

An aerial photograph of a city, likely St. Louis, with a semi-transparent green overlay. The map shows various city blocks, streets, and landmarks. The text "CITY COMMISSION" is written in white, bold, sans-serif capital letters on the right side of the map.

CITY COMMISSION

Annual Board Presentation

May 21, 2025

TECHNICAL ADVISORY COMMITTEE

Number of Meetings:	18
Number of Projects Reviewed:	24
Total Number of Reviews:	120

TAC Members:

- Anand Balaram (Planning Manager)
- Cameron Palmer (Principal Planner)
- Alex Barr (Development Review Engineer Manager)
- Rick Mitinger (Transportation Engineer)
- Clarissa Ip (City Engineer)
- Favio Perez (City Engineer)
- Alicia Vereas-Deria (Utilities Permit Review Administrator)
- James McGuinness (Assistant Building Official)
- Chris Clinton (Fire Marshall)
- Marcy Hofle (Deputy Fire Marshall)
- Annalie Holmes (Public Works Director)
- Daniel Millien (Environmental Services Manager)
- David Vasquez (Assistant Director)
- Ryon R. Coote (Community Development Manager)
- Liliana Beltron (Housing Inspector)
- Joann Hussey (Interim Director)
- Herbert Conde-Parlato (Economic Development Manager)
- Christine Adamcik (Police)
- Jorge Camejo (Executive Director)
- Susan Goldberg (Deputy Director)
- Francisco Diaz-Mendez (Project Manager)
- Jovan Douglas (Code Compliance & Parking Director)

PLANNING AND DEVELOPMENT BOARD MEMBERS

- Diana Pittarelli (Citizen Member)
- Richard Blattner (Citizen Member)
- Kenneth Crawford (Professional Member)
 - Robert Vargas (Professional Member)
 - Bob Glickman (Professional Member)
 - David McLeod (Professional Member)
 - Steven Morales (Design Member)
 - Tara Jafarmadar (Design Member)
 - Mena Morgan (Design Member)
 - Joseph Stadlen (Design Member)
- Andrew Yanowitz (Design Member)

Number of Meetings: 11

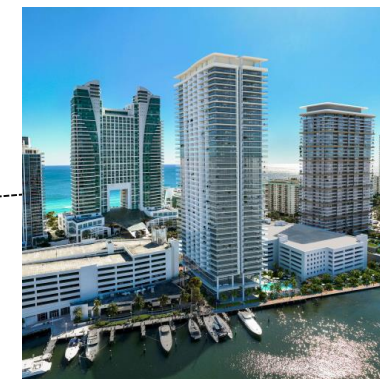
- Mission:** To promote development which integrates environmental protection and community economic goals; and furthers the welfare of people and community by creating convenient, equitable, healthful, efficient, and attractive environments for present and future generations.
- Purpose:** To make recommendations and decisions to better position the City for appropriate growth through a public hearing process; which promotes community input.
- Goal:** To promote quality sustainable growth and development within the City of Hollywood, while providing the highest level of customer service and convenience. Continue to ensure green practices are incorporated in early stages of the design process.

Duties:

Review and consideration of developments requiring Waivers, Variances, Special Exceptions, Design and/or Site Plan, pursuant to Article 5 and 6 of the Zoning and Land Development Regulations (ZLDR) and Chapter 113 and 151 of the Code of Ordinances.

Serves as the Local Planning Agency (LPA) for the City, responsible for formulating recommendations to the City Commission concerning planning, zoning and comprehensive planning issues, such as Text changes of regulatory controls, Change of Land Use or Zoning District Designation and review special planning studies, as necessary.

Accomplishments: The Board forwarded recommendations of approval to the City Commission for 3 Text Amendments to the Zoning and Land Development Regulations, 2 Comprehensive Plan Amendments, and 2 Land Use Plan Amendments. Regarding development applications, a total of 29 applications were approved.





Text Amendments

1. Text Amendment to Articles 2 and 4 of the Zoning and Land Development Regulations to provide a definition and establish performance standards for K-12 Schools
2. Text Amendment to the Zoning and Land Development Regulations amending Articles 2, 3, 4, 5, 6, and 10 relative to the Development Review Process and associated Definitions, Zoning Relief measures, Nonconforming structures and uses, and the intent of the Planned Development zoning district.
3. Text Amendment to Articles 2, 3 and 4 of the Zoning and Land Development Regulations amending the permitted uses relating to Smoke Shops east of the Intercoastal Waterway

Comprehensive Plan and Land Use Plan Amendments

1. Amendment to the City's Comprehensive Plan and Future Land Use Map to include the Land Use Category, 'Commercial Recreation'
2. An amendment to the City's Comprehensive Plan to change the Land Use designation from Open Space and Recreation (OSR) to High (50) Residential (HRES) and Commercial Recreation; amending the City's Future Land Use Map to reflect the changes of 23.7 acres generally located south of 400 Entrada Drive and including the northwest corner of Pembroke Road and the FDOT railway.
3. Amendment to the City's Future Land Use Map to change the land use designation of approximately 28.5 acres of land from the Utilities and Parks and Open Space designation to the General Business and High Residential designation.

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2024 Projects approved : 29

MAP 1 Large scale projects

MAP 2 Small scale projects

Location: 1830-1844 Jackson Street
Request: Design and Site Plan for a mixed-use development consisting of 200 residential units and approximately 1,380 SF of retail



Location: 2217-2231 Jackson Street
Request: Design and Site Plan for a 100-unit residential development within the DH-2 zoning district (Jackson Apartments).



Location: 1822 Dixieanna Street
Request: Design and Site Plan for a 10-story residential development consisting of 71 units located in the FH-2 zoning district.



Location: 3451-3690 S. Ocean Drive
Request: Design and Site Plan Review for a 500-key hotel development (Diplomat Landing)



Location: 2308 N Ocean Drive
Request: Variances, Design and Site Plan for Restaurant/Bar and accompanying a Tiki/Gazebo located within the Beach Community Redevelopment District.



Location: 901 S Ocean Dr
Request: Design and Site Plan review for a 48-unit residential development in the BRT-25-R zoning district in the Beach Community Redevelopment Agency Area (Hollywood Boomerang).



Location: 2022-2026 Fletcher Street
Request: Variance, Design and Site Plan Review for a 42-unit residential development



Location: 2306 Fillmore Street
Request: Design and Site Plan for a 34-unit residential development within the DH-2 zoning district (Fillmore Apartments)

