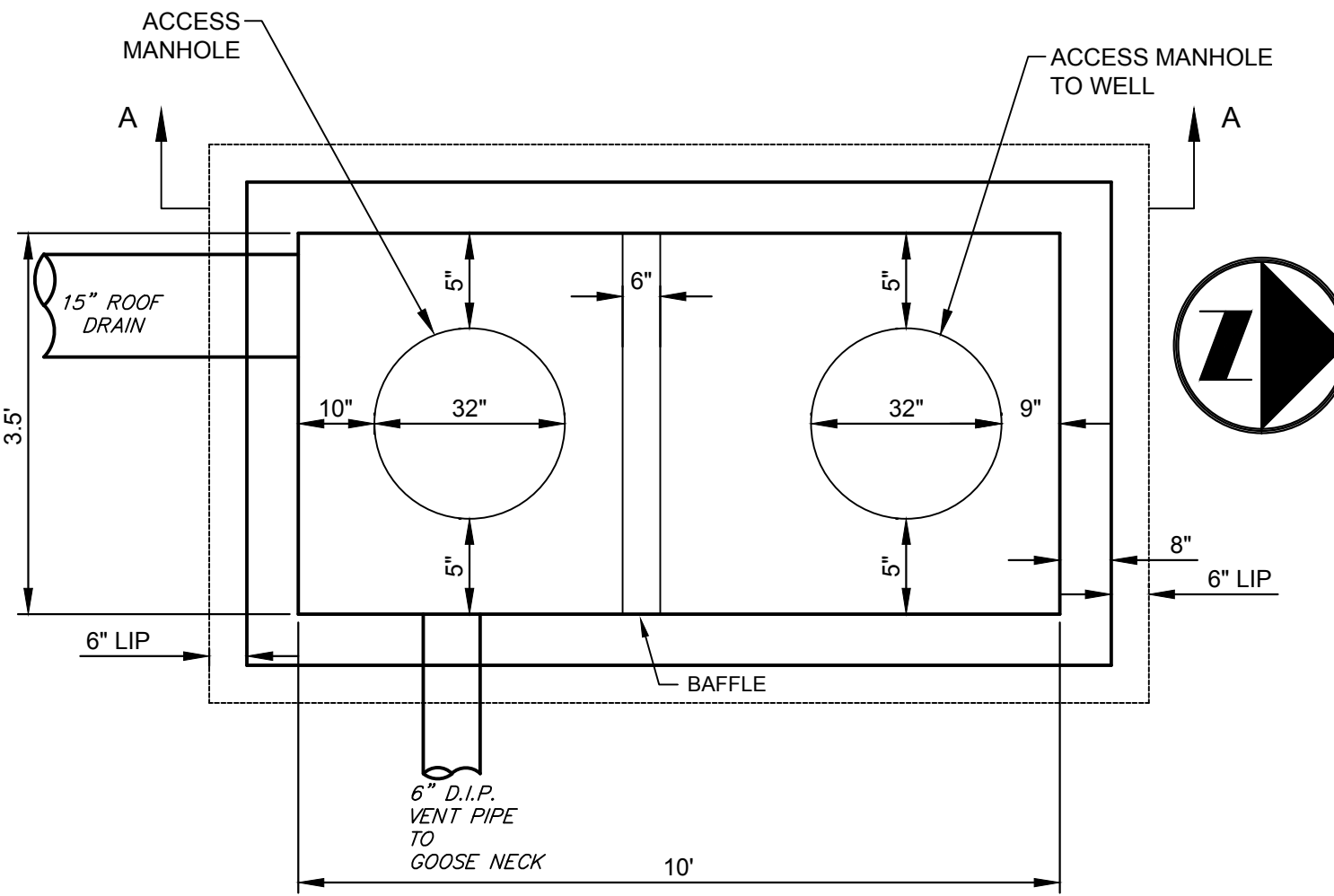


SECTION A-A

SEE PLAN VIEW SHEET FOR STRUCTURE AND WELL ORIENTATION

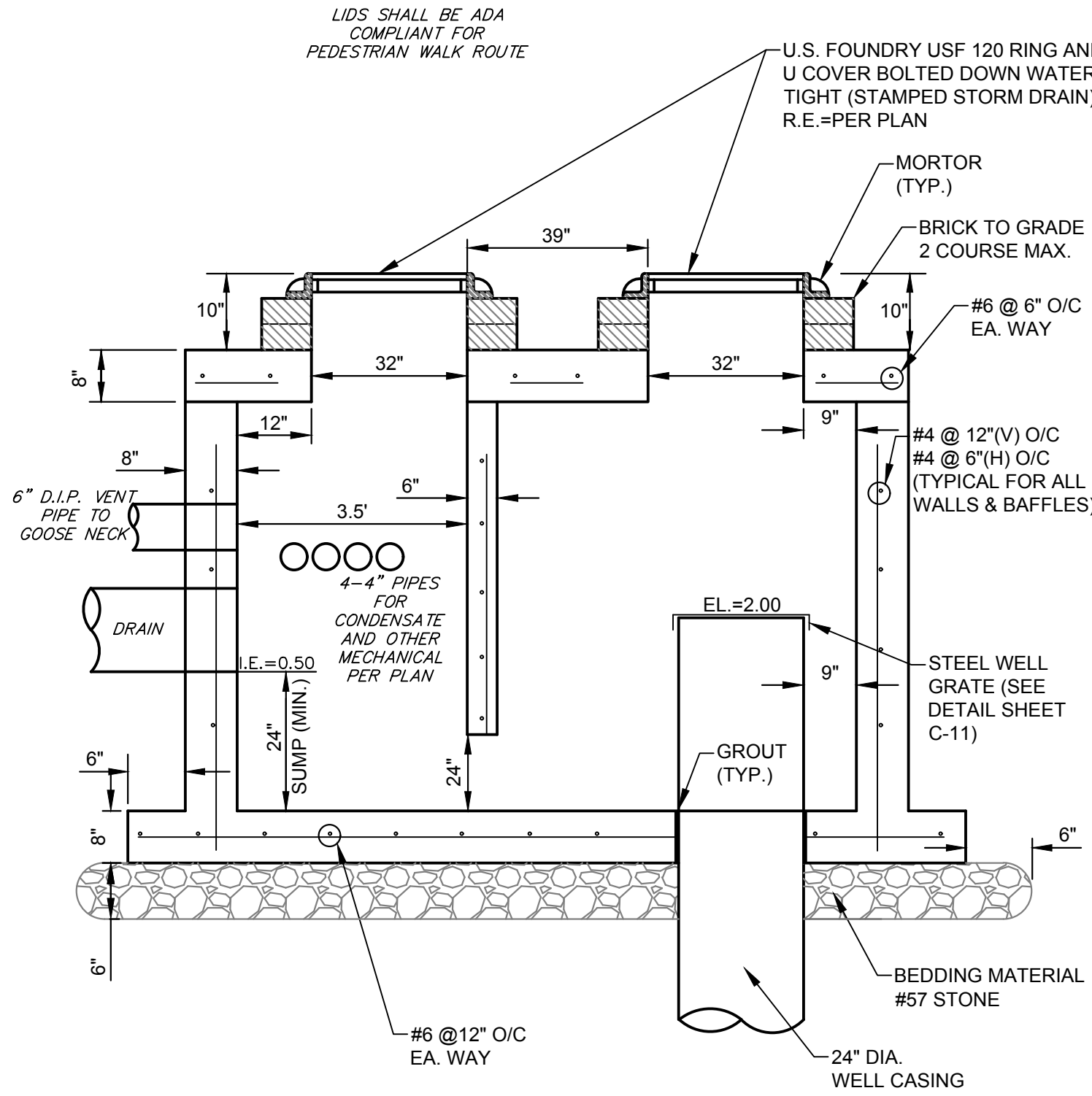


NOTES

- 250 GPM/FT HD.
- 2' OF HEAD ASSUMED TO OVERCOME DENSITY DIFFERENTIAL.
- 5x 10' STORM STRUCTURE PER U.S. PRECAST COMPANY
- CONCRETE= 4000 PSI @ 28 DAYS.
- HOLES FOR PIPING SHALL BE 6" LARGER THAN PIPE O.D. AND SHALL BE CAST AT TIME OF FABRICATION
- BAFFLE WALL IS POURED SEPARATELY & IS GROUTED INTO KEYWAY WHICH IS CAST INTO THE WALL SECTION. THE BAFFLE IS USED TO TRAP FLOATING POLLUTANTS IN THE UPSTREAM SIDE OF CHAMBER BEFORE REACHING THE STORMWATER WELL
- WATER TABLE ELEVATION=0.5 N.A.V.D.
- WELL SHALL HAVE A MINIMUM CAPACITY OF 300 GPM. WELL IS TO HAVE A MINIMUM 155' OF CASING DEPTH WITH 30' OF OPEN HOLE DEPTH. CONTRACTOR SHALL ANTICIPATE 220' CASING DEPTH WITH 30' OF OPEN HOLE DEPTH FOR PRICING PURPOSES. CONTRACTOR IS TO CONTACT ENGINEER AT VARIOUS DEPTHS DURING WELL TO DETERMINE ACTUAL DEPTH OF WELL BASED ON FIELD CONDITIONS.
- WELL CONTRACTOR IS RESPONSIBLE TO PROVIDE REASONABLE ASSURANCE REPORT REQUIRED BY FDEP.
- ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANTICIPATED WELL DISCHARGE RATE IS NOT ACHIEVED.

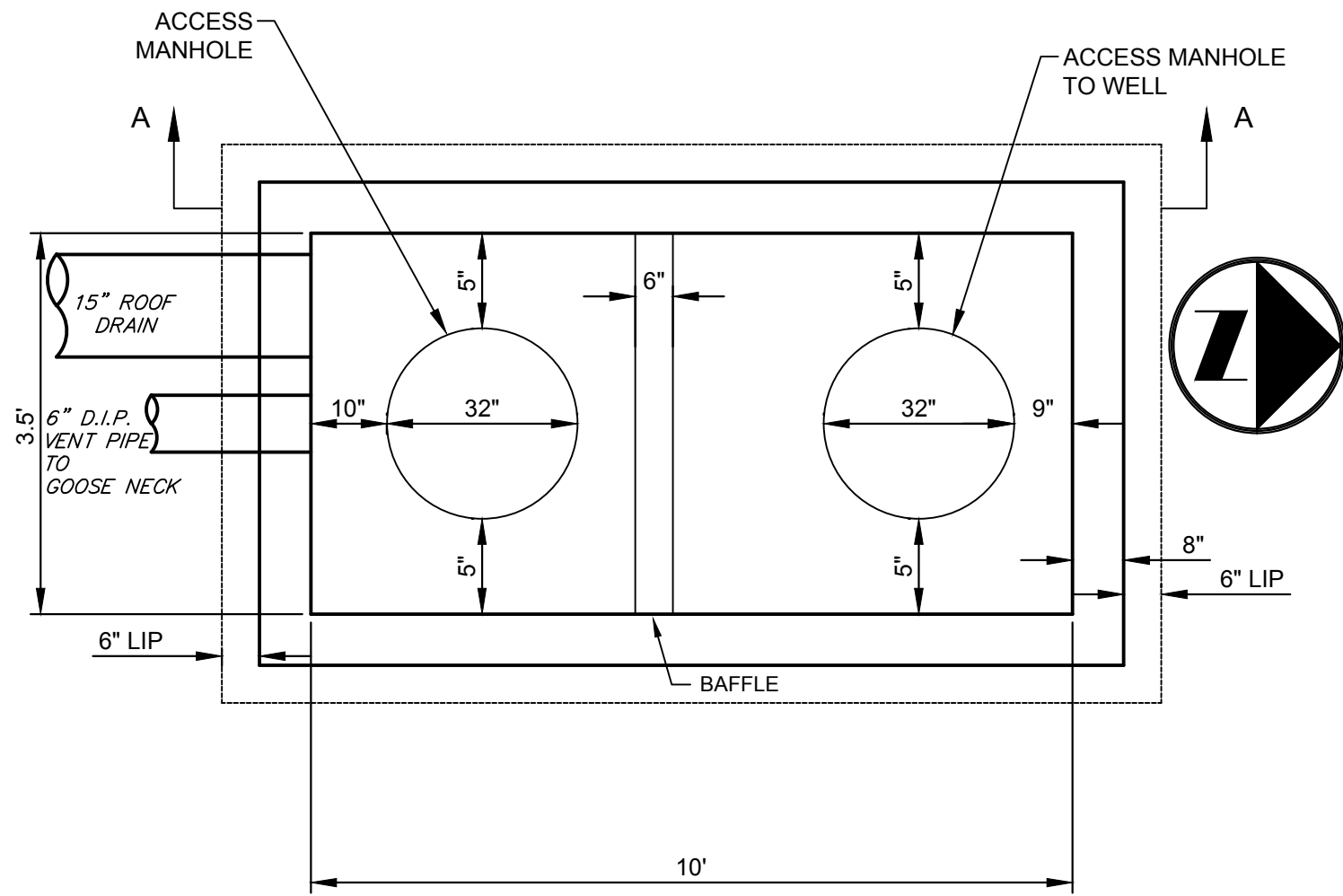
PRECAST DRAINAGE WELL #1

SCALE: N.T.S.



SECTION A-A

SEE PLAN VIEW SHEET FOR STRUCTURE AND WELL ORIENTATION

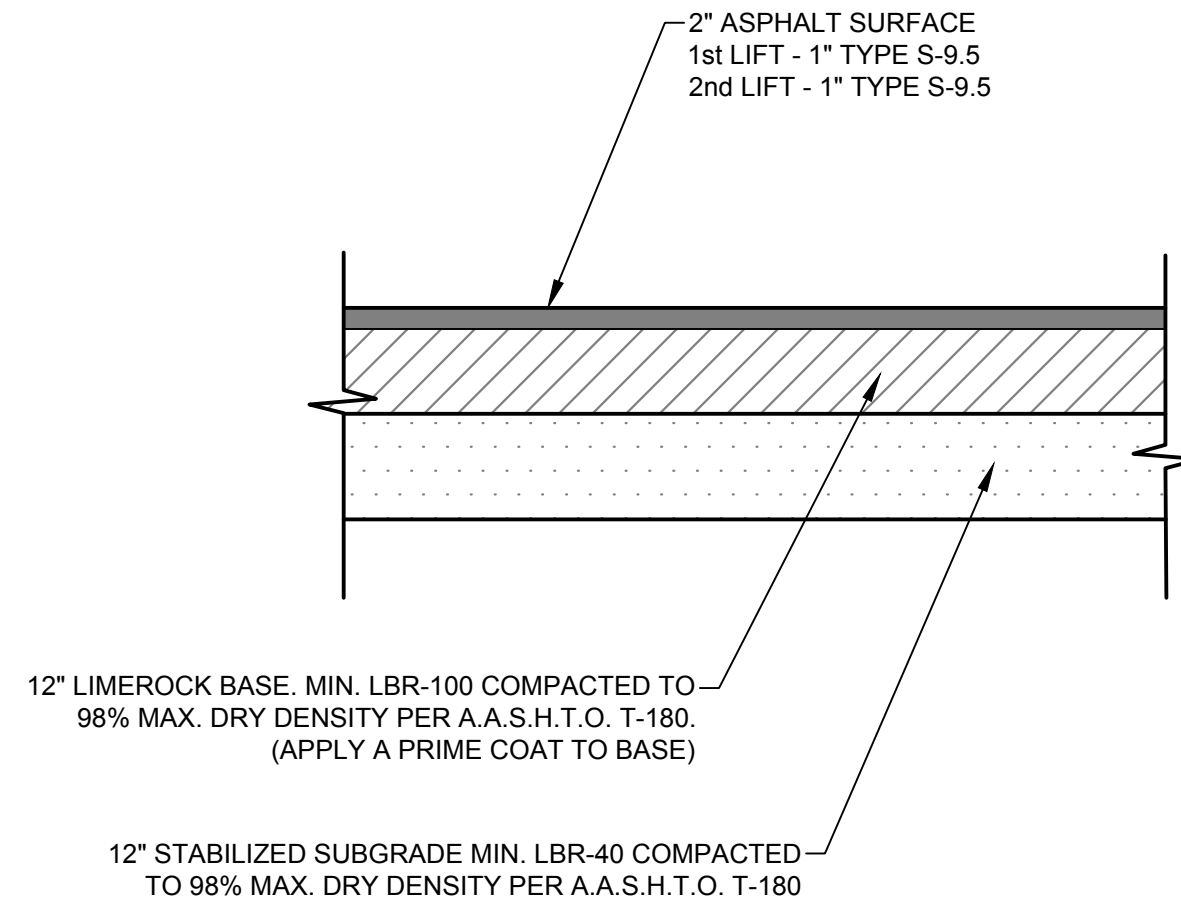


NOTES

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- WELL CONTRACTOR IS RESPONSIBLE TO PROVIDE REASONABLE ASSURANCE REPORT REQUIRED BY FDEP.
- ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANTICIPATED WELL DISCHARGE RATE IS NOT ACHIEVED.

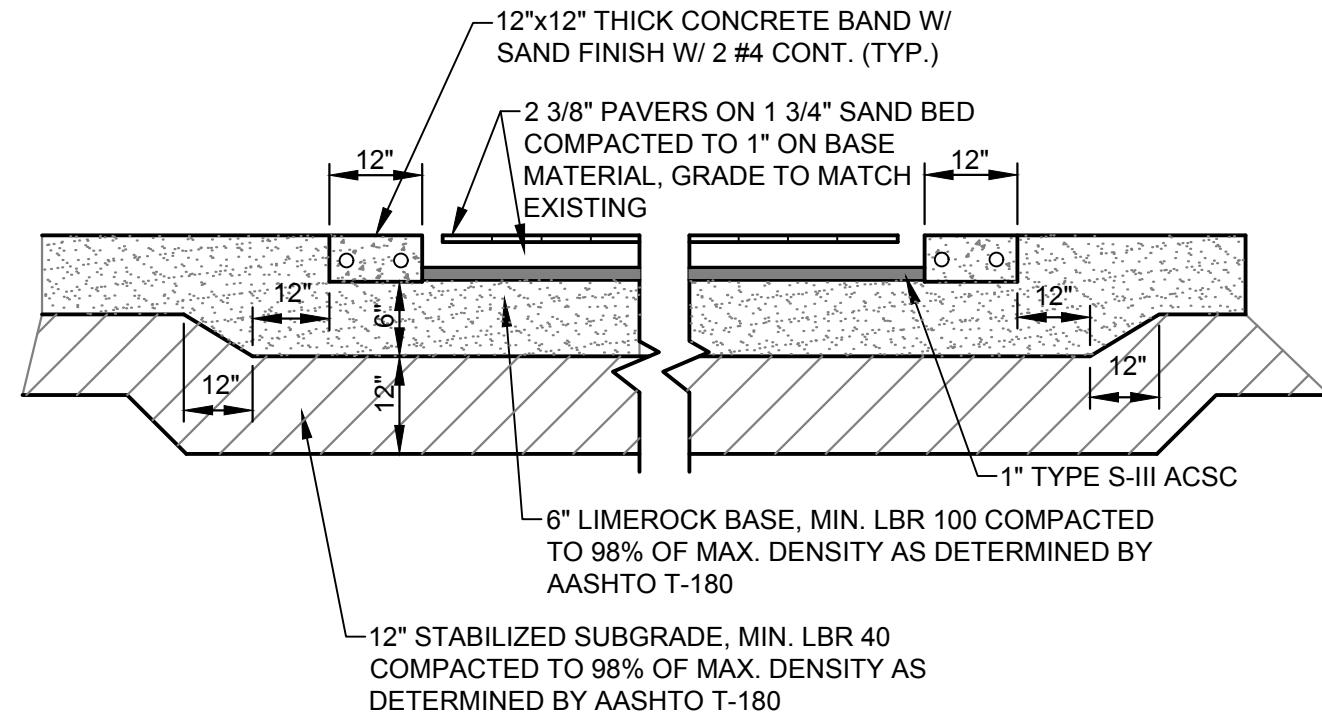
PRECAST DRAINAGE WELL #2

SCALE: N.T.S.



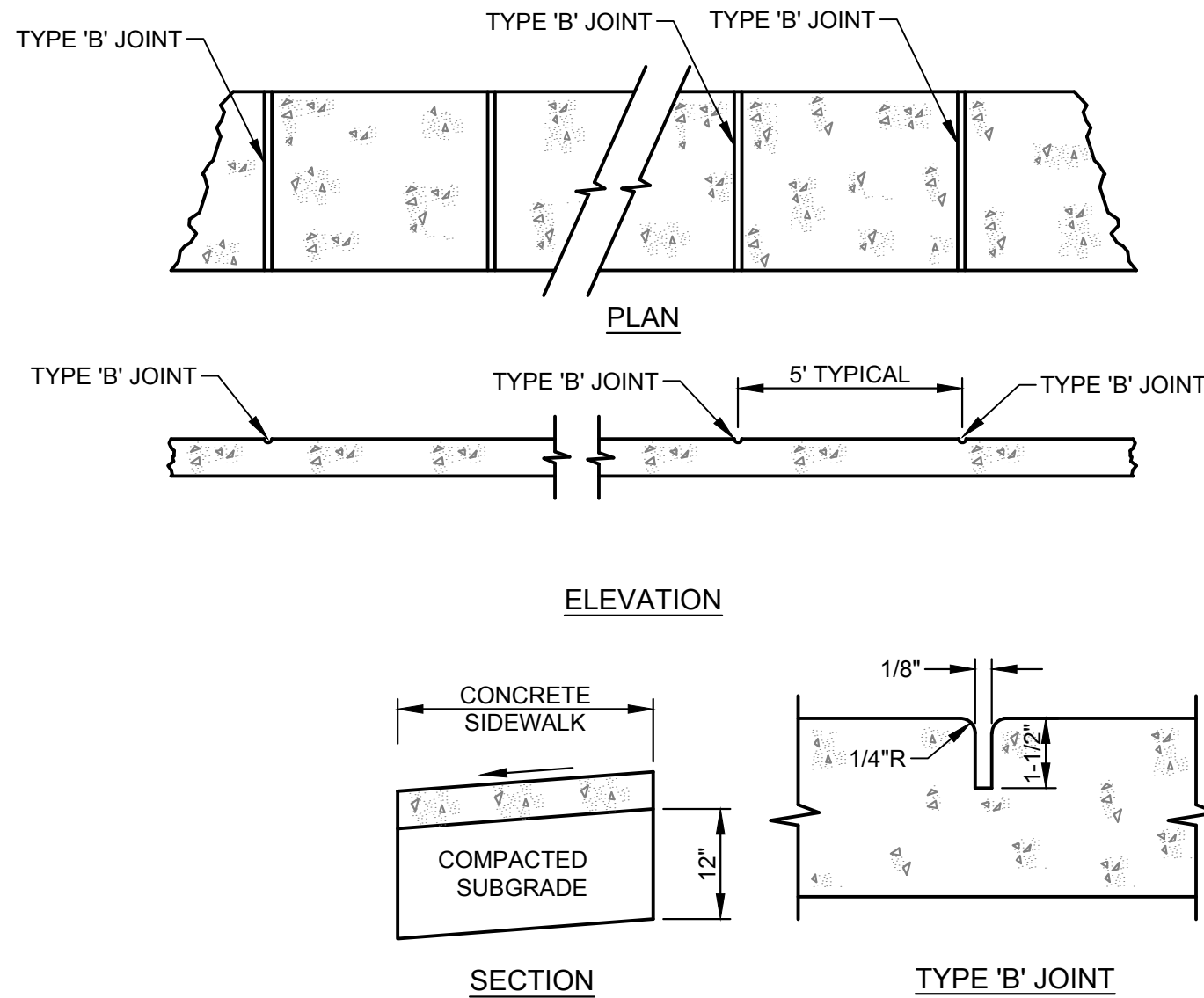
TYPICAL PAVEMENT SECTION

SCALE: N.T.S.



SIDEWALK PAVER DETAIL

SCALE: N.T.S.



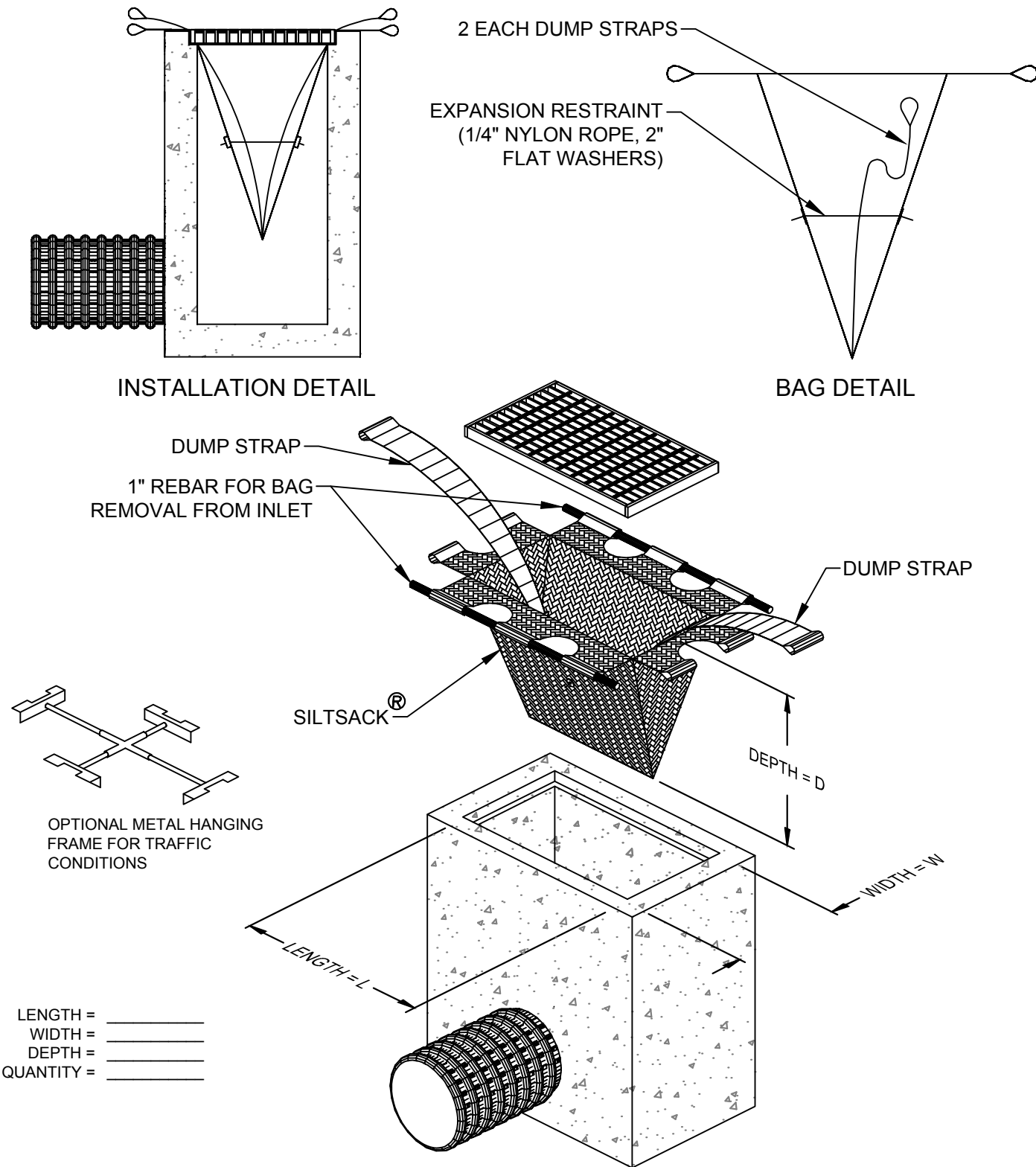
NOTES:

- SIDEWALK SHALL BE 4" THICK EXCEPT IN DRIVEWAYS AND AREAS SUBJET TO VEHICULAR TRAFFIC WHERE THE THICKNESS SHALL BE 6".
- SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
- CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"B"	5 FEET CENTER TO CENTER ON SIDEWALKS.

SIDEWALK DETAILS

SCALE: N.T.S.



INLET SEDIMENT CONTROL DEVICE

N.T.S.

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PREPARED FOR:
THE ESTATES COMPANIES

PAVING, GRADING, & DRAINAGE DETAILS

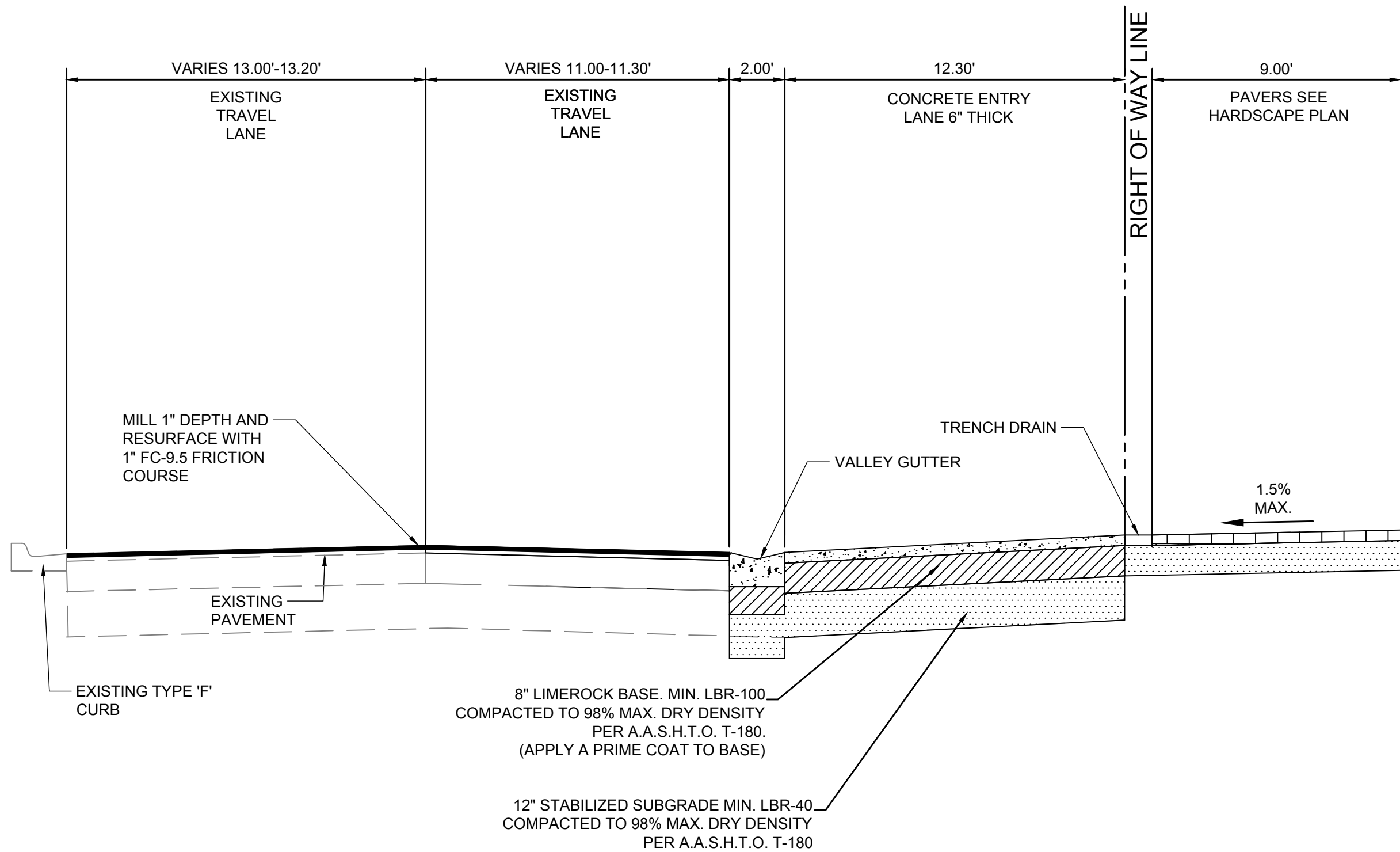
Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

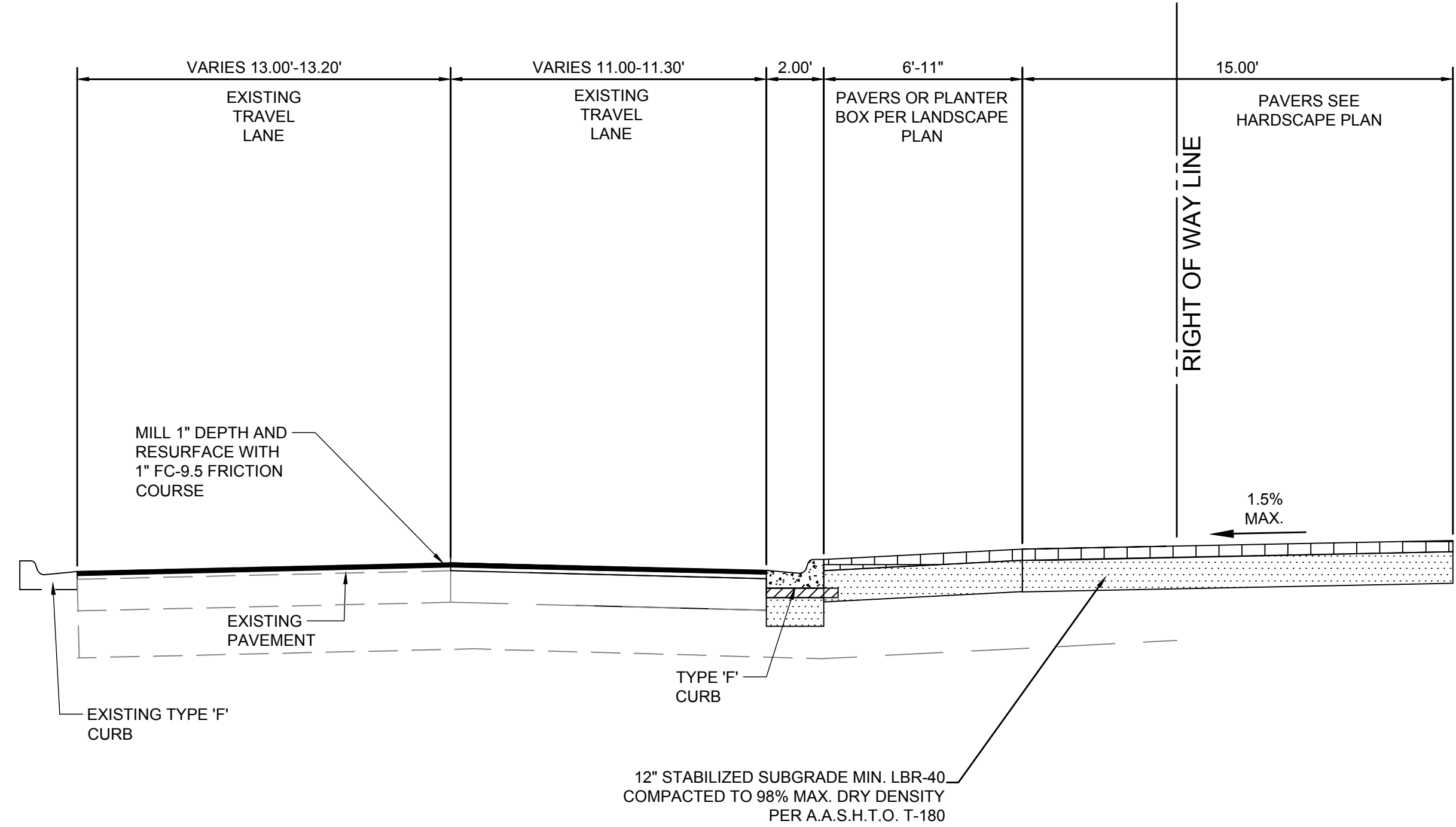
C-9

SHEET 9 OF 18

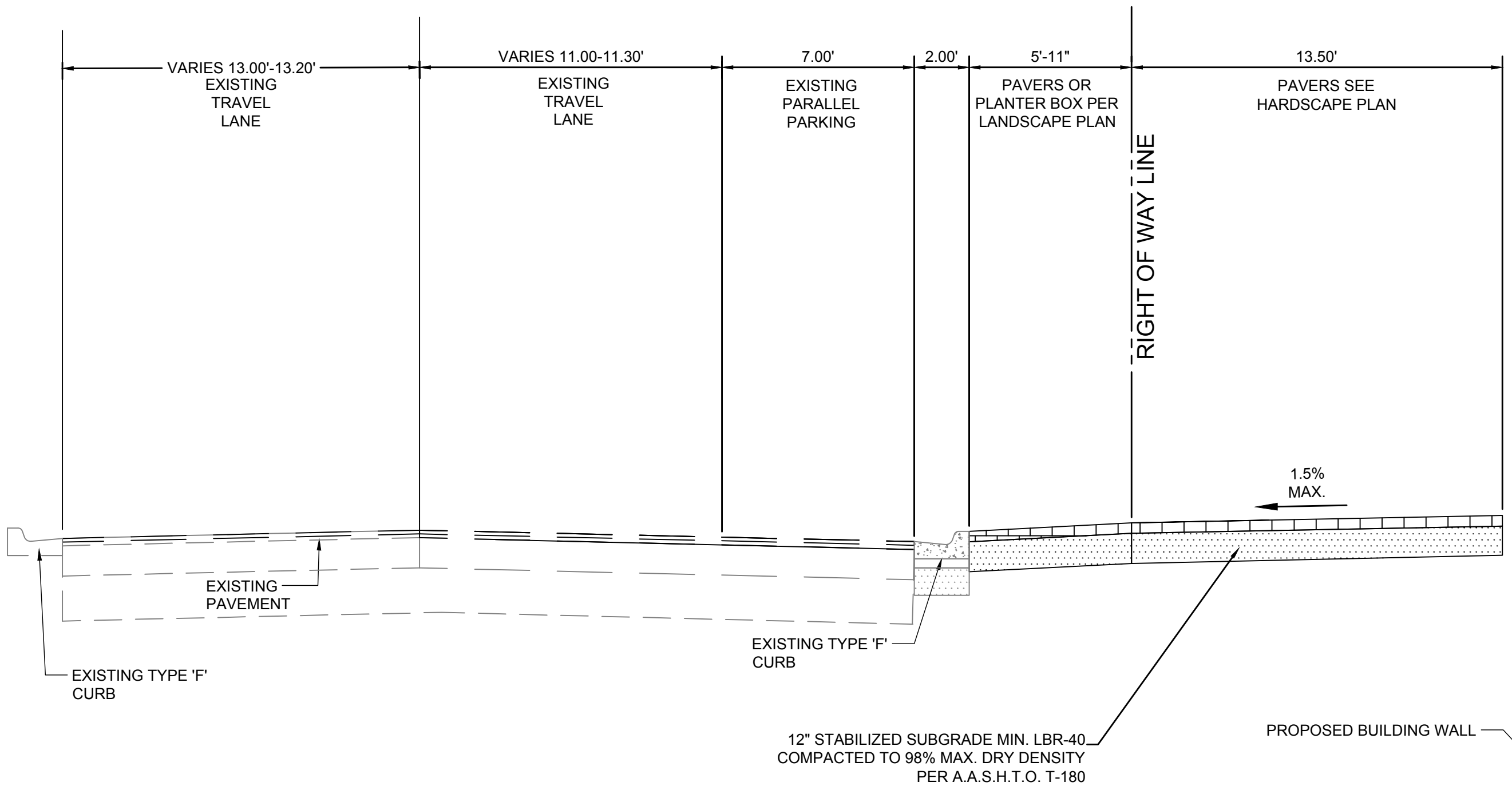
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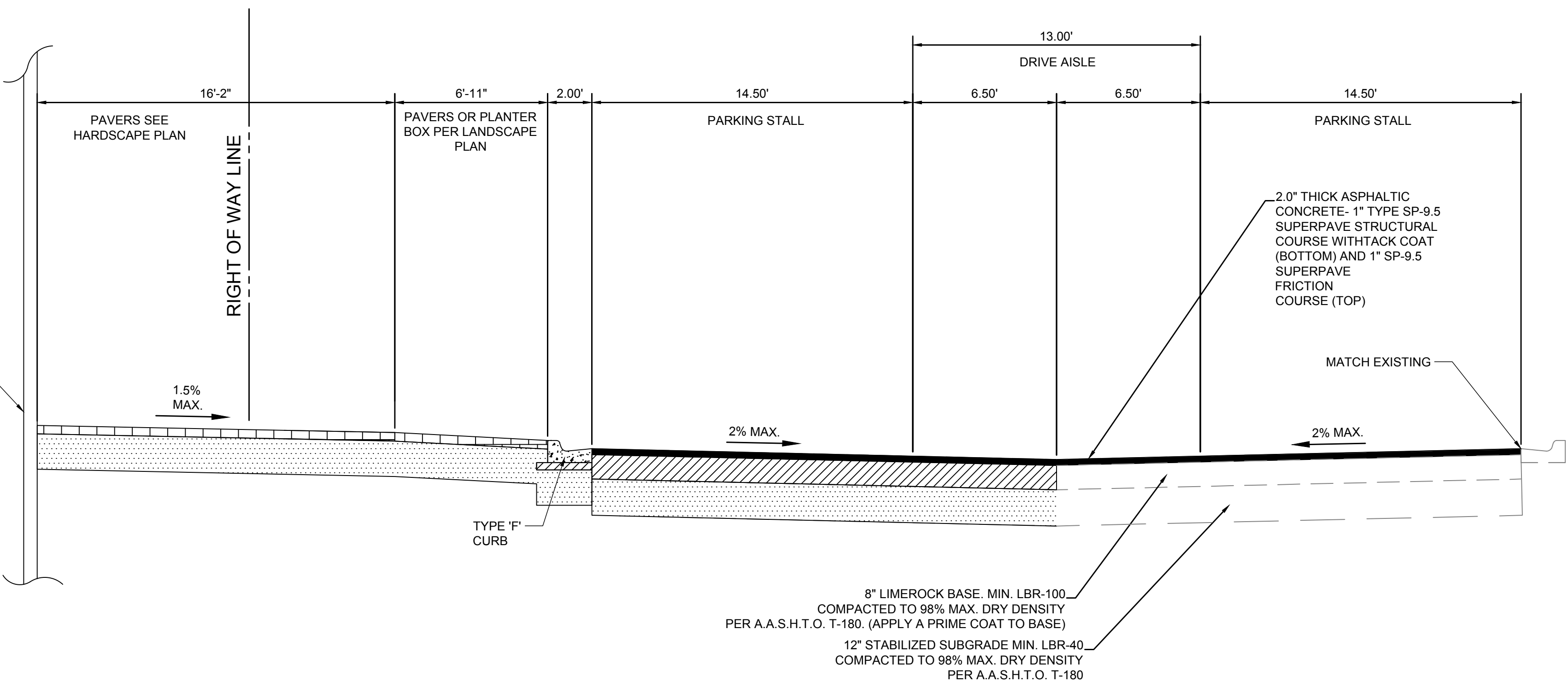
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.



SECTION C-C
N.T.S.



SECTION C-C
N.T.S.

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SCALE:	
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DRAWN BY:	LZG
CHECKED BY:	CEE
APPROVED BY:	CEE

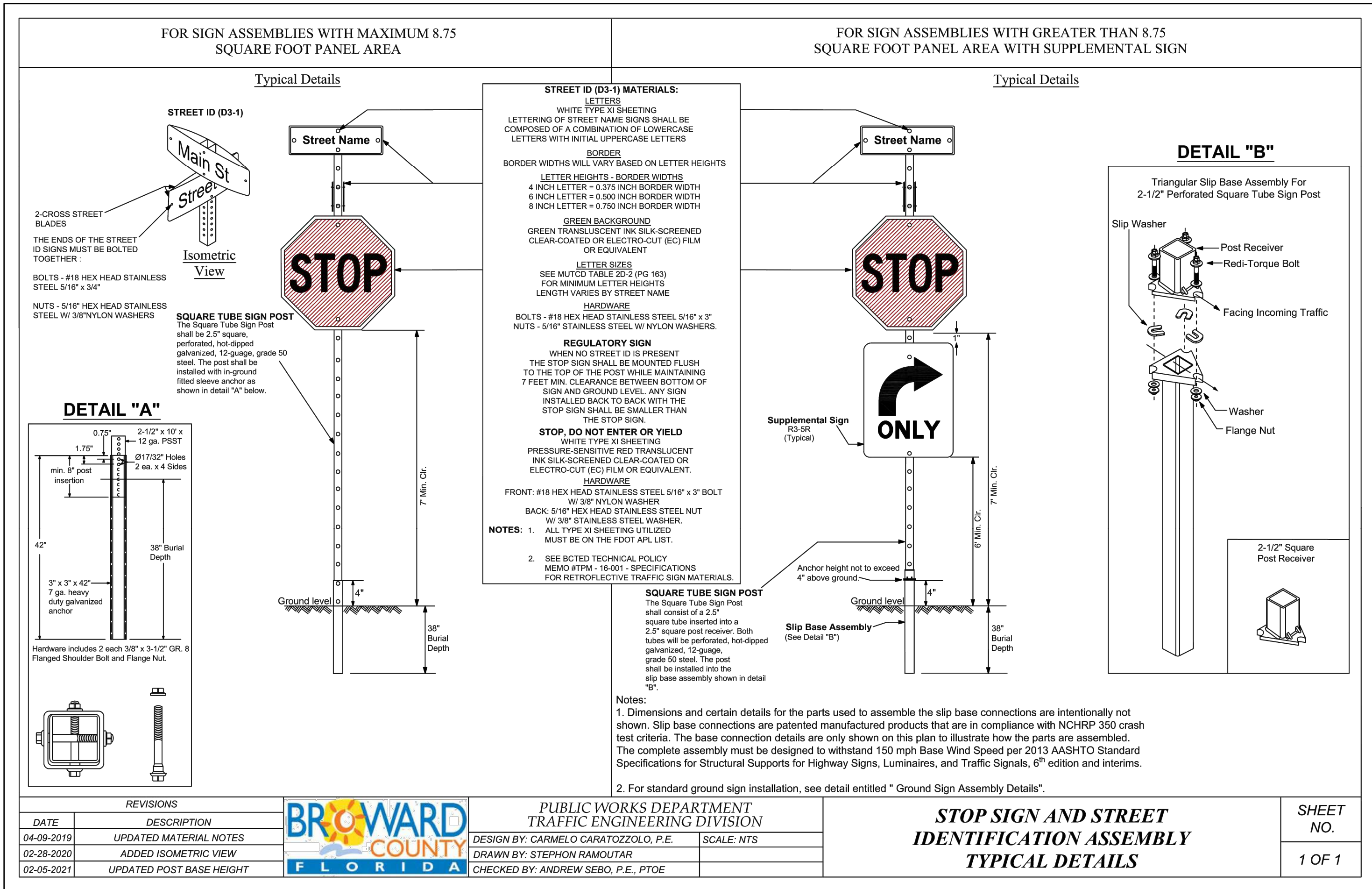
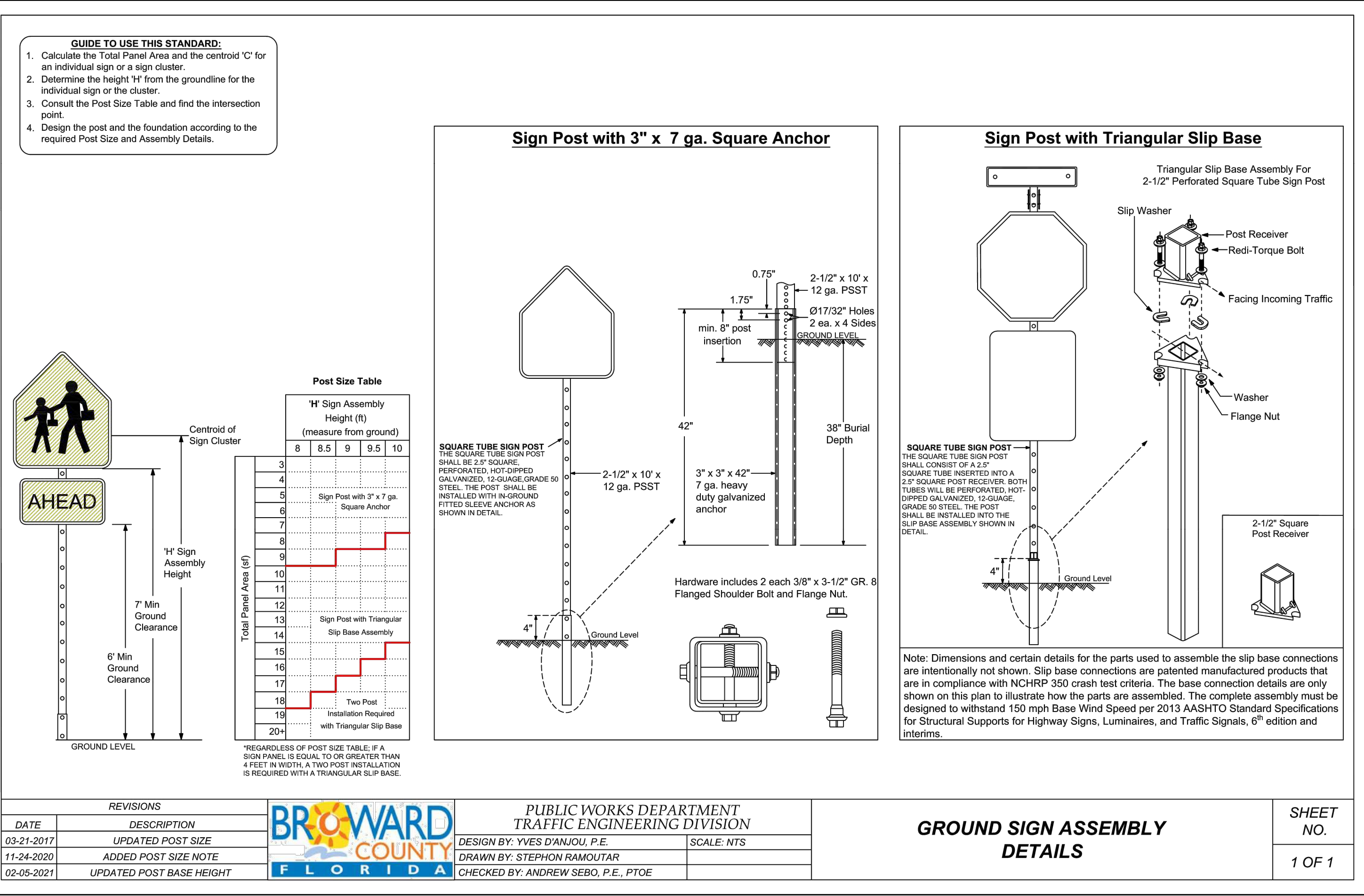
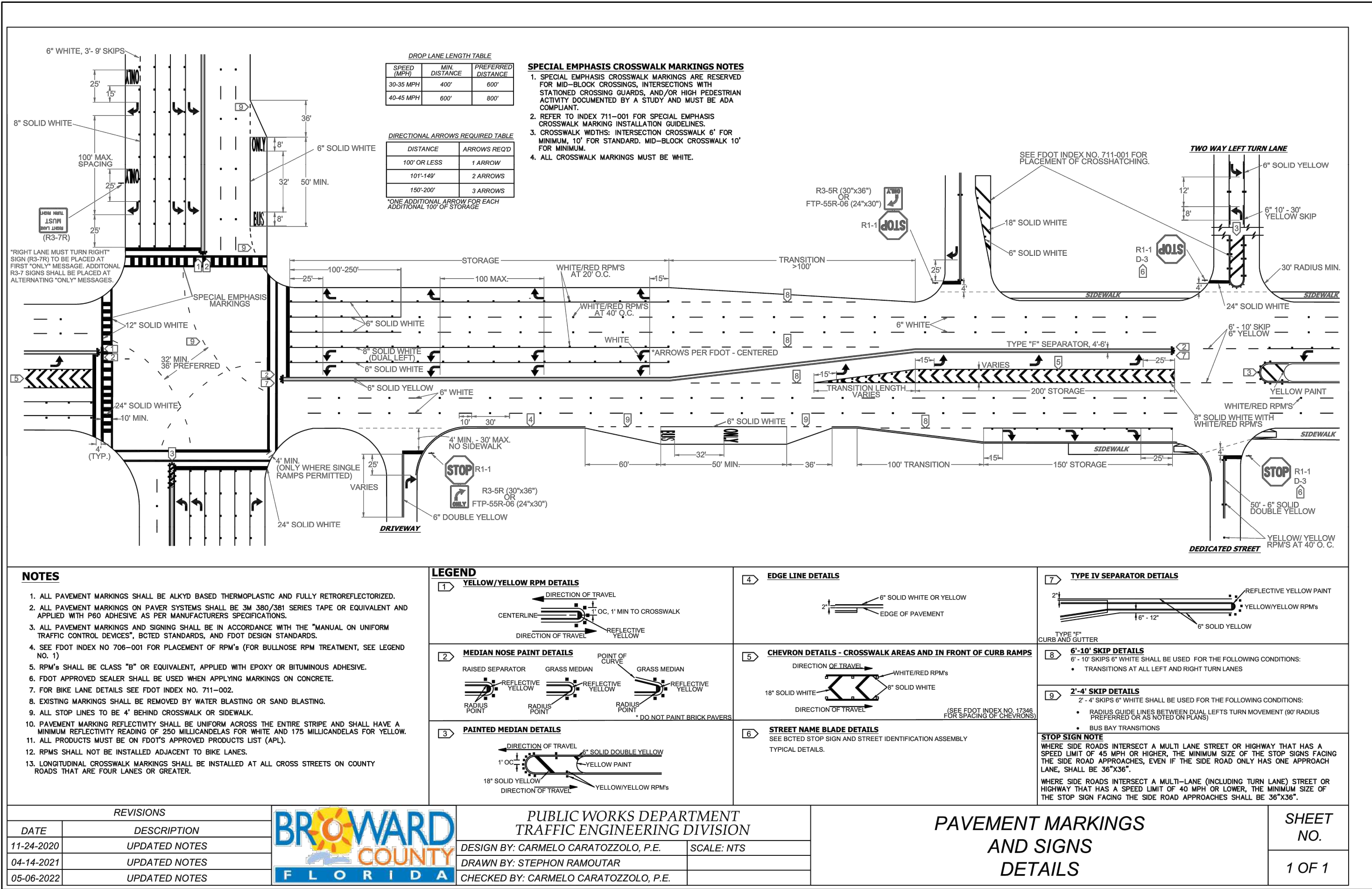
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HOLLYWOOD, FLORIDA
PREPARED FOR:
THE ESTATES COMPANIES

Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

C-10
SHEET 10 OF 18



DATE:	03/17/23
SCALE:	1"=20'
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THE ESTATES COMPANIES
PAVEMENT MARKING & SIGNAGE DETAILS

Leonard Z. Gamble
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22-0064-001-01


C-11
SHEET 11 OF 18

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GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECS), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ECS AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECS IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ECS IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES	REVISED: 06/08/2014 DRAWING NO. G-00
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GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
- SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECS FIELD ENGINEER.
- THE CONTRACTOR SHALL NOT ENCR OACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
- MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECS FIELD ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECS.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.1
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GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

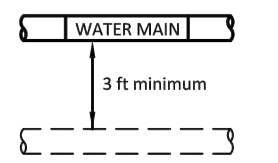
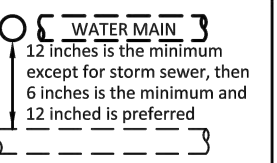
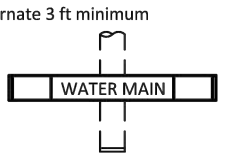
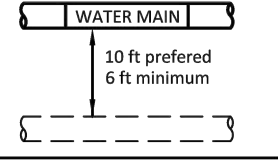
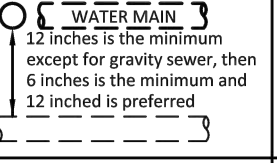
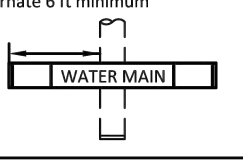
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.2
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GENERAL NOTES (CONTINUED):


- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
- 
- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECS SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

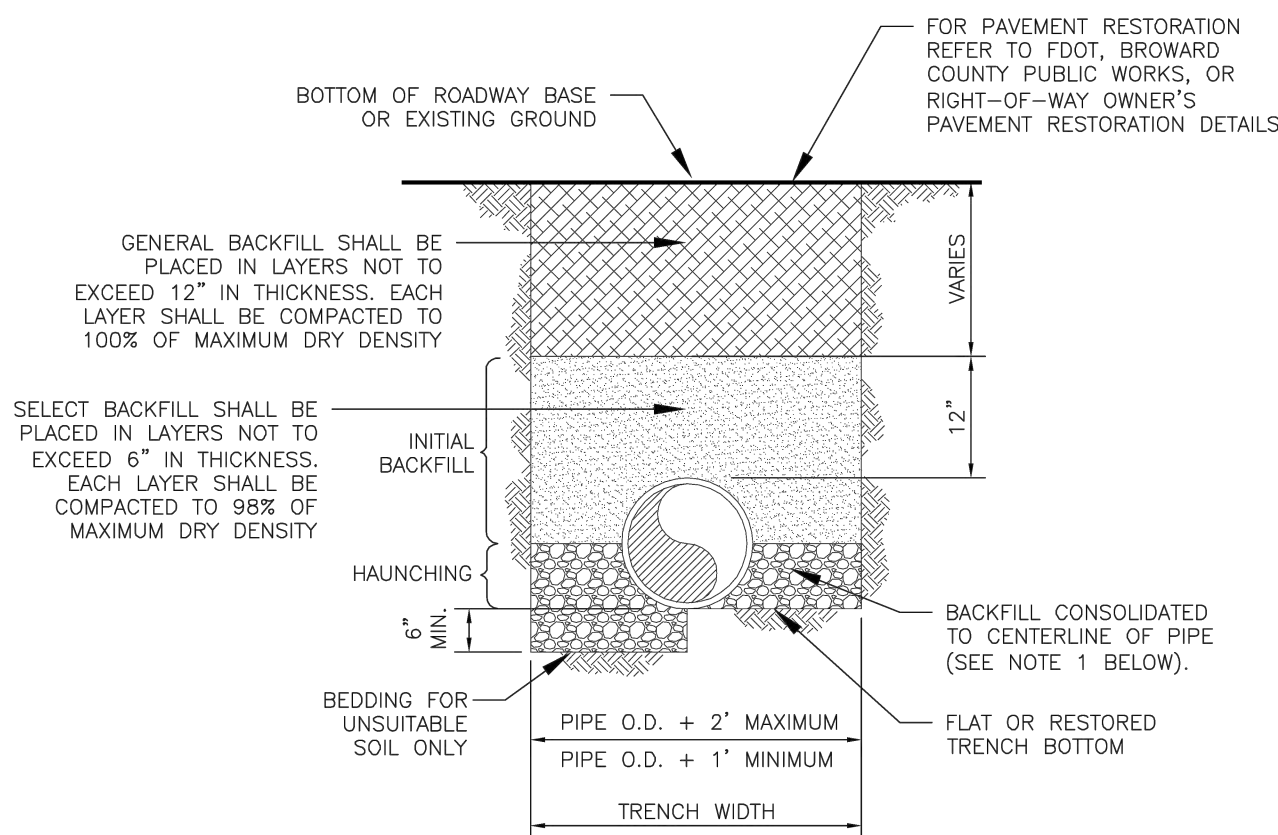
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.3
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WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		


- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER, JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

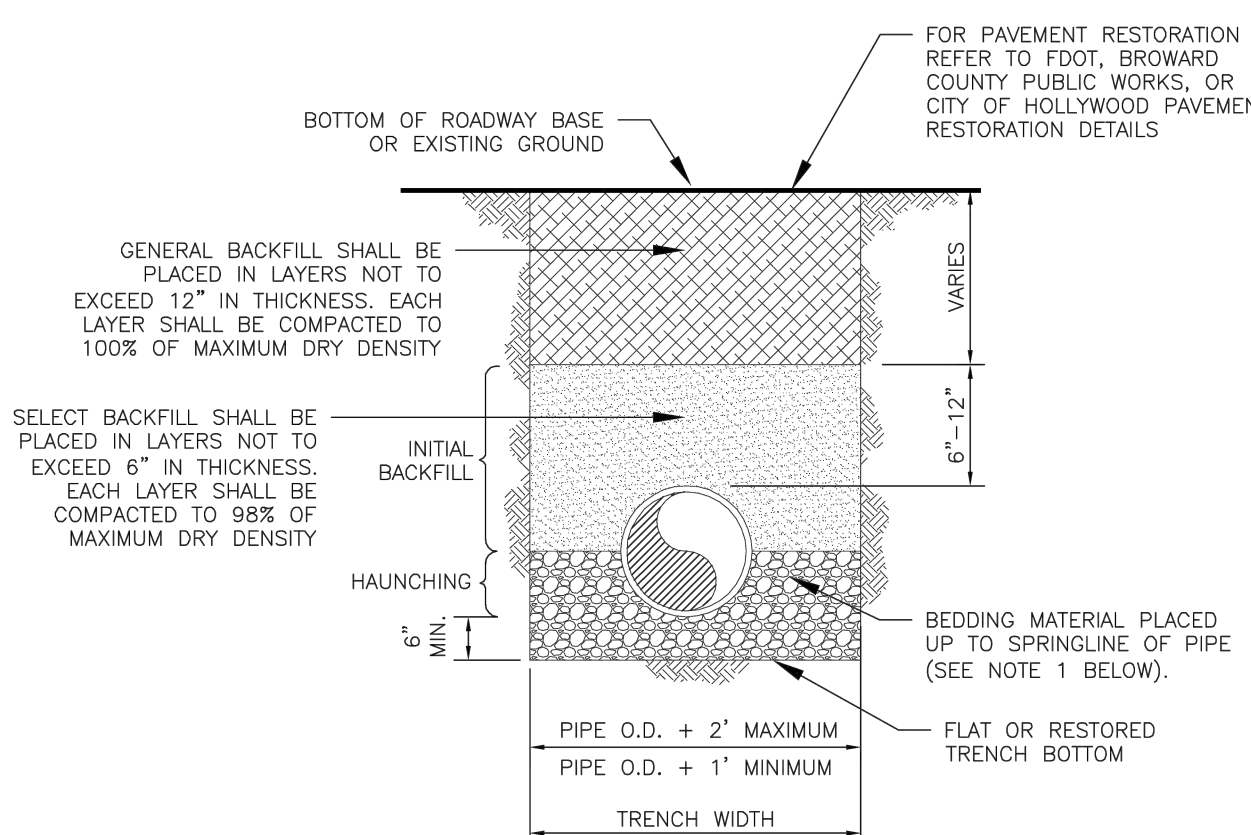
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL SEPARATION REQUIREMENTS OF F.D.E.P.	REVISED: 11/06/2017 DRAWING NO. G-01.1
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NOTES:


- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

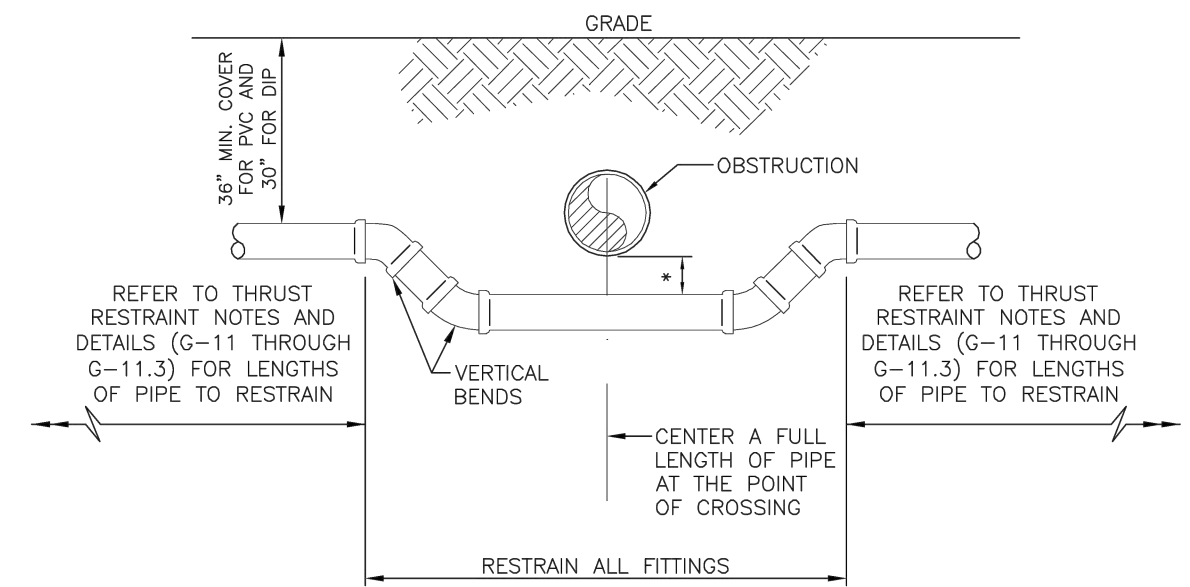
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	REVISED: 06/08/2014 DRAWING NO. G-02
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NOTES:

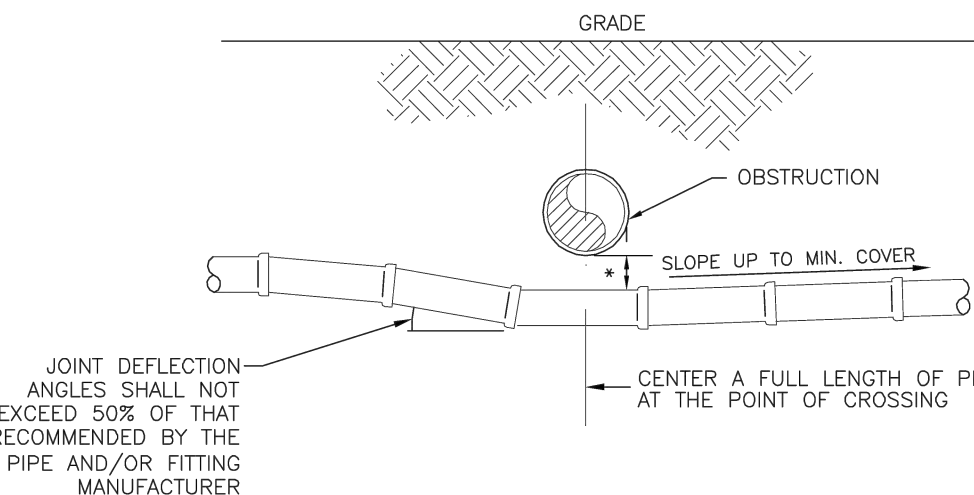
- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	REVISED: 06/08/2014 DRAWING NO. G-03
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UTILITY CROSSING USING FITTINGS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.



UTILITY CROSSING USING JOINT DEFLECTIONS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL UTILITY CROSSING DETAIL	REVISED: 06/08/2014 DRAWING NO. G-04
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SOLESTE LA PIAZZA
HOLLYWOOD, FLORIDA

PREPARED FOR:
THE ESTATES COMPANIES

WATER AND SEWER DETAILS

Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

C-12
SHEET 12 OF 18

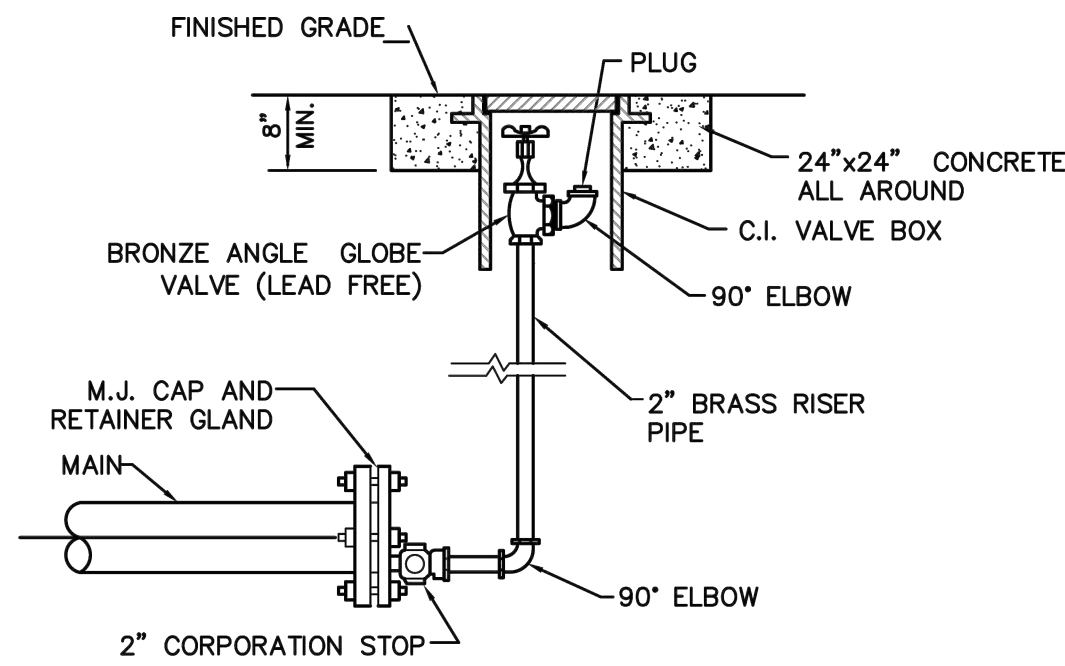
R:\Engineering\2022\22-0064-001-01 La Piazza\Drawings\22-0064 WSDT.dwg [C-13] May 19, 2023 4:55pm KMENTING

RESILIENT SEATED GATE VALVE SPECIFICATIONS:

4" THROUGH 12" SIZE (WATER AND FORCE MAIN)

- GATE VALVES SHALL BE RESILIENT SEATED, MANUFACTURED TO MEET OR EXCEED THE REQUIREMENTS OF AWWA C509 (LATEST REVISION) AND IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - VALVES SHALL HAVE AN UNOBSTRUCTED WATERWAY EQUAL TO OR GREATER THAN THE FULL NOMINAL DIAMETER OF THE VALVE.
 - THE VALVES ARE TO BE NON-RISING STEM WITH THE STEM MADE OF CAST, FORGED OR ROLLED BRONZE SHOWN IN AWWA C509, TWO STEM SEALS SHALL BE PROVIDED AND SHALL BE OF THE O-RING TYPE, ONE ABOVE AND ONE BELOW THE THRUST COLLAR WITH LUBRICANT BETWEEN O-RING.
 - THE STEM NUT, ALSO MADE OF BRONZE, MAY BE INDEPENDENT OF THE GATE OR CAST INTEGRALLY WITH THE GATE. IF THE STEM NUT IS CAST INTEGRALLY, THE THREADS SHALL BE STRAIGHT AND TRUE WITH THE AXIS OF THE STEM TO AVOID BINDING DURING THE OPENING OR CLOSING CYCLE.
 - THE SEALING MECHANISM SHALL CONSIST OF A CAST IRON GATE HAVING A VULCANIZED SYNTHETIC RUBBER COATING OR A RUBBER SEAT MECHANICALLY RETAINED ON THE GATE, THE RESILIENT SEALING MECHANISM SHALL PROVIDE ZERO LEAKAGE AT THE WATER WORKING PRESSURE WHEN INSTALLED WITH THE LINE FLOW IN EITHER DIRECTION.
 - A 2-INCH SQUARE WRENCH NUT SHALL BE PROVIDED FOR OPERATING THE VALVE.
 - ALL VALVES ARE TO BE SUPPLIED COMPLETE AND READY FOR INSTALLATION INCLUDING, BUT NOT LIMITED TO ALL NUTS, BOLTS RINGS AND RUBBERS.
 - ALL VALVES ARE TO BE TESTED IN STRICT ACCORDANCE WITH AWWA C509 LATEST REVISION).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL RESILIENT SEATED GATE VALVE SPECIFICATIONS	REVISED: 06/08/2014 DRAWING NO. G-07.1
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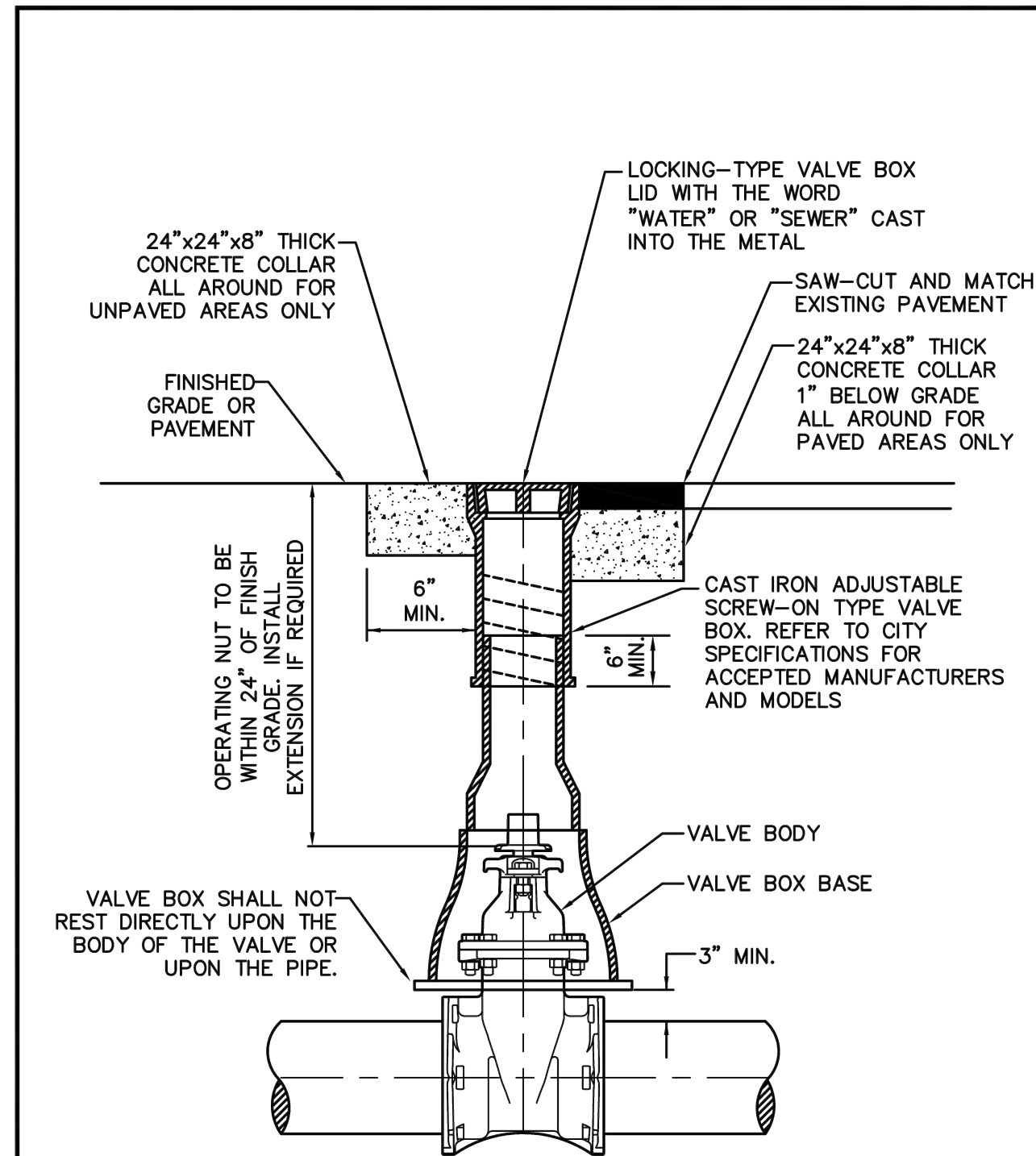
SECTION "A-A"

NOTES:

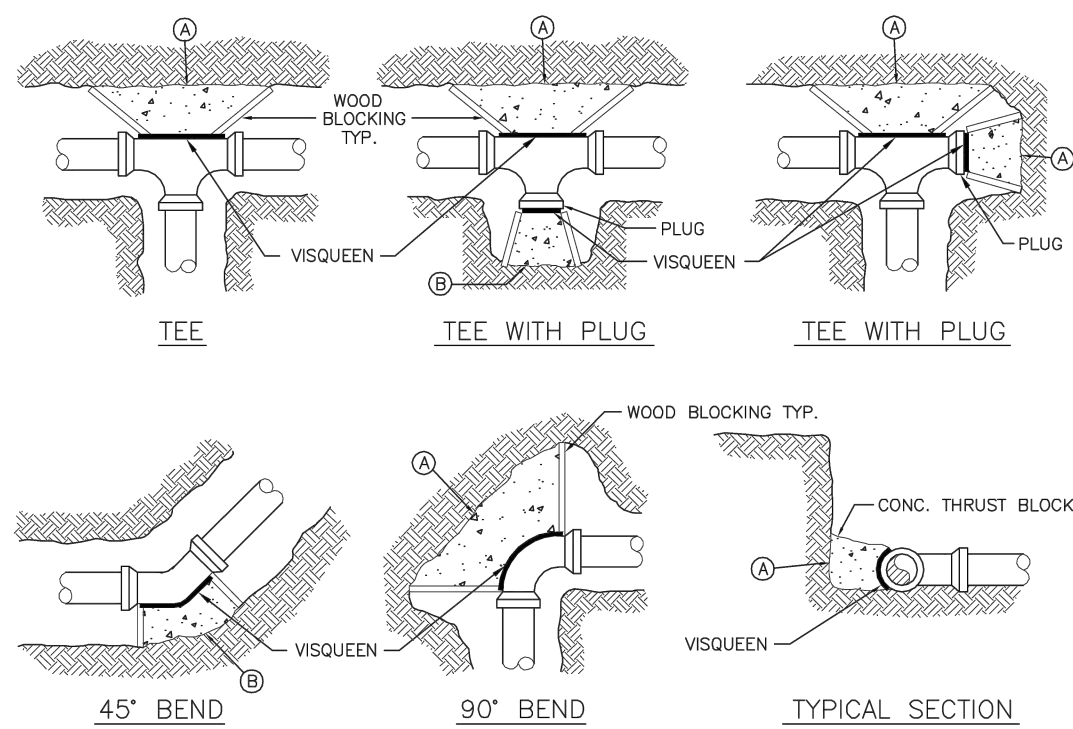
- PIPE JOINT COMPOUND SHALL BE APPLIED TO MALE THREADS ONLY.
- 2" TAP IN BOTTOM OF CAP ON MAIN.
- PLYWOOD AND CONCRETE TO HAVE A HEIGHT EQUAL TO THE DIAMETER OF THE PIPE.
- ALL FITTINGS TO BE MADE OF BRASS.

PLAN VIEW

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TERMINAL BLOW-OFF DETAIL	REVISED: 11/06/2017 DRAWING NO. G-09
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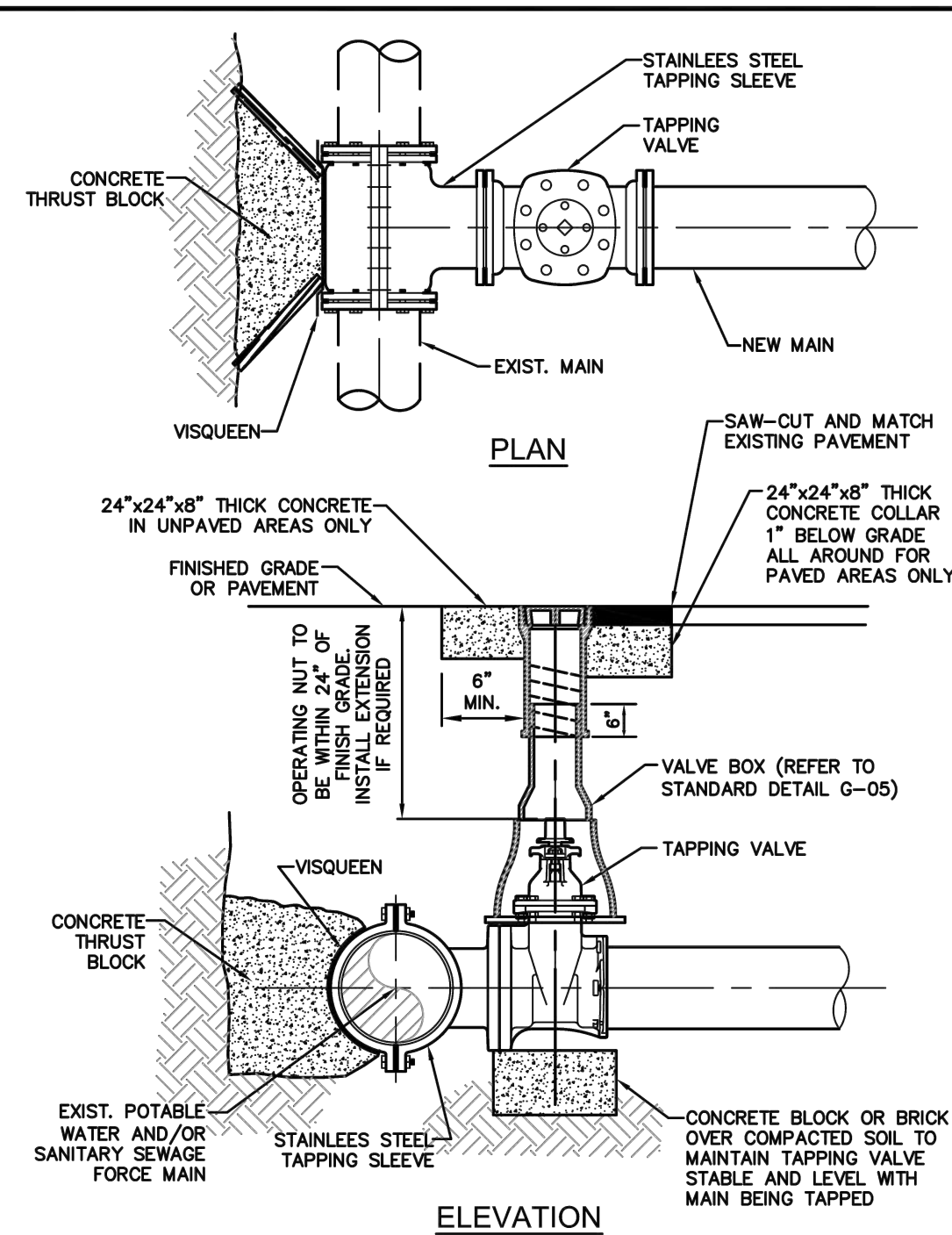
	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL VALVE BOX SETTING	REVISED: 06/08/2014 DRAWING NO. G-05
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NOTES:


- THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
- THE AREAS IN THE TABLE ARE BASED ON _____ POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
- CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
- TABLE TO BE COMPLETED BY DESIGN ENGINEER.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL THRUST BLOCK DESIGN	REVISED: 06/08/2014 DRAWING NO. G-10
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NOTES:

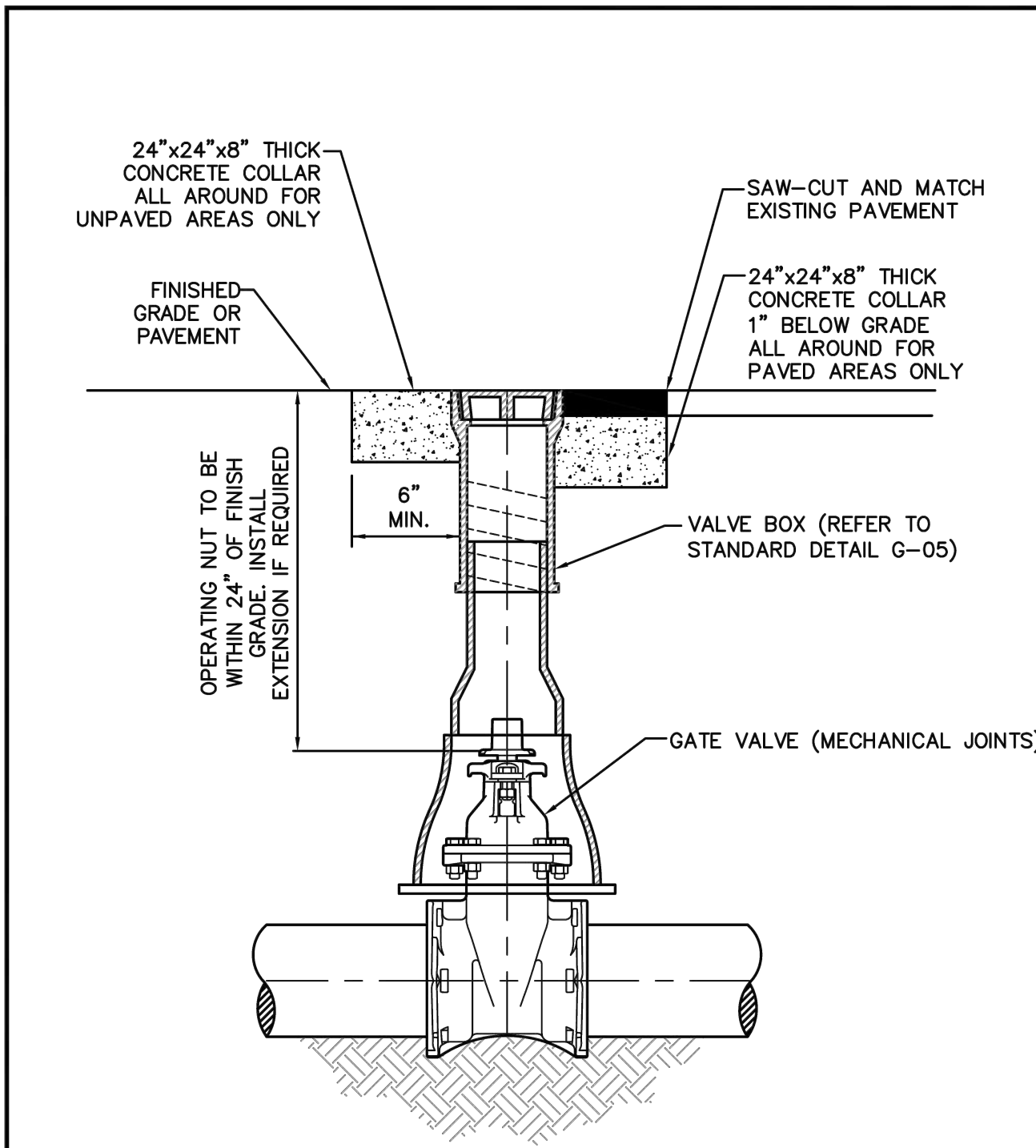
- NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
- TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
- TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
- FOR SEWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
- FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL TAPPING SLEEVE AND VALVE SETTING	REVISED: 06/08/2014 DRAWING NO. G-06
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THRUST RESTRAINT NOTES:

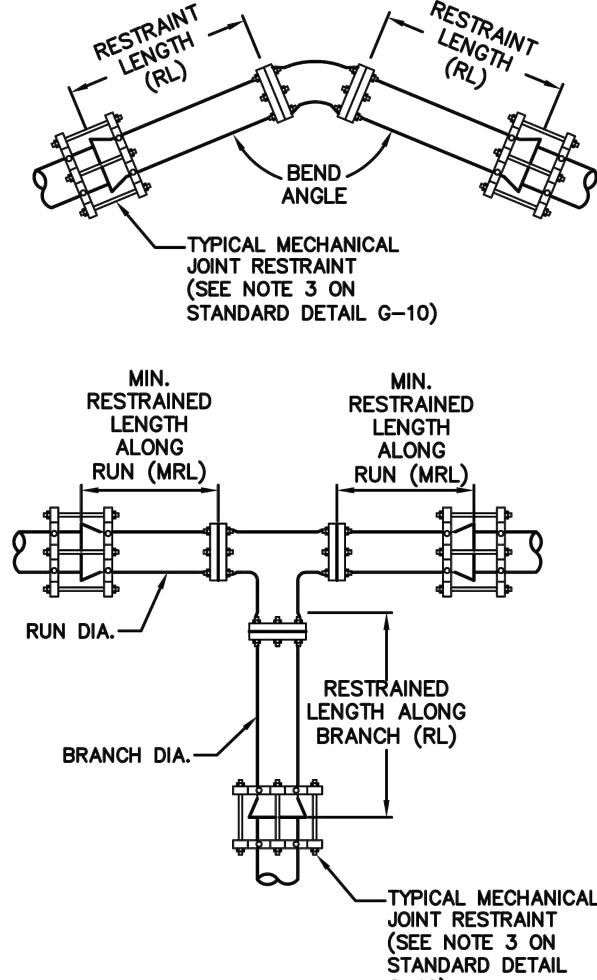
- ALL JOINTS BETWEEN BENDS AT HORIZONTAL & VERTICAL OFFSETS SHALL BE RESTRAINED.
- MECHANICAL THRUST RESTRAINTS FOR D.I.P. FITTINGS ON D.I.P. OR P.V.C. PIPE SHALL BE MEGALUG AS MANUFACTURED BY EBAA IRON, INC., OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS UP TO 20-INCHES IN DIAMETER SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS 24-INCH IN DIAMETER AND ABOVE SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL, WITH THE ADDITION OF THRUST BLOCKS AND CONCRETE ANCHORS AT THE DISCRETION OF THE ENGINEER OF RECORD.
- ANY THRUST BLOCKS AND ANCHORS ARE TO BE DESIGNED BY THE ENGINEER OF RECORD, SIGNED AND SEALED CALCULATIONS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.
- THRUST BLOCKS CONSISTING OF POURED-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AFTER 28 DAYS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL JOINT RESTRAINT DESIGN FOR PVC AND DIP THRUST RESTRAINT NOTES	REVISED: 06/08/2014 DRAWING NO. G-11
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	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL GATE VALVE AND VALVE BOX SETTING	REVISED: 06/08/2014 DRAWING NO. G-07
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HORIZONTAL BENDS			
PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT)	
24	11 1/2	-	-
	22 1/2	-	-
	45	-	-
16	11 1/2	-	-
	22 1/2	-	-
	45	-	-
12	11 1/2	-	-
	22 1/2	-	-
	45	-	-
8	11 1/2	-	-
	22 1/2	-	-
	45	-	-
6	11 1/2	-	-
	22 1/2	-	-
	45	-	-
4	11 1/2	-	-
	22 1/2	-	-
	45	-	-



TEES AND TAPPING SLEEVES							
RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)	PVC	*DIP
24"	16"	-	-	-	-	-	-
	12"	-	-	-	-	-	-
	8"	-	-	-	-	-	-
	6"	-	-	-	-	-	-
	4"	-	-	-	-	-	-
16"	12"	-	-	-	-	-	-
	8"	-	-	-	-	-	-
	6"	-	-	-	-	-	-
	4"	-	-	-	-	-	-
	4"	-	-	-	-	-	-

*ALL JOINT RESTRAINT CALCULATIONS ASSUME THE PIPE WILL BE WRAPPED IN POLYETHYLENE ENCASEMENT

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES	REVISED: 06/08/2014 DRAWING NO. G-11.1
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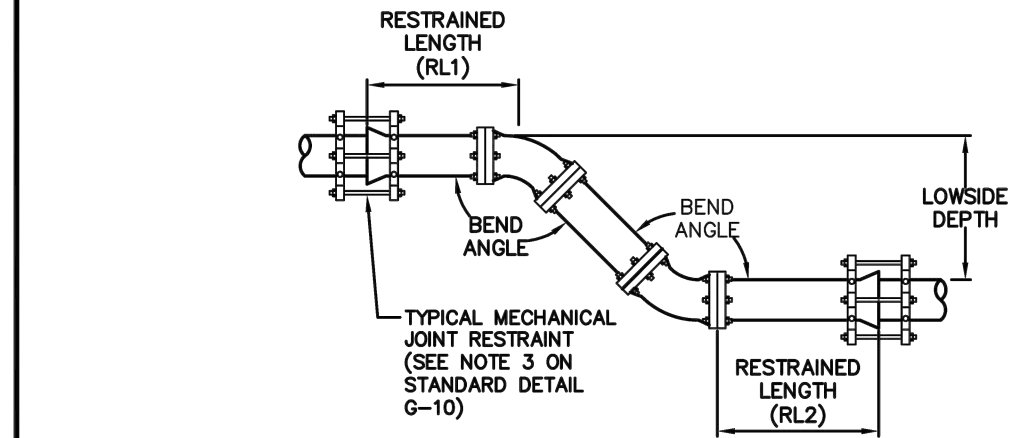
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HOLLYWOOD, FLORIDA
PREPARED FOR:
THE ESTATES COMPANIES
WATER AND SEWER DETAILS

Leonard Z. Gamble
Florida P.E. No. 65921

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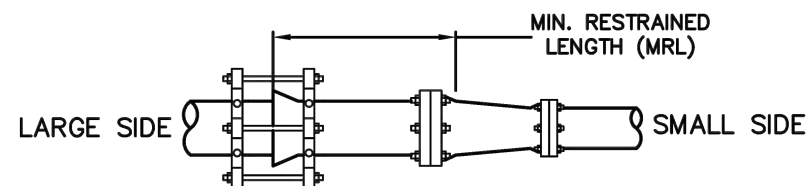
SHEET 13 OF 18



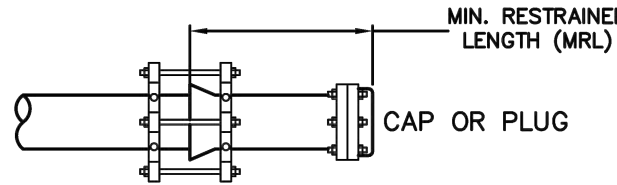
VERTICAL OFFSETS					
PIPE DIA. (INCHES)	BEND (ANGLE)	LOWSIDE DEPTH (FT.)	PVC		*DIP
			RESTRAINED LENGTHS RL1 (FT.)	RESTRAINED LENGTHS RL2 (FT.)	RESTRAINED LENGTHS RL1 (FT.)
24	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-
16	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-
12	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-
8	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-
6	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-
4	45	4	-	-	-
		5	-	-	-
		6	-	-	-
		7	-	-	-

*ALL DIP JOINT-RESTRAINT CALCULATIONS ASSUME THE PIPE WILL BE WRAPPED IN POLYETHYLENE ENCASEMENT

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP VERTICAL OFFSETS		DRAWING NO. G-11.2
APPROVED: XXX			




REDUCERS					
LARGE SIDE	SMALL SIDE	MINIMUM LENGTH TO RESTRAIN ON LARGE SIDE (FT)		LARGE SIDE	SMALL SIDE
		PVC	*DIP		
24"	16"	-	-	12"	8"
	12"	-	-		6"
	8"	-	-		4"
	6"	-	-		2"
16"	12"	-	-	8"	4"
	8"	-	-		2"
	6"	-	-		2"
	4"	-	-		2"




DEAD ENDS		
PIPE DIA. (INCHES)	MIN. RESTRAINED LENGTH (FT)	
	PVC	*DIP
24"	-	-
16"	-	-
12"	-	-
8"	-	-
6"	-	-
4"	-	-

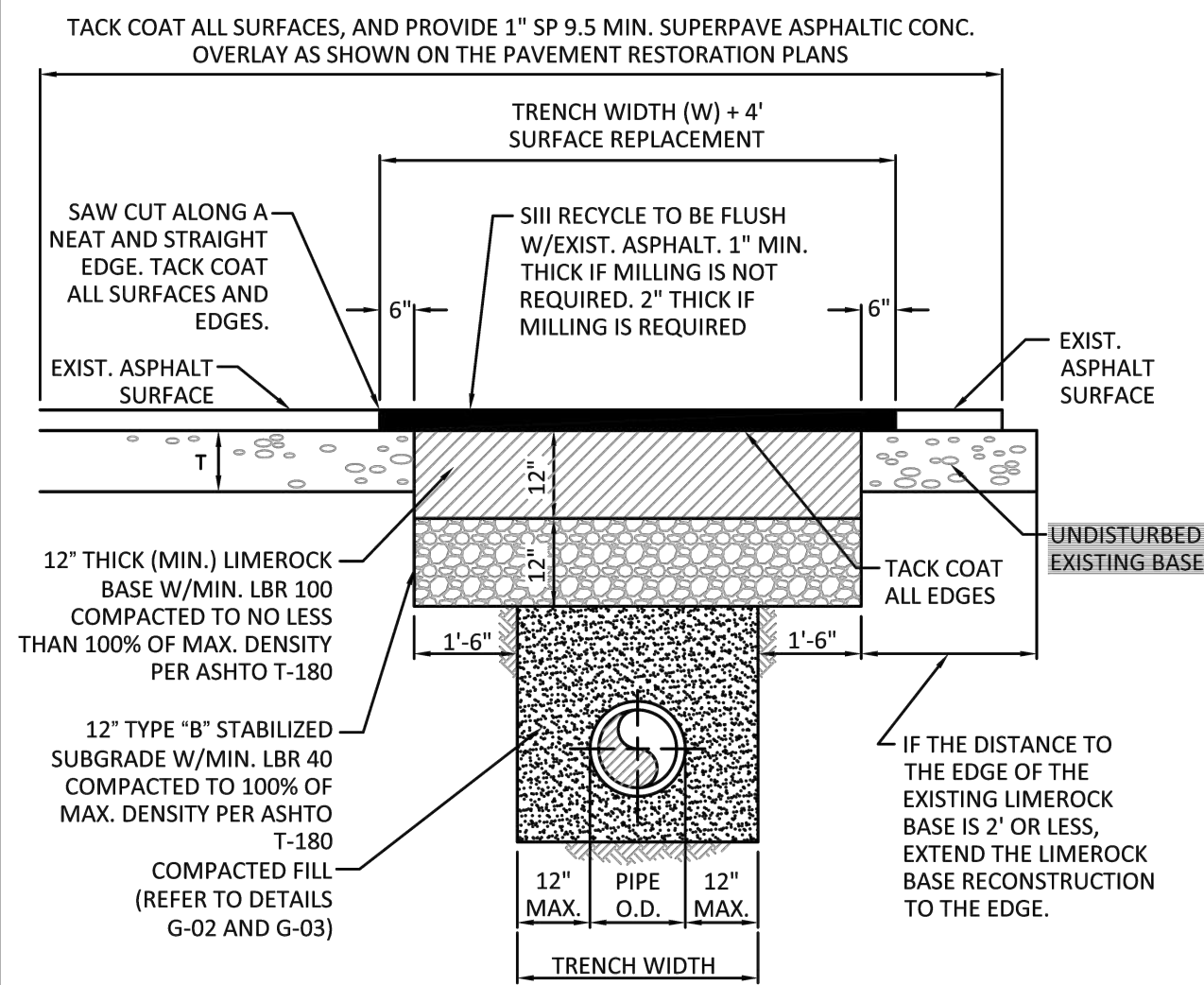
*ALL DIP JOINT-RESTRAINT CALCULATIONS ASSUME THE PIPE WILL BE WRAPPED IN POLYETHYLENE ENCASEMENT


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP REDUCERS AND DEAD ENDS		DRAWING NO. G-11.3
APPROVED: XXX			

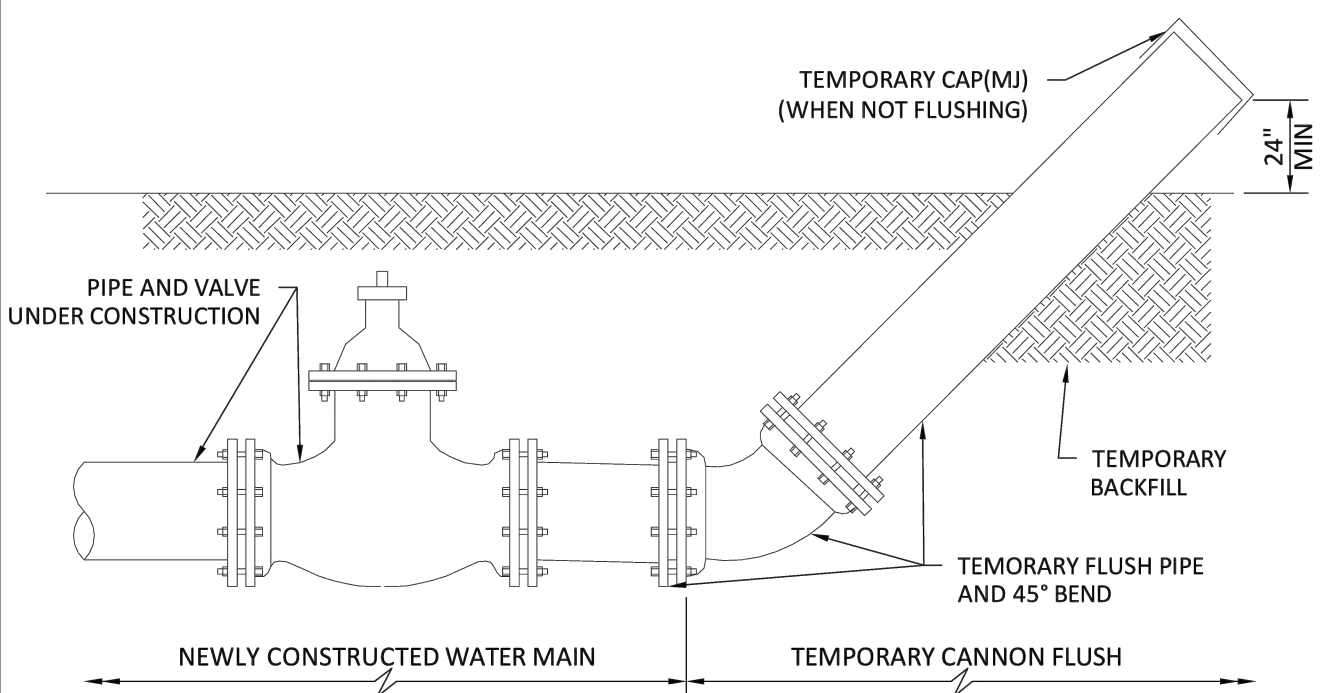
FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FOOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FOOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES		DRAWING NO. G-12
APPROVED: XXX			




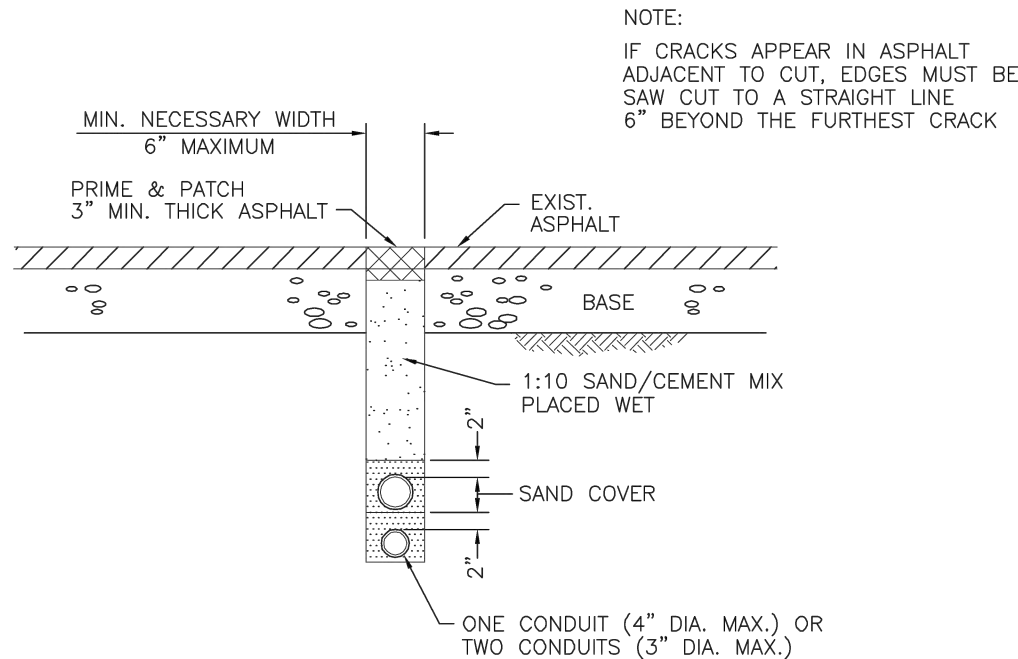
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY		DRAWING NO. G-12.1
APPROVED: XXX			



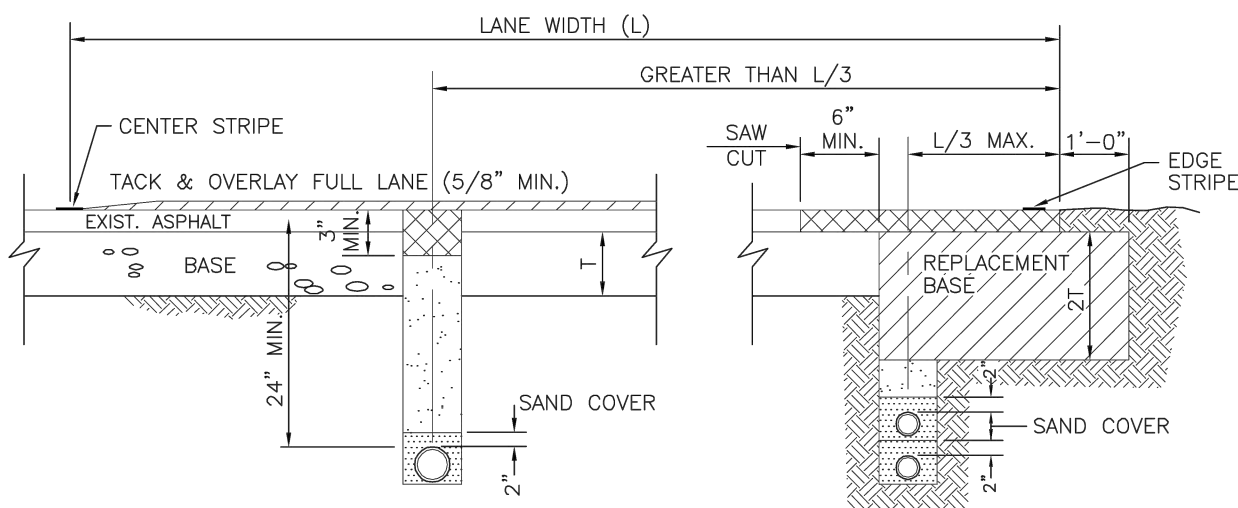
GENERAL NOTES:

- FLUSHING LOCATIONS ARE TO BE PROPOSED BY CONTRACTOR AND APPROVED BY CITY.
- UPON COMPLETION OF THE PIPE INSTALLATION FOR ANY SECTION, THE MAIN SHALL BE CANNON FLUSHED TO REMOVE DIRT AND ANY OTHER FOREIGN MATTER.
- INSTALL A TEMPORARY 45° BEND AND ASSOCIATED TEMPORARY PIPING AS SHOWN TO DIRECT THE FLUSHING WATER AWAY FROM THE IMMEDIATE WORK AREA AND EXERCISE DUE CARE SO AS TO ENSURE THAT THE WATER USED IN FLUSHING DOES NOT CAUSE A NUISANCE OR INFLECT PROPERTY DAMAGE.
- BENDS AND PIPING SHALL BE THE SAME SIZE OR LARGER AS THE LINE BEING FLUSHED.
- PRIOR TO THE ACTUAL LINE FLUSHING OPERATION THE CONTRACTOR SHALL PROPERLY NOTIFY CITY INSPECTOR OF SUCH INTENDED WATER USE.
- NO EXISTING VALVE SHALL BE OPERATED, EXCEPT BY AUTHORIZED CITY PERSONNEL.
- FLUSHING SHALL NOT BE ACCOMPLISHED WITHOUT THE ACTUAL PRESENCE OF THE CITY INSPECTOR.
- AFTER THE LINE UNDER CONSTRUCTION HAS BEEN SUCCESSFULLY FLUSHED, THE CONTRACTOR SHALL REMOVE THE TEMPORARY PIPING ARRANGEMENT AND PROCEED WITH THE REMAINING CONSTRUCTION AS SPECIFIED.
- ALL PIPING SHALL BE MECHANICALLY RESTRAINED IN ACCORDANCE WITH CITY STANDARDS.
- IF REQUIRED BY CITY, WATER MAINS SHALL BE CLEANED BY PIGGING.
- CONTRACTOR WILL INSTALL A PRESSURE GAUGE AT OR NEAR THE FILL AND FLUSH LOCATION AND MAINTAIN A MINIMUM PRESSURE OF 40 PSI AT ALL TIMES. THE FILL VALVE WILL BE OPENED AND CLOSED SLOWLY TO AVOID RAPID PRESSURE CHANGES IN THE WATER SYSTEM.
- CONTRACTOR IS CAUTIONED THAT GOVERNING AGENCIES OR UTILITIES MAY HAVE REGULATIONS LIMITING OR PROHIBITING DISCHARGE INTO SEWERS, SURFACE WATERS, CANALS, DITCHES AND OTHER CONVEYANCES/RETENTION AREA. ALL COMPLIANCE WITH GOVERNING AGENCIES REQUIREMENTS (INCLUDING PERMITTING, IF REQUIRED) IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CANNON FLUSHING TO PROCEED AFTER HEALTH DEPARTMENT CLEARANCE IS RECEIVED.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	CANNON FLUSHING		DRAWING NO. G-13
APPROVED: XXX			




DETAIL "A"
MINIMUM UTILITY CROSSING OF ROADWAY



DETAIL "B"
MINIMUM PARALLEL UTILITY INSTALLATION

NOTE:
DETAILS NOT SHOWN
SHALL BE AS PER DETAIL "A"

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION FOR CONDUIT		DRAWING NO. G-12.2
APPROVED: XXX			

DATE:	03/17/23
SCALE:	1"=20'
DESIGN BY:	LZG
DRAWN BY:	LZG
CHECKED BY:	CEE
APPROVED BY:	CEE

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014

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SOLESTE LA PIAZZA
HOLLYWOOD, FLORIDA

PREPARED FOR:
THE ESTATES COMPANIES

WATER AND SEWER DETAILS

Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

C-14
SHEET 14 OF 18

LEONARD Z. GAMBLE, STATE OF FLORIDA
PROFESSIONAL ENGINEER, LICENSE NO. 65921
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R:\Engineering\2022\22-0064-001-01 La Piazza\Drawings\22-0064 WSDT.dwg [C-15] May 19, 2023 4:55pm KMENTING

SEWER NOTES:

- THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 30".
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
- FORCE MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

WHERE:

L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR

D = PIPE DIAMETER IN INCHES

S = LENGTH OF LINES IN LINEAL FEET

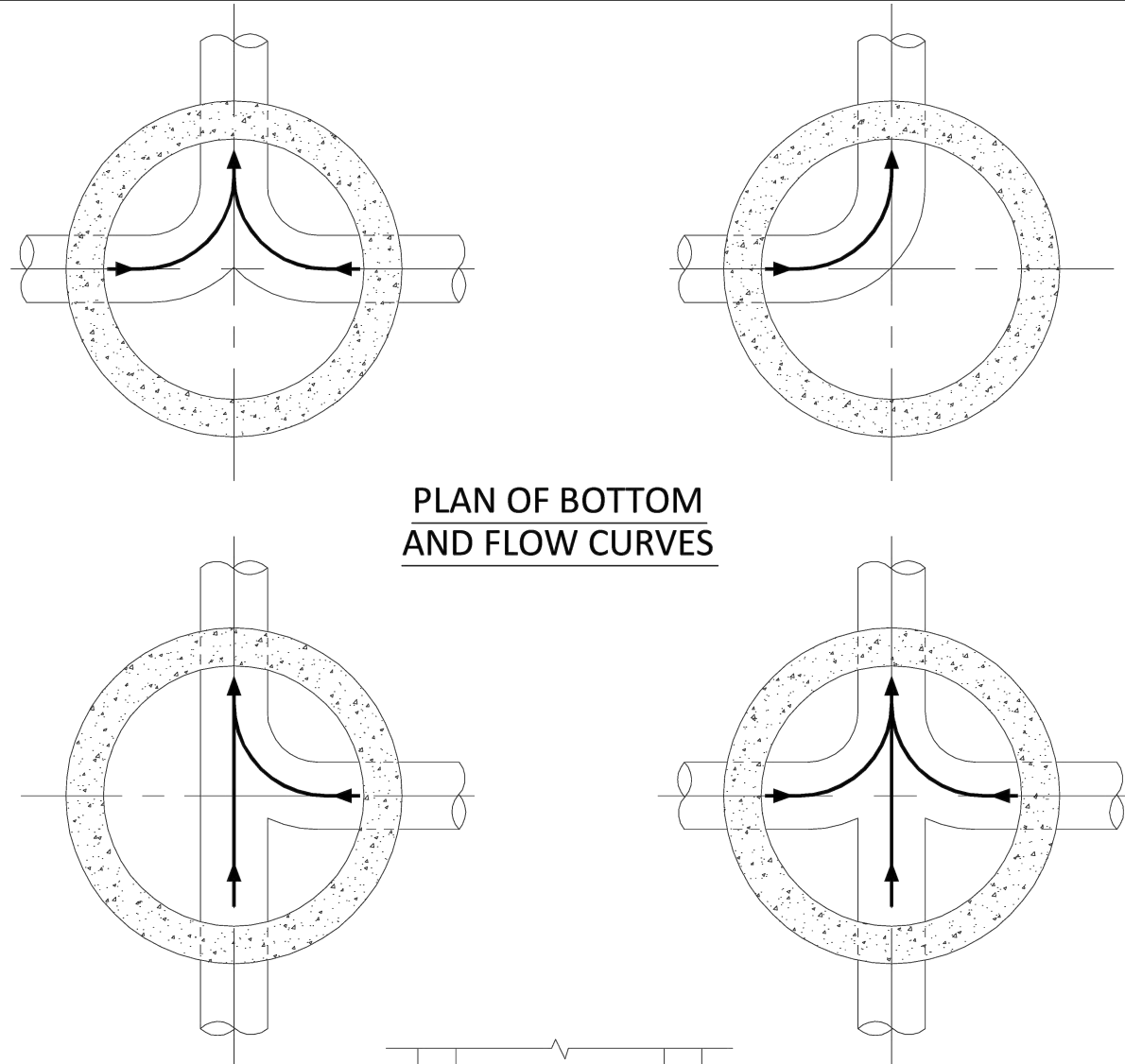
P = AVERAGE TEST PRESSURE IN PSI

- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SANITARY SEWER MAIN
CONSTRUCTION NOTES
REVISD: 06/08/2014
DRAWING NO.
S-01



PLAN OF BOTTOM
AND FLOW CURVES

TYPICAL SECTION

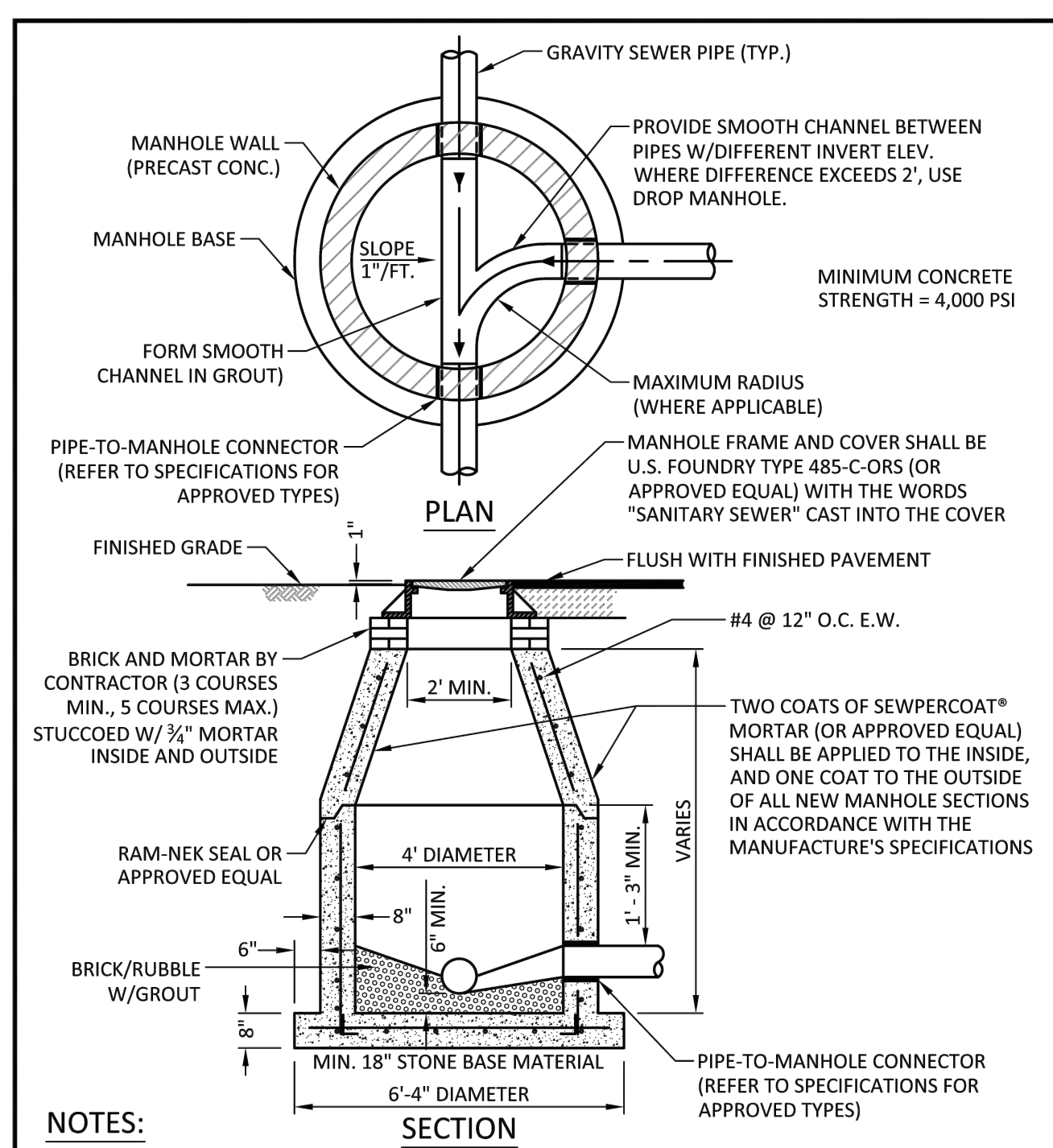
NOTES:

- INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
- CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
- WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
MANHOLE FLOW PATTERNS
REVISD: 06/08/2014
DRAWING NO.
S-02



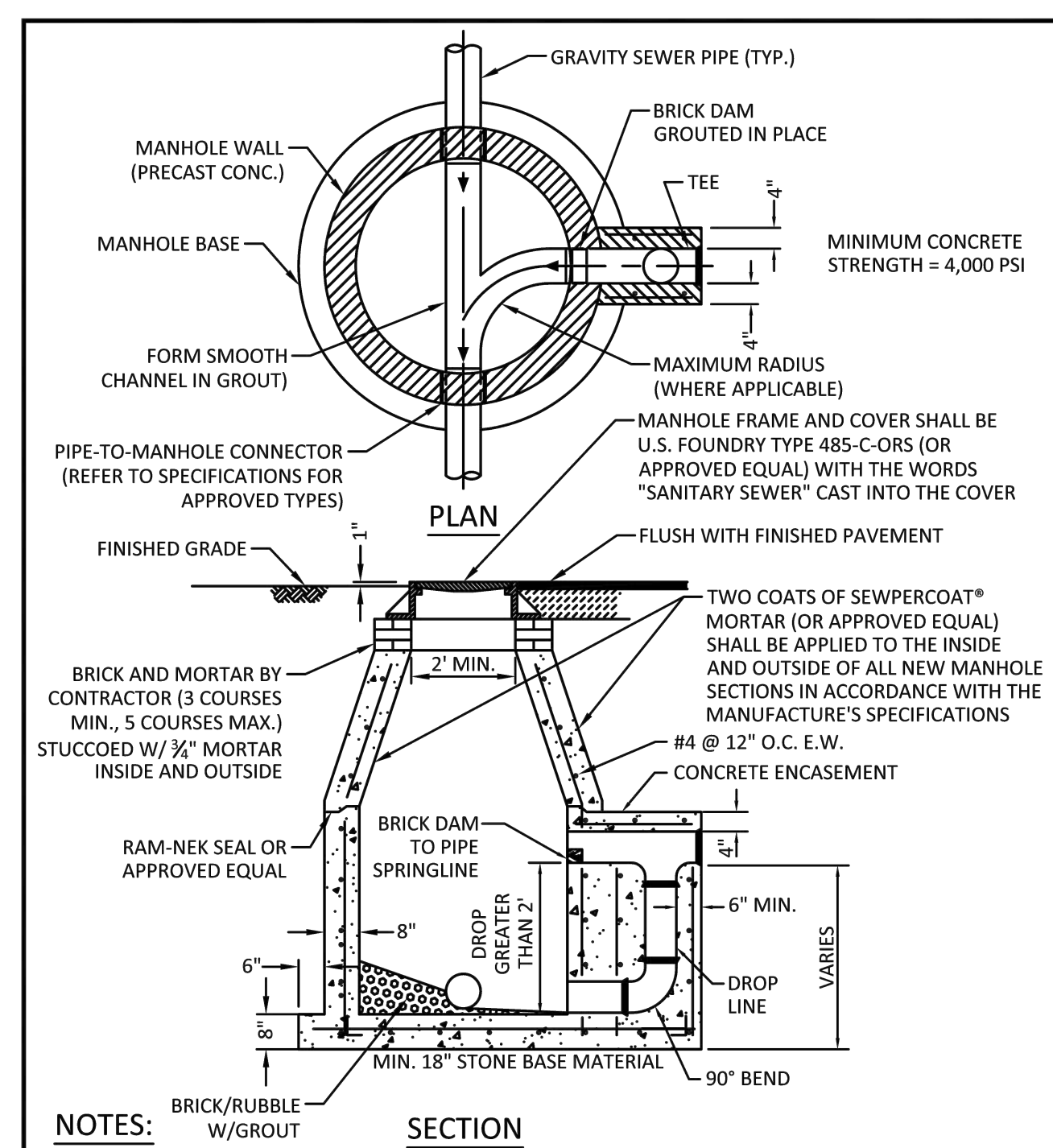
NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
STANDARD PRECAST MANHOLE
REVISD: 07/18/2018
DRAWING NO.
S-03



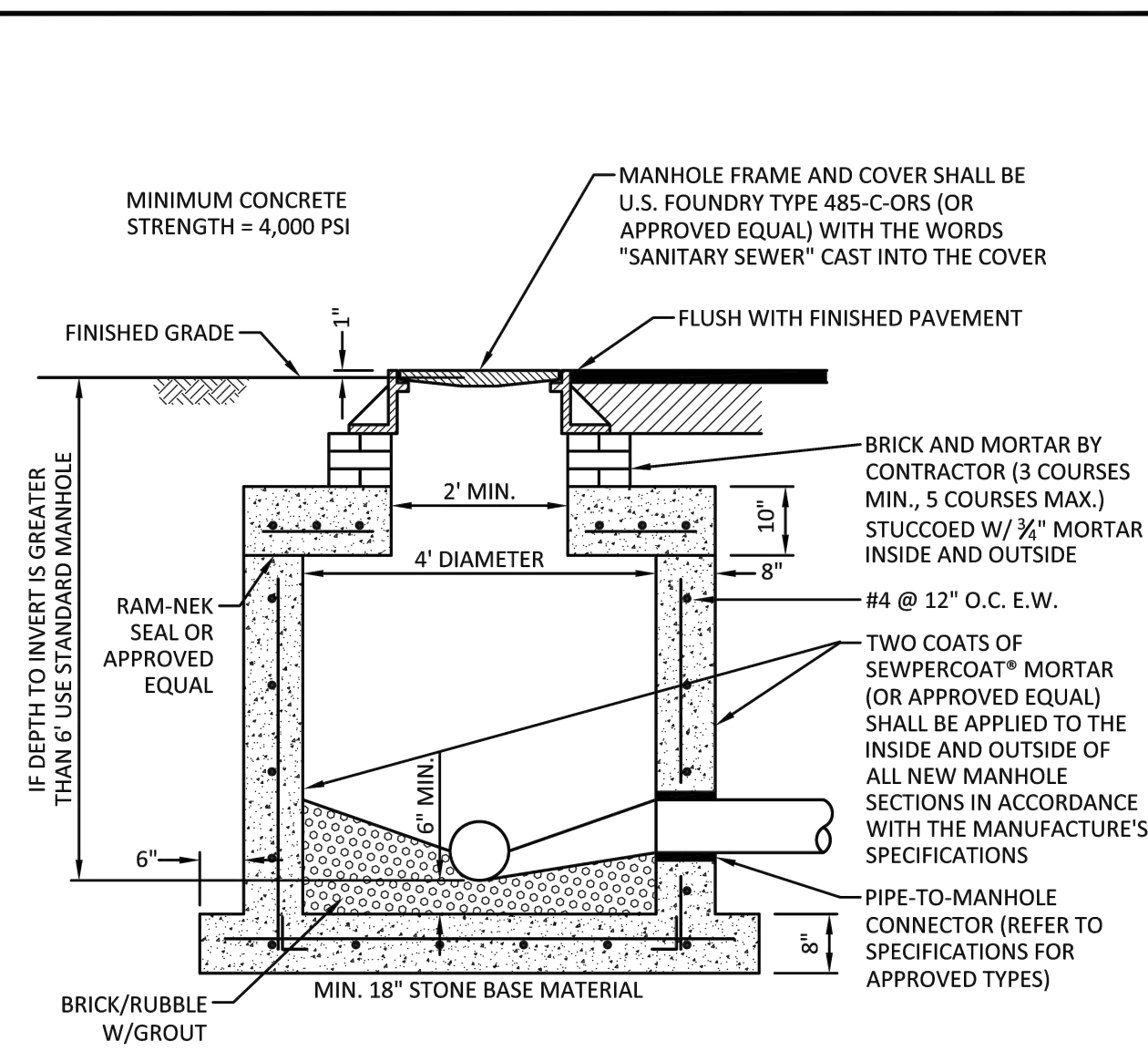
NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
DROP MANHOLE
REVISD: 07/18/2018
DRAWING NO.
S-04



SECTION

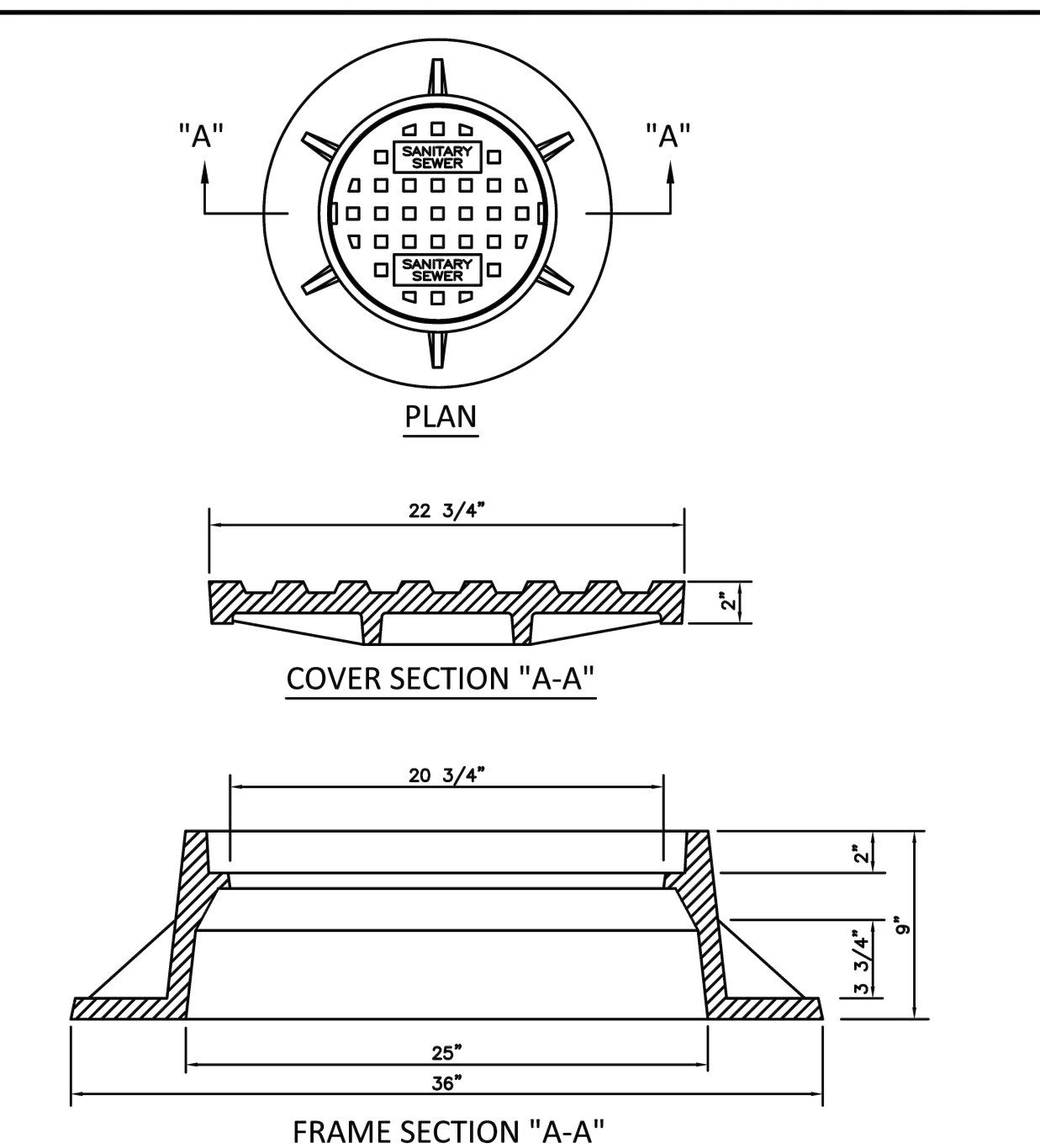
NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SHALLOW MANHOLE
REVISD: 07/18/2018
DRAWING NO.
S-05



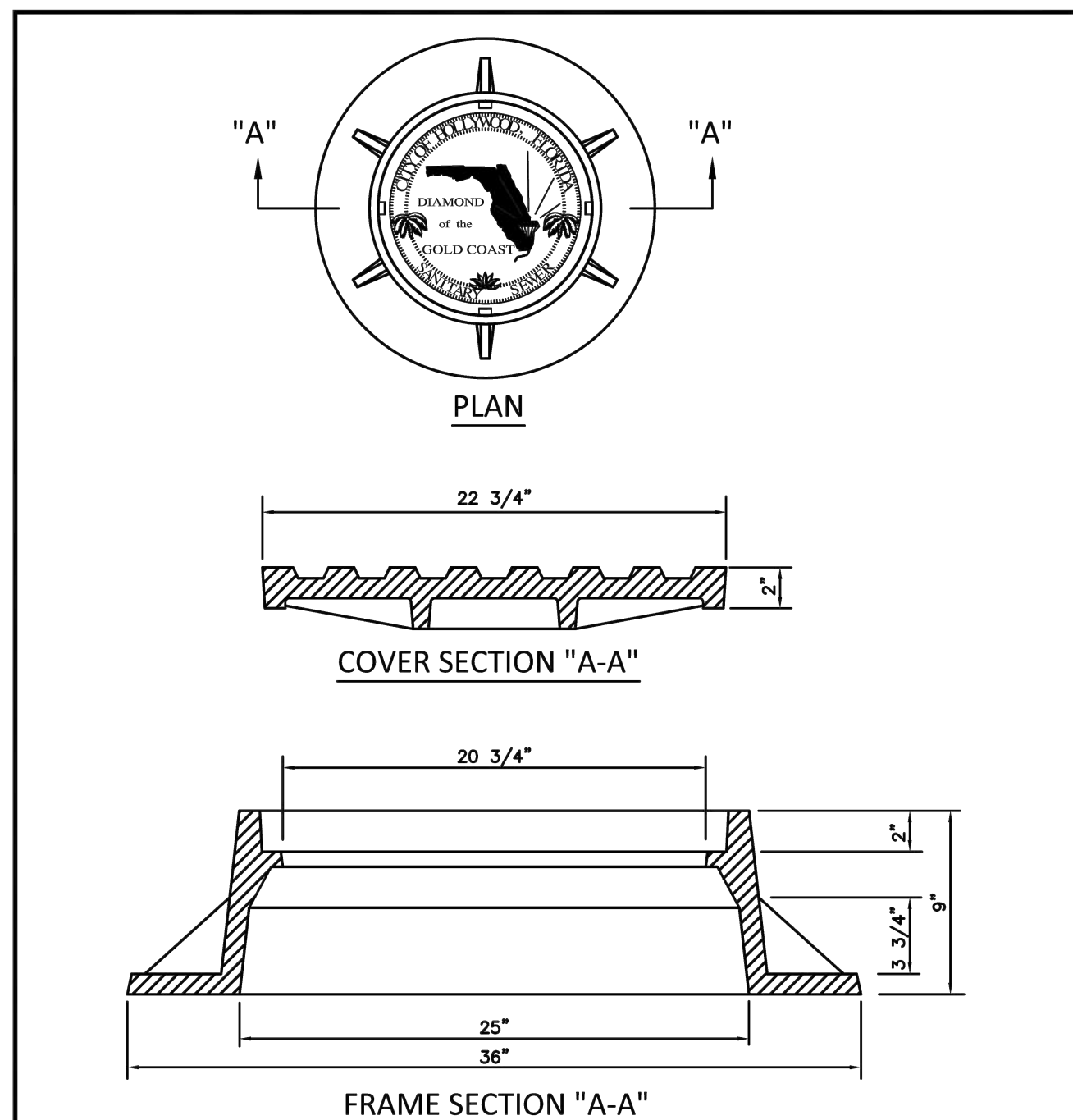
NOTES:

- LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
- ALL BEARING SURFACES TO BE MACHINED.
- MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
- MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
MANHOLE FRAME AND COVER
REVISD: 06/08/2014
DRAWING NO.
S-06



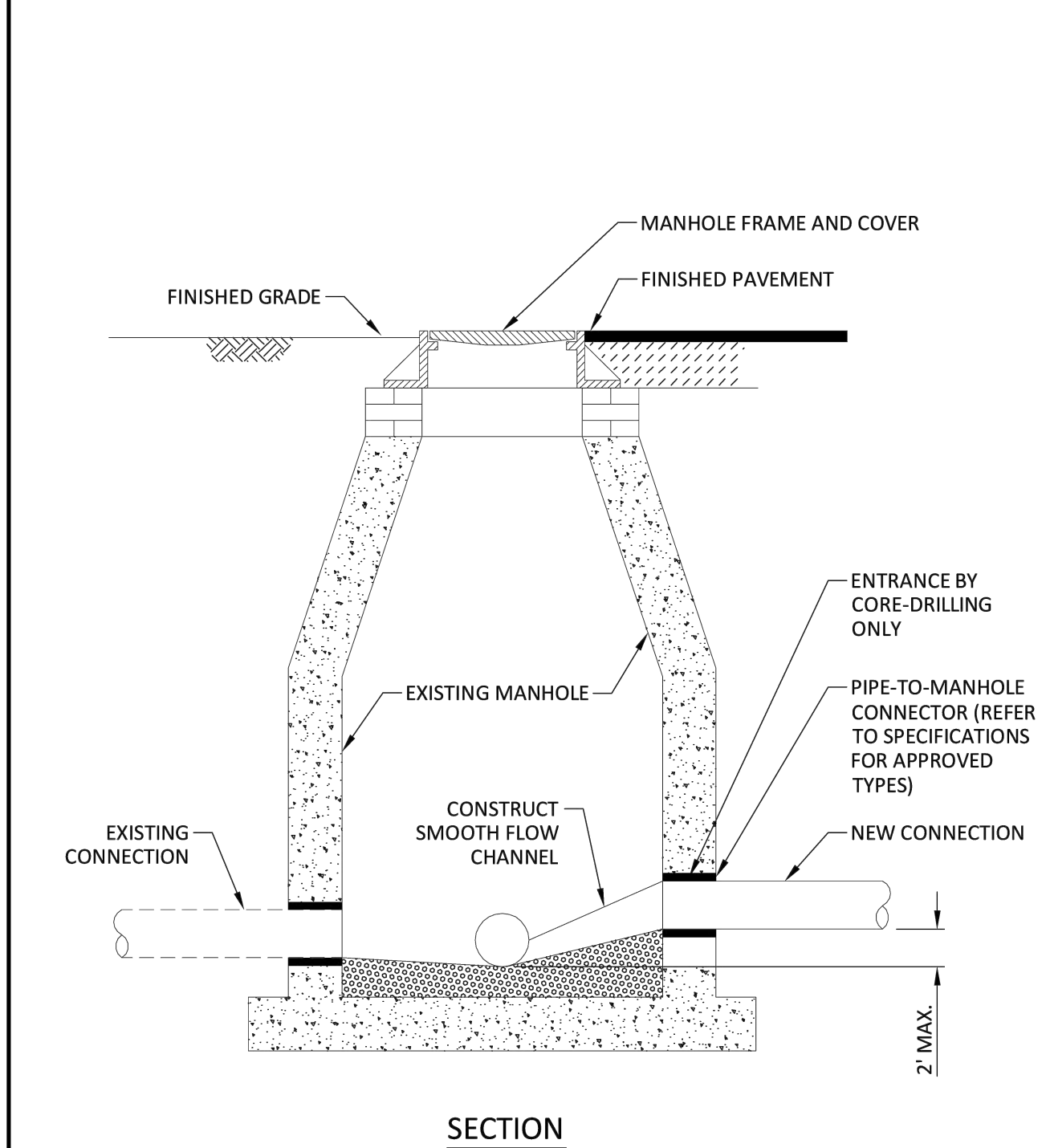
NOTES:

- LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
- ALL BEARING SURFACES TO BE MACHINED.
- MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
- MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
MANHOLE FRAME AND COVER
CITY OF HOLLYWOOD
REVISD: 06/08/2014
DRAWING NO.
S-06.1



SECTION



ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
NEW CONNECTION TO
EXISTING MANHOLE
REVISD: 06/08/2014
DRAWING NO.
S-07

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THE ESTATES COMPANIES

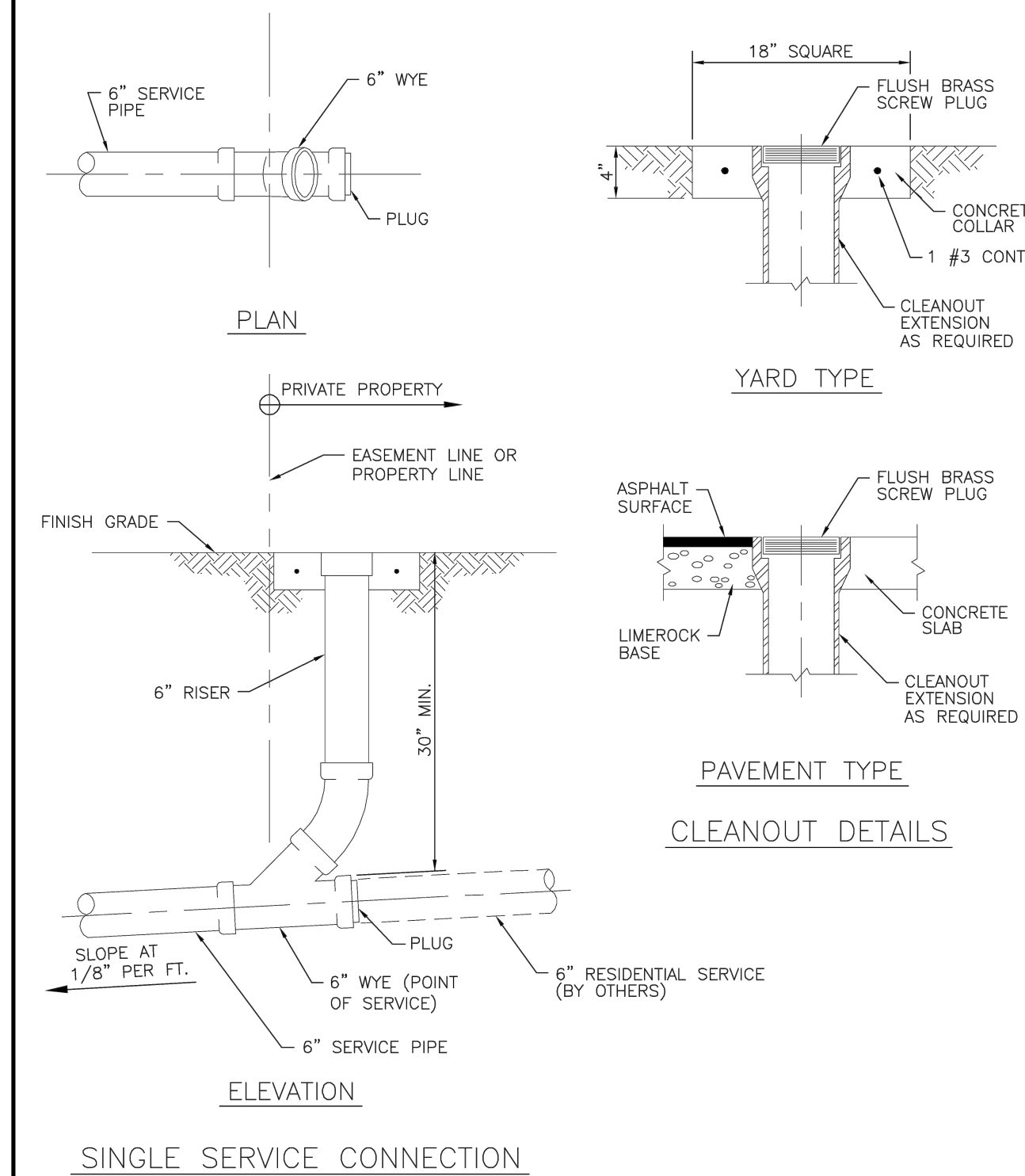
WATER AND SEWER DETAILS


Leonard Z. Gamble
Florida P.E. No. 65921

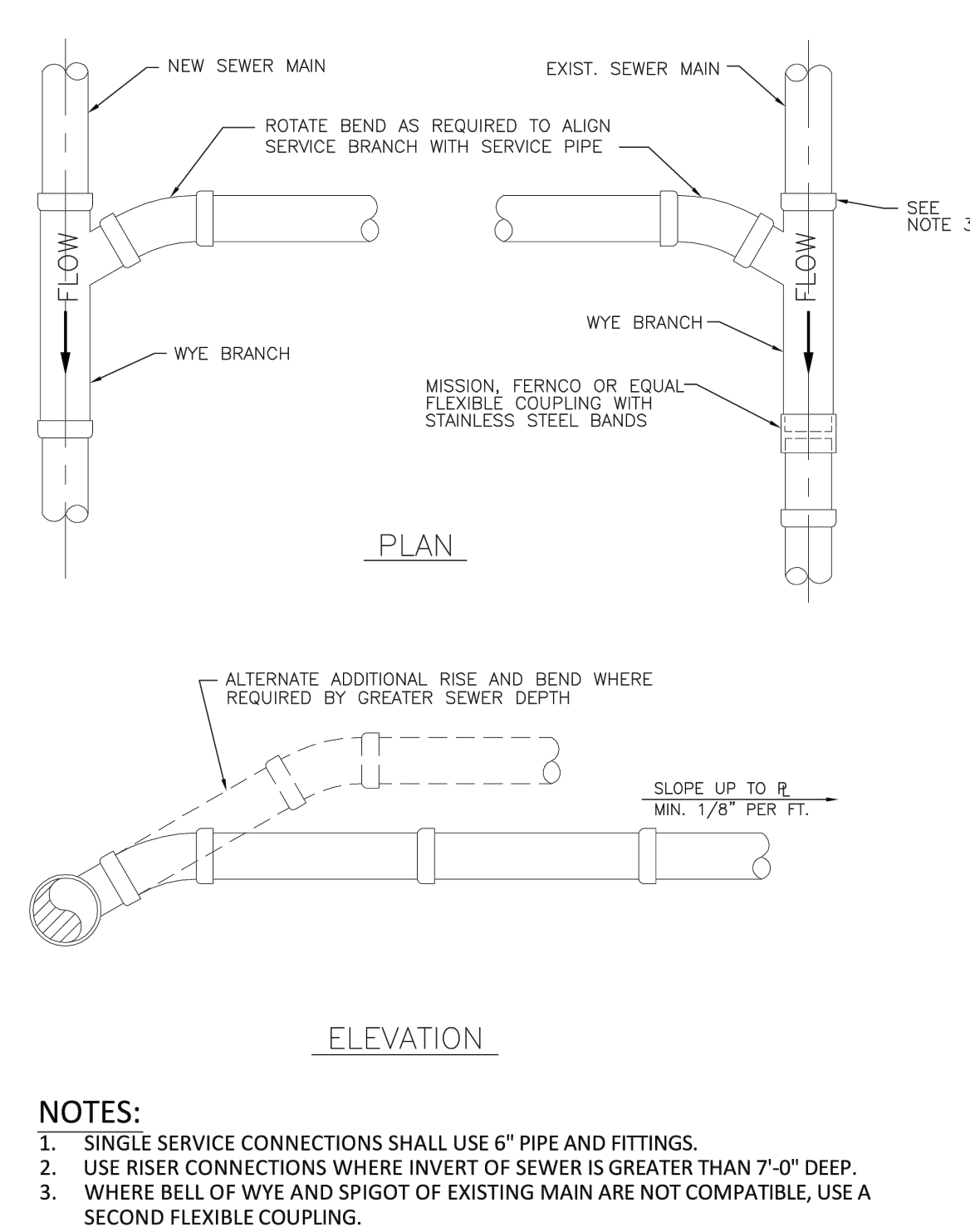
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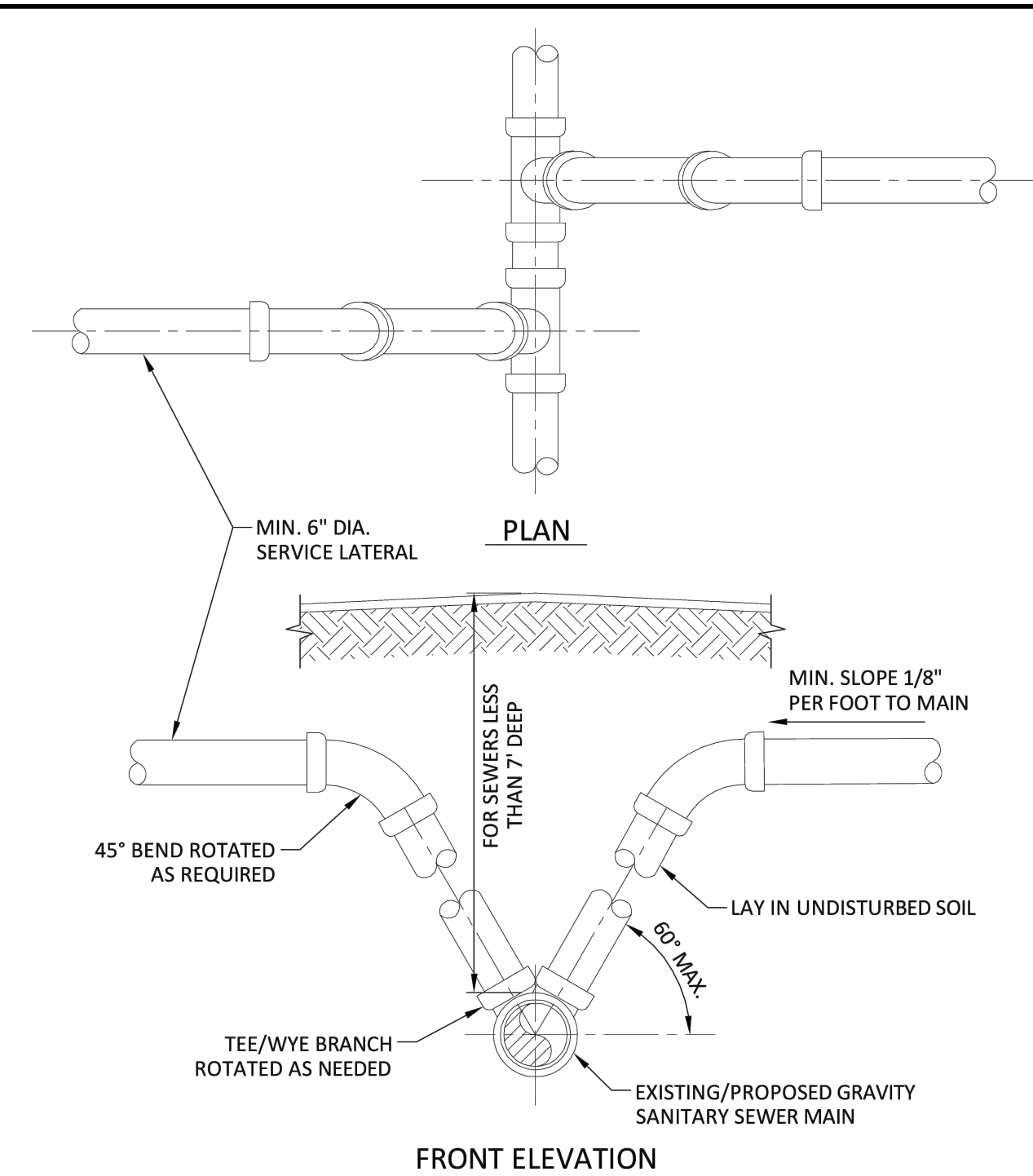
SHEET 15 OF 18




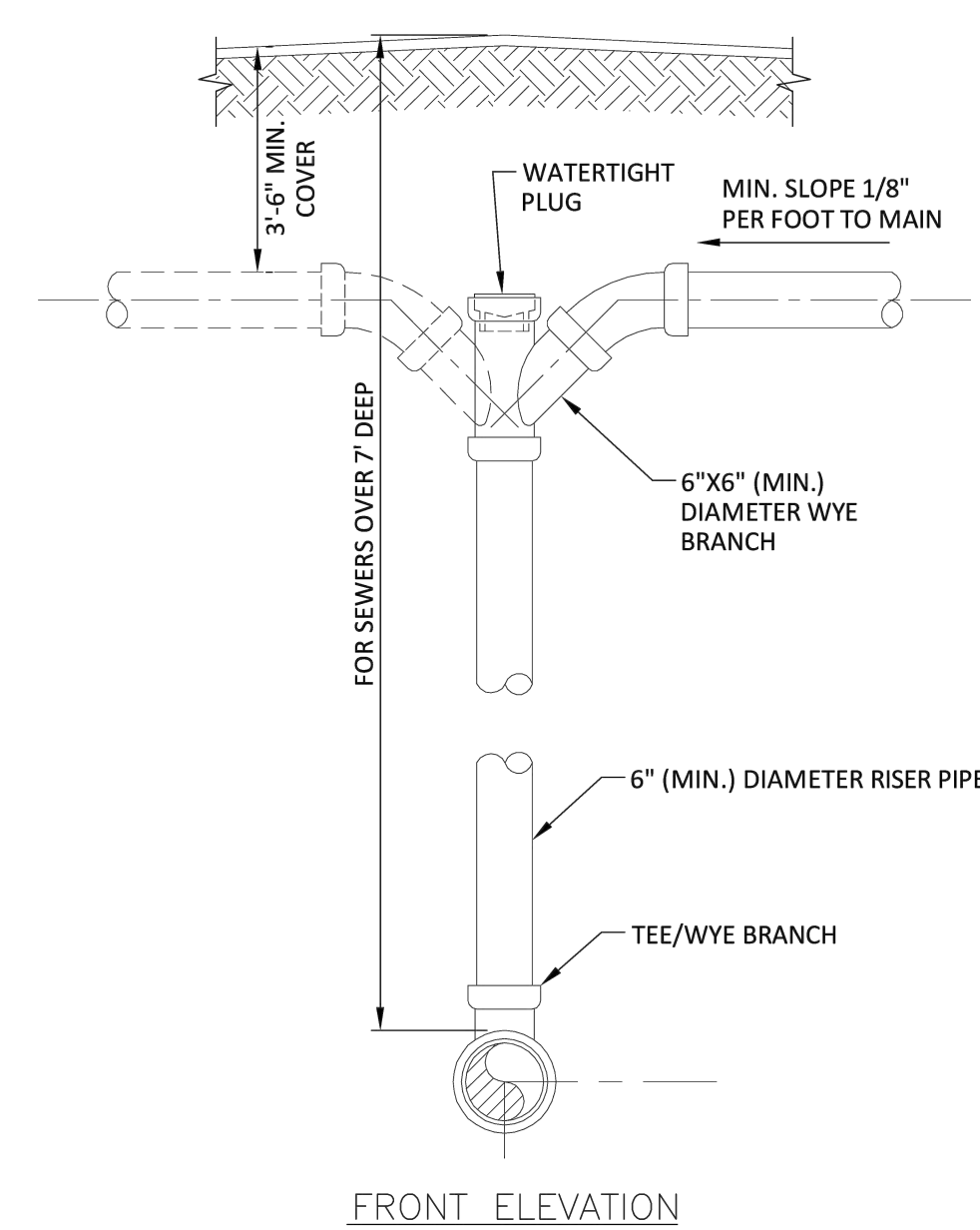
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
	APPROVED: XXX		



 FLORIDA DEPARTMENT OF TRANSPORTATION FDOT	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO.
	APPROVED: XXX		S-09




	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<p align="center">SANITARY SEWER LATERAL MODIFIED RISER</p>	DRAWING NO.
	APPROVED: XXX		S-10



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<p align="center">SANITARY SEWER LATERAL VERTICAL RISER</p>	DRAWING NO.
	APPROVED: XXX		S-11


WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES		DRAWING NO. W-01
APPROVED: XXX			


WATER SYSTEM NOTES (CONTINUED):

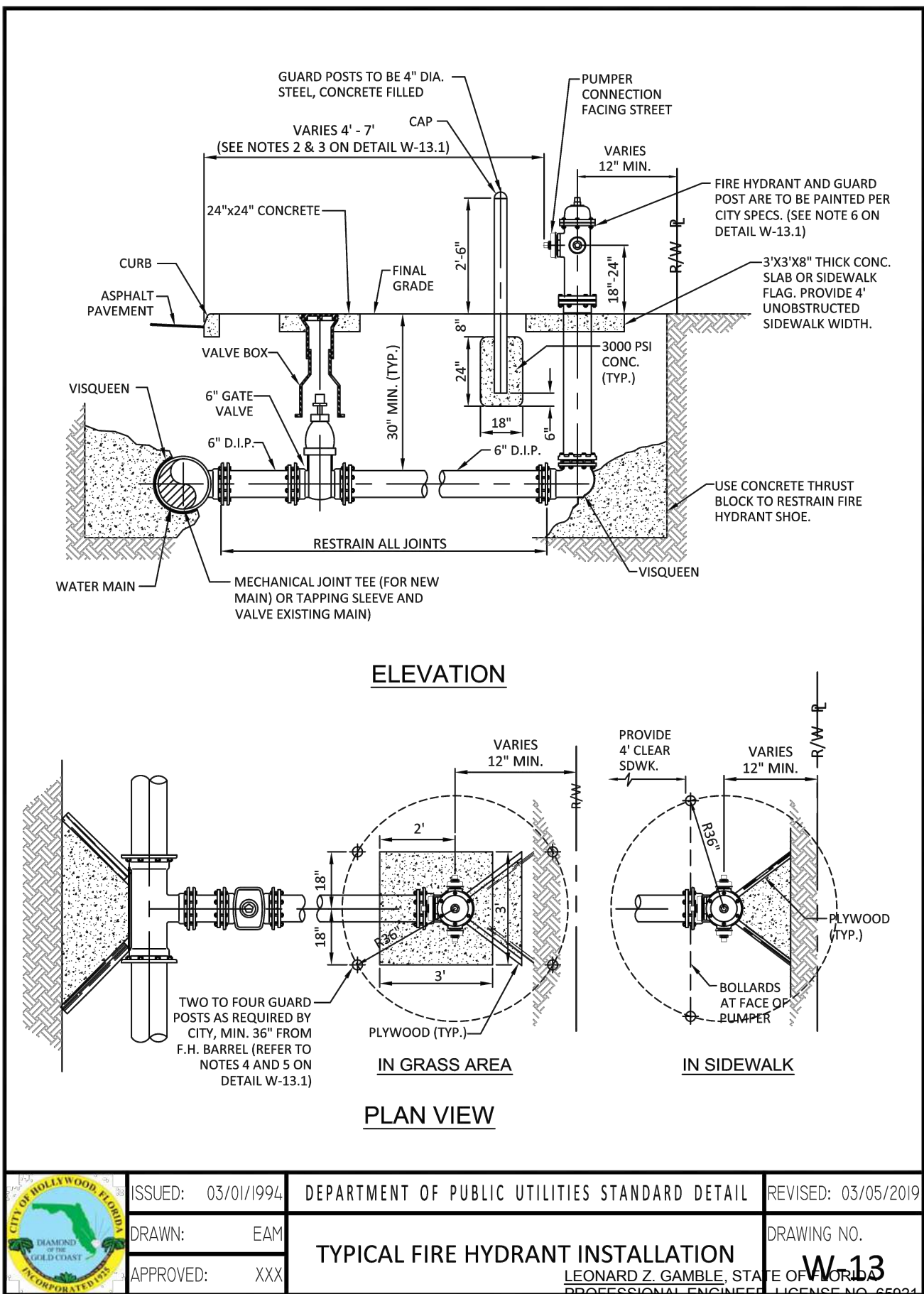
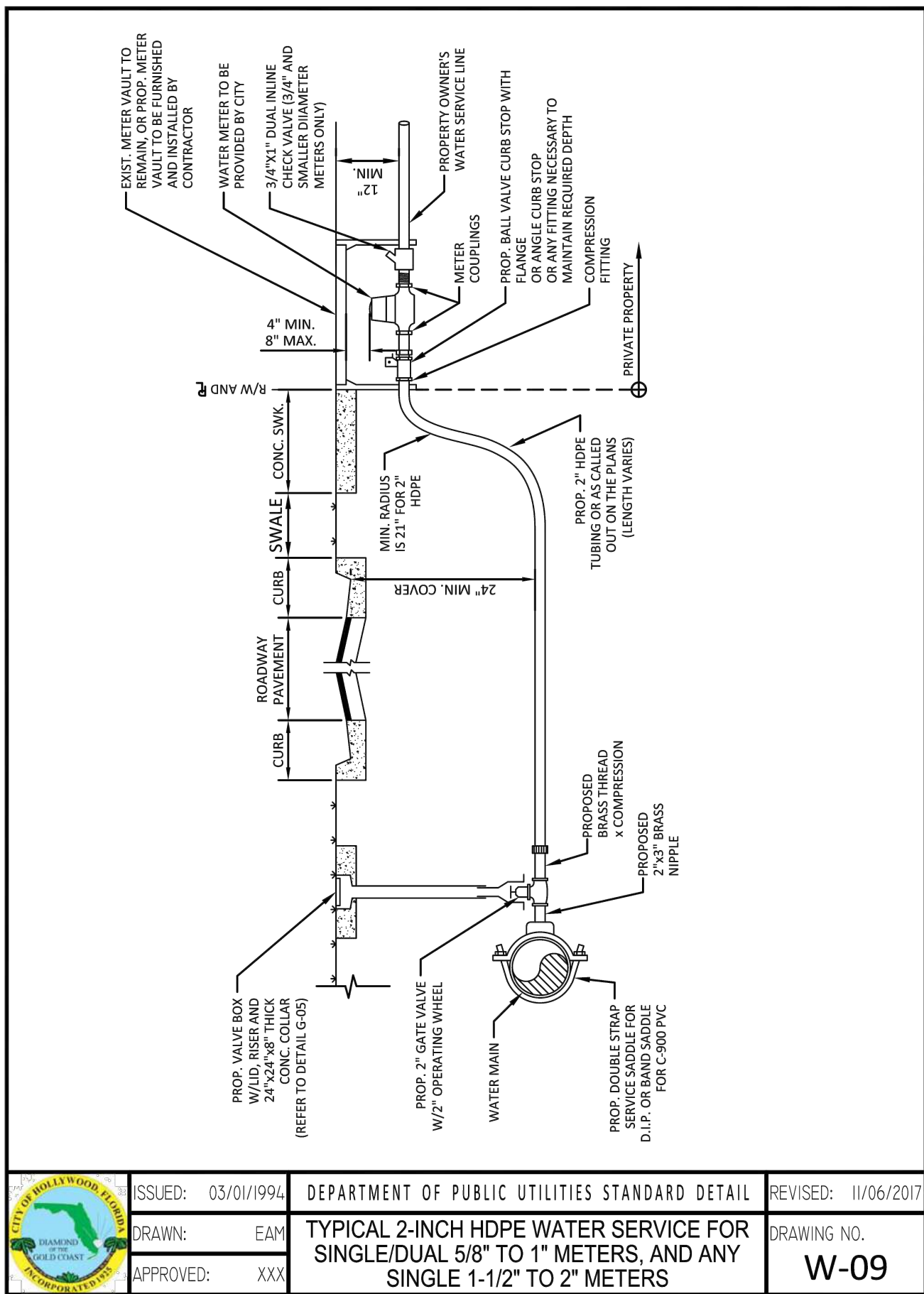
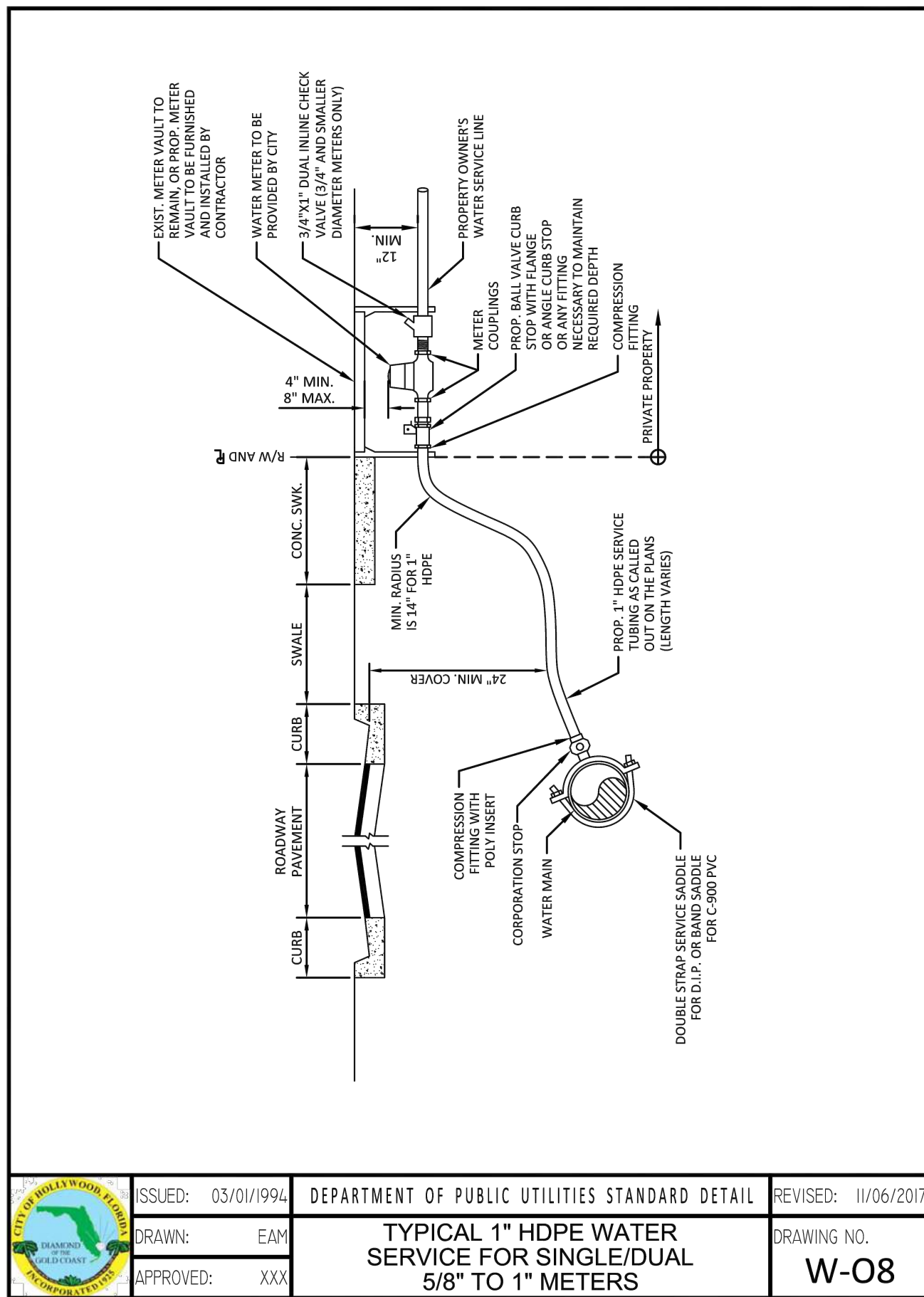
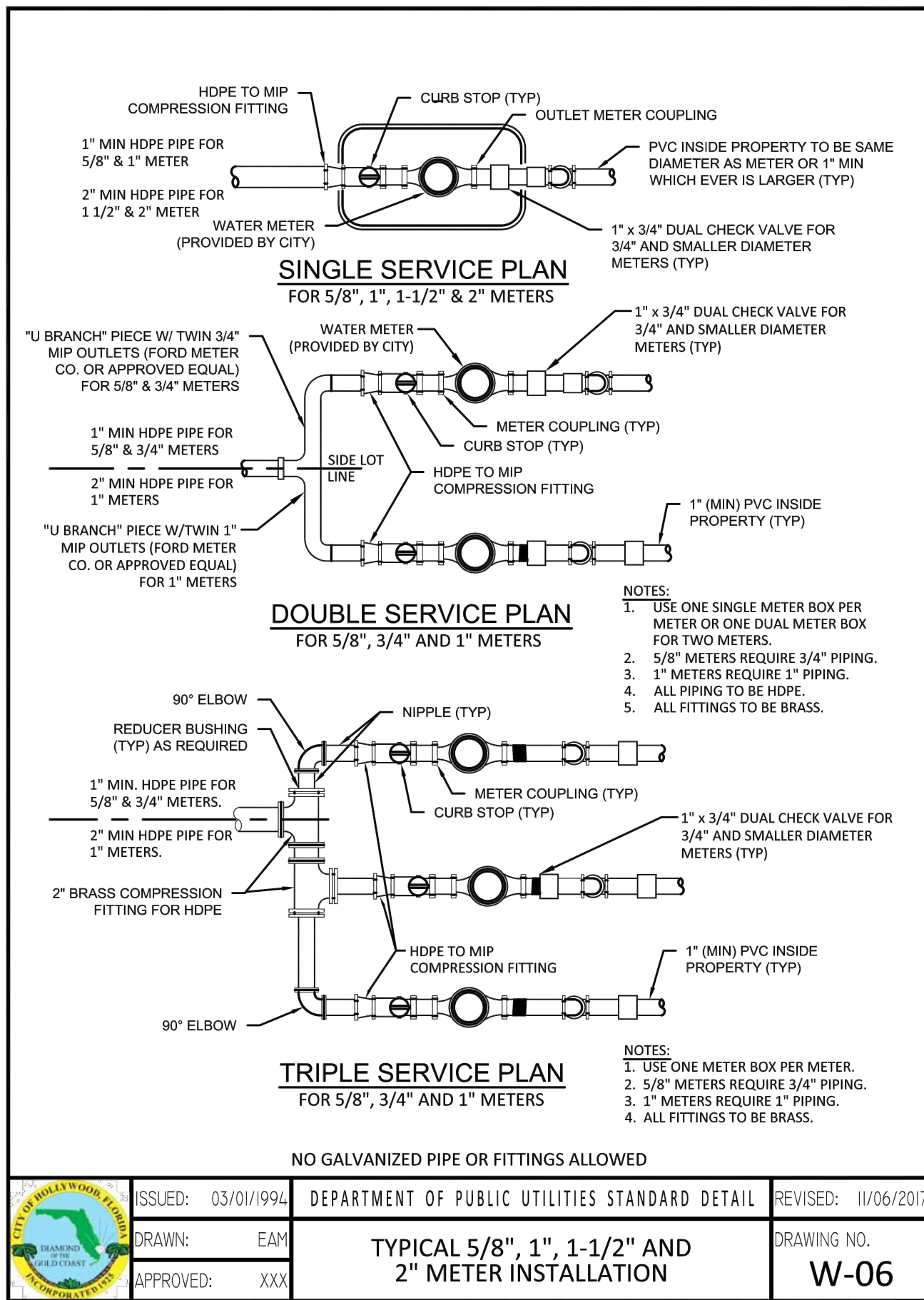
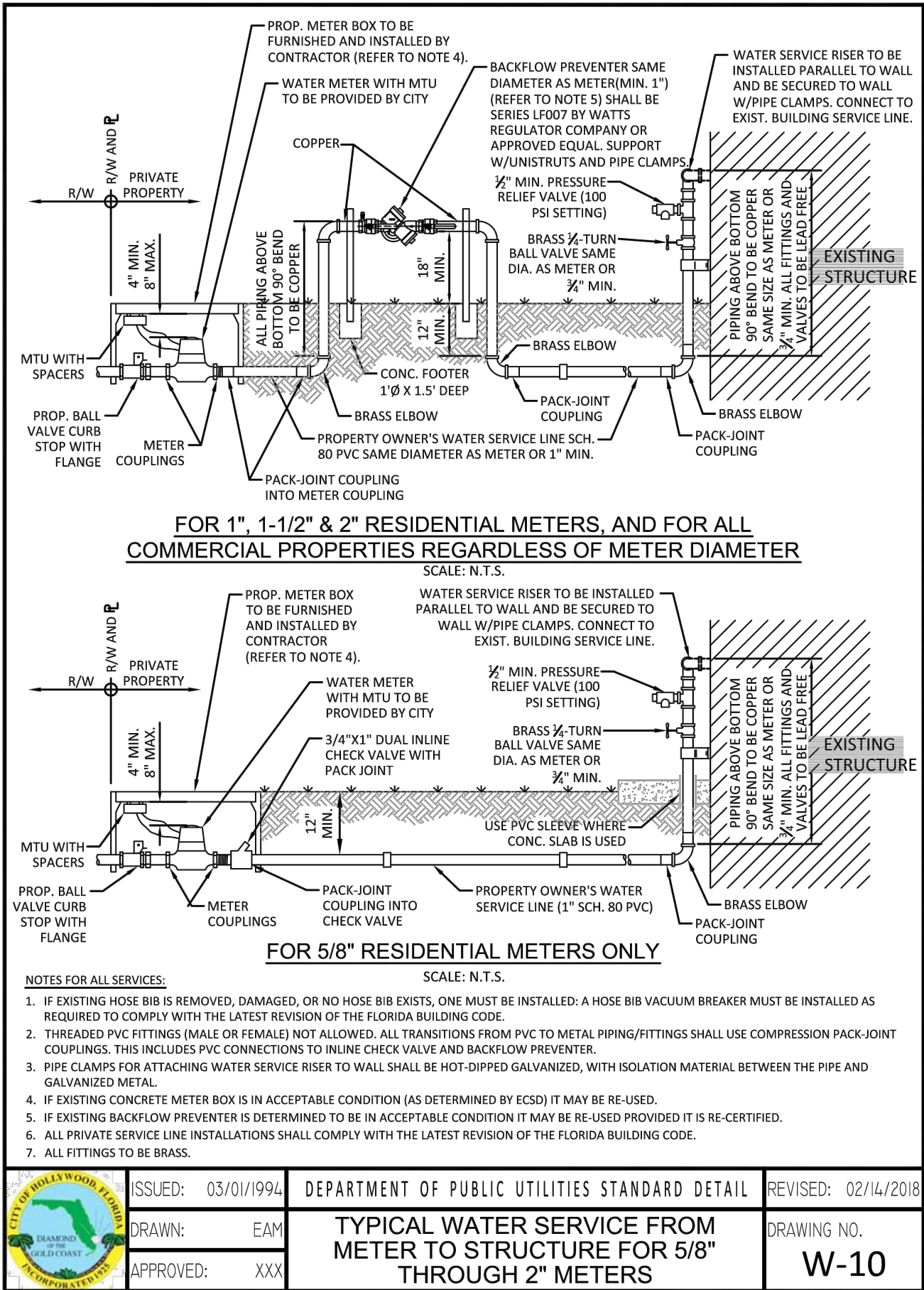
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES		DRAWING NO. W-02
APPROVED: XXX			

WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/8" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY THE CONTRACTOR.
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS		DRAWING NO. W-07
APPROVED: XXX			



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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014

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SOLESTE LA PIAZZA
HOLLYWOOD, FLORIDA

PREPARED FOR:
THE ESTATES COMPANIES

WATER AND SEWER DETAILS

Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

C-17
SHEET 17 OF 18

- NOTES:
1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
 2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
 3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
 4. GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF ϕ OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
 5. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
 6. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
TYPICAL FIRE HYDRANT NOTES		DRAWING NO.	W-13.1


WATER MAIN TESTING AND DISINFECTION NOTES:

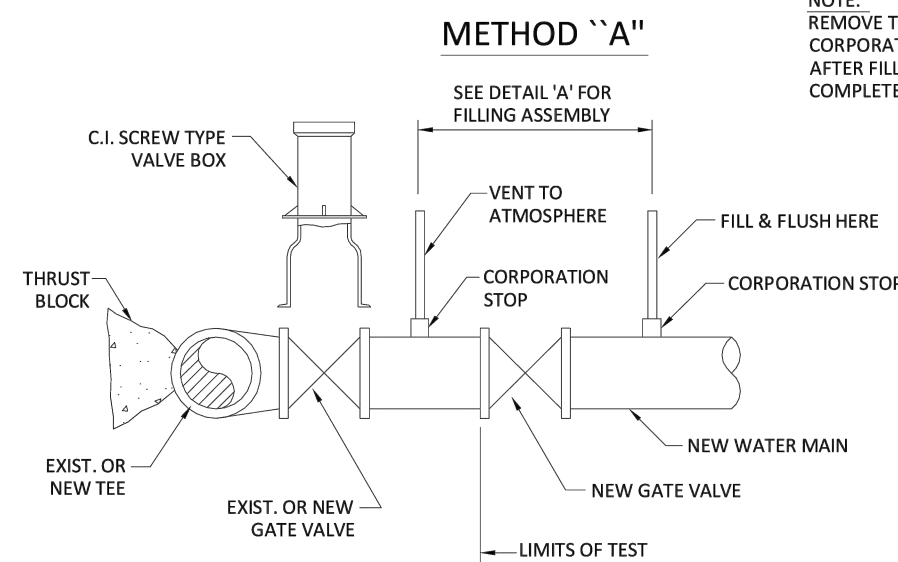
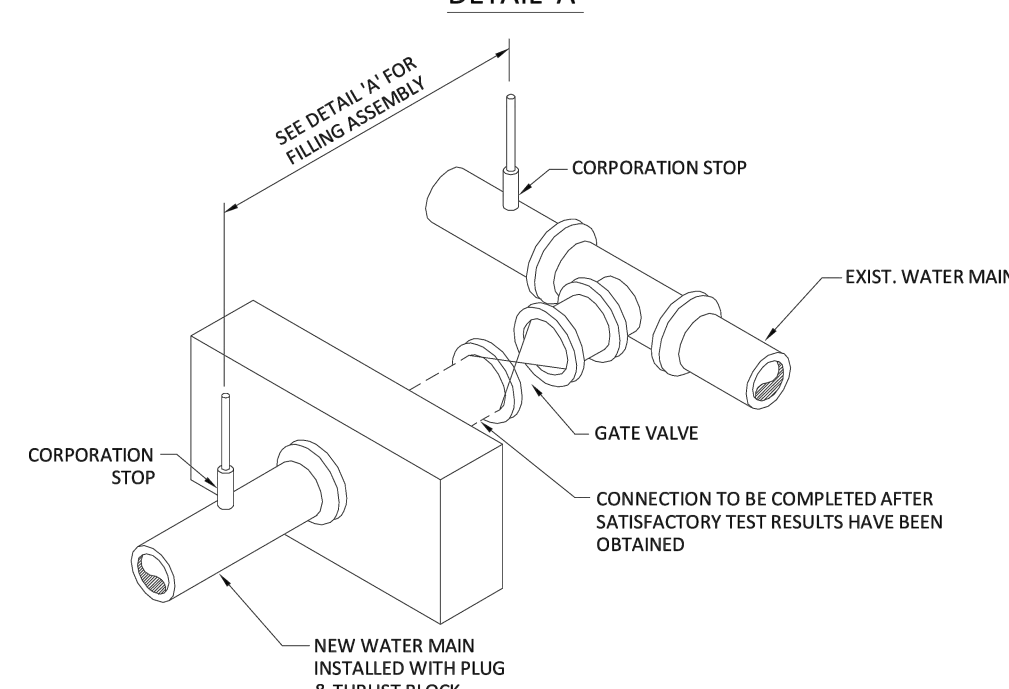
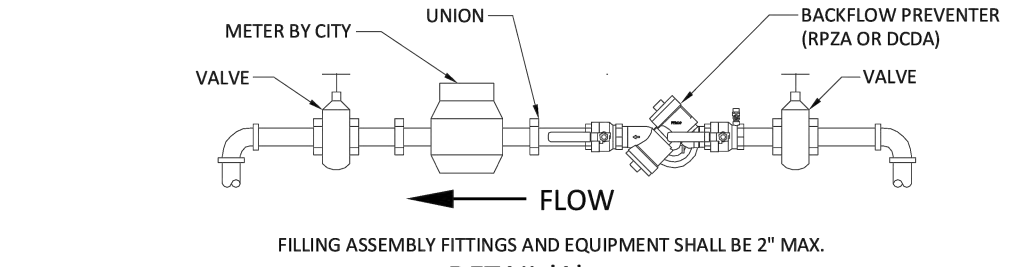
1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

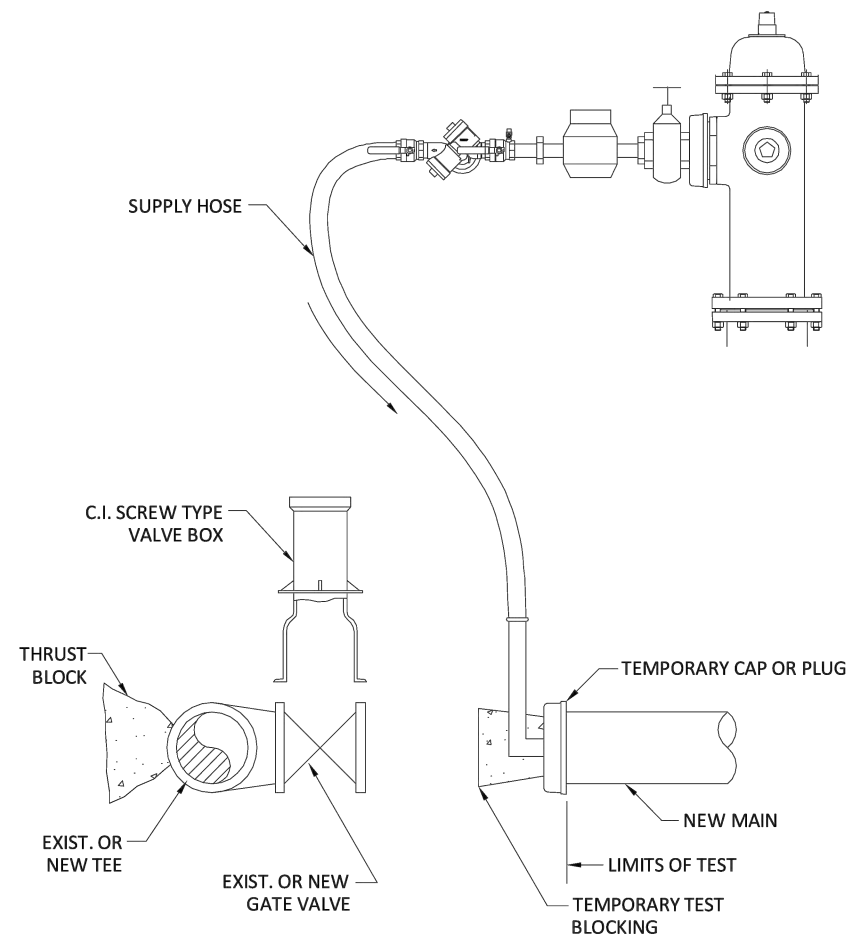
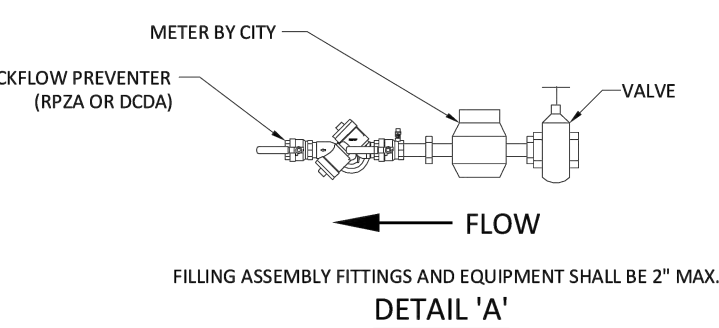
L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
WATER MAIN TESTING AND DISINFECTION NOTES		DRAWING NO.	W-14

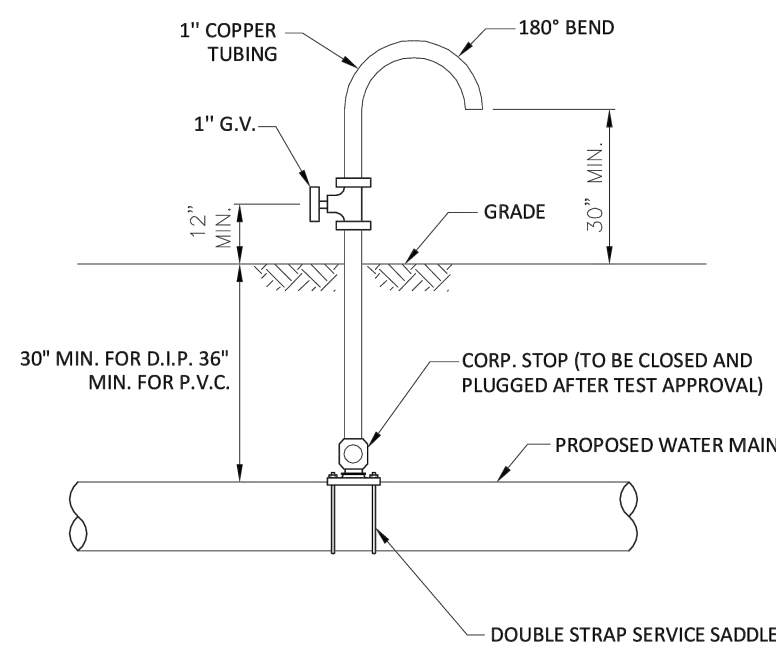


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
FILLING AND FLUSHING DETAILS		DRAWING NO.	W-15




- NOTES:
1. HOSE MUST BE REMOVED DURING THE HYDROSTATIC PRESSURE TEST.
 2. REMOVE TEMPORARY CONNECTION ON NEW MAIN AFTER FILLING & FLUSHING HAS BEEN COMPLETED.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
CROSS CONNECTION FILLING AND FLUSHING DETAILS		DRAWING NO.	W-15.1



- NOTES:
- SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
SAMPLING POINT DETAIL		DRAWING NO.	W-16

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SOLESTE LA PIAZZA
HOLLYWOOD, FLORIDA
PREPARED FOR:
THE ESTATES COMPANIES
WATER AND SEWER DETAILS

Leonard Z. Gamble
Florida P.E. No. 65921

22-0064-001-01

C-18
SHEET 18 OF 18

LEONARD Z. GAMBLE, STATE OF FLORIDA
PROFESSIONAL ENGINEER, LICENSE NO. 65921
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
LEONARD Z. GAMBLE ON THE DATE INDICATED HERE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY ELECTRONIC COPIES













To whom it may concern:
City of Hollywood Building Department

Date: May 8, 2023

Re: Soleste La Piazza
Location: 1845 Hollywood Boulevard, Hollywood, Florida 33020

This letter, regarding the project mentioned as above, is intended to demonstrate the compliance with the City of Hollywood and the Broward County, sustainability requirements.

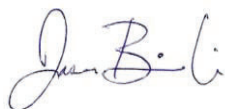
After reviewing the drawings and holding discussions with the owner, design team and contractors it is my opinion that the project is eligible for the National Green Building Standard (NGBS) and is in good standing to achieve a Silver level certification under the program.

The NGBS certification program is developed by Home Innovation, and this green building program is thorough, and it is intended to be used by designers, builders and developers to improve the efficiency of buildings while reducing environmental impacts associated with real estate development projects, while promoting healthier indoor and outdoor environments.

The "Soleste La Piazza" project has been registered with the Home Innovation Research Laboratory (HIRL) to use the NGBS 2015 program and the team has a strategy in place to achieve the Gold level certification.

Please feel free to contact me directly with any questions, comments, or concerns. I will be working with the project team, to ensure NGBS certification.

Best regards,



Owner / Managing Director
LEED AP / FGBC Verifier / NGBS Verifier / WELL AP
Energy Cost Solutions Group, LLC
786.897.7783

Addendum "A" below includes project registration information and strategy for certification.

Dear: Jason Biondi,

Congratulations!

You have successfully registered the project below for certification to the ICC 700 National Green Building Standard.

Your Project ID:

343SLP

Be sure to keep this Project ID in a safe place as you will need it throughout the certification process.

Builders can find more information about the NGBS Green certification process at: www.HomeInnovation.com/BRG

PLEASE NOTE: You cannot notify Home Innovation Research Labs of a rough inspection for this project until the Project Information Form (referenced below) is submitted. Once the form is submitted, please allow one business day for the project information to get into our system before attempting to schedule a rough inspection.

Verifier Name: Jason Biondi

Verifier Organization: Energy Cost Solutions Group, LLC

Standard Selected: 2015 NGBS

Scoring Path Selected: 2015 MF New Construction

Anticipated Certification Level: Silver

Project Name: Soleste La Piazza

Project Unit Count: 385

Project Building Count: 1

Project Address/Lot: 1845 Hollywood Blvd.

Project City: Hollywood

Project State: Florida

Project Zip code: 33020

Project County: Broward

Accessory Structure: No

Accessory Description: N/A

Contact First Name: Michael

Contact Last Name: Ordóñez

Contact Email: Michael@formgroup.net

Responsible Application Packet: Architect

Party Named On Certificate: Owner

Community Name On Certificate: Yes

PROJECT INFORMATION FORM: Please complete or have someone from the Project Team complete the Project Information Form that will be emailed to you shortly. This information is necessary to earn the NGBS Green certification and will be used to market your project on www.NGBS.com. Verifiers cannot notify Home Innovation of the rough inspection date without this information complete.

MARKETING: Builders with Home Innovation agreements in place should receive an NGBS Green *Insider Update* with a link to our program style guide and logos/marks that can be used through the certification process – if the builder for this project has not received that message, please have them email info@HomeInnovation.com. Additional marketing materials can be found online at www.HomeInnovation.com/marketgreencertified.

We look forward to working with you as an NGBS Green Partner. If you have any questions about the certification process, please [contact us](#).

If you did not submit this project for registration please [let us know](#).

Summary of Results of the Design Phase

Project Name: Soleste La Piazza

Location: 1845 Hollywood Blvd., Hollywood, Florida 33020

✓ No Mandatory items missing on the "Overview (Design)" page

	Points Required				Points Claimed
	Bronze	Silver	Gold	Emerald	
Chapter 5: Lot Design, Preparation, and Development	50	64	93	121	105
Chapter 6: Resource Efficiency	43	59	89	119	72
Chapter 7: Energy Efficiency	30	45	60	70	64
Chapter 8: Water Efficiency	25	39	67	92	73
Chapter 9: Indoor Environmental Quality	25	42	69	97	49
Chapter 10: Operation, Maintenance, and Building Owner Education	8	10	11	12	10
Additional Points required	50	75	100	100	
Additional points required due to SF over 4000 (601.1)	0	0	0	0	
Total points required	231	334	489	611	373

Mandatory Practices	No Errors
✓	✓
✓	✓
✓	✓
✓	✓
✓	✓
✓	✓

Additional Points Claimed	192	114	(16)	(138)
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Overall Level Achieved for Design	Silver			
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May 4, 2023

Debbie M. Orshefsky, Esquire
Holland & Knight, LLP
515 East Las Olas Boulevard, Suite 1200
Fort Lauderdale, Florida 33301

Via Email Only

Dear Ms. Orshefsky:

Re: Platting requirements for a parcel legally described as Lots 1-14, Block 41, "Hollywood," according to the Plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida; together with the 13 foot vacated alley adjacent to said Lots. This parcel is generally located on the west side of Federal Highway/North Young Circle, between Tyler Steet and Hollywood Boulevard, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.94 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Debbie M. Orshefsky

May 4, 2023

Page Two

It is noted that lands dedicated for right-of-way purposes do not negatively impact whether or not a subject property meets the specifically delineated requirement. Further, when a specifically delineated parcel (i.e. Lots 1-14) is combined with land which has been included in a plat recorded before June 4, 1953, but not specifically delineated or with vacated rights-of-way (i.e. the 13 foot vacated alley adjacent to said Lots), Policy 2.13.1 of the BCLUP does not require platting if the specifically delineated portion of the parcel constitutes the majority of the enlarged parcel; in this case the specifically delineated portion constitutes a majority of the enlarged parcel.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions regarding the BCLUP's platting requirements, please contact Julie M. Bernal at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:JMB

cc/email: George Keller, City Manager
City of Hollywood

Shiv Newaldass, Director, Development Services
City of Hollywood



STATEMENT FOR CONFORMANCE WITH CRITERIA FOR DESIGN



Project Name: Soleste La Piazza
Project address: 1845 Hollywood Boulevard, Hollywood, FL 33020
Response Date: May 21, 2023

Statement of Conformance with Criteria for Design **As stated in the city of Hollywood's Zoning & Land Development Regulations, Article 5.**

The proposed project is located at 1845 Hollywood Boulevard in the heart of the City of Hollywood. The site has a full frontage along Young Circle, nestled between Tyler Street and Hollywood Boulevard with a secondary road on its rear, North 19th Avenue. The building will be a new mixed-use development and will consist of 378 apartment units, $\pm 7,000$ sf. of Retail, $\pm 1,700$ sf. of Office, amenities, and parking. The project will be 23-stories with a roof level height of 226'-10" and the roof decorative elements reaching 238'-10".

- Criteria 1: Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

Response: The new high-rise design is contemporary with various elements responding to its function. The building also reflects its surroundings and context with its colors and massing. We proposed that the building has a podium base where the parking is concealed and completely lined with residential units facing young Circle. The podium will provide a more sensible scale to the pedestrian in making the building approachable. On all three major roads, retail will be accessible from the sidewalk as to invite patrons and extend itself into the social and commercial activity of the area. The tower will be decorated with fenestration to allow the building to breathe and provide views to its residents. The exterior of the building will consist of stucco with score lines and a combination of aluminum and glass railings. The prominent tower feature on the Northeast corner mirrors the softness of Young Circle's roundabout and serves to mark the entry point to the circle.

- Criteria 2: Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhoods. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

Response: The project tries to both reflect the growing density in the Young Circle district and stand out with its own prominent architectural features. Street level features include and articulated ground level façade which starts at the main tower on the Northeast corner and follows along with large windows and recessed openings along the Young Circle main façade. This implied colonnade will create a very vibrant pedestrian realm where visitors will be able to enjoy the commercial uses and connect to other buildings along the circle. design compliments itself to aesthetics of existing high-rise buildings that wrap around Young Circle. The building's design elements and color pallet are consistent with the desired characteristics of the context in the area. The building's podium was designed with staggering balconies with vertical linear breaks to relate to the constant flow of vehicular traffic along the circle. This provides movement and rhythm that echoes the live music at the Young Circle Park.

STATEMENT FOR CONFORMANCE WITH CRITERIA FOR DESIGN

- **Criteria 3: Scale/Massing.** Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding molding, and fenestration.

Response: The building's height is proportional to the other high-rise buildings already constructed along the circle. It also respects the setback at all sides and extends itself to widen sidewalks to promote pedestrian walkability. This encourages more pedestrian friendly spaces and the opportunity to expand on the existing landscaping for a more verdant urban appeal. The building also takes advantage of the allowable lot coverage to maximize efficiency in parking, commercial and residential uses. There is a significant recess above the podium along west side to increase views and movement in the building tower. This creates an opportunity for amenities and recreational pool deck or residents to enjoy. The distribution of volumes of a building is done as a shared approach by many of the buildings along Young Circle to create a more fluid typological staple of the city of Hollywood.

- **Criteria 4: Landscaping.** Landscaped areas should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

Response: The project has existing Royal Palms on its north, east and south side of the property. This reinforces its sub-tropical gateway already proposed along Tyler Street, Young Circle and Hollywood Boulevard. Along North 19th Avenue, portions of the sidewalk would be modified to accommodate new driveways. The landscaping along this avenue will enhance the design of the building and continue the sub-tropical language while also using native vegetation.

We look forward to bringing this project to the City of Hollywood and we hope that it will be a strong contributor to its continued growth and success.

Please feel free to contact me with any questions you may have or if I can be of assistance in any way.

Sincerely,



Omar A. Morales
Principal Architect

Technical Advisory Committee Report Comments
Project: SOLESTE LA PIAZZA
Address: 1845 Hollywood Blvd, Hollywood, FL 33020.

A. APPLICATION SUBMITTAL

1. General Application

- a. Address listed on application is different than the Alta Survey. Clarify.

Response: The property address is 1845 Hollywood Boulevard, Hollywood, FL 33020.

2. Alta Survey

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced. Clarify.

Response: See updated survey.

- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: See updated survey.

3. Cover Sheet / Drawing Index a. Add location map.

- b. Insert TAC meeting date information. Preliminary or Final TAC meeting date.

Response: Refer to sheet A-0 Cover for dates.

4. Site Plan

- a. Identify setbacks on site plan, per table data.

Response: Refer to sheet A-100 Site Plan & Data for setback dimensions for ground floor only. Refer to sheets A-101 through A-108 Floor Plans for all other setback dimensions.

- b. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.

Response: Refer to sheet A-100 Site Plan & Data for "General Note" legend for note.

- c. Add provided amounts of pervious and impervious in square footage, acreage and percentage (i.e. buffer areas, landscape areas, building footprint, vehicular use areas, etc.). Include calculations were necessary.

Response: Refer to sheet A-100 Site Plan & Data for "Zoning Analysis" legend for information.

- d. Show loading space calculations.

Response: Refer to sheet A-100 Site Plan & Data for "Loading Requirements" legend for information.

- e. Show location and dimension of dumpster enclosure.

Response: Refer to sheet A-101 Overall Ground Floor Plan for location of dumpster enclosure.

- f. Illustrate location, size and content of any proposed signage.

Response: Refer to sheet A-100 Site Plan & Data for signage sizes and locations.

- g. Vehicular circulation system for the entire site showing required radii and dimensioned sight distance triangles and non-access lines as per shown on the plat.

Response: Refer to sheets A-101 through A-103 Floor Plans for radii and dimensions. Refer to Civil drawings for all visibility triangles.

- h. Include width and length dimensions for parking spaces.

Response: Refer to sheets A-101 through A-103 Floor Plans for all parking dimensions.

- i. Identify 'D' or 'F' curbing for all vehicle impacts.

Response: Refer to sheet A-100 Site Plan for curb types. Refer to Civil drawings for additional information.

- j. Provide method of mail delivery.

Response: Refer to sheet A-101 Overall Ground Floor Plan for location of Mail delivery reserved parking space enclosure.

- k. Identify location(s) of existing and proposed fire-hydrants on-site or the closest off-site locations.

Response: Refer to sheet A-100 Site Plan & Data for the existing fire-hydrant locations. Refer to Civil drawings for additional information.

5. Site Data / Tabular Information

- a. Add note that opportunity zone calculations are being used to calculate FAR. The note can be added to FAR table.

Response: Refer to sheet A-100 Site Plan & Data for note.

- b. Include total square footage, lot coverage and floor area for the proposed buildings.

Response: Refer to sheet A-100 Site Plan & Data for information.

- c. Include required and provided amounts for pervious and impervious in square footage, acreage and percentage).

Response: Refer to sheet A-100 Site Plan & Data for information.

- d. Include height of all structures (existing and proposed)

Response: Refer to sheet A-100 Site Plan & Data for information.

- 6. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Response: See attached Plat Determination letter.

- 7. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Alternatively, provide evidence applicant has received certification as an affordable housing development by Broward County and that school impact fees will be waived.

Response: Acknowledged. The application is in process.

8. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Refer to sheet A-0 Cover for dates.

9. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sign-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Response: Acknowledged.

10. Additional comments may be forthcoming.

Response: Understood.

11. Provide written responses to all comments with next submittal.

Response: Understood.

B. ZONING

1. Show distances between existing and proposed buildings, parking lots, easements, rights-of-way, and property lines.

Response: Refer to sheet A-100 Site Plan & Data for dimensions.

2. Number each parking space on the site / floor plans.

Response: Refer to sheet A-100 Site Plan and sheets A-101 through A-103 Floor Plans for parking space numbers.

3. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

Response: Refer to Landscaping drawings for response.

C. ARCHITECTURE AND URBAN DESIGN

1. Clarify balconies. Architectural and elevation drawings are inaccurate. Specifically, they need to be accurately depicted on the lower floors (e.g., where staggered balconies are located).

Response: Refer to sheets A-101 through A-106 Floor Plans for balcony layouts.

2. Provide screening of the garage (all levels) and include a detail of the proposed screening. The elevations and rendering provide insufficient information to demonstrate the parking garage will be fully screened on the north elevation.

Response: Refer to sheets A-101 through A-106 Floor Plans for screens. Refer to sheet A-200 for details.

3. Provide color, finish and materials legend for all elevations and label all materials and colors, including color chips/samples, on the elevations.

Response: Refer to sheets A-200 through A-203 Elevations for materials and colors.

4. Include the dimensions for all recesses and projections on the elevations.

Response: Refer to sheets A-200 through A-203 Elevations for dimensions.

5. Provide renderings for all four sides of the building and ensure the renderings match the proposed elevations and landscaping plan, as well as identify any fencing and gates. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Response: Refer to sheets A-01 Renderings and A-200 through A-203 Elevations for comparison.

6. Provide a detail for all fences, walls, gates and trash enclosures. Ensure the design is compatible with the building.

Response: Refer to sheet A-101 Overall Ground Floor Plan. Trash room is enclosed within the building.

7. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.

Response: Further coordination would be incorporated into our plans at the time of submitting the Building Permit.

8. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

Response: Refer to sheets A-101 through A-106 Floor Plans for calculations.

D. SIGNAGE

1. For review, full signage package shall be provided.

Response: Full signage package will be provided at submittal of Building Permit.

2. Signage including but not limited to location, size, color and content of signs.

Response: Refer to sheet A-100 Site Plan & Data for signage information. Full signage package will be provided at submittal of Building Permit

3. Regulatory signage and pavement marking in compliance with the Manual of Uniform Control Devices.

Response: See sheet C-7.

4. Include note on Site Plan indicating all signage shall follow the Zoning and Land Development Regulations.

Response: Refer to sheet A-100 Site Plan & Data for "General Note" legend for note.

5. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: Acknowledged.

E. LIGHTING

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

Response: *Refer to sheet A-100 Site Plan & Data for “General Note” legend for note.*

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

1. As per the City of Hollywood’s green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 10,000 square feet of total floor area. USGBC’s LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

Response: *See attached NGBS Silver Certification Letter.*

2. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with proposed green building practices. Include a list with a minimum of ten (10) green building practices.

Response: *See attached NGBS Silver Certification Letter.*

3. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

Response: *Refer to sheets A-100 Site Plan & Data for “Zoning Analysis- Electric Vehicle Charging Station” for count. Refer to sheets A-101 and A-102 Floor Plans for EV Space locations.*

4. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

Response: *Refer to sheet A-100 Site Plan & Data for “General Note” legend for note.*

G. ENGINEERING

1. See Engineering memorandum dated March 30, 2023.

Response: *Acknowledged.*

H. LANDSCAPING

No landscape plan submitted on set.

1. Satellite images show existing trees/palms.

Response: *Refer to Landscape drawings.*

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide site requirements as per zoning.

Response: *Refer to Landscape drawings.*

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree.

Response: Refer to Landscape drawings.

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d).

Response: Refer to Landscape drawings.

5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.

Response: Refer to Landscape drawings.

6. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.

Response: Refer to Landscape drawings.

7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

Response: Refer to Landscape drawings.

8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.

Response: Refer to Landscape drawings.

9. Add note: All landscaping shall be warranted for 1 year after final inspection.

Response: Refer to Landscape drawings.

10. Add note: 100% irrigation coverage shall be provided.

Response: Refer to Landscape drawings.

11. Additional comments may follow upon further review of requested items and information provided.

Response: Understood.

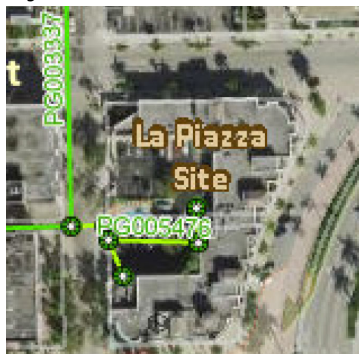
12. We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-921-3900.

Response: Understood.

I. UTILITIES

1. Sheet C-3, Demolition Plan – Indicate existing southeast sewer service to be capped or removed.

Response: Civil Engineer: The utility atlas does not show a southeast sewer service.



2. Sheet C-4, Erosion Control Plan – Provide details for silt fencing and wash down area. Illustrate wash down area(s).

Response: Civil Engineer: Acknowledged these will be provided as part of construction plans set.

3. Sheet C-5, Paving, Grading and Drainage Plan – Define “HP” Storm. Provide lengths of 8” PVC pipes to trench drains

Response: Civil Engineer: High-performance polypropylene (PP) pipe that is stronger than regular HDPE pipe and FDOT uses HP storm in their right-of-way. See sheet C-5 where lengths of 8” PVC are called out.

4. Sheet C-6, Water and Sewer Plan - Include Water and Sewer demand tabulation.

Response: Civil Engineer: See enclosed plan sheet C-6.

5. Sheet C-6 – Label existing 8” PVC gravity sewer main and existing 24” Stormwater pipes along N 19th Ave.

Response: Civil Engineer: See enclosed plan sheet C-5 & C-6.

6. Indicate FFE for all enclosed areas on the ground floor.

Response: Civil Engineer: The finished floor will be 8.00 NAVD but will be flood proofed up to elevation 11.00 NAVD. Please see enclosed revised plan sheet C-5.

7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

Response: Civil Engineer: See enclosed section on sheet C-10.

8. Include detail for trench drain.

Response: Civil Engineer: See enclosed plans.

9. Ensure all stormwater is retained on site.

Response: Civil Engineer: All onsite storm water is collected via the roof drains or trench drain and routed to the exfiltration trench and then the drainage wells onsite.

10. Include note on plans - Roof drainage will be collected and connected to the on-site drainage system.

Response: Civil Engineer: See enclosed plan sheet C-5.

12. Provide preliminary drainage calculations for length of exfiltration trench, and pre and post development.

Response: Civil Engineer: See enclosed drainage report.

14. Landscape plans shall coordinate with civil plans to accommodate proposed drainage features.

Response: Civil Engineer: Acknowledged.

15. Permit approval from outside agencies will be required.

Response: Civil Engineer: Outside agency permit approvals will be obtained prior to construction plan approval.

16. NPDES – Over 1 acre

The construction activity on this site is regulated and required to obtain the NPDES Construction Generic Permit (CGP) from DEP. Failure to obtain permit coverage and/or maintain job site erosion and sedimentation control in accordance with permit conditions and applicable regulations may result in fines up to \$27,500.00 per day.

Prior to issuance of building permit a Stormwater Pollution Prevention Plan (SWPPP) shall be required and CGP Notice of Intent (NOI) must be submitted to DEP. SWPPP must be maintained at the job site at all times until the project is terminated and Notice of Termination (NOT) filed with DEP. The SWPPP shall contain detailed descriptions of structures, procedures, contact names and/or control measures designed to reduce sediment and stormwater runoff.

Construction sites and operations shall be required to maintain during and after all construction, development, excavation, dewatering, and/or alteration operations, structural and non-structural Best Management Practices (BMP's) with the intent to reduce pollutants and sediment in stormwater runoff.

Response: Civil Engineer: Noted. This is forthcoming.

17. Additional comments may follow upon further review of requested items.

Response: Understood.

J. BUILDING

1. No comments received.

Response: Understood.

2. Planning staff will follow up with Building and provide comments, once obtained.

Response: Understood.

K. FIRE

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: Understood.

2. Page A-100 cites the FFPC (Florida Fire Prevention Code) as the 5th Ed., but the correct FFPC at this time is the 7th Ed. --- Clarify and correct on the plans.

Response: Refer to sheet A-100 Site Plan & Data for correction.

3. As this structure is a high-rise, at time of submittal, ensure compliance with Florida Fire Prevention Code (7th Ed.), NFPA 1 (2018 Ed.), NFPA 101 (2018 Ed.), and also Chapter 11 of NFPA 101 (2018 Ed.) --- "Special Structures and High-Rise Buildings." --- Provide a note on the plans.

Response: Refer to sheet A-100 Site Plan & Data for correction.

4. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans.

Response: Refer to sheet A-100 Site Plan & Data for correction. Civil engineer: Please see revised sheet C-6.

5. Water supply shall meet NFPA 1 (2018 Ed.) Section 18.4.5.3. --- In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., underground@hollywoodfl.org. --- After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

Response: Civil Engineer: We have requested a fire flow test. Fire flow calculations will be provided.

6. As per NFPA 1 (2018 Ed.) Section 18.4.4.2, "The fire flow area of a building constructed of Type I (443), Type I (332), and Type II (222) construction shall be the area of the three largest successive floors." --- This shall be cited on the plans and state which three largest consecutive floors will be calculated to find the minimum fire flow requirement.

Response: Refer to sheet A-100 Site Plan & Data for "Fire Flow Calculation" legend.

7. Be advised that NFPA 1 (2018 edition) Section 11.10.1 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.

It is strongly encouraged at this time to incorporate a 2-hour fire rated vertical chase in the event a Two-Way Radio Communication Enhancement system is required at a later date.

As per NFPA 1221 (2016 edition) Section 9.6.2.1.3 --- Riser coaxial cables shall be rated as riser cables and routed through a 2-hour-rated enclosure. [72:24.3.13.8.3]

Response: Refer to sheets A-101 through A-108 for compliance.

8. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. --- Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

Response: Refer to sheet A-500 Fire Safing Details.

L. PUBLIC WORKS

1. No comments received.

Response: Understood.

2. Planning will follow up with Public Works. Will provide comments, once received.

Response: Understood.

M. PARKS, RECREATION AND CULTURAL ARTS

1. No comments received.

Response: Understood.

2. Planning will follow up with Parks. Will provide comments, once received.

Response: Understood.

N. COMMUNITY DEVELOPMENT

1. No comments received.

Response: Understood.

2. Community Development comments will be forwarded, once received by Planning Staff.

Response: Understood.

O. ECONOMIC DEVELOPMENT

1. Value of the project is N/A – do you have an estimated value for the project?

Response: The value of the project is approximately ±\$163,106,647. Value is subject to change.

2. What types of retail/commercial activities are envisioned for the 7K of proposed space?

Response: Ownership is considering proposing a Restaurant on the northeast corner unit and Retail on the south units. This, however, may change in the future.

P. POLICE DEPARTMENT

1. Application is substantially compliant.

Response: Understood.

2. See attached memorandum from Police dated March 21, 2023.

Response: Acknowledged.

Q. DOWNTOWN AND BEACH CRA

1. The CRA is working on a streetscape project along Hollywood Blvd. and 19th Avenue. Please coordinate streetscape improvements such as, but not limited to, hardscape, landscape, lighting, site furnishings, etc. along the public ROW with the CRA.

Response: Consultation with Susan Goldberg from CRA is underway. These will be reflected as a future revision.

2. Continue to work on the architectural delineation and detailing of the west elevation to improve the architectural quality of the parking garage facade fronting 19th Avenue.

Response: Refer to sheet A-203 West Elevation.

R. PARKING

1. No comments received.

Response: Understood.

2. Planning staff will follow up with Parking.

Response: Understood.

S. ADDITIONAL COMMENTS

1. Additional comments may be forthcoming.

Response: Understood.

PLANNING & URBAN DESIGN DIVISION

1. Update project description on the TAC application to match the Letter of Intent and the project.

Response: Application will be updated.

2. Survey is not signed and sealed, please provide signed and sealed survey.

Response: See attached survey, signed and sealed.

3. Provide plat determination letter from the Broward County Planning Council.

Response: See attached Plat Determination letter.

4. Provide FDOT Pre Application Letter.

Response: FDOT Pre-Application letter is currently in the works. It will be issued in the next submittal.

5. Show all existing easements on plans and indicate if easement(s) will be vacated or to remain.

Response: Ownership stated that the 13' alley easement has already been vacated. The FPL easement will be vacated.

6. Provide corner right-of-way dedication of 25'x25' at the intersection of Tyler Street and 19th Avenue and at Hollywood Boulevard and 19th Avenue. Corner chords are measured 25' along the property lines at the property corners.

Response: Ownership is currently discussing with the City regarding this dedication; resolution is pending.

7. For right-of-way dedications, indicate the current property line and the property line after the dedication on plans. Label and fully dimension the area(s) of right-of-way dedication. All features of the proposed development shall begin from the proposed property line after the right-of-way dedication.

Response: Refer to sheet A-100 Site Plan & Data for dimensions.

8. Identify the setback of all curb cuts from the property line. Distance provided between Driveway "A" and Driveway "B" is 13'-6". Curb cuts for non-residential properties shall not exceed 30% of the property frontage with a maximum 30-foot width each and a minimum separation of 50 linear feet between each curb cut from edge to edge.

Response: Refer to sheet A-101 Overall Ground Floor Plan for driveway breakdown. Ownership will be asking for variance.

9. Provide dimensions for all driveways and drive aisles' clear width. Minimum 11 feet is required for one-way traffic and minimum of 22 feet for two-way traffic. Minimum width for two-way driveway is 22' wide.

Response: Refer to sheets A-101 through A-103 Floor Plans for all parking dimensions.

10. Sheet A-101, provide dimension for the garage ramp's clear width.

Response: Refer to sheets A-101 through A-103 Floor Plans for all ramp dimensions.

11. On Sheet A-100, in the parking calculation table, provide requirements for standard ADA accessible stalls and ADA van accessible stalls.

Response: Refer to sheet A-100 Site Plan & Data for ADA breakdown.

12. For ADA van accessible stalls to be provided, minimum 98" vertical clearance is required from the entrance of the garage to the ADA van accessible stall.

Response: Refer to sheet A-100 Site Plan & Data for ADA breakdown. Refer to sheet A-101 Overall Ground Floor Plan for ADA parking spaces location and compliance.

13. Provide ADA accessible routes are required between accessibility parking and building's Lobby access as well as an accessible route to the sidewalk in the public rights-of-way. For the accessible routes, identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush, label as such. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Please note ADA aisle stripping at parking stalls is to follow the accessible route to the threshold of the entrance.

Response: Refer to sheet A-101 Overall Ground Floor Plan for driveway breakdown. Ownership will be asking for variance.

14. Differentiate pavement marking for ADA accessible routes and non-vehicular areas.

Response: Refer to sheet A-101 Overall Ground Floor Plan for pattern hatch.

15. Provide details for the ADA ramp between the public sidewalk and the building. Include all items such as ramp slopes, landings and clear width.

Response: Refer to sheet A-101 Overall Ground Floor Plan for details. All existing ADA curb cuts are to remain undisturbed. Refer to Civil drawings for additional information.

16. Sheet A-101, ADA parking stall detail does not match plan view.

Response: Refer to sheet A-101 Overall Ground Floor Plan for correction.

17. Sheet A-101, please number the Loading Spaces and provide proper backout space for the two loading spaces along the garage wall. These spaces are not functional.

Response: Refer to sheet A-101 Overall Ground Floor Plan for correction.

18. All columns are required to be setback a minimum of 3 feet from the entrance of a parking stall. Please show setback in plan and length/width of proposed column.

Response: Refer to sheets A-101 through A-103 Floor Plans for compliance.

19. On garage floor plan sheets, label all drive aisle and ramp widths and indicate parking stall widths and depths as Typical. All stalls are to be a minimum of 8.5' X 18'. For parking stalls that are adjacent to obstruction (i.e. wall) on one side, minimum stall width is 9.5' and 10.5' for stalls adjacent to obstructions on both sides.

Response: Refer to sheets A-101 through A-103 Floor Plans for all parking dimensions.

20. Provide vehicular turning radii at driveway access locations as well as throughout garage.

Response: Refer to sheets A-101 through A-103 Floor Plans for all radii.

21. Please identify the apron radius flares. Flares are to be on both sides of the apron, semicircular in shape and a minimum of 3 feet wide.

Response: Refer to sheets A-101 through A-103 Floor Plans for all radius flares. Refer to Civil drawings for additional information.

22. Indicate if there will be any security gate at the driveway openings. If so, please indicate type of gate and how it operates (remote, sensor, card reader, etc.). Be sure to provide space required for

gate's operation and provide sufficient vehicle queueing. All vehicle queueing shall be with in private property. If entry is not gated, minimum of one vehicle queueing space is required (8.5'x19' minimum).

Response: Refer to sheets A-101 through A-103 Floor Plans for gate.

23. All driveway access shall have visibility triangles at the intersection of the property line and the driveway. Please show on plans all visibility triangles at all driveway accesses. A visibility triangle is an area adjacent to a driveway and the private property line where the driveway intersects a street/alley. If the property line is less than 12 feet from the edge of pavement in the rights-of-way provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address in plans.

Response: Refer to sheet A-101 Overall Ground Floor Plan for visibility triangles.

24. Provide Corner Visibility Setbacks. The corner setback is created at the property lines adjacent to the intersection of a street and a street (25'X25') and the intersection of a street. Please show on plans.

Response: Ownership is currently discussing with the City regarding this dedication; resolution is pending.

25. All slabs and walkways are required to be setback a minimum of 3 feet from the side property lines. Please dimension all proposed walkways, slabs and pool decks. Ensure to include the setback as well.

Response: Refer to sheet A-101 Overall Ground Floor Plan for setbacks.

26. Provide trash chute and show location of the trash chute on the upper floors.

Response: Refer to sheets A-101 through A-108 Floor Plans for trash chute location.

27. Number the stairwells.

Response: Refer to sheets A-101 through A-108 Floor Plans for compliance.

28. Be sure civil plans include items such as but not limited to curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details.

Response: Refer to Civil drawings.

29. Please provide a pavement marking plans. This will be required for each floor of the garage. Be sure to provide pavement markings in areas of non-vehicular access and differentiate between this stripping and the stripping provided for the ADA accessible aisles.

Response: Refer to Civil drawings.

30. Full road width asphalt pavement mill and resurface is required for all adjacent roads / alleys to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

Response: Civil Engineer: Please see revised plan sheet C-5 showing pavement milling and resurfacing or restoration as required for all surrounding streets except Tyler Street which is far enough from work it can remain.

31. On Sheet C-6, there are two types of hatching shown on 19th Avenue, please include both in the Legend.

Response: Civil Engineer: Please see revised plan sheet C-5.

32. Rights-of-way improvements shown on civil plans are not consistent with architectural plans.

Response: Civil Engineer: Please see revised plans.

33. Coordination with the City's CRA Hollywood Boulevard Streetscape project will be required for areas along Hollywood Boulevard.

Response: Consultation with Susan Goldberg from CRA is underway. These will be reflected as a future revision.

34. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Rights-of-way improvements are to be determined and will be required. Continued coordination will be necessary.

Response: Understood. Civil Engineer: Acknowledged please provide requirements for this area so that design team can incorporate.

35. Provide for public transit stop / accommodation within the parking pod along Young Circle, coordination with Broward County Transit, FDOT and the City is required. Respective architectural and civil plans will be required within FDOT right-of-way. The existing 42 parking within the FDOT right-of-way is being included as part of the required parking for the proposed project, review and approval for use of such parking from FDOT is required along with any necessary agreement. The 42 spaces may be impacted or reduced due to the public transit accommodation.

Response: Consultation with Broward County Transit, FDOT & City is underway. These will be reflected as a future revision. Civil Engineer: We have contacted Broward County Transit to obtain the requirements for any transit stops.

36. Provide separate streetscape plans and details showing existing conditions and proposed public improvements and work along site's adjacent streets within the rights-of-way. Review and approval by FDOT and City CRA will be required.

Response: Consultation with Susan Goldberg from CRA is underway. These will be reflected as a future revision. Civil Engineer: Acknowledged, the landscape architect will provide required streetscape plans after coordination with FDOT and CRA.

37. Provide traffic impact study for the proposed development. Please note that traffic study reviews are performed by City's consultant on a cost recovery basis, please see fee table below.

*Resolution R-2015-209.

A minimum payment of \$5,250 can be made to begin the review upon receipt of the study. Payments can be made online via link at

<https://apps.hollywoodfl.org/PaymentCenter/EngineeringPayment.aspx>.

Here is information to be inputted when an online payment is made.

Application Type = Others

Permit # = Site Address

Notes = Traffic Review Cost Recovery Fee

Response: Traffic Study will be issued in a future submittal.

38. MOT plans will be required at the time of City Building Permit review.

Response: Understood. Civil Engineer: Acknowledged.

39. All outside agency permits must be obtained prior to issuance of City building permit.

Response: Understood.

40. This project will be subject to the impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022.

Response: Understood.

41. More comments may follow upon review of the requested information.

Response: Understood.

DEPARTMENT OF DEVELOPMENT SERVICES

Note: Crime Prevention Recommendations: The following are the reviews and recommendations for the CPTED review of the blueprints for "1845-1885 Hollywood Bl-Soleste La Piazza - Hollywood, Florida" – Preliminary.

Response: Acknowledged. We will provide a Safety CPTED plan at permitting/final TAC.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

Response: Understood.

CPTED Strategies

Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

Response: Acknowledged.

External Lighting

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

- Parking Lots 3-5 foot candles
- Walking Surfaces 3 foot candles
- Recreational Areas 2-3 foot candles
- Building Entryways 5 foot candles
- o These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- o The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- o Exterior lighting should be controlled by automatic devices (preferably by photocell).
- o Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- o Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- o Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

Response: Photometrics will be issued as a future submittal.

Landscaping:

- o Make sure all landscaping is trimmed and well maintained.
- o Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.
- o Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
- o Plants/Shrubbery should not be more than 2ft in height.
- o Tree canopies should not be lower than 6ft in height.

Response: Refer to Landscape drawings.

Building(s) Perimeter Doors

- o Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- o Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.
- o Lobby should be accessible to residents only.

- o Electrical, Mechanical, Pump Room, Maintenance Room, should be kept locked when not in use.
- o Parking Garage should be accessible to residents only. Guests can be given access by residents.

Response: Understood.

Internal Circulation and Control

- o There should not be recessed areas in corridors that could be used for hiding or loitering.
- o Convex mirrors should be used in corners and in stairwells.
- o Stairwells should have closed area at first level, to prevent someone from hiding beneath stairs.
- o Glass elevator is recommended so residents can see out/in.
- o Mechanical Carousel Parking System should have trained staff to operate lift.
- o Elevators and stairwells should be clearly visible from the lobby.
- o Roof should be kept locked and have keycard access, given to those authorized.
- o Lobby should remain locked after hours.
- o Parking for retail area should be close to the businesses
- o Pool should have lifesaving equipment (for example: life ring, rope etc)
- o Door to pool deck should be a type of key card access
- o Doors to amenity rooms should have a type of keycard access

Response: Understood.

Corridors

- o Corridors should be well-lighted with no dark areas.
- o Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.

Response: Understood.

General locations

- o Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

Response: Understood.

CCTV

- o CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Response: Understood.

Fencing

- o (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Response: Understood.

Non-Pedestrian Building Entry Points

- o Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- o Locations where gas and electric utilities enter buildings should be well lighted.

Response: Understood.

Signage

- o Ensure proper signage is posted throughout property.
- o Pool area should have sign posted on whether or not there is lifeguard on duty
- o Pool should have rules and regulations and hours of operation posted.
- o Each amenity should have rules and regulations posted

o Each amenity should have hours of operation posted

Response: Understood.

I hope these address your comments and concerns. Please feel free to contact me with any questions you may have regarding these comment responses.

Sincerely,

A handwritten signature in black ink, consisting of a stylized 'O' followed by a series of loops and a long horizontal stroke.

Omar A. Morales
Principal Architect

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