



THE COMPLETE CONSTRUCTION OF A NEW THREE-STORY POLICE HEADQUARTERS BUILDING, A NEW FOUR-STORY PARKING GARAGE INCLUDING THE NEW FIREARMS TRAINING FACILITY ON THE GROUND FLOOR, A NEW SERVICE YARD, AND PERIMETER SECURITY WALLS AND FENCES. THE WORK ALSO INCLUDES SITE DEVELOPMENT INCLUDING NEW SITE PUBLIC ACCESS ROADWAY FROM SOUTH PARK ROAD, HARDSCAPES, LANDSCAPING, AND SURFACE PARKING, FOR THE BUILDING SITE. THE POLICE HEADQUARTERS BUILDING WILL PROVIDE APPROXIMATELY 98,865 GROSS SQUARE FEET. THE STRUCTURED PARKING GARAGE HAS A CAPACITY OF APPROXIMATELY 283 CARS INCLUDING 9 OVERSIZED VEHICLE SPACES ON THE GROUND LEVEL. SECURE SURFACE PARKING IS PROVIDED FOR APPROXIMATELY 55 VEHICLES, AND PUBLIC PARKING FOR APPROXIMATELY 20 VEHICLES ON THE NEW ACCESS ROADWAY.

BUILDING ADDRESS ----- 401 S PARK RD HOLLYWOOD, FL 33021
OCCUPANCY TYPE ----- GOVERNMENT USE
CONSTRUCTION TYPE--- IIA
DESCRIPTION----- NEW HOLLYWOOD POLICE DEPARTMENT
GROSS LOT AREA----- 4.99 ACRES
NET LOT AREA----- 3.63 ACRES
ZONING DISTRICT----- GU - GOVERNMENT USE
LAND USE DESIGNATION-- OSR
REQUIRED SETBACKS----- TBD BY LOCAL JURISDICTION (see zoning tables)

- A. BUILDING CODE: FBC, 2020 –FLORIDA BUILDING CODE -7TH EDITION
- B. PLUMBING CODE: FBC –PLUMBING, 2020 -7TH EDITION
- C. MECHANICAL CODE: FBC –MECHANICAL, 2020 -7TH EDITION
- D. ELECTRICAL CODE: NEC, 2020 –NATIONAL ELECTRIC CODE / NFPA 70
- E. FIRE CODE: FFPC, 2020 FLORIDA FIRE PREVENTION CODE -7TH EDITION
- F. LIFE SAFETY CODE: NFPA 101, 2018 EDITION
- G. AMERICANS WITH DISABILITIES ACT: FBC, 2020 -7TH EDITION
- H. FLORIDA ACCESSIBILITY CODE
- I. ENERGY CONSERVATION CODE: 2020 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 7TH EDITION
- J. MUTCD
- K. FLORIDA GREENBOOK (FOR PUBLIC ROADWAYS)
- L. PROWAG

[illegible]

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NICOLE HERAN	DEPUTY DIRECTOR, DESIGN & CONSTRUCTION MANAGEMENT
HEATHER GUENOT, PE	SR. PROJECT MANAGER, DESIGN & CONSTRUCTION MANAGEMENT

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CARYL S SHUHAM	DIST.1
LINDA HILL ANDERSON	DIST.2
TRACI L.CALLARI	DIST.3
ADAM GRUBER	DIST.4
KEVIN D. BIEDERMAN	DIST.5
IDELMA QUINTANA	DIST.6

2021-07-19	PACO MEETING
2023-01-23	PRELIMINARY TAC MEETING
2023-03-06	FINAL TAC MEETING
TBD	PLANNING & DEVELOPMENT BOARD

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 ORBSION ENGINEERING	ORBSION ENGINEERING
 KIMLEY+HORN	MEP/FP ENGINEER
 CIVIL ENGINEER	CIVIL ENGINEER
 LANGAN	ENVIRONMENTAL ENGINEER
 LIFE SAFETY CONSULTANT	LIFE SAFETY CONSULTANT
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PROJECT

CITY OF HOLLYWOOD
NEW POLICE
HEADQUARTERS

ADDRESS : 401 S PARK RD HOLLYWOOD, FL 33021

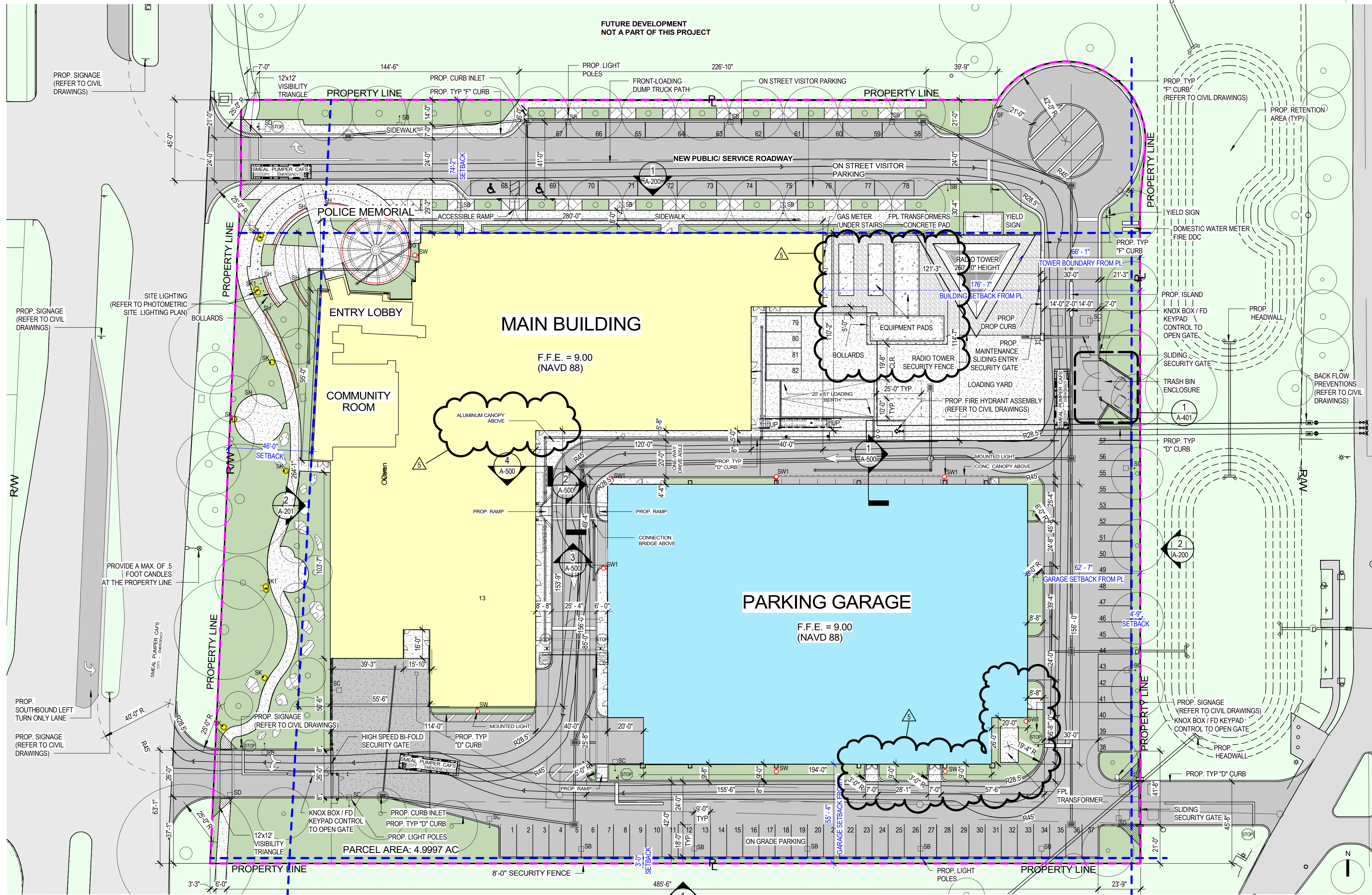
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SHEET: 1" = 400'-0"
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS
DATE: 03/22/23
STARTED BY: ODP
DRAWING TITLE:

**PRELIMINARY TAC
MASTER INDEX**

SHEET NO.
G-000

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SITE PLAN LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING LANDSCAPE
- PROPOSED LANDSCAPE
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPERTY LINE
- SETBACKS
- PROPOSED INLET (REFER TO CIVIL DRAWINGS)
- PROPOSED MANHOLE (REFER TO CIVIL DRAWINGS)
- PROPOSED SIGNAGE (REFER TO CIVIL DRAWINGS)
- PROPOSED LIGHT POLES (REFER TO PHOTOMETRIC SITE LIGHTING PLAN)
- PROPOSED MOUNTED LIGHT (REFER TO PHOTOMETRIC SITE LIGHTING PLAN)
- PROPOSED DECORATIVE POLES (REFER TO PHOTOMETRIC SITE LIGHTING PLAN)
- PROPOSED UNDER BENCH LIGHTING (REFER TO PHOTOMETRIC SITE LIGHTING PLAN)

1 SITE PLAN.

1" = 30'-0"

NOTE:

1. MOT PLANS WILL PROVIDED FOR THE CITY BUILDING PERMIT REVIEW.

DISCLAIMER:

1. AS PER CHAPTER 119, OF THE FLORIDA STATUTES (FLORIDA PUBLIC RECORDS LAW) PROVIDES THAT CERTAIN PUBLIC RECORDS ARE CONFIDENTIAL AND EXEMPT FROM PUBLIC DISCLOSURE IN ORDER TO PROTECT THE SECURITY OF SPECIFIC GOVERNMENTAL FACILITIES, EMPLOYEES, AND VISITORS. FOR THE SAME SECURITY REASONS, THE CITY HAS THE STATUTORY OBLIGATION TO PROTECT SUCH RECORDS FROM PUBLIC DISCLOSURE AND ONLY DISCLOSE CONFIDENTIAL INFORMATION TO PARTIES WHO AGREE TO KEEP SUCH INFORMATION CONFIDENTIAL.

2. CONFIDENTIAL INFORMATION SHALL INCLUDE ALL INFORMATION OR MATERIAL THAT IS CONFIDENTIAL OR EXEMPT ACCORDING TO THE FLORIDA PUBLIC RECORDS LAW. THE EXEMPTIONS MOST RELEVANT TO THE CONTRACTOR/CONSULTANT INCLUDE BUT ARE NOT LIMITED TO:

- PLANS, BLUEPRINTS, DRAWINGS, AND DIAGRAMS WHICH DEPICT THE INTERNAL LAYOUT AND STRUCTURAL ELEMENTS OF A BUILDING OR OTHER STRUCTURE, INCLUDING 911, E911, OR PUBLIC SAFETY RADIO COMMUNICATION SYSTEM INFRASTRUCTURE PLANS, OWNED OR OPERATED BY THE CITY AND/OR BROWARD COUNTY.
- SECURITY OR FIRE SAFETY SYSTEM PLANS INCLUDING ALL RECORDS, INFORMATION, PHOTOGRAPHS, AUDIO AND VISUAL REPRESENTATIONS, SCHEMATIC DIAGRAMS, SURVEYS, RECOMMENDATIONS, OR CONSULTATIONS RELATING DIRECTLY TO THE PHYSICAL SECURITY OR FIRE SAFETY OF THE FACILITY OR REVEALING SECURITY OR FIRE SAFETY SYSTEMS.

SITE PROJECT DATA		
1. LEGAL DESCRIPTION		
ALL THAT PART AND PARCELS OF LAND LYING IN THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, INCLUDING A PORTION OF THIS LOT AND PART OF ADJACENT LOTS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 42 EAST, THERE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 17, NORTH 0°00'00" WEST A DISTANCE OF 266.29 FEET TO A POINT ON THE NORTH LINE OF THE VACATED SOUTH PARK ROAD RIGHT OF WAY AS SHOWN IN RECORD DEED BOOK 2364, PAGE 123, 50% OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE BEING ALONG SAID VACATED SOUTH PARK ROAD RIGHT OF WAY, NORTH 0°00'00" WEST A DISTANCE OF 39.84 FEET TO A POINT OF CURVATURE, SAID POINT BEING ON THE EAST RIGHT-OF-WAY OF SOUTH PARK ROAD, THENCE ALONG SAID SOUTH PARK ROAD RIGHT-OF-WAY FOR THE FOLLOWING NINE COURSES:		
1. ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 776.00 FEET, A CENTRAL ANGLE OF 27°00'00", AN ARC DISTANCE OF 367.32 FEET, AND BEING BISECTED BY A CHORD WHICH BEARS NORTH 75°00'00" WEST A DISTANCE OF 86.74 FEET TO A POINT OF TANGENCY;		
2. THENCE NORTH 75°00'00" WEST A DISTANCE OF 256.80 FEET TO A POINT;		
3. THENCE NORTH 0°00'00" WEST A DISTANCE OF 548.52 FEET TO A POINT;		
4. THENCE NORTH 0°00'00" WEST A DISTANCE OF 454.52 FEET TO A POINT;		
5. THENCE NORTH 0°00'00" WEST A DISTANCE OF 454.52 FEET TO A POINT;		
6. THENCE NORTH 0°00'00" WEST A DISTANCE OF 256.80 FEET TO A POINT;		
7. THENCE NORTH 0°00'00" WEST A DISTANCE OF 454.52 FEET TO A POINT;		
8. THENCE NORTH 0°00'00" WEST A DISTANCE OF 454.52 FEET TO A POINT;		
9. THENCE NORTH 0°00'00" WEST A DISTANCE OF 454.52 FEET TO A POINT;		
THENCE DEPARTING SAID EAST RIGHT-OF-WAY OF SOUTH PARK ROAD NORTH 0°00'00" WEST A DISTANCE OF 197.80 FEET TO A POINT, THENCE NORTH 0°00'00" WEST A DISTANCE OF 256.80 FEET TO A POINT OF CURVATURE, THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 454.52 FEET, A CENTRAL ANGLE OF 15°00'00", AN ARC DISTANCE OF 122.23 FEET, AND BEING BISECTED BY A CHORD WHICH BEARS SOUTH 75°00'00" WEST A DISTANCE OF 82.23 FEET TO A POINT, THENCE SOUTH 0°00'00" WEST A DISTANCE OF 256.80 FEET TO A POINT, THENCE SOUTH 0°00'00" WEST A DISTANCE OF 39.84 FEET TO A POINT, THENCE SOUTH 0°00'00" WEST A DISTANCE OF 548.52 FEET TO THE POINT OF BEGINNING, SAID PARCEL ENCOMPASSING AN AREA OF 217,796 SQUARE FEET OR 5.006 ACRES, MORE OR LESS.		
2. ZONING / LAND USE / SERVICES		
EXISTING	PROPOSED	
ZONING	GOVERNMENT USE	GOVERNMENT USE
FUTURE LAND USE	OSR	TBD
WATER SERVICE	HOLLYWOOD	HOLLYWOOD
LAND USE	OSR	TBD
3. SITE PLAN SETBACKS		
REQUIRED	PROVIDED	
NORTH SIDE	74' - 2"	
EAST SIDE (BACK)	4' - 9"	
SOUTH SIDE	3' - 0"	
WEST SIDE (FRONT)	46' - 0"	
3.1. MAIN BUILDING SETBACKS		
REQUIRED	PROVIDED	
NORTH SIDE	74' - 2"	
EAST SIDE (BACK)	176' - 7"	
SOUTH SIDE	87' - 3"	
WEST SIDE (FRONT)	46' - 0"	
3.2. GARAGE SETBACKS		
REQUIRED	PROVIDED	
EAST SIDE (BACK)	62' - 7"	
SOUTH SIDE	55' - 4"	
3.3. RADIO TOWER SETBACKS		
REQUIRED	PROVIDED	
NORTH SIDE	75' - 2"	
SOUTH SIDE	66' - 1"	
4. SITE & MASSING BREAKDOWN		
SITE AREA (LOT GROSS AREA)	4.9997 ACRES = 217,796 SF	
SITE AREA (LOT NET AREA)	3.675 ACRES = 160,106 SF	
BUILDING FOOTPRINT	42,551 SF	
PARKING BUILDING FOOTPRINT	35,464 SF	
DENSITY	N/A	
5. FLOOR AREA		
REQUIRED	PROVIDED	
BUILDING GROSS AREA	98,865 SF	
PARKING BUILDING GROSS AREA	96,304 SF	
PERVIOUS AREA	31,487 SF (14.46%)	
IMPERVIOUS AREA	186,303 SF (85.54%)	
6. BUILDING HEIGHT		
MAXIMUM ALLOWED	PROVIDED	
NO MAXIMUM HEIGHT OF STRUCTURES SHALL BE REQUIRED, THE CITY COMMISSION UPON THE RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD SHALL DETERMINE THE APPROPRIATE HEIGHT LIMITATIONS.	ROOF SLAB AT 57'-0"	
	TOP OF LOBBY TOWER AT 75'-0"	
6.1. RADIO TOWER HEIGHT		
MAXIMUM ALLOWED	PROVIDED	
REFER TO VARIANCE NOTE (ITEM No. 12)	264' - 0"	
7. LANDSCAPE AREA		
REQUIRED	PROVIDED	
N/A	31,487 SF (14.46%)	
8. LOADING ZONE		
REQUIRED	PROVIDED PER § 7.2. (C) 1	
YES	(3) 10' X 25' X 14' LOADING BERTHS	
9. STRUCTURE LENGTH		
REQUIRED	PROVIDED	
NORTH FACADE	234' - 0"	
EAST FACADE	110' - 2"	
SOUTH FACADE	115' - 0"	
WEST FACADE	264' - 3"	
10. PARKING DATA		
REQUIRED	PROVIDED	
OFFICE USE	1 PER 250 SF = 4312 / 250 = 172 SPACES	
ASSEMBLY USE	1 PER 60 SF = 2468 / 60 = 41 SPACES	
WAREHOUSE / STORAGE	1 PER 1,000 SF = 2008 / 1000 = 23 SPACES	
LEVEL 1 (MULTIPURPOSE ROOM)	(25 PARKING SPOTS)	
LEVEL 2 (CLASSROOM)	(6 PARKING SPOTS)	
LEVEL 2 (LINE-UP)	(10 PARKING SPOTS)	
LEVEL 2 (CON/TRAINING ROOM)	(10 PARKING SPOTS)	
SUB-TOTAL	288 SPACES	
DEDUCT ALTERNATE (REMOVE LEVEL 4 & PROVIDE 25-YARD RADIUS)		
SITE PLAN PARKING SPACES (82)		
LEVEL 1: PARKING GARAGE SPACES (30)		
LEVEL 2: PARKING GARAGE SPACES (87)		
LEVEL 3: PARKING GARAGE SPACES (87)		
LEVEL 4: PARKING GARAGE SPACES (87)		
TOTAL	363 SPACES	
11. ADA PARKING SPACES		
REQUIRED	PROVIDED	
ADA PARKING SPACES LEVEL 1	7 ADA SPACES	
ADA PARKING SPACES LEVEL 2	(FOR 201 TO 300 TOTAL SPACES)	
ADA PARKING SPACES LEVEL 3	2 ADA SPACES	
ADA PARKING SPACES LEVEL 4	2 ADA SPACES	
TOTAL ADA PARKING SPACES	10 ADA SPACES	
12. VARIANCE		
THE SITE IS UNDER A GU ZONING DISTRICT. A VARIANCE IS REQUIRED FOR THE ORDINANCE 422.0.1.a THE COMMUNICATION TOWER IS WITH 400' OF A RESIDENTIAL AREA AT A DISTANCE OF (197'-4")		
13. LIGHTING		
1. AT ALL PROPERTY LINES LIGHTING FOOT CANDLES SHALL BE 0.5 OR LESS (REFER TO LIGHTING PHOTOMETRIC SITE LIGHTING PLAN - SHEET E-011)		
14. GREEN BUILDING CERTIFICATION		
LEED SILVER - FLORIDA GREEN BUILDING COALITION CERTIFICATION HAVE BEEN PROVIDED AND REGISTERED		
15. SIGNAGE		
1. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS, APPROVED UNDER A SEPARATE PERMIT (SEE SHEET A-400)		
16. METHOD OF MAIL DELIVERY		
THE FACILITY'S FUTURE METHOD OF DELIVERY IS BY THE FRONT PUBLIC LOBBY, WHERE THE MAIL WILL BE SORTED INTERNALLY BY THE DEPARTMENT AND THEN DISTRIBUTED. LARGER DELIVERIES WILL TAKE PLACE AT THE CONTROLLED YARD LOADING DOCK AS NEEDED, AND SUPERVISED BY ASSIGNED PERSONNEL.		
17. FIRE ACCESS ROAD		
THE SHOW RADIUS FOR THE FIRE TRUCK ARE 28.5' FOR THE INTERIOR RADIUS, 38.0' FOR THE CENTERLINE RADIUS, AND 45.0' FOR THE EXTERIOR RADIUS. (REFER TO CIVIL DRAWINGS SHEET C-003)		

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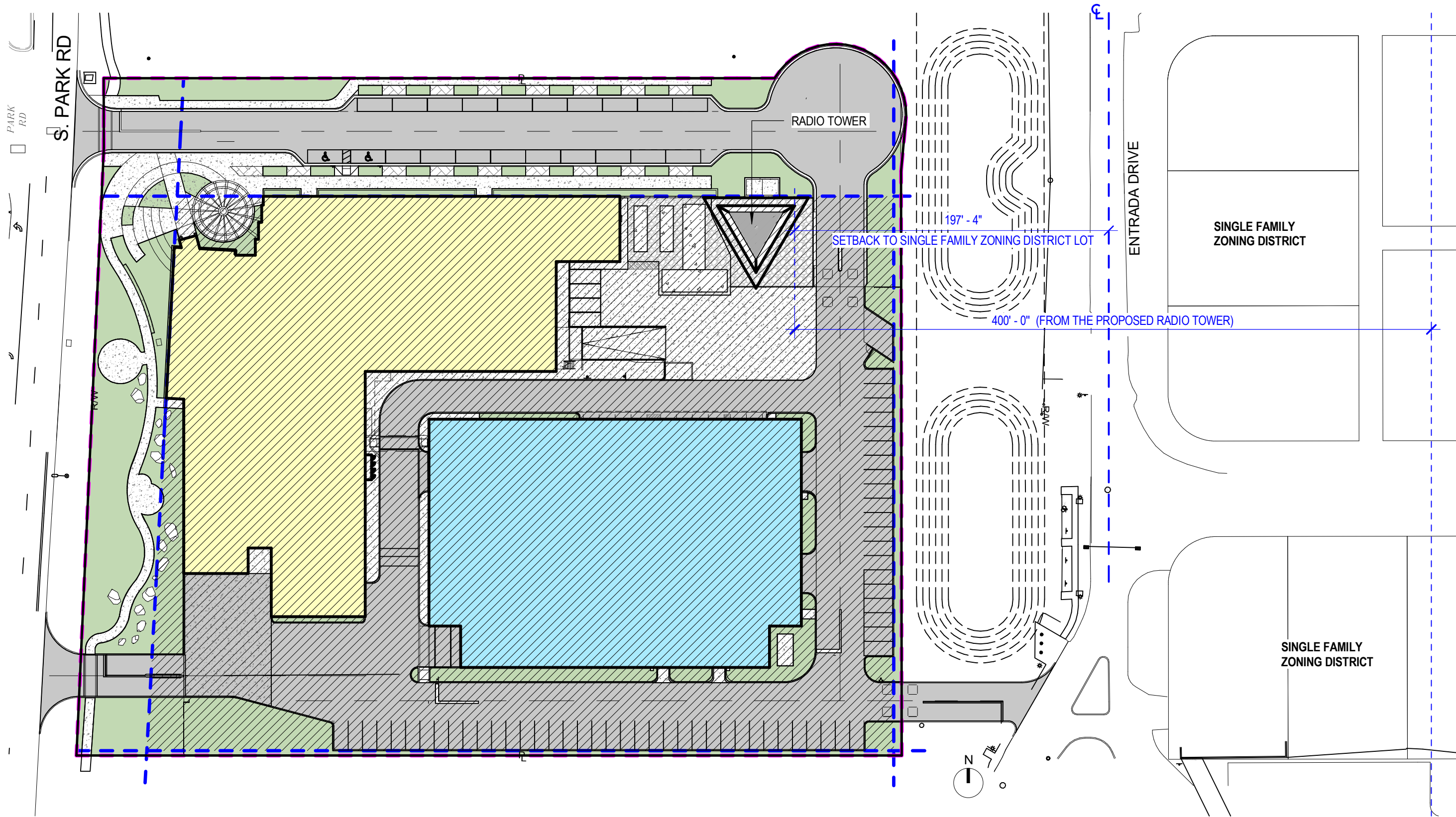
PROJECT
CITY OF HOLLYWOOD
NEW POLICE HEADQUARTERS
ADDRESS: 401 S PARK RD HOLLYWOOD, FL 33021

REVISIONS
NO. DATE DESCRIPTION
1 01/02/2023 PRELIMINARY TAC
2 02/23/2023 FINAL TAC
3 03/23/2023 FINAL TAC SIGN-OFF
4 06/01/2023 FINAL TAC SIGN-OFF - Revision 1
5 06/24/2023 FINAL TAC SIGN-OFF - ADDENDUM

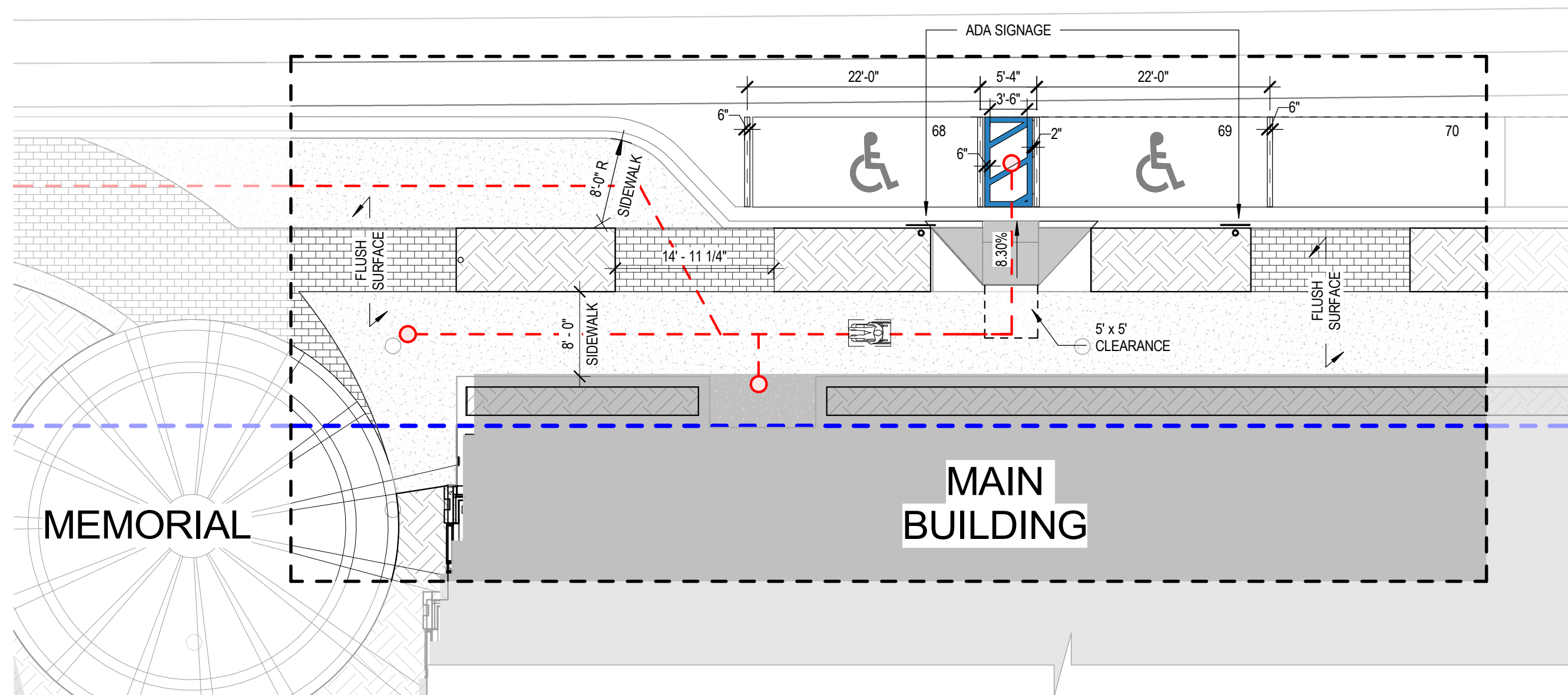
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SHEET SIZE: ARCH-D (24"X36") DO NOT SCALE DRAWINGS.
DATE: 06/01/2023
STARTED BY: ODP
DRAWING TITLE:

ARCHITECTURAL SITE PLAN

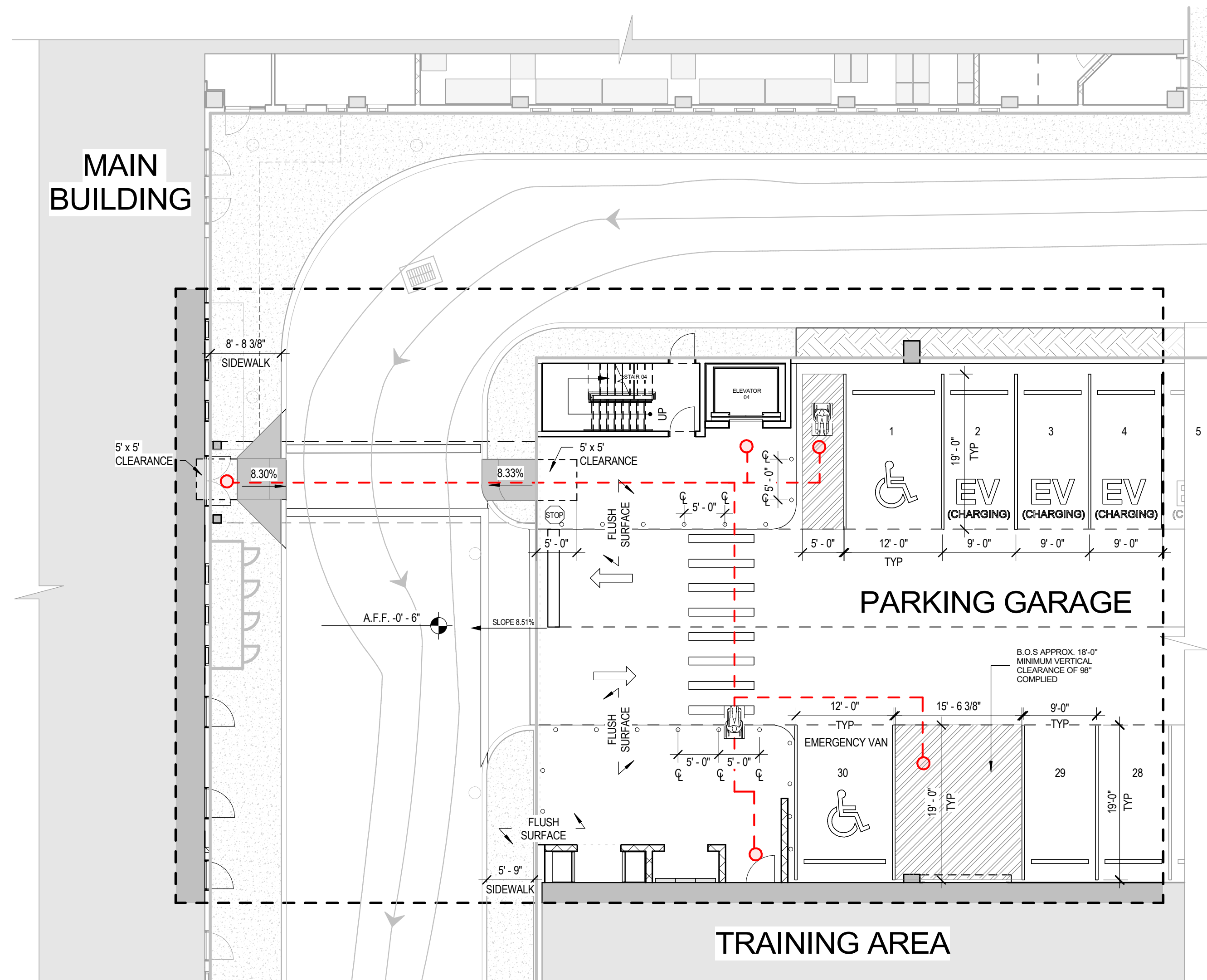
SHEET NO.
A-050



3 REQUIRED RADIO TOWER SETBACKS
1" = 60'-0"



2 ACCESSIBILITY DIAGRAM - RAMPS - NORTH ON STREET PARKING
3/32" = 1'-0"



1 ACCESSIBILITY DIAGRAM - RAMPS - LEVEL 1 PARKING GARAGE
3/32" = 1'-0"

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HEADQUARTERS
ADDRESS: 401 S PARK RD HOLLYWOOD, FL 33021

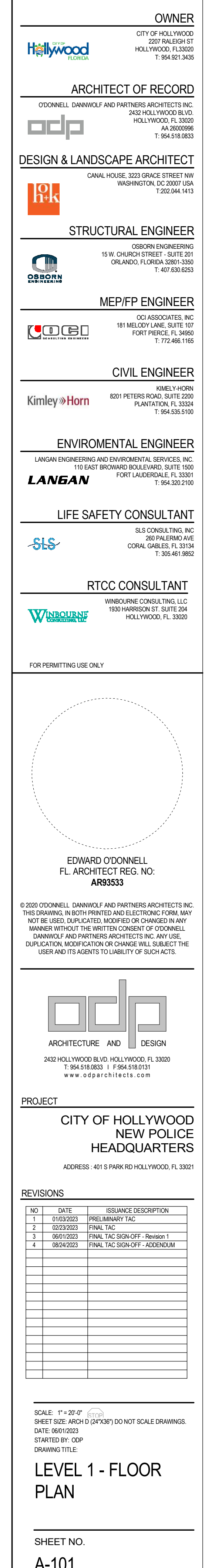
NO.	DATE	ISSUANCE DESCRIPTION
1	01/03/2023	PRELIMINARY TAC
2	02/23/2023	FINAL TAC
3	03/23/2023	FINAL TAC SIGN-OFF
4	06/01/2023	FINAL TAC SIGN-OFF - Revision 1

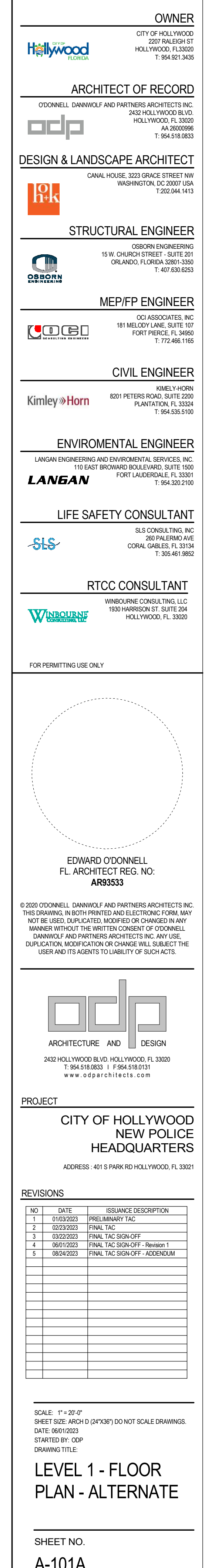
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SHEET SIZE: ARCH-D (24"X36") DO NOT SCALE DRAWINGS.
DATE: 06/01/2023
STARTED BY: ODP
DRAWING TITLE:

**ACCESSIBILITY
DIAGRAMS**

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A-056

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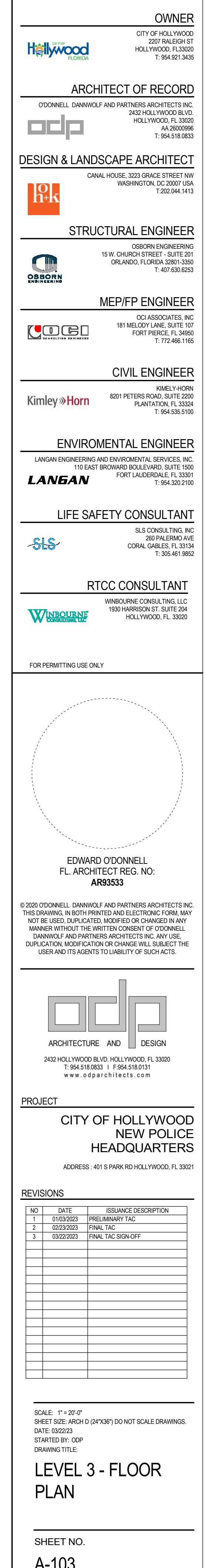


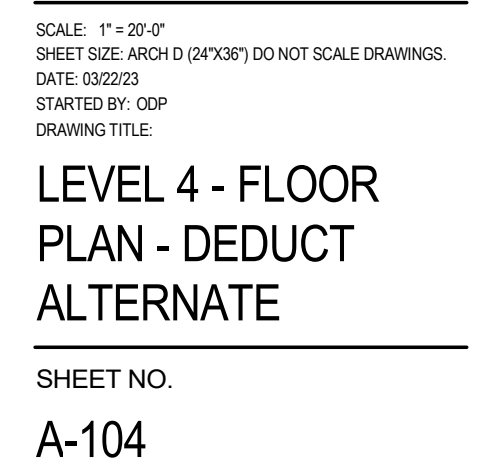
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SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.
DATE: 9/20/2023
STARTED BY: COP
DRAWING TITLE:

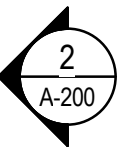
**LEVEL 1 - FLOOR
PLAN - ALTERNATE**

SHEET NO.
A-101A

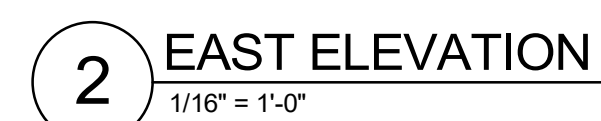








SHEET NO.
A-105



PT - 1	PCP - 1	PCP - 2	PCP - 3	MTL - 1	MTL - 2	MTL - 3	MT - 4	GL - 1	GL - 2	MTL-FL	MTL-RL
PAINTED STUCCO DARK GRAY	PRECAST CONC. BEIGE LIGHT SANDBLAST	PRECAST CONC. LIGHT GRAY	PRECAST CONC. DARK GRAY	LIGHT GRAY METAL SCREEN	DARK GRAY METAL SCREEN	LIGHT GRAY ALUMINUM CLADDING	METAL FENCE	GLAZING	GLAZING	METAL RETURN ACRYLIC FACE LIT	METAL FACE REVERSE LIT



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[illegible]

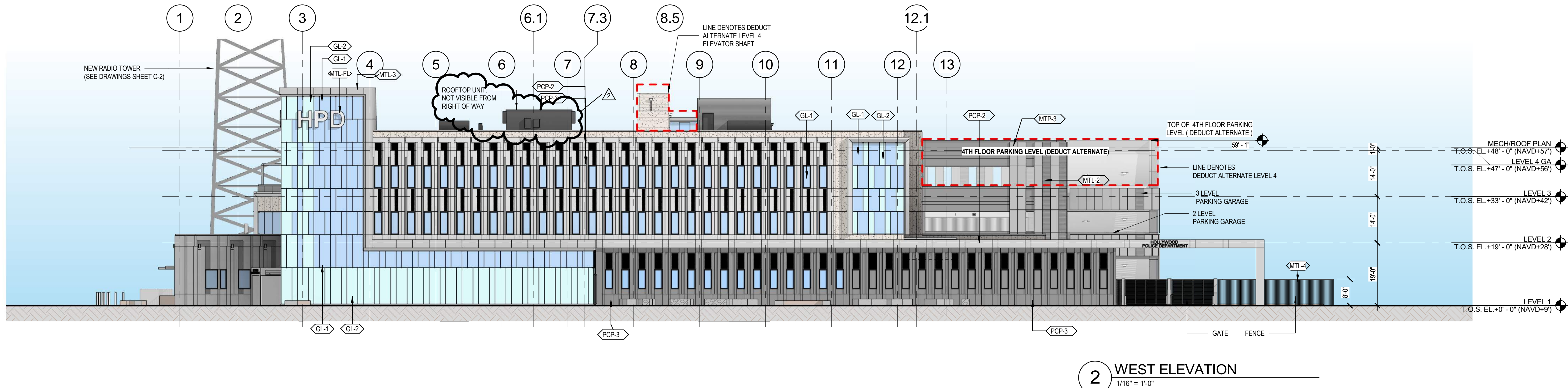
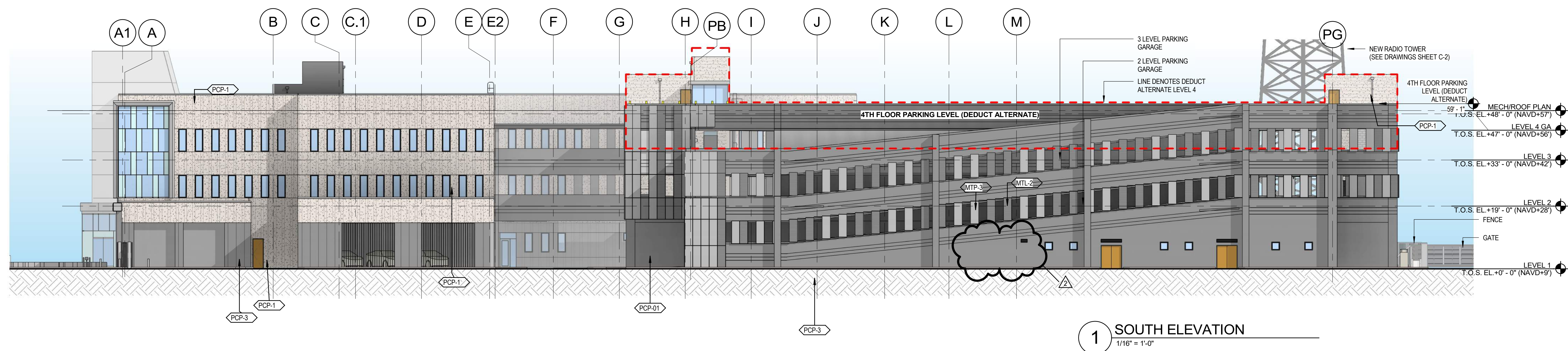
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SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.
DATE: 03/22/23
STARTED BY: CDP
DRAWING TITLE:

**BUILDING
ELEVATIONS**

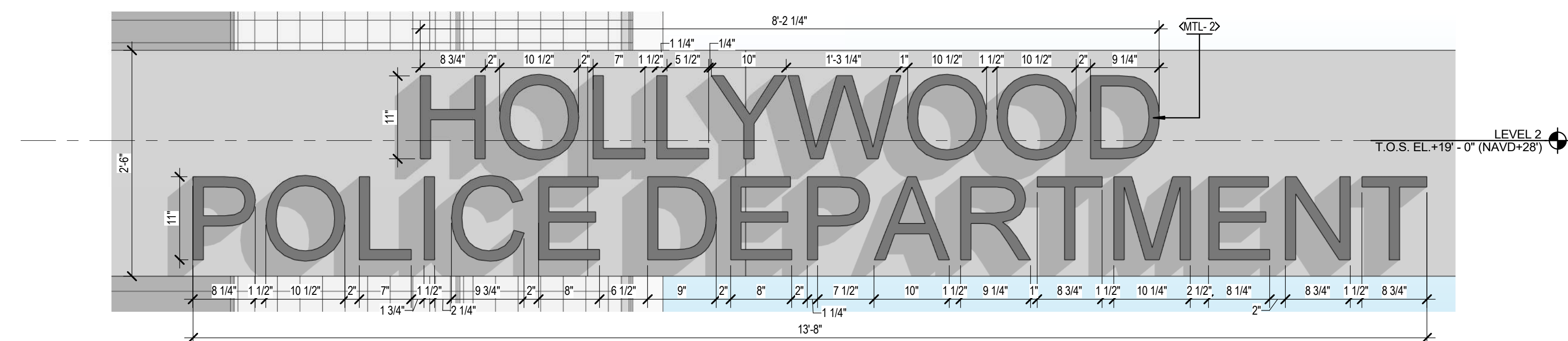
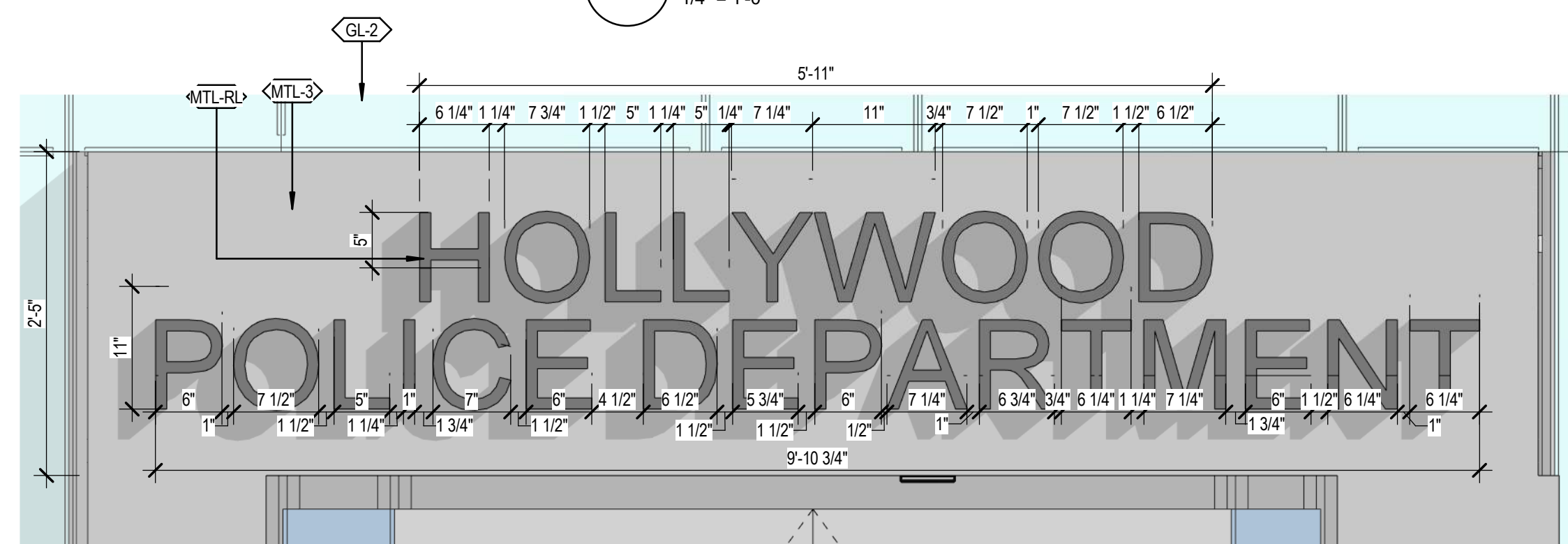
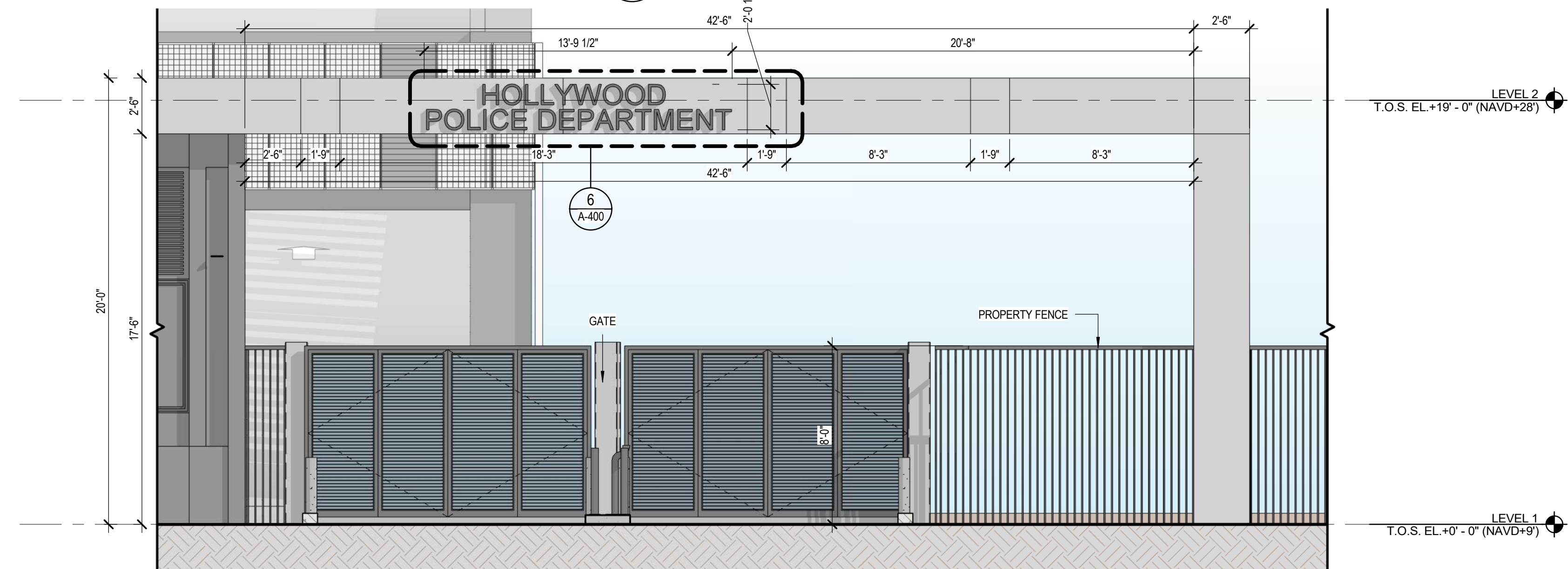
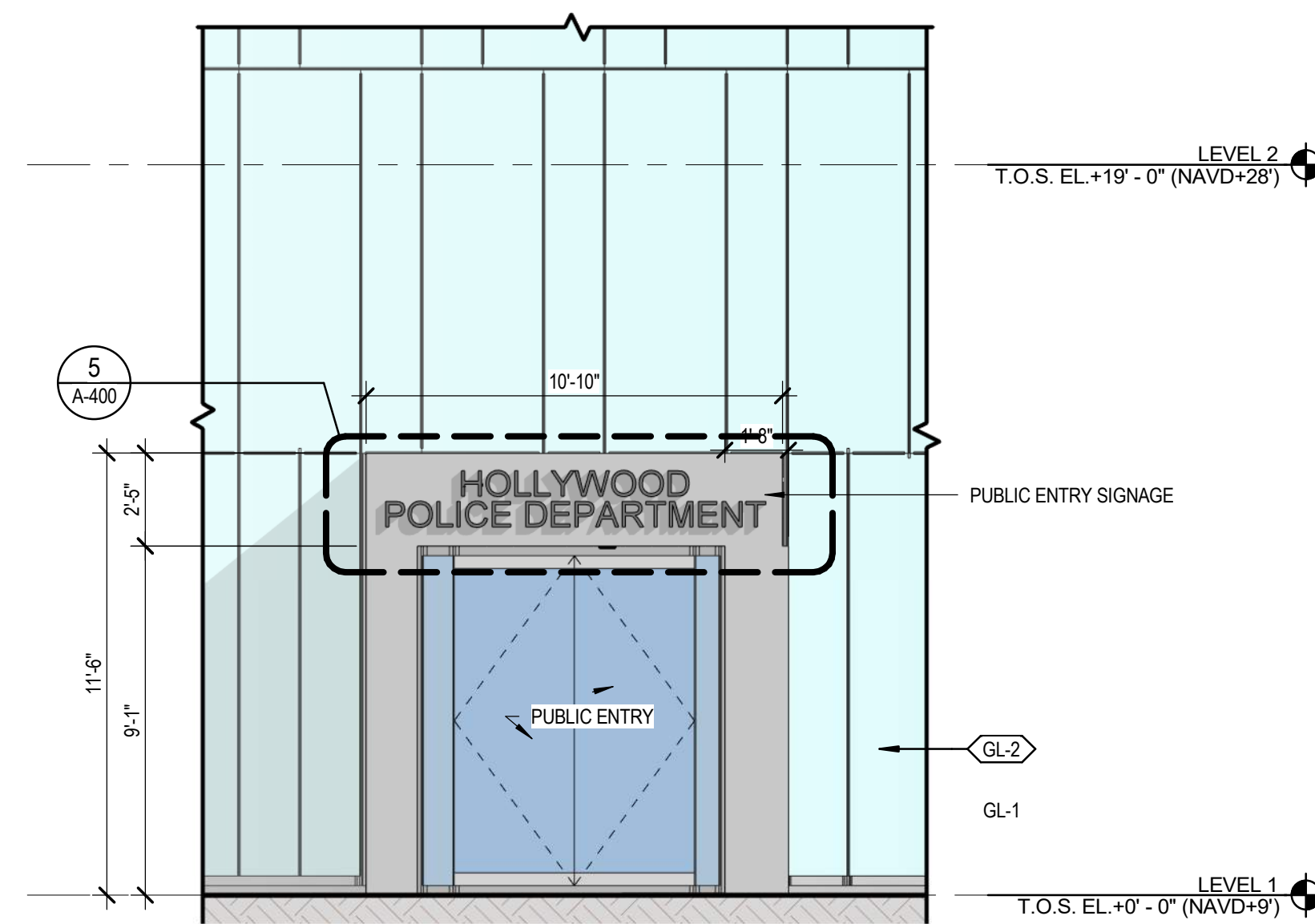
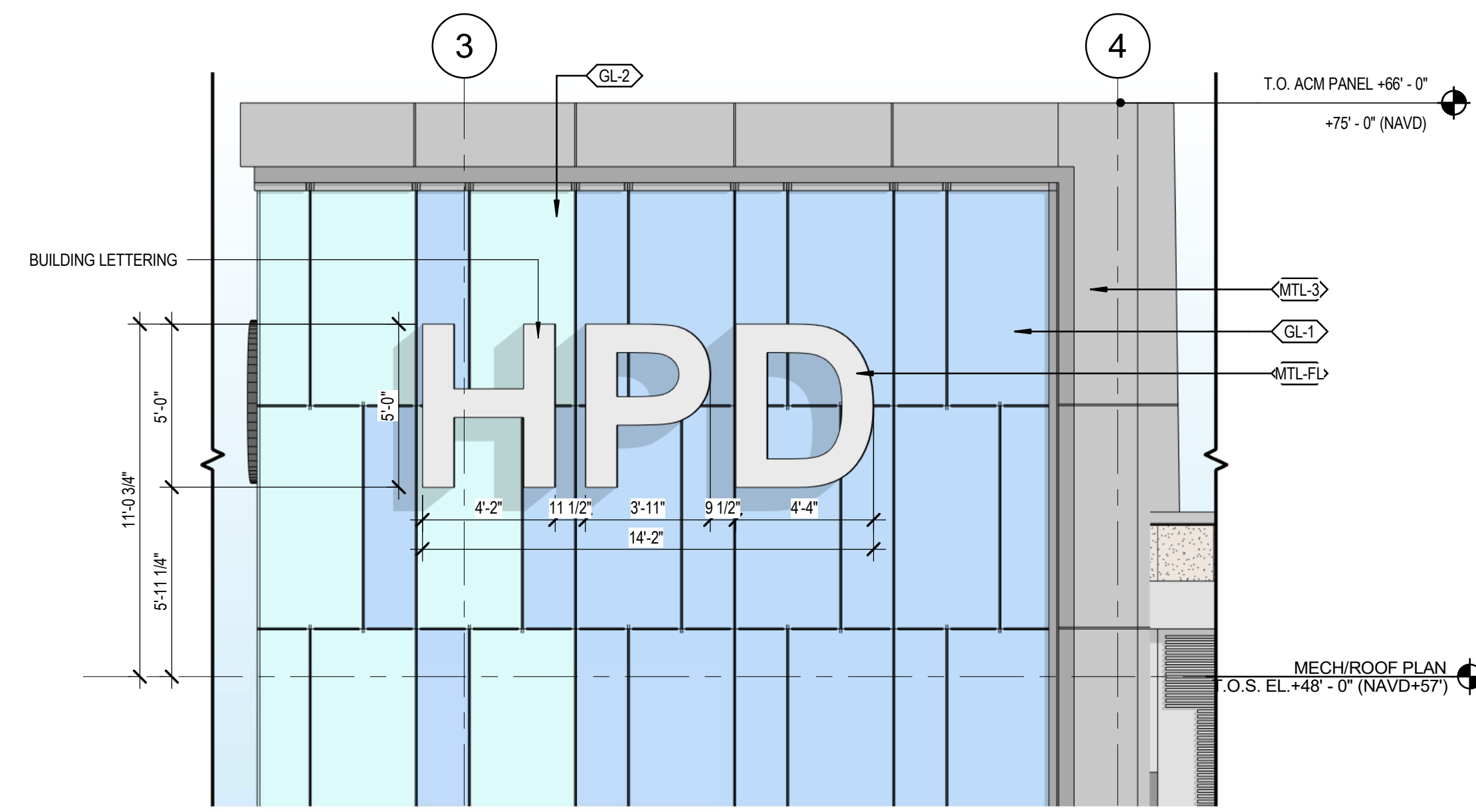
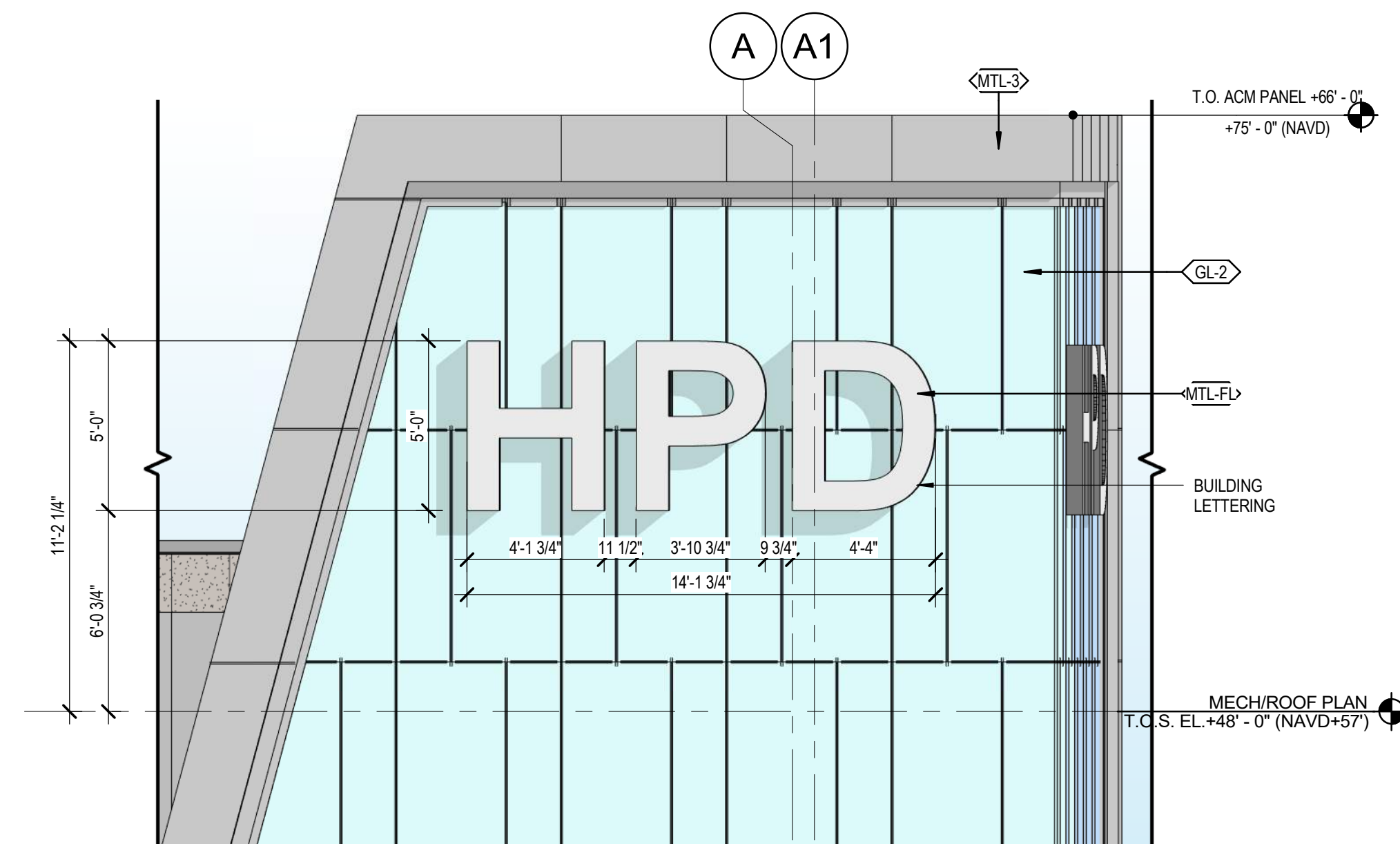
SHEET NO.

A-200

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METAL FACE
REVERSE LIT





PT - 1	PCP - 1	PCP - 2	PCP - 3	MTL - 1	MTL - 2	MTL - 3	MT - 4	GL - 1	GL - 2	MTL-FL	MTL-RL
PAINTED STUCCO DARK GRAY	PRECAST CONC. RE/FG LIGHT SANDBLAST	PRECAST CONC. LIGHT GRAY	PRECAST CONC. DARK GRAY	LIGHT GRAY METAL SCREEN	DARK GRAY METAL SCREEN	LIGHT GRAY ALUMINUM CLADDING	METAL FENCE	GLAZING	GLAZING	METAL RETURN ACRYLIC FACE LIT	METAL FACE REVERSE LIT

SHEET NO.
A-401

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PT - 1	PCP - 1	PCP - 2	PCP - 3
UNITED STUCCO LIGHT GRAY	PRECAST CONC. BEIGE LIGHT SANDBLAST	PRECAST CONC. LIGHT GRAY	PRECAST CONC. DARK GRAY



SHEET NO.
A-500

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WASHINGTON, DC 20007 USA
T: 202.004.1413**

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1515 W. OSBORN STREET
ORLANDO, FLORIDA 32811-3350
T: 407.630.6255

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FORT MYERS, FL 33908
T: 772.466.1165

CIVIL ENGINEER

KIMLEY-HORN
8201 PETERS BLVD, SUITE 2200
PLANTATION, FL 33324
T: 854.558.5535

ENVIRONMENTAL ENGINEER

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.
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FORT LAUDERDALE, FL 33307
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1500 HARRISON ST. SUITE 204
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PROJECT

CITY OF HOLLYWOOD
NEW POLICE
HEADQUARTERS

ADDRESS : 401 S PARK RD HOLLYWOOD, FL 3302

[illegible]

SCALE:
SHEET: ARCH D (24"X36") DO NOT SCALE DRAWINGS.
DATE: 02/23/2
STARTED BY: COP
DRAWING TITLE:

**BUILDING
RENDERINGS**

SHEET NO.

A-900