



CITY OF  
**Hollywood**  
DEVELOPMENT SERVICES  
PLANNING DIVISION

# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

2600 Hollywood Blvd  
Room 315  
Hollywood, FL 33022  
Tel: (954) 921-3471  
Email: Development@Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS & MEETING DATES](#)

**APPLICATION TYPE (CHECK ALL THAT APPLIES):**

- Technical Advisory Committee     Art in Public Places Committee     Variance  
 Planning and Development Board     Historic Preservation Board     Special Exception  
 City Commission     Administrative Approval

**PROPERTY INFORMATION**

Location Address: 2700 Stirling Road

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): 5142-04-11-0020

Zoning Classification: PD (Oakwood Plaza) Land Use Classification: Commercial

Existing Property Use: Taco Bell w/Drive-Thru Sq Ft/Number of Units: 2,834

Is the request the result of a violation notice?  Yes  No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

**DEVELOPMENT PROPOSAL**

Explanation of Request: Site Plan approval to demolish the existing 2,834 sq. ft. Taco Bell restaurant and construct a new 2,187 sq. ft. Taco Bell restaurant.

Phased Project: Yes  No  Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="0"/> #Rooms <input type="text" value="0"/>
Proposed Non-Residential Uses	<input type="text" value="2,187"/> S.F.)
Open Space (% and SQ. FT.)	Required %: <input type="text" value="10"/> (Area: <input type="text" value="7,661 (26.2%)"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="15"/> )
Height (# of stories)	(# STORIES) <input type="text" value="1"/> ( <input type="text" value="25"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area ( <input type="text" value="29,224"/> FT.)

Name of Current Property Owner: Oakwood Plaza LP

Address of Property Owner: 500 N. Broadway #201 Jericho, NY 11753

Telephone: Contact Applicant Email Address: Contact Applicant

Applicant Dwayne Dickerson/Miskel & Backman: Consultant  Representative  Tenant

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Email Address: ddickerson@miskelbackman.com

Email Address #2: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes  No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : \_\_\_\_\_

E-mail Address: \_\_\_\_\_

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Brandon Reynolds* Date 5/16/2024

PRINT NAME: Brandon Reynolds Date \_\_\_\_\_

Signature of Consultant/Representative: *Dwayne L. Dickerson* Date 5/20/24

PRINT NAME: Dwayne L. Dickerson Date \_\_\_\_\_

Signature of Tenant: *Kerry Endert* Date 5-15-24

PRINT NAME: KERRY ENDERT Date \_\_\_\_\_  
ASSISTANT SECRETARY, TARBELL of AMERICA, LLC.

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Dwayne Dickerson/Mikel Backman, LLP to be my legal representative before the TAC, P&D & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 16 day of May, 2024

*[Signature]*  
 Notary Public



*Brandon Reynolds*  
 Signature of Current Owner  
 Brandon Reynolds, Authorized Agent  
 Print Name

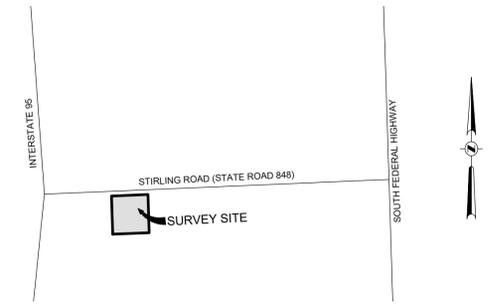
State of Florida  
 My Commission Expires 10/4/27 (Check One)  Personally known to me, OR  Produced Identification \_\_\_\_\_

**NOTES:**

1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK: 1798, ELEVATION: 11.29 FEET.
3. FLOOD ZONE: AE; BASE FLOOD ELEVATION: 11.29 FEET; PANEL #12011C0216H; COMMUNITY #125105; MAP DATE: 8/18/14.
4. THIS SITE LIES IN SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
5. GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE NORTH LINE OF LOT 1-B BEING N87°34'34"E.
6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
8. THIS SITE CONTAINS 31 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (29 REGULAR & 2 DISABLED).
9. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.
10. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 10973861, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 21, 2024 AT 8:00 AM. REVISED JUNE 27, 2024. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B, PART II OF SAID COMMITMENT.
  - ITEMS 1, 2, 3 & 4: STANDARD EXCEPTIONS, NOT ADDRESSED.
  - ITEM 5: ALL MATTERS SET FORTH IN PLAT BOOK 117, PAGE 36, APPLIES TO THIS SITE AS DEPICTED HEREON. AS AFFECTED BY IN O.R.B. 20295, PAGE 340. APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 6: EASEMENT TO FLORIDA POWER & LIGHT COMPANY, O.R.B. 4608, PAGE 618. APPLIES TO THIS SITE AS DEPICTED HEREON.
  - ITEM 7: MATTERS SHOWN ON SURVEYOR'S AFFIDAVIT O.R.B. 7750, PAGE 761. APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 8: GRANT OF EASEMENT IN O.R.B. 7840, PAGE 382. APPLIES TO THIS SITE AS DEPICTED HEREON.
  - ITEM 9: EASEMENT TO FLORIDA POWER & LIGHT COMPANY, O.R.B. 8829, PAGE 842. APPLIES TO THIS SITE AS DEPICTED HEREON.
  - ITEM 10: UTILITY EASEMENT, O.R.B. 8999, PAGE 601. APPLIES TO THIS SITE AS DEPICTED HEREON.
  - ITEM 11: NON-EXCLUSIVE PERPETUAL EASEMENT TO MCDONALD'S CORPORATION, O.R.B. 11183, PAGE 501. DOES NOT APPLY TO THIS SITE.
  - ITEM 12: TERMS AND CONDITIONS OF AGREEMENT, O.R.B. 11183, PAGE 507; RE-RECORDED, O.R.B. 11211, PAGE 287; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AS AFFECTED BY O.R.B. 23254, PAGE 345; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 13: ORDINANCE NO. 90-25, O.R.B. 17737, PAGE 179. DOES NOT APPLY TO THIS SITE.
  - ITEM 14: TERMS AND CONDITIONS OF THE AGREEMENT, O.R.B. 17762, PAGE 553; DOES NOT APPLY TO THIS SITE. AMENDMENT TO AGREEMENT, O.R.B. 20099, PAGE 254; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AGREEMENT, O.R.B. 20099, PAGE 289; DOES NOT APPLY TO THIS SITE. AMENDMENT TO SECOND CONCURRENCY AGREEMENT, O.R.B. 20744, PAGE 757; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. THIRD TRAFFIC CONCURRENCY AGREEMENT, O.R.B. 23193, PAGE 441; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. FOURTH TRAFFIC CONCURRENCY AGREEMENT, O.R.B. 26083, PAGE 857; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED AS AMENDED BY O.R.B. 32379. PAGE 1557; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 15: PRELIMINARY DEVELOPMENT AGREEMENT, O.R.B. 19477, PAGE 917. DOES NOT APPLY TO THIS SITE.
  - ITEM 16: ORDINANCE NO. 92-11, O.R.B. 19486, PAGE 962; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 17: ADOPTION OF A DEVELOPMENT ORDER, O.R.B. 19683, PAGE 124; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AFFECTED BY O.R.B. 21017, PAGE 944; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 18: TERMS, COVENANTS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 20319; DOES NOT APPLY TO THIS SITE. PAGE 778, AFFECTED BY O.R.B. 21906, PAGE 318; DOES NOT APPLY TO THIS SITE.
  - ITEM 19: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 20470, PAGE 165; DOES NOT APPLY TO THIS SITE. AFFECTED BY O.R.B. 21906, PAGE 295; DOES NOT APPLY TO THIS SITE.
  - ITEM 20: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 20795, PAGE 328; DOES NOT APPLY TO THIS SITE. AFFECTED BY O.R.B. 22017, PAGE 419; DOES NOT APPLY TO THIS SITE. MEMORANDUM OF LEASE, O.R.B. 21082, PAGE 290; DOES NOT APPLY TO THIS SITE. AFFECTED BY O.R.B. 21906, PAGE 302; DOES NOT APPLY TO THIS SITE.
  - ITEM 21: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21018, PAGE 457; DOES NOT APPLY TO THIS SITE. AFFECTED BY O.R.B. 21253, PAGE 299; DOES NOT APPLY TO THIS SITE. AGREEMENT, O.R.B. 21906, PAGE 308; DOES NOT APPLY TO THIS SITE.
  - ITEM 22: TERMS AND CONDITIONS FOR EASEMENTS, COVENANTS AND RESTRICTIONS, O.R.B. 21877, PAGE 304; DOES NOT APPLY TO THIS SITE.
  - ITEM 23: MORTGAGE AND SECURITY AGREEMENT, O.R.B. 21906, PAGE 228; DOES NOT APPLY TO THIS SITE. AFFECTED BY O.R.B. 21998, PAGE 514; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. ASSIGNED IN O.R.B. 25214, PAGE 366; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AFFECTED BY O.R.B. 25214, PAGE 384; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. CONSOLIDATED, AMENDED AND RESTATED, O.R.B. 25214, PAGE 411; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. SECOND AMENDED AND RESTATED, O.R.B. 4603, PAGE 740; DOES NOT APPLY TO THIS SITE. AS ASSIGNED, INSTRUMENT NUMBER 113439893; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. THIRD AMENDED, INSTRUMENT NUMBER 113439894; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 24: ASSIGNMENT OF LEASES AND RENTS, INSTRUMENT NUMBER 113439895; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 25: UCC-1 FINANCING STATEMENT, INSTRUMENT NUMBER 113439896; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ITEM 26: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 313; DOES NOT APPLY TO THIS SITE.
  - ITEM 27: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 325; DOES NOT APPLY TO THIS SITE.
  - ITEM 28: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 332; DOES NOT APPLY TO THIS SITE.
  - ITEM 29: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 339; DOES NOT APPLY TO THIS SITE.
  - ITEM 30: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 345; DOES NOT APPLY TO THIS SITE.
  - ITEM 31: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 351; DOES NOT APPLY TO THIS SITE.
  - ITEM 32: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 359; DOES NOT APPLY TO THIS SITE.
  - ITEM 33: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 369; DOES NOT APPLY TO THIS SITE.
  - ITEM 34: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 376; DOES NOT APPLY TO THIS SITE.
  - ITEM 35: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 381; DOES NOT APPLY TO THIS SITE.

**NOTES: CONTINUED**

- ITEM 36: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 386; DOES NOT APPLY TO THIS SITE.
- ITEM 37: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 391; DOES NOT APPLY TO THIS SITE.
- ITEM 38: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21906, PAGE 401; DOES NOT APPLY TO THIS SITE.
- ITEM 39: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 20543, PAGE 906; DOES NOT APPLY TO THIS SITE. AS AFFECTED BY O.R.B. 21906, PAGE 407; DOES NOT APPLY TO THIS SITE. AS FURTHER AFFECTED BY INSTRUMENT NUMBER 112915935; DOES NOT APPLY TO THIS SITE.
- ITEM 40: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21933, PAGE 267; DOES NOT APPLY TO THIS SITE.
- ITEM 41: LEASE TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS, O.R.B. 21926, PAGE 310; DOES NOT APPLY TO THIS SITE.
- ITEM 42: DECLARATION OF EASEMENT, O.R.B. 22874, PAGE 952; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 43: LEASE TERMS, COVENANTS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS O.R.B. 23370, PAGE 50; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AS AFFECTED O.R.B. 23370, PAGE 55; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. O.R.B. 25412, PAGE 492; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AND O.R.B. 23177, PAGE 1408; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. ASSIGNMENT OF LEASE, O.R.B. 28869, PAGE 1920; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 44: DECLARATION OF RESTRICTIVE COVENANTS, O.R.B. 23370 PAGE 61; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 45: DECLARATION OF RESTRICTIONS BY OAKWOOD PLAZA, O.R.B. 26400, PAGE 304; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. RE-RECORDED, O.R.B. 29960, PAGE 1832; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 46: DEVELOPMENT ORDER, O.R.B. 23447, PAGE 317; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED. AMENDED BY O.R.B. 25011, PAGE 312; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 47: CONVEYANCE AGREEMENT, O.R.B. 25505, PAGE 667; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 48: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT, O.R.B. 23465, PAGE 172; APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 49: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT, O.R.B. 23657, PAGE 771; APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 50: DECLARATION OF EASEMENTS AND COVENANTS, CONDITIONS AND RESTRICTIONS AND NOTICE OF LIEN RIGHTS AND OPTION TO REPURCHASE, O.R.B. 32715, PAGE 599; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 51: TRANSPORTATION CONCURRENCY AGREEMENT, O.R.B. 49303, PAGE 1500; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 52: RIGHTS OF TENANTS OCCUPYING ALL OR PART OF THE INSURED LAND UNDER UNRECORDED LEASES OR RENTAL AGREEMENTS; NOT ADDRESSED.
- ITEM 53: NOTE: NOTICE BY LANDLORD THAT REAL PROPERTY IS NOT SUBJECT TO CONSTRUCTION LIENS FOR IMPROVEMENTS MADE BY LESSEES, RECORDED IN O.R.B. 47023, PAGE 1132; APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 54: NOTE: ALTA 13 LEASEHOLD ENDORSEMENT WILL BE ISSUED WITH THE POLICY(IES).



VICINITY MAP  
NOT TO SCALE

**LEGAL DESCRIPTION:**

PARCEL I:  
LOT 1-B, HOLLYWOOD COMMERCIAL CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 117, PAGE 36, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL II:  
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR VEHICULAR AND PEDESTRIAN PURPOSES AS DISCLOSED IN GRANT OF EASEMENT DATED OCTOBER 26, 1978, RECORDED IN OFFICIAL RECORDS BOOK 7840, PAGE 382, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 29,223 SQUARE FEET (0.671 ACRES), MORE OR LESS.

**CERTIFICATION:**

TO TACO BELL OF AMERICA, INC., A DELAWARE CORPORATION; CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(c), 8, & 9 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 06/06/24.

DATE OF PLAT OR MAP: 07/12/24

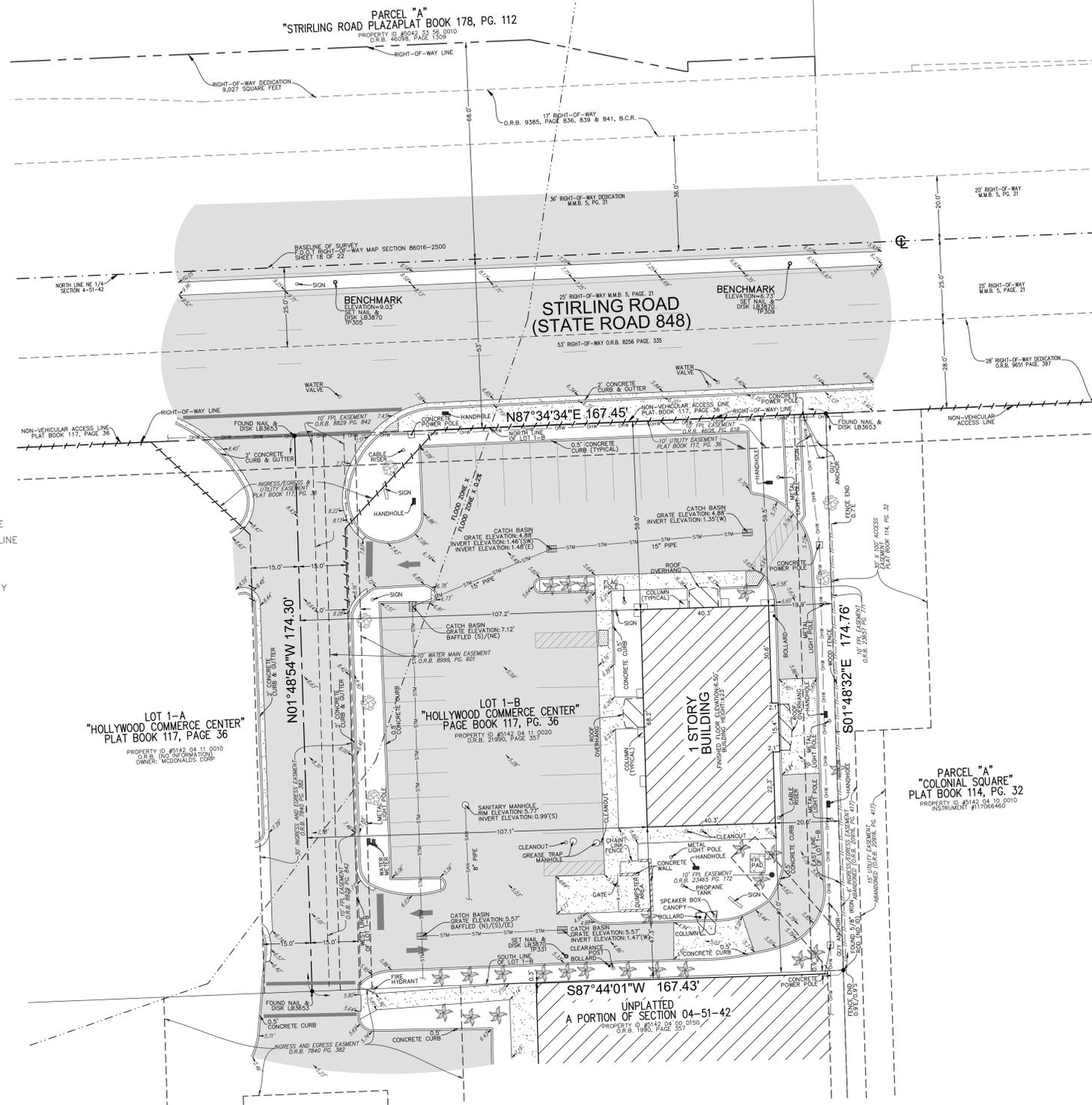
- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660  
STATE OF FLORIDA

SHEET 1 OF 2  
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

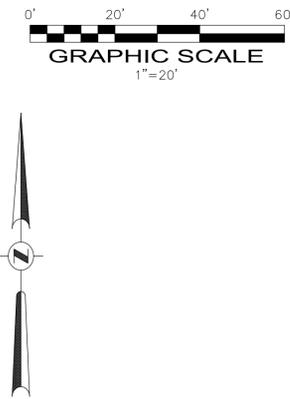
5		
4		
3		
2		
1		
NO.	REVISIONS	BY

**TACO BELL SITE**  
2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA 33020  
(CITY OF HOLLYWOOD, BROWARD COUNTY)

<b>BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY</b>		
	<b>PULICE LAND SURVEYORS, INC.</b> 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 E-MAIL: surveys@pulicelandsurveyors.com WEBSITE: www.pulicelandsurveyors.com CERTIFICATE OF AUTHORIZATION LB#3870	
	DRAWN BY: J.S. CHECKED BY: J.F.P.	SCALE: 1" = 20' SURVEY DATE: 6/6/24



- LEGEND & ABBREVIATIONS**
- CONCRETE
  - ASPHALT PAVEMENT
  - ELEVATION
  - OVERHEAD WIRES
  - UNDERGROUND STORM SEWER LINE
  - UNDERGROUND SANITARY SEWER LINE
  - NON-VEHICULAR ACCESS LNAE
  - CENTERLINE
  - FPL FLORIDA POWER & LIGHT COMPANY
  - LB LICENSED BUSINESS
  - O.R.B. OFFICIAL RECORDS BOOK
  - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
  - D.C.R. DADE COUNTY RECORDS
  - UNIDENTIFIED TREE
  - PALM TREE



SHEET 2 OF 2  
 THIS DOCUMENT IS NEITHER FULL NOR  
 COMPLETE WITHOUT SHEETS 1 AND 2

<b>BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY</b>		
	<b>PULICE LAND SURVEYORS, INC.</b> 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 E-MAIL: <a href="mailto:surveys@pulicelandsurveyors.com">surveys@pulicelandsurveyors.com</a> WEBSITE: <a href="http://www.pulicelandsurveyors.com">www.pulicelandsurveyors.com</a> CERTIFICATE OF AUTHORIZATION LB#3870	
	DRAWN BY: J.S. CHECKED BY: J.F.P.	SCALE: 1" = 20' SURVEY DATE: 6/6/24

July 15, 2024

**City of Hollywood**  
Development Services  
Planning Division

**Re: Taco Bell – Oakwood Plaza LP – 2700 Stirling Road, Hollywood, FL**  
**File Number: 24-DP-44**

The following is a response to staff comments. Below are the comments along with our responses in bold:

A. APPLICATION SUBMITTAL – Reginald White, Planner III ([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org))

1. Application Form:

- a. Put the date of the preliminary TAC Meeting and any other meeting on the cover sheet.  
**Response: The Preliminary TAC Meeting Date is provided on the C-01 “Cover Sheet”.**

2. Ownership & Encumbrance Report (O&E)

- a) Provide an ownership and encumbrance report. Indicate the report was searched from the time of platting of 1953 (earliest of the two).  
**Response: The title commitment has been submitted.**
- b) Work with the engineering division to ensure the O&E is accurate and all easements and dedications are indicated.  
**Response: Comment acknowledged. The title work has been submitted and plotted on the survey.**
- c) Indicate the listed encumbrances are abutting the property boundary necessary for legal access to the property.  
**Response: All encumbrances are plotted on the survey.**
- d) Ensure O&E addresses the requirements on the TAC submittal checklist:  
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>  
**Response: The title commitment has been submitted.**

3. ALTA Survey:

- a. Submit an Alta Survey that is signed and sealed.  
**Response: A Signed and Sealed Alta Survey has been provided.**
- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.  
**Response: Coordination with the Engineering Division will be done to ensure that the survey includes all appropriate elements.**

4. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

**Response: The Preliminary TAC Meeting Date and the Final TAC Meeting Date are provided on the C-01 “Cover Sheet”.**

5. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sign-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

a) Liberia Homeowner Association

b) Emerald Hills Homeowner Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information

**Response: A virtual public meeting was held on 6/26/2024 and there were no members of the public present. The required noticing was provided and the public participation summary has been provided with this submittal.**

6. Provide written responses to all comments with next submittal

**Response: Written responses are provided.**

**B. ZONING – Reginald White, Planner II ([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org)).**

**1. Site Plan**

- a) Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.

**Response: This note has been added on the C-05 “Site Plan” as note #1.**

- b) Consider relocating the dumpster enclosure to a more secluded area, preferably in the southeast corner of the property.

**Response: The proposed location was approved by Waste Management and an approval letter has been provided. The pick-ups will be during off hours and will not interfere with the north/south drive aisle.**

- c) Two lane drive through lane design provided is sufficient with Planning. Dimension all stacking spaces for the drive-through. Please note: vehicle stacking spaces shall measure eight feet six inches (8.5) feet wide by eighteen (18) feet long and shall be provided.

**Response: All stacking spaces have been dimensioned on the C-05 “Site Plan”.**

- d) Please dimension all parking spaces on the site plan. Ensure to show the width and length of each parking space.

**Response: All parking spaces have been dimensioned on the C-05 “Site Plan”.**

- e) Indicate concrete car stops (6ft long) for parking spaces on the site plan.

**Response: The curb overhang is acting as the wheel stop. There is a continuous curb with a 2 ft overhang. Wheel stops tend to be a tripping hazard and a maintenance issue.**

- f) Label handicap, and electric vehicle charging stations. Please provide at least one space dedicated for a electric vehicle charging station.

**Response: Handicap parking has been labeled. Electric vehicle charging stations will not be provided for this project. Based on the legislature that was recently passed, municipalities shall not impose a requirement for electric vehicle charging stations.**

Sec 151.154 The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate; or a fully functional electric vehicle-charging station.

- g) Illustrate the proposed VUA and landscape percentage on the property

**Response: The proposed VUA and Landscape percentage is provided on the District Requirements Table on the C-05 “Site Plan”.**

- h) Label the landscape buffer on the site plan.

**Response: The landscape buffers have been labeled on the C-05 “Site Plan”.**

- i) Indicate the height of the building, including the signs.

**Response: The height of the building is 22 ft. There are no signs proposed above the roofline.**

2. Site calculations:

- a) Provide the height of the building at the roofline and the total building height in the zoning calculations and elevation plans.

**Response: The height of the building is provided in the data table on the site plan and on the elevations.**

- b) Provide the proposed interior landscaped VUA percentage in your zoning data table.

**Response: The proposed VUA and Landscape percentage is provided on the District Requirements Table on the C-05 “Site Plan”.**

3. Work with the City’s Landscape Architect to ensure that all landscape requirements are met.

**Response: Comment Acknowledged. Landscape plans have been provided and any comments will be addressed.**

C. ARCHITECTURE AND URBAN DESIGN -Reginald White, Planner III  
([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org))

- a. Please provide more articulation and materials to exterior walls facing the public right of way.  
**Response: The windows provided exterior walls facing the public right of way provide articulation and material variety to the elevations.**
- b. Provide updated renderings of all sides of the building. Ensure renderings match the elevation plans.  
**Response: Renderings have been provided showing all sides of the building.**
- c. What colors and materials will be used for the design of the building?  
**Response: Preferred option materials are black Trespa PURA FNC panels and matte black PAC-CLAD ribbed steel panels. Lighter option materials are gray CMU stack bond and slate gray PAC-CLAD ribbed steel panels.**
- d. Consider applying materials such as stone or tile cladding or wood-textured paneling.  
**Response: Acknowledged. The building has multiple materials to break up the building lines.**
- e. Consider providing a slightly lighter base color to the building and incorporating more material.  
**Response: A lighter base color option has been submitted for staff review. Taco Bell prefers the darker base color if there is no preference.**
- f. Provide color and material samples on your next submittal.  
**Response: Color and material sample board has been provided in the resubmittal.**
- g. Ensure building design complies with this section of zoning ordinance.  
**Response: The building design complies with the zoning ordinance.**
- h. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.  
**Response: No parking garage is proposed for this project.**

D. SIGNAGE – Reginald White, Planner III ([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org))

1. Provide the following note: “All signage shall be in compliance with the Zoning and Land Development regulations”.  
**Response: The note has been added on the C-05 “Site Plan” as note #2.**
2. Provide note on Site Plan: “All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.”  
**Response: The note has been added on the C-05 “Site Plan” as note #3.**
3. Please ensure signs are not posted above the building line. Please note:  
8.3.d. signs shall not extend above or beyond the roof line or parapet wall.  
**Response: The note has been added on the C-05 “Site Plan” as note #4.**

E. LIGHTING – Reginald White, Planner III ([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org))

1. Provide note on Site Plan: “Maximum foot candle level at all property lines maximum 0.5 if adjacent to residential.

**Response: The note has been added on the C-05 “Site Plan” as note #5.**

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY – Reginald White, Planner III ([rwhite@hollywoodfl.org](mailto:rwhite@hollywoodfl.org))

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations on the visitor parking spaces.

**Response: Electric vehicle charging stations will not be provided for this project. Based on the legislature that was recently passed, municipalities shall not impose a requirement for electric vehicle charging stations.**

2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

**Response: Green Building certification will not be applied for this project.**

G. ENGINEERING – Anita Behmardi, Deputy Director ([abehmardi@hollywoodfl.org](mailto:abehmardi@hollywoodfl.org)) Clarissa Ip, City Engineer, ([Cip@hollywoodfl.org](mailto:Cip@hollywoodfl.org)) Rick Mitinger, Transportation Engineer ([rmittinger@hollywoodfl.org](mailto:rmittinger@hollywoodfl.org))

1. Provide plat determination letter from Broward County Planning Council.

**Response: A plat determination letter is included with the submittal.**

2. ALTA survey provided is not signed and sealed, please provide signed and sealed document.

**Response: A signed and sealed ALTA Survey has been provided.**

3. Provide O & E report.

**Response: The title commitment is provided.**

4. Per survey, access at the northwest corner of the parcel is within a Non-Vehicular Access Line. A plat amendment will be required. If plat amendment is being pursued, the process is through Engineering, Transportation and Mobility Division, a separate submittal with application and supporting documents will be required. Application is available via City website at [www.hollywoodfl.org/DocumentCenter/View/19697/Plat-Subdivision-Regulations-Application-2021-2022-003](http://www.hollywoodfl.org/DocumentCenter/View/19697/Plat-Subdivision-Regulations-Application-2021-2022-003). Plat amendment requires City Commission approval.

**Response: Comment acknowledged. We are coordinating with the County on the review of the NVAL amendment and will submit to the City upon acceptance from the County.**

5. Site Plan designates an ADA route from east of the dumpster enclosure that is missing a detectable warning mat.  
**Response: A detectable warning mat has been added east of the dumpster enclosure on the C-05 "Site Plan".**
6. Site Plan needs to properly sign and stripe to the intersection Stirling Road to include items such as but not limited to Stop Bar, Stop Sign, Right Turn Only Sign, 25' Double Yellow pavement marking south of the stop bar.  
**Response: The proper pavement markings and signs have been added on the C-05 "Site Plan".**
7. Sheet SP-01, proposed dumpster location along the front of the proposed restaurant building and McDonald's Restaurant. Dumpster pad is within the entrance and exit for this restaurant and for the adjacent McDonald's. Please relocate dumpster to the back of the parcel.  
**Response: The proposed location was approved by Waste Management and an approval letter has been provided. The pick-ups will be during off hours and will not interfere with the north/south drive aisle.**
8. Site Plan indicates overhangs adjacent to the building that should be avoided at the ADA ramps per City of Hollywood standards. Applied standards should be attached in plans.  
**Response: The required clear width of the sidewalk and ADA ramps is provided. An expanded 8 ft wide sidewalk is provided to allow for the 2 ft parking overhang and a 6 ft wide clear path.**
9. All applicable City of Hollywood standards should be provided on plans. Please include all applicable Standard City of Hollywood details:  
<https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>  
**Response: City of Hollywood Standard and details have been added on the C-07 "Hollywood Details" sheet.**
10. Include and show all surrounding elements as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement (EOP), swale, sidewalks etc.  
**Response: An updated survey has been provided to include all applicable surrounding elements.**
11. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan. Provide a detail for the proposed ramps showing how they achieve ADA compliance.  
**Response: The note has been added on the C-05 "Site Plan" as note #6. The grading of the ADA route is included on the C-09 "Paving, Grading and Drainage Plan".**

12. On Site Plan, for the accessible routes, identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush, label as such.

**Response: The grading of the ADA route is included on the C-09 “Paving, Grading and Drainage Plan”.**

13. All driveway access shall have visibility triangles at the intersection of the property line and the driveway. Please show on plans all visibility triangles at all driveway accesses. A visibility triangle is an area adjacent to a driveway and the private property line where the driveway intersects a street/alley. If the property line is less than 12 feet from the edge of pavement in the rights-of-way provide a 12' X 12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address in plans. Be sure to provide dimension for distance between the property line and the edge of pavement.

**Response: Visibility triangles have been added at the Stirling intersection on the C-05 “Site Plan”.**

14. Please provide a detail for the proposed ADA ramp. Include items such as but not limited to all widths, lengths, slope, and the critical clear width between the two handrails. Identify the ADA turning radius at all landings. All landings shall be minimum of 5' x 5'.

**Response: The ADA ramp details have been included on the C-06 “Site Details” .**

15. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

<https://hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>

**Response: Civil Plans are being submitted along with this response letter.**

16. BCTED approval will be required for all pavement markings within City rights-of-way, please add as note on civil pavement marking and signage plan.

**Response: This note has been added on the C-08 “Pavement Marking & Signage Plan” as note #4.**

17. How will the redevelopment of this parcel be coordinated and incorporated with the overall Oakwood project redevelopment that has been reviewed under land use plan amendment? i.e. project road thoroughfare, pedestrian connectivity and overall development common parking area and access.

**Response: There is pedestrian connectivity proposed to the south property and to Stirling Rd.**

18. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

**Response: There are no City rights-of-ways adjacent to the subject property.**

19. MOT plans required at the time of City Building Permit review.  
**Response: Comment Acknowledged.**
20. All outside agency permits are required at the time of City building permit review.  
**Response: Comment Acknowledged.**
21. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.  
**Response: Comment Acknowledged.**
22. More comments may follow upon review of the requested information.  
**Response: Comment Acknowledged.**

#### H. LANDSCAPING

1. No Landscape plan submitted for review.  
**Response: Landscape plans are provided with this submittal.**
2. Provide A Tree Disposition plan showing all existing trees/palms. Show all trees on site to scale. The tree legend must include the tree number, common name, botanica name, DBH, overall height, spread condition, and disposition (to remain, to be relocated, to be removed). Show all canopy including crowns of trees from adjacent lot located within 15' from property line. For new construction, disposition plan must superimpose the new construction plan.  
**Response: Tree Disposition Plans have been provided. See sheets TD-1 and TD-2. Existing trees are shown with D.B.H and canopy diameter from the Surveyor's Inventory Chart. Tree Inventory Chart includes required columns where data was provided by Surveyor's Inventory Chart. Existing trees on adjacent properties are shown at scale where data was provided by the Survey. Tree Disposition Plan superimposes the new construction plan.**
3. Provide landscape plan and planting details with the required landscape per zoning. All parking islands shall have a Shade tree at 12' with 2" dbh min.  
**Response: Planting plan and details have been provided. All parking lot islands contain at least one tree at 12' height minimum and 2" DBH minimum. See sheet LP-1.**
4. Survey shows existing mature trees area of proposed dumpster location.  
**Response: One (1) 9" d.b.h. Oak Tree is proposed to be removed within the dumpster area footprint. See sheet TD-1.**
5. Add note: Replace and fill gaps for any existing shrubs and groundcover to remain. All sod areas to be replaced as needed. Planting soil to be raised in planting areas to remain as needed.  
**Response: Note provided on sheet LP-1.**
6. Add note: All landscaping shall be warranted for 1 year after final inspection.  
**Response: Note provided on sheet LP-1.**
7. Add note: No landscape substitutions shall be made without the City of Hollywood approval.  
**Response: Note provided on sheet LP-1.**

8. Add note: No tree removal or planting allowed until sub permits are fully approved by city.  
**Response: Note provided on sheet TD-1.**
  9. Add note: Arborist to provide root pruning by hand and mitigate if failure is expected due to construction.  
**Response: Note provided on sheet TD-1.**
  10. Add note: No Cypress mulch is to be used on site. Provide Eucalyptus or Melaleuca mulch in a 3" consistent layer in all planting beds.  
**Response: Note provided on sheet LP-1.**
  11. Provide note for irrigation plans with 100% coverage to be submitted at building permit.  
**Response: Note provided on sheet LP-1.**
  12. Provide sight triangles on plans at intersection of driveway and property line. Sec. 155.12 (d) Add note to plan: Landscaping within the triangular areas shall provide unobstructed cross visibility at a level between 2 feet and 6.5 feet.  
**Response: Sight triangle and note have been added to sheet LP-1.**
  13. Native plant requirements: 60% TREES, 50% shrubs – Sec. 3.4.  
**Response: Landscape plan meets native plant requirements. See Landscape Calculations on sheet LP-1.**
  14. Label all sides of property weather there are “Existing Overhead Powerlines” or “No Overhead Powerlines”. Provide FPL approved trees for planting under powerline.  
**Response: All sides of the property have been labeled for Overhead or No Overhead Powerlines. Approved trees have been provided where Overhead Powerlines occur. See sheet LP-1.**
- I. UTILITIES** Alicia Vereá-Feria, Floodplain Development Review Administrator -[averea-ferio@hollywoodfl.org](mailto:averea-ferio@hollywoodfl.org)
1. Submit civil engineering plans for initial review. Provide a Paving, Grading and Drainage Plan showing existing and proposed site elevations and drainage and provide a Utilities Plan indicating existing and proposed water and sewer connections, and fire service, as applicable.  
**Response: Civil Plans have been submitted along with this response letter.**
  2. Include water and sewer demand calculations on Utilities Plan.  
**Response: Water and sewer demand calculations have been added on the C-12 “Utility Plan”.**
  3. Provide The City’s Latest applicable standard Water and Sewer details. The details are available on the City’s website via the following link: <http://www.hollywood.org/1169/Standard-details-andpublic-notices>  
**Response: The City’s Latest applicable standard Water and Sewer details have been added on C-13 “Utility Details”.**
  4. This site currently resides within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) – 8.0’ NAVD88 complies with the Broward County Future Conditions. 100- year Flood Map 2060. However, the FFE may not comply with Section 154.50 of the City’s Code of

Ordinances which requires the minimum FFE for non-residential use outside of a special flood hazard area (SFHA) shall be 6-inches above the highest adjacent crown of road.

**Response: It was discussed at the preliminary TAC meeting that the crown of road would be defined as the crown of the adjacent travel lane. Based on the interpretation of the grades on the survey, the highest adjacent crown of the adjacent travel lane is approximately 7.36' NAVD. Therefore, 8.00' NAVD is higher than 6 inches above this elevation. In addition, the highest crown of road elevation at the median in the middle of the street is 6.69' NAVD fronting the building. Therefore, 6.69' NAVD plus 6" inches equals 7.19' NAVD and the building FFE of 8.00' is higher. If it is determined that a different interpretation is required, the building FFE will be updated accordingly.**

5. Add note indicating the bottom elevation of the exterior electrical and/or mechanical equipment shall be elevated to match the proposed FFE.

**Response: This Comment has been added on the C-12 "Utility Plan" as note #1**

6. Provide perimeter cross-sections across all property limits including transition areas meeting adjacent property grades.

**Response: Cross sections have been provided on Sheet C-11.**

7. Provide preliminary drainage calculations including pre and post development ensuring all stormwater is retained onsite.

**Response: Preliminary drainage calculations have been provided.**

8. Indicate how roof drainage will be collected and connected to the on-site drainage system.

**Response: Roof drainage is shown on the C-09 "Paving, Grading and Drainage Plan". The roof drainage are directly connected underground to the drainage system.**

9. Submit Erosion Control Plan.

**Response: C-03 "Erosion Control Plan" has been added.**

10. Landscape plans to be submitted should coordinate with civil plans to accommodate drainage features. Proposed landscaping shall not obstruct onsite stormwater runoff retention.

**Response: The landscape and civil plans are coordinated.**

11. Permit approval from outside agencies will be required.

**Response: Comment Acknowledged.**

12. Additional comments may follow upon further review of requested items.

**Response: Comment Acknowledged.**

J. **BUILDING** - Russell Long, Chief Building Official ([rlong@hollywoodfl.org](mailto:rlong@hollywoodfl.org)) 954-921-3490 Daniel Quintana, Assistant Building Official ([dquintana@hollywoodfl.org](mailto:dquintana@hollywoodfl.org)) 954-921-3335

- a. 302.1 Occupancy classification. Occupancy classification is the formal designation of the primary purpose of the building.

**Response: The occupancy classification for this project is B-Business.**

- b. General Building height and areas CH 5 T504.3, T504.4

**Response: The building area is 2,187 square feet and the maximum building height is 22 feet.**

- c. Type of Construction General. Buildings and structures erected or to be erected, altered, or extended in height or area shall be classified in one of the five construction types defined in Sections 602.2 through 602.5.

**Response: The type of construction is Type VB-Unprotected.**

- d. Fire Protection Fire-resistance rating requirements for structural elements and separation CH7

**Response: Fire protection is not required for this building.**

- e. Sprinkler system. Determine if the height of the building will require a fire sprinkler system FBC CH 9

**Response: Fire sprinkler system is not required for this building.**

- f. Permit approval from outside agencies will be required.

**Response: Comment Acknowledged.**

**K. Fire – Chris Clinton, Fire Marshal ([cclinton@hollywoodfl.org](mailto:cclinton@hollywoodfl.org))**

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

**Response: Comment Acknowledged.**

2. Water supply shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- [underground@hollywoodfl.org](mailto:underground@hollywoodfl.org).

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

**Response: Comment Acknowledged. We will coordinate with the Underground Utilities Department to schedule a flow test.**

3. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102

**Response: This Comment has been added on the C-12 “Utility Plan” as note #2.**

**L. PUBLIC WORKS** Annalie Holmes, Public Works Director ([aholmes@hollywoodfl.org](mailto:aholmes@hollywoodfl.org)) -Daniel Millien, Environmental Services Manager ([dmillien@hollywoodfl.org](mailto:dmillien@hollywoodfl.org)) 954-967-4207

1. No comments received at this time.

**Response: Acknowledged.**

**M. PARKS, RECREATION AND CULTURAL ARTS** -David Vazquez, Assistant Director  
(dvazquez@hollywoodfl.org) 954-921-3404

1. No action is needed from PRCA.  
**Response: Acknowledged.**

**N. COMMUNITY DEVELOPMENT**

Ryon R. Coote, Community Development Manager (RCoote@hollywoodfl.org) 954-924-2958  
Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received at this time.  
**Response: Acknowledged.**

**O. ECONOMIC DEVELOPMENT**

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) -Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.  
**Response: Acknowledged.**

**P. POLICE DEPARTMENT** - Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371  
Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

1. No comments received at this time.  
**Response: Acknowledged.**

**Q. DOWNTOWN AND BEACH CRA** - Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org)  
- Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org)

1. Not Applicable.  
**Response: Acknowledged.**

**R. PARKING** - Angela Kelsheimer, Parking Manager (akeisheimer@hollywoodfl.org)  
Natnael Jowhar, Parking Operations Supervisor (NJOWHAR@hollywoodfl.org) 954-921-3547

1. No comments received at this time.  
**Response: Acknowledged.**

**S. ADDITIONAL COMMENTS** Reginald White, Planner III (rwhite@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.  
**Response: Acknowledged.**

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review. Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

**Response: Comment acknowledged.**

Should you have any questions, please do not hesitate to contact me at 954-202-7000 or by email at [kdipierro@thomaseg.com](mailto:kdipierro@thomaseg.com). Thank you for your time and kind consideration with regards to this matter.

Sincerely,

**Thomas Engineering Group**

Kristin DiPierro, P.E.

Project Manager

# SITE DEVELOPMENT DRAWINGS FOR: TACO BELL REDEVELOPMENT

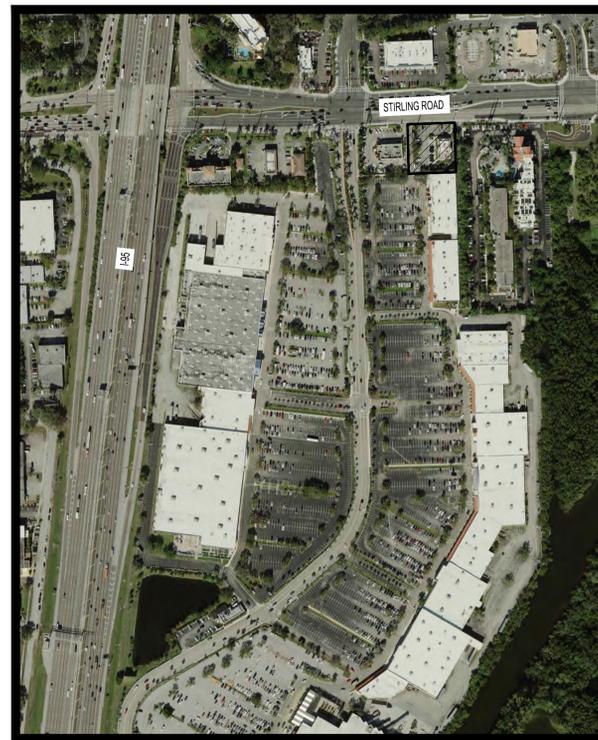
PRELIMINARY TAC MEETING DATE: 6/3/2024  
FINAL TAC MEETING DATE: 8/19/2024  
2700 STIRLING ROAD, HOLLYWOOD, FL  
SECTION 04, TOWNSHIP 51S, RANGE 42E  
FOR  
GPD GROUP

## LEGAL DESCRIPTION

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## VICINITY \ AERIAL MAP

1"=300'



## SHEET INDEX

SHEET NAME:	SHEET NUMBER:	REVISION		
		1	2	3
		5/20/2024		
		7/15/2024		
<b>PLANS BY THOMAS ENGINEERING GROUP:</b>				
COVER SHEET	C-01	•	•	
GENERAL NOTES	C-02		•	
EROSION CONTROL PLAN	C-03		•	
DEMOLITION PLAN	C-04		•	
SITE PLAN	C-05	•	•	
SITE DETAILS	C-06		•	
CITY OF HOLLYWOOD DETAILS	C-07		•	
PAVEMENT MARKING & SIGNAGE PLAN	C-08		•	
PAVING, GRADING & DRAINAGE PLAN	C-09		•	
PAVING, GRADING & DRAINAGE DETAILS	C-10		•	
CROSS SECTIONS	C-11		•	
UTILITY PLAN	C-12		•	
UTILITY DETAILS	C-13		•	
<b>PLANS BY EVERGREEN DESIGN GROUP:</b>				
TREE DISPOSITION PLAN	TD-1		•	
TREE DISPOSITION DETAILS & SPECS	TD-2		•	
LANDSCAPE PLANTING PLAN	LP-1		•	
LANDSCAPE DETAILS & SPECIFICATIONS	LP-2		•	
<b>PLANS BY GPD GROUP:</b>				
EQUIPMENT & SEATING PLAN	A2.0		•	
EXTERIOR ELEVATIONS	A4.0		•	
EXTERIOR ELEVATIONS	A4.1		•	
TRASH ENCLOSURE DETAILS	G2.0		•	
<b>PLANS BY PULICE LAND SURVEYORS:</b>				
ALTA/NSPS LAND TITLE SURVEY	1 OF 1		•	

## PROJECT TEAM

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(724) 263-7757

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ARCHITECT:  
GPD GROUP  
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LANDSCAPE ARCHITECT:  
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2255 GLADES RD, SUITE 324A  
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LAND SURVEYOR:  
FORTIN, LEAVY, SKILES, INC.  
180 NE 168TH ST.  
NORTH MIAMI BEACH, FL 33162  
DANIEL C. FORTIN, JR.  
(305) 653-4493

PREPARED BY:



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
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1	7/12/2024	TAC COMMENTS	CJM

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KRISTIN N. DIPIERRO, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 94350  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPIERRO, PE ON 7/15/2024.  
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PROJECT No.: F230118  
DRAWN BY: JFV  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118-COVER

PROJECT:  
**TACO BELL REDEVELOPMENT**  
FOR  
**GPD GROUP**  
2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS ENGINEERING GROUP**  
6300 NW 31ST AVENUE  
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SHEET TITLE:  
**COVER SHEET**  
SHEET NUMBER:  
**C-01**

## PROJECT NOTES

A. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

B. WATER AND SEWER UTILITY PROVIDER FOR THIS PROJECT IS THE CITY OF HOLLYWOOD WATER & SEWER DEPARTMENT.

## GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION UNLESS NOTED OTHERWISE IN THE PLANS. SHOULD A CONFLICT EXIST BETWEEN THE PLANS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE MORE STRINGENT SHALL APPLY.

2. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:  
- ALTANSYS LAND TITLE SURVEY PREPARED BY PULICE LAND SURVEYORS, INC., DATED 06/26/2024

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HESHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

3. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 1201 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.), FLORIDA ACCESSIBILITY CODE (LATEST EDITION) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

5. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

7. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND OTHERS. PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING GROUP, LLC IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES, NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR RE-WORK FOR FAILURE TO VERIFY EXISTING CONDITIONS.

9. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS.

10. CONTRACTOR SHALL UTILIZE THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY CONNECTION LOCATIONS AND ELEVATIONS. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO COMMENCEMENT OF WORK IF THERE ARE ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ARCHITECTURAL/BUILDING PLANS. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK AFTER COMMENCEMENT OF WORK.

11. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

12. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERSECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR POLICIES ENDORSED TO NAME THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING GROUP, LLC WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

19. THOMAS ENGINEERING GROUP, LLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING GROUP'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING GROUP, LLC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING GROUP, LLC WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING GROUP, LLC WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING GROUP, LLC NOR THE PRESENCE OF THOMAS ENGINEERING GROUP, LLC OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING GROUP, LLC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL, OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING GROUP, LLC SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

23. CONTRACTOR IS RESPONSIBLE FOR DESIGNING, SEQUENCING AND PROVIDING REQUIRED MAINTENANCE AND PROTECTION OF TRAFFIC (M.O.T.) FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL (VEHICULAR AND PEDESTRIAN) WITHIN THE RIGHT-OF-WAY OR ON SITE. M.O.T. SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) OR OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION REQUIREMENTS. THE COST FOR M.O.T. SHALL BE INCLUDED IN THE CONTRACT PRICE.

24. CONTRACTOR SHALL CONFIRM THAT LAYOUT OF SIDEWALKS AND PARKING AREAS MEET THE APPLICABLE ADA ACCESSIBILITY REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO ADDITIONAL COMPENSATION FOR REWORK SHALL BE PROVIDED FOR FAILURE TO NOTIFY ENGINEER PRIOR TO COMMENCEMENT OF WORK OF ANY DISCREPANCIES.

25. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

26. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY. THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.

27. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

28. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND APPLICABLE GOVERNMENTAL AGENCIES HAVING JURISDICTION FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

29. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

30. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

31. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE THE BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION FROM THE GOVERNMENTAL AGENCY HAVING JURISDICTION.

32. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE. ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

33. CONTRACTOR SHALL REMOVE ORGANICS AND/OR DELETERIOUS MATERIAL WHERE ENCOUNTERED AND REPLACE WITH SUITABLE FILL. ORGANICS MAY BE REUSED TO GRADE LANDSCAPE AREAS.

## SANITARY SEWER NOTES:

A. GENERAL:  
1. COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

B. MATERIALS:  
1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS. (2" SHALL BE DR-26).

2. DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYLINE GASKET AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-86 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4"-12" SPECIFIED).

3. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

C. INSTALLATION:  
1. PIPE AND FITTINGS:  
a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UN-BELL PLASTICS PIPE ASSOCIATIONS' RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE".  
b. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C600-89 OR LATEST REVISION.  
c. BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEAK ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF ENGINEER AND THE UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

2. SERVICE:  
a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING

CODE.  
b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.  
c. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.  
d. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18"(MIN) ABOVE GRADE.  
e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.  
f. CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.

D. TESTING:  
1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.

2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.

3. MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER LIFT. NO VISIBLE LEAKAGE ALLOWED.

4. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.

5. SANITARY SEWER SHALL BE TELEVIEWED AND LAMPED, PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY. VISIBLE INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

## WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

A. GENERAL:  
1. COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

2. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE UTILITY PROVIDER AND RELEASED TO BE PLACED IN TO SERVICE BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR AN ENTITY WHICH IT HAS RELEGATED ITS AUTHORITY.

3. BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER

4. USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).

5. A SIX (6) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (I.E. CATCH BASINS, POWER POLES, INCLUDING TREES, & WATER MAINS, ETC.).

6. NO VALVES, METERS, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN, OR ADJACENT TO, SIDEWALKS, CURBS, PARKING SPACES OR OTHER SUCH SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURE.

B. MATERIALS:  
1. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE AND CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE, WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.

2. ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSIIAWWA C900-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).  
3. FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSIIAWWA C110/A21.10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.  
4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSIIAWWA C509-87 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.  
a. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSIIAWWA C509-87.  
b. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.  
c. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

5. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.

6. VALVE BOXES SHALL BE TYLERUNION 461-S OR APPROVED EQUAL.

7. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21.11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING, CLOW CORPORATION MODEL F-1658 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

8. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.

9. FIRE HYDRANTS SHALL COMPLY WITH 5 1/4" MAIN VALVE OPENING, PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE MUELLER CENTURIUM OR AMERICAN DARING. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

10. PIPE COLOR CODING REQUIREMENT SHALL CONFORM TO 625-565.200(2) (b) (3), F.A.C.

C. SERVICE CONNECTION:  
1. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-82 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.  
2. CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.  
3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-82. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDE, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER.

D. INSTALLATION:  
1. GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY ANY ONE OF THE FOLLOWING METHODS:  
a. METHOD A, A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.  
b. METHOD B, A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO

GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.  
c. METHOD C, A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.

2. BEDDING:  
BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR AI PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEAK ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE ENGINEER AND UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

3. PVC PIPE:  
a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UN-BELL PLASTIC PIPE ASSOCIATIONS' GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.  
b. PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER  
c. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.

4. DUCTILE PIPE:  
a. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C600-89 OR LATEST REVISION.  
b. D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.  
c. "NON-DETECTO" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP.

5. VALVES:  
a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER, A BRASS DISK INDICATING, SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.  
b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.  
c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT, WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES.  
d. THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:  
a. COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.  
b. SERVICES UP TO 2" SHALL BE TYPE "K" COPPER.  
c. METER STOPS SHALL HAVE TO 10" COVER AS REQUIRED FOR PROPER METERBOX INSTALLATION.  
d. WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.  
e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" MINIMUM ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING:  
1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSIIAWWA C600-05 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN ± 5 P.S.I. DURING THE TEST.  
2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY PROVIDER AND THE ENGINEER OF RECORD.  
3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSIIAWWA C651-05, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.  
4. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1,000' MAXIMUM FOR LINES GREATER THAN 1,500' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS OR THE AGENCY WHICH IT HAS RELEGATED ITS AUTHORITY.

5. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:  
$$L = S D P^{0.5}$$
$$148,000$$

IN WHICH:  
L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR  
S = LENGTH OF PIPE (LINEAR FEET)  
D = NOMINAL DIAMETER OF PIPE (INCHES)  
P = THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH)

6. REINFORCED CONCRETE PAVEMENTS SHALL BE A MIN THICKNESS OF 6" AND CONSTRUCTED OF CLASS 1 CONCRETE WITH A MINIMUM STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.

7. COMPACT STABILIZED SUB-BASE TO 98% OF MAX. DRY DENSITY PER ASHTO T-180 (MIN LBR 40).

8. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER ASHTO T-180.

9. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT STANDARD SPECIFICATIONS, LATEST REVISION, FOR TYPE SP-9.5 ASPHALTIC CONCRETE.

D. TESTING:  
1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.  
2. DENSITY TESTS SHALL BE TAKEN ON THE SUBGRADE AND BASE MATERIAL BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.  
3. ALL TESTING COSTS SHALL BE PAID FOR BY THE CONTRACTOR.

4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GOVERNMENTAL AGENCY HAVING JURISDICTION AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.  
5. DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GOVERNMENTAL AGENCY HAVING JURISDICTION BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

6. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTORS' OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

7. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HESHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

8. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

9. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

10. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

11. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

12. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

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17. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

18. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

19. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

20. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

21. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

22. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

23. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

24. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

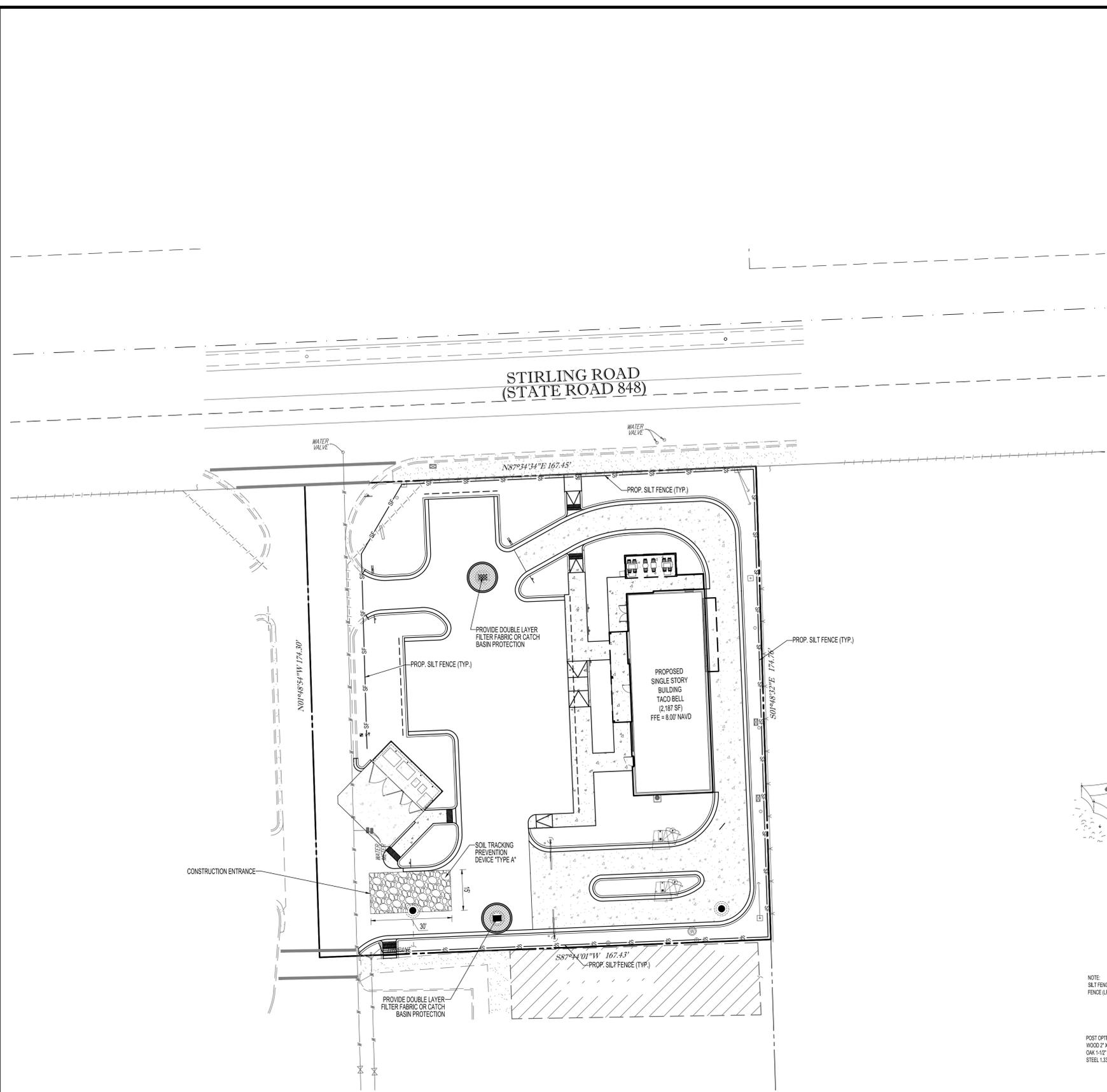
25. ALL PAVED & UNPAVED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

3. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE GRADING ADJACENT TO BUILDINGS COMPLY WITH FBC SECTION 180.3 AND PROVIDE POSITIVE DRAINAGE FLOW TO THE SITE DRAINAGE SYSTEM. CONTRACTOR SHALL INSTRUCT SUB-CONTRACTORS (SITE, LANDSCAPE, ETC.) OF THE SAME. SHALLOW SWALES MAY BE NEEDED IN CERTAIN INSTANCES.

B. MATERIALS:  
1. ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-254 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.

2. ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ASTM LATEST MINIMUM STANDARDS.

3. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-478 AND 64T UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12 INCHES EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF f=3,750 PSI AT 28 DAYS.



**EROSION CONTROL NOTES:**

- CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
- ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
- SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
- FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
- THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
- CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
- LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
- THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENT.
- ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
- PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

**THOMAS ENGINEERING GROUP**  
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
 1502 W. FLETCHER AVE.  
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 P: (813) 379-4100  
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 125 W. INDIANTOWN RD.  
 SUITE 100  
 TAMPA, FL 33613  
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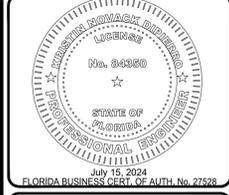
REVISIONS			
REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CJM

**Sunshine 811**  
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	7/15/2024
CAD I.D.:	F230118-EROS

**TACO BELL REDEVELOPMENT**  
 FOR  
**GPD GROUP**  
 2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

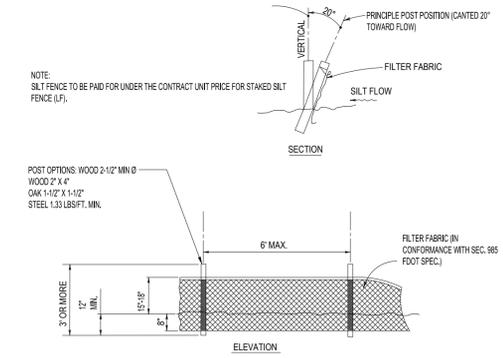
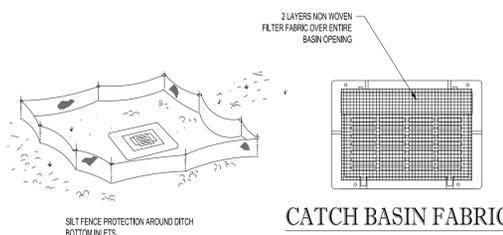
**THOMAS ENGINEERING GROUP**  
 6300 NW 31ST AVENUE  
 FORT LAUDERDALE, FL 33309  
 PH: (954) 202-7000  
 FX: (954) 202-7070  
 www.ThomasEngineeringGroup.com



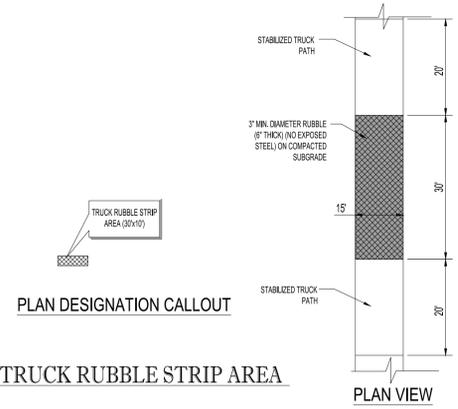
SHEET TITLE:  
**EROSION CONTROL PLAN**  
 SHEET NUMBER:  
**C-03**

**LEGEND**

- SILT FENCE
- FILTER FABRIC /CB PROTECTION
- SOIL TRACKING



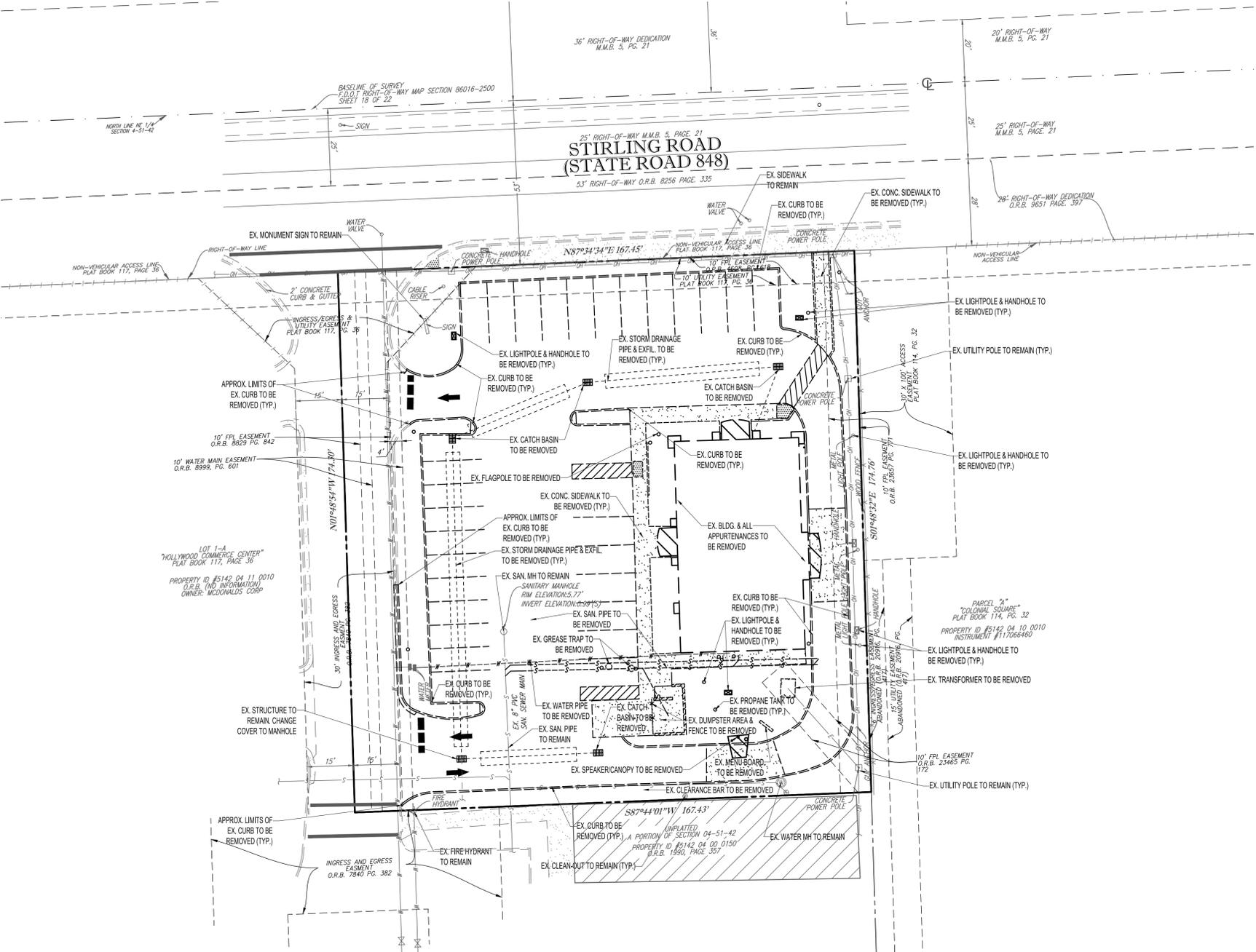
- NOTES:**
- SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREAS ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
  - CATCH BASIN FABRIC TO BE PLACED ON AREA INLETS SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
  - ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, SILT FENCE AND OTHER BMPs SHALL BE INSTALLED PRIOR TO CONSTRUCTION.



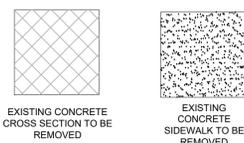


- NOTES**
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  - ALL EXISTING UTILITIES SHALL BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH CITY OF HOLLYWOOD AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - CONTRACTOR TO COORDINATE WITH ALL UTILITIES AND DISCONNECT ALL EX UTILITIES PRIOR TO DEMOLITION. THIS INCLUDES ALL CUTTING OF CAPPING OF FACILITIES.
  - REFER TO LANDSCAPE PLANS FOR TREE REMOVAL.

- DEMOLITION NOTES:**
- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
PULICE LAND SURVEYORS, INC.  
5381 NOB HILL ROAD  
SUNRISE, FL 33351
  - THOMAS ENGINEERING, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
  - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
    - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
    - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
    - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
    - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE APPROX. LIMITS OF DISTURBANCE.
    - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
    - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
    - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
    - A COMPLETE INSPECTION BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ANY CONTAMINANTS ENCOUNTERED DURING THE DEMOLITION PROCESS. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE.
  - SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY.
  - TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE, THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE APPROX. LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNERS STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL JUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - ANY DAMAGED SIDEWALK AND/OR CURB AND GUTTER WITHIN THE PROJECT LIMITATIONS IS TO BE REMOVED AND REPLACED.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
  - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF HOLLYWOOD AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.



**HATCH LEGEND**



REVISIONS			
REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CJM

**Sunshine**

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Check positive response codes before you dig!

KRISTIN N. DIPERRO, STATE OF FLORIDA  
PROFESSIONAL ENGINEER, LICENSE NO. 34350  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KRISTIN N. DIPERRO, PE ON 7/15/2024. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No.: F230118  
DRAWN BY: JFV  
CHECKED BY: KND  
DATE: 7/15/2024  
CAD I.D.: F230118-DEMO

**TACO BELL REDEVELOPMENT**

FOR

**GPD GROUP**

2700 STIRLING ROAD  
HOLLYWOOD, FLORIDA

**THOMAS**  
ENGINEERING GROUP

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
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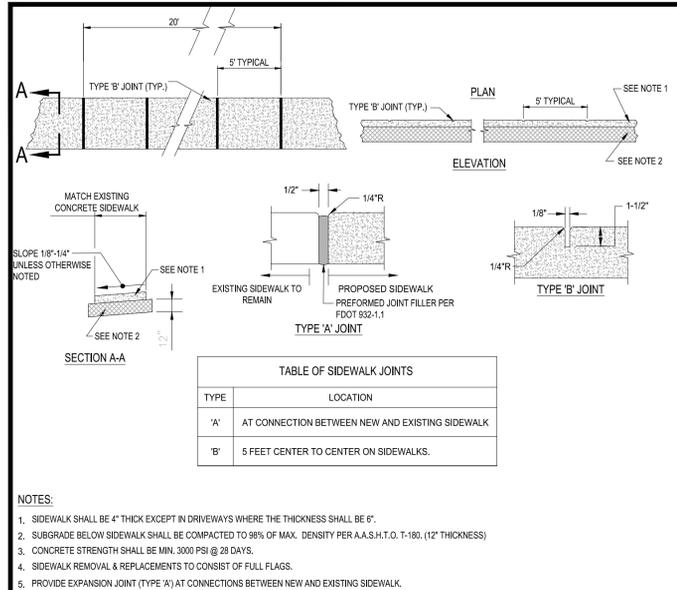
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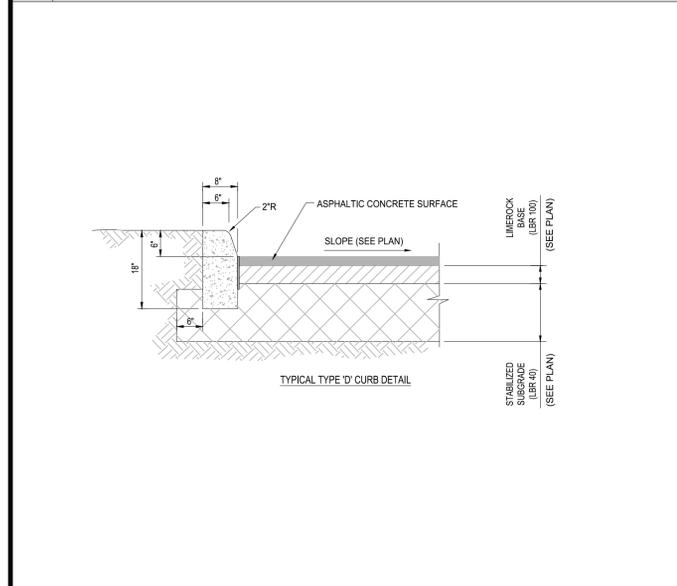
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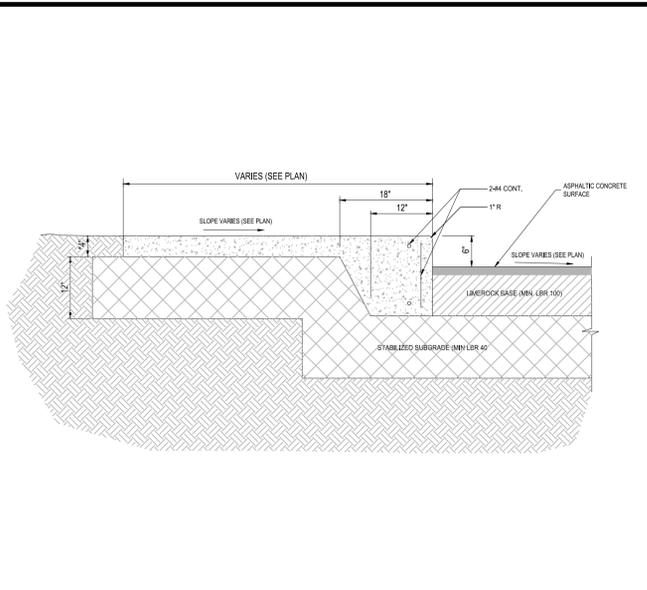




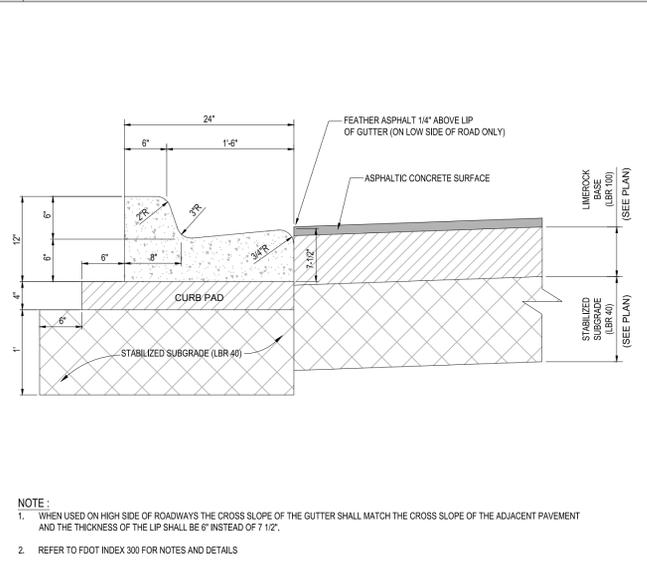
**1 SIDEWALK DETAILS**  
SCALE: NONE



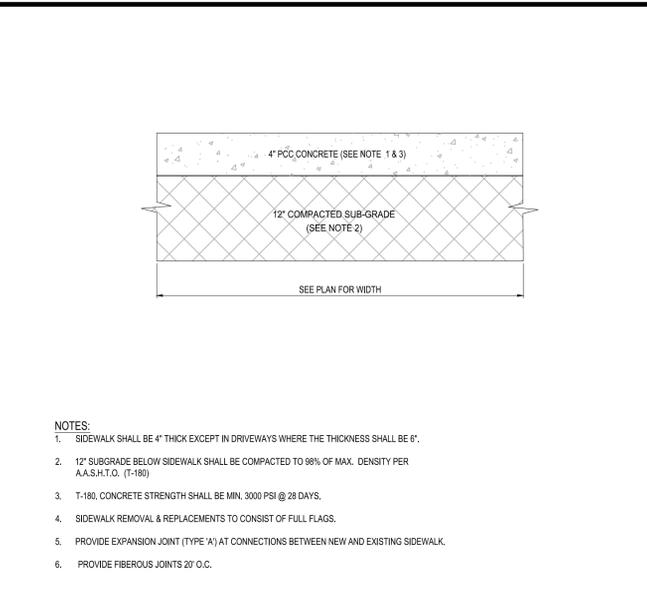
**5 TYPE 'D' CURB**  
SCALE: NONE



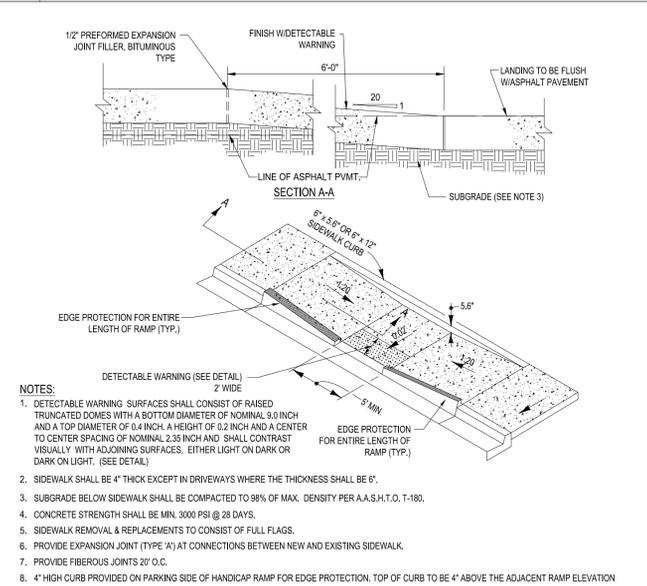
**2 THICKENED EDGE SIDEWALK DETAIL**  
SCALE: NONE



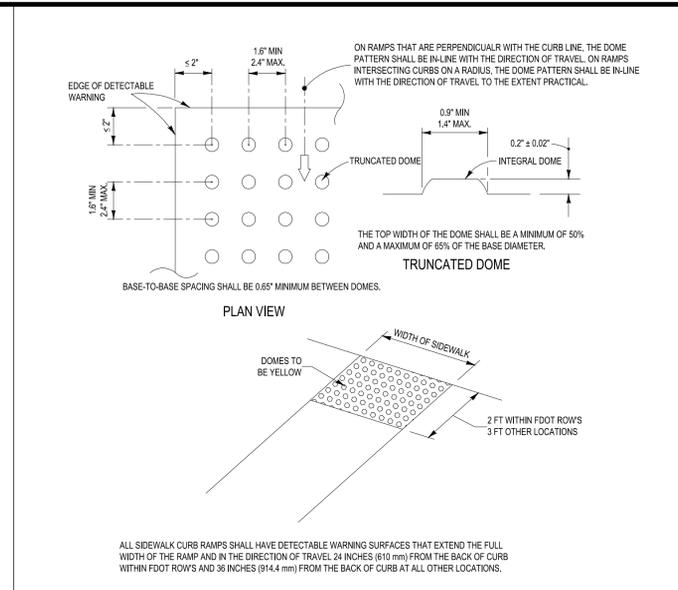
**6 TYPE 'F' CURB & GUTTER DETAIL**  
SCALE: NONE



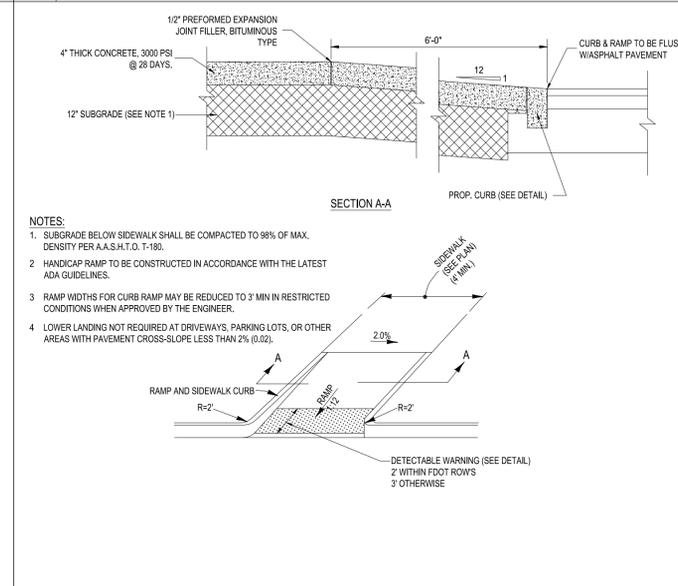
**3 TYPICAL CONCRETE SIDEWALK SECTION**  
SCALE: NONE



**7 ADA CURB RAMP DETAIL - FDOT TYPE CR-C**  
SCALE: NONE



**4 ADA RAMP DETECTABLE WARNING DETAIL**  
SCALE: NONE



**8 ADA CURB RAMP DETAIL - FDOT TYPE CR-E**  
SCALE: NONE

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REVISIONS			
REV.	DATE	COMMENT	BY:
1	7/12/2024	TAC COMMENTS	CJM

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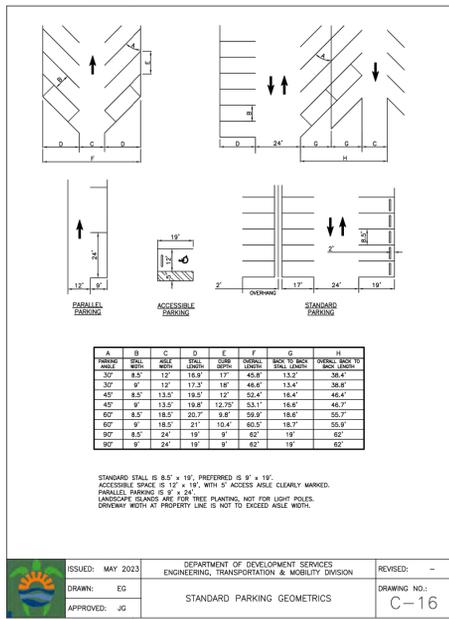
PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	7/15/2024
CAD I.D.:	F230118 - SITE DETAILS

PROJECT:  
**TACO BELL REDEVELOPMENT**  
 FOR  
**GPD GROUP**  
 2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA

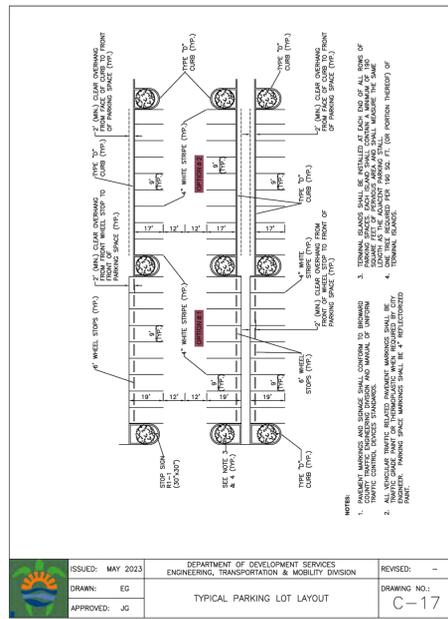
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Professional Engineer Seal for Kristin N. DiPerro, License No. 34350, State of Florida, Mechanical Engineering. Date: July 15, 2024. Florida Business Cert. of Auth. No. 27528.

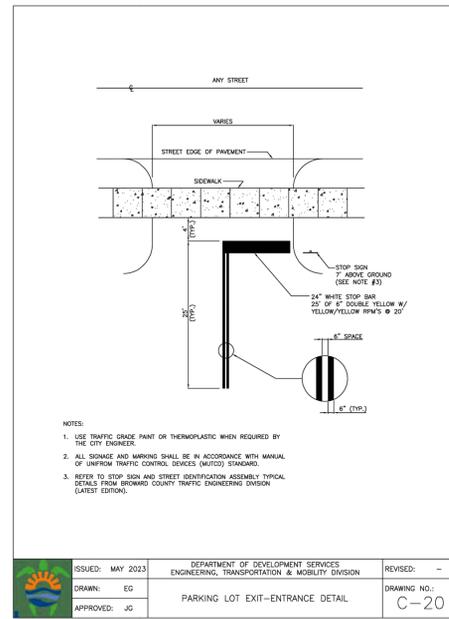
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**SITE DETAILS**  
 SHEET NUMBER:  
**C-06**



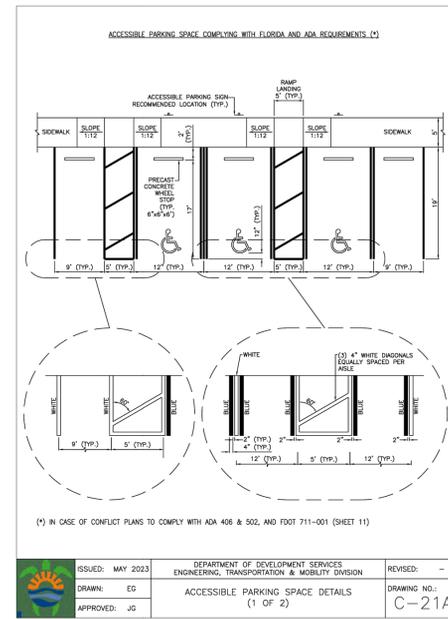
ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISIONS: -  
 DRAWN: EG STANDARD PARKING GEOMETRICS DRAWING NO.: C-16  
 APPROVED: JG



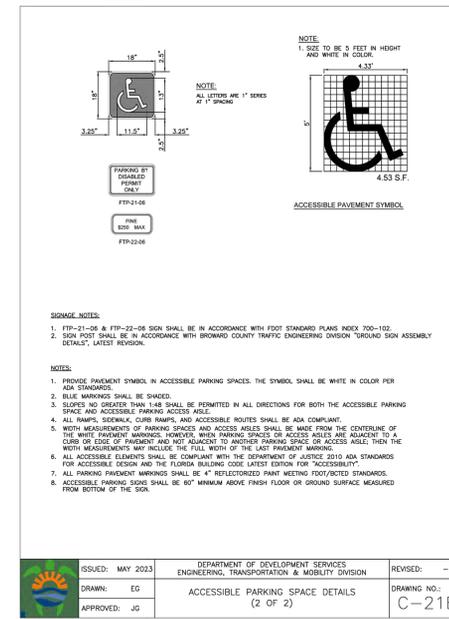
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 APPROVED: JG



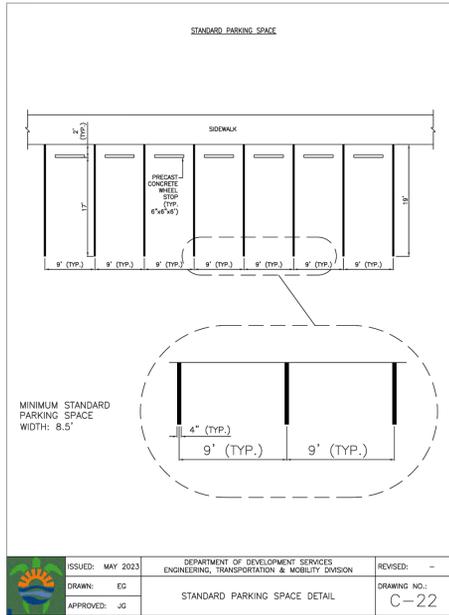
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 APPROVED: JG



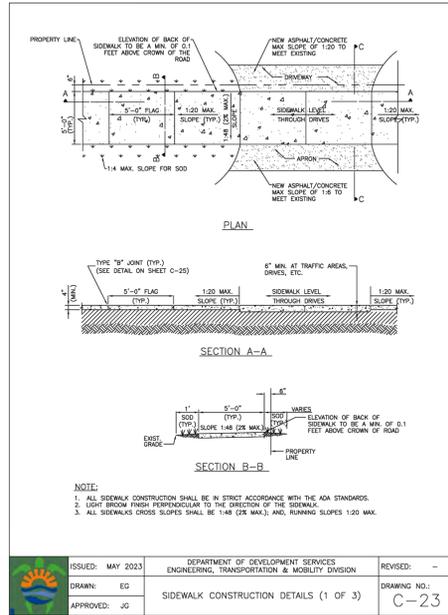
ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISIONS: -  
 DRAWN: EG ACCESSIBLE PARKING SPACE DETAILS (1 OF 2) DRAWING NO.: C-21A  
 APPROVED: JG



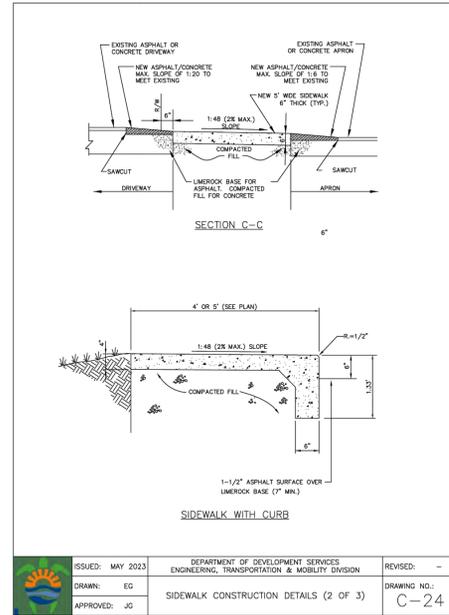
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 DRAWN: EG ACCESSIBLE PARKING SPACE DETAILS (2 OF 2) DRAWING NO.: C-21B  
 APPROVED: JG



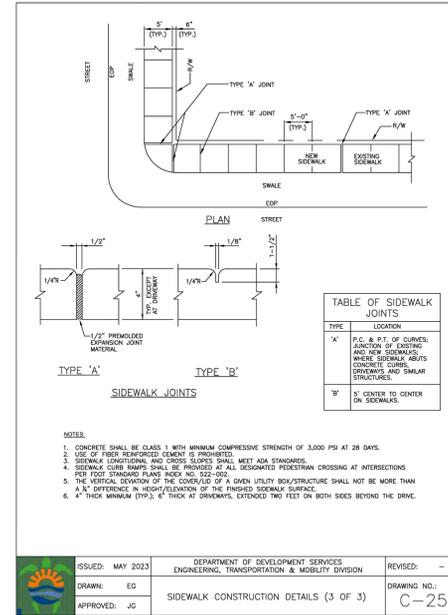
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 DRAWN: EG STANDARD PARKING SPACE DETAIL DRAWING NO.: C-22  
 APPROVED: JG



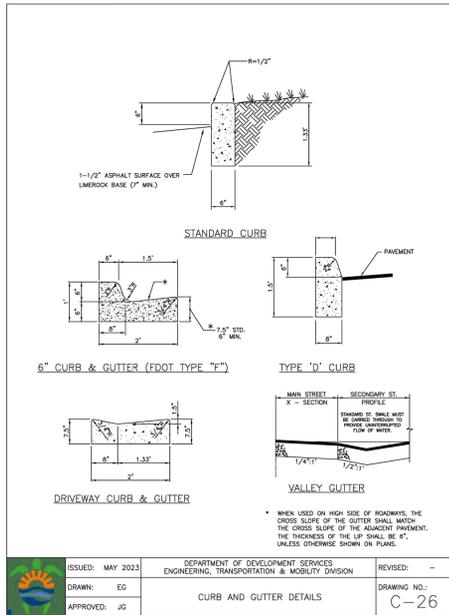
ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISIONS: -  
 DRAWN: EG SIDEWALK CONSTRUCTION DETAILS (1 OF 3) DRAWING NO.: C-23  
 APPROVED: JG



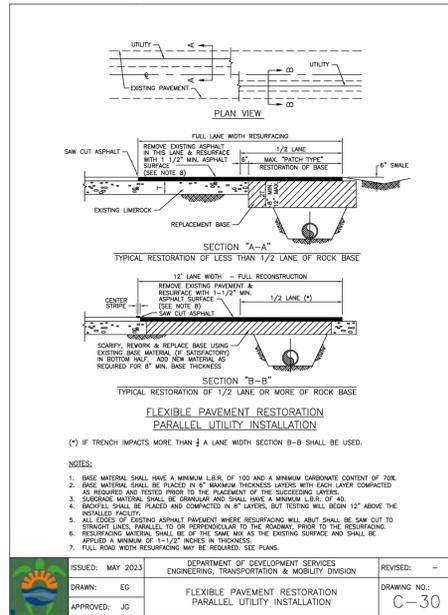
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 DRAWN: EG SIDEWALK CONSTRUCTION DETAILS (2 OF 3) DRAWING NO.: C-24  
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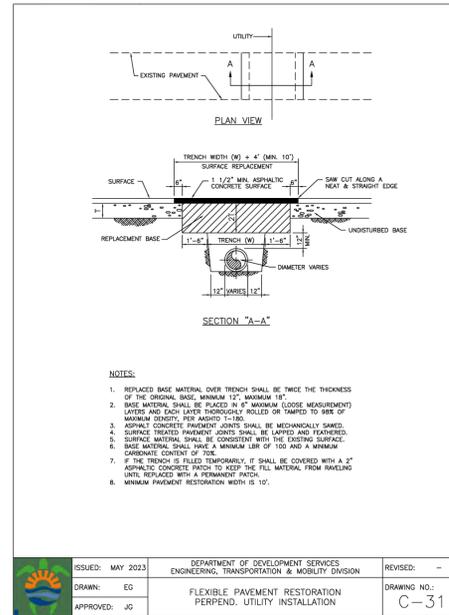
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 DRAWN: EG SIDEWALK CONSTRUCTION DETAILS (3 OF 3) DRAWING NO.: C-25  
 APPROVED: JG



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 DRAWN: EG CURB AND GUTTER DETAILS DRAWING NO.: C-26  
 APPROVED: JG



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 DRAWN: EG FLEXIBLE PAVEMENT RESTORATION PARALLEL UTILITY INSTALLATION DRAWING NO.: C-30  
 APPROVED: JG



ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISIONS: -  
 DRAWN: EG FLEXIBLE PAVEMENT RESTORATION PERPENDICULAR UTILITY INSTALLATION DRAWING NO.: C-31  
 APPROVED: JG

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 CHECKED BY: KND  
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 CAD I.D.: F230118-SITE DETAILS

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CITY OF HOLLYWOOD DETAILS  
 SHEET NUMBER: **C-07**

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