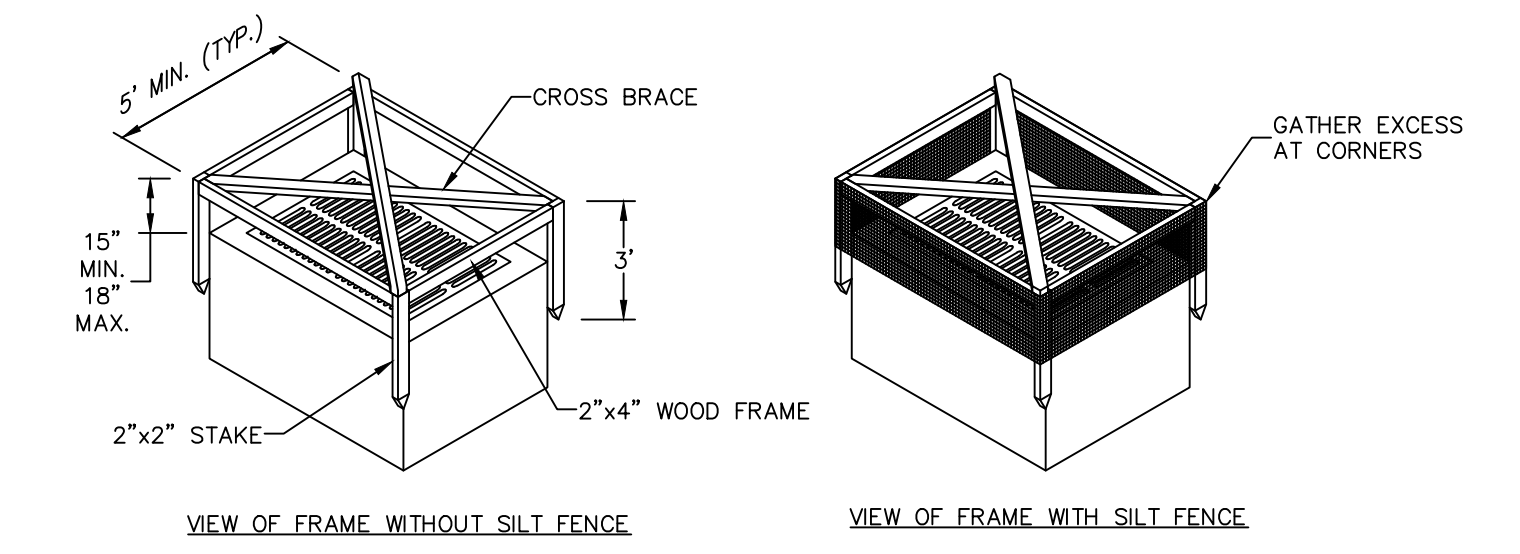


SEDIMENT CONTROL FOR STOCKPILING OF ERODIBLE MATERIAL
N.T.S.

- NOTES:**
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 3. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.

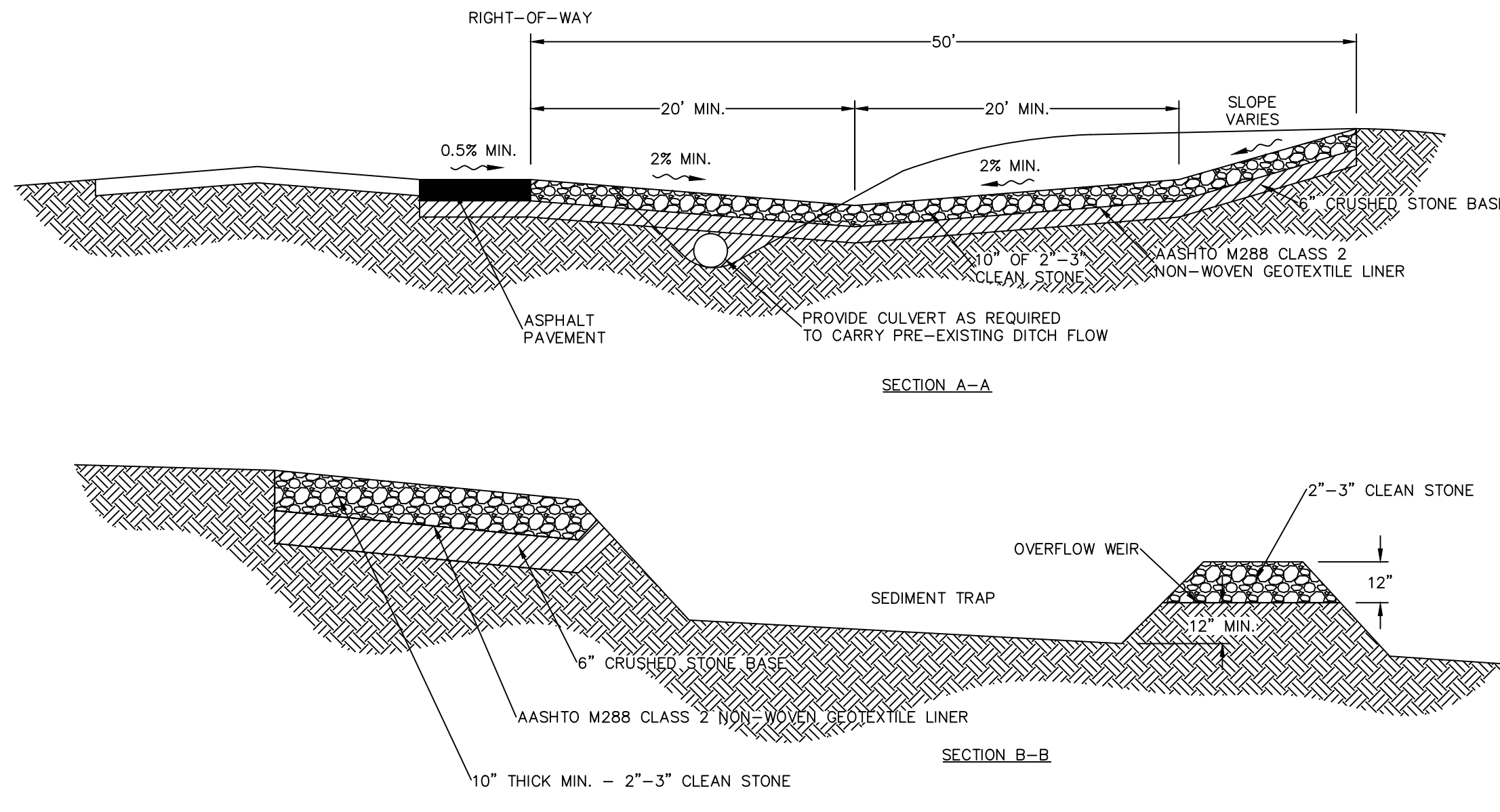


SILT FENCE INSTALLATION
N.T.S.

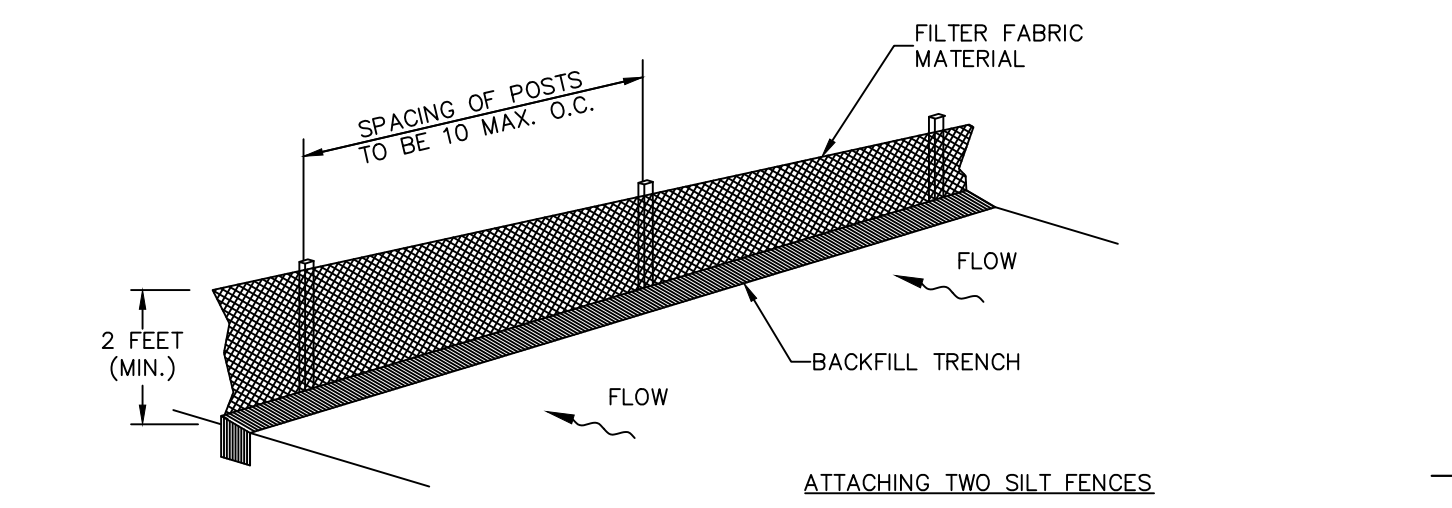


SILT FENCE INLET PROTECTION
N.T.S.

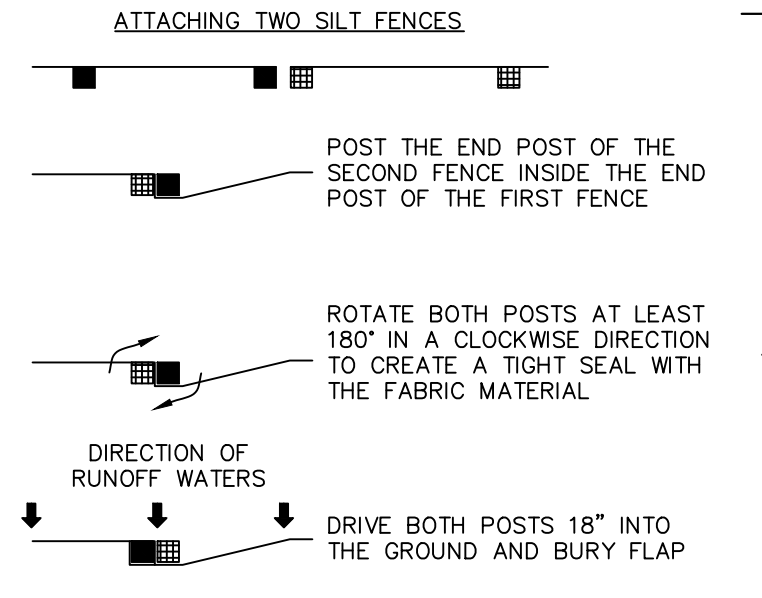
- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS.
 2. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
 3. THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS IS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.



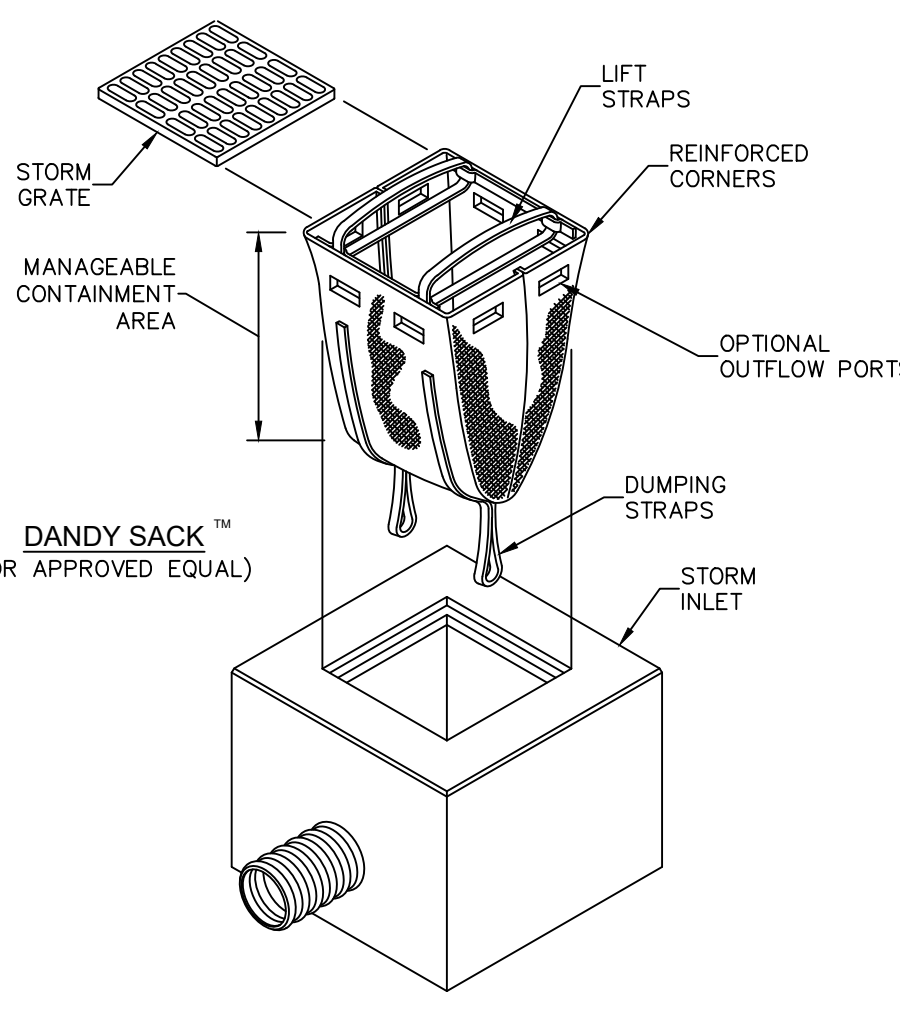
CONSTRUCTION EXIT
N.T.S.



RUMBLE PAD
N.T.S.



- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



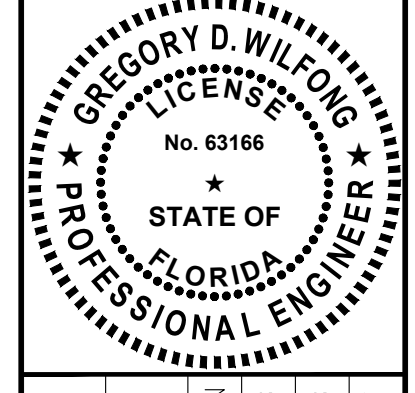
INLET INSERT
N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

- NOTES:**
1. FOR TEMPORARY USE TO CAPTURE LARGER DIAMETER SEDIMENTS.
 2. NOT TO BE UTILIZED AS THE ONLY SEDIMENT CONTAINMENT SYSTEM.
 3. AN OIL ADSORBENT PAD OR PILLOW CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN.
 4. INSPECT PER REGULATORY REQUIREMENTS.

NO.	REVISIONS	DATE	BY

Kimley»Horn
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 REGISTRY NO. 35106

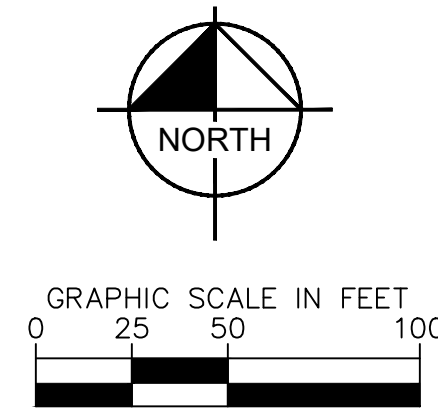


KVA PROJECT 147507131	DATE 07/15/2024
SCALE AS SHOWN	DESIGNED BY SHB
	DRAWN BY SHB
	CHECKED BY GDW

EROSION CONTROL DETAILS

OAKWOOD SOUTH RETAIL SHOPPING CENTER
CITY OF HOLLYWOOD

Plotted By: schultz, Ryan; Sheet: Set: OAKWOOD PLAZA; Layout: C-150; DEMOLITION PLAN; July 12, 2024; 01:29:40pm; K:\WEB_DEVA\147507151; Dicks House of Sports\CAD\PlanSheets\C-150; DEMOLITION PLAN.dwg
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UTILITY LEGEND	
	PROPERTY LINE
	UTILITY EASEMENT
	WATER MAIN (WM)
	SANITARY MAIN
	ELECTRIC
	GAS
	EXISTING STORM PIPE
	FDC
	90° BEND
	45° BEND
	22.5° BEND
	11.25° BEND
	TEE
	TRANSFORMER
	EXISTING SEWER MANHOLE
	PARKING LOT AREA TO BE DEMOLISHED AND CLEARED. DEMOLITION INCLUDES BUT IS NOT LIMITED TO PAVEMENT, SUBBASE, UTILITIES, STORM DRAINAGE, CONDUIT, LIGHT POLES, AND TREES UNLESS OTHERWISE SPECIFIED.

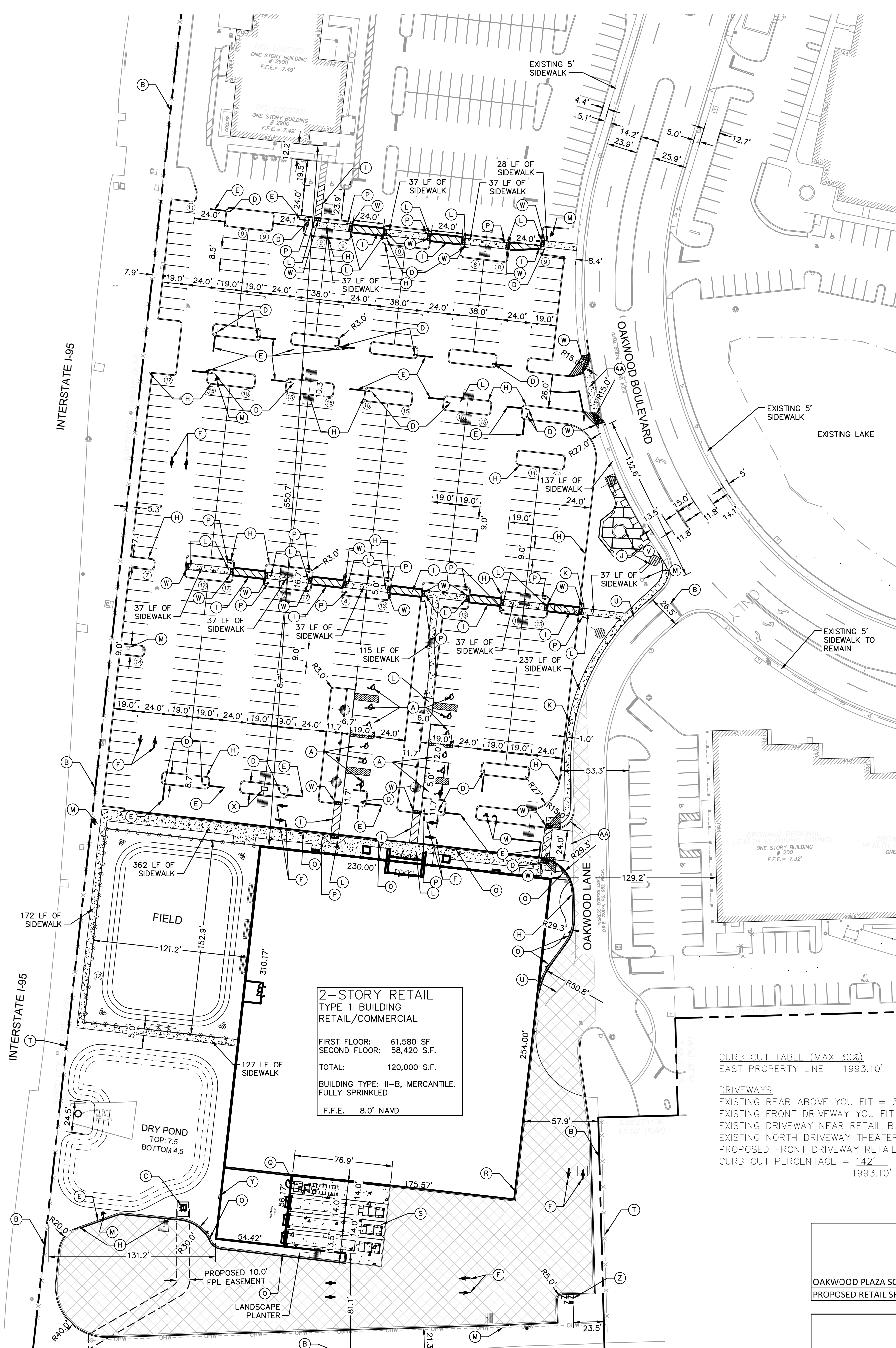
DEMOLITION NOTES:

- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 - THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
 - CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
 - ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
 - CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 - CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 - DE-WATERING SHOULD BE ANTICIPATED AND INCLUDED.
 - ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
 - WHERE REMAINING INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS.
 - SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
 - SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION.
 - SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
- (ALTERNATE NOTES)**
- INGRESS AND EGRESS, AS WELL AS SUFFICIENT PARKING SHALL BE MAINTAINED, TWENTY-FOUR HOURS A DAY, SEVEN DAYS A WEEK, THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLISHING ALL EXISTING IRRIGATION. THE CONTRACTOR SHALL ASSURE THAT THE INTEGRITY OF THE IRRIGATION SYSTEM FOR THE REMAINING DEVELOPMENT IS MAINTAINED.

	<p>GREGORY D. WILFONG No. 63166 STATE OF FLORIDA PROFESSIONAL ENGINEER</p>	<p>KHA PROJECT 147507151</p>	<p>DATE 07/15/2024</p>	<p>SCALE AS SHOWN</p>	<p>DESIGNED BY SHB</p>	<p>DRAWN BY SHB</p>	<p>CHECKED BY GDW</p>
	<p>OAKWOOD SOUTH RETAIL SHOPPING CENTER</p>		<p>DEMOLITION PLAN</p>		<p>CITY OF HOLLYWOOD FL</p>		
	<p>SHEET NUMBER C-150</p>		<p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p> <p>BY _____</p>				

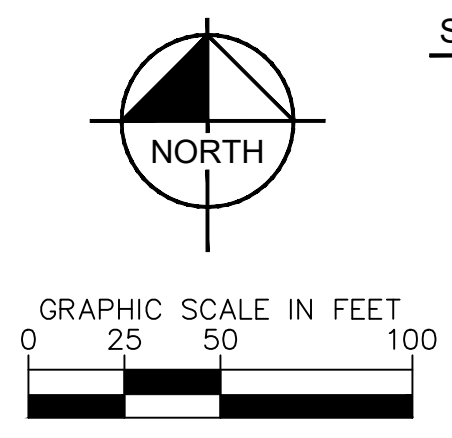
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Plotted By: Schultz, Ryan; Sheet: Oakwood Plaza - South; Date: July 13, 2024; 02:03:10pm; K:\VDRB_LDEVA\147507151-Discs_House of Sports\CAD\PlanSheets\C-200_Site Plan.dwg
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2-STORY RETAIL TYPE 1 BUILDING RETAIL/COMMERCIAL
 FIRST FLOOR: 61,580 S.F.
 SECOND FLOOR: 58,420 S.F.
 TOTAL: 120,000 S.F.
 BUILDING TYPE: II-B, MERCANTILE, FULLY SPRINKLED
 F.F.E. 8.0' NAVD

CURB CUT TABLE (MAX 30%)
 EAST PROPERTY LINE = 1993.10'
DRIVEWAYS
 EXISTING REAR ABOVE YOU FIT = 34'
 EXISTING FRONT DRIVEWAY YOU FIT = 24'
 EXISTING DRIVEWAY NEAR RETAIL BUILDING = 34'
 EXISTING NORTH DRIVEWAY THEATER = 26'
 PROPOSED FRONT DRIVEWAY RETAIL = 24'
 CURB CUT PERCENTAGE = $\frac{142'}{1993.10'} = 7.1\%$



- SITE LEGEND**
- (A) ACCESSIBLE PARKING SPACE (TYP.) (SEE SHEET C-201 FOR DETAIL WITH ADA SIGN)
 - (B) PROPERTY LINE
 - (C) CONCRETE TRANSFORMER PAD AND TRANSFORMER. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
 - (D) "STOP" SIGN (SEE SHEET C-201)
 - (E) STOP BAR (SEE SHEET C-201)
 - (F) PAINTED DIRECTIONAL ARROW (TYP.) (SEE SHEET C-201)
 - (G) EXISTING FREEWAY SIGN TO REMAIN
 - (H) 6" TYPE 'D' CURB (SEE SHEET C-202)
 - (I) INTERNAL PEDESTRIAN CROSSWALK WITH 12" WIDE WHITE STRIPING PERPENDICULAR TO DIRECTION OF TRAFFIC (SEE SHEET C-201)
 - (J) PROPOSED MONUMENT SIGN (SIZE WILL BE UP TO MAXIMUM ALLOWED BY CODE. DESIGN WILL BE SUBMITTED WITH PERMIT APPLICATION)
 - (K) STANDARD DUTY CONCRETE SIDEWALK (SEE SHEET C-201)
 - (L) ACCESSIBLE CURB RAMP (SEE SHEET C-202)
 - (M) PROPOSED OR EXISTING FIRE HYDRANTS
 - (N) FIRE LANE STRIPING (SEE SHEET C-201)
 - (O) "NO PARKING FIRE LANE" SIGN 60" O.C. (SEE SHEET C-201)
 - (P) PEDESTRIAN CROSSING SIGN (SEE SHEET C-201)
 - (Q) COMPACTOR (SEE SHEET C-201)
 - (R) WATER/FIRE EQUIPMENT
 - (S) LOADING DOCK (SEE ARCH PLANS)
 - (T) EXISTING FENCE TO REMAIN
 - (U) EXISTING ACCESS EASEMENT
 - (V) PEDESTRIAN PLAZA (SEE LANDSCAPING PLAN)
 - (W) PEDESTRIAN PLAZA (SEE LANDSCAPING PLAN)
 - (X) ELECTRIC VEHICLE STALLS (2 GANG JUNCTION BOX WITH BLANK PLATE)
 - (Y) GAS METER
 - (Z) WATER & FIRE EQUIPMENT
 - (AA) ASPHALT DRIVEWAY (SEE DETAILS)

NOTES:
 ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
SIGNAGE NOTE:
 ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

- MAIL DELIVERY NOTE**
MAIL DELIVERY WILL BE INSIDE STORE
- SITE LIGHTING CONFORMANCE NOTE**
THE LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).
- GREEN ORDINANCE NOTE**
FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.
- MECHANICAL EQUIPMENT NOTE**
ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.
- PHASING INFORMATION**
SITE WILL BE CONSTRUCTED WITH PAD FOR BUILDING. BUILDING WILL BE CONSTRUCTED AFTER SITE IS CLOSE TO COMPLETE AND SIGNED OFF.
- SITE PLAN APPROVAL NOTE**
CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- ADA NOTE**
ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

- LEGEND**
- PROPERTY LINE
 - == PROPOSED CURB
 - - - EXISTING EASEMENTS
 - STANDARD DUTY PAVEMENT
 - ▨ STANDARD CONCRETE
 - ▩ HEAVY DUTY CONCRETE
 - ▧ HEAVY DUTY ASPHALT
 - △ VISIBILITY TRIANGLE (12X12)
 - ADA DETECTABLE WARNING
 - PROPOSED LIGHT POLES

LEGAL DISCRPTION PARCEL 2:

(LUPA SOUTH):

A PARCEL OF LAND BEING A PORTION OF TRACT "E", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT "E", A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95; THENCE N.06°21'05"E., ALONG THE WEST LINE OF SAID TRACT "E" AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 1993.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL; THENCE N.88°32'24"E., ALONG THE NORTH LINE OF SAID TRACT "E", AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FEET TO THE NORTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL; THENCE S.11°34'01"W., ALONG SAID EAST LINE OF SAID TRACT "E" AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FEET; THENCE S.88°27'11"W., A DISTANCE OF 322.78 FEET; THENCE S.01°32'49"E., A DISTANCE OF 76.25 FEET; THENCE S.88°27'11"W., A DISTANCE OF 62.50 FEET; THENCE S.01°32'49"E., A DISTANCE OF 182.50 FEET TO THE POINT OF BEGINNING.

SITE DATA (WORK AREA)

PROJECT DESCRIPTION:
 PARCEL ID: 514204120620 & 514204120627
 LOCATION: HOLLYWOOD, FL
 ADDRESS: 2800 OAKWOOD BLVD HOLLYWOOD FL 33020
 LAND USE: OAKWOOD ACTIVITY CENTER
 ZONING DISTRICT: OAKWOOD PLAZA PD
 FLOOD ZONE: ZONE AE AND ZONE X
 SITE AREA:
 SITE COVERAGE: PROVIDED 1.71 A.C.
 BUILDING AREA: 1.54 A.C.
 OPEN SPACE: 5.06 A.C.
 IMPERVIOUS AREA: 8.20 A.C. 357,100 S.F.

BUILDING SETBACKS:

	REQUIRED	PROVIDED
EAST:	0	57.9'
SOUTH:	0	81.1'
WEST:	0	131.2'
NORTH:	0	N/A (INTERNAL PARCEL LINE)

LANDSCAPE BUFFERS:

	REQUIRED	PROVIDED
NORTH (FRONT):	0	0
EAST (SIDE):	0	1.0'
SOUTH (REAR):	0	21.3'
WEST (SIDE):	0	5.3'

BUILDING HEIGHT:

	MAXIMUM	PROVIDED
	300'	64'

BUILDING STORIES:

	MAXIMUM	PROVIDED
	30	2

PARKING SUMMARY:

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATIO PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING REMOVED WITH DEMOLITION (STALLS)	PARKING SURPLUS (STALLS)
OAKWOOD PLAZA SOUTH (CURRENT)	317,972	2,024	6.37	1,113	N/A	911
PROPOSED RETAIL SHOPPING CENTER	120,000	398	N/A	420	667	

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATIO PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING SURPLUS (STALLS)
OAKWOOD PLAZA SOUTH AT PROJECT COMPLETION	437,972	1,755	4.01	1,533	222

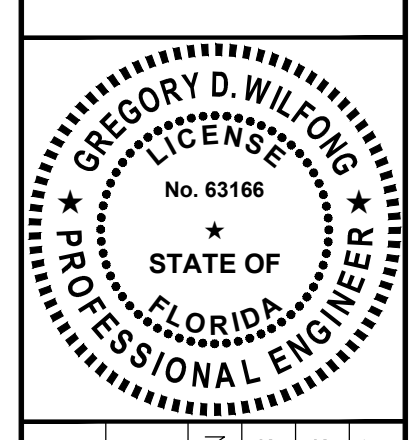
NOTE: OAKWOOD PLAZA PD GUIDELINES ALLOWS SHARED PARKING IN SHOPPING CENTER



ADA PATH
 1" = 100'

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 PHONE: 772-794-4100
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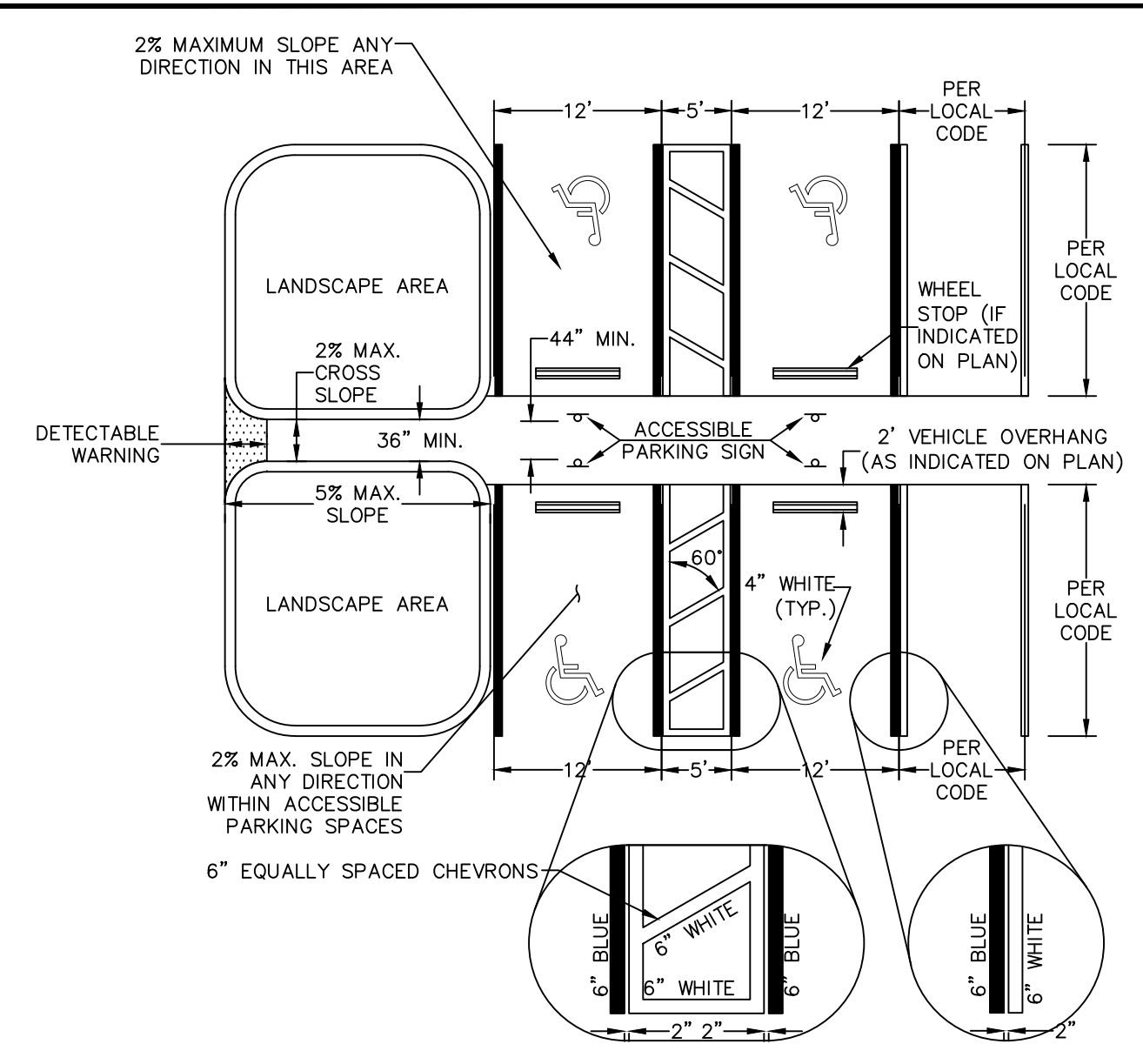
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
147507151	07/15/2024	AS SHOWN	SHB	SHB	GDW

SITE PLAN

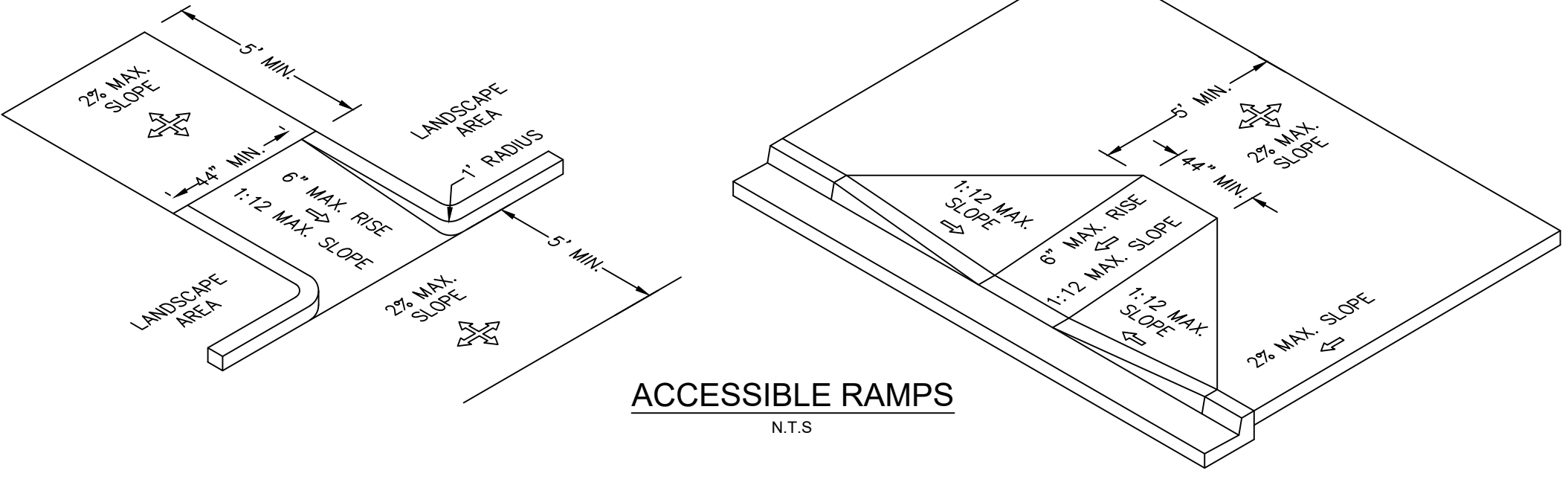
OAKWOOD SOUTH RETAIL SHOPPING CENTER
 CITY OF HOLLYWOOD, FL
 SHEET NUMBER
C-200

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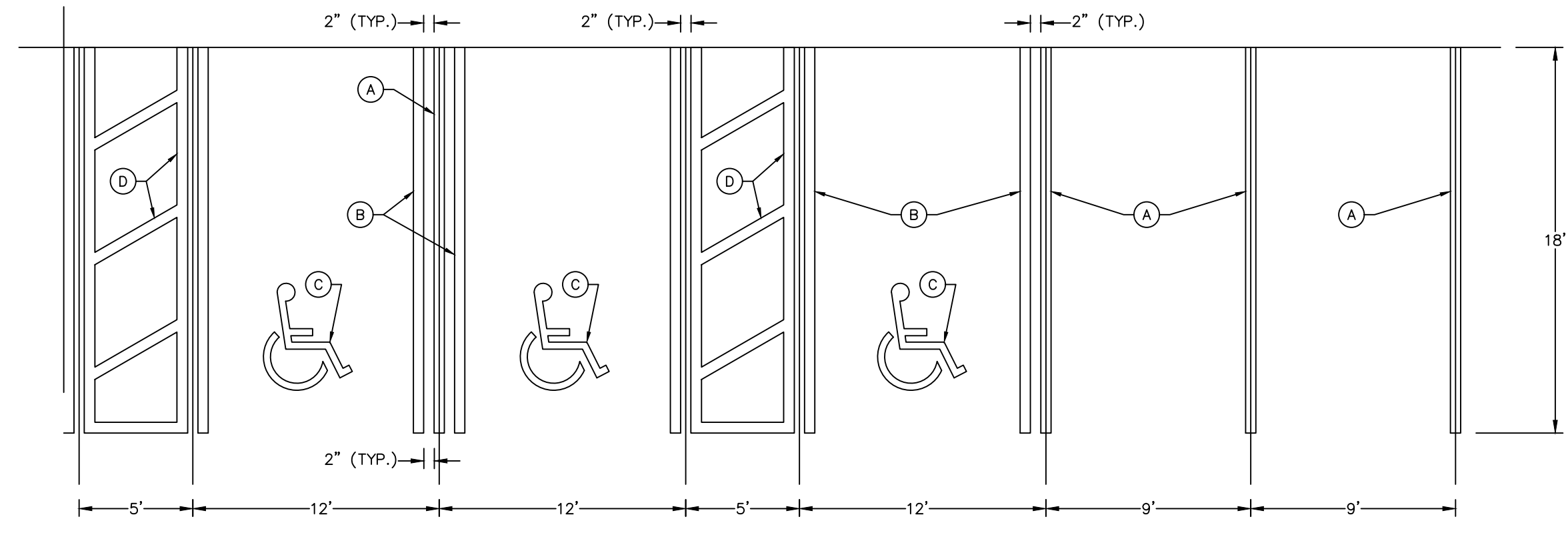
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PARKING STALL LAYOUT
N.T.S.

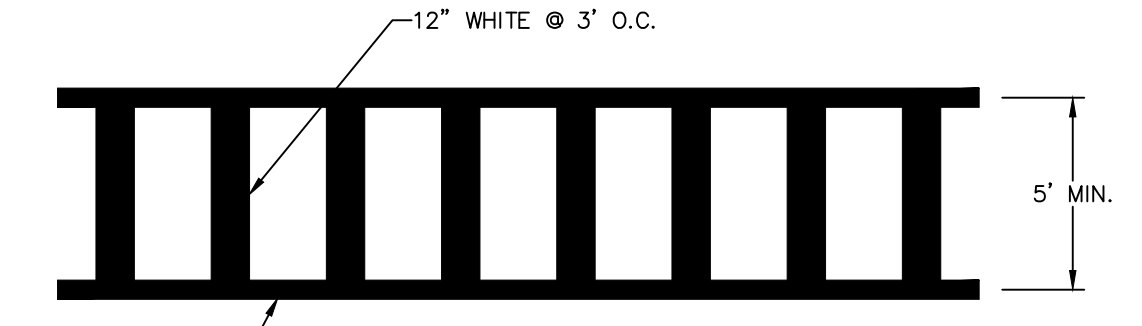


ACCESSIBLE RAMPS
N.T.S.



PARKING STALL STRIPING
N.T.S.

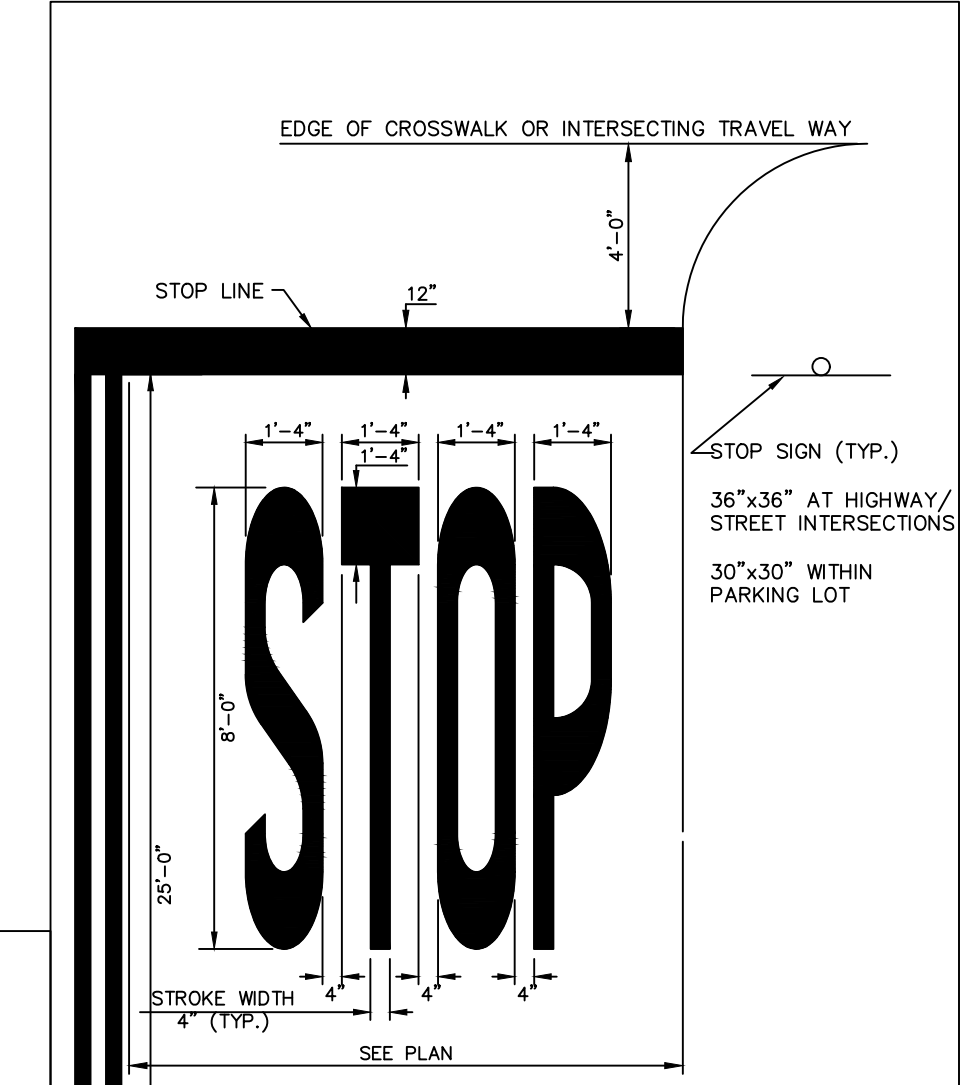
- A 6" WHITE
- B 6" BLUE
- C 4" WHITE
- D 6" WHITE @ 60" (EQUALLY SPACED)



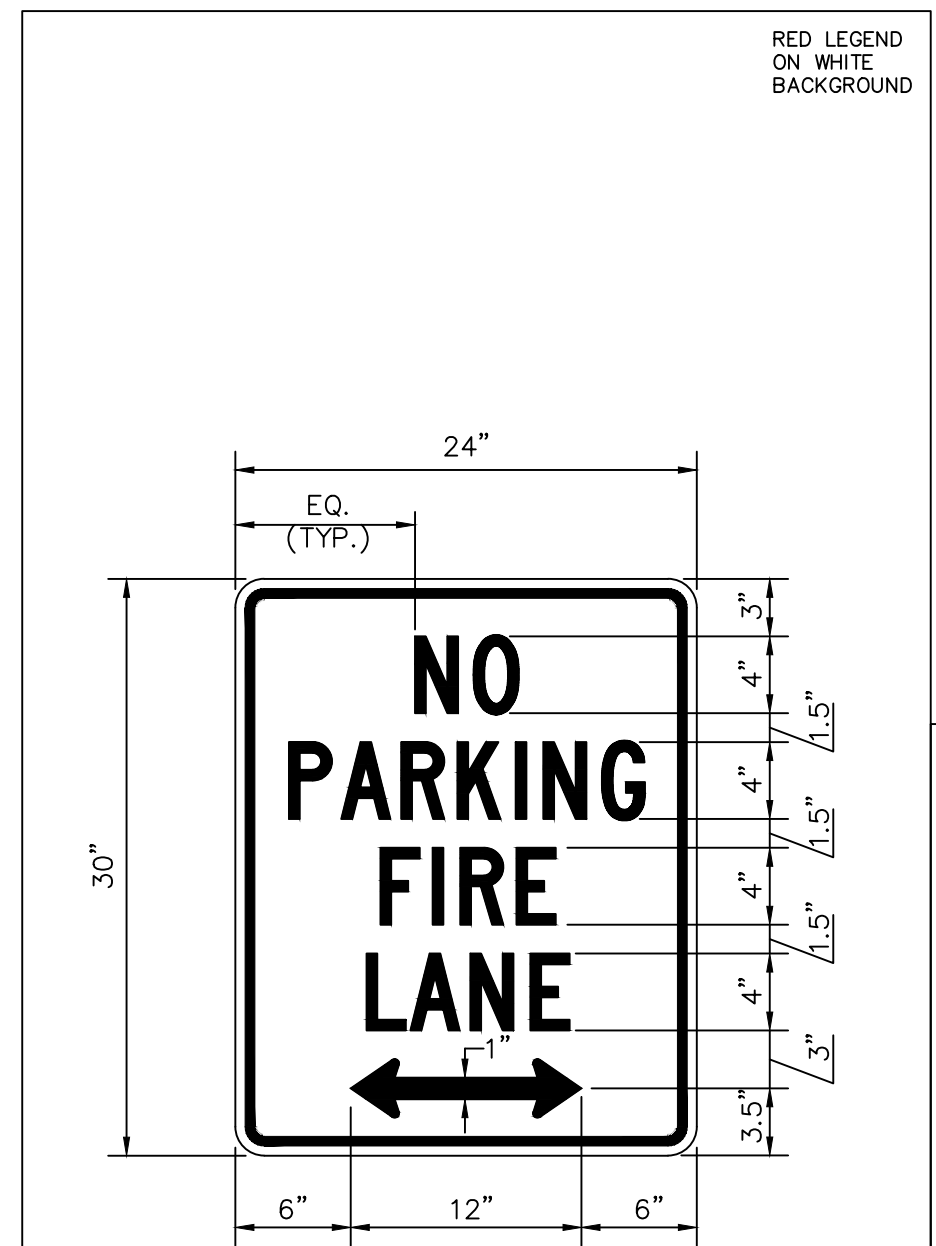
CROSSWALK
N.T.S.



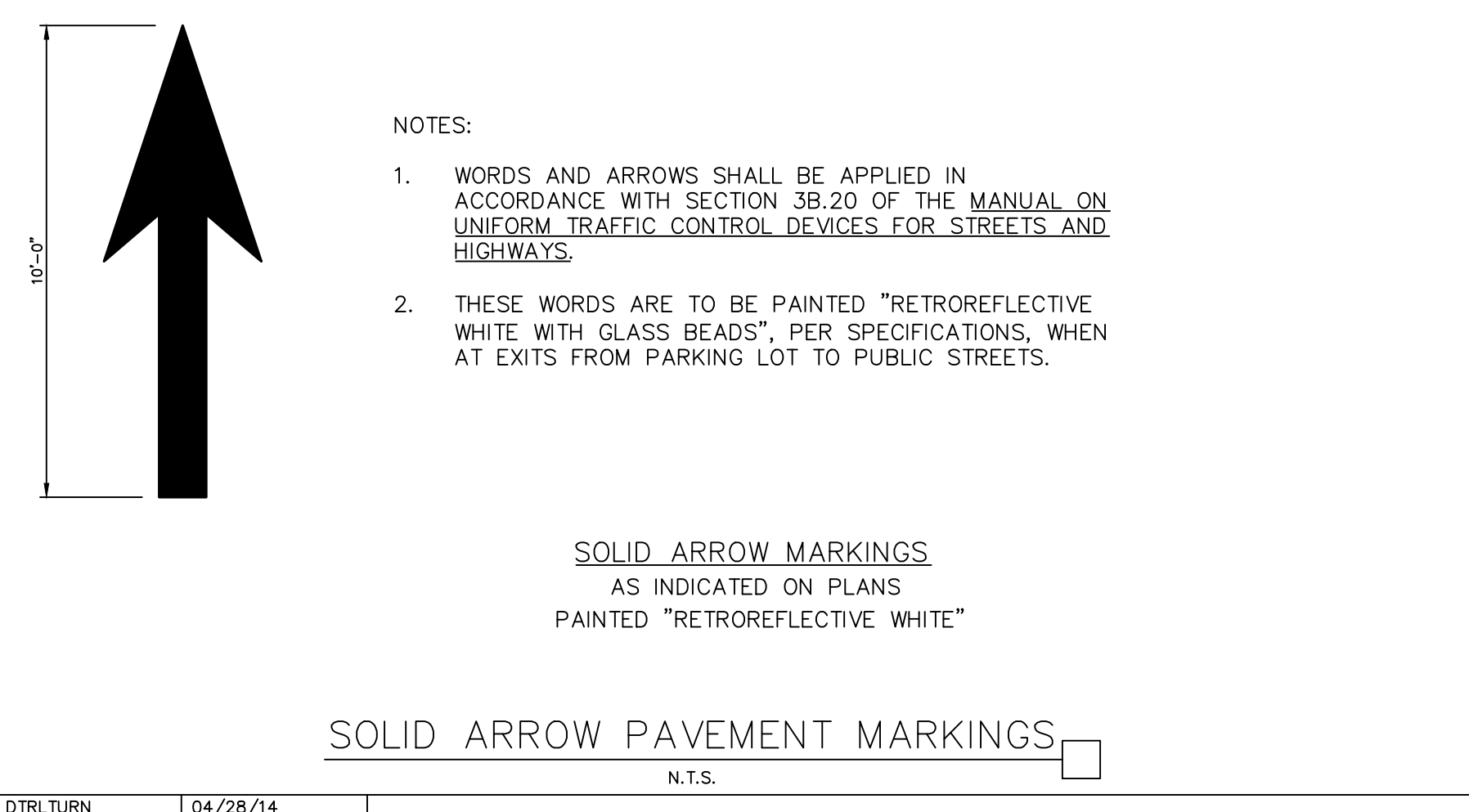
FIRE LANE DETAIL
N.T.S.



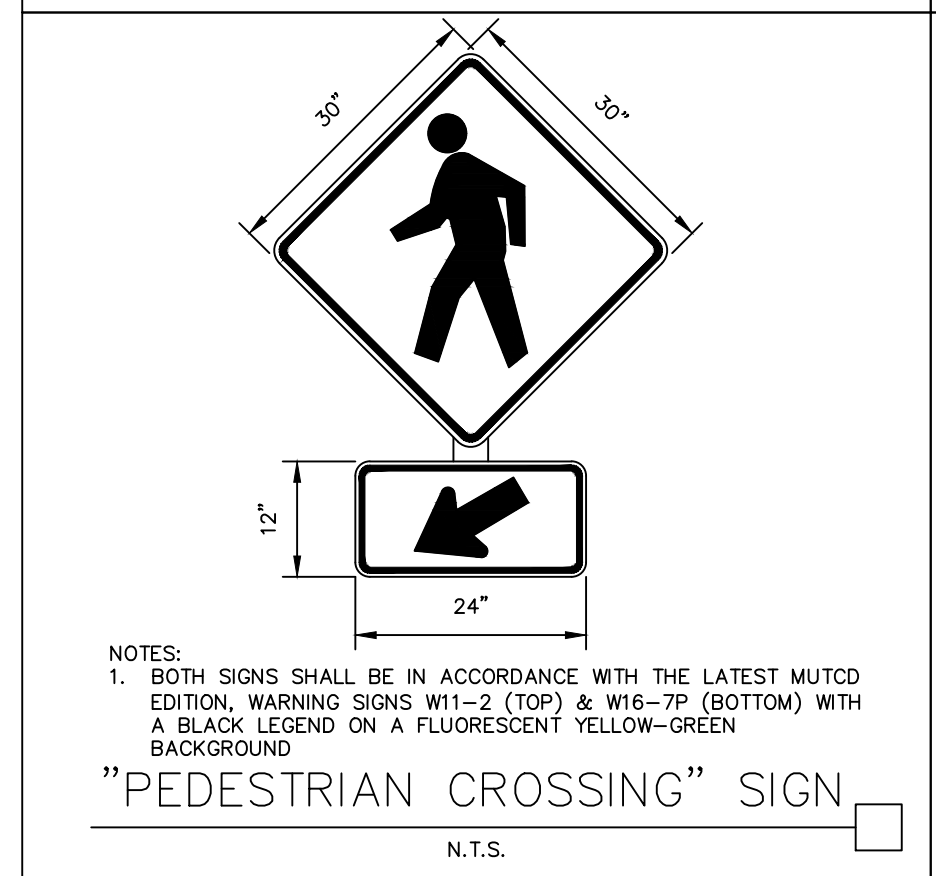
STOP SIGNAGE AND MARKING
N.T.S.



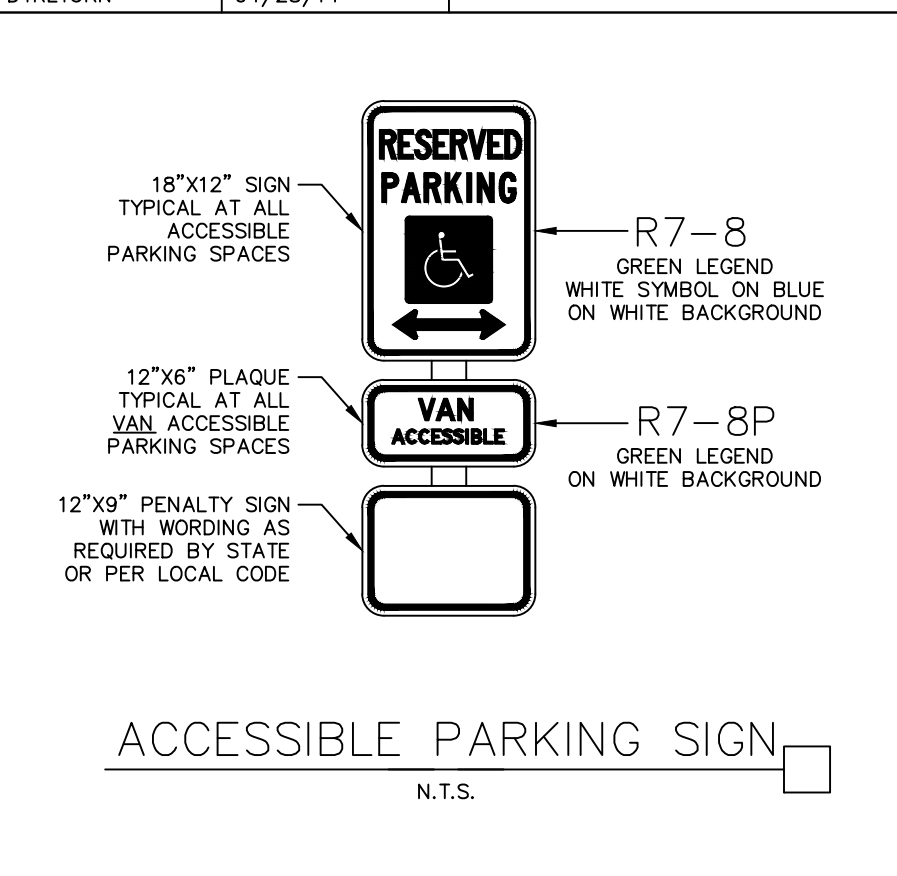
"NO PARKING - FIRE LANE" SIGN
N.T.S.



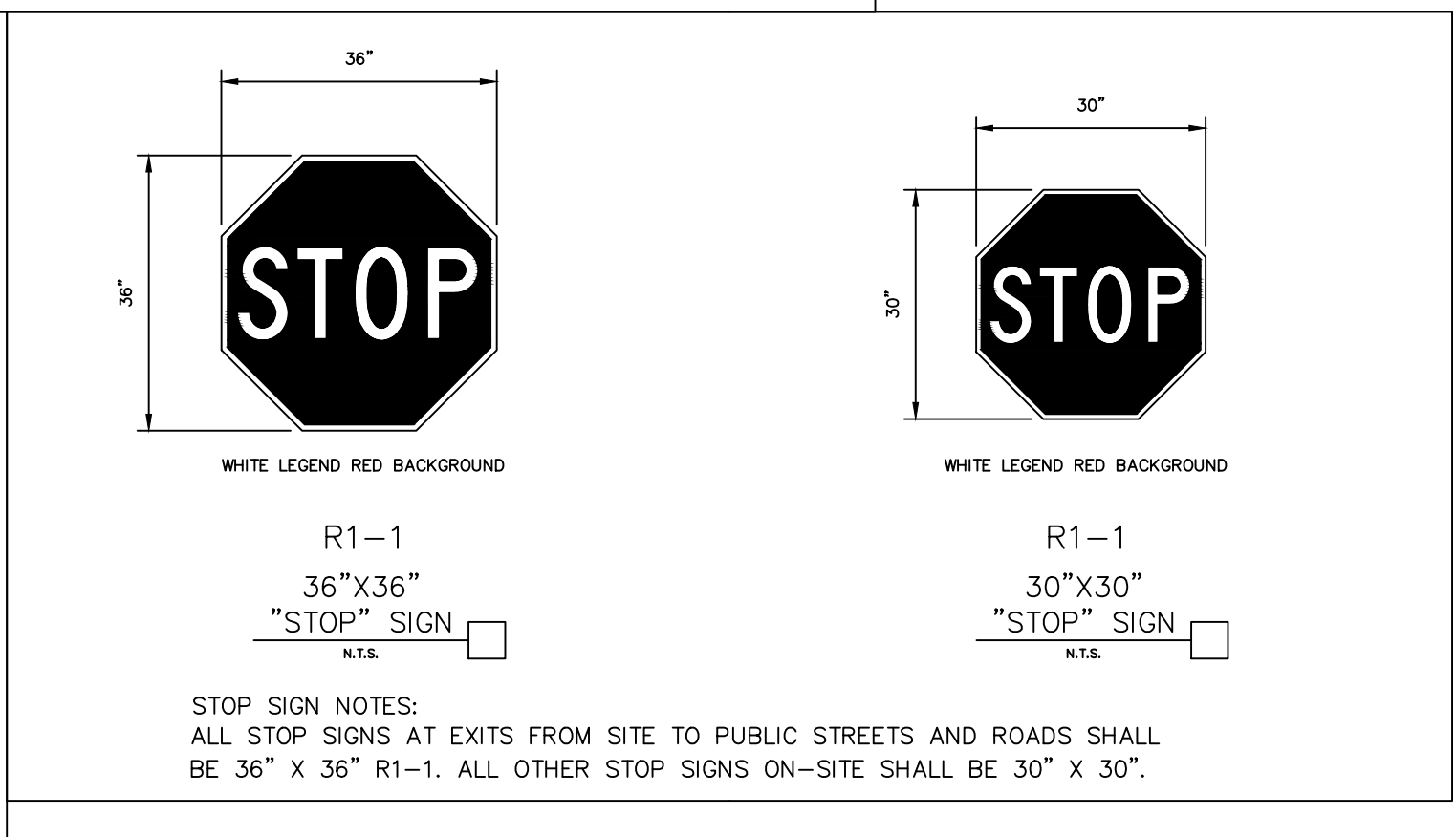
SOLID ARROW PAVEMENT MARKINGS
N.T.S.



"PEDESTRIAN CROSSING" SIGN
N.T.S.



ACCESSIBLE PARKING SIGN
N.T.S.



STOP SIGN NOTES:
ALL STOP SIGNS AT EXITS FROM SITE TO PUBLIC STREETS AND ROADS SHALL BE 36" X 36" R1-1. ALL OTHER STOP SIGNS ON-SITE SHALL BE 30" X 30".

PTR BALER & COMPACTOR
www.ptrco.com
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Totally Listed!



TP-2000SP

Tram-Pak Stationary Compactor

Designed For

- * Retailers * Hospitals * Hotels * Distribution Centers *
- * Manufacturing Centers * Recycling Centers * Home Centers *

Our TP-2000SP (Short Profile) compactor was our response to customers battling space constrictions and those who could not accommodate a long chute. We managed to construct a twin cylinder machine with high compaction forces and an overall length of 78 inches. All components are built using heavy-duty structural steel components and welded by AWS certified technicians. This unit has total U.L. approval, standard 3 button controls, (On/Off key switch, mushroom stop, auto reverse) and a 13' Sealrite.

Specifications	Electrical Equipment
Charge Box Capacity	2 Cu Yd
Clear Top Opening (L x W)	40" x 60"
Capacity Per Hour	58.7 cy/hr

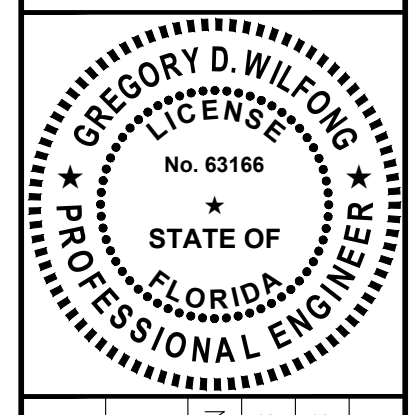
Performance Characteristics	Hydraulic Equipment
Cycle Time	31 sec
Total Normal Force	43,000 lbs
Total Maximum Force	51,600 lbs
Normal Ram Face Pressure	23 psi
Maximum Ram Face Pressure	29 psi

PTR BALER & COMPACTOR
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BAILER AND COMPACTOR
(SUBJECT TO CHANGE BY OWNER)
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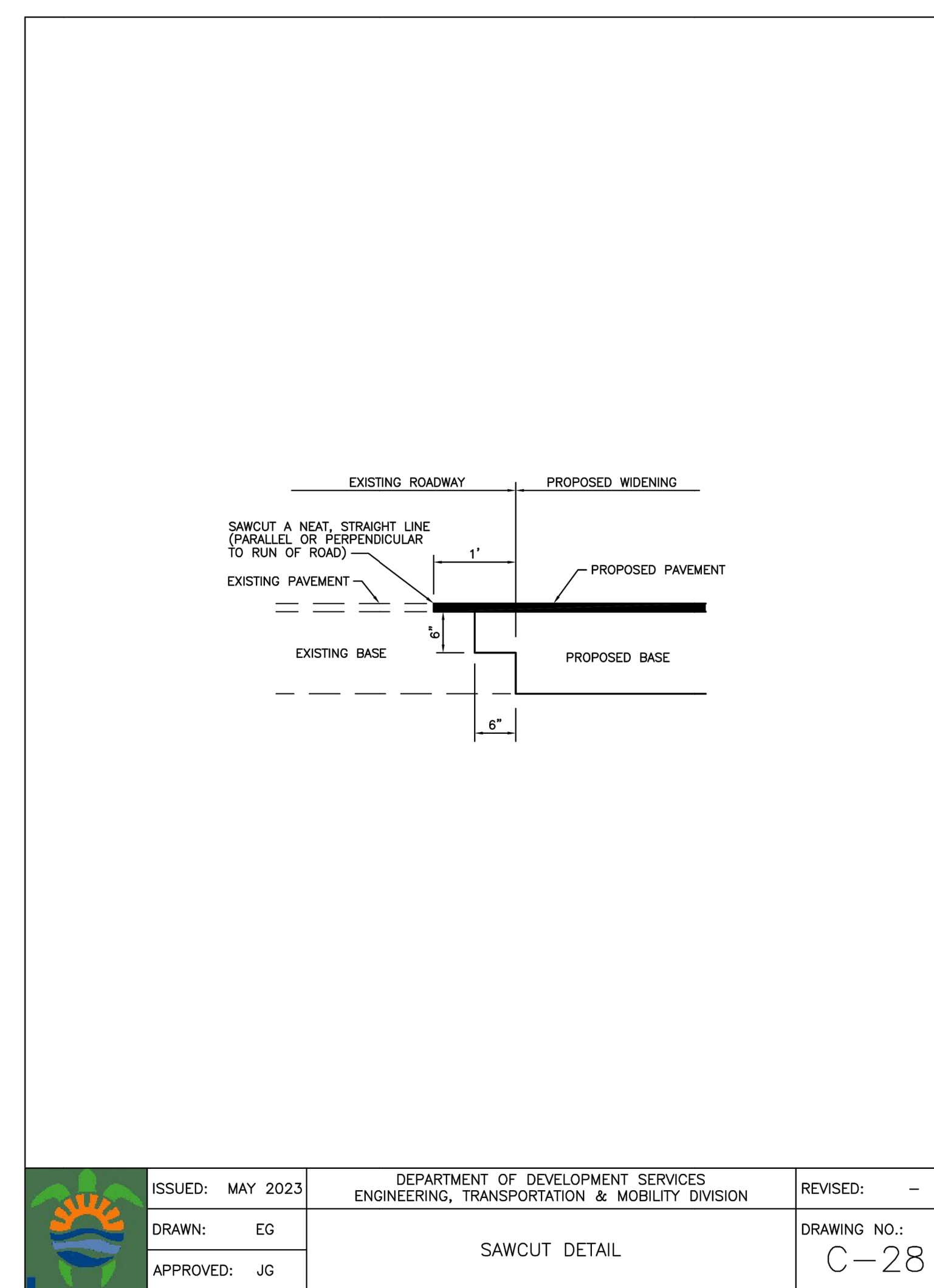
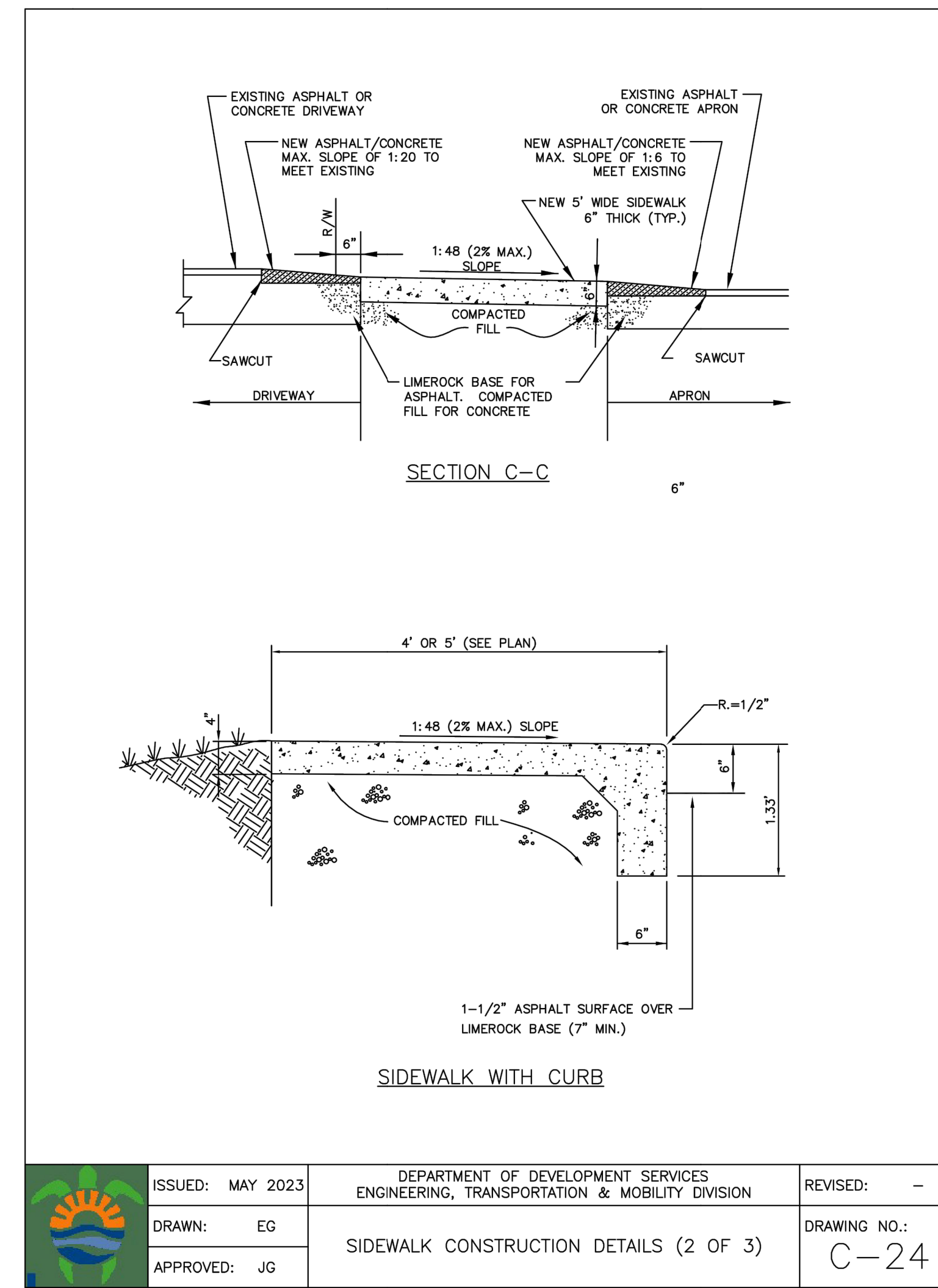
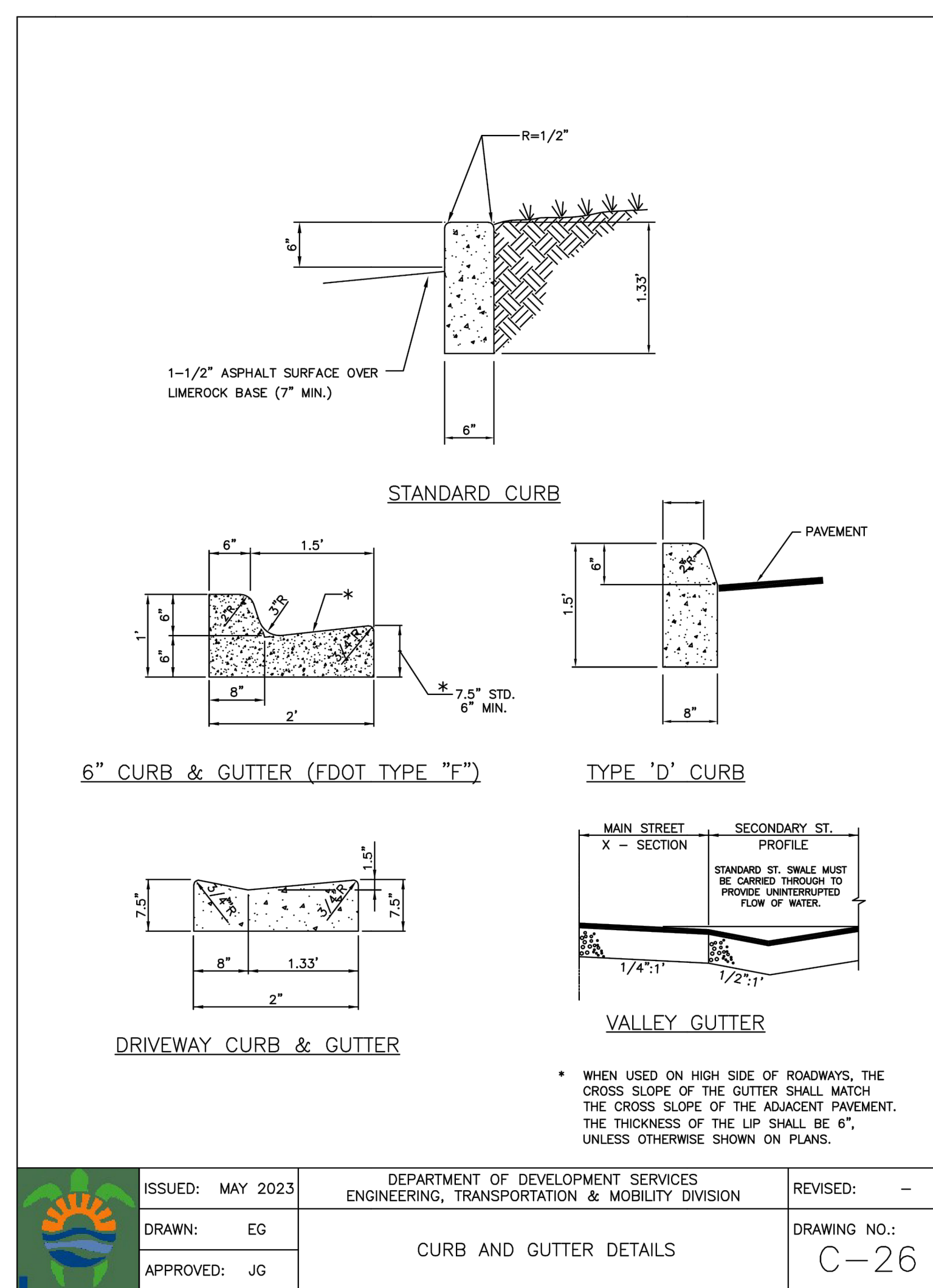
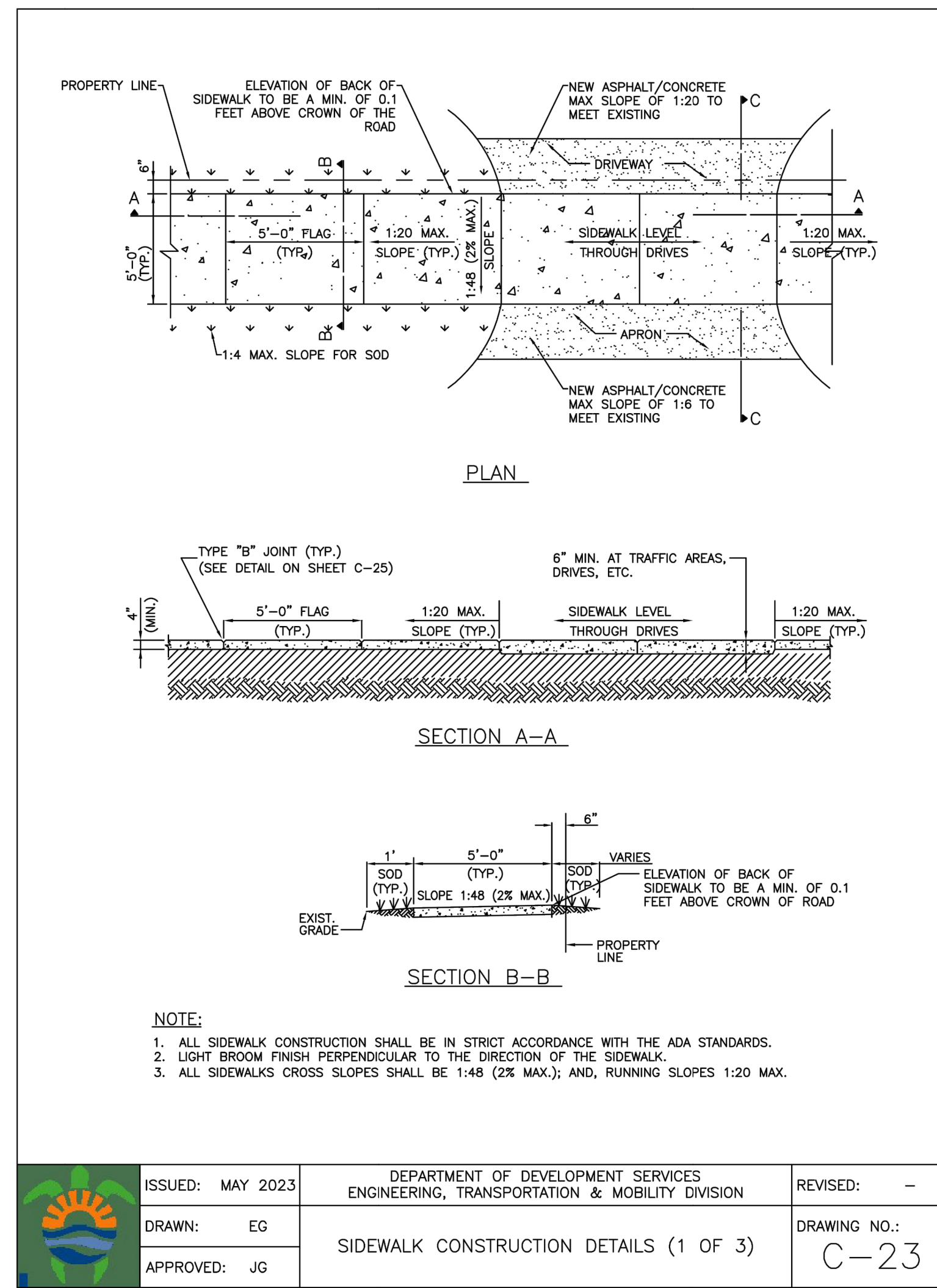
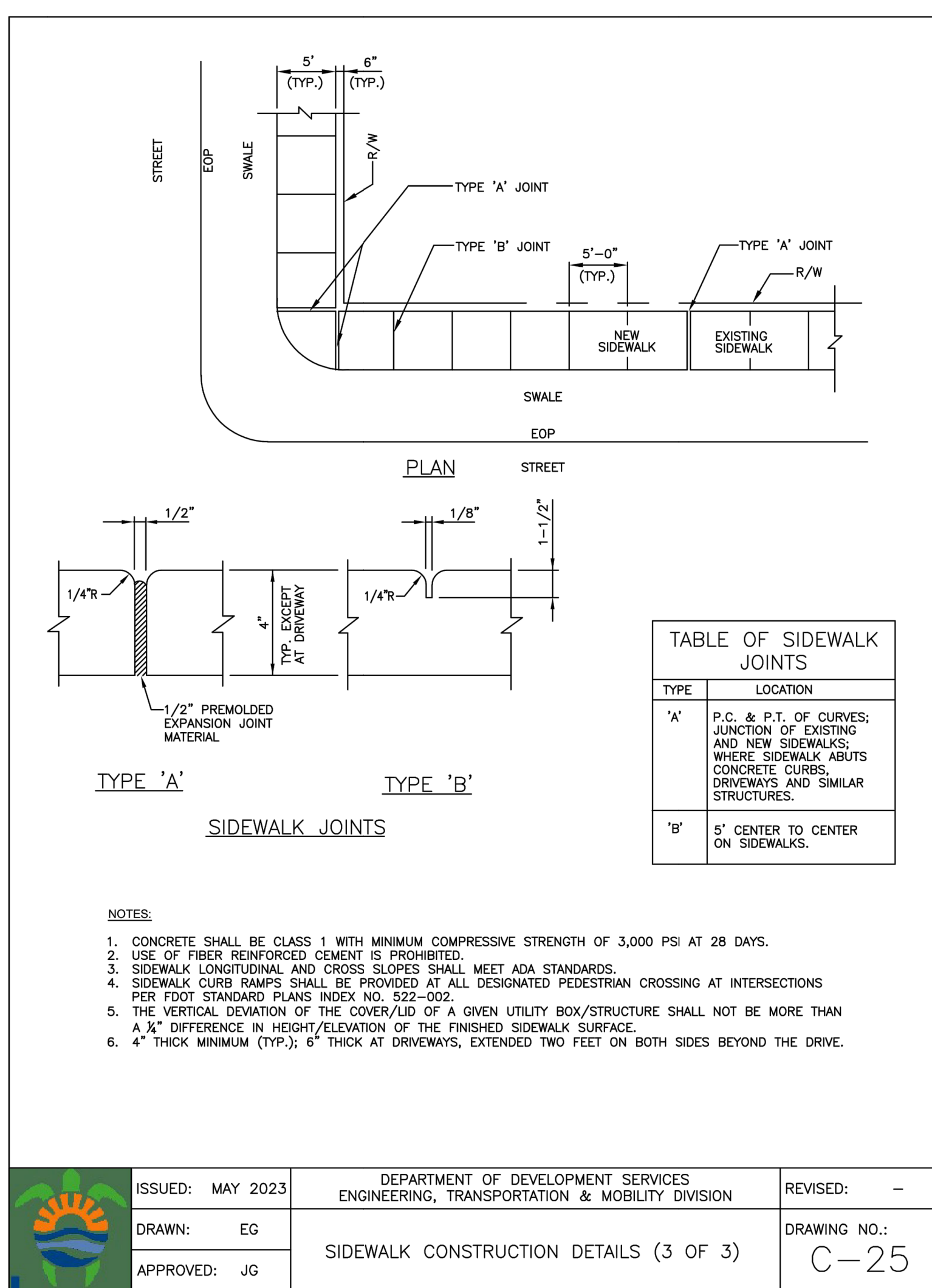
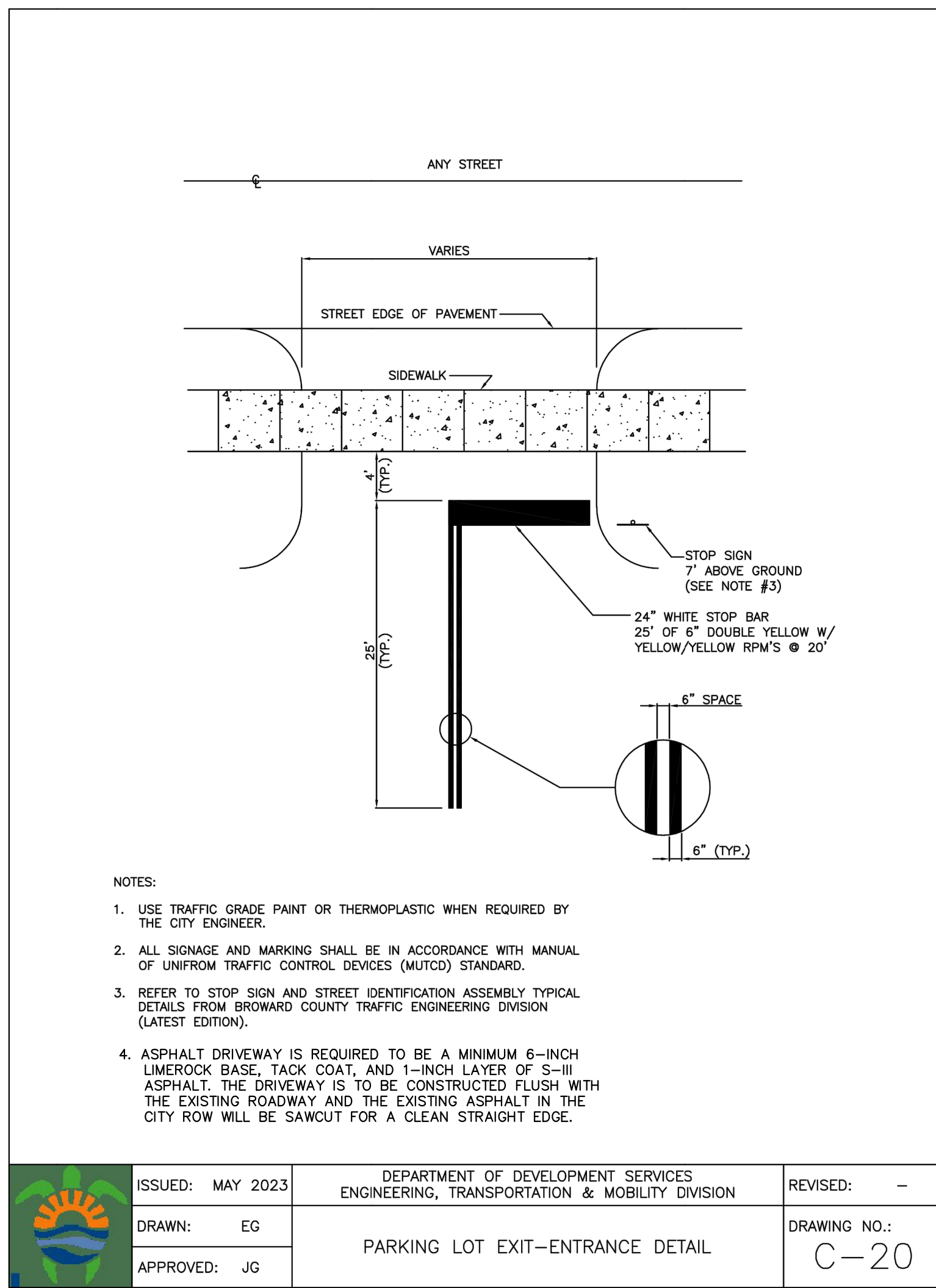
KHA PROJECT	147507131
DATE	07/15/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

SITE DETAILS

OAKWOOD SOUTH RETAIL SHOPPING CENTER
CITY OF HOLLYWOOD, FL

SHEET NUMBER
C-201

Picked By: Schulz, Ryan; Sheet: Set: OAKWOOD PLAZA - Layout: C-202 SITE DETAILS July 12, 2024 01:32:12pm K:\ARB_LDEA\147507131-Dialo: House of Sports\CAD\Drawings\C-201 SITE DETAILS.dwg
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OAKWOOD SOUTH
RETAIL SHOPPING
CENTER

SITE DETAILS

CITY OF HOLLYWOOD

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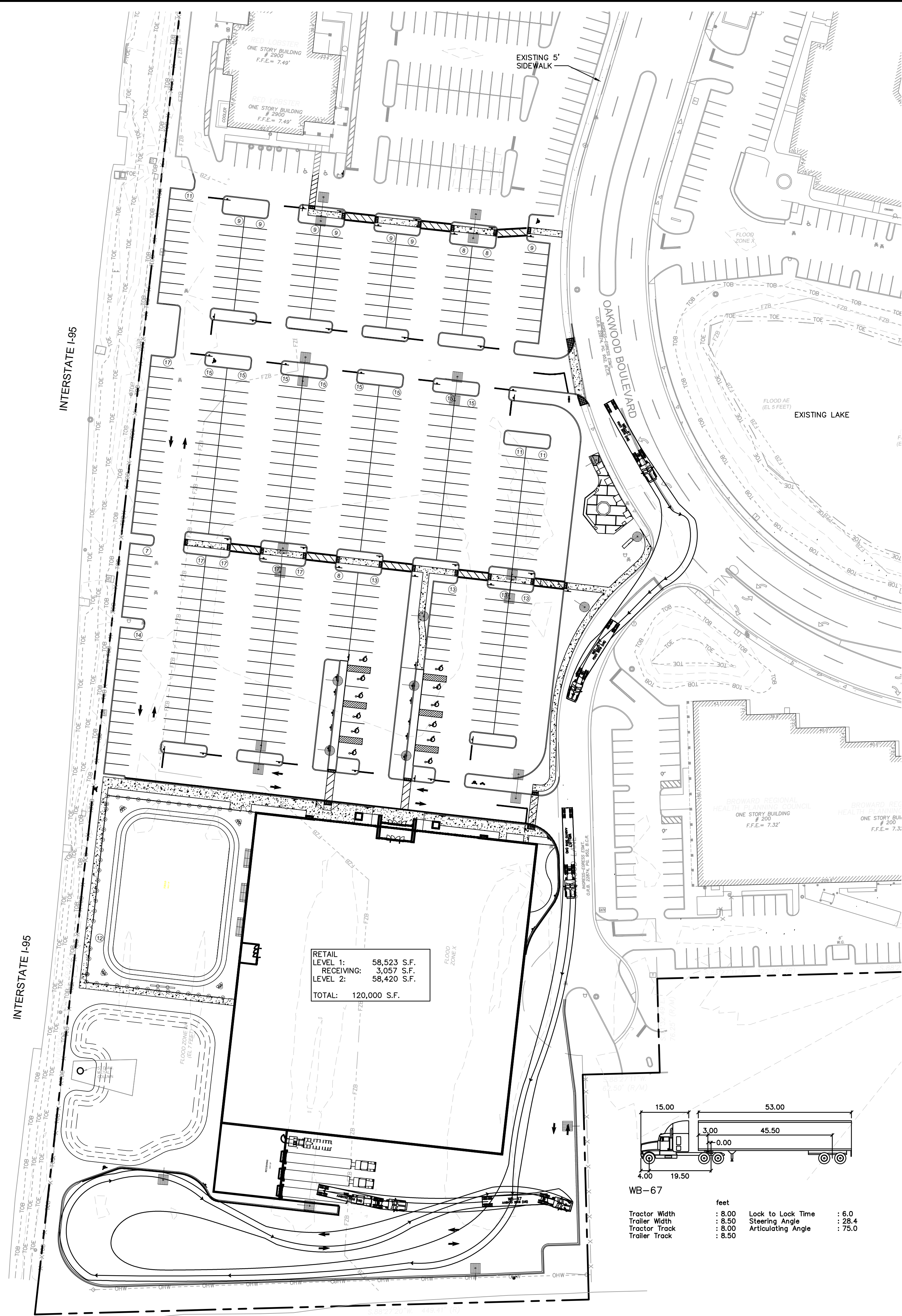
KHA PROJECT 147507131
DATE 07/15/2024
SCALE AS SHOWN
DESIGNED BY SHB
DRAWN BY SHB
CHECKED BY GDW

GREGORY D. WILFONG
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

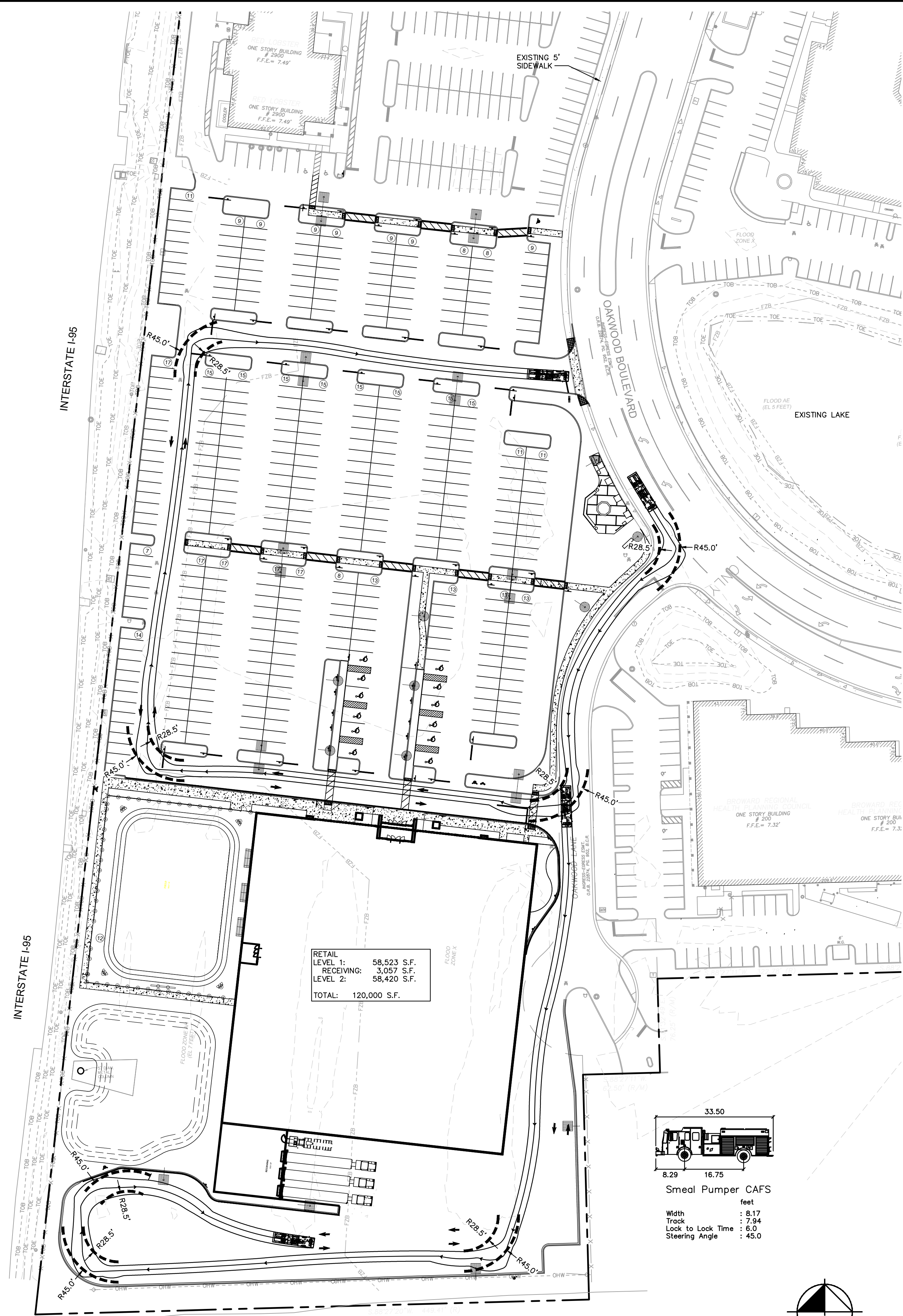
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C-202

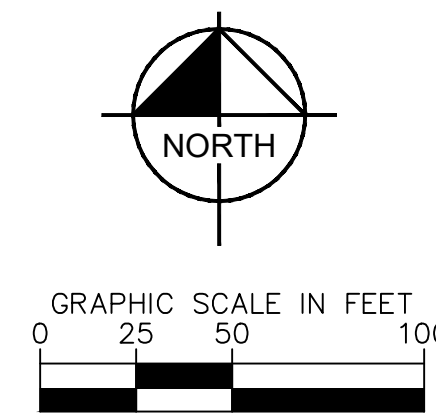
Plotted By: B. Schmitt. Comments: Street 641 OAKWOOD PLAZA. Layout: C-203 TRUCK TURN PLAN. July 12, 2024. 04:37:24pm. K:\VRS\DEVA\147507151-Dicks House of Sports\CAD\PlanSheets\C-203 TRUCK TURN PLAN.dwg
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TRUCK TURN - WB67



TRUCK TURN - FIRE TRUCK



OAKWOOD SOUTH RETAIL SHOPPING CENTER
 CITY OF HOLLYWOOD, FL

TRUCK TURN PLAN

SHEET NUMBER C-203

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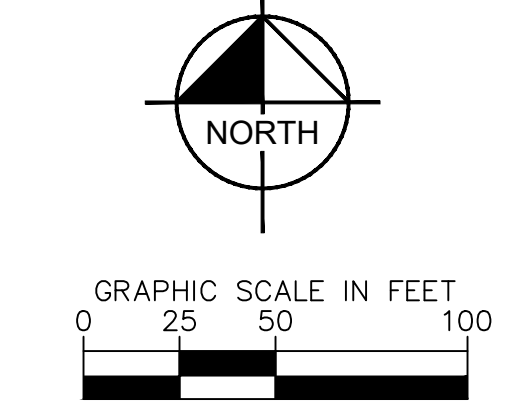
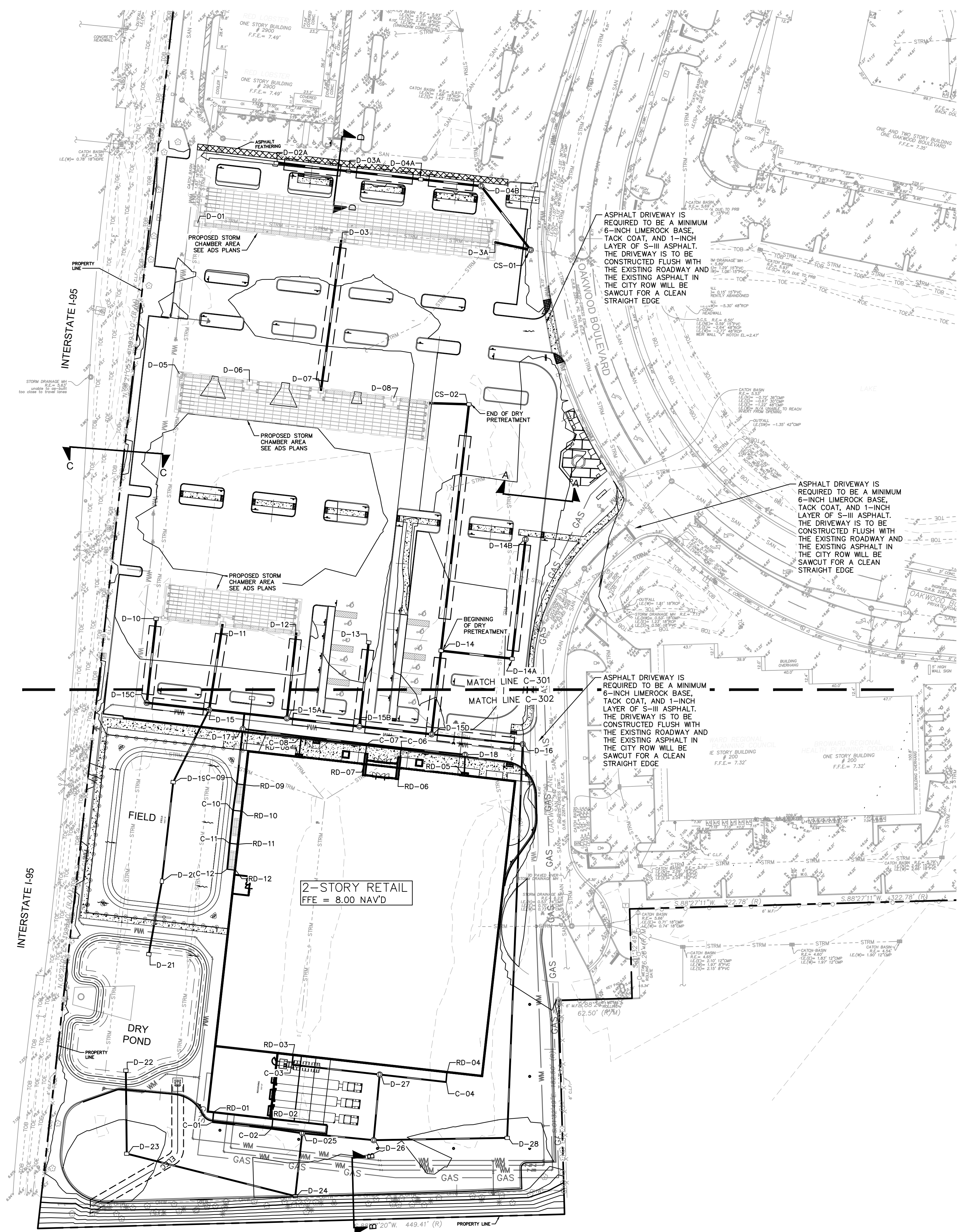
KHA PROJECT: 147507151
 DATE: 07/15/2024
 SCALE: AS SHOWN
 DESIGNED BY: SHB
 DRAWN BY: SHB
 CHECKED BY: GDW

GREGORY D. WILFONG
 No. 63166
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

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NO.	REVISIONS	DATE	BY

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ADA NOTE
 ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

- LEGEND**
- 0.02' EXISTING SPOT GRADE
 - PROPOSED STORM PIPE
 - PROPOSED STORM INLET
 - ⊕ PROPOSED STORM MANHOLE
 - PROPOSED ±1,008 LF OF EXFILTRATION TRENCH
 - X.XX% SLOPES
 - X.XX' SPOT GRADE (NAVD)
 - TG X.XX' TOP OF GRATE (NAVD)
 - PROPERTY LINE

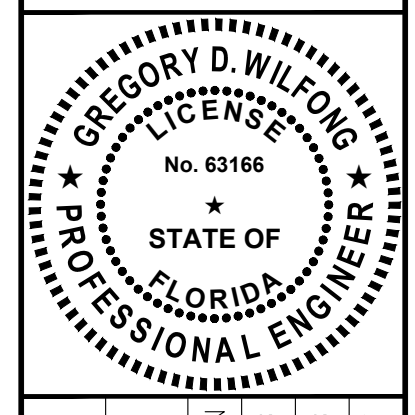
PAVING, GRADING AND DRAINAGE NOTES:

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. ALL MATERIALS AND CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR THE AUTHORITY HAVING JURISDICTION.
6. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
8. EXISTING DRAINAGE PIPES AND INLETS TO BE JET CLEANED AND VACUUMED TO REMOVE ALL SILT AND DEBRIS.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION, IF APPLICABLE.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT, IF APPLICABLE.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER", IF APPLICABLE.
13. ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES, IF APPLICABLE.
14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, IF APPLICABLE.
15. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
16. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
17. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
18. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
19. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
20. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN / DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
21. THE CONTRACTOR SHALL ENSURE THAT ISLAND AND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
22. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
23. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
24. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
25. LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED MINIMUM OF 6" ABOVE BACK OF CURB ELEVATION.
26. SEE LANDSCAPE PLAN FOR TREE REMOVAL AND PLANTING.
27. ADA RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 6" IN RISE (8.33% SLOPE MAX).
28. CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES AND IMMEDIATELY NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS WITH SIGNAGE FOUNDATIONS.
29. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
30. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS, PROVIDED BY SURVEYOR.
31. TYPE C INLETS TO BE MODIFIED FOR H-20 TRAFFIC RATING.
32. FOOT DITCH BOTTOM INLETS TO BE MODIFIED FOR H-20 TRAFFIC RATING.
33. ALL BUILDING ROOF DRAINS TO SLOPE UP AT 0.5% FROM LATERALS.

NO.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	DESIGNED BY	CHECKED BY
147507131	07/15/2024	SHB	GDW
SCALE	AS SHOWN	DRAWN BY	SHB

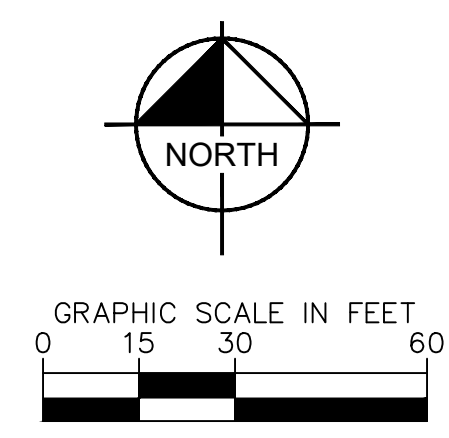
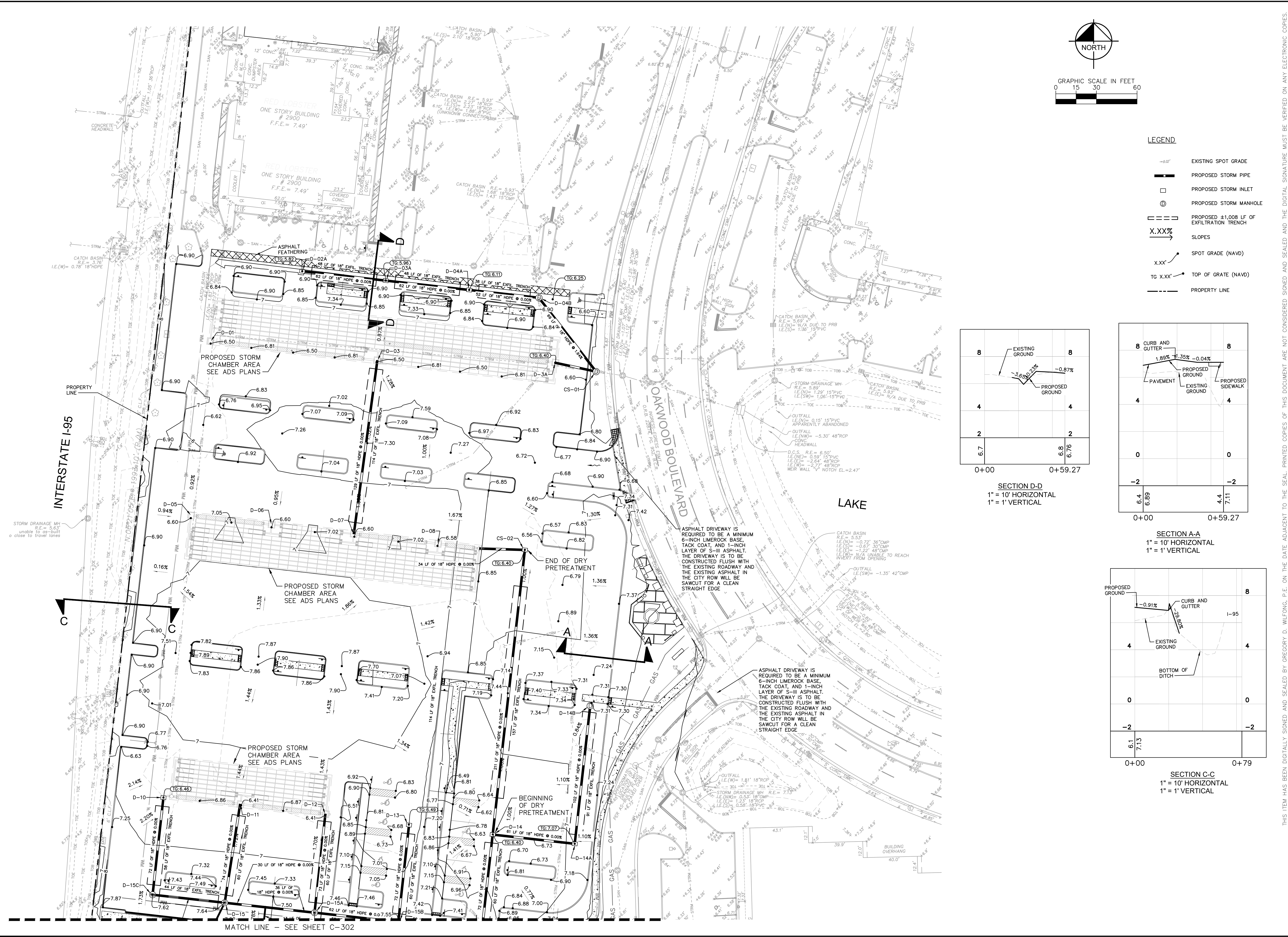
**OVERALL PAVING
 GRADING AND
 DRAINAGE PLAN**

**OAKWOOD SOUTH
 RETAIL SHOPPING
 CENTER**

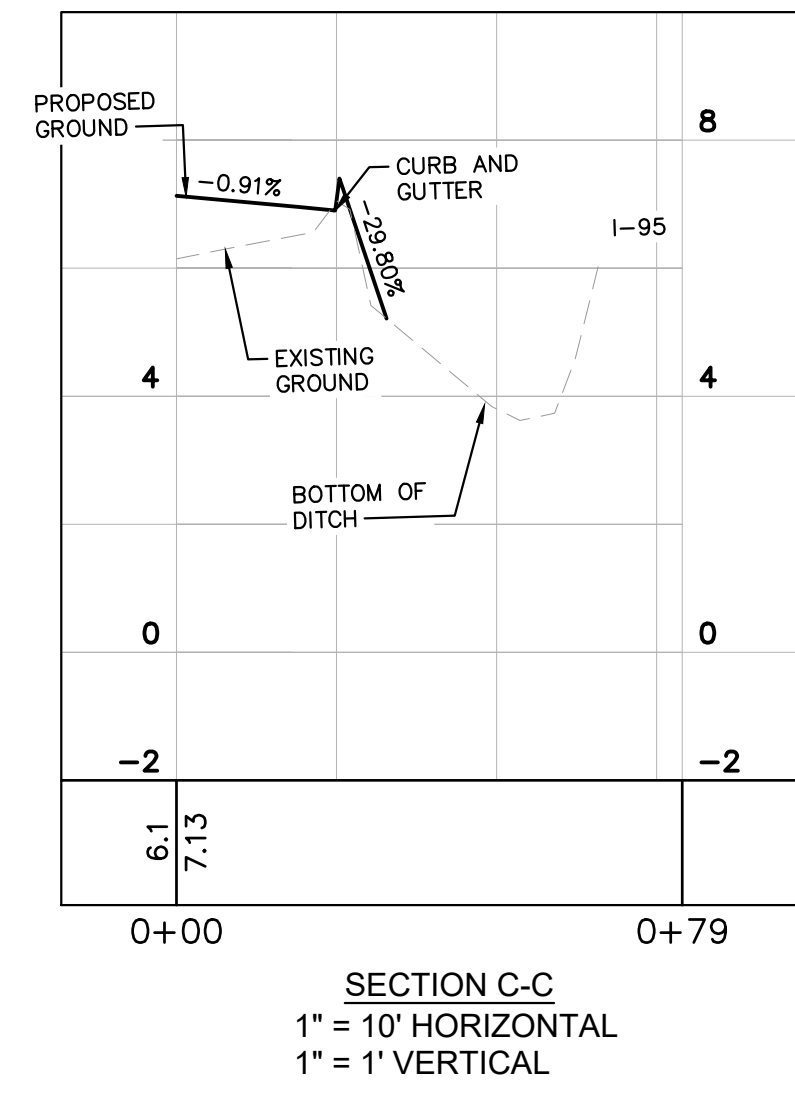
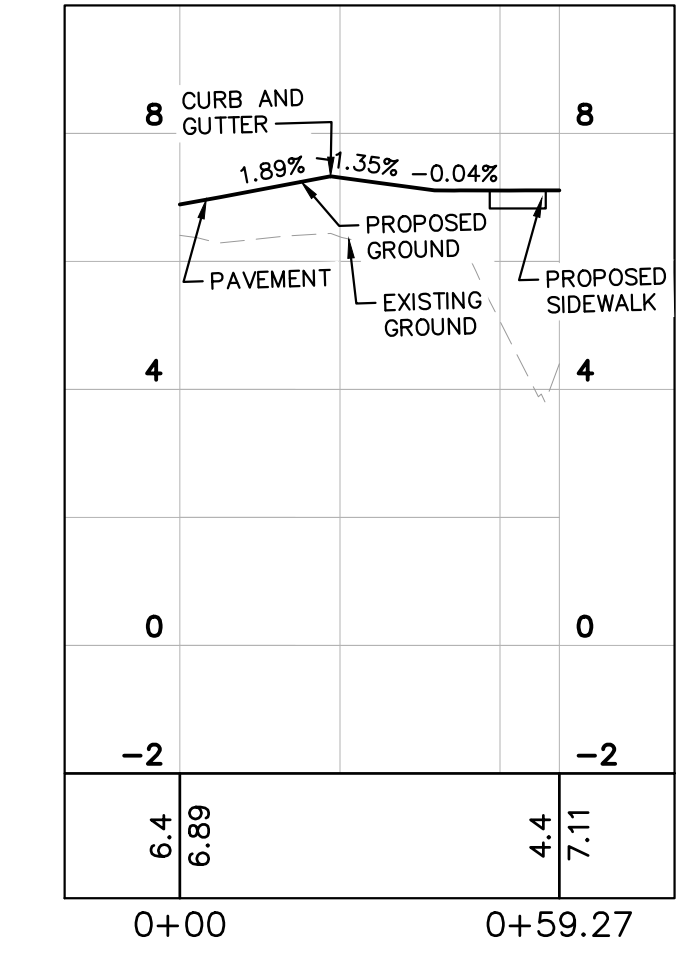
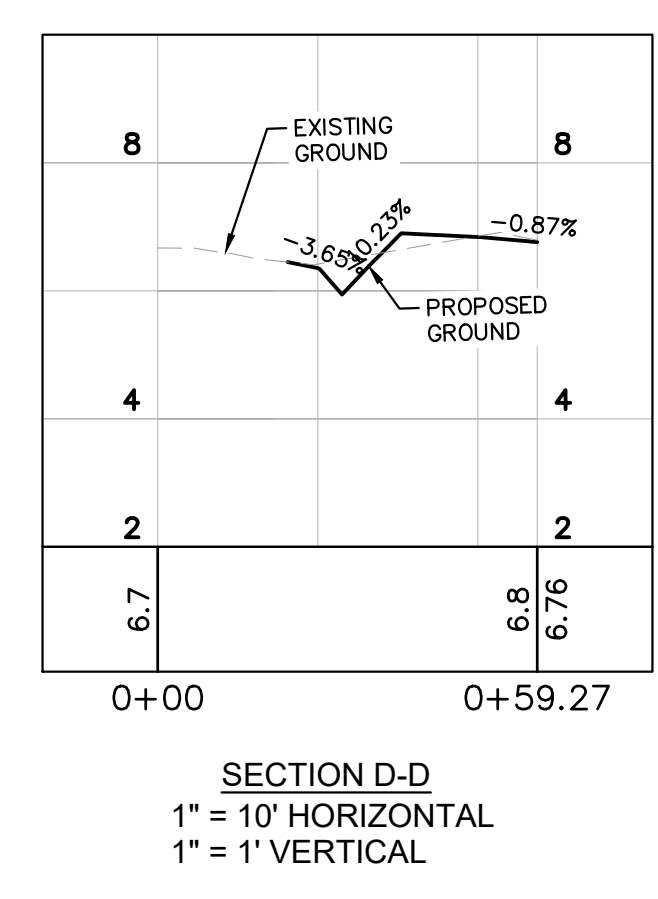
CITY OF HOLLYWOOD, FL

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Prepared By: Schulz, Ryan; Sheet: Oakwood Plaza - Level C-301; PAVING, GRADING AND DRAINAGE PLAN; July 12, 2024; 01:37:02pm; K:\WPB_DEVELOPMENT\147507131-Dickie House of Sports\CAD\PlanSheets\C-300 OVERALL PAVING, GRADING AND DRAINAGE PLANS.dwg
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- LEGEND**
- 8.0' — EXISTING SPOT GRADE
 - PROPOSED STORM PIPE
 - PROPOSED STORM INLET
 - ⊙ PROPOSED STORM MANHOLE
 - PROPOSED ±1,008 LF OF EXFILTRATION TRENCH
 - X.XX% SLOPES
 - X.XX' SPOT GRADE (NAVD)
 - TG X.XX' TOP OF GRATE (NAVD)
 - PROPERTY LINE

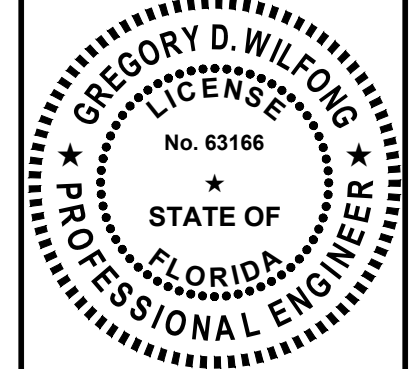


KHA PROJECT 147507131		DATE 07/15/2024		SCALE AS SHOWN		DESIGNED BY SHB		DRAWN BY SHB		CHECKED BY GDW					
KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 WWW.KIMLEY-HORN.COM		GREGORY D. WILFONG No. 63166 STATE OF FLORIDA PROFESSIONAL ENGINEER		PAVING GRADING AND DRAINAGE ENLARGEMENT PLAN		OAKWOOD SOUTH RETAIL SHOPPING CENTER		CITY OF HOLLYWOOD		SHEET NUMBER C-301					
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DRAINAGE STRUCTURE TABLE with columns: STRUCTURE, TYPE, DETAILS, PIPE, TO. Includes rows for cleanouts (C-01 to C-17) and control structures (CS-01 to CS-02).

DRAINAGE STRUCTURE TABLE with columns: STRUCTURE, TYPE, DETAILS, PIPE, TO. Includes rows for storm chambers (D-05 to D-20) and roof drains (RD-01 to RD-12).

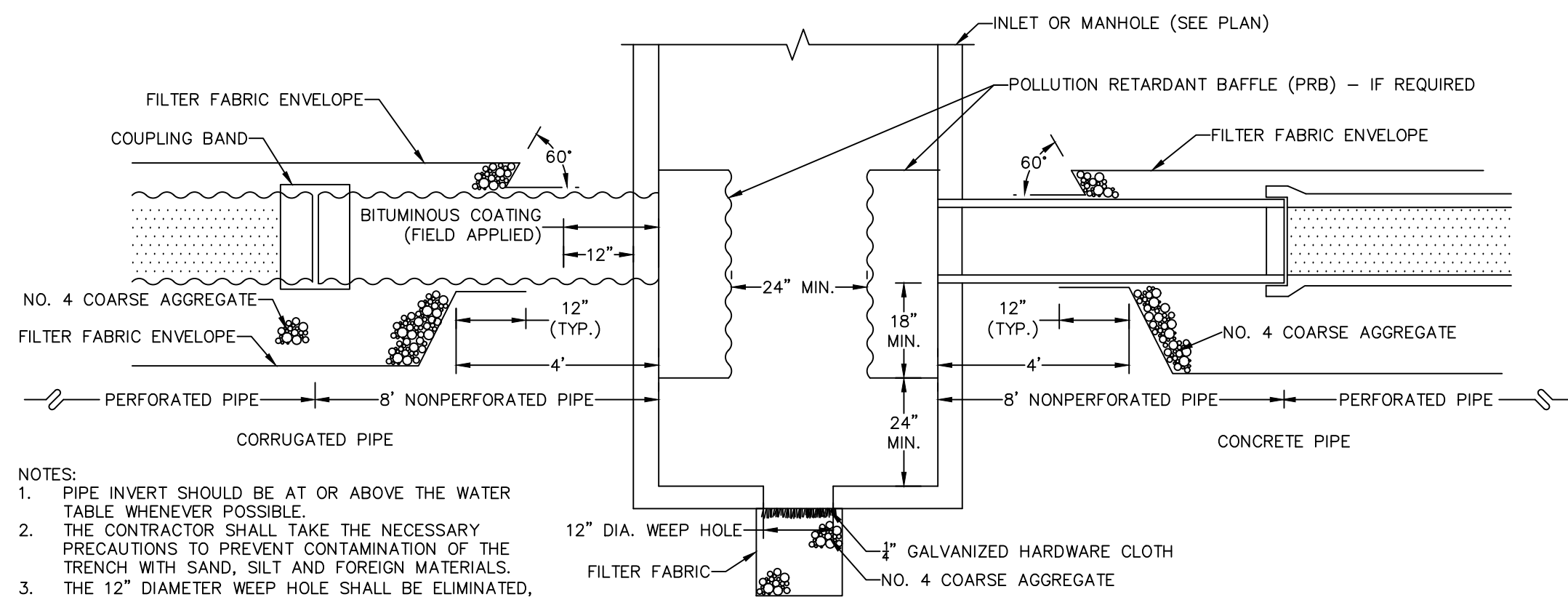
DRAINAGE STRUCTURE TABLE with columns: STRUCTURE, TYPE, DETAILS, PIPE, TO. Includes rows for curb and gutter (CB FDOT TYPE E), manholes (MH W/J BOTTOM), and roof drains (RD-01 to RD-12).



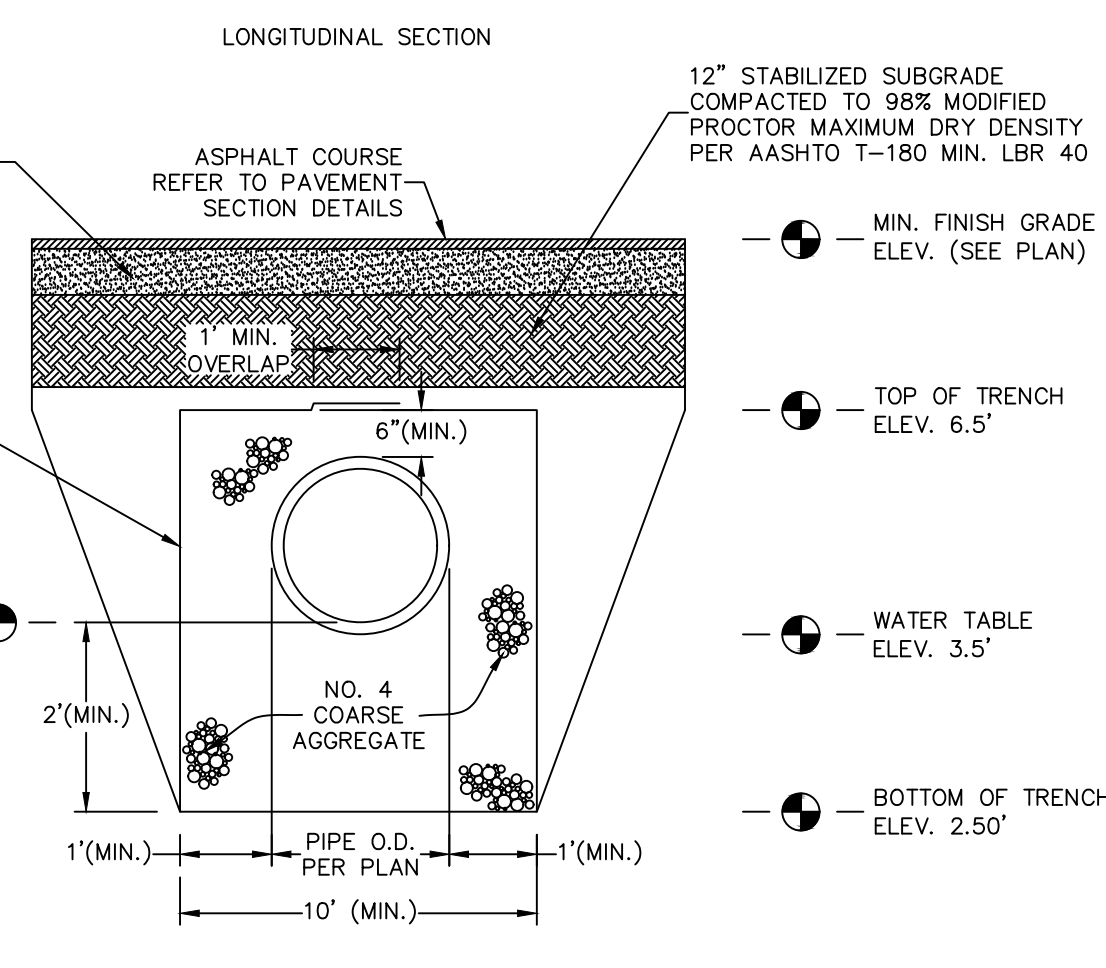
Revisions table with columns: No., Description, Date, By.

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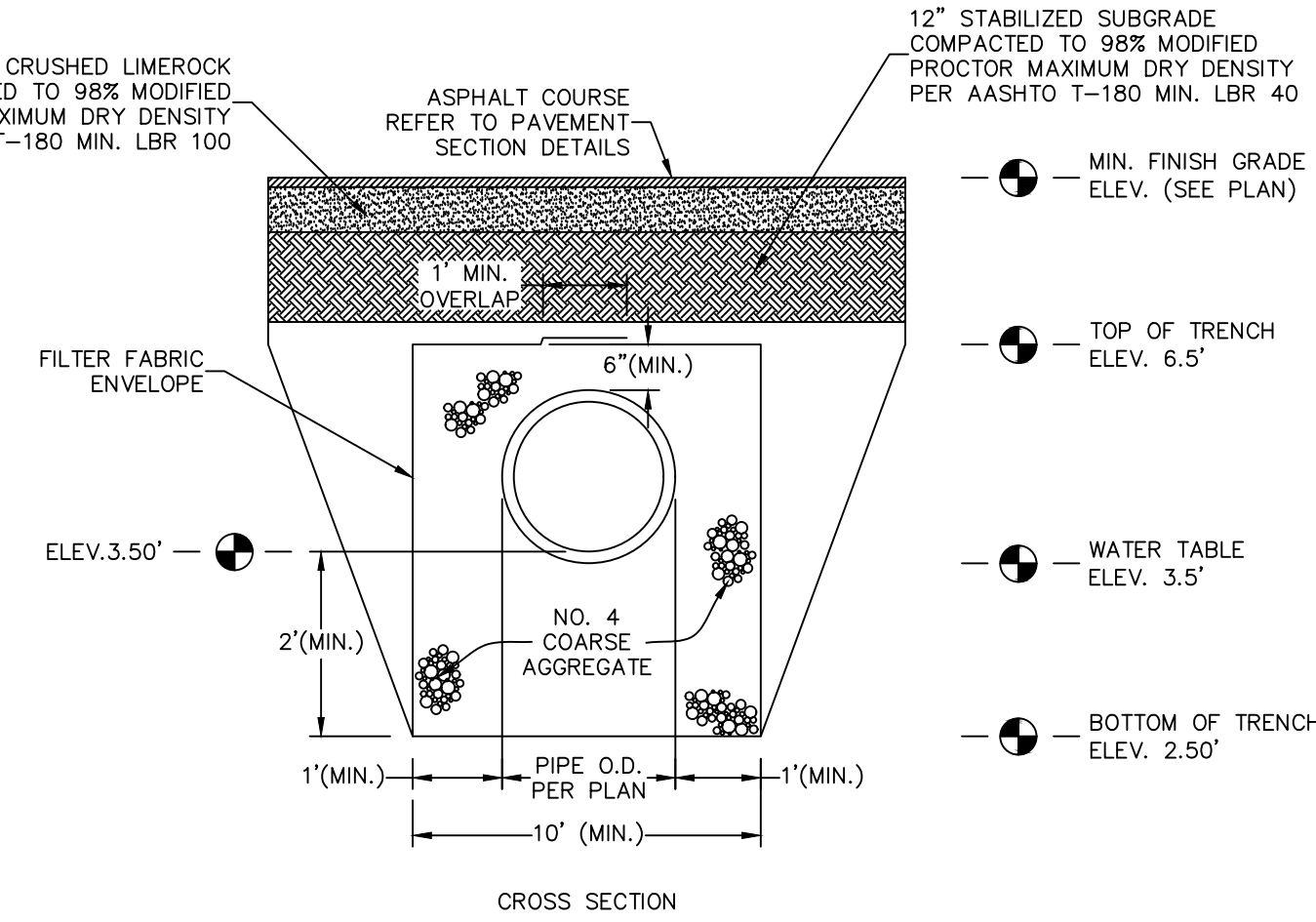
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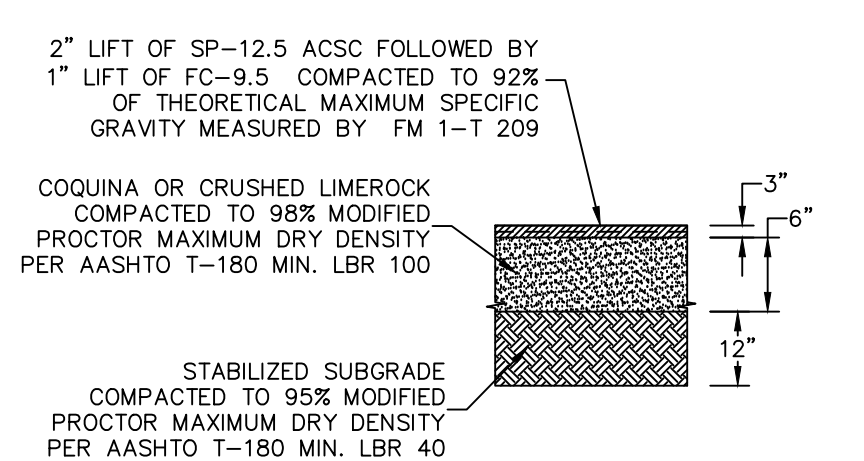
- NOTES:
- PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
 - THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
 - THE 12" DIAMETER WEEP HOLE SHALL BE ELIMINATED, WHEN THE BOTTOM OF THE INLET IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN IN THE PLANS.



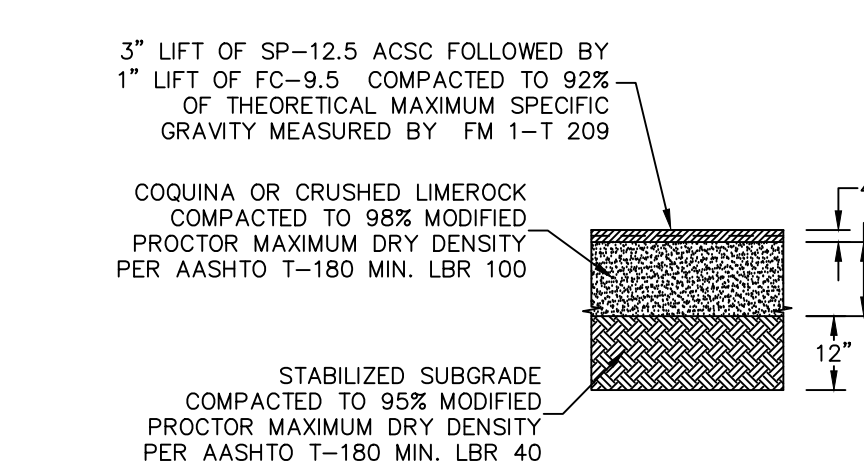
DRY EXFILTRATION TRENCH
N.T.S.



WET EXFILTRATION TRENCH
N.T.S.

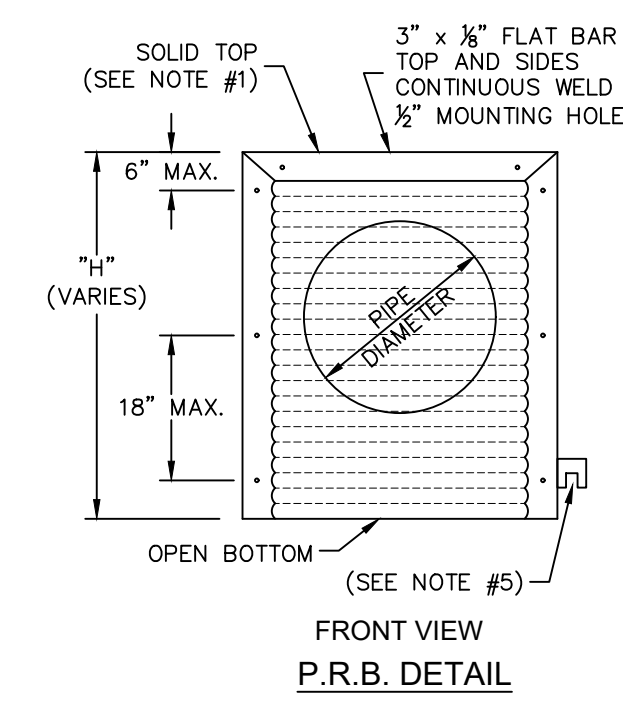


STANDARD DUTY ASPHALT
N.T.S.

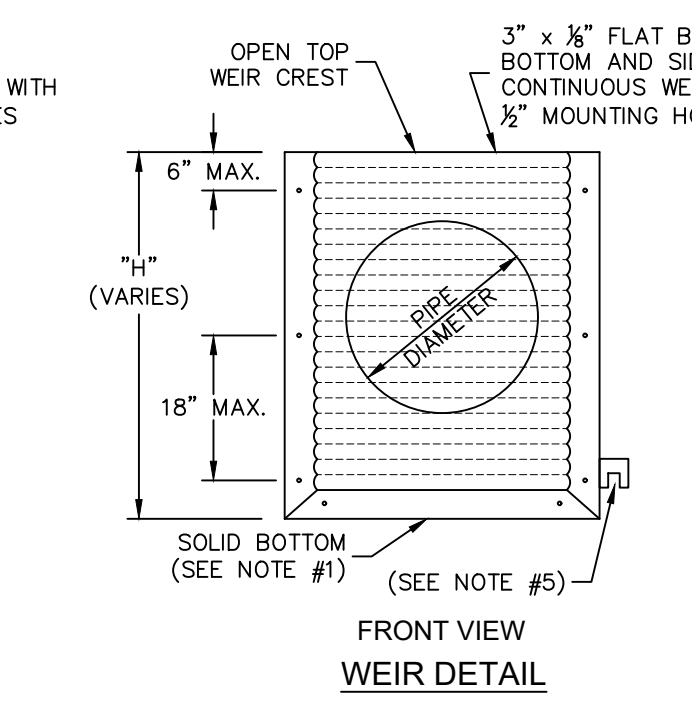


HEAVY DUTY ASPHALT
N.T.S.

NOTE:
CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT FOR SITE WORK SPECIFICATIONS.



P.R.B. DETAIL
N.T.S.



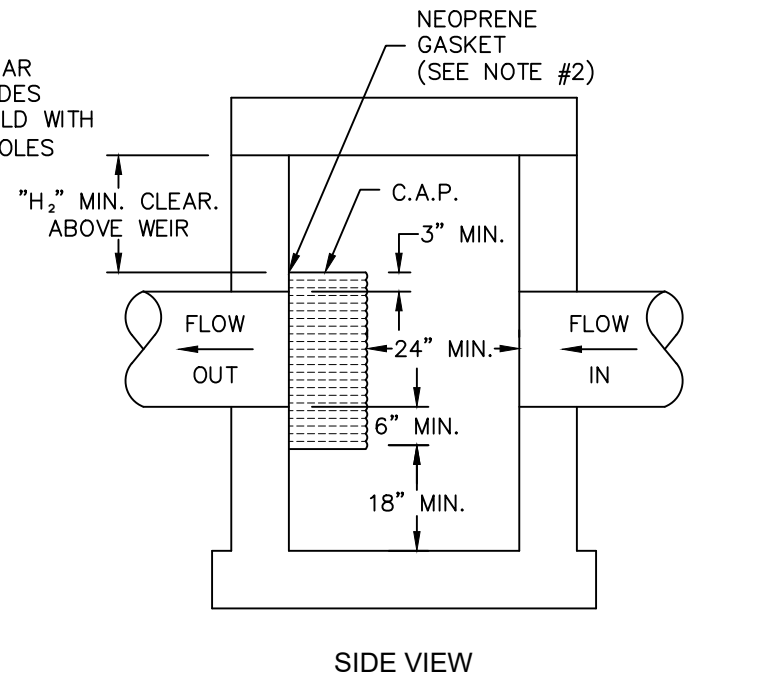
WEIR DETAIL
N.T.S.

PIPE DIAM.	W (IN)	W ₂ (IN)	T (GAUGE)	H ₂ (IN)
15"	21"	21"	16	6
18"	24"	24"	16	7
21"	30"	30"	16	8
24"	30"	36"	16	10
30"	36"	42"	14	13
36"	42"	48"	14	16
42"	48"	54"	14	20
48"	54"	60"	14	23
54"	60"	66"	14	28

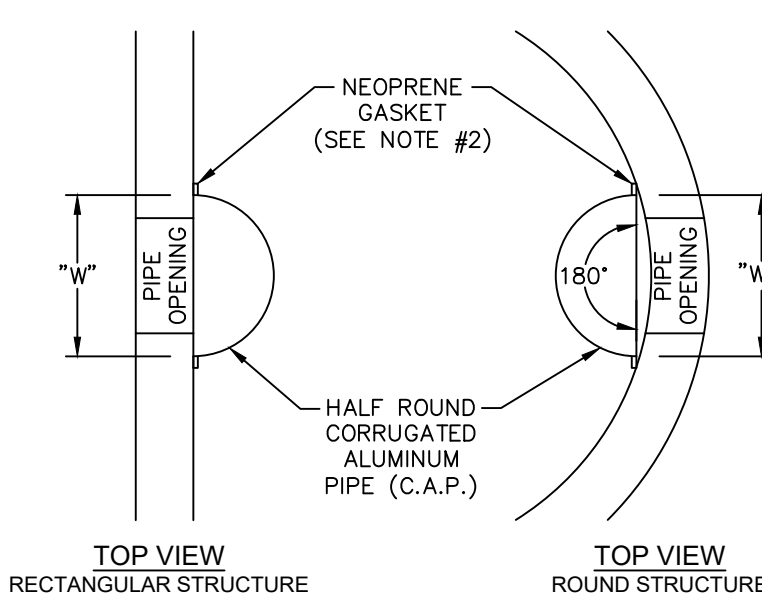
W₁ RECTANGULAR STRUCTURE
W₂ ROUND STRUCTURE

- NOTES:
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP FOR THE BAFFLES OR BOTTOM FOR WEIR.
 - NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES OR BOTTOM OF WEIRS.
 - POLLUTION RETARDANT BAFFLE OR HALF PIPE WEIR TO BE FASTENED IN PLACE WITH 3/8" x 4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
 - FIBERGLASS BAFFLES AND WEIRS ARE NOT PERMITTED. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.

WEIR SIZE PER PLAN

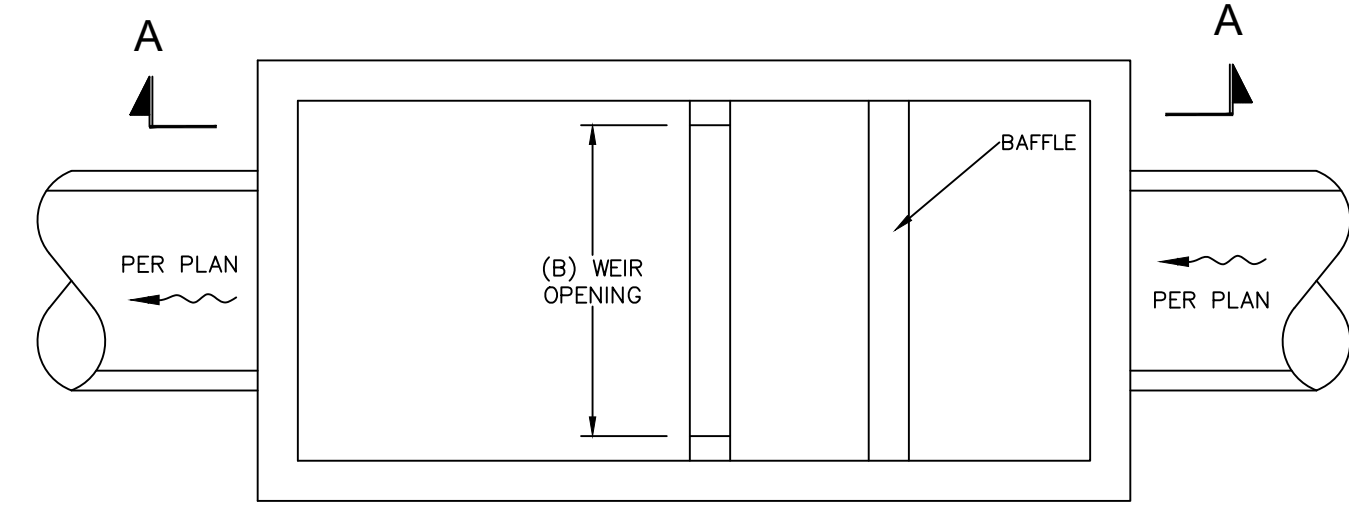


SIDE VIEW

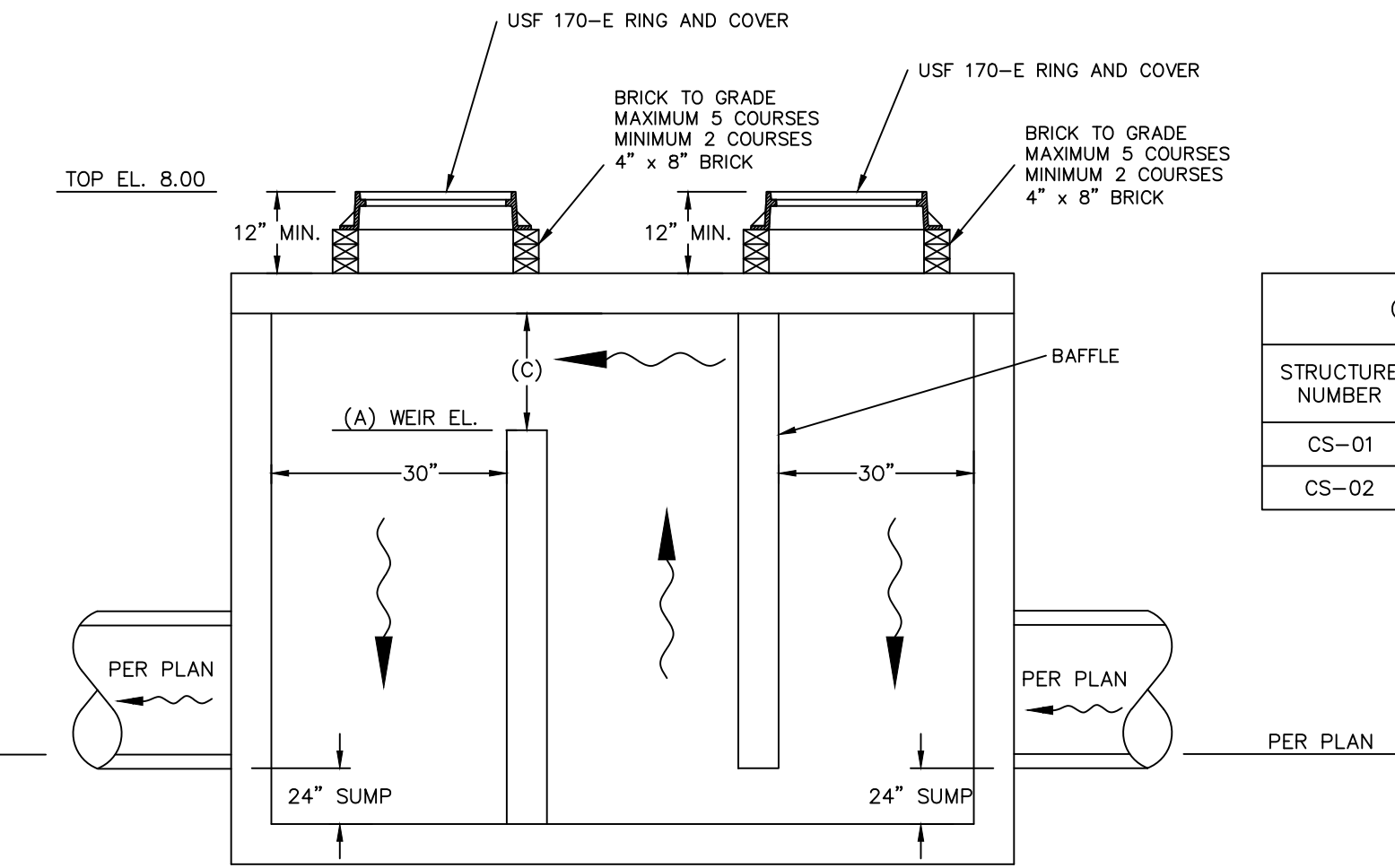


TOP VIEW
RECTANGULAR STRUCTURE **TOP VIEW**
ROUND STRUCTURE

POLLUTION RETARDANT BAFFLE (PRB) AND WEIR DETAILS
N.T.S.



PLAN VIEW



SECTION A-A
CONTROL STRUCTURE (CS-01, CS-02)
N.T.S.

CONTROL STRUCTURE DATA			
STRUCTURE NUMBER	(A) WEIR ELEVATION	(B) WEIR SPAN (INCHES)	(C) WEIR RISE (INCHES)
CS-01	5.5000	48	12
CS-02	5.5000	48	12

NO.	REVISIONS	DATE	BY

Kimley»Horn
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 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM
 REGISTRY NO. 35106

GREGORY D. WILFONG
 No. 63166
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

KHA PROJECT 147507151
 DATE 2/26/2024
 SCALE AS SHOWN
 DESIGNED BY XXX
 DRAWN BY XXX
 CHECKED BY XXX

PAVING GRADING AND DRAINAGE DETAILS

OAKWOOD SOUTH RETAIL SHOPPING CENTER
 CITY OF HOLLYWOOD, FL

SHEET NUMBER
C-350

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