

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



**APPLICATION TYPE (CHECK ONE):**

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 08/24/2020

Location Address: 1939 Funston Street

Lot(s): 5, 6 Block(s): 6 Subdivision: Holl So Side

Folio Number(s): 5142 22 10 0970

Zoning Classification: PS-1 Land Use Classification: 01

Existing Property Use: Residential Sq Ft/Number of Units: 1,249/1

Is the request the result of a violation notice? ( ) Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 20-DP-22

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: TAC Final

Number of units/rooms: 15 Sq Ft: 13,129

Value of Improvement: \$1,400,000 Estimated Date of Completion: 2022

Will Project be Phased? ( ) Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: 1939 Funston LLC

Address of Property Owner: 17070 Collins Ave #255, Sunny Isles, FL

Telephone: 954.907.3103 Fax: \_\_\_\_\_ Email Address: 9073103@gmail.com

Name of Consultant/Representative/Tenant (circle one): Aleksej Bereznoj

Address: 17070 Collins Ave #255 Telephone: 954.907.3103

Fax: \_\_\_\_\_ Email Address: 973103@gmail.com

Date of Purchase: 2/20/20 Is there an option to purchase the Property? Yes ( ) No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: None

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

**PLANNING DIVISION**



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

**GENERAL APPLICATION**

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 8/24/20

**PRINT NAME:** Aleksej Bereznoj for 1939 Funston llc Date: 8/24/20

Signature of Consultant/Representative: \_\_\_\_\_ Date: 8/24/20

**PRINT NAME:** Aleksej Bereznoj for K-2 Design, Inc Date: 8/24/20

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Signature of Current Owner

\_\_\_\_\_  
Notary Public  
State of Florida

\_\_\_\_\_  
Print Name

My Commission Expires: \_\_\_\_\_ (Check One) \_\_\_ Personally known to me; OR \_\_\_ Produced Identification \_\_\_\_\_

PROPERTY ADDRESS: 1939 FUNSTON STREET  
 HOLLYWOOD, FLORIDA. 33020

**LEGAL DESCRIPTION:**

LOTS 5 AND 6, BLOCK 6, OF "HOLLYWOOD SOUTH SIDE ADDITION NO. 2",  
 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3,  
 PAGE 17 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**LEGEND & ABBREVIATIONS:**

- A/C.....AIR CONDITIONER
- BM.....BENCHMARK
- (CP).....CALCULATED PER PLAT
- CNA.....CORNER NOT ACCESSIBLE
- CONC.....CONCRETE
- EOW.....EDGE OF WALK
- FC.....FENCE CORNER
- FDH.....FOUND DRILL HOLE
- FE.....FENCE ENDS
- F.F.....FINISHED FLOOR
- FIP/FIR.....FOUND IRON PIPE/ROD
- FN.....FOUND NAIL
- FN&D.....FOUND NAIL AND DISC
- FPKN.....FOUND PARKER KALON NAIL
- ID.....IDENTIFICATION
- (M).....MEASURED
- N#.....ADDRESS NUMBER
- (P).....PER PLAT
- PB.....PLAT BOOK
- PG.....PAGE
- P.I.....POINT OF INTERSECTION
- (R).....RECORDED
- RW.....RIGHT-OF-WAY
- SIR.....SET 1/2" IRON ROD
- SND.....SET NAIL AND DISC
- (TYP).....TYPICAL
- ±.....MORE OR LESS
- ASPHALT PAVING
- MASONRY OR CONCRETE BLOCK WALL
- CONCRETE
- OVERHANG(O/H) OR ROOF
- OVERHEAD CABLES(OH)
- WOOD FENCE (WF)
- CATCH BASIN (CB)
- SEWER MANHOLE
- UTILITY POLE (UP)
- LIGHT POLE (LP)
- WATER METER (WM)
- UTILITY ANCHOR
- OFFSET
- CENTER LINE
- PROPERTY LINE
- SEWER CLEANOUT
- GAS METER
- ELECTRIC METER (EM)
- PLANTER OR PLANTED
- WELL
- AIR CONDITIONER
- WATER VALVE RISER
- BOUNDARY CORNER
- ELEVATION
- POINT OF ELEVATION
- POINT
- INDICATES DIMENSION IS NOT TO SCALE
- IRRIGATION PUMP

**CERTIFICATION:**  
 TO: 1939 FUNSTON LLC, A FLORIDA LIMITED LIABILITY COMPANY:

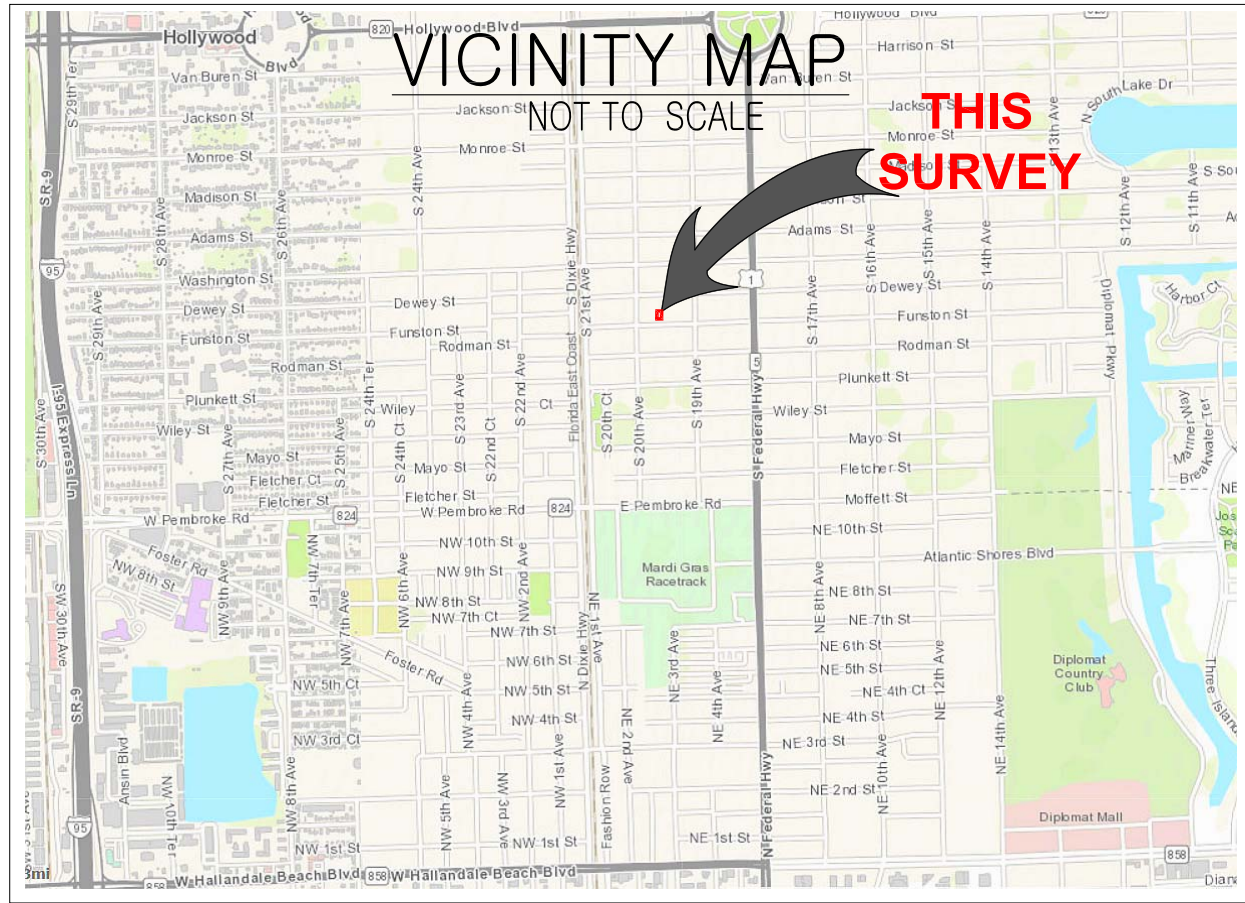
THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7a, 7b1, 7b2, 8, 9, 11, 13, 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 14th, 2020.

DATE OF MAP: MARCH 16th, 2020

*K.F. Kuhn*

K.F. KUHN  
 PROFESSIONAL SURVEYOR & MAPPER No. 5953  
 STATE OF FLORIDA

**NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER**



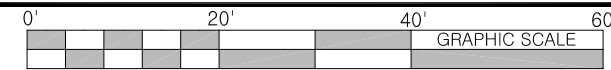
S. 20th AVENUE  
 SECOND AVENUE(P)

FIP 1"  
 AT P.I.  
 NO ID  
 (03/14/2020)

168.48'(P)  
 168.50'(M)

NOTE: THERE ARE NO CURB-CUTS OR DRIVEWAYS WITHIN 100' E. OR W. OF THIS PARCEL IN THE NORTH 1/2 OF THIS R/W EXCEPT AS OTHERWISE SHOWN.

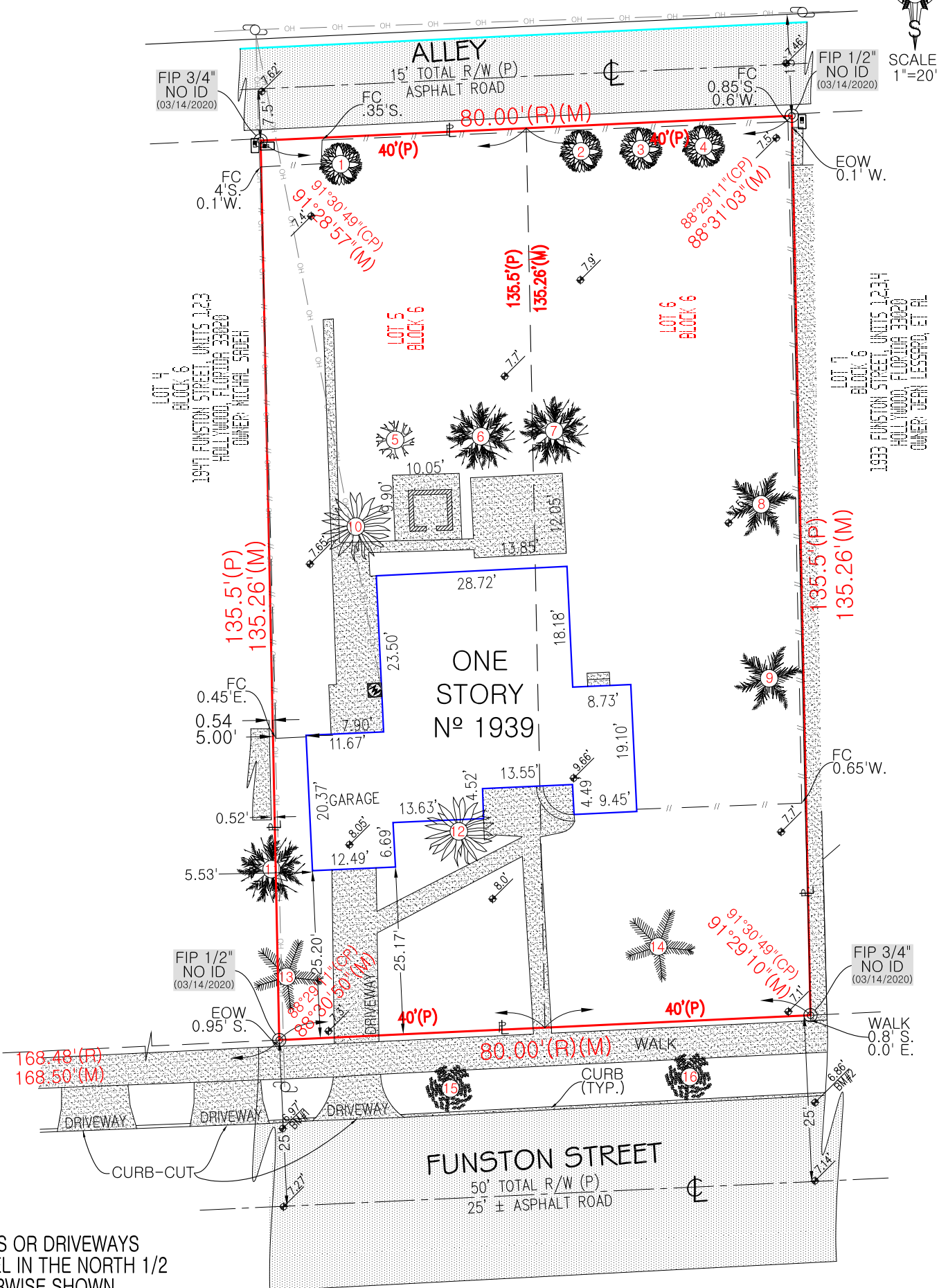
ALTA/NSPS LAND TITLE SURVEY



THIS SURVEY IS NOT VALID WITHOUT ALL SHEETS.



SCALE  
 1"=20'



THIS SURVEY IS BASED ON THE OWNER & ENCUMBRANCE PROPERTY INFORMATION REPORT(O&E) PROVIDED BY CLIENT: 1939 FUNSTON LLC, A FLORIDA LIMITED LIABILITY COMPANY. SAID O&E REPORT WAS PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND/OR SHUTTS & BOWEN LLP, DATED MARCH 12th, 2020 AND, ACCORDING TO SAID REPORT, IS BASED ON A SEARCH PERIOD FROM DECEMBER 3rd, 1923 TO MARCH 9th, 2020. AGENT FILE No.: 51677.0001 AND File No: 20035327.

• THIS SITE LIES IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

• UNLESS OTHERWISE NOTED HEREON, ALL DOCUMENTS RELIED UPON FOR THIS SURVEY ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

• THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS OR OTHER RECORDED OR UNRECORDED, ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY, MAY NOT BE SHOWN ON THIS SKETCH.

• ALL HORIZONTAL CONTROL MEASUREMENTS ARE WITHIN A PRECISION OF 1:10,000 FEET.

• ROOF OVERHANGS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.

• THE PARCEL ID IS PER BCPA.NET(BROWARD COUNTY PROPERTY APPRAISER'S WEBSITE) PROPERTY APPRAISER'S PARCEL ID: 5142 22 10 0970

**SQUARE FEET:**

- GROSS PARCEL: 10817.18 ± SQUARE FEET / 0.248 ± ACRES
- BUILDING (EXTERIOR FOOTPRINT): 1419.18 ± SQUARE FEET
- CONCRETE IMPROVEMENTS: 947.46 ± SQUARE FEET
- NET(GROSS LESS BUILDING): 9398.00 ± SQUARE FEET
- NET(GROSS LESS BUILDING AND CONCRETE): 8450.54 ± SQUARE FEET

**FLOOD ZONE INFORMATION:**

- FLOOD ZONE: X'
  - COMMUNITY NAME AND NUMBER: CITY OF HOLLYWOOD 125113
  - MAP/PANEL NUMBER: 12011C0569 H -- EFFECTIVE DATE: 08/18/2014
- INFORMATION OBTAINED FOR FLOOD ZONE DESIGNATION IS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE RATE MAPS, FEMA'S NATIONAL FLOOD INSURANCE PROGRAM(NFIP), UNDER THE UNITED STATES DEPARTMENT OF HOMELAND SECURITY(DHS).

• THIS ENTIRE DOCUMENT CONTAINS PROPRIETARY INFORMATION, IS COPYRIGHTED, AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS, INC. OR THE SIGNING SURVEYOR IF COPIED BY OTHERS.

• UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS, UTILITIES OR OTHER UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED.

• FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE. USE CENTER OF SYMBOLS TO DETERMINE LOCATION,

- WALL TIES ARE TO THE FACE OF THE WALL AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.
- THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH.
- BASIS OF BEARINGS, IF ANY, ARE ASSUMED PER PLAT AND/OR LEGAL DESCRIPTION.

\* THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN APPROVAL BY THE CITY OF HOLLYWOOD FOR THE DESIGN ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF PROFESSIONAL SURVEYORS, INC.

**SEE SHEET 1 OF 2 FOR SIGNATURE AND ORIGINAL SEAL FOR THIS SURVEY.**

NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

THIS ENTIRE DOCUMENT CONTAINS PROPRIETARY INFORMATION, IS COPYRIGHTED, AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS, INC. OR THE SIGNING SURVEYOR WHEN COPIED BY OTHERS.

**ELEVATION NOTES:**

ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

ABBREVIATIONS RELATED TO VERTICAL CONTROL:

(NGVD'29).....NATIONAL GEODETIC VERTICAL DATUM OF 1929.

(NAVD'88).....NORTH AMERICAN VERTICAL DATUM OF 1988.

BM.....BENCHMARK

\*ORIGINATING BENCHMARK: BENCHMARK N°: 1896

DESCRIPTION: A C&GS DISC, ABOUT 0.1 MILE SOUTH ALONG THE FLA. EAST COAST RAILWAY FROM THE STATION AT FT. LAUD- DALE, 0.35 MILE NORTH OF MILEPOST 349, 223' SOUTH-WEST OF THE SOUTHWEST CORNER OF THE STATION, 24' SOUTHEAST CORNER OF AN OUTSIDE WAITING ROOM, 25.5 FEET EAST OF THE EAST RAIL OF THE NORTHBOUND TRACK 5' SOUTH OF THE EXTENDED CENTERLINE OF POLK STREET 6 1/2' WEST OF THE WEST CURB OF NORTH 21 AVENUE, 1' BELOW THE LEVEL OF THE TRACK AND SET IN THE TO OF A CONCRETE POST FLUSH WITH THE GROUND.

ELEVATION: 10.932'(NGVD'29) \*\*ELEVATION: 9.327'(NAVD'88)

**SITE BENCHMARKS:**

NAME: BM#1

DESCRIPTION: CUT NAIL 1'± S. OF N. CURB IN ASPHALT ROAD, IN LINE WITH WESTERLY PROPERTY LINE.

ELEVATION: 6.97' (NAVD'88)

NAME: BM#2 DESCRIPTION: CUT NAIL 1'± S. OF N. CURB IN ASPHALT ROAD, IN LINE WITH EASTERLY PROPERTY LINE.

ELEVATION: 6.86' (NAVD'88)

\* ORIGATION AND ORDER OF BENCHMARK IS BASED ON BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

\*\* CONVERSION FROM (NGVD'29) TO (NA.V.D.1988) IS -1.605'. ORTHOMETRIC HEIGHT CONVERSION FROM (NGVD'29) TO (NAVD'88) IS PER VERTCON AT NATIONAL GEODETIC SURVEY - NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION.

**TREE DETAIL**

D.B.H.=DIAMTER AT BREAST HEIGHT  
 CANOPY IS DEFINED AS FURTHEST DISTANCE FROM  
 THE CENTER OF THE D.B.H OF TREE.

#	TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION
1	TYPE:FICUS TREE	1.10'	19.0'	5.0'	GOOD
2	TYPE:FICUS TREE	0.70'	11.0'	2.0'	FAIR
3	TYPE:FICUS TREE	0.80'	12.0'	5.0'	FAIR
4	TYPE:FICUS TREE	0.91'	14.0'	8.0'	FAIR
5	TYPE:MANGO TREE	0.85'	17.0'	6.0'	GOOD
6	TYPE:ARECA PALM CLUSTER	1.60'	14.0'	5.0'	GOOD
7	TYPE:ARECA PALM CLUSTER	1.30'	10.0'	4.0'	GOOD
8	TYPE:SABAL PALM	1.30'	13.0'	4.0'	GOOD
9	TYPE:SABAL PALM	1.65'	19.0'	5.0'	GOOD
10	TYPE:CHRISTMAS PALM	0.44'	7.0'	3.0'	GOOD
11	TYPE:ARECA PALM CLUSTER	1.40'	14.6'	6.0'	GOOD
12	TYPE:CHRISTMAS PALM CLUSTER OF 3	0.90'	4.0'	9.5'	GOOD
13	TYPE:QUEEN PALM	0.77'	23.0'	5.0'	GOOD
14	TYPE:QUEEN PALM	0.83'	21.0'	4.0'	GOOD
15	TYPE:BLACK OLIVE TREE	0.92'	34.0'	10.0'	GOOD
16	TYPE:BLACK OLIVE TREE	1.42'	41.0'	14.0'	GOOD

**COMMON-SCIENTIFIC**

- ARECA PALM-DYPSIS LUTESCENS
- BLACK OLIVE TREE-BUCIDA BUCERAS
- CHRISTMAS PALM-ADONIDIA MERRILLII
- FICUS TREE-FICUS BENJAMINA
- MANGO TREE-MANGIFERA INDICA
- SABAL PALM-SABAL PALMETTO
- QUEEN PALM-SYAGRUS ROMANZOFFIANA

# PROPOSED MULTIFAMILY BUILDING – 1939 FUNSTON ST, HOLLYWOOD, FL 33020



**OWNER:**  
1939 FUNSTON LLC  
1939 FUNSTON STREET  
HOLLYWOOD, FL 33020  
(954) 907-3103

**ENGINEER OF RECORD:**  
VINCI ENGINEERS  
17070 COLLINS AVE #255  
SUNNY ISLES, FL 33160  
(786) 607-3797

**MEP & FIRE PROTECTION ENGINEERS:**  
VINCI ENGINEERS  
17070 COLLINS AVE #255  
SUNNY ISLES, FL 33160  
(786) 607-3797

**CIVIL ENGINEER:**  
GGB ENGINEERING, INC.  
2699 STIRLING ROAD, SUITE C-202  
FORT LAUDERDALE, FLORIDA 33312  
(954) 986-9899

**LANDSCAPE ARCHITECT:**  
BRUCE E. CUMMINGS P.A  
235 COMMERCIAL BLVD., STE. 203  
LAUDERDALE-BY-THE-SEA, FL 33308  
(954) 771-8184

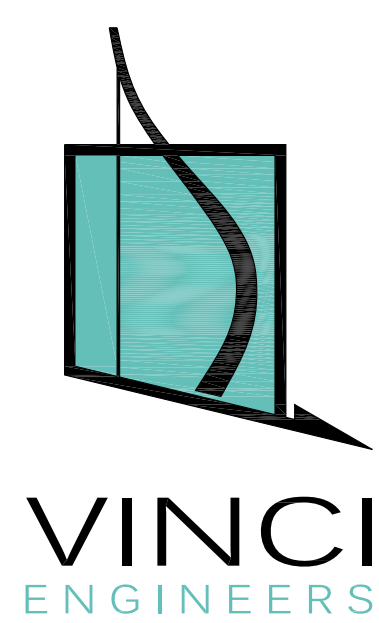
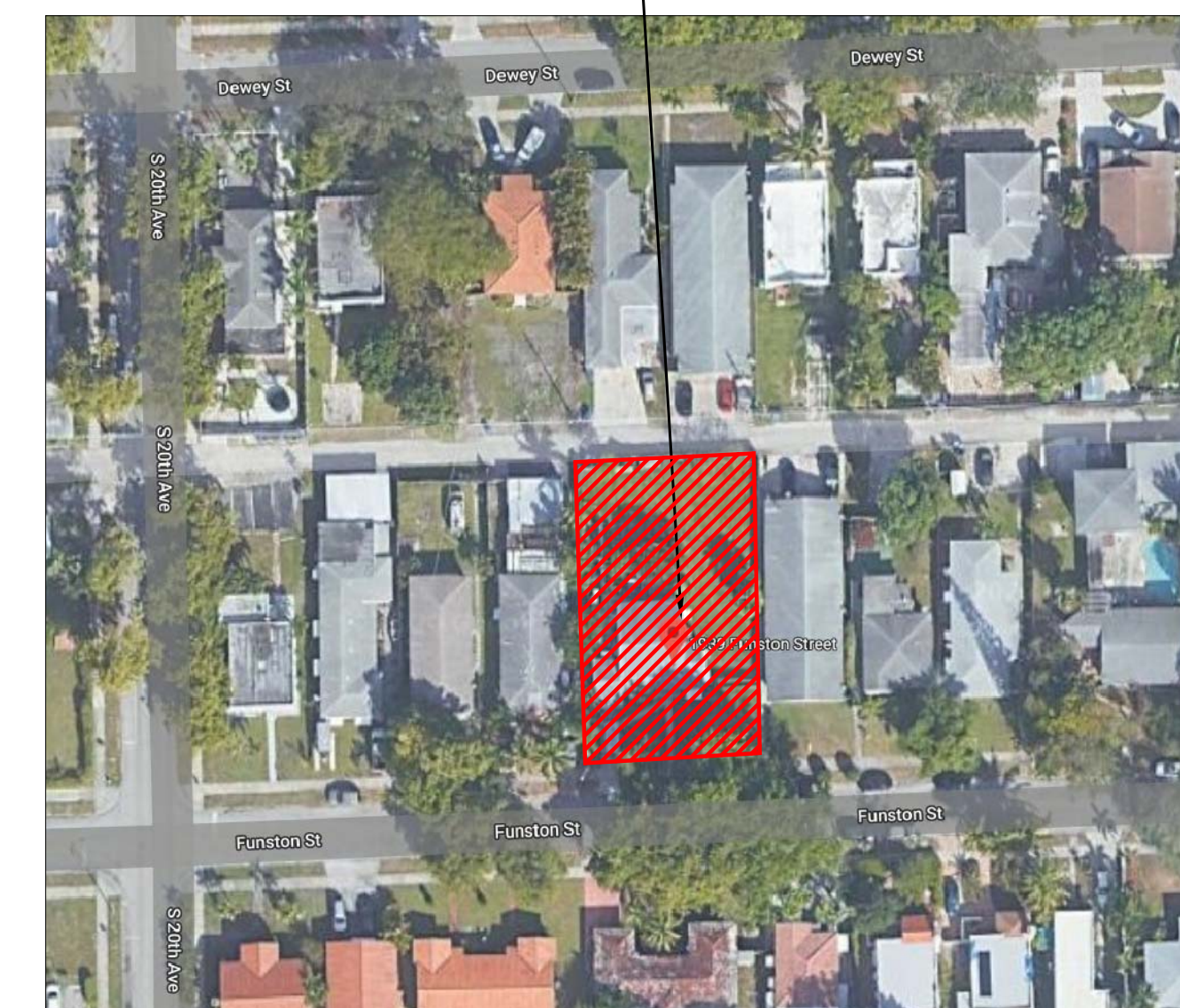
**PRELIMINARY TAC MEETING (COMMENTS RECEIVED):**  
JUNE 15, 2020

**PRELIMINARY TAC MEETING (COMMENTS RESPONSE):**  
JULY 6, 2020 (CANCELED)

**FINAL TAC MEETING:**  
SEPTEMBER 8, 2020

**BOARD MEETING:**

## LOCATION OF THE SITE



K-2 design, Inc  
17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

### REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE AS SHOWN  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

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#### STRUCTURAL

#### ELECTRICAL

#### MECHANICAL

#### FIRE PROTECTION

# CS

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PROPERTY ADDRESS:  
1939 FUNSTON ST, HOLLYWOOD, FL 33020

LEGAL DESCRIPTION:  
LOTS 5 AND 6, BLOCK 6, OF "HOLLYWOOD SOUTH SIDE ADDITION NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FEMA ZONE: X  
CITY ZONE: PS-1 (PARKSIDE LOW INTENSITY MULTIFAMILY DISTRICT)  
LAND USE: REGIONAL ACTIVITY CENTER (RAC)

SITE AREA: 10,817 FT

SETBACKS:	REQUIRED	PROVIDED
FRONT (SOUTH) SIDE	20'	20'-2"
REAR (NORTH) SIDE	20'	24'-9 1/4"
EAST SIDE	10'	10'
WEST SIDE	10'	10'

PERVIOUS AREA:	REQUIRED	PROVIDED
	2,163 SF (20%)	3,402 SF

OVERALL BUILDING HEIGHT: 4 STORIES, 45'  
PROPOSED 1 FLOOR HEIGHT – 11'-01"  
PROPOSED 2-4 FLOORS HEIGHT – 9'-11"

FAR 1.25  
ALLOWABLE BUILDING AREA: 1.25\*10,817 = 13,521 SF

BUILDING FOOTPRINT: 5,123 SF

PROPOSED USE: RESIDENTIAL APARTMENTS

PROPOSED BUILDING AREA: 13,129 SF

TOTAL APARTMENTS: 15

UNITS PER FLOOR:

GROUND FLOOR: PARKING AND LOBBY

2ND FLOOR	BEDROOM	BATHROOM
MODEL A (201)	1	1
MODEL B (202)	2	1
MODEL C (203)	1	1
MODEL D (204)	2	2
MODEL E (205)	1	1

3RD FLOOR	BEDROOM	BATHROOM
MODEL A (301)	1	1
MODEL B (302)	2	1
MODEL C (303)	1	1
MODEL D (304)	2	2
MODEL E (305)	1	1

4TH FLOOR	BEDROOM	BATHROOM
MODEL A (401)	1	1
MODEL B (402)	E	1
MODEL C (403)	1	1
MODEL D (404)	2	2
MODEL E (405)	1	1

UNIT SQUARE FOOT AREAS:	A/C AREA	BALCONIES	A/C + BALCONIES
MODEL A, 1 BEDROOM (201,301,401)	678 SF	33 SF	711 SF
MODEL B, 2 BEDROOMS (202, 302,402)	783 SF	33 SF	816 SF
MODEL C, 1 BEDROOM (203,303,403)	680 SF	33 SF	713 SF
MODEL D, 2 BEDROOMS (204,304,404)	888 SF	33 SF	921 SF
MODEL E, 1 BEDROOM (205,305,405)	674 SF	33 SF	707 SF

UNIT SIZE:	MINIMUM	AVERAGE
REQUIRED	300 SF	500 SF
PROVIDED	674 SF	741 SF

PARKING CALCULATION:

TOTAL 2 BEDROOM APARTMENTS: 4, 4\*1.5 = 6 SPACES  
TOTAL 1 BEDROOM APARTMENTS: 11, 11\*1 = 11 SPACES  
PARKING REQUIRED: 6 + 11 + 2 GUEST (1HD) = 19 SPACES  
TOTAL PARKING PROVIDED: 18 REG + 1 HD = 19 SPACES

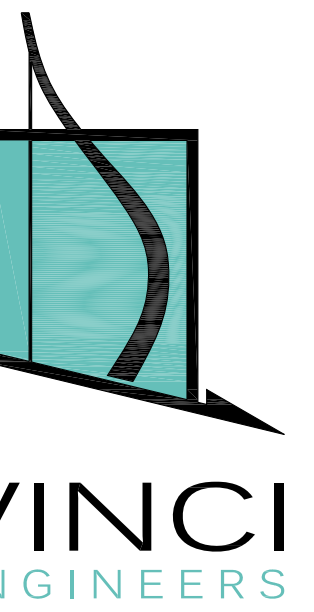
FOOT-CANDLE LEVEL AT ALL PROPERTY LINES: 0.5

RESIDENTIAL GREEN BUILDING PRACTICES:

- NO GARBAGE DISPOSAL
- ALL ENERGY STAR APPLIANCES
- NO SHOWER WITH MORE THAN ONE SHOWER HEAD, AND ALL LOW FLOW SHOWER HEADS
- WASHER AND DRYER OUTSIDE OF AIR-CONDITIONED SPACE
- CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
- ENERGY EFFICIENT (LOW E) WINDOWS
- ENERGY EFFICIENT DOORS
- ENERGY STAR APPROVED ROOFING MATERIALS
- PROGRAMMABLE THERMOSTATS
- DUAL FLUSH TOILETS
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING
- ALL HOT WATER PIPES INSULATED
- MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT
- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
- RECYCLE MATERIALS FROM DEMOLITION AND CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE

NOTES:

- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
- EACH ELECTRICALLY ILLUMINATED SIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT
- ALL THE DOORS TO THE STAIRS WILL HAVE SIZEABLE WINDOWS
- EXTERNAL LIGHTING SHOULD BE FULLY SHIELDED AND MEET THE REQUIREMENTS OF THE INTERNATIONAL DARK SKY ASSOCIATION
- NO TREE REMOVALS WITHOUT A TREE REMOVAL SUB-PERMIT
- INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE 12.3.2.1 AND 12.3.2.2
- THE AMERICAN CRIME PREVENTION INSTITUTE RECOMMENDS THE FOLLOWING LEVELS OF EXTERNAL ILLUMINATION:
  - PARKING LOTS 3-5-FOOT CANDLES
  - WALKING SURFACES 3-FOOT CANDLES
  - RECREATIONAL AREAS 2-3-FOOT CANDLES
  - BUILDING ENTRYWAYS 5-FOOT CANDLES
 E. THESE LEVELS MAY BE SUBJECT TO REDUCTION IN SPECIFIC CIRCUMSTANCES WHERE AFTER HOURS USE IS RESTRICTED  
 F. THE LIGHTING FIXTURE IDENTIFICATION SYSTEM SHOULD ENABLE ANYONE TO EASILY REPORT A MALFUNCTIONING FIXTURE  
 G. EXTERIOR LIGHTING SHOULD BE CONTROLLED BY AUTOMATIC DEVICES (PREFERABLY BY PHOTOCCELL).  
 H. EXTERIOR LIGHTING FIXTURE LENSES SHOULD BE FABRICATED FROM POLYCARBONATE, BREAK-RESISTANT MATERIALS  
 I. PLANT MATERIALS, PARTICULARLY TREE FOLIAGE, SHOULD NOT INTERFERE WITH OR OBSCURE EXTERIOR LIGHTING  
 J. LIGHT FIXTURES BELOW 10' IN GRADE SHOULD BE DESIGNED TO MAKE ACCESS TO INTERNAL PARTS DIFFICULT (I.E. SECURITY SCREWS, LOCKED ACCESS PANELS)
- EXTERIOR DOORS NOT USED AS DESIGNATED ENTRY POINTS, SHOULD BE LOCKED TO PREVENT ENTRY FROM THE EXTERIOR
- LOBBY SHOULD BE ACCESSIBLE TO RESIDENTS ONLY
- CONVEX MIRRORS SHOULD BE USED IN CORNERS AND IN STAIRWELLS



K-2 design, Inc  
17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE AS SHOWN  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

T-1

General Notes

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FILE: 20-1004  
 REF: 20B-05-1939  
 FOR: ALEKSEI  
 DATE: 02-07-2020

PROPERTY ADDRESS: 1939 FUNSTON STREET, HOLLYWOOD, FLORIDA. 33020

PROPERTY APPRAISER'S PARCEL ID: 42 22 10 0970

**LEGAL DESCRIPTION:**

LOTS 5 AND 6, BLOCK 6, OF "HOLLYWOOD SOUTH SIDE ADDITION NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE: X' -- COMMUNITY NUMBER: CITY OF HOLLYWOOD 125113 -- MAP/PANEL NUMBER: 12011C0569 H -- EFFECTIVE DATE: 08/18/2014

**ELEVATION NOTES:**

ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

ABBREVIATIONS RELATED TO VERTICAL CONTROL:

(NGVD'29).....NATIONAL GEODETIC VERTICAL DATUM OF 1929.

(NAVD'88).....NORTH AMERICAN VERTICAL DATUM OF 1988.

BM.....BENCHMARK

\*ORIGINATING BENCHMARK: BENCHMARK N°: 1896

DESCRIPTION: A C&GS DISC, ABOUT 0.1 MILE SOUTH ALONG THE FLA. EAST COAST RAILWAY FROM THE STATION AT FT. LAUD- DALE, 0.35 MILE NORTH OF MILEPOST 349, 223' SOUTH-WEST OF THE SOUTHWEST CORNER OF THE STATION, 24' SOUTHEAST CORNER OF AN OUTSIDE WAITING ROOM, 25.5 FEET EAST OF THE EAST RAIL OF THE NORTHBOUND TRACK 5' SOUTH OF THE EXTENDED CENTERLINE OF POLK STREET 6 1/2' WEST OF THE WEST CURB OF NORTH 21 AVENUE, 1' BELOW THE LEVEL OF THE TRACK AND SET IN THE TO OF A CONCRETE POST FLUSH WITH THE GROUND.

ELEVATION: 10.932'(NGVD'29) \*\*ELEVATION: 9.327'(NAVD'88)

**SITE BENCHMARKS:**

NAME: BM#1

DESCRIPTION: CUT NAIL 1± S. OF N. CURB IN ASPHALT ROAD, IN LINE WITH WESTERLY PROPERTY LINE.

ELEVATION: 6.97' (NAVD'88)

NAME: BM#2 DESCRIPTION: CUT NAIL 1± S. OF N. CURB IN ASPHALT ROAD, IN LINE WITH EASTERLY PROPERTY LINE.

ELEVATION: 6.86' (NAVD'88)

\* ORIGIN AND ORDER OF BENCHMARK IS BASED ON BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

\*\* CONVERSION FROM (NGVD'29) TO (NA.V.D.1988) IS -1.605'. ORTHOMETRIC HEIGHT CONVERSION FROM (NGVD'29) TO (NAVD'88) IS PER VERTCON AT NATIONAL GEODETIC SURVEY - NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION.

**LEGEND & ABBREVIATIONS:**

- A/C.....AIR CONDITIONER
- BM.....BENCHMARK
- (CP).....CALCULATED PER PLAT
- CNA.....CORNER NOT ACCESSIBLE
- CONC.....CONCRETE
- EOP.....EDGE OF PAVEMENT
- FC.....FENCE CORNER
- FDH.....FOUND DRILL HOLE
- FE.....FENCE ENDS
- F.F.....FINISHED FLOOR
- FIP/FIR.....FOUND IRON PIPE/ROD
- FN.....FOUND NAIL
- FN&D.....FOUND NAIL AND DISC
- FPKN.....FOUND PARKER KALON NAIL
- ID.....IDENTIFICATION
- (M).....MEASURED
- N°.....ADDRESS NUMBER
- (P).....PER PLAT
- PB.....PLAT BOOK
- PG.....PAGE
- P.I.....POINT OF INTERSECTION
- (R).....RECORDED
- R/W.....RIGHT-OF-WAY
- SIR.....SET 1/2" IRON ROD
- SND.....SET NAIL AND DISC
- (TYP.).....TYPICAL
- ±.....MORE OR LESS

- ASPHALT PAVING
- MASONRY OR CONCRETE BLOCK WALL
- CONCRETE
- CONCRETE PAVERS
- OVERHANG(O/H) OR ROOF

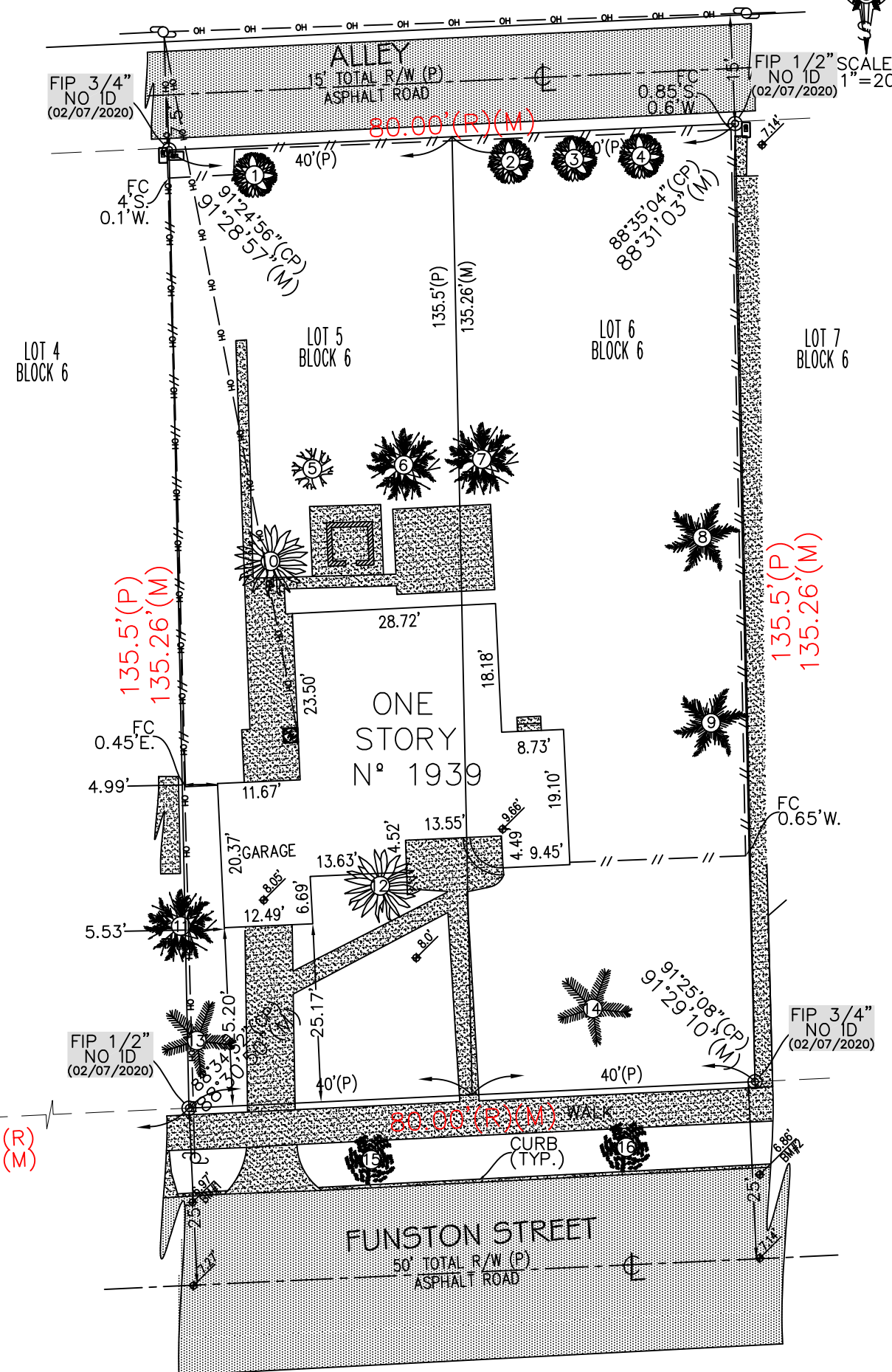
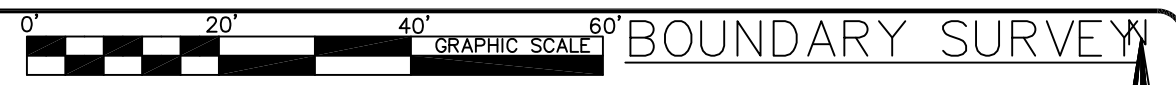
- COMMUNICATIONS BOX 9/8 OFFSET
- CATCH BASIN (CB)
- SEWER MANHOLE
- UTILITY POLE (UP)
- LIGHT POLE (LP)
- WATER METER (WM)
- UTILITY ANCHOR
- FIRE HYDRANT (FH)
- CENTER LINE
- PROPERTY LINE
- SEWER CLEANOUT
- GAS METER
- ELECTRIC METER (EM)
- ELECTRIC BOX (FPL)
- PLANTER OR PLANTED
- WELL
- AIR CONDITIONER
- WATER VALVE RISER
- BOUNDARY CORNER
- ELEVATION
- POINT OF ELEVATION
- POINT
- WATER HEATER
- INDICATES DIMENSION IS NOT TO SCALE
- IRRIGATION PUMP
- POOL EQUIPMENT
- HANDICAP PARKING (HCP)
- CONCRETE PARKING STOP
- METAL BOLLARD
- TRAFFIC SIGNAL BOX

**OVERHEAD CABLES(OH)**

- POLYVINYLCHLORIDE FENCE (PVCF)
- WIRE OR CHAIN LINK FENCE (CLF)
- WOOD FENCE (WF)
- UTILITY EASEMENT LINE
- METAL FENCE (MF)

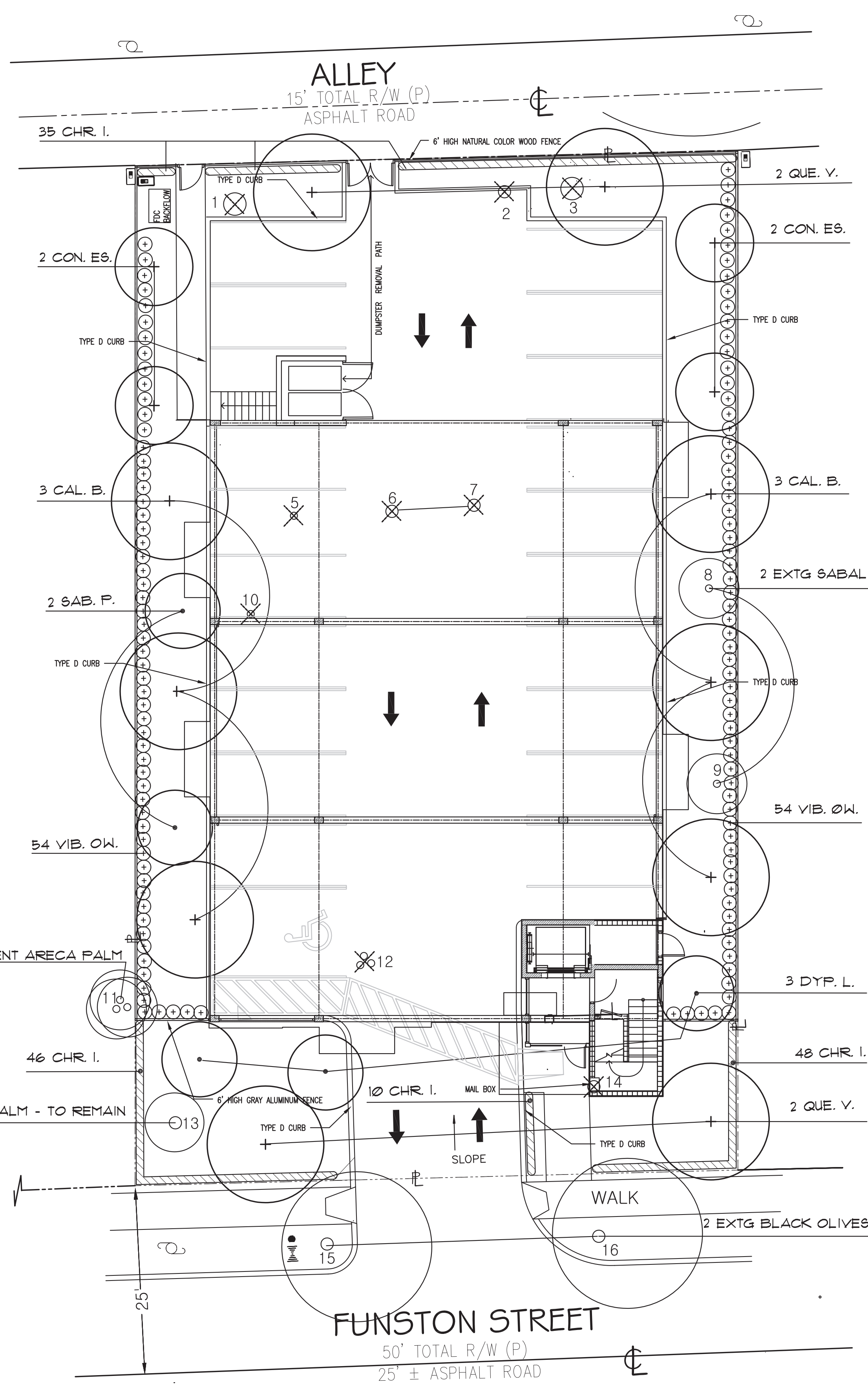
TREE DETAIL					
D.B.H.=DIAMTER AT BREAST HEIGHT CANOPY IS DEFINED AS FURTHEST DISTANCE FROM THE CENTER OF THE D.B.H OF TREE.					
#	TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION
1	TYPE: FICUS TREE	1.10'	19.0'	5.0'	GOOD
2	TYPE: FICUS TREE	0.70'	11.0'	2.0'	FAIR
3	TYPE: FICUS TREE	0.80'	12.0'	5.0'	FAIR
4	TYPE: FICUS TREE	0.91'	14.0'	8.0'	FAIR
5	TYPE: MANGO TREE	0.85'	17.0'	6.0'	GOOD
6	TYPE: ARECA PALM CLUSTER	1.60'	14.0'	5.0'	GOOD
7	TYPE: ARECA PALM CLUSTER	1.30'	10.0'	4.0'	GOOD
8	TYPE: SABAL PALM	1.30'	13.0'	4.0'	GOOD
9	TYPE: SABAL PALM	1.65'	19.0'	5.0'	GOOD
10	TYPE: CHRISTMAS PALM	0.44'	7.0'	3.0'	GOOD
11	TYPE: ARECA PALM CLUSTER	1.40'	14.6'	6.0'	GOOD
12	TYPE: CHRISTMAS PALM CLUSTER OF 3	0.90'	4.0'	9.5'	GOOD
13	TYPE: QUEEN PALM	0.77'	23.0'	5.0'	GOOD
14	TYPE: QUEEN PALM	0.83'	21.0'	4.0'	GOOD
15	TYPE: BLACK OLIVE TREE	0.92'	34.0'	10.0'	GOOD
16	TYPE: BLACK OLIVE TREE	1.42'	41.0'	14.0'	GOOD

- COMMON-SCIENTIFIC**
- ARECA PALM-DYSPIS LUTESCENS
  - BLACK OLIVE TREE-BUCIDA BUCERAS
  - CHRISTMAS PALM-ADONIDIA MERRILLII
  - FICUS TREE-FICUS BENJAMINA
  - MANGO TREE-MANGIFERA INDICA
  - SABAL PALM-SABAL PALMETTO
  - QUEEN PALM-SYAGRUS ROMANZOFFIANA



SIGNATURE BLOCK

UNLESS OTHERWISE SHOWN HEREON, THE FOLLOWING NOTES APPLY:  
 \* RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT AND POINTS ARE WITHIN 0.1' POSITIONAL TOLERANCE.  
 \* THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY, MAY NOT BE SHOWN ON THIS SKETCH.  
 \* UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.  
 \* ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD'88).  
 \* WALL TIES ARE TO THE FACE OF THE WALL AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.  
 \* THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH.  
 \* BASIS OF BEARINGS, IF ANY, ARE ASSUMED PER PLAT AND/OR LEGAL DESCRIPTION.  
 \* FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE.  
 \* THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN DESIGN ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF THIS FIRM.

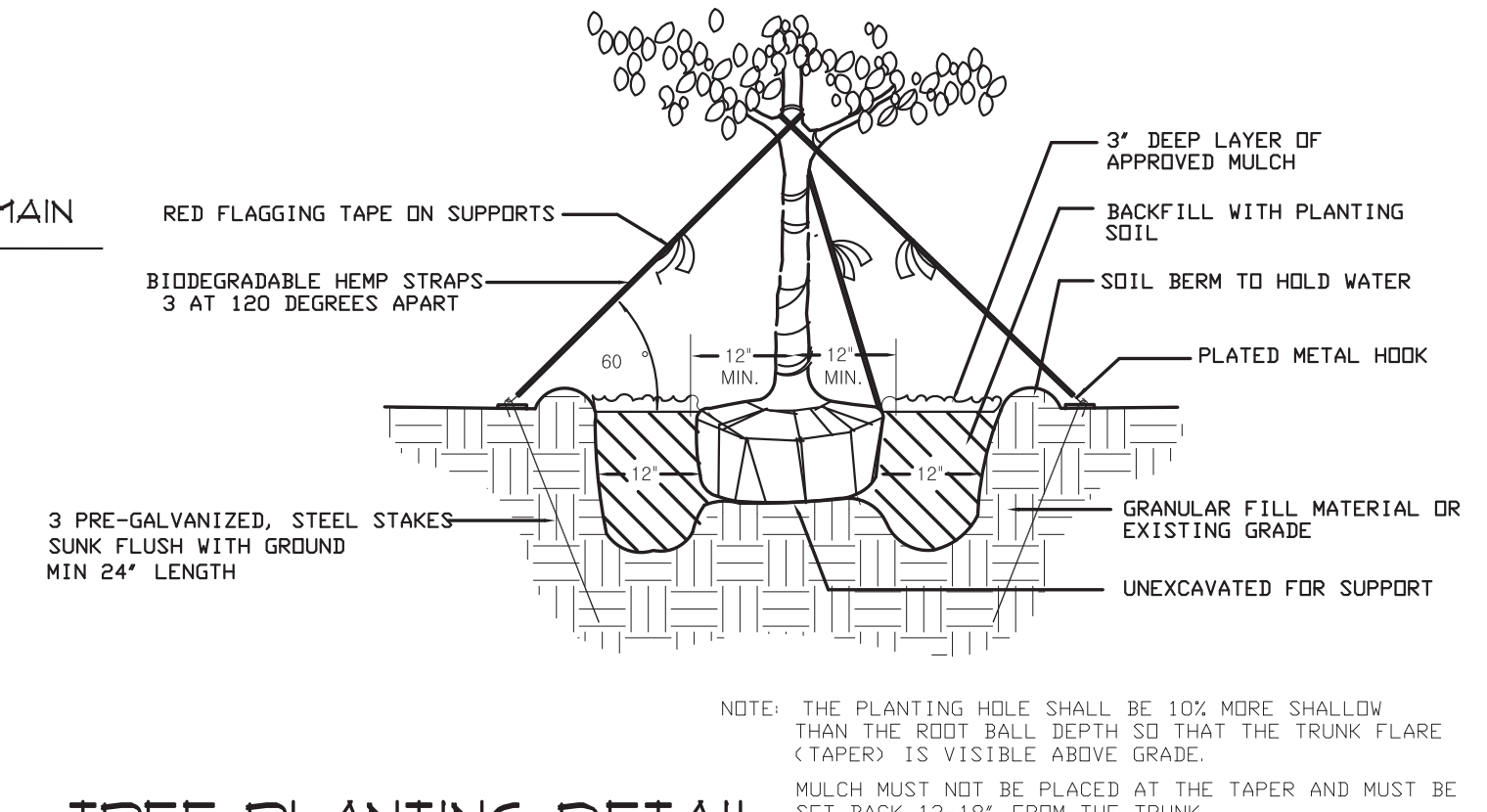


**EXISTING TREES**

#	TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION	RESOLUTION
1	TYPE: FICUS TREE	1.10'	19.0'	5.0'	GOOD	REMOVE
2	TYPE: FICUS TREE	0.70'	11.0'	2.0'	FAIR	REMOVE
3	TYPE: FICUS TREE	0.80'	12.0'	5.0'	FAIR	REMOVE
4	TYPE: FICUS TREE	0.91'	14.0'	8.0'	FAIR	REMOVE
5	TYPE: MANGO TREE	0.85'	17.0'	6.0'	GOOD	REMOVE
6	TYPE: ARECA PALM CLUSTER	1.60'	14.0'	5.0'	GOOD	REMOVE
7	TYPE: ARECA PALM CLUSTER	1.30'	10.0'	4.0'	GOOD	REMOVE
8	TYPE: SABAL PALM	1.30'	13.0'	4.0'	GOOD	REMAIN
9	TYPE: SABAL PALM	1.65'	19.0'	5.0'	GOOD	REMAIN
10	TYPE: CHRISTMAS PALM	0.44'	7.0'	3.0'	GOOD	REMOVE
11	TYPE: ARECA PALM CLUSTER	1.40'	14.6'	6.0'	GOOD	REMAIN
12	TYPE: CHRISTMAS PALM CLUSTER OF 3	0.90'	4.0'	9.5'	GOOD	REMOVE
13	TYPE: QUEEN PALM	0.77'	23.0'	5.0'	GOOD	REMAIN
14	TYPE: QUEEN PALM	0.83'	21.0'	4.0'	GOOD	REMOVE
15	TYPE: BLACK OLIVE TREE	0.92'	34.0'	10.0'	GOOD	REMAIN
16	TYPE: BLACK OLIVE TREE	1.42'	41.0'	14.0'	GOOD	REMAIN

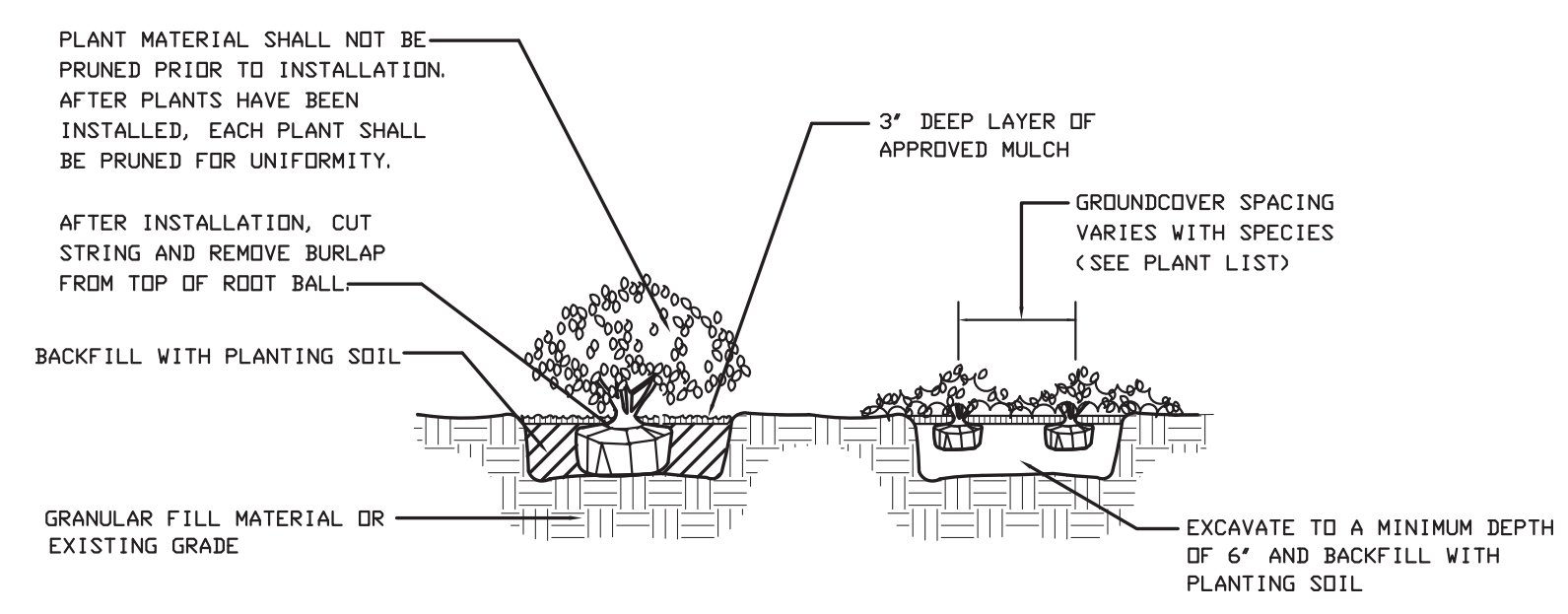
**HOLLYWOOD LANDSCAPE CODE**

	REQUIRED	PROVIDED
1. STREET TREES		
1 TREE/50 LF	2	2
2. ON GRADE PARKING LOT		
1 TREE/20 LF	2	4
3. 15% ON GRADE PARKING LOT LANDSCAPED	YES	YES
4. OPEN SPACE- 3463 SF		
1 TREE/1000 SF	3	6



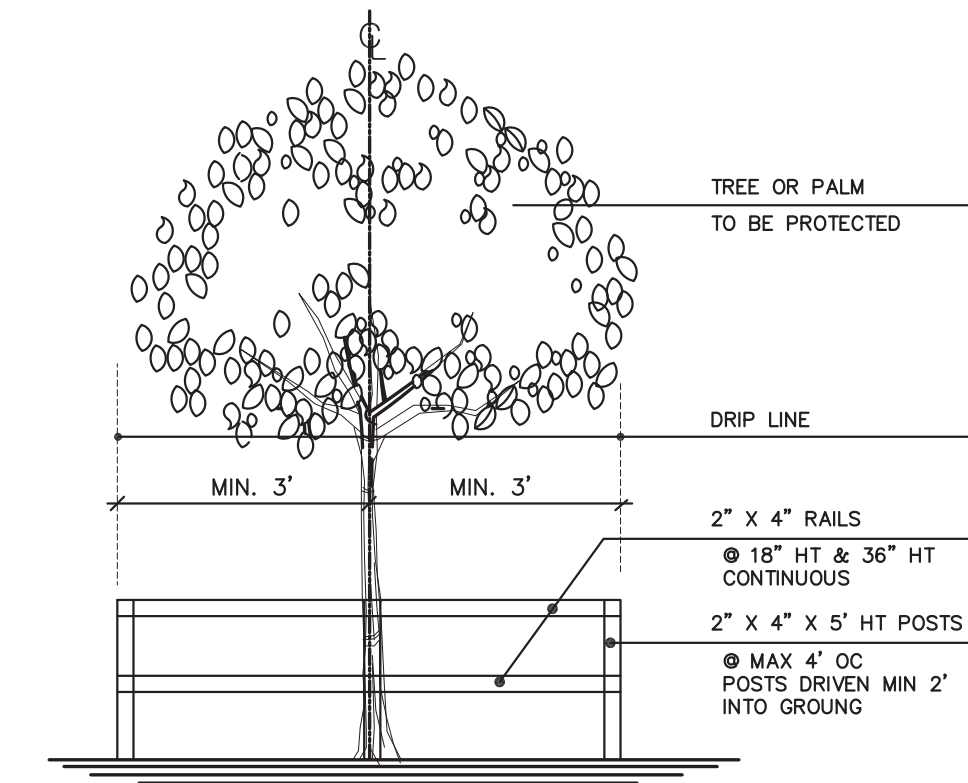
**TREE PLANTING DETAIL**

FOR TREES UP TO 16' HT. N.T.S.



**SHRUB PLANTING DETAIL**

N. T. S.



**TREE BARRIER DETAIL**

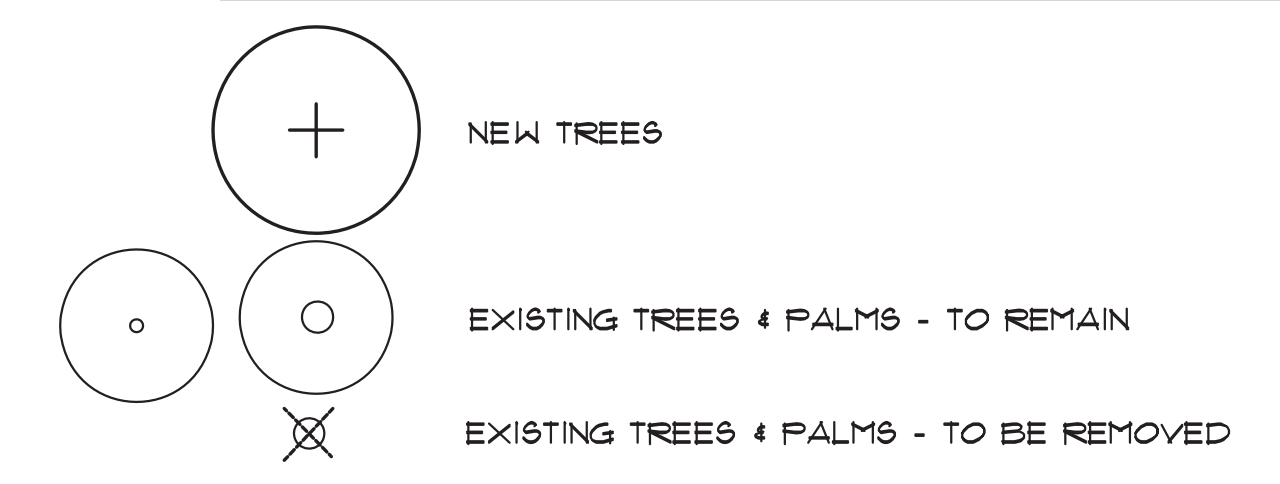
**PLANT LIST**

TREES & PALMS				
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CAL. B.	6	CALOPYLLUM BRASILIENSE	BEAUTYLEAF	12' X 5-6'
CON. ES.	4	CONDICARPUS E. SERICEUS	SILVER BUTTWOOD	8-9' X 4-5' /MIN 4' CT & MULTISEM
DYP. L.	3	DYSPIS LUTESCENS	ARECA PALMS	8-9' X 5-6' /MIN 5 TRK/FULL
QUE. V.	4	QUERCUS VIRGINIANA	LIVE OAK	12' X 5-6'
SAB. P.	2	SABAL PALMETTO	SABAL PALMS	14-16' HT. /FULL
SHRUBS				
CHR. I.	139	CHRYSOBALNUS ICACO	COCOPLUM	2-3' X 2' @ 24\"/>

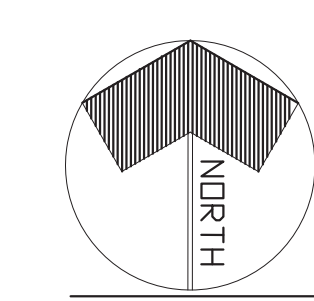
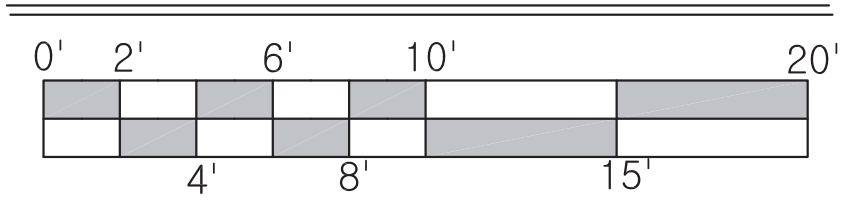
**LANDSCAPE NOTES**

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, PARTS I & II, 1973 & 1975.
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDRGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED FOR 180 DAYS- SHRUBS 90 DAYS.
- APPLY 2\"/>

**TREE LEGEND**



**GRAPHIC SCALE 1\"/>**



**EXISTING CONDITIONS WITH NEW LANDSCAPE**

ISSUE / REVISION  
**27 APRIL 2020**  
 1 JULY 2020  
 2 JULY 2020  
 4 AUG 2020  
 21 AUG 2020

BRUCE E. CUMMINGS P.A.  
 LANDSCAPE ARCHITECTS  
 LAUDERDALE BY THE SEA, FLA  
 954/771-8184

SEAL

NEW & EXISTING LANDSCAPE FOR  
**APARTMET BUILDING**  
 1936 FUNSTON STREET  
 HOLLYWOOD, FLORIDA

SHEET NO.  
**1-1**

C:\Users\3226\3226\Project 1.dwg



GENERAL IRRIGATION NOTES

- This design is diagrammatic. All piping, valves, etc., shown within paved areas or outside property lines is for design clarification only and shall be installed in landscaped areas within the property boundaries where possible. No irrigation equipment may be installed outside property lines unless otherwise directed.
- This system has been designed to conform with the requirements of the applicable codes. Should any conflict exist, the requirements of the codes shall prevail.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per the manufacturer's recommendations and specifications.
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of the larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The Irrigation Contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc. The Irrigation Contractor shall also familiarize himself with the landscape plan and coordinate the installation with the Landscape Contractor.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the Irrigation Contractor shall assume full responsibility for any changes necessary.
- The Irrigation Contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with no overspray on to walks, streets, walls, etc. To eliminate overspray, low angle and variable arc nozzles may be substituted for standard spray nozzles.
- All pipe and wire installed beneath paving shall be sleeved in Schedule 40 PVC pipe.
- All threaded PVC joints shall be made using Schedule 80 PVC nipple stubs and solvent weld couplings. No threaded adapters will be allowed. All other PVC joints shall be of the same type as the specified pipe, i.e., 'O' ring or solvent weld.
- All above ground piping shall be schedule 40 PVC, unless otherwise specified.
- All sprinkler heads with flow rates of 7 GPM or less shall be mounted on flex type swing joints. Flex type pipe shall be used for swing joints only and not lateral lines. All sprinkler heads with flow rates greater than 7 GPM shall be mounted on PVC swing joints of the same size as the sprinkler head inlet.
- All sprinkler heads shown as solid symbols may be mounted on schedule 40 PVC risers. Unless otherwise specified shrub type heads may be substituted for 4" (or less) pop-up heads. Riser height to be determined by plant material. Riser extenders may be used on pop-up heads. All shrub risers shall be Schedule 40 PVC and painted flat or satin black. Risers shall be supported with rebar or angle iron secured by stainless steel clamps. All sprinkler heads shown on risers adjacent to public thoroughfares shall be installed 12" (min) from edge of pavement.
- This system has been designed to provide a 100% coverage with 100% overlap. All water used for irrigation shall be rust free. If a chemical injection system is used in a well water system, the well shall be protected in accordance with Florida state law.

LEGEND

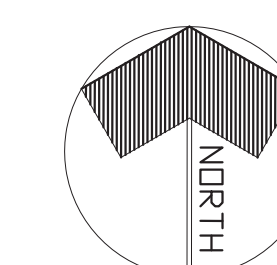
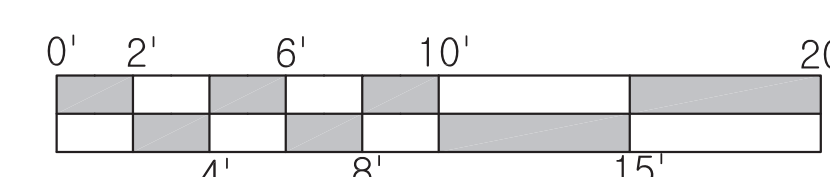
Symbol	Manufacturer	Part No.	Description
⊕		2"min	Supply well - capable of continuously producing 45gpm free of sand and debris.
P	Goulds	GT15	1 1/2 hp pump with motor controls, SCH 40 PVC suction line to well, rust inhibiting system, check valve, slab, and prefabricated enclosure. Secure pump and enclosure to slab with threaded fasteners and lead anchors.
☒	Rain Bird	ESP-4M	Controller-mount in pump enclosure or as directed.
●	Hunter	Mini-Click II	Rain switch-mount at pump site or as directed.
●	Toro	P220-26-06	1 1/2" solenoid valve with valve box.
—		SDR26 / Class160	PVC pipe
—		14AWG Type UF	Direct burial irrigation wire.
Not Shown			

SPRINKLER HEAD SCHEDULE

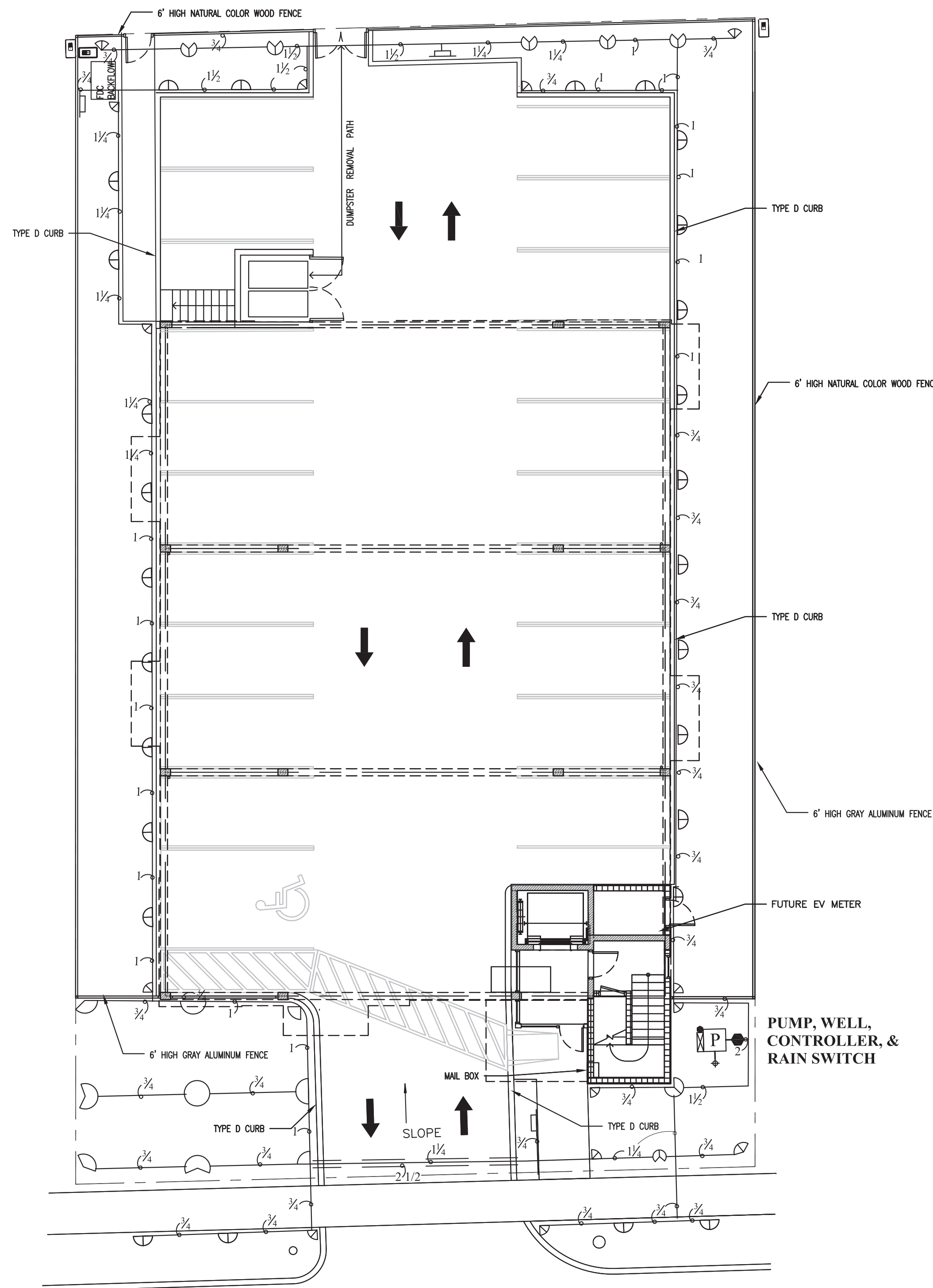
Symbol	Toro Part No.	Type	PSI	GPM	Rad.
⊕	570Z-6P-10-Q-PC	6" pop-up spray	30-40	.33	10'
⊕	570Z-6P-10-T-PC	6" pop-up spray	30-40	.44	10'
⊕	570Z-6P-10-H-PC	6" pop-up spray	30-40	.66	10'
⊕	570Z-6P-10-TT-PC	6" pop-up spray	30-40	.89	10'
⊕	570Z-6P-10-TQ-PC	6" pop-up spray	30-40	.99	10'
⊕	570Z-6P-12-Q-PC	6" pop-up spray	30-40	.48	12'
⊕	570Z-6P-12-T-PC	6" pop-up spray	30-40	.64	12'
⊕	570Z-6P-12-H-PC	6" pop-up spray	30-40	.96	12'
⊕	570Z-6P-12-TT-PC	6" pop-up spray	30-40	1.28	12'
⊕	570Z-6P-4-EST-PC	6" pop-up spray	30-40	.43	4' X 15'
⊕	570Z-6P-4-SST-PC	6" pop-up spray	30-40	.88	4' X 30'

THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F, CONSTRUCTION AND BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, OF THE FLORIDA BUILDING CODE.

GRAPHIC SCALE 1" = 10'



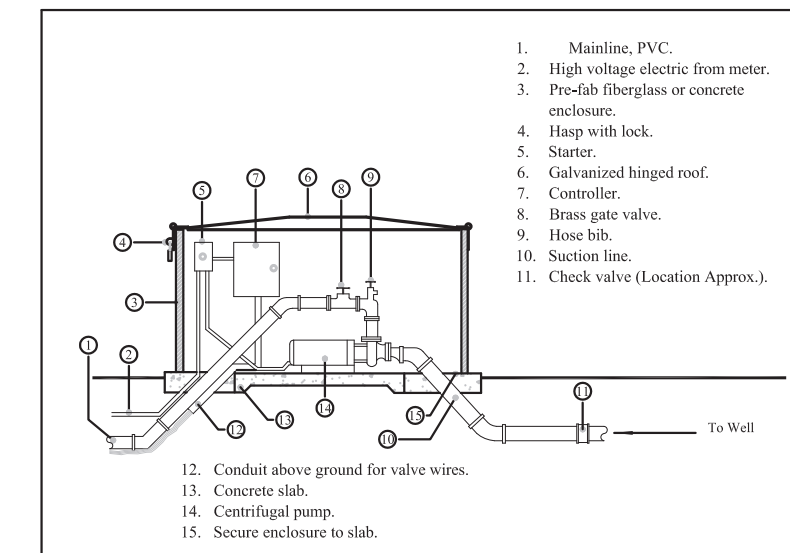
EXISTING CONDITIONS WITH NEW IRRIGATION



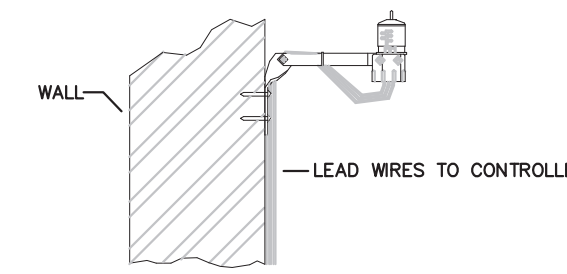
SPRINKLER ZONE SUMMARY

Zone No.	Head Type	GPM	Valve Size
1	Spray	44	1 1/2"

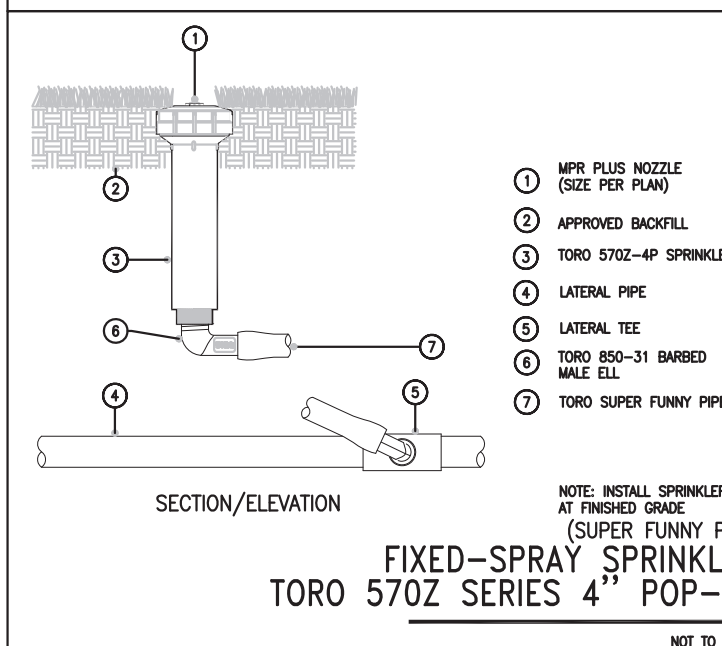
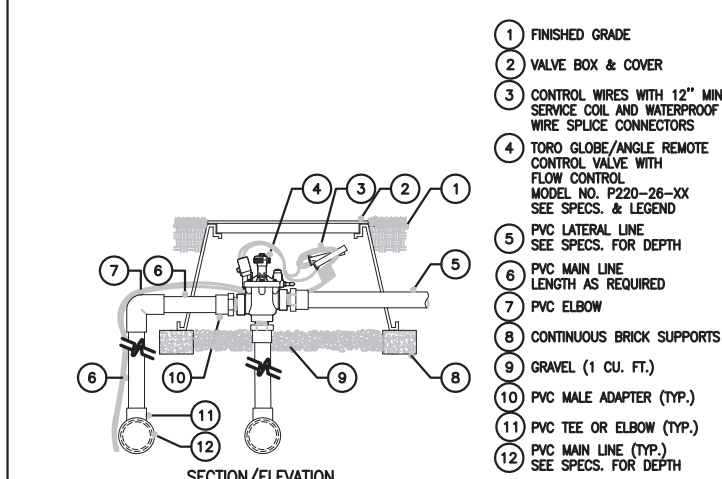
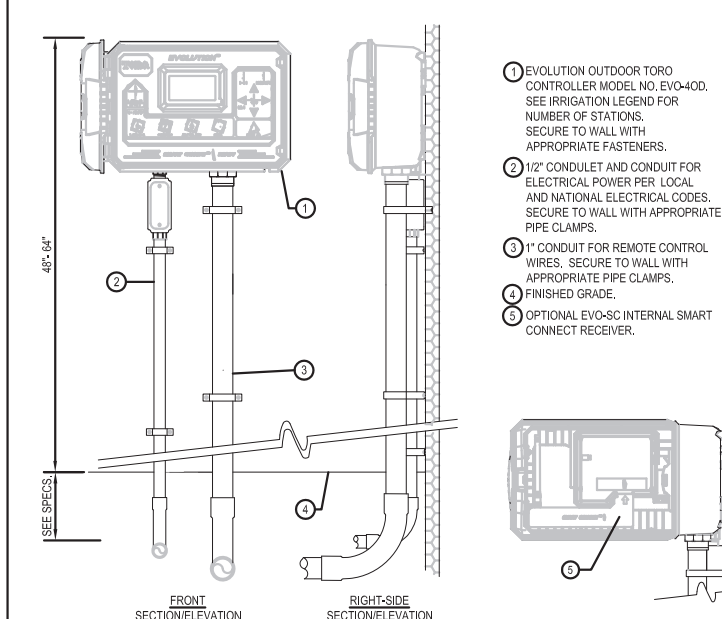
Total head count: 45 Sprays



PUMP STATION DETAIL

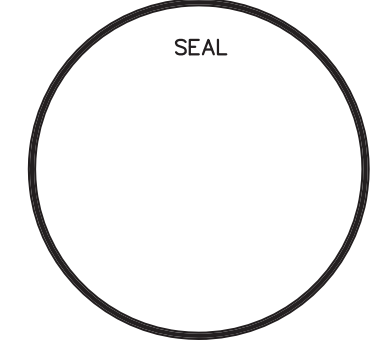


NOTE: MOUNT MINI-CLIK ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN THE PATH OF SPRINKLER SPRAY.



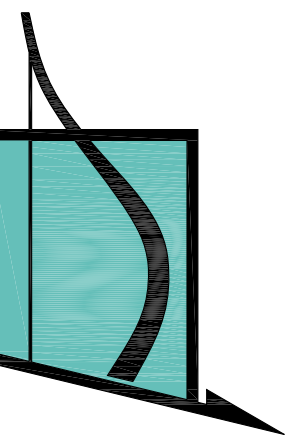
ISSUE / REVISION
8 MAY 2020
4 AUG 2020
22 AUG 2020

BRUCE E. CUMMINGS P.A.  
LANDSCAPE ARCHITECTS  
LAUDERDALE BY THE SEA, FLA  
954-771-8184



HOLLYWOOD, FLORIDA

NEW & EXISTING LANDSCAPE FOR  
APARTMENT BUILDING  
1936 FUNGTON STREET



VINCI  
ENGINEERS

K-2 design, Inc  
17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN   
CLIENT APPROVAL   
LANDLORD APPROVAL   
BIDDING   
PERMIT SET   
FOR CONSTRUCTION   
OWNER REQUESTED REVISION

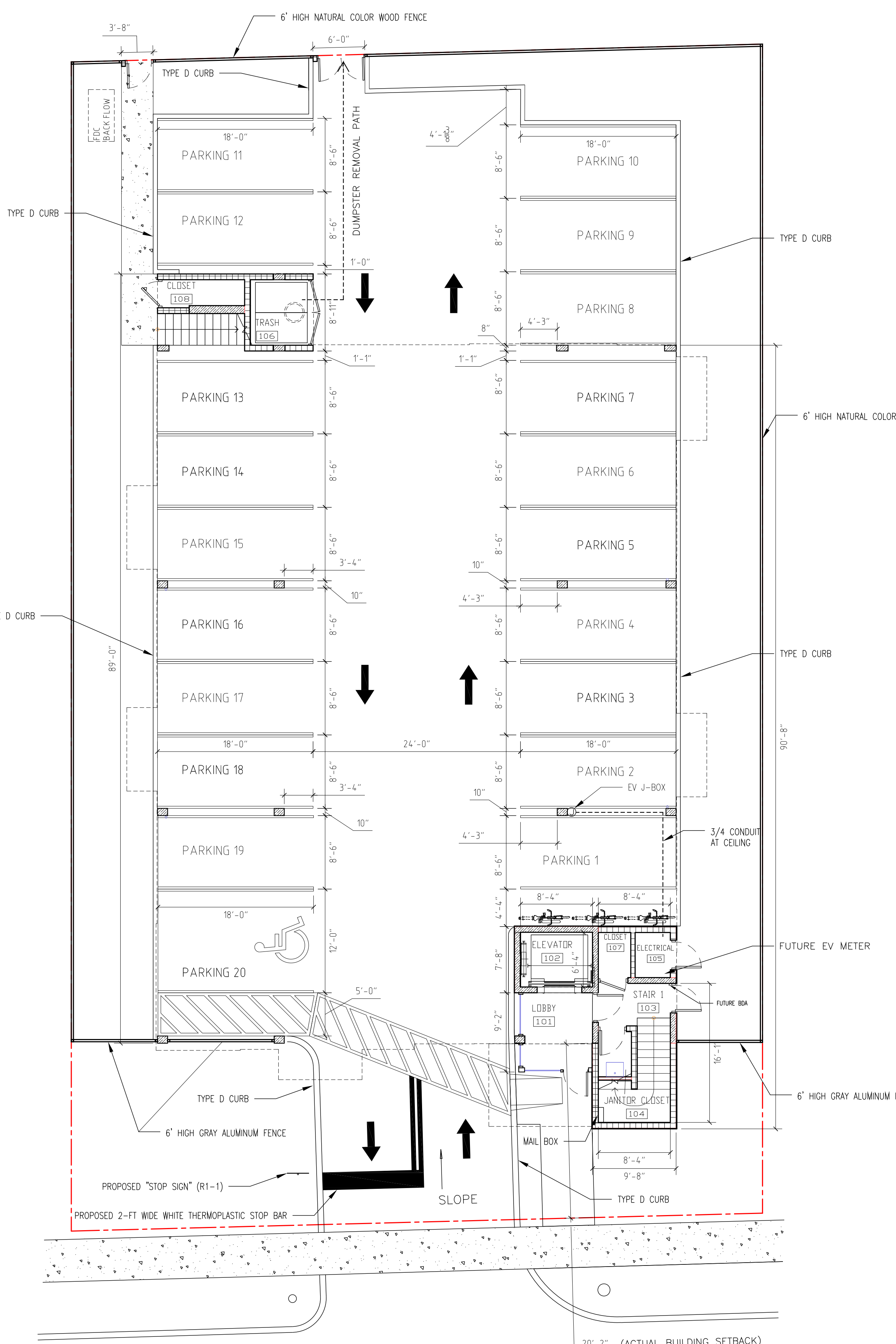
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE 1/8" = 1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

A-1.0

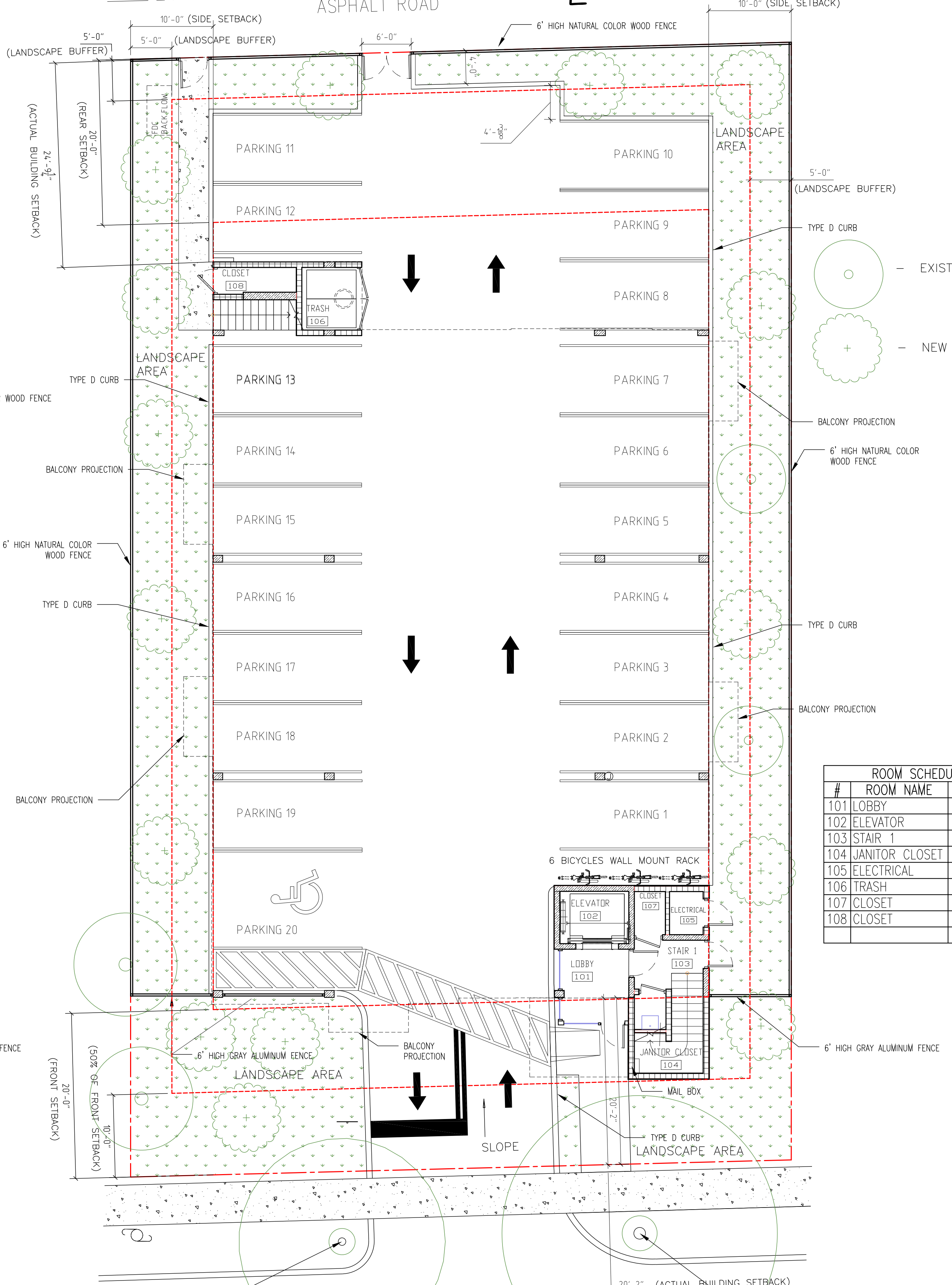
Parking Plan/Site Plan

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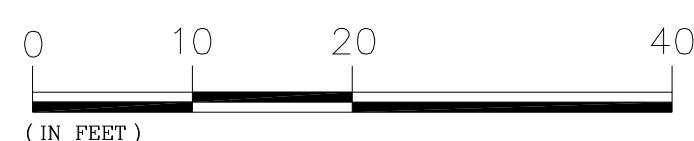
**PARKING PLAN**

- NOTES:**
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
  - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
  - EACH ELECTRICALLY ILLUMINATED SIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT
  - ALL THE DOORS TO THE STAIRS WILL HAVE SIZEABLE WINDOWS
  - EXTERNAL LIGHTING SHOULD BE FULLY SHIELDED AND MEET THE REQUIREMENTS OF THE INTERNATIONAL DARK SKY ASSOCIATION

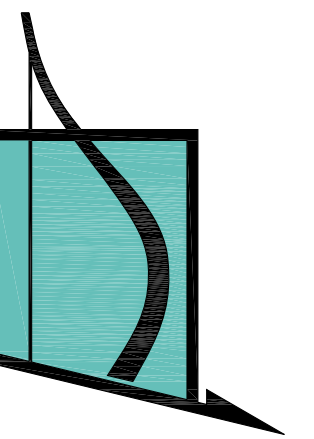


**SITE PLAN**

50' TOTAL R/W (P)  
25' ± ASPHALT ROAD  
**FUNSTON STREET**



ROOM SCHEDULE		
#	ROOM NAME	AREA
101	LOBBY	70.33 SF
102	ELEVATOR	52.77 SF
103	STAIR 1	66.53 SF
104	JANITOR CLOSET	20.01 SF
105	ELECTRICAL	21.26 SF
106	TRASH	49.92 SF
107	CLOSET	19.62 SF
108	CLOSET	29.41 SF
	<b>TOTAL</b>	<b>329.84 SF</b>



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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

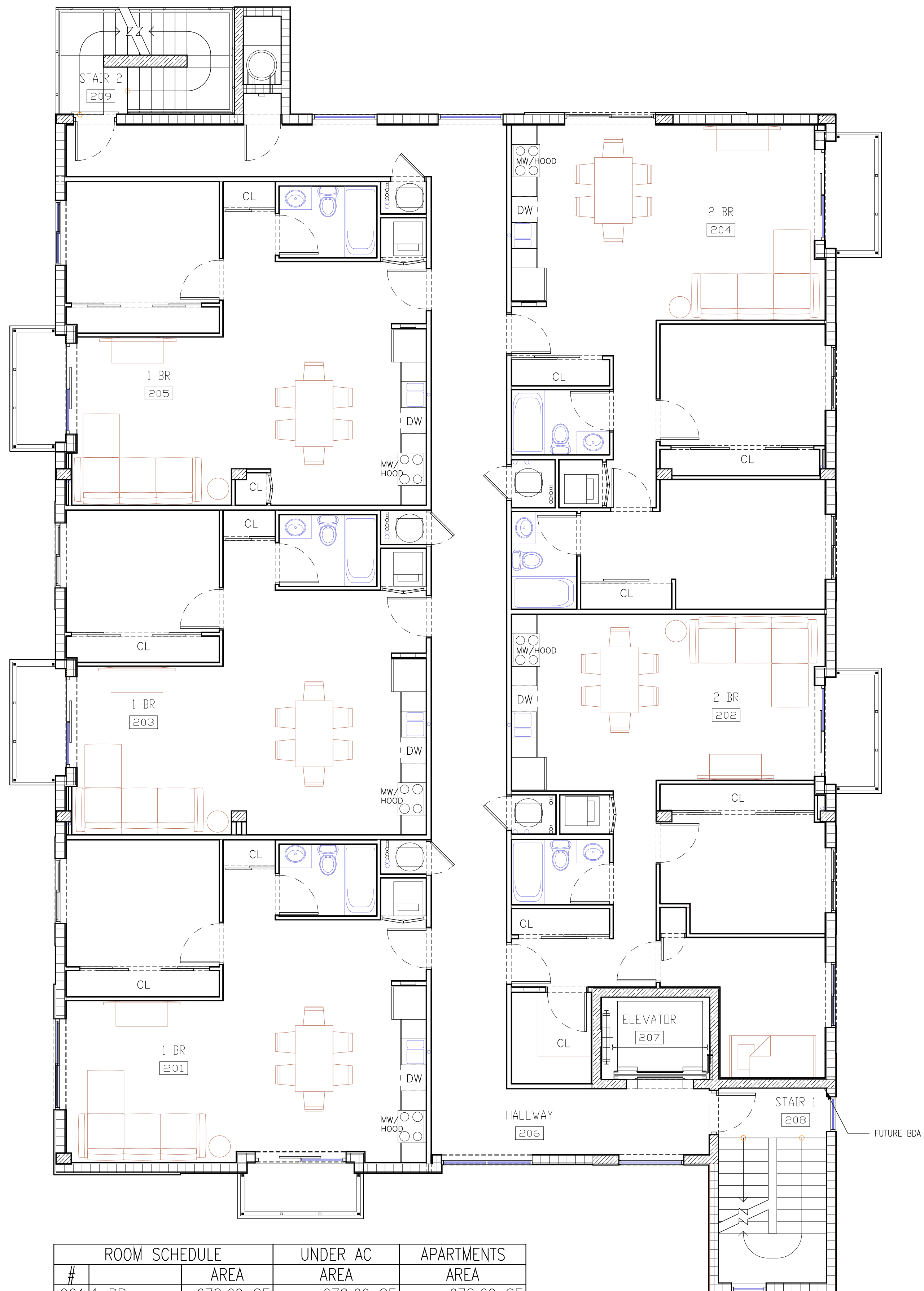
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE 3/16"=1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

**A-2.0**

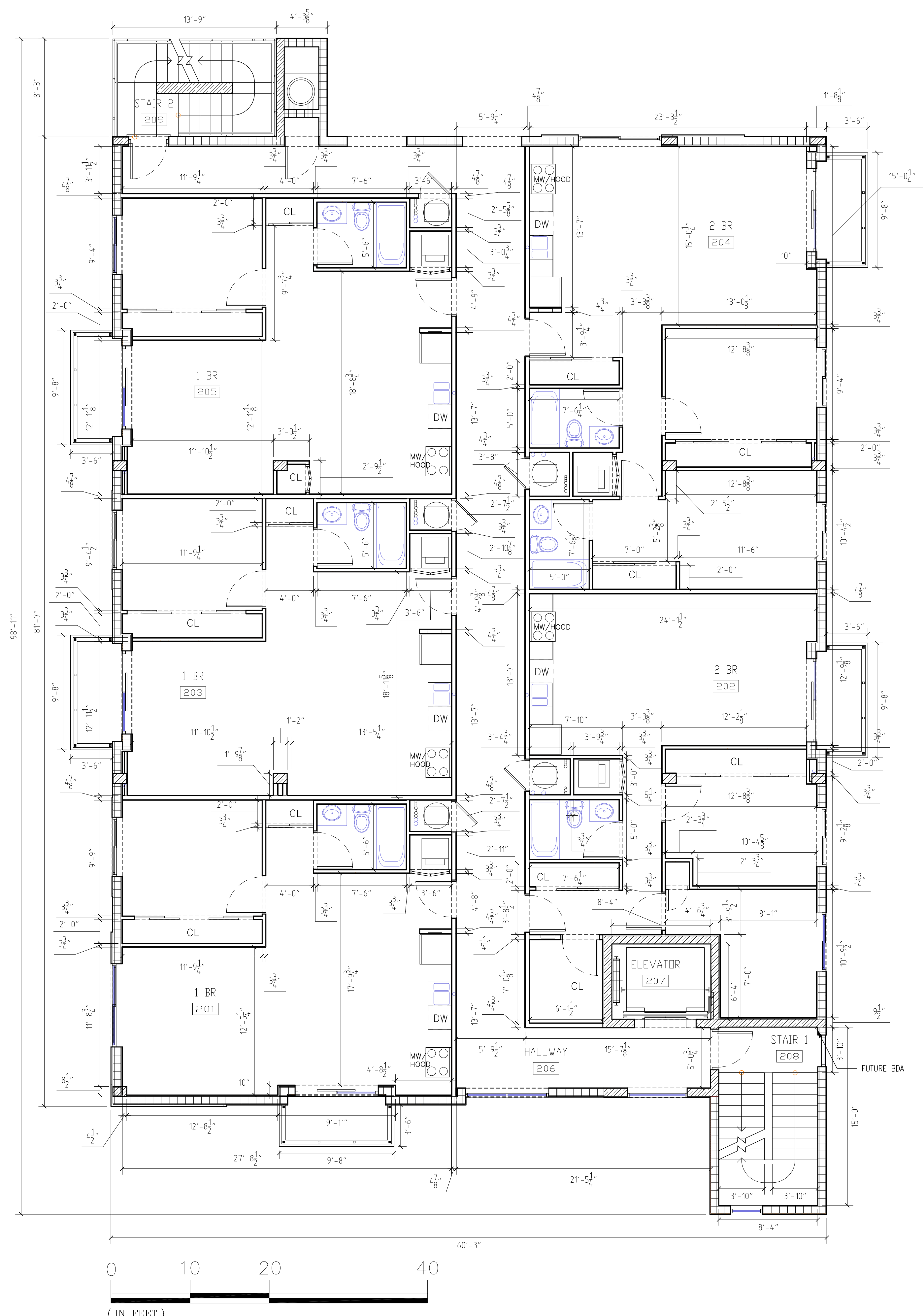
2nd Floor Plan

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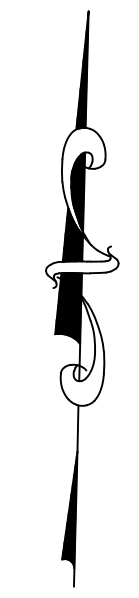
ROOM SCHEDULE			UNDER AC	APARTMENTS
#	AREA	AREA	AREA	AREA
201	1 BR	678.69 SF	678.69 SF	678.69 SF
202	2 BR	782.73 SF	782.73 SF	782.73 SF
203	1 BR	679.81 SF	679.81 SF	679.81 SF
204	2 BR	888.45 SF	888.45 SF	888.45 SF
205	1 BR	674.29 SF	674.29 SF	674.29 SF
206	HALLWAY	649.14 SF	649.14 SF	
207	ELEVATOR	52.78 SF		
208	STAIR 1	125.00 SF		
209	STAIR 2	112.72 SF		
TOTAL		4643.62 SF	4353.12 SF	3703.98 SF

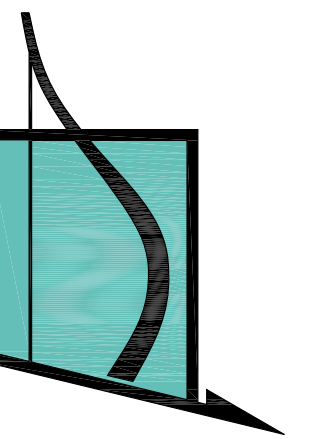
**2ND FLOOR FURNITURE PLAN**



**2ND FLOOR PLAN**

- NOTES:
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
  - ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
  - WINDOWS ARE IN THE FIRE EGRESS DOORS





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www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SCHEMATIC DESIGN   
CLIENT APPROVAL   
LANDLORD APPROVAL   
BIDDING   
PERMIT SET   
FOR CONSTRUCTION   
OWNER REQUESTED REVISION

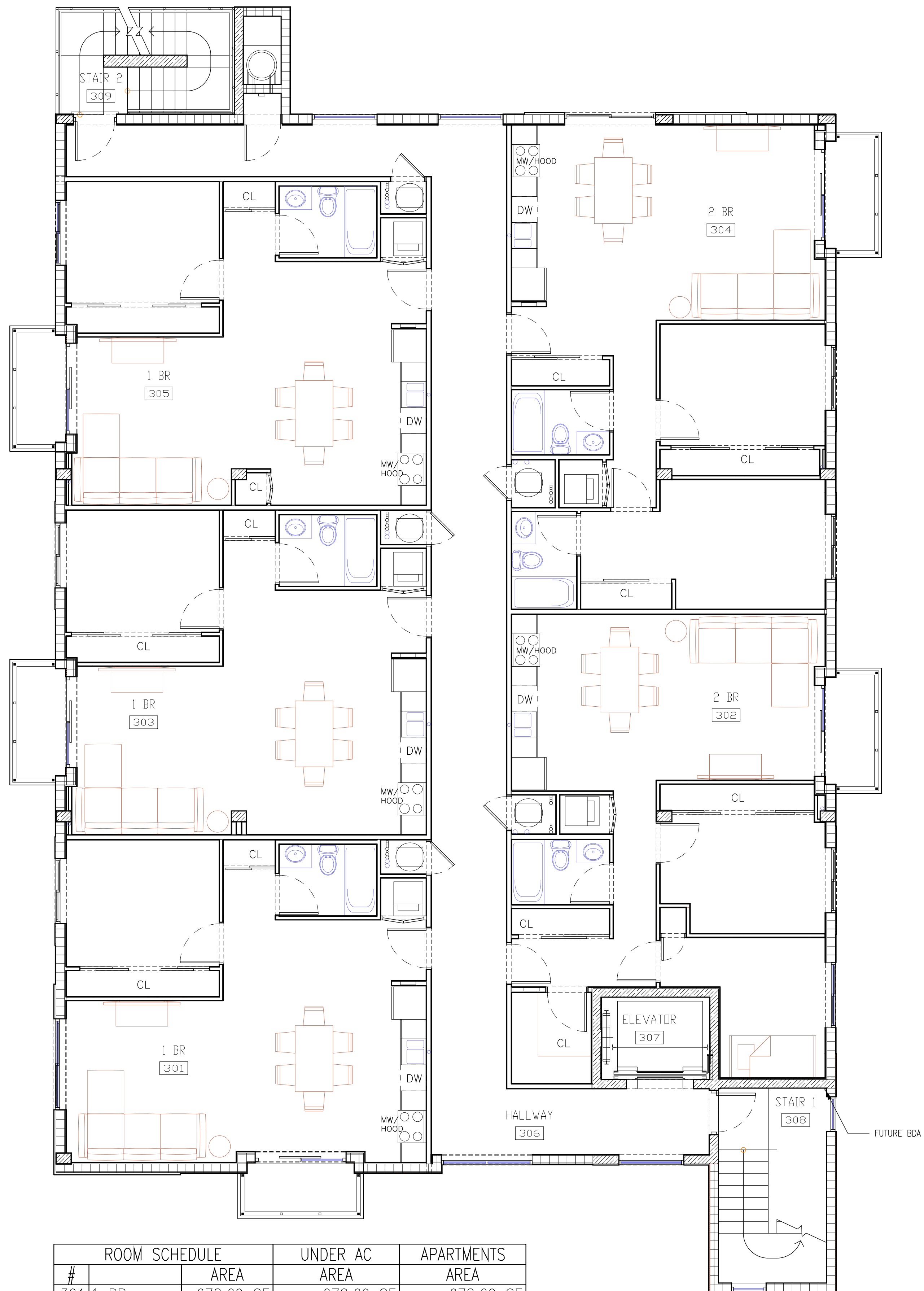
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE 3/16"=1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

A-3.0

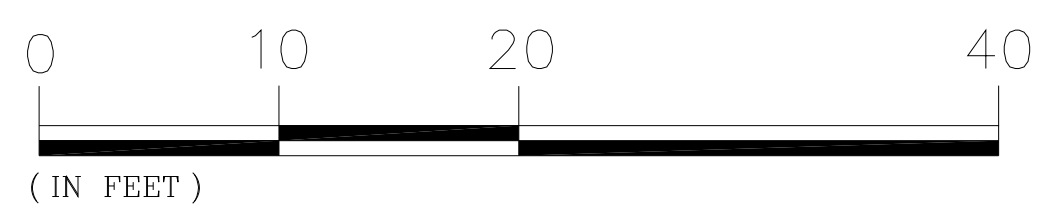
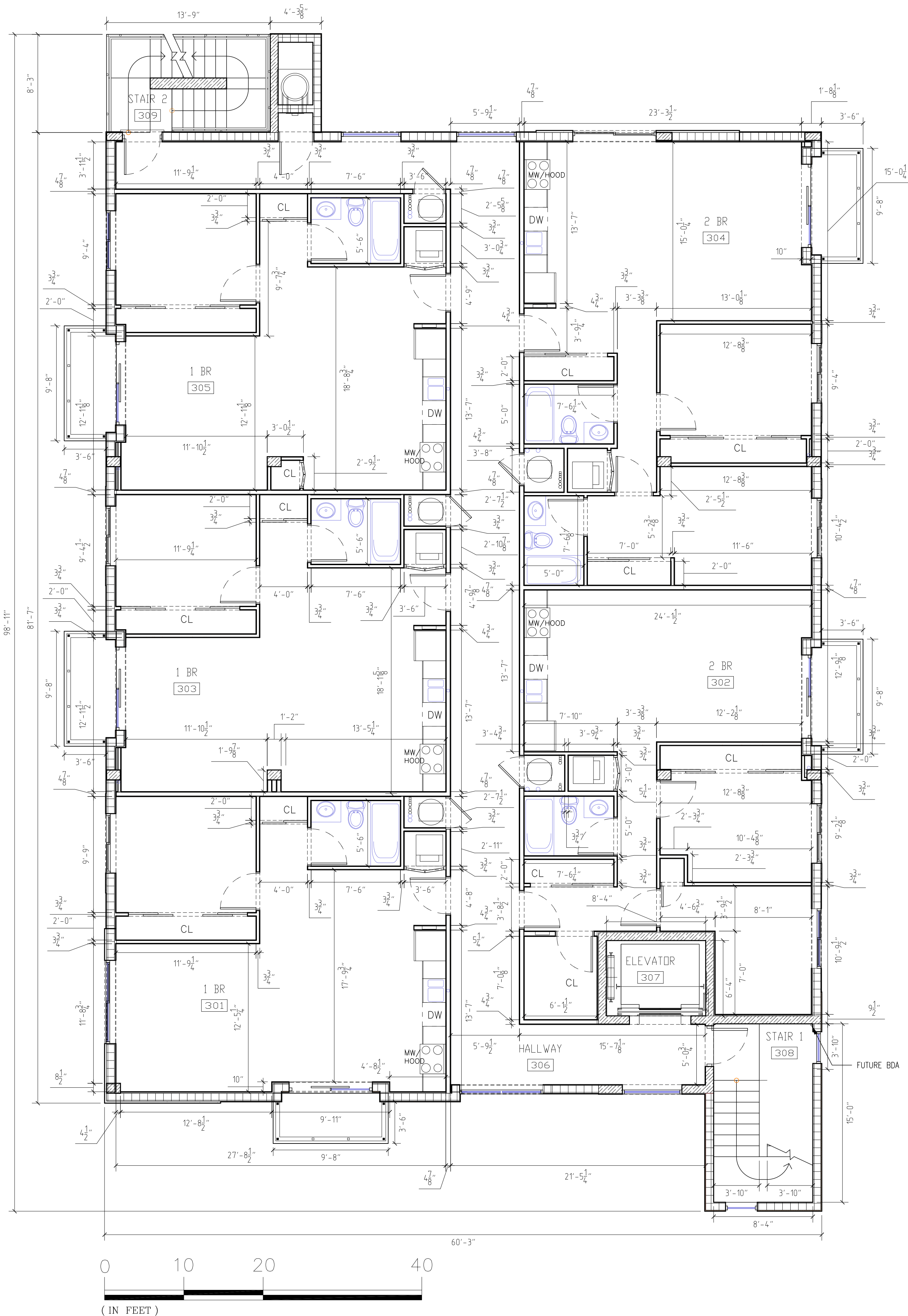
3rd Floor Plan

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ROOM SCHEDULE		UNDER AC	APARTMENTS
#	AREA	AREA	AREA
301	1 BR	678.69 SF	678.69 SF
302	2 BR	782.73 SF	782.73 SF
303	1 BR	679.81 SF	679.81 SF
304	2 BR	888.45 SF	888.45 SF
305	1 BR	674.29 SF	674.29 SF
306	HALLWAY	649.14 SF	
307	ELEVATOR	52.78 SF	
308	STAIR 1	125.00 SF	
309	STAIR 2	112.72 SF	
TOTAL		4643.62 SF	3703.98 SF

3RD FLOOR FURNITURE PLAN

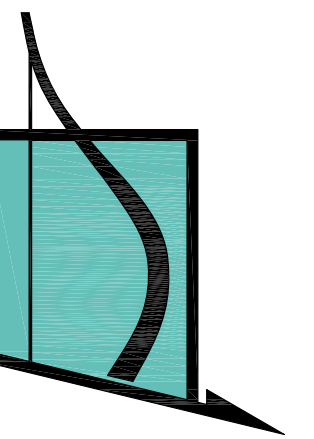


3RD FLOOR PLAN

NOTES:

- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
- WINDOWS ARE IN THE FIRE EGRESS DOORS





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contact@vinciengineers.com  
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PROPOSED MULTIFAMILY BUILDING

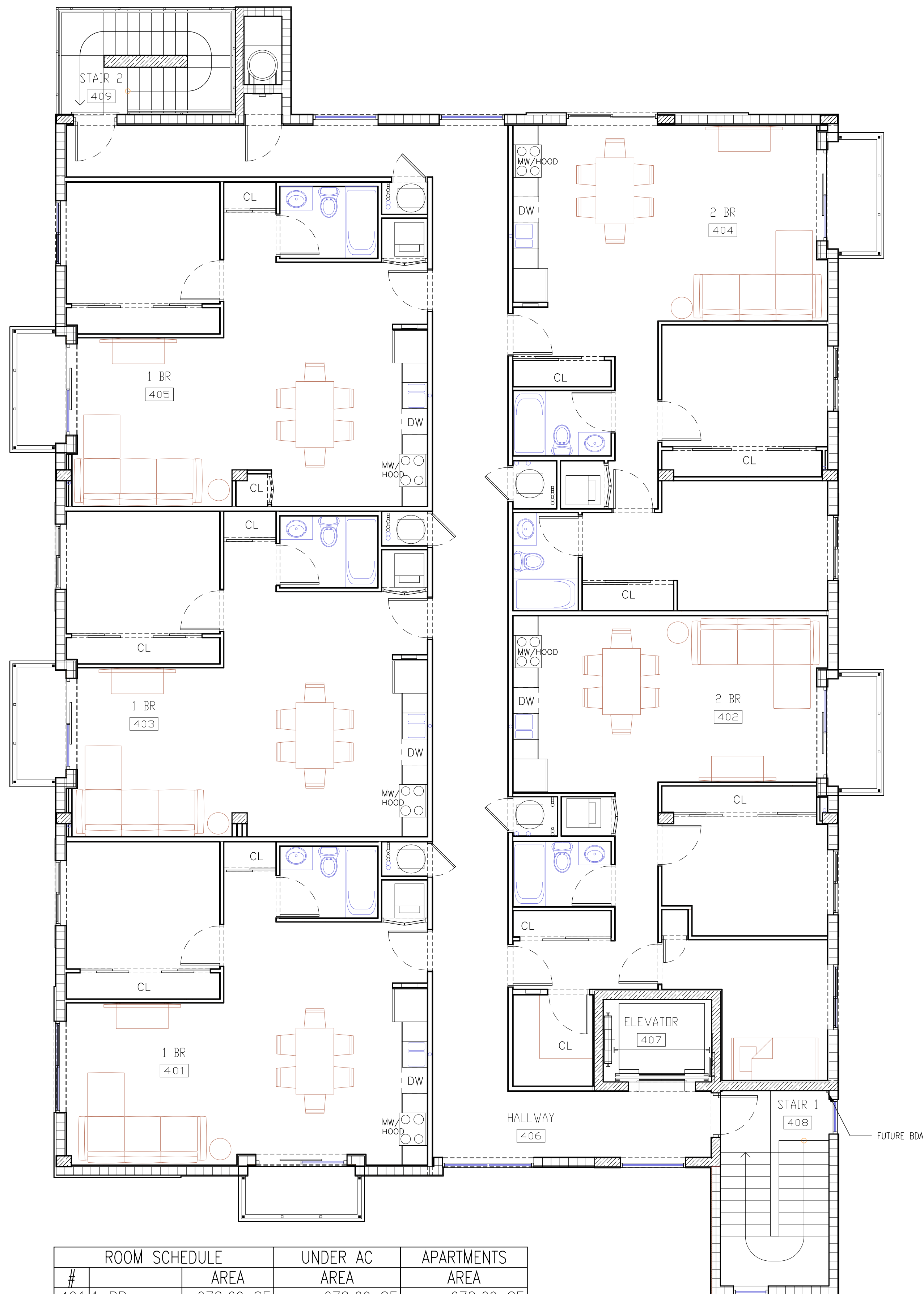
1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

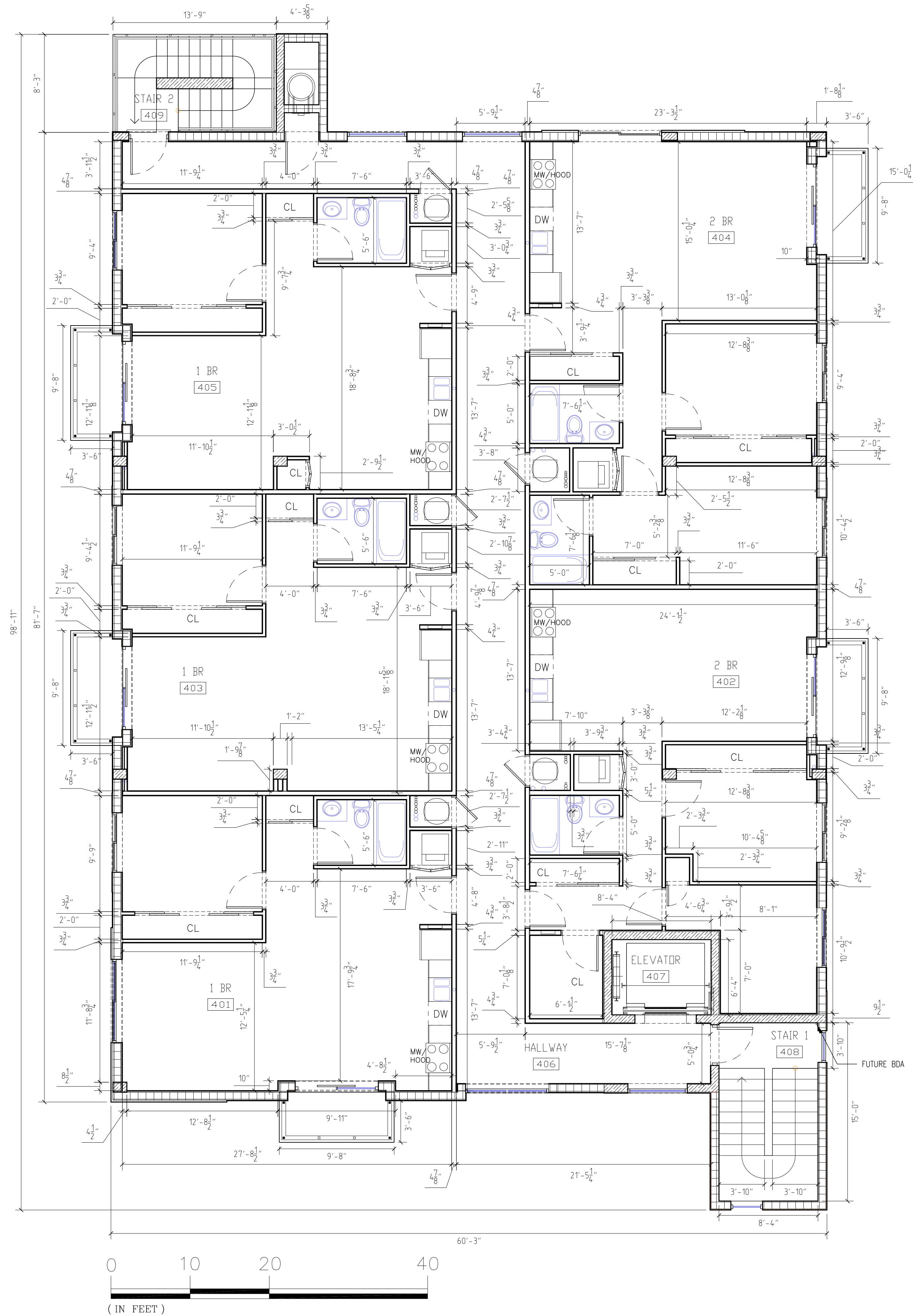
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE 3/16"=1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020



ROOM SCHEDULE		UNDER AC	APARTMENTS
#	AREA	AREA	AREA
401	1 BR	678.69 SF	678.69 SF
402	2 BR	782.73 SF	782.73 SF
403	1 BR	679.81 SF	679.81 SF
404	2 BR	888.45 SF	888.45 SF
405	1 BR	674.29 SF	674.29 SF
406	HALLWAY	649.14 SF	649.14 SF
407	ELEVATOR	52.78 SF	
408	STAIR 1	125.00 SF	
409	STAIR 2	112.72 SF	
TOTAL		4353.12 SF	3703.98 SF

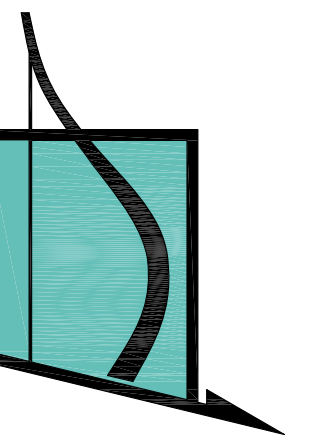
### 4TH FLOOR FURNITURE PLAN



### 4TH FLOOR PLAN

- NOTES:
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
  - ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
  - WINDOWS ARE IN THE FIRE EGRESS DOORS

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Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

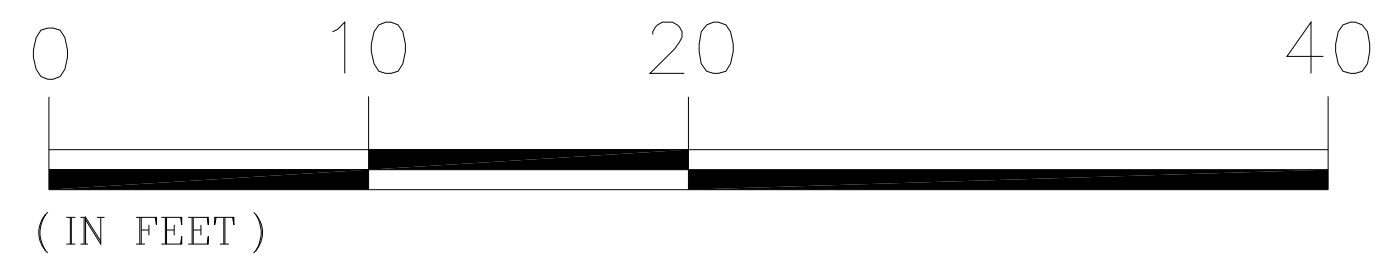
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020


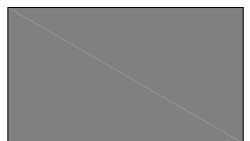
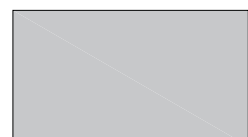
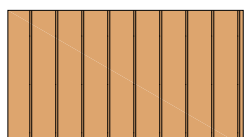


### SOUTH ELEVATION

SCALE 1/4" = 1'



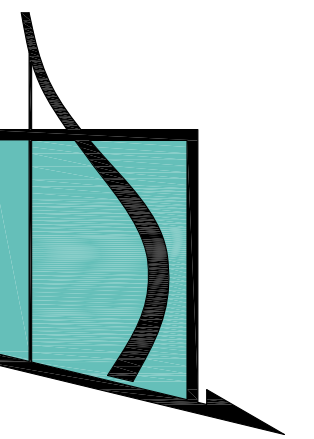
#### MATERIAL LEGEND

	STUCCO, SW 7757 HIGH REFLECTIVE WHITE		STUCCO, SW 6255 MORNING FOG
	STUCCO, SW 7661 REFLECTION		REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE

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# A-5.0

Elevation Plan



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www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

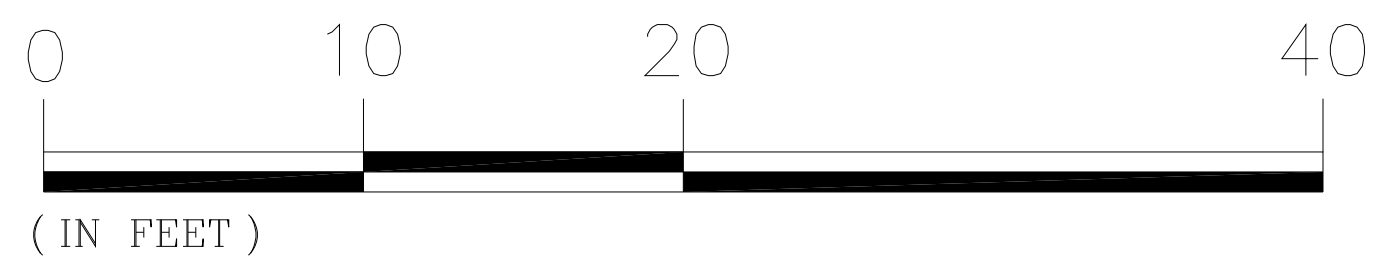
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020


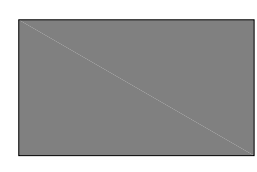

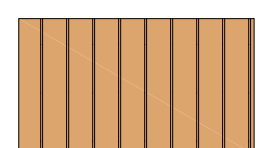
A-6.0

Elevation Plan

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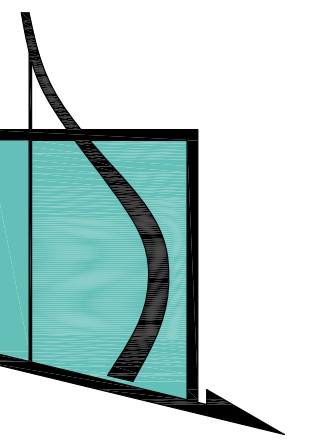


MATERIAL LEGEND

	STUCCO, SW 7757 HIGH REFLECTIVE WHITE		STUCCO, SW 6255 MORNING FOG
	STUCCO, SW 7661 REFLECTION		REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE

WEST ELEVATION

SCALE 1/4" = 1'



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PROPOSED MULTIFAMILY BUILDING

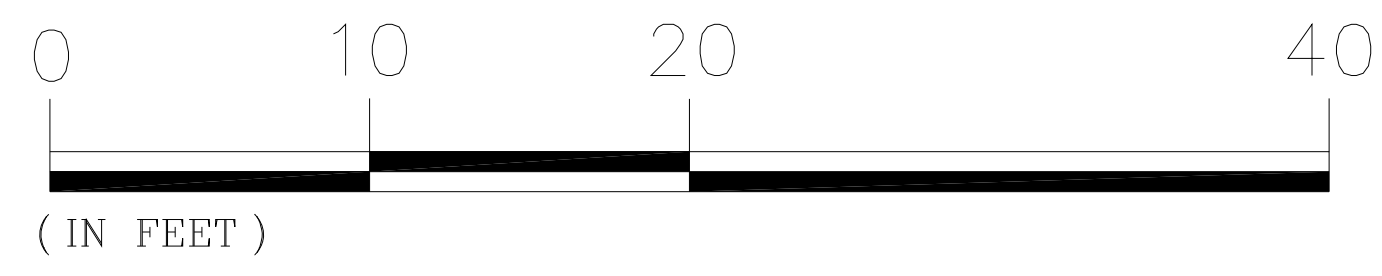
1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>


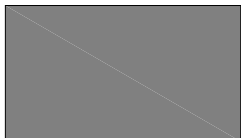

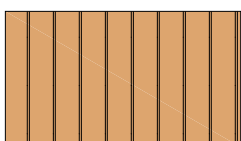
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020



**NORTH ELEVATION**  
SCALE 1/4" = 1'

MATERIAL LEGEND

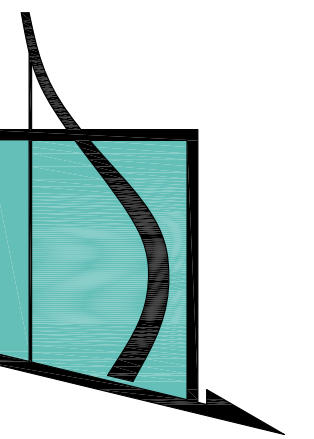
	STUCCO, SW 7757 HIGH REFLECTIVE WHITE		STUCCO, SW 6255 MORNING FOG
	STUCCO, SW 7661 REFLECTION		REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE

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**A-7.0**

Elevation Plan





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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

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CHECKED BY:	A.B.
DATE	08/21/2020

A-8.0

Elevation Plan

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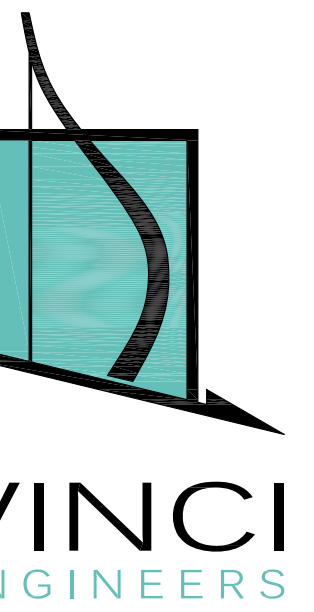
**EAST ELEVATION**  
SCALE 1/4" = 1'

MATERIAL LEGEND

	STUCCO, SW 7757 HIGH REFLECTIVE WHITE		STUCCO, SW 6255 MORNING FOG
	STUCCO, SW 7661 REFLECTION		REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE



RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST



K-2 design, Inc  
 17070 Collins Ave #255  
 Sunny Isles, FL 33160  
 Phone: 786.607.3797  
 Fax: 954.212.0164  
 contact@vinciengineers.com  
 www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020

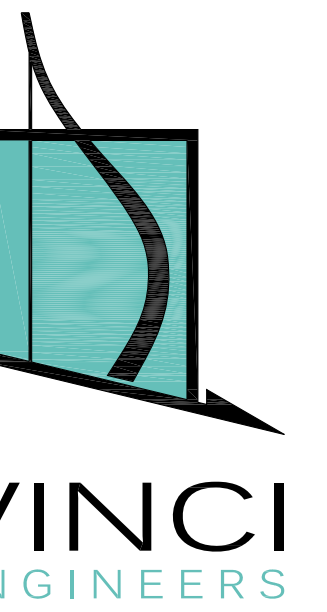
A-9.0

Rendering

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RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST



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 17070 Collins Ave #255  
 Sunny Isles, FL 33160  
 Phone: 786.607.3797  
 Fax: 954.212.0164  
 contact@vinciengineers.com  
 www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020

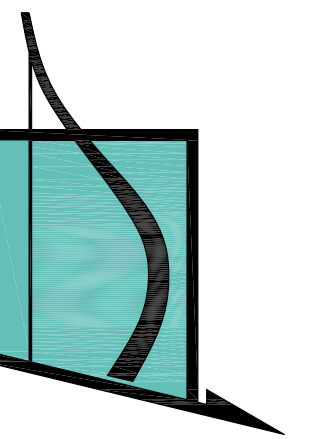
A-10.0

Rendering

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RENDERING OF THE PROPOSED BUILDING FROM ALLEY



**VINCI**  
ENGINEERS

K-2 design, Inc  
17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020

**A-11.0**

Rendering

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REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

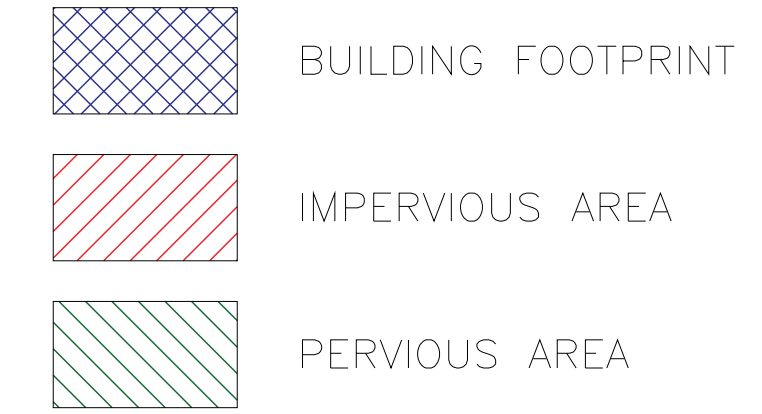
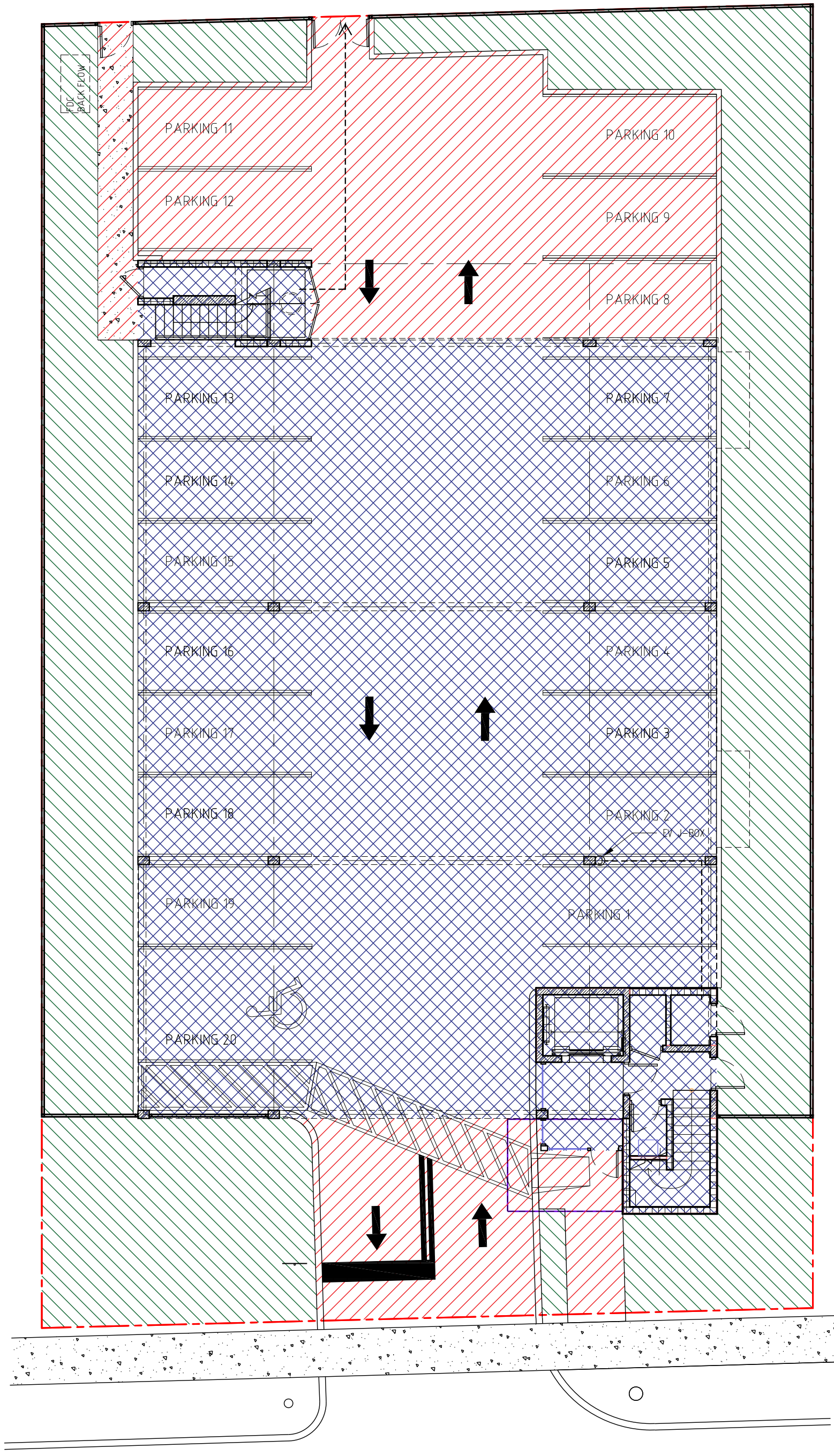
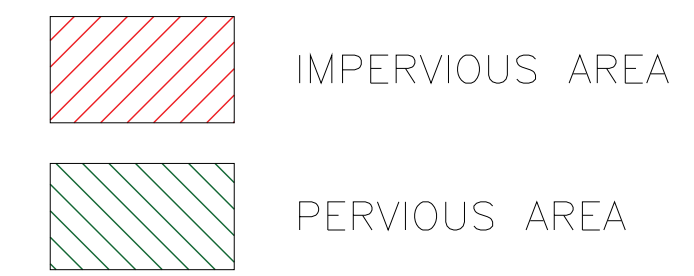
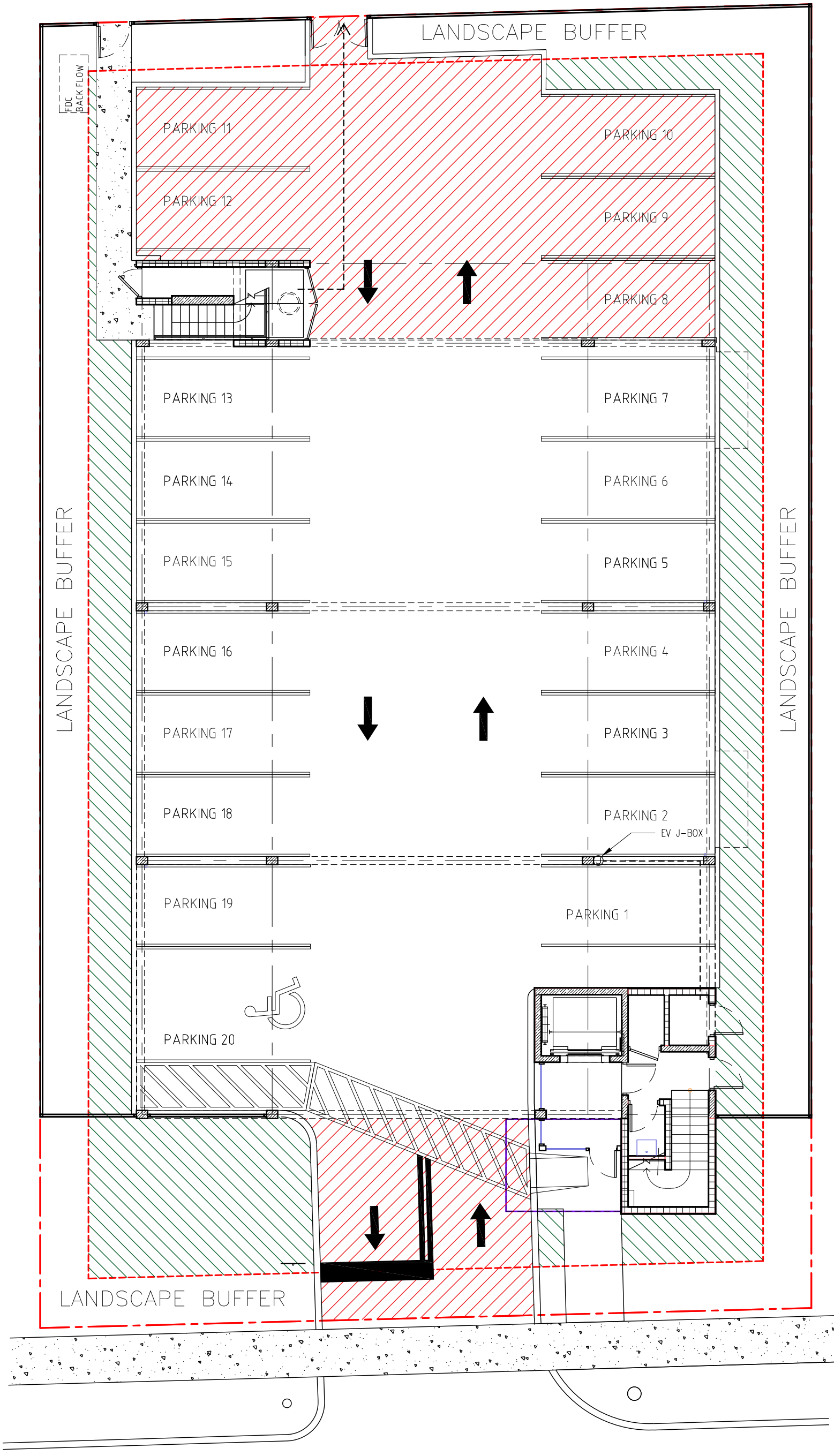
ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020

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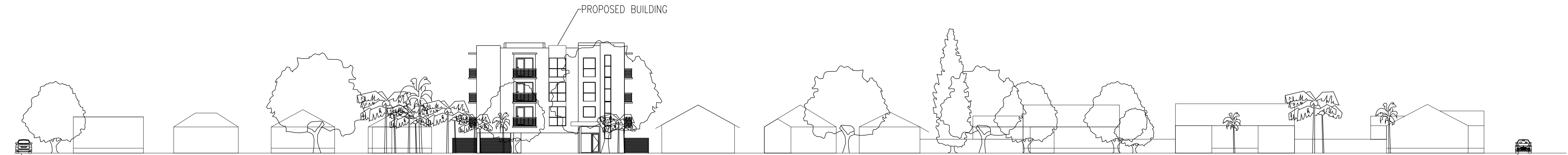
IMPERVIOUS AREA (A1) – 1,963 SF  
 PERVIOUS AREA (A2) – 1,465 SF  
 $A1 \times 0.25 = 542 \text{ SF} < 1,465 \text{ SF (A2)}$

TOTAL SITE AREA	10,817 SF	100%
BUILDING FOOTPRINT	5,123 SF	47.4%
HARDSCAPE (IMPERVIOUS)	2,292 SF	21.2%
LANDSCAPE (PERVIOUS)	3,402 SF	31.4%

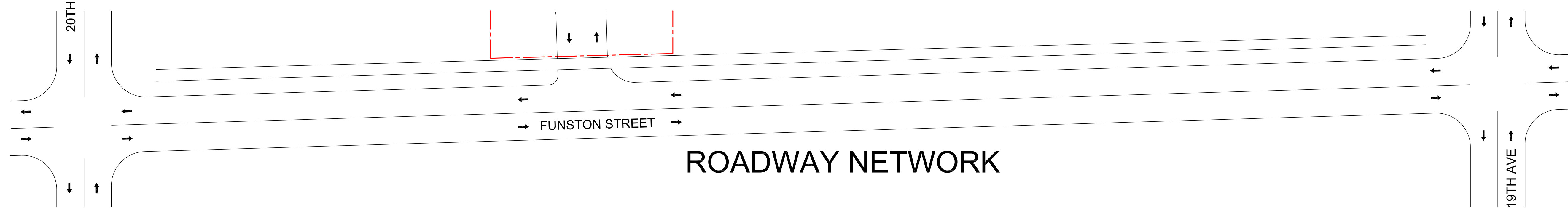


VEHICULAR/LANDSCAPE USE AREA DIAGRAM

PERVIOUS VS IMPERVIOUS AREA PLAN



FUNSTON STREET PROFILE (NORTH ELEVATION)



ROADWAY NETWORK



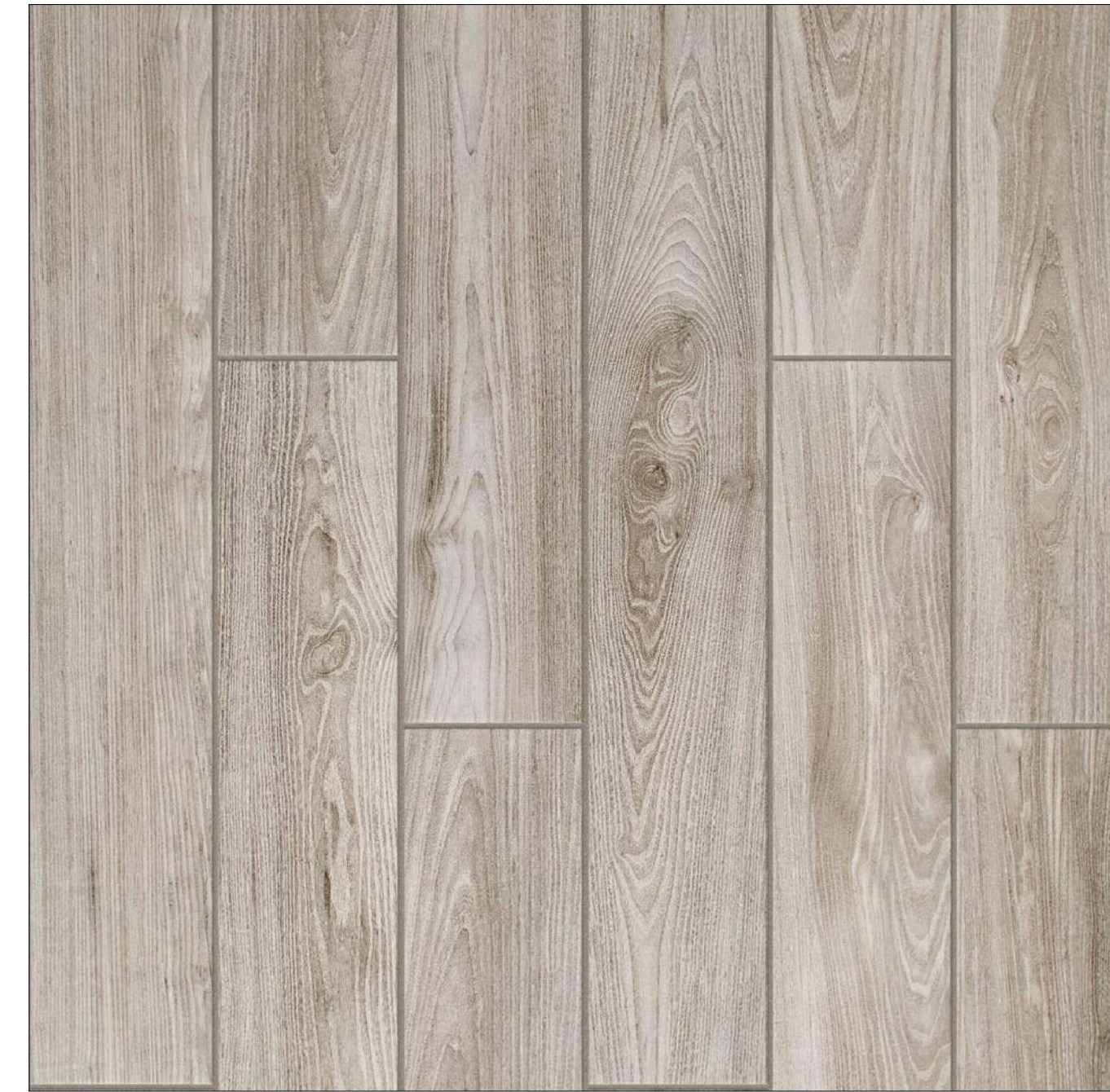
**MAIN BUILDING COLOR:**  
 Sherwin Williams SW 7757  
 High Reflective White



**LIGHT GRAY ACCENT COLOR:**  
 Sherwin Williams SW 7661  
 Reflection



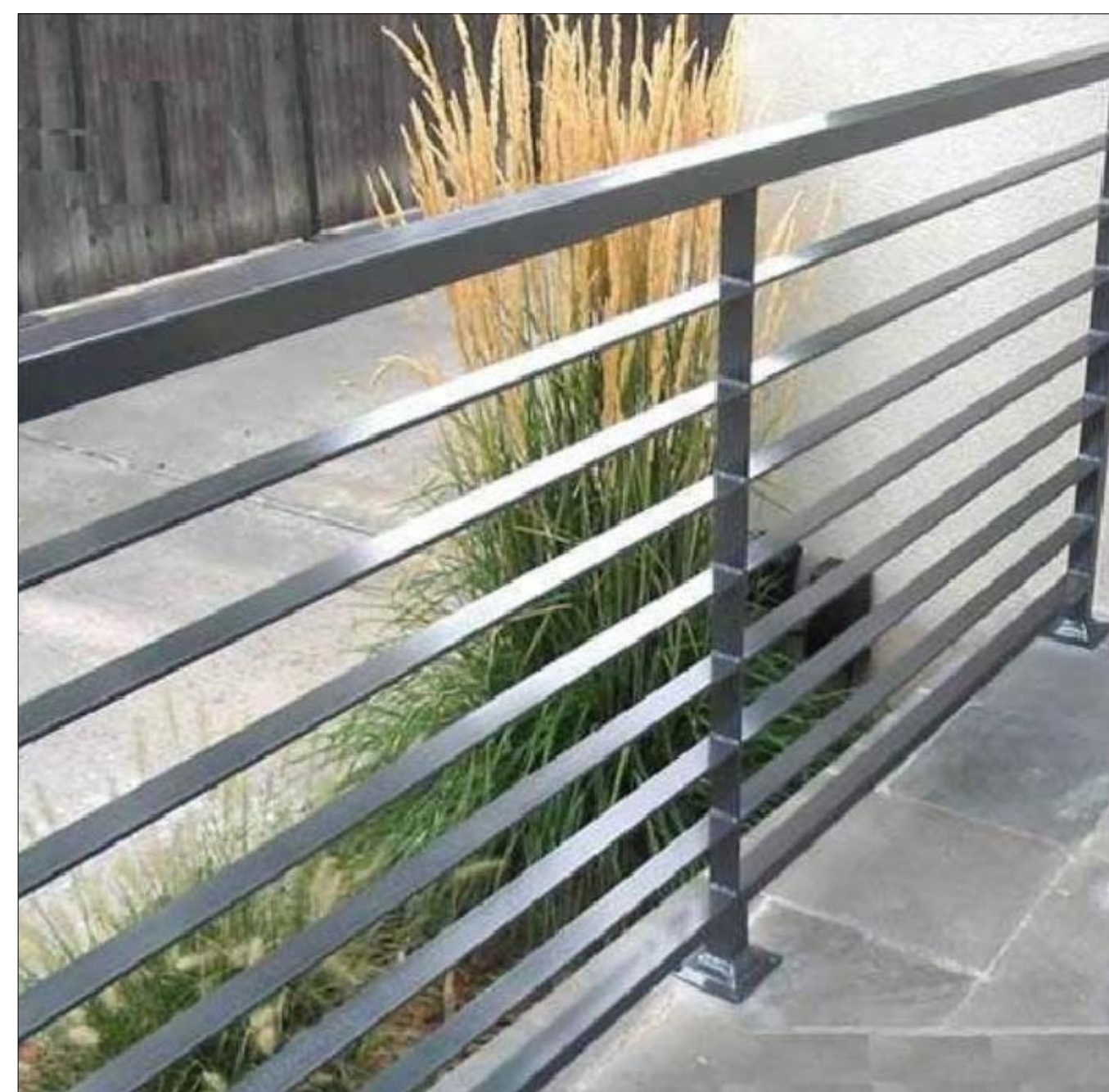
**GRAY ACCENT COLOR:**  
 Sherwin Williams SW 6255  
 Morning Fog



**STAIR TOWERS DECORATION:**  
 DAL TILE, Regent Grove  
 6 in. x 36 in. ash gray glazed  
 porcelain tile



**ENTRY DOOR AND FRAMING  
 STYLE**



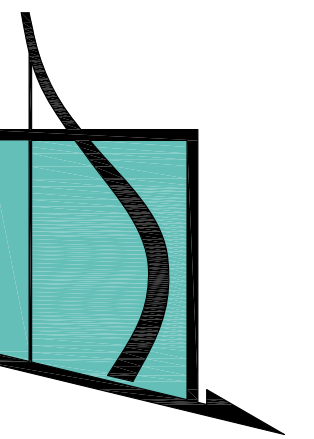
**ALUMINUM RAILINGS STYLE**

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

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**VINCI**  
ENGINEERS

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17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

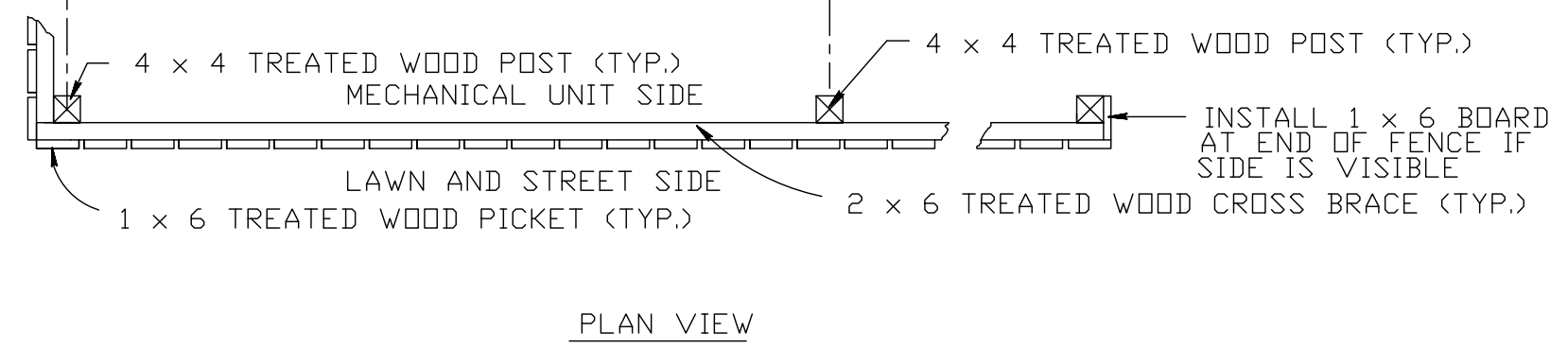
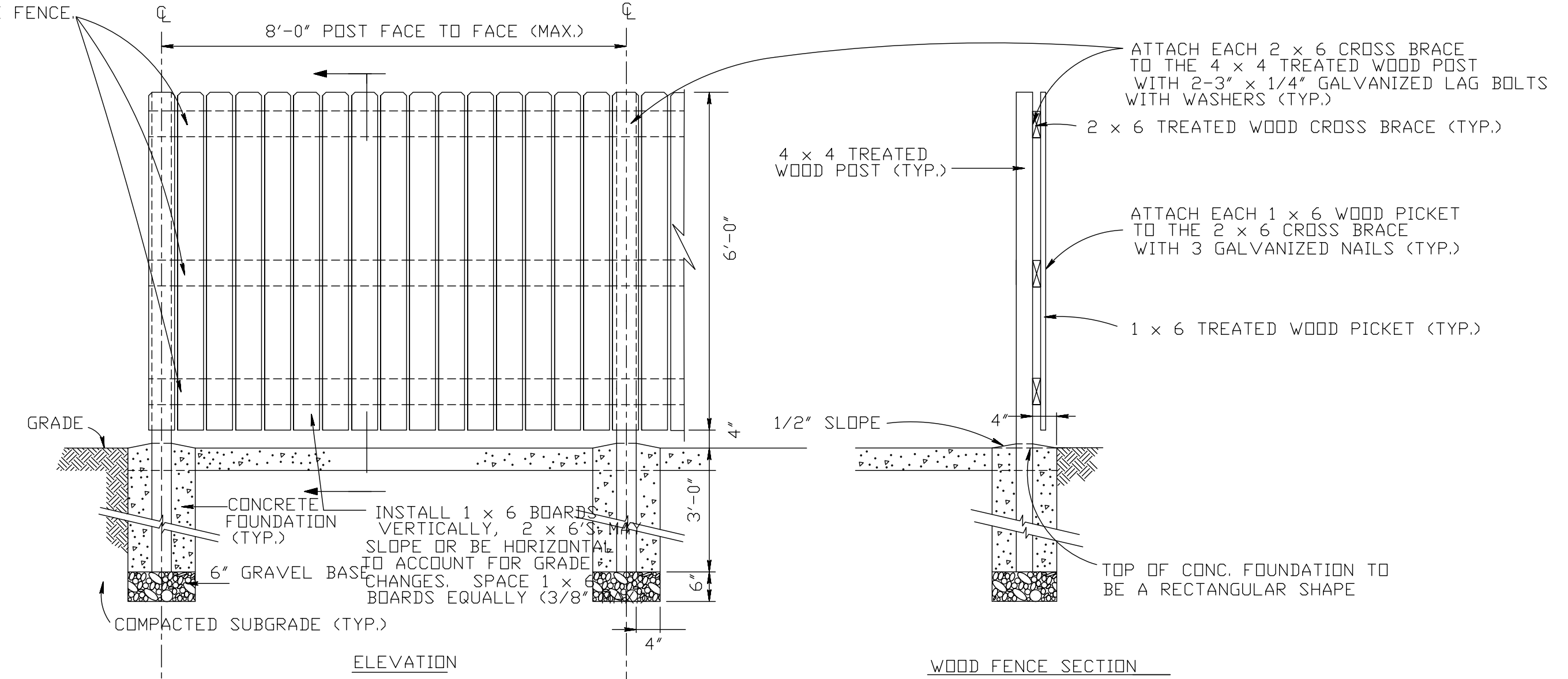
SCALE 1/2" = 1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

**A-14.0**

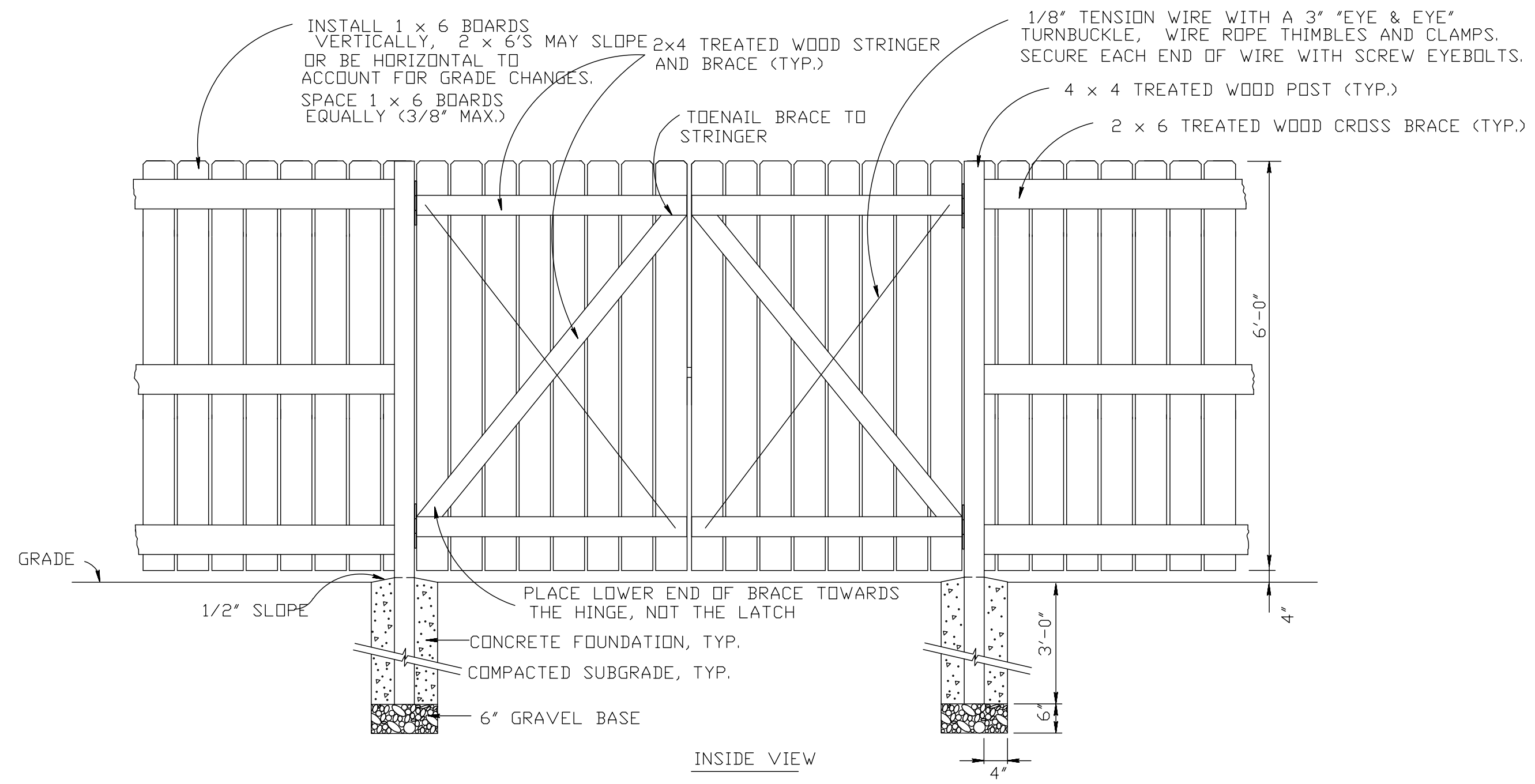
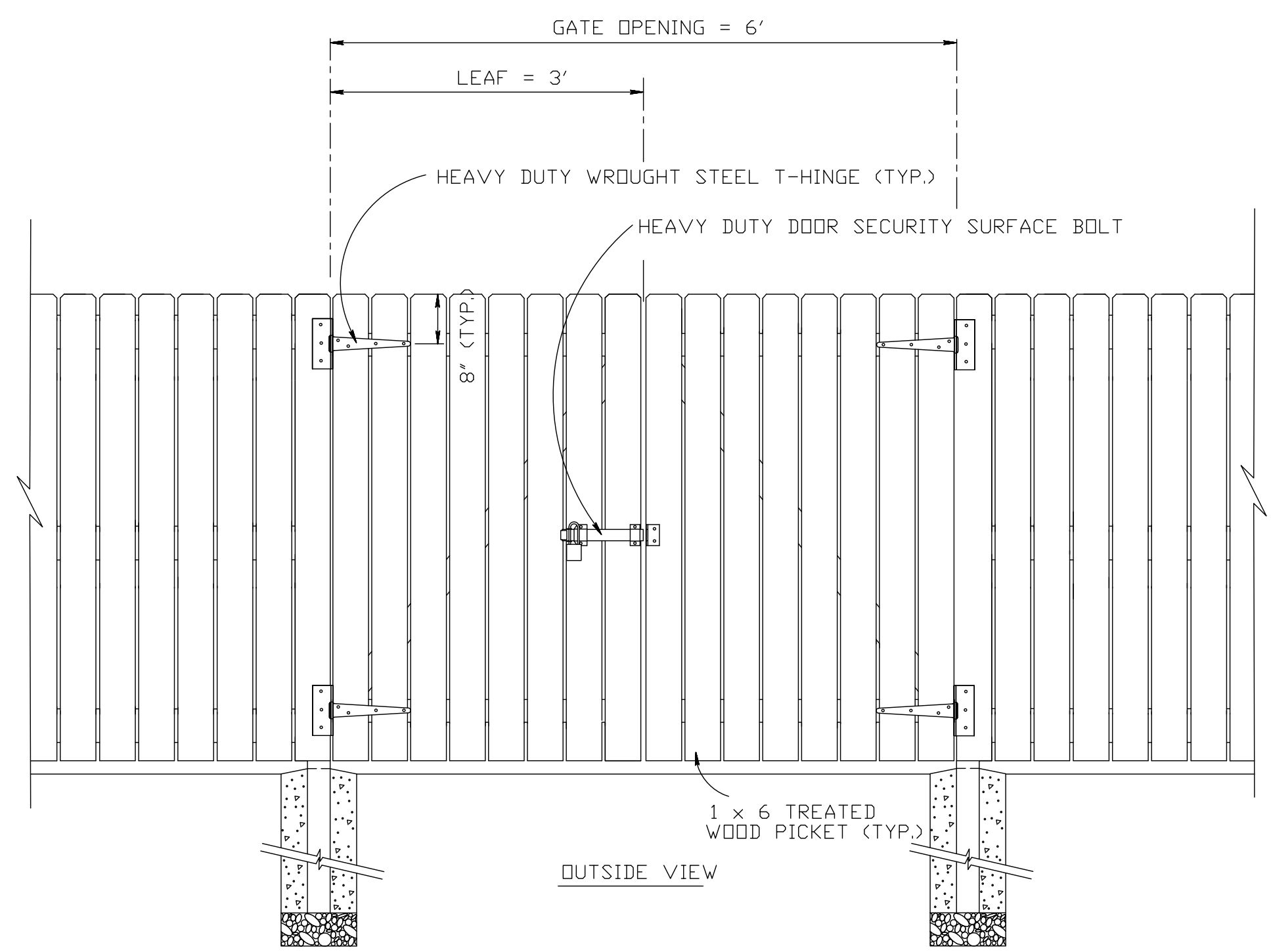
Details

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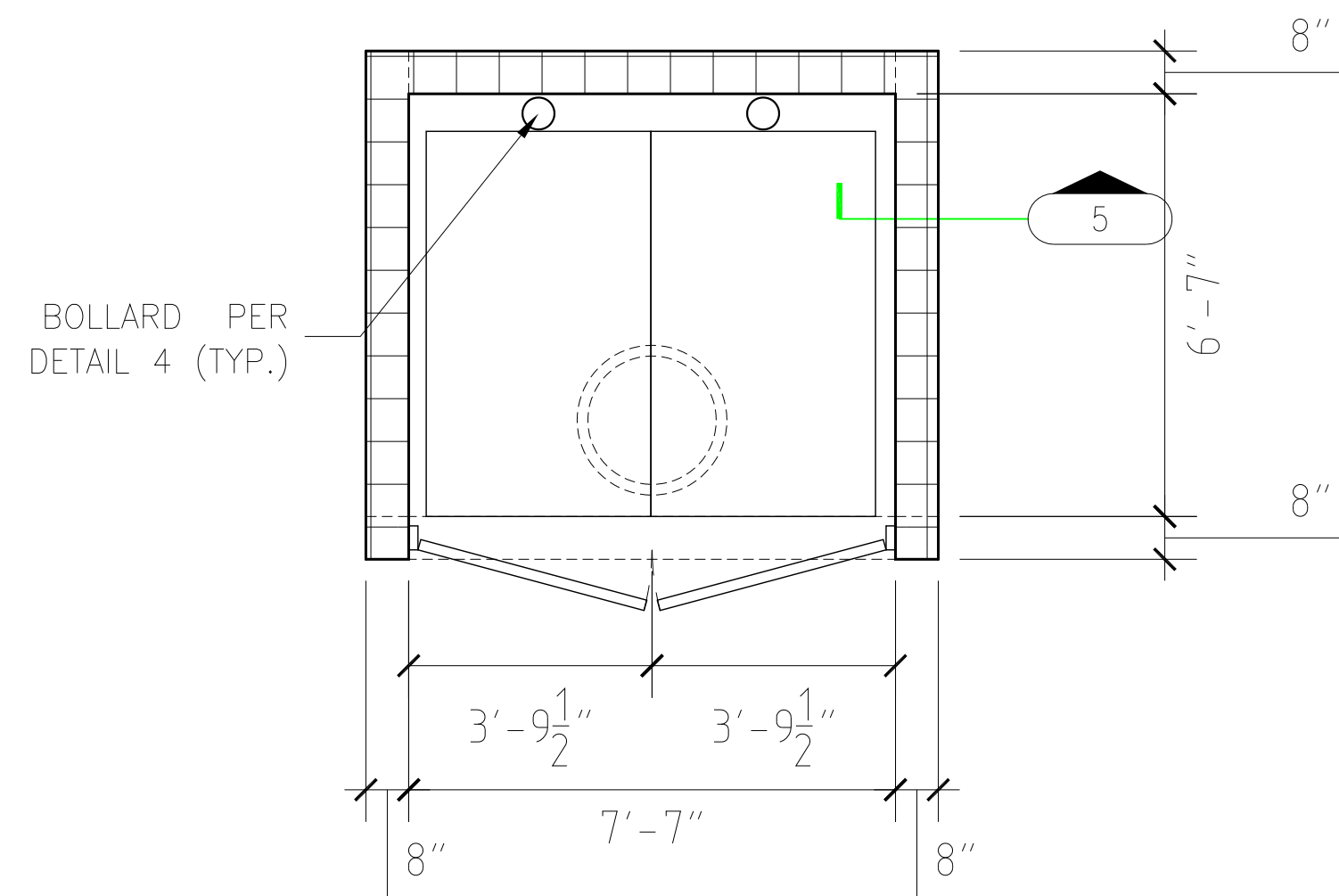
THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.



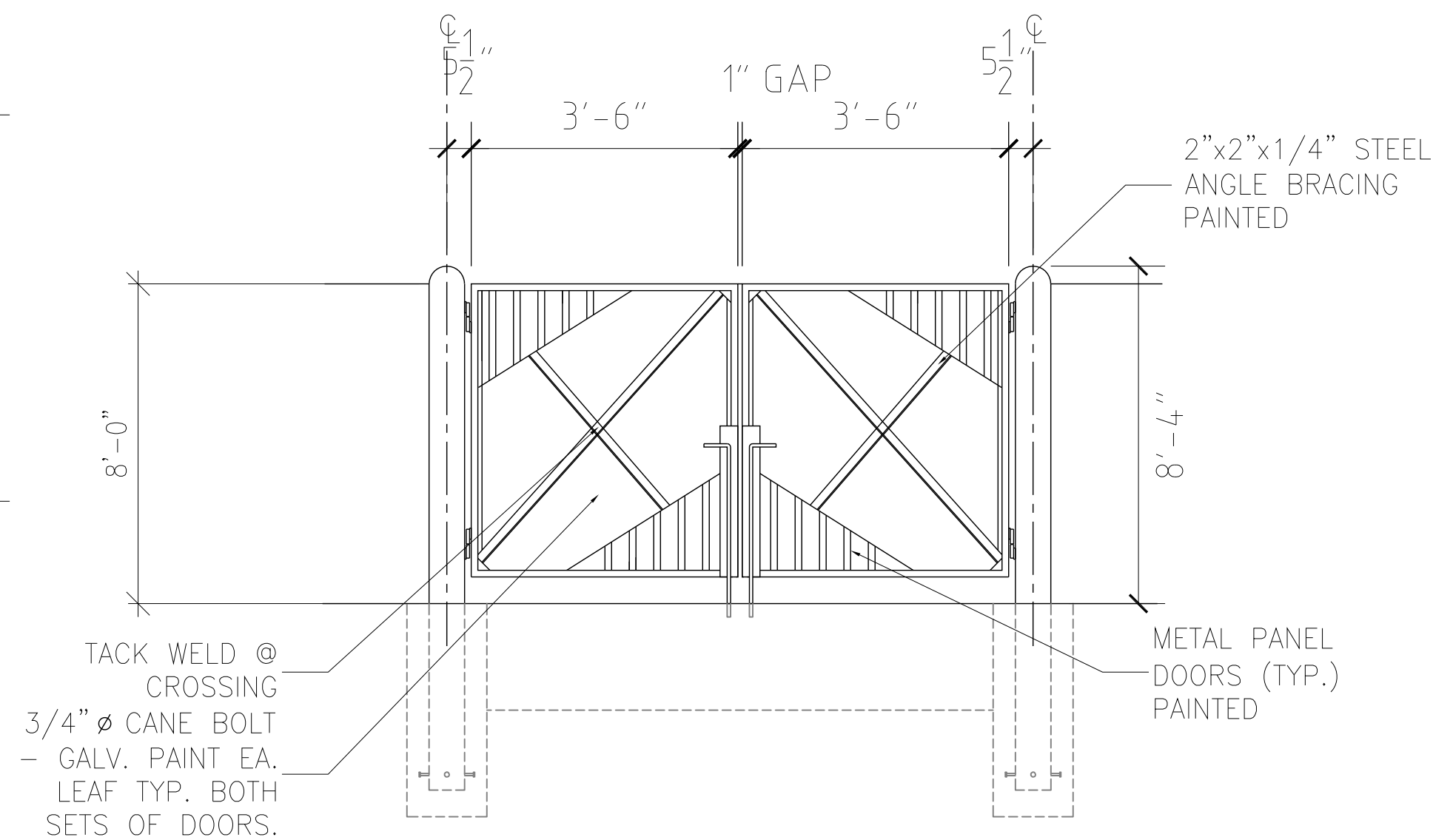
**WOOD FENCE DETAILS**



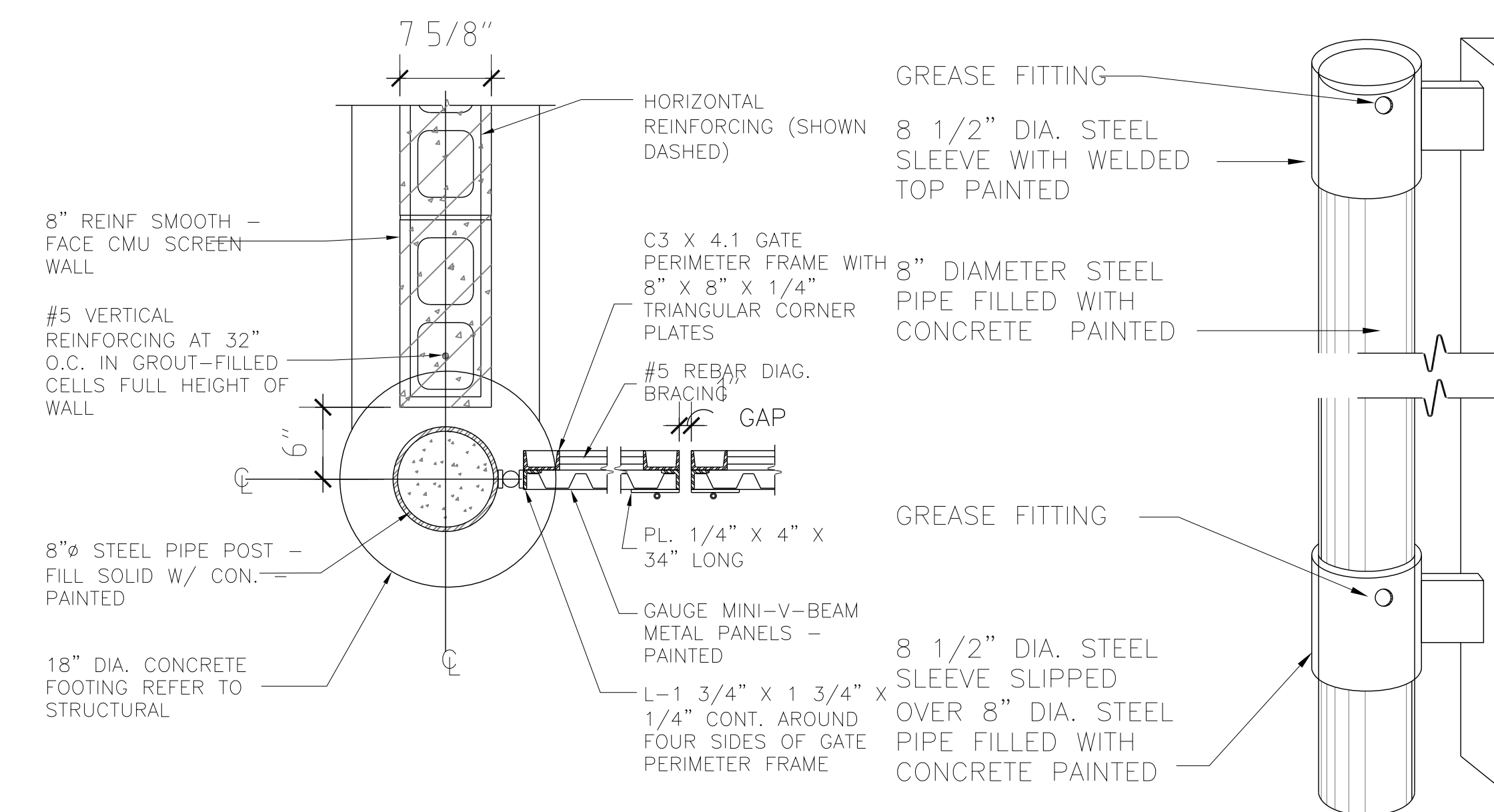
**WOOD FENCE GATE DETAILS**



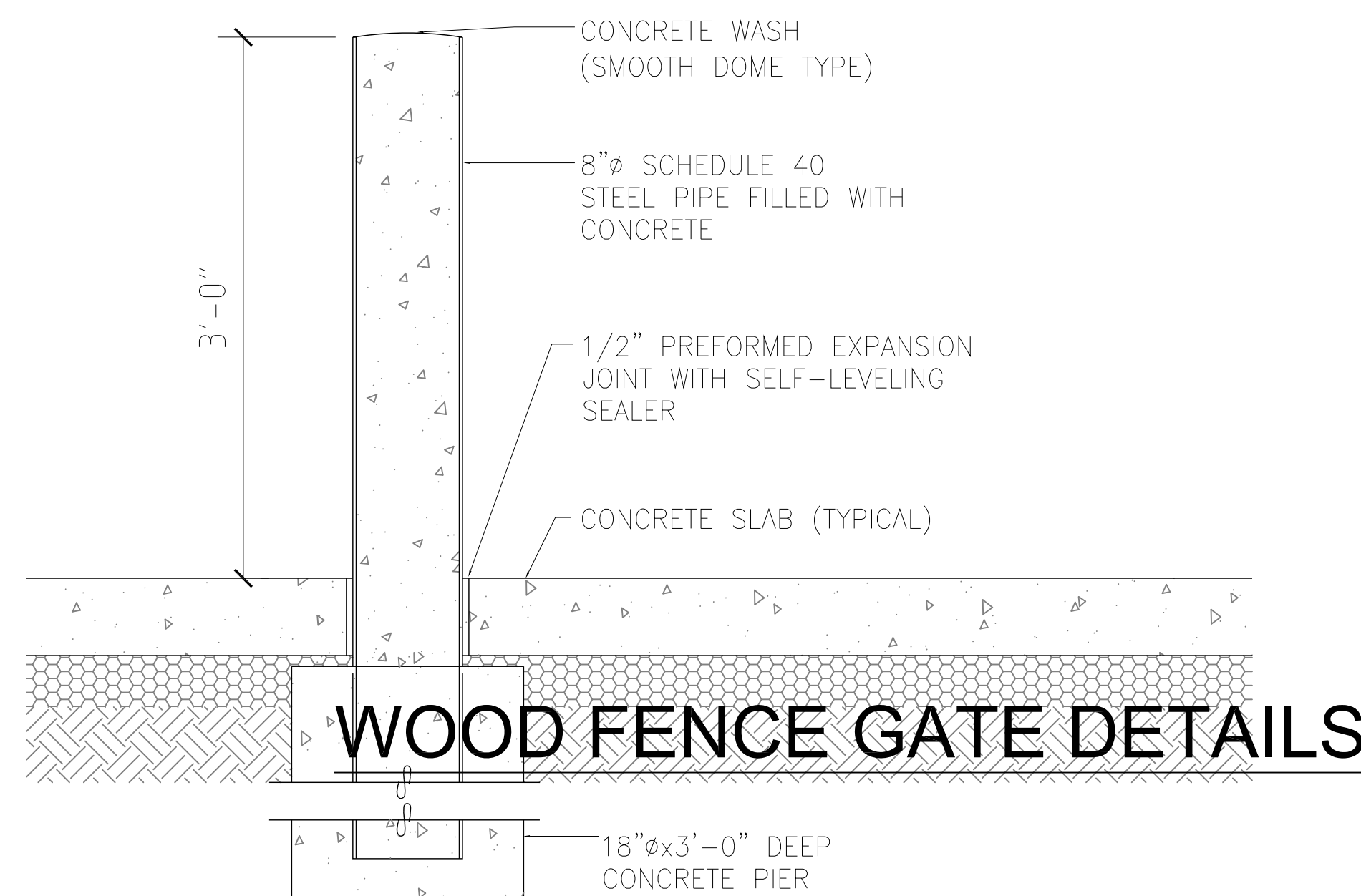
1 DUMPSTER ENCLOSURE PLAN  
3/8"=1'-0"



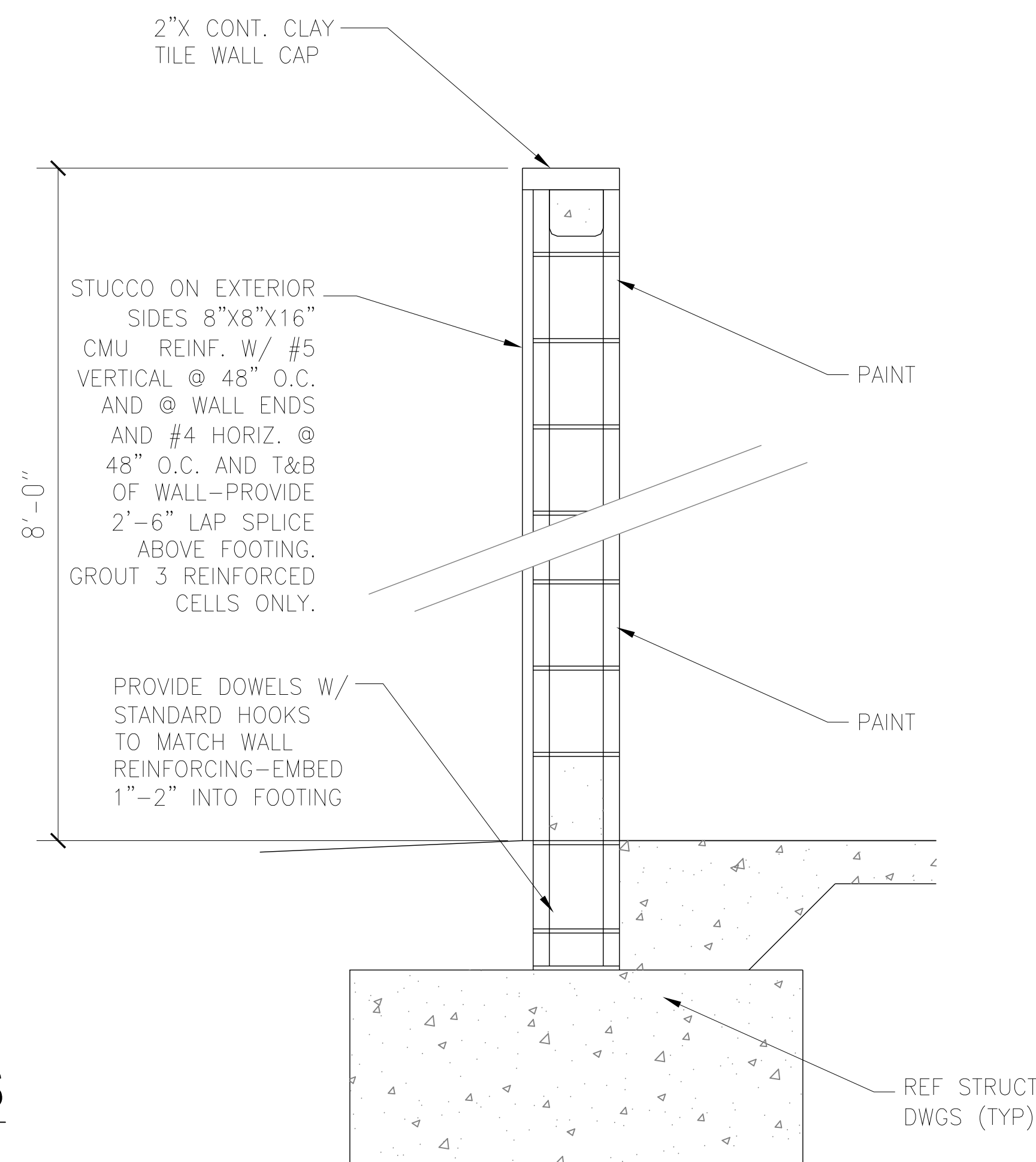
2 DUMPSTER ENCLOSURE ELEVATION  
3/8"=1'-0"



3 DUMPSTER ENCLOSURE DETAIL  
2/8"=1'-0"



4 DUMPSTER ENCLOSURE BOLLARD DETAIL  
1/4"=1'-0"



5 DUMPSTER SCREEN SECTION  
1/4"=1'-0"

**DUMPSTER ENCLOSURE DETAILS**

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE 3/8"=1'-0"  
PROJECT NO.  
DRAWN BY: S.K.  
CHECKED BY: A.B.  
DATE 08/21/2020

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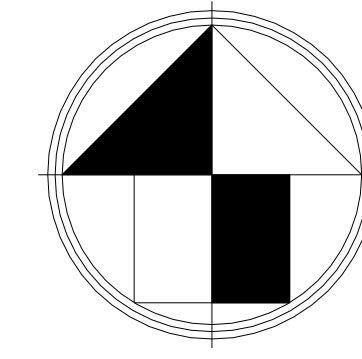
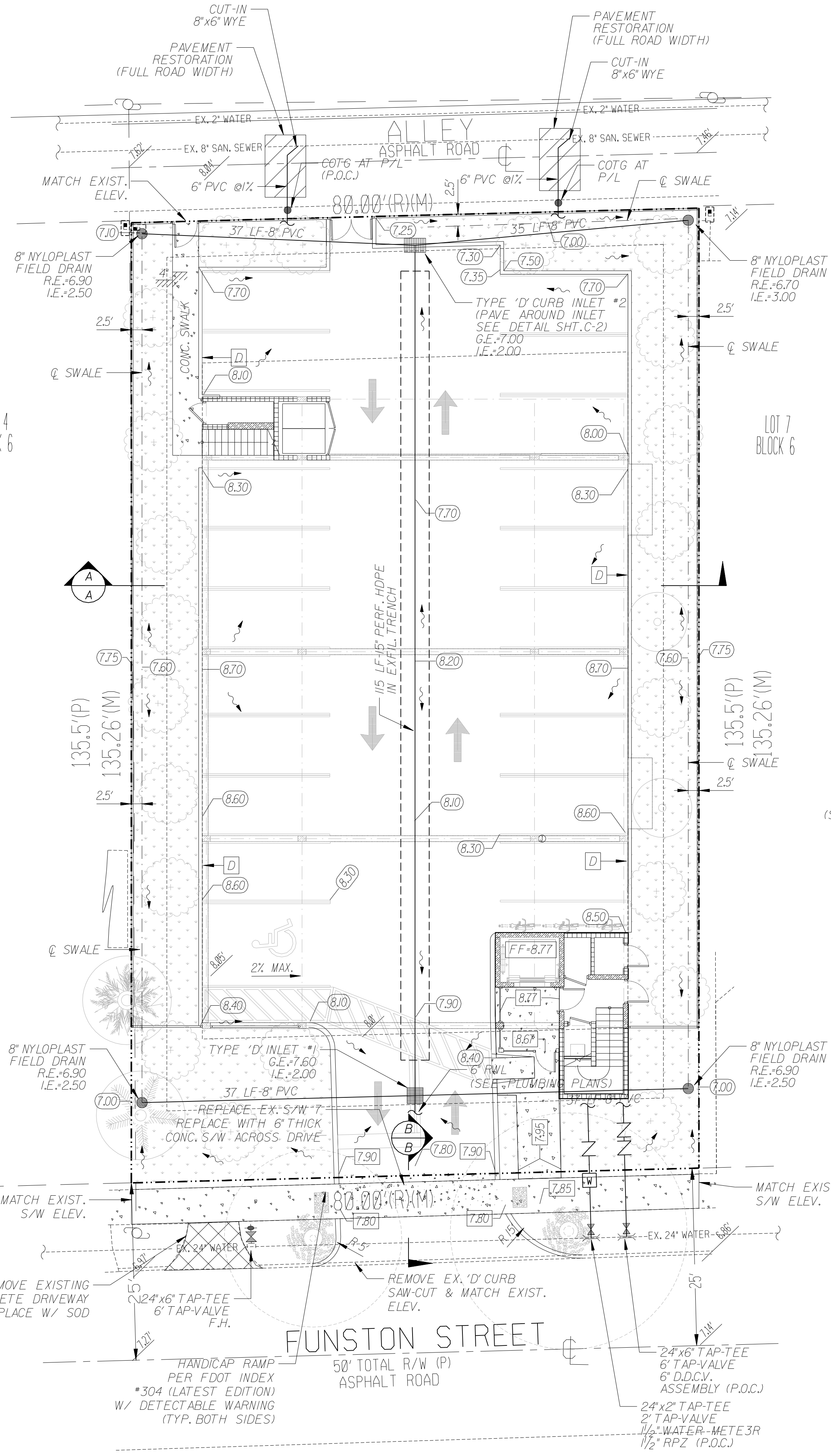


**FIRE NOTES:**

- UNDERGROUND FIRE MAIN WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS 1,110R V LICENSE PER FS633-102.
- A BI-DIRECTIONAL AMPLIFIER IS REQUIRED PER NDPA, 11.10 AND BROWARD AMENDMENT 118.
- PER NFPA 1, 12.3.2 A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTION OF THE FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

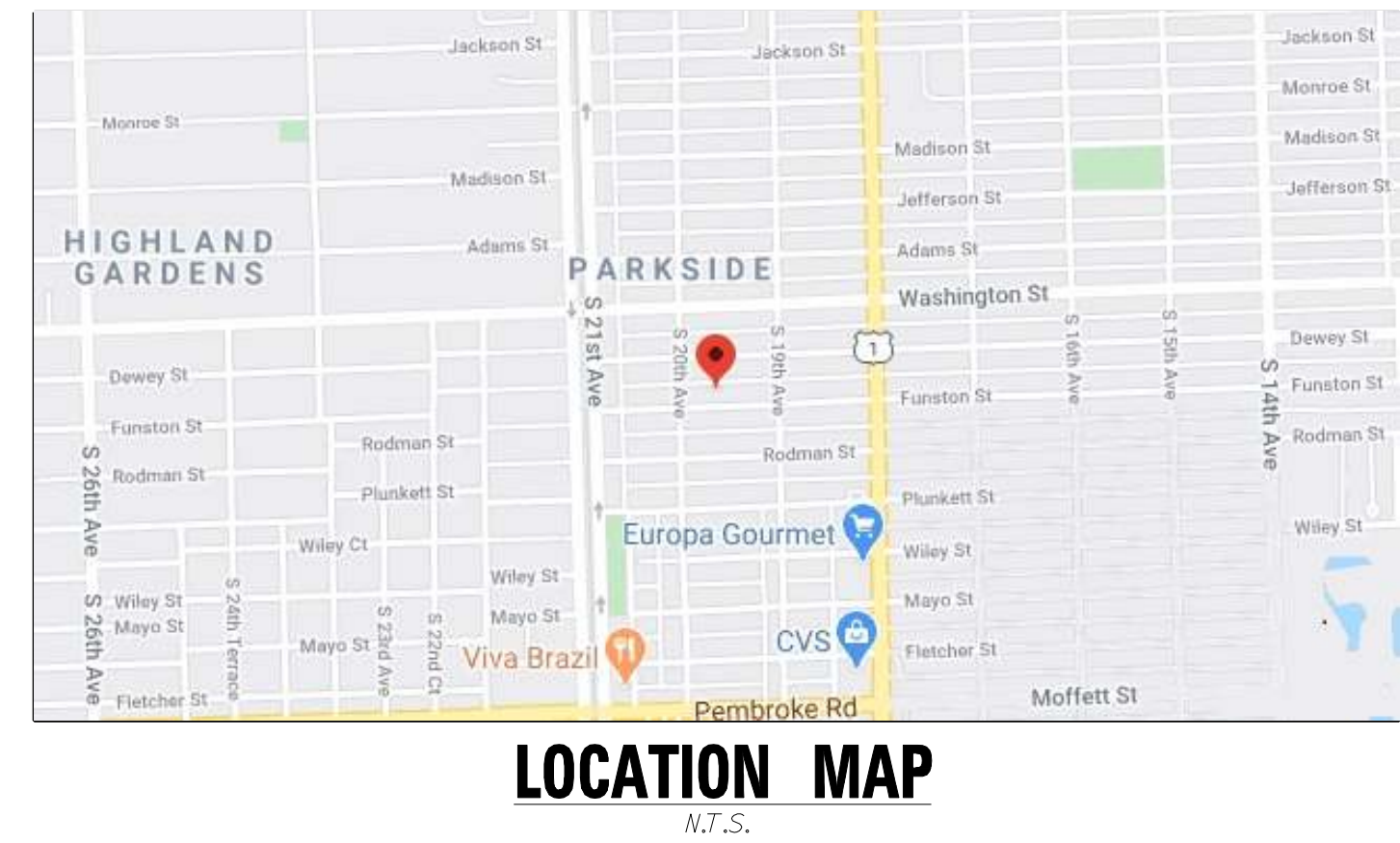
**GENERAL NOTES:**

- SEE ARCHITECTURAL PLAN FOR ALL SITE DIMENSIONS AND SET-BACKS.
- SEE ARCHITECTURAL SITE PLAN FOR SITE PAVEMENT MARKINGS.
- SEE PLUMBING PLANS FOR SANITARY, DOMESTIC WATER SERVICE & FIRE SERVICE.



**LEGEND**

- PROPERTY LINE
- ~ DIRECTION OF OVERLAND FLOW
- - - EXISTING INFORMATION
- - - PROPOSED INFORMATION
- EXISTING GRADE
- P.O.C. POINT OF CONNECTION
- 8.00 PROPOSED GRADE - NGVD
- 8.12 PROPOSED CONCRETE GRADE - NGVD
- D PROPOSED TYPE 'D' CURB
- 5' CONCRETE SIDEWALK



**PROJECT NAME: 1939 FUNSTON STREET RESIDENCES**

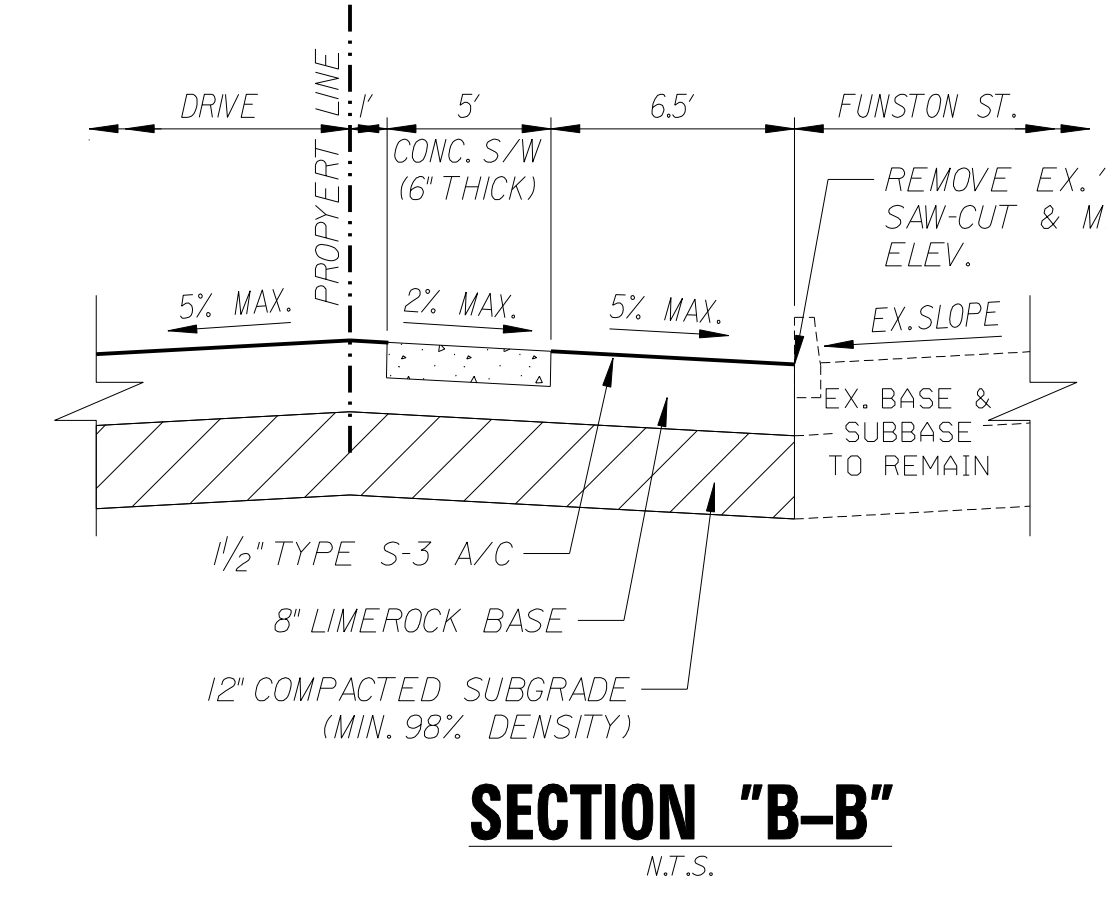
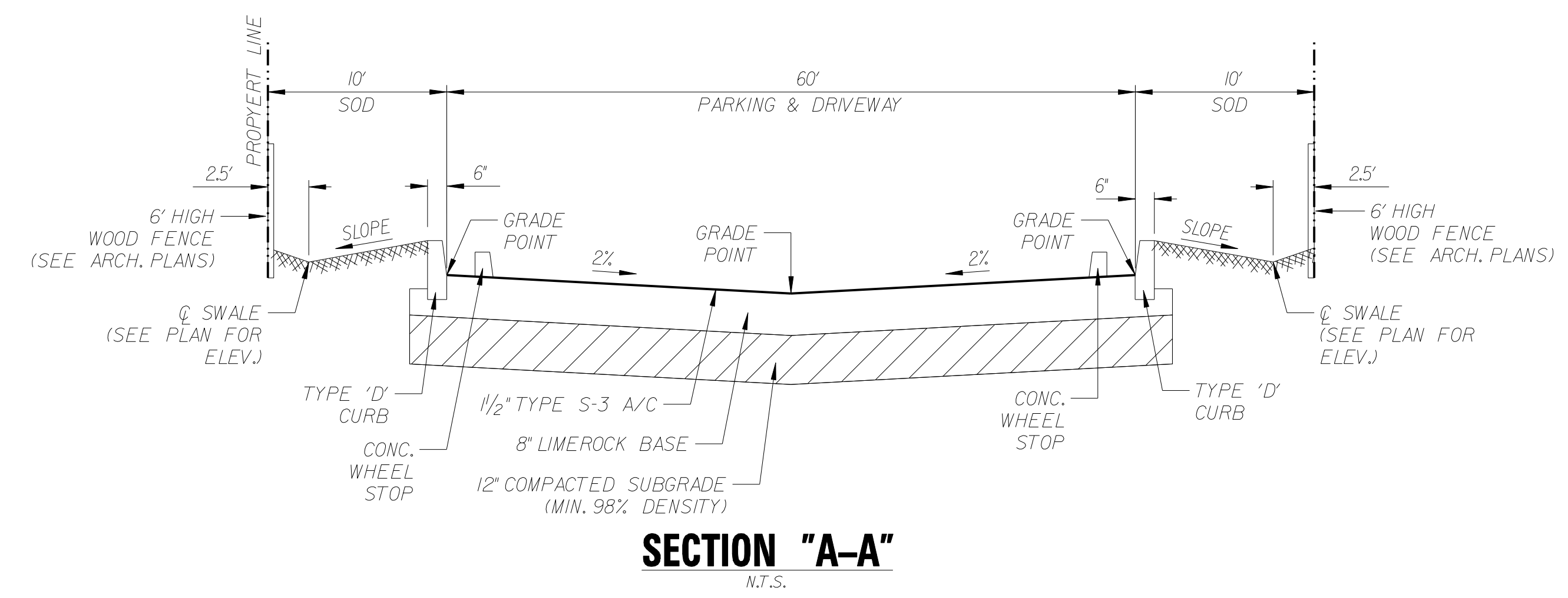
**WATER AND SEWER DEMAND CALCULATIONS**  
Date: 4/20/2020

The estimated flows were calculated using the Broward County WWS ERU Factors Equivalent Residential Unit Factors (ERU) for Condominium/Apartments Condominium/Apartments: 0.707 ERU per Unit (Ref. Code R03)

**NUMBER OF CONDOMINIUM/APARTMENTS UNITS = 15**

Total ERU = 15 X 0.707 = 10.61

	Demand	Units	Total
	300	GPD	3183.0
<b>Total Average Daily Flow</b>			<b>3183.0 GPD</b>
<b>Total Average Flow Per Hour</b> 3183 / 24 Hrs. =			<b>132.63 GPH</b>
<b>Max. Flow Per Hour = 132.63 x 4.0 =</b>			<b>530.50 GPH</b>



**NOTE:**  
ALL EXISTING AND PROPOSED GRADES REFER TO 1988 NAVD DATUM.

REVISIONS:

1.	6/18/2020	CITY COMMENTS
2.		
3.		
4.		
5.		
6.		
7.		
8.		

**K2 Design, Inc.**  
17010 Collins Avenue, #255  
Sunny Isles, FL 33160

PROJECT: 1939 Funston Street  
HOLLYWOOD  
FLORIDA  
TASK: ENGINEERING PLAN

**GGB Engineering, Inc.**  
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
• FLORIDA REGISTRATION NO. 8118  
2899 Stirling Road, Suite C-202  
Fort Lauderdale, Florida 33312  
Phone: (954) 986-9899  
Fax: (954) 986-8655

DATE: Feb. 2020  
SCALE: 1"=10'  
DESIGNED BY: C.G.B.  
DRAWN BY: M.M.  
PROJECT NO. 20-0212  
SHEET C-1

GARY G. BLOOM, P.E.  
FLA. LIC. NO. 38832  
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

S. 20th AVENUE  
SECOND AVENUE(P)

FIP 1" AT P.I. NO. 10 (02/07/2020)

168.48'(R)  
168.50'(M)

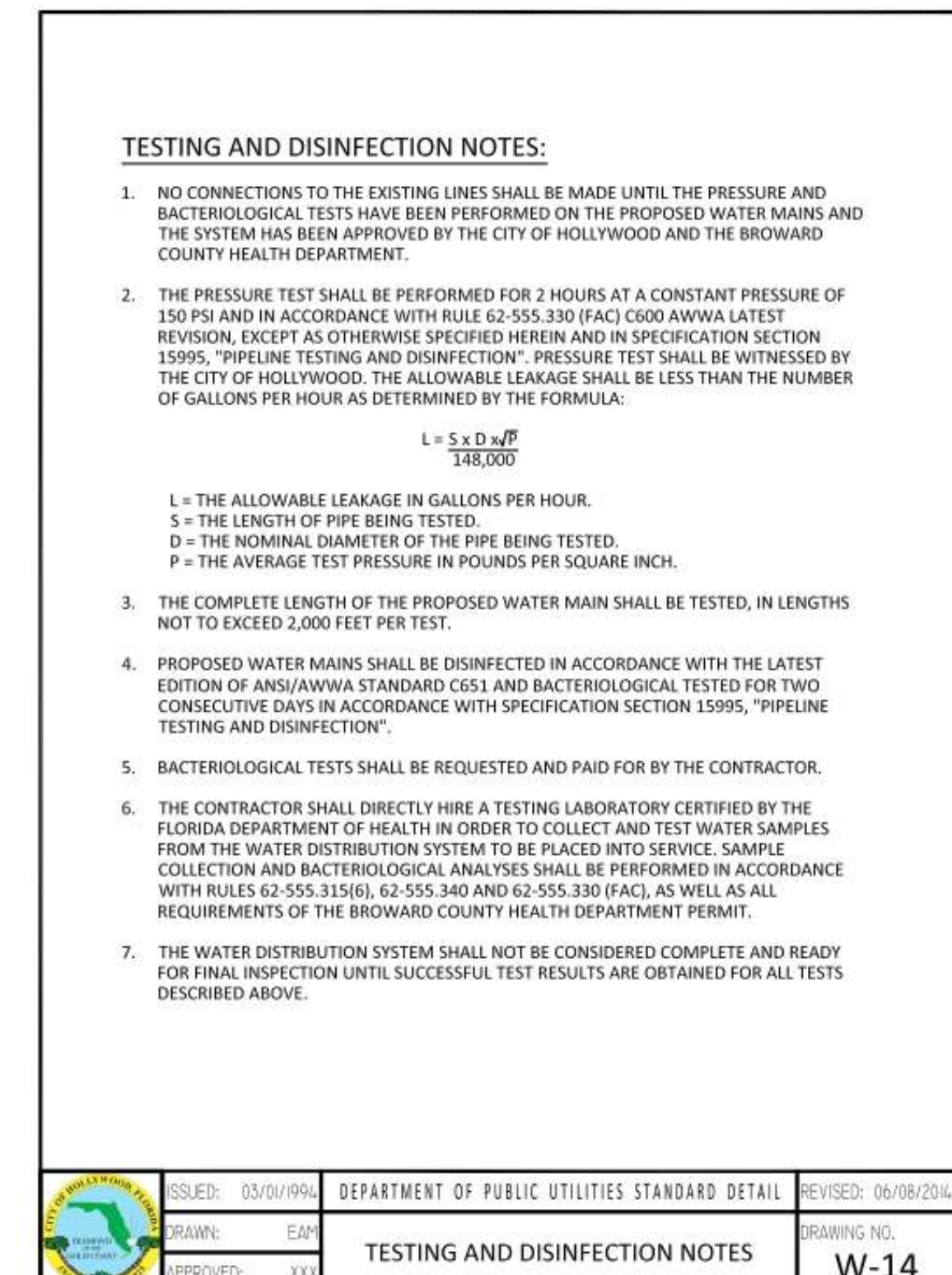
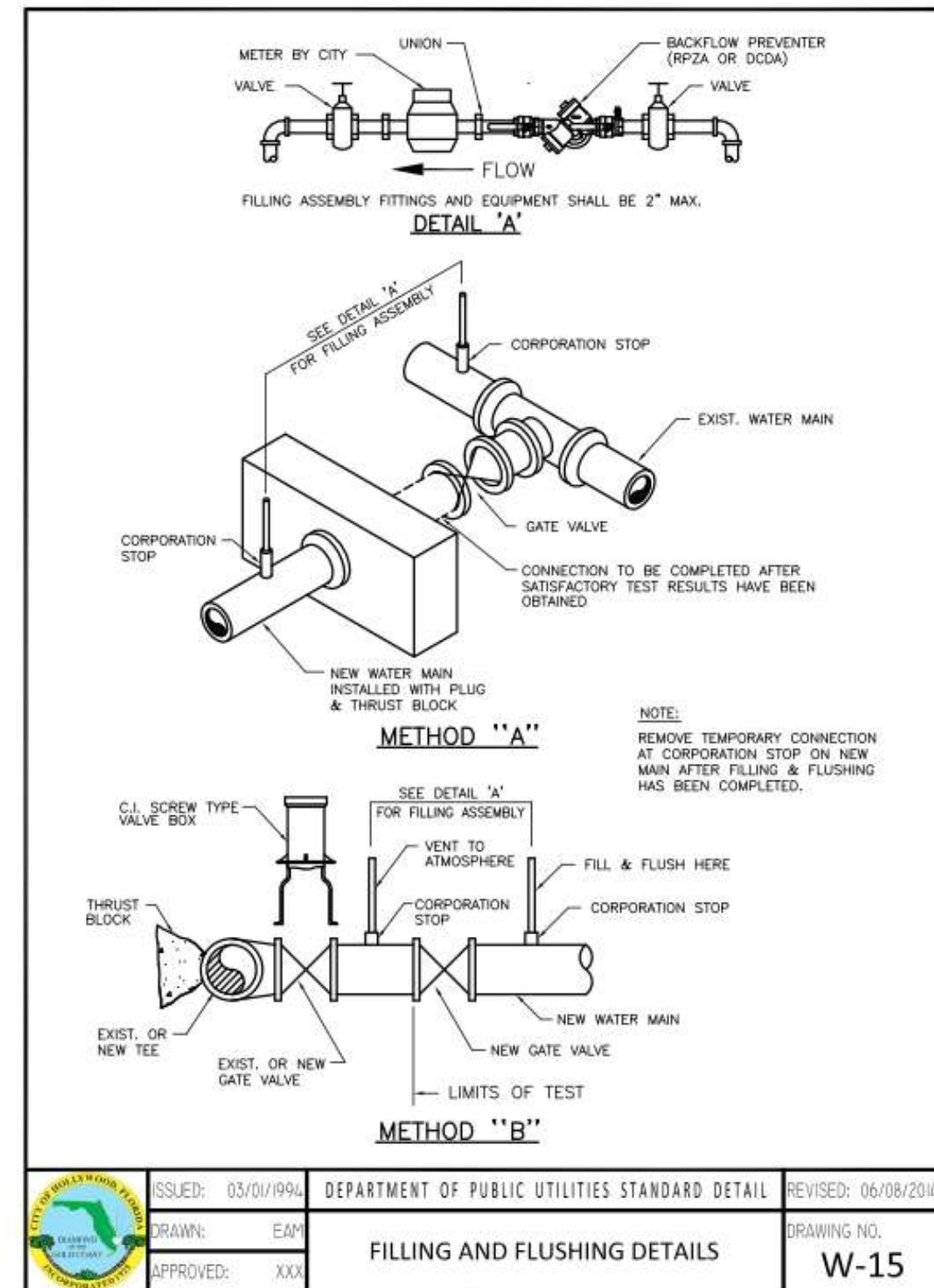
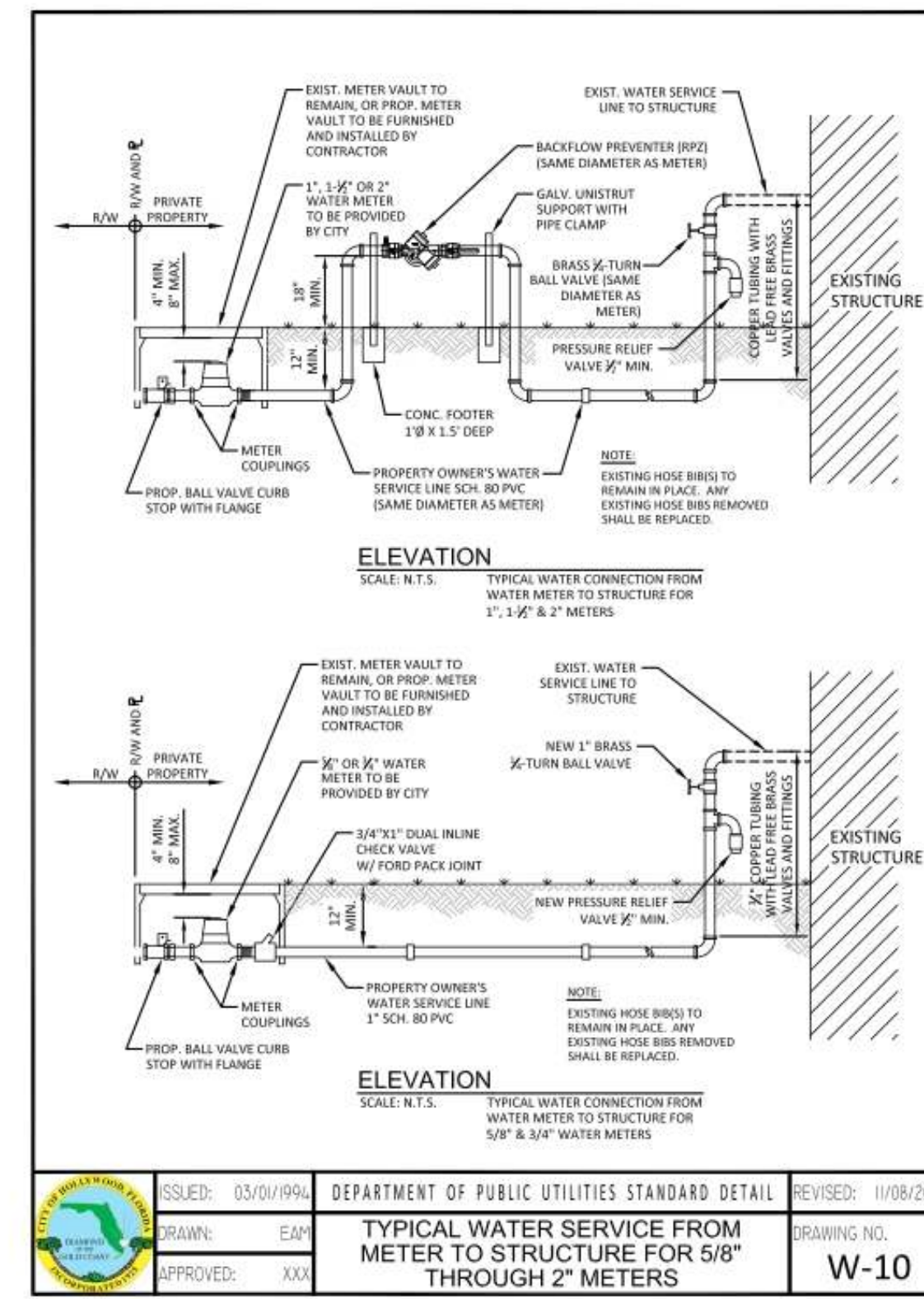
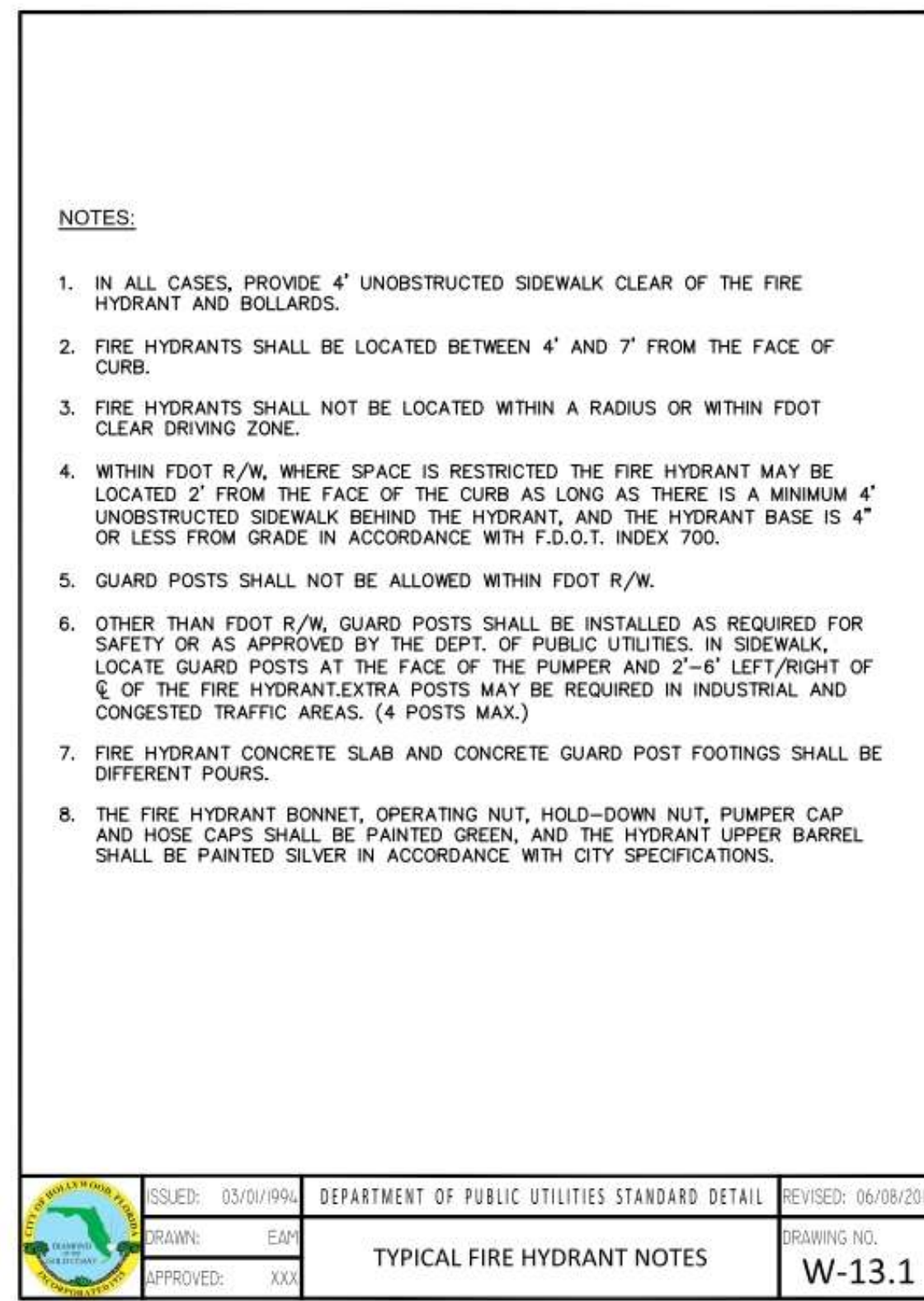
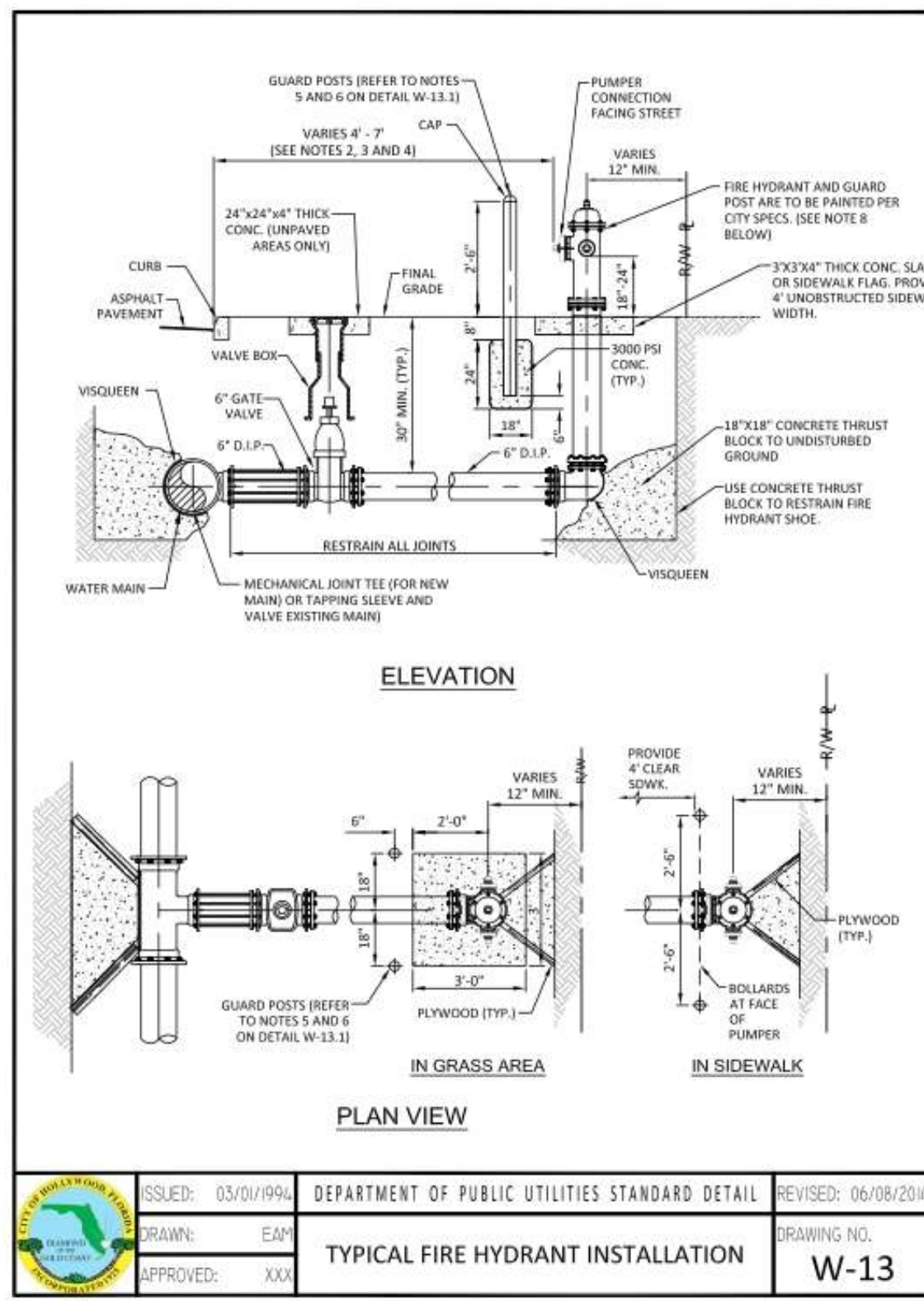
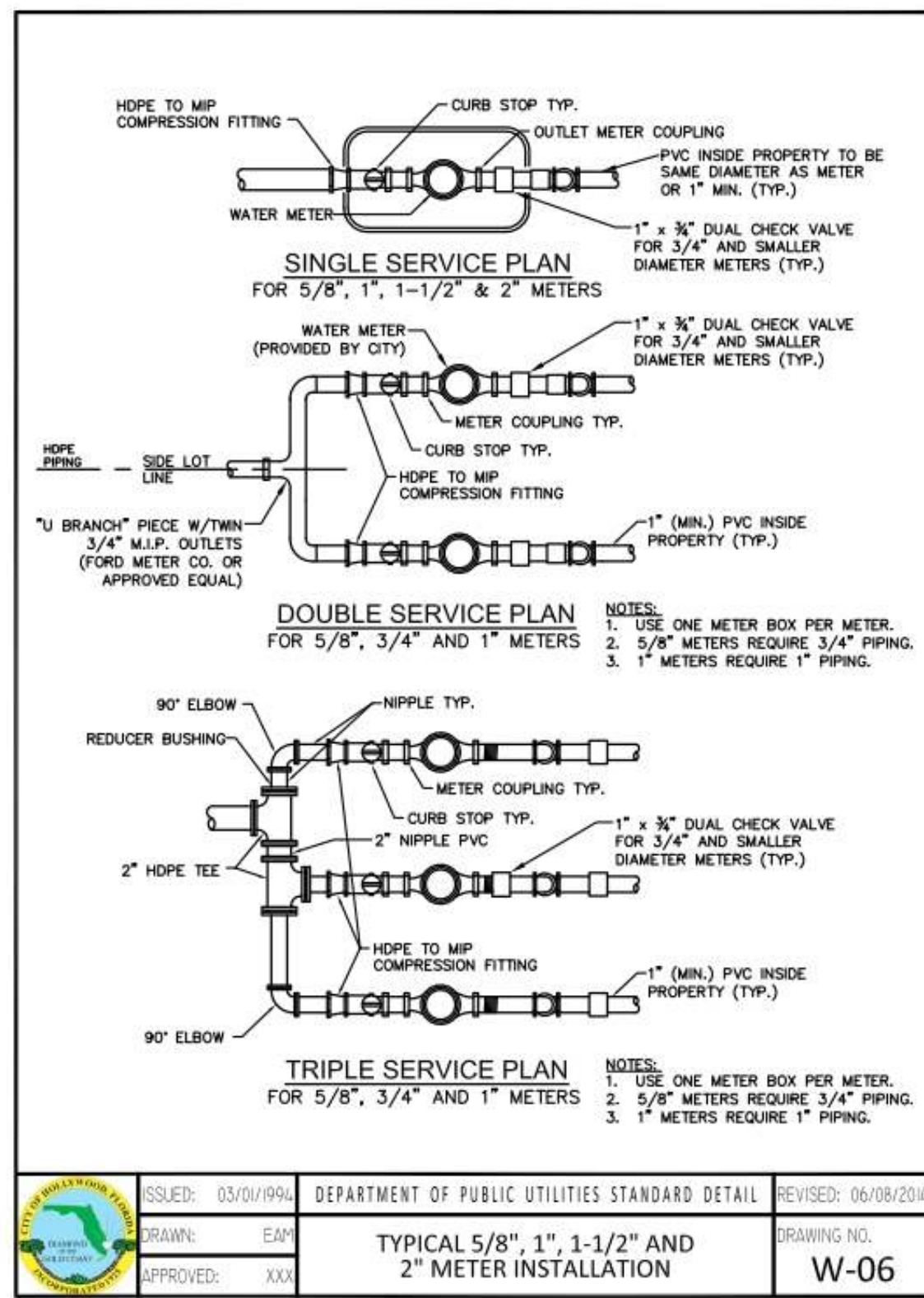
REMOVE EXISTING CONCRETE DRIVEWAY AND REPLACE W/ SOD

HANDICAP RAMP PER FOOT INDEX \*304 (LATEST EDITION) W/ DETECTABLE WARNING (TYP. BOTH SIDES)

24"x6" TAP-TEE 6" TAP-VALVE 6" O.D. CV. ASSEMBLY (P.O.C.)

24"x2" TAP-TEE 2" TAP-VALVE 1/2" WATER-METE3R 1/2" RPZ (P.O.C.)





REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CUSTOMER: K2 Design, Inc.  
17010 Collins Avenue, #255  
Sunny Isles, FL 33160

PROJECT: 1939 Funston Street  
HOLLYWOOD  
FLORIDA

TASK: CONSTRUCTION DETAILS

GGB Engineering, Inc.  
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION NO. 8718  
2699 Stirling Road, Suite C-202  
Fort Lauderdale, Florida 33312  
Phone: (954) 986-9899  
Fax: (954) 986-8655

DATE: Feb. 2020 SCALE: N.T.S.  
DESIGNED BY: G.C.B. DRAWN BY: M.M.

PROJECT NO. 20-0212  
SHEET C-3

GARY G. BLOOM, P.E.  
FLA. LIC. NO. 38832  
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

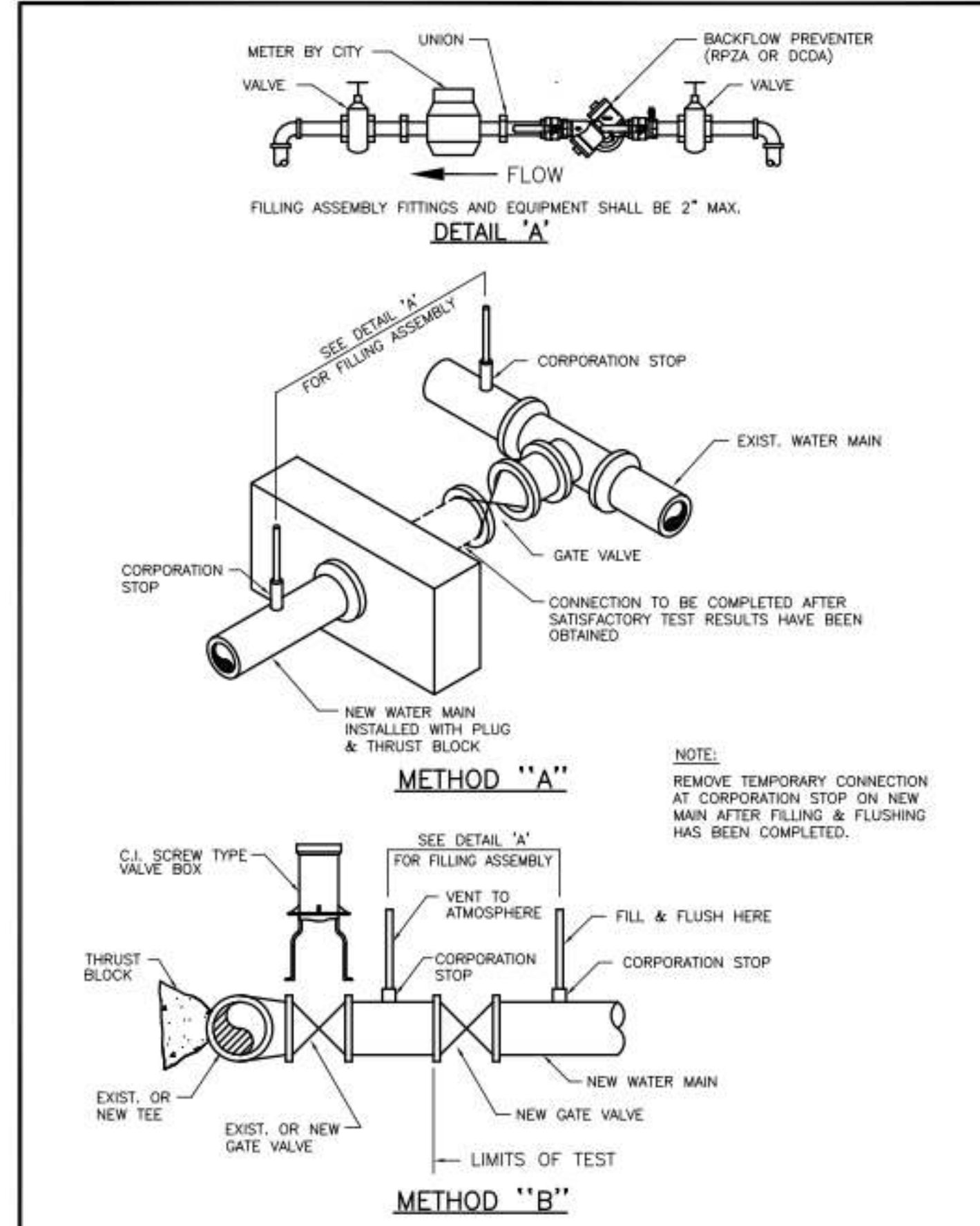


WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

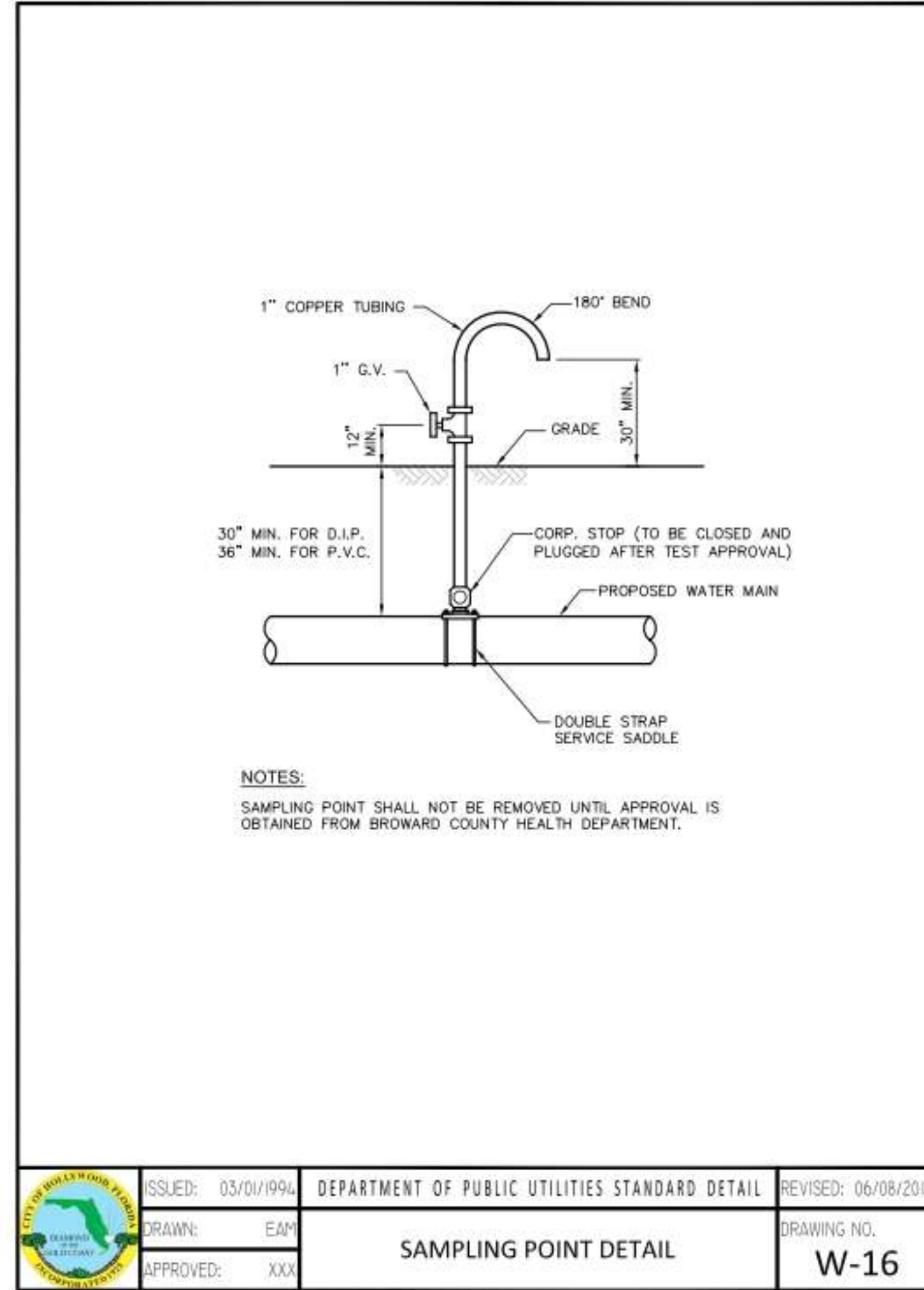
OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL-JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	WATER MAIN 3 ft minimum	WATER MAIN 3 ft minimum except for storm sewer, there shall be 12 inches of separation and 22 inches of protection	Alternate 3 ft minimum WATER MAIN
GRAVITY SANITARY SEWER (3)	WATER MAIN 3 ft minimum 30 ft protected 6 ft minimum	WATER MAIN 3 ft minimum except for gravity sewer, there shall be 12 inches of separation and 22 inches of protection	Alternate 6 ft minimum WATER MAIN
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	30 ft minimum		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-500, F.A.C.
- TOP OF THE GRAVITY SANITARY SEWER.
- 15' VERTICAL SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAD IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DEDUCT OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN. WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 SEPARATION REQUIREMENTS OF F.D.E.P. / F.D.N.R.P. DRAWING NO. G-01.1



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 FILLING AND FLUSHING DETAILS DRAWING NO. W-15



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 SAMPLING POINT DETAIL DRAWING NO. W-16

**TESTING AND DISINFECTION NOTES:**

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
- THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:  

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.  
 S = THE LENGTH OF PIPE BEING TESTED.  
 D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.  
 P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
- THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
- PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
- BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
- THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 TESTING AND DISINFECTION NOTES DRAWING NO. W-14

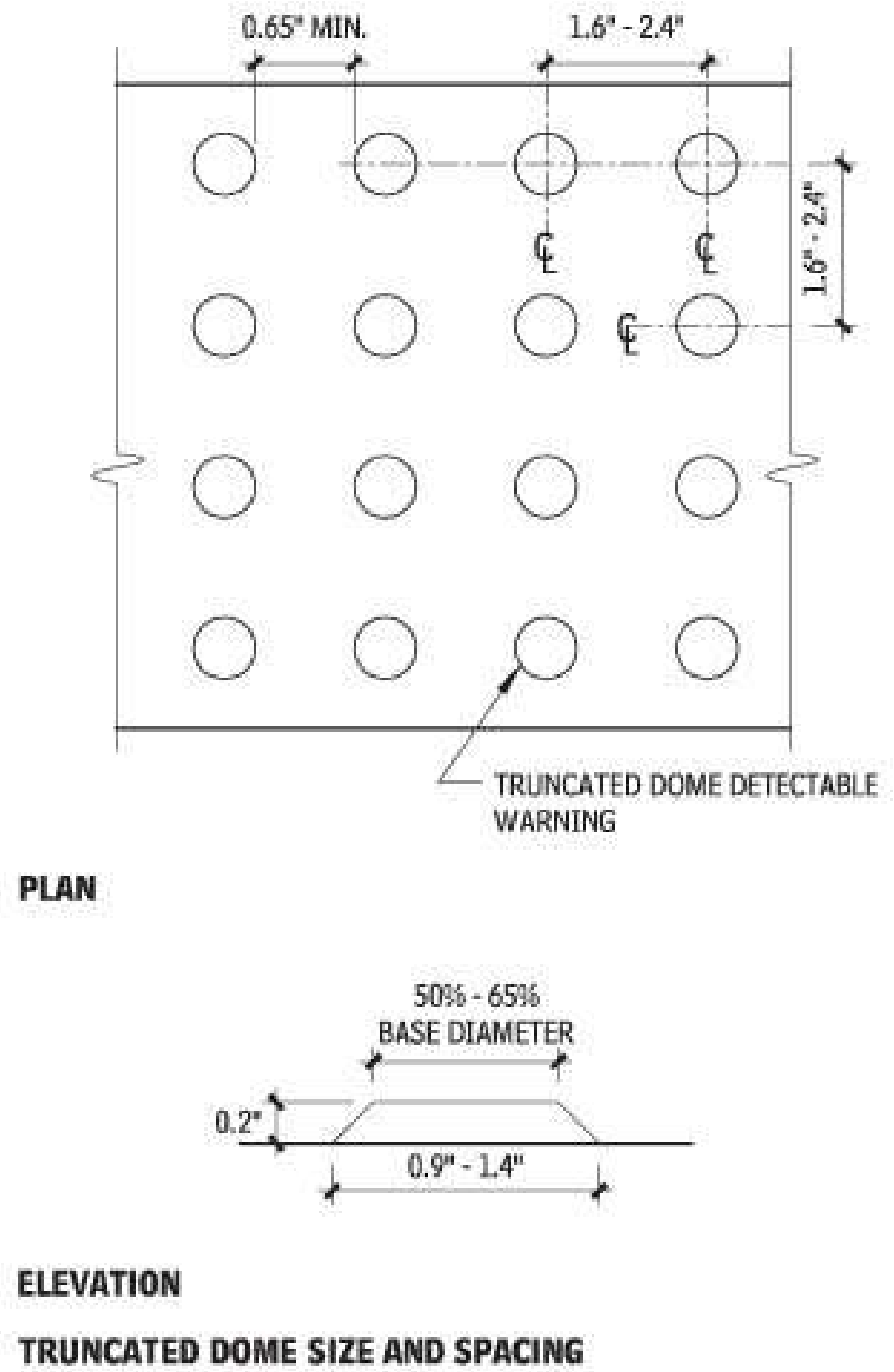
HORIZONTAL BENDS			
PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT)	
		PVC	*DIP
16	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
8	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
6	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
4	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-

MIN. RESTRAINED LENGTH ALONG RUN (MRL)  
 MIN. RESTRAINED LENGTH ALONG BRANCH (RL)

TEES AND TAPPING SLEEVES

RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MIN. RESTRAINED LENGTH ALONG RUN (FT.)	
		PVC	*DIP
16"	16"	-	-
8"	8"	-	-
8"	6"	-	-
8"	4"	-	-
6"	6"	-	-
4"	4"	-	-

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES DRAWING NO. G-11.1



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014  
 DRAWN: EAM  
 APPROVED: XXX  
 TRUNCATED DOME SIZE AND SPACING DRAWING NO. W-17

REVISIONS:  
 1. 6/18/2020 CITY COMMENTS  
 2.  
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 6.  
 7.  
 8.

CLIENT: K2 Design, Inc.  
 17010 Collins Avenue, #255  
 Sunny Isles, FL 33160

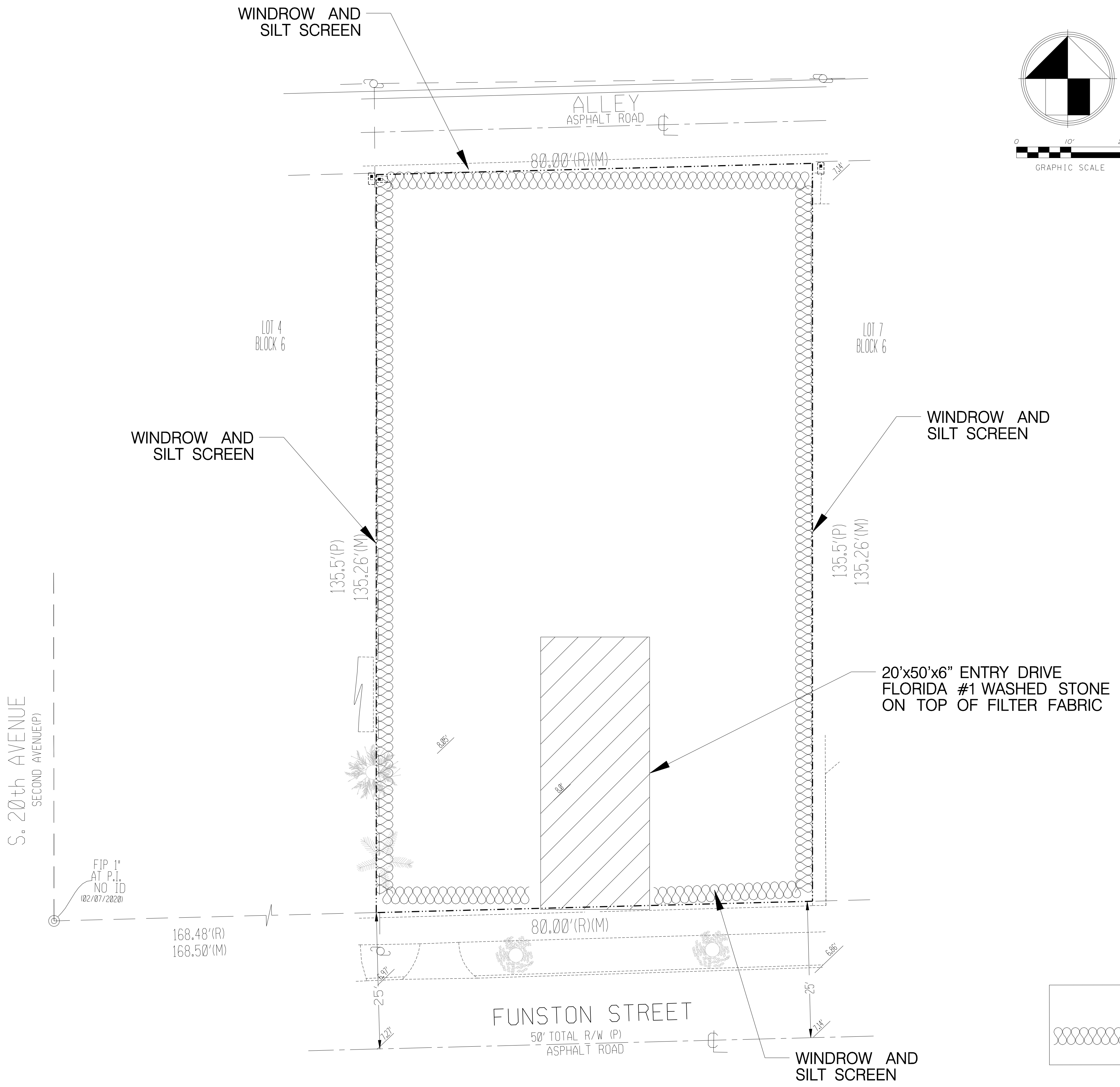
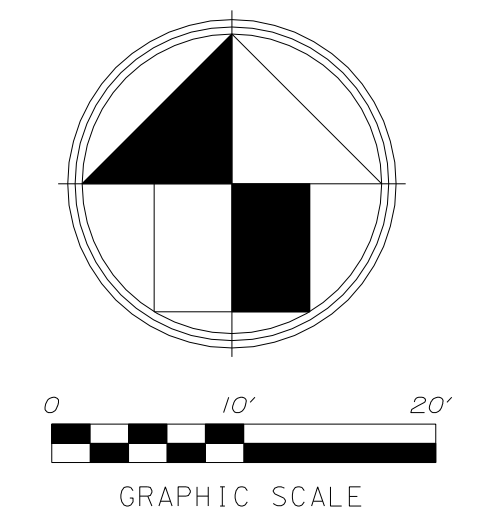
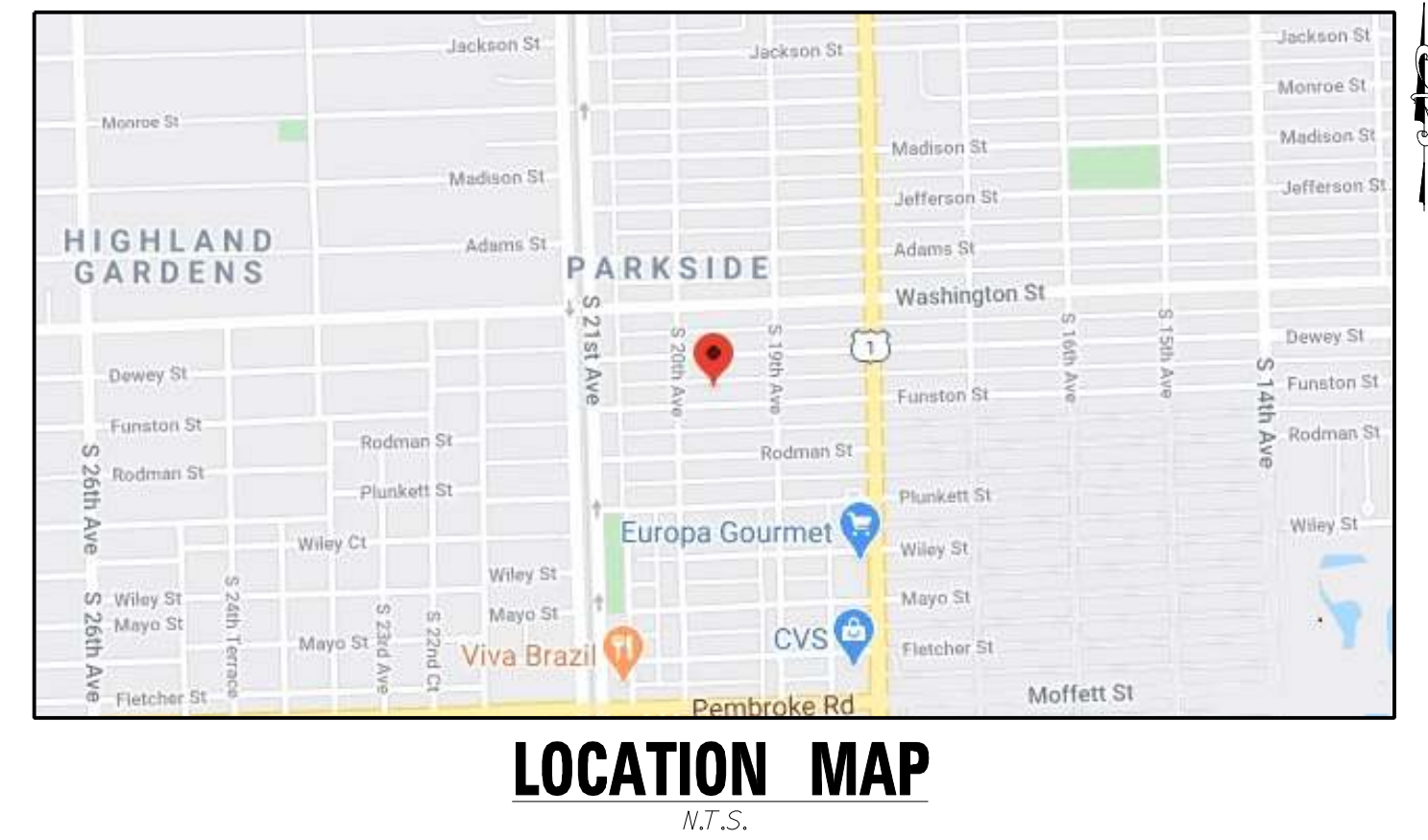
PROJECT: 1939 Funston Street  
 HOLLYWOOD  
 FLORIDA

TASK: CONSTRUCTION DETAILS

GGB Engineering, Inc.  
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
 • CONSTRUCTION MANAGERS  
 FLORIDA REGISTRATION No. 8718  
 2699 Stirling Road, Suite C-202  
 Fort Lauderdale, Florida 33312  
 Phone: (954) 986-9899  
 Fax: (954) 986-8655

DATE: Feb. 2020 SCALE: 1"=10'  
 DESIGNED BY: G.C.B. DRAWN BY: M.M.  
 PROJECT NO. 20-0212  
 SHEET C-5

GARY G. BLOOM, P.E.  
 F.L.A. LIC. NO. 38832  
 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



**LEGEND**

	DENOTES WINDROW AND SILT SCREEN ALONG PROPERTY LINE DURING CONSTRUCTION OF GRADING AND DRAINAGE
--	---

REVISIONS:

1.	
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8.	

CLIENT:

**K2 Design, Inc.**  
17010 Collins Avenue, #255  
Sunny Isles, FL 33160

PROJECT:

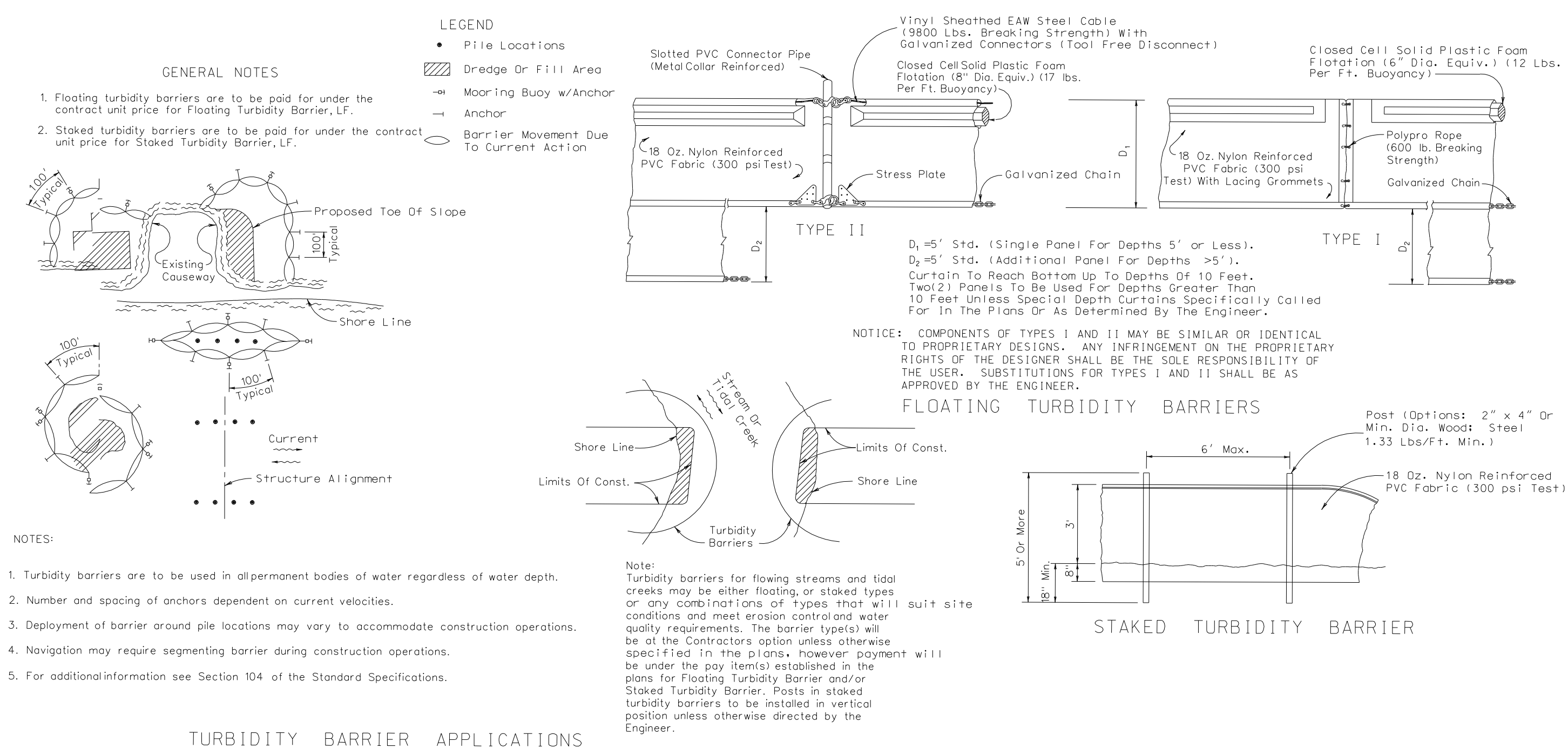
**1939 Funston Street**  
**HOLLYWOOD**  
**FLORIDA**

**STORMWATER POLLUTION PREVENTION PLAN**

**GGB Engineering, Inc.**  
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION No. 8118  
2699 String Road, Suite C-202  
Fort Lauderdale, Florida 33312  
Phone: (954) 986-9899  
Fax: (954) 986-8655

DATE: Feb. 2020	SCALE: 1"=10'
DESIGNED BY: C.C.B.	DRAWN BY: M.M.
PROJECT NO. 20-0212	
SHEET C-6	

GARY G. BLOOM, P.E.  
FLA. LIC. No. 39832  
NOT VALID UNLESS SIGNED  
AND SEALED BY ENGINEER



TURBIDITY BARRIER APPLICATIONS

## TURBIDITY BARRIER DETAILS PER FDOT INDEX NO. 103

PROJECT: \_\_\_\_\_

STORM WATER POLLUTION PREVENTION PLAN  
 INSPECTOR AND MAINTENANCE REPORT FORM  
 TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

DATE: \_\_\_\_\_

DATE OF RAINFALL	INCHES OF RAINFALL	IS THERE EVIDENCE OF POLLUTION?	IS THERE EVIDENCE OF POLLUTION?

DATE SINCE LAST RAINFALL: \_\_\_\_\_

MAINTENANCE REQUIRED FOR THIS SITE: \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

STABILIZATION MEASURES:

VEGETATION AREA	DATE SINCE LAST RAINFALL	DATE OF LAST INSPECTION	IS THERE EVIDENCE OF POLLUTION?	IS THERE EVIDENCE OF POLLUTION?	LOCATION

MAINTENANCE REQUIRED FOR THIS SITE: \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

PAGE 1 OF 4

PROJECT: \_\_\_\_\_

STORM WATER POLLUTION PREVENTION PLAN  
 INSPECTOR AND MAINTENANCE REPORT FORM  
 TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

DATE: \_\_\_\_\_

DATE OF RAINFALL	INCHES OF RAINFALL	IS THERE EVIDENCE OF POLLUTION?	IS THERE EVIDENCE OF POLLUTION?

DATE SINCE LAST RAINFALL: \_\_\_\_\_

MAINTENANCE REQUIRED FOR THIS SITE: \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

STABILIZATION MEASURES:

VEGETATION AREA	DATE SINCE LAST RAINFALL	DATE OF LAST INSPECTION	IS THERE EVIDENCE OF POLLUTION?	IS THERE EVIDENCE OF POLLUTION?	LOCATION

MAINTENANCE REQUIRED FOR THIS SITE: \_\_\_\_\_

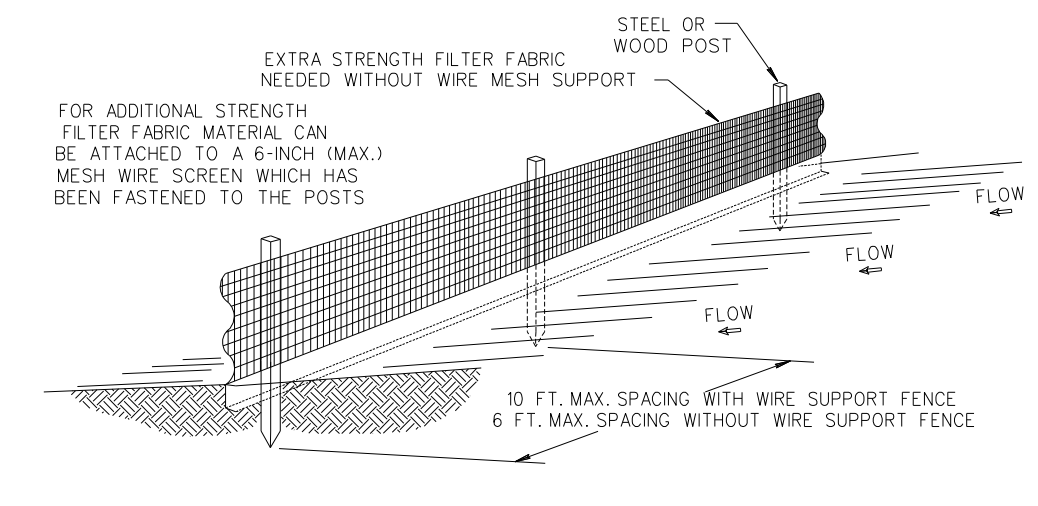
TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

PAGE 2 OF 4

**NOTE TO CONTRACTOR:**

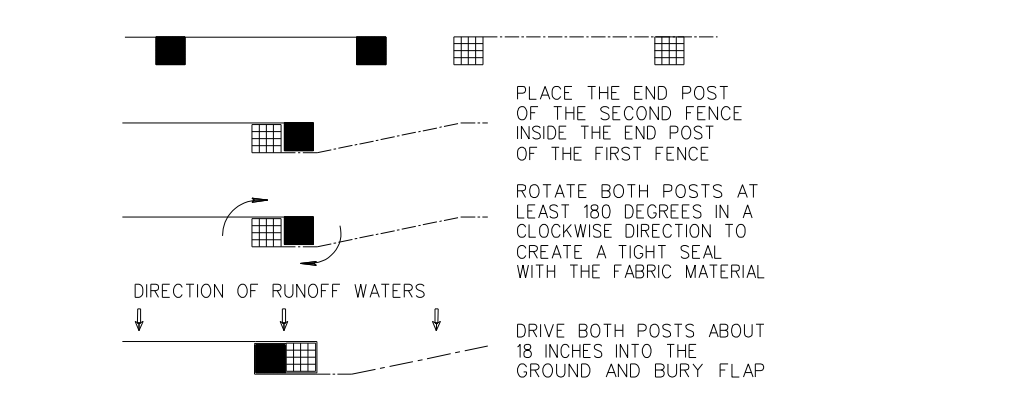
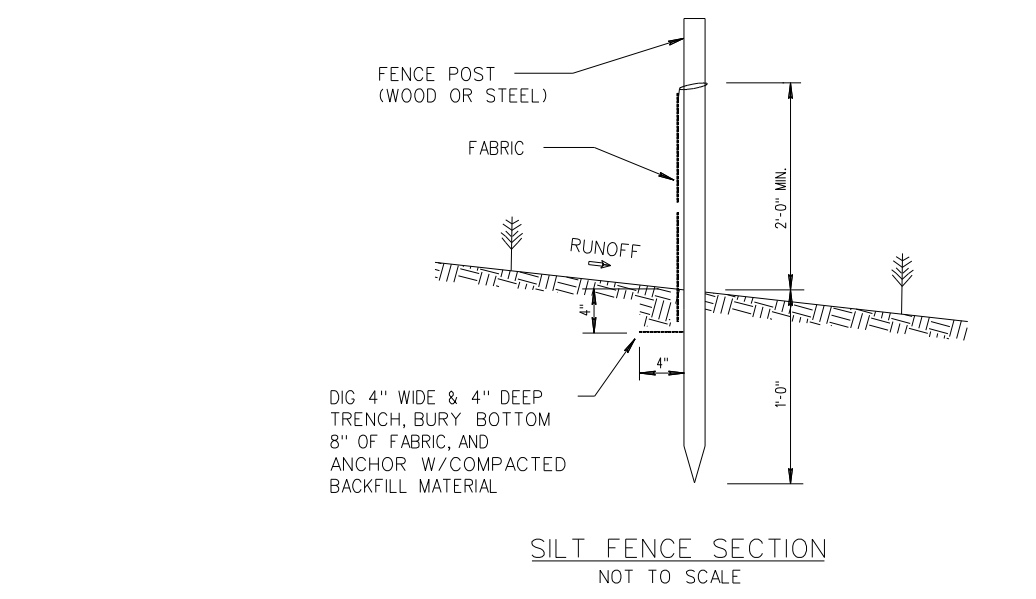
THIS IS THE CONTRACTOR'S CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 1 ACRE. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

- EROSION CONTROL NOTES DETAIL D9.1**
- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
  - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
  - INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
  - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DETERMINED NECESSARY BY INSPECTION.
  - FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
  - DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
  - ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
  - EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
  - WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
  - ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
  - DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

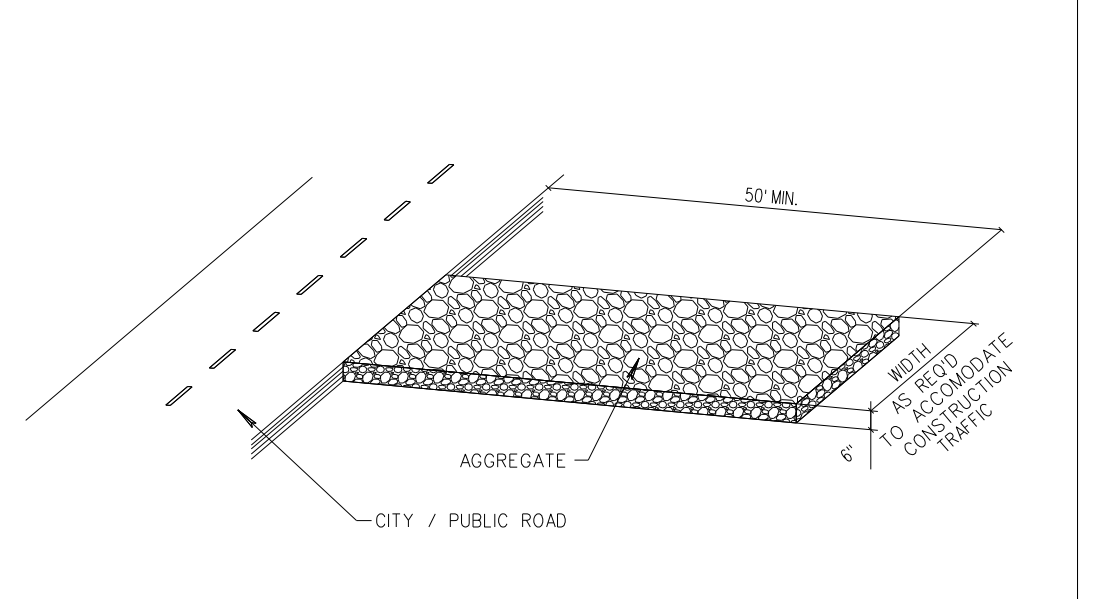


- NOTES:**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM) WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (100 MM) WIDE AND 4 INCHES (100 MM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRES OR HOE RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (50 MM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (900 MM) ABOVE THE ORIGINAL GROUND SURFACE.
  - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (200 MM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (900 MM) ABOVE THE ORIGINAL GROUND SURFACE.
  - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  - ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  - ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDOT.

SILT FENCE INSTALLATION DETAIL D 9.1a  
 Sheet 1 of 2



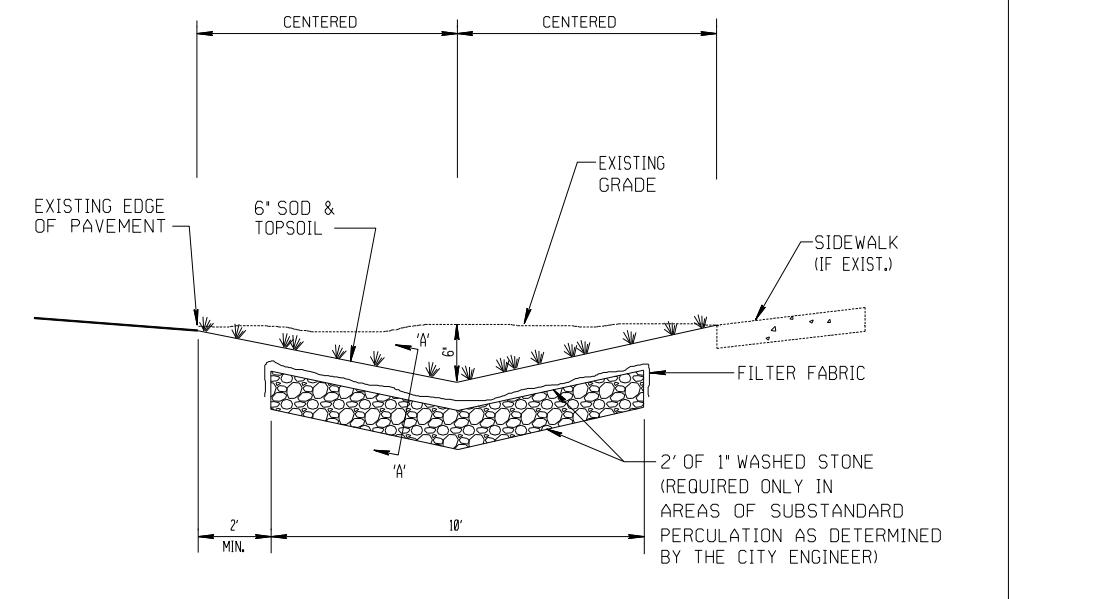
SILT FENCE INSTALLATION DETAIL D 9.1b  
 Sheet 2 of 2



**NOTE:**

A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FOOT AGGREGATE NO. 1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



**NOTE:**

1. CONTRACTOR TO REPLACE ALL IRRIGATION TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL D10.1

REVISIONS:

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CLIENT: \_\_\_\_\_

PROJECT: \_\_\_\_\_

1939 Funston Street  
 HOLLYWOOD, FLORIDA

K2 Design, Inc.  
 17010 Collins Avenue, #255  
 Sunny Isles, FL 33160

STORMWATER POLLUTION PREVENTION PLAN

PROJECT: \_\_\_\_\_

TASK: \_\_\_\_\_

DATE: \_\_\_\_\_

DESIGNED BY: G.C.B.

DRAWN BY: M.M.

PROJECT NO. 20-0212

SHEET C-7

**GGB Engineering, Inc.**

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
 • CONSTRUCTION MANAGERS  
 FLORIDA REGISTRATION NO. 8718

2699 Stirling Road, Suite C-202  
 Fort Lauderdale, Florida 33312

Phone: (954) 986-9899  
 Fax: (954) 986-8655

DATE: Feb. 2020

SCALE: N.T.S.

DESIGNED BY: G.C.B.

DRAWN BY: M.M.

PROJECT NO. 20-0212

SHEET C-7

GARY G. BLOOM, P.E.  
 FLA. LIC. NO. 38832  
 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER





**GENERAL PLUMBING NOTES:**

- ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE "FLORIDA BUILDING CODE 2017", AND ALL APPLICABLE LOCAL ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH JOB SITE AND WITH ALL CONSTRUCTION DOCUMENTS INCLUDING ARCHITECTURAL, ELECTRICAL, HVAC, AND STRUCTURAL DWGS. PRIOR TO BIDDING. ADJUSTMENTS IN THE PLUMBING SYSTEM TO ACCOMMODATE OTHER DISCIPLINES SHOULD BE EXPECTED, AND SHALL NOT REPRESENT ADDITIONAL COSTS TO OWNER, AS WELL AS VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL OBTAIN INSURANCE PROTECT AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
- ALL PERMITS, FEES, INSPECTIONS AND TESTS SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- ALL MATERIALS SHALL BE NEW AND OF AN AMERICAN MANUFACTURER, FREE FROM DEFECTS, INDISTINGUISHABLY MARKED WITH NAME OF MANUFACTURER, WEIGHT AND/OR CLASS.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION, BACKFILL AND PATCHING THE SLAB SHALL BE PART OF THIS CONTRACT.
- VERIFY LOCATION, SIZE AND ELEVATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF FIXTURES AND PIPING.
- DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
- ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
- GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
- ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8" INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2 1/2" PIPES AND SMALLER.
- ALL MATERIALS SHALL BE NEW, FREE OF DEFECTS AND CORRECTLY LABELED WITH THEIR APPROPRIATE LISTING AGENCY.
- SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT FOR APPROVAL, WITHIN 30 DAYS OF SIGNING CONTRACT, A MINIMUM OF FIVE COPIES OF FULLY DESCRIPTIVE LITERATURE, INCLUDING BUT NOT LIMITED TO: WATER HEATERS, AND PLUMBING FIXTURES. NO WORK SHALL PROCEED WITHOUT THE APPROVAL OF THESE SUBMITTALS.
- PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC WATER SAVING STANDARDS.
- MATERIALS:
  - PIPING: SOIL, WASTE, VENT, AND STORM (BELOW GRADE): SHALL BE SHALL BE CENTRIFUGALLY CAST IRON PIPE CONFORM TO ONE OF THE STANDARDS ASTM A 74; ASTM A 888; CISPI 301, NO-HUB FITTINGS. POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, CSA B181.2) IS ACCEPTABLE.
  - (BELOW GRADE): SHALL BE SHALL BE CENTRIFUGALLY CAST IRON PIPE AND CONFORM TO ONE OF THE STANDARDS ASTM A 74; ASTM A 888; CISPI 301, NO-HUB FITTINGS. POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, ASTM F 1488, CSA B181.2) IS ACCEPTABLE.
  - DOMESTIC WATER PIPING:
    - (BELOW GRADE): SHALL BE COPPER TYPE "K" ASTM B-88 WITH WROUGHT COPPER FITTINGS AND 95-5 SOLDERED JOINTS. PAINT WITH BITUMASTIC WHEN INSTALLED IN GRADE.
    - (ABOVE GRADE): SHALL BE COPPER TYPE "L" ASTM B-88 WITH WROUGHT COPPER FITTINGS AND 95-5 SOLDERED JOINTS. CPVC (CHLORINATED POLYVINYL CHLORIDE) ASTM D 2846 PIPE AND TUBING WITH CPVC PLASTIC FITTINGS ASTM F 437 IS ACCEPTABLE.
  - ALL PIPING IN RETURN PLENUM SHALL NOT BE PVC OR CPVC, ONLY METALLIC MATERIAL WILL BE USE WITHIN THE PLENUM AREA.
  - DOMESTIC WATER SUPPLY ASSEMBLY: CHROME FINISH TUBING WITH ANGLE SHUT OFF VALVES IN EXPOSED AREAS.
  - CONDENSATE DRAIN: DWV COPPER PIPE & FITTINGS OR POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, CSA B181.2) IS ACCEPTABLE.
  - ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
- PIPING TEST AND DISINFECTIONS:
  - TESTING
  - COMPLETE WATER PIPING SYSTEM SHALL BE PRESSURE TESTED BY CAPPING OR PLUGGING OPENINGS, FILLING SYSTEM WITH WATER AND APPLYING HYDROSTATIC PRESSURE OF 125 PSI FOR PERIOD OF NOT LESS THAN 2 HOURS.
  - SOIL, WASTE AND VENT PIPING SHALL BE TESTED BY CAPPING THE ENDS OF THE SYSTEM AND ALL LINES FILLED WITH WATER TO HIGHEST POINT AND ALLOW TO STAND UNTIL INSPECTION IS MADE AND WATER LEVEL REMAINS CONSTANT.
  - DISINFECTION OF POTABLE WATER SYSTEM
    - FIRST, FLUSH THE ENTIRE DOMESTIC WATER SYSTEM WITH CLEAN, POTABLE WATER UNTIL NO DIRTY WATER APPEARS AT ALL OUTLETS. CONTINUE WITH THE FOLLOWING FLUSHING REQUIREMENTS:
    - DISINFECTION SOLUTION: ONCE FLUSHED PER ABOVE, CLOSE VALVES, FILL THE ENTIRE DOMESTIC WATER SYSTEM WITH A WATER /CHLORINE SOLUTION CONTAINING MINIMUM OF 50 PARTS PER MILLION AND RETAIN SOLUTION IN SYSTEM FOR 24 HOURS MINIMUM.
    - CHLORINE PURGING: AFTER RETAINING THE SOLUTION IN THE SYSTEM FOR 24 HOURS, FLUSH THE SYSTEM WITH CLEAN POTABLE WATER UNTIL SYSTEM IS PURGED OF CHLORINE. REPEAT THE FLUSHING PROCEDURE UNTIL CONTAMINATION IS ELIMINATED FROM THE SYSTEM AND THE DISINFECTION IS VERIFIED BY A BACTERIOLOGICAL EXAMINATION AND TESTS.
- VALVES: DOMESTIC WATER VALVES SHALL BE OF BRONZE BODY SWEAT ENDS.
- HOSE BIBBS: SHALL BE 3/4 INCH. ROUGH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND VACUUM BREAKER.
- ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL PLUMBING SYSTEM PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR AND MATERIALS FOR A COMPLETE "TURN-KEY" PLUMBING SYSTEM.
- CONTRACTOR SHALL KEEP ACCURATE AS-BUILT DWGS ON THE FIELD AND PROVIDE THEM TO OWNER ONCE JOB IS COMPLETE.
- PROVIDE WALL CLEANOUTS AT THE BASE OF EVERY STACK.
- CONTRACTOR SHALL USE DIMENSIONS IN ARCHITECTURAL DRAWINGS TO ROUGH-IN PLUMBING WORK.

**PLUMBING SYMBOL LEGEND**

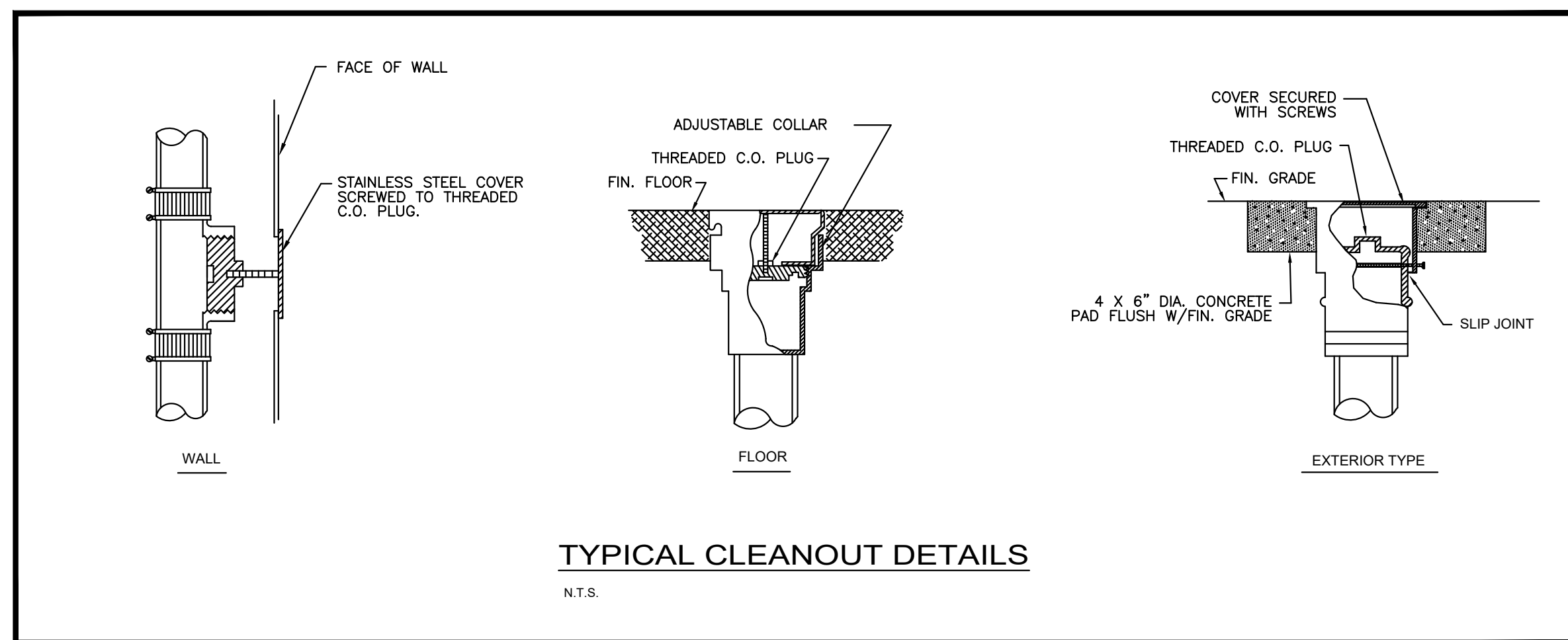
SYMBOL	DESCRIPTION
—	SANITARY LINE
---	VENT LINE
— GW —	GREASE WASTE LINE
— CD —	SAFEWASTE LINE
— SD —	CONDENSATE LINE
---	STORM DRAIN LINE
---	COLD WATER LINE
---	HOT WATER LINE
— X —	GATE VALVE
CO	CLEAN OUT
⌋	"P" TRAP
⊕	FLOOR PENETRATION
⊕	SHOCK MECHANICAL ARRESTOR
FCO	FLOOR CLEANOUT
DN	DOWN
VTR	VENT THRU ROOF
I.W.H.	INSTANT WATER HEATER
G.W.H.	GAS WATER HEATER
AAV	AIR ADMITTANCE VALVE
VT	VENT
VB	VACUUM BREAKER
RD	ROOF DRAIN
RWL	RAIN WATER LEADER
F.U.	FIXTURE UNIT
⊕	HOSE BIBB
⊕	SHUT OFF VALVE ON RISER.

**DRAIN SCHEDULE**

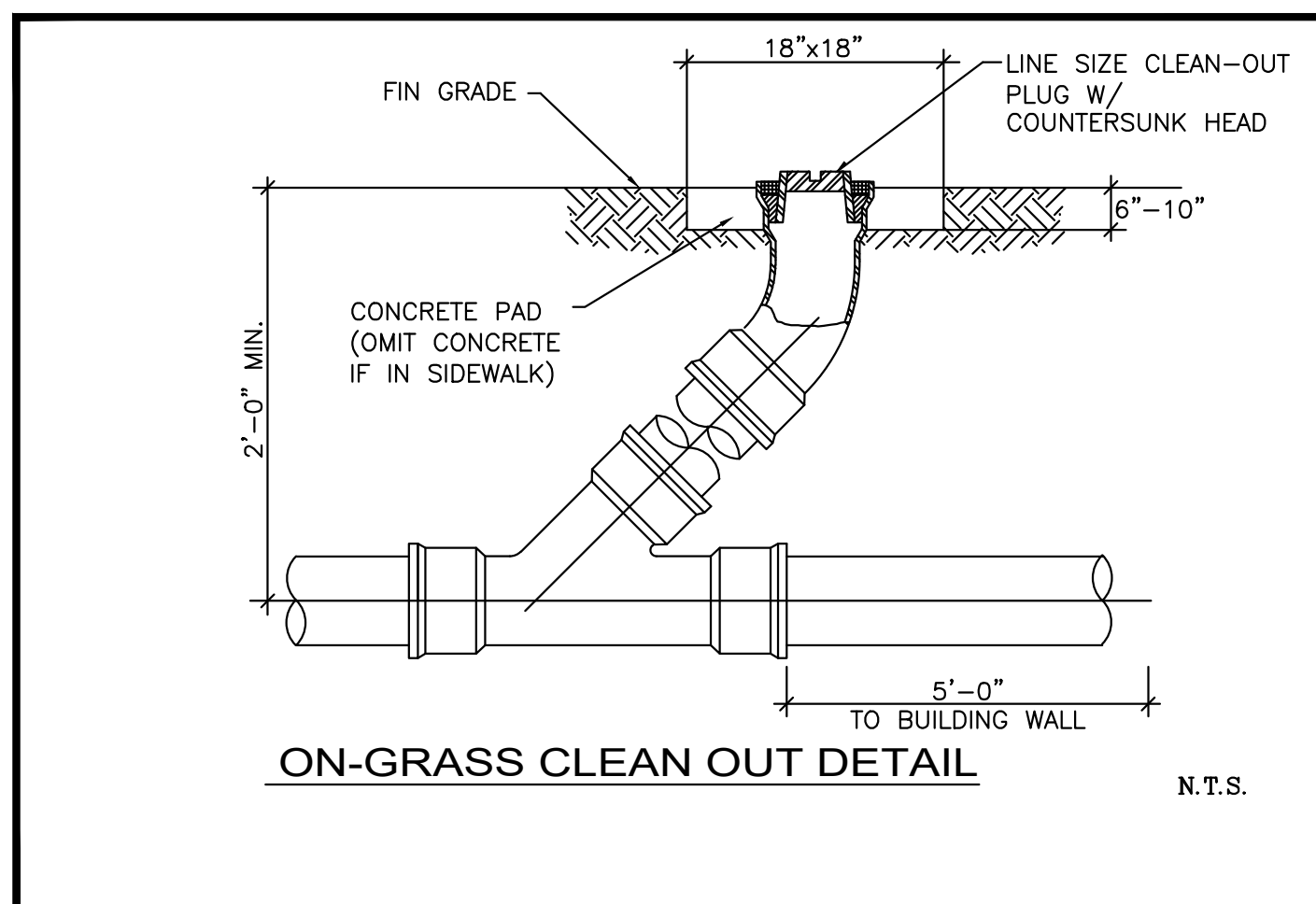
FIXTURE	DESCRIPTION
RD ROOF DRAIN	ZURN Z121-DP 12 ROOF DRAIN. DURA-COATED CAST IRON BODY WITH COMBINATION MEMBRANE FLASHING CLAMP / GRAVEL GUARD. TOP SET DECK & LOW SILHOUETTE CAST IRON DOME

**SPECIFIC NOTE:**

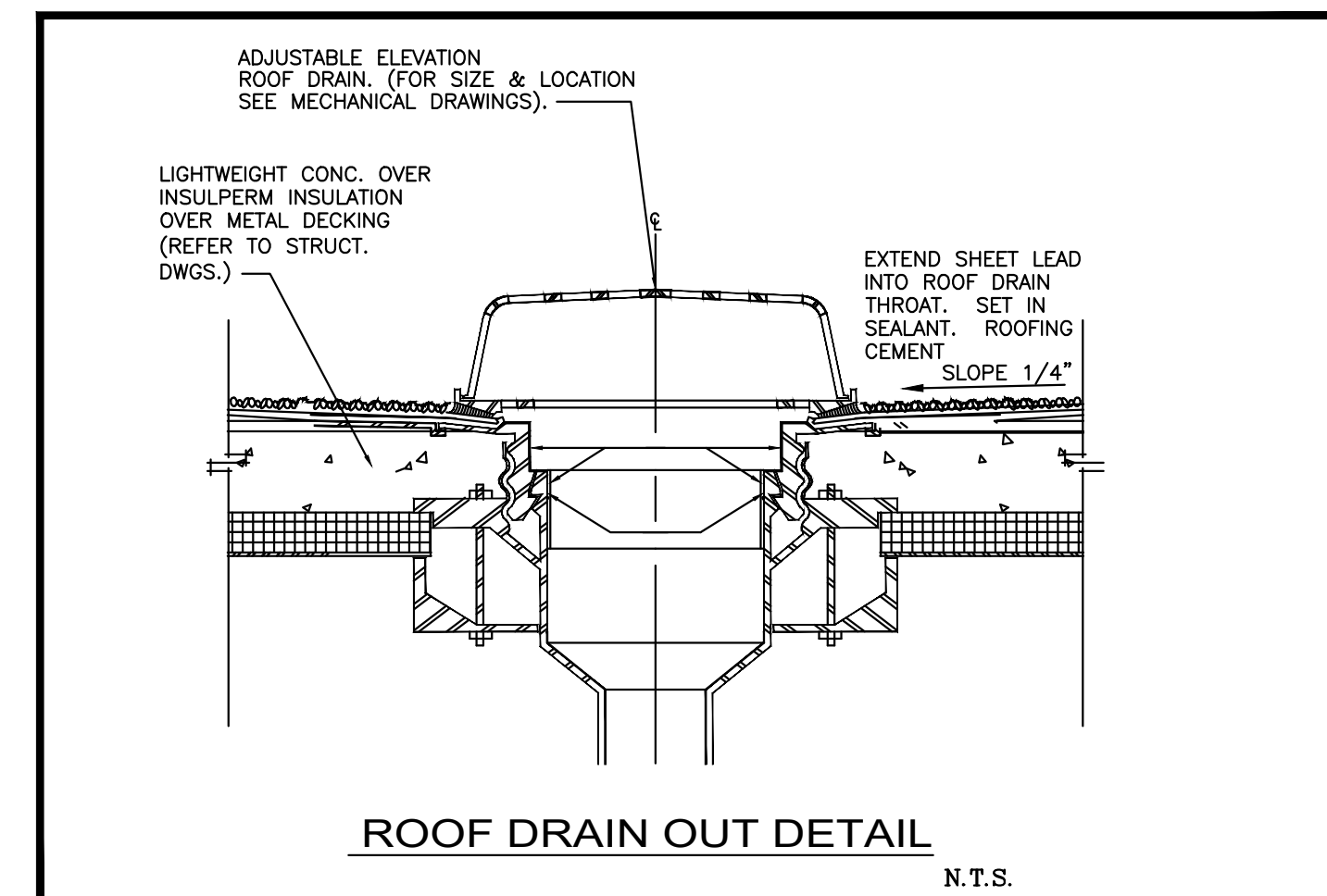
- THIS IS A GENERAL LEGEND FOR SYMBOLS APPLICABLE TO THIS JOB. REFER TO THIS LEGEND.



**TYPICAL CLEANOUT DETAILS**  
N.T.S.



**ON-GRASS CLEAN OUT DETAIL**  
N.T.S.



**ROOF DRAIN OUT DETAIL**  
N.T.S.

**PLUMBING GENERAL NOTES, LEGEND AND DETAILS**

SCALE N. T. S.



K-2 design, Inc  
17070 Collins Ave #255  
Sunny Isles, FL 33160  
Phone: 786.607.3797  
Fax: 954.212.0164  
contact@vinciengineers.com  
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- SCHEMATIC DESIGN
- CLIENT APPROVAL
- LANDLORD APPROVAL
- BIDDING
- PERMIT SET
- FOR CONSTRUCTION
- OWNER REQUESTED REVISION

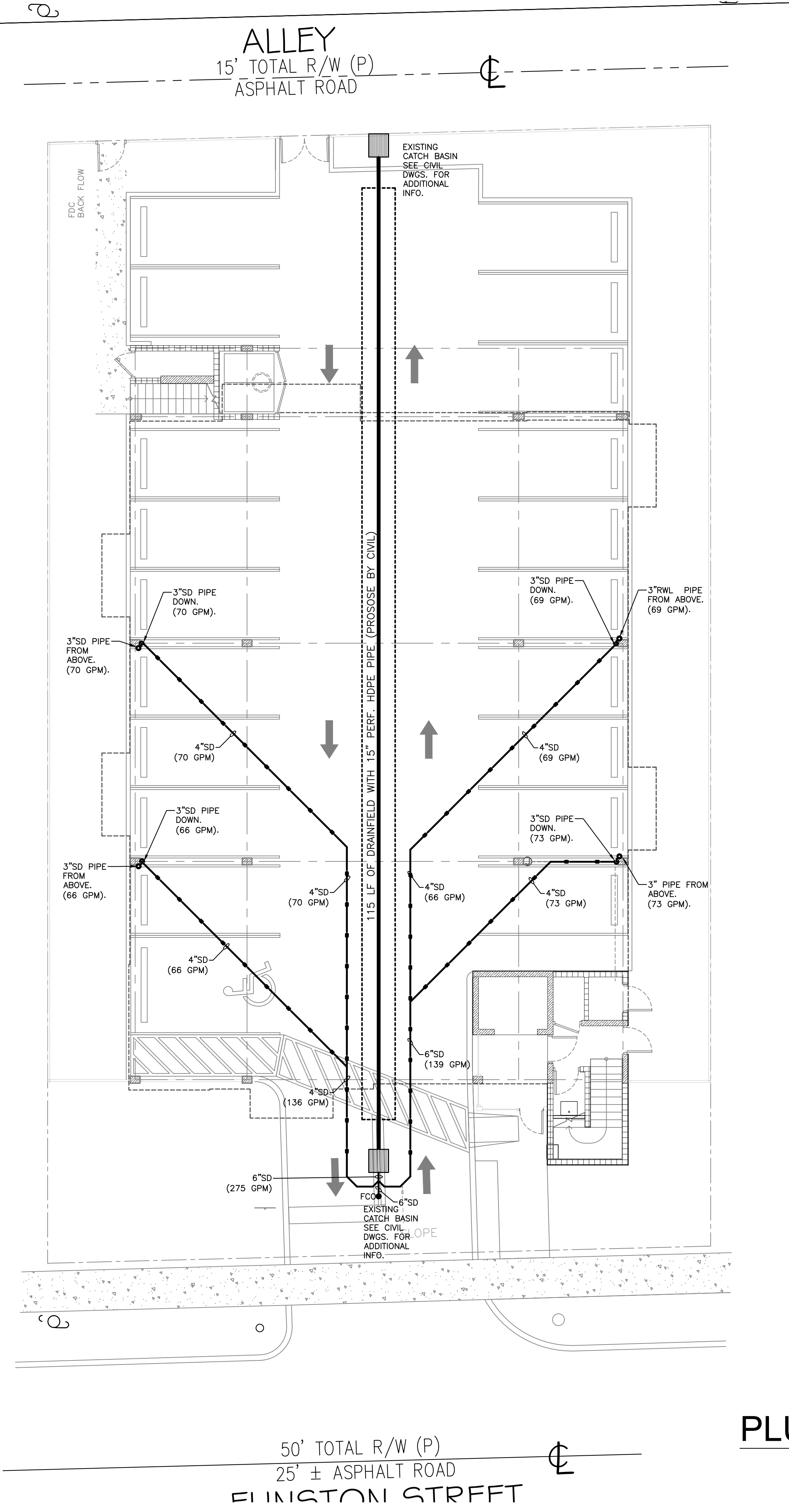
ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE AS SHOWN  
PROJECT NO.  
DRAWN BY:  
CHECKED BY:  
DATE

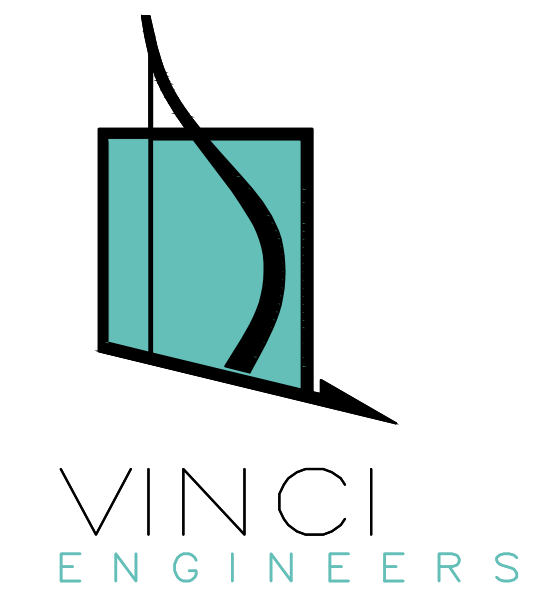
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General Notes

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**PLUMBING GROUND FLOOR PLAN**  
SCALE 1/8" = 1'



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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

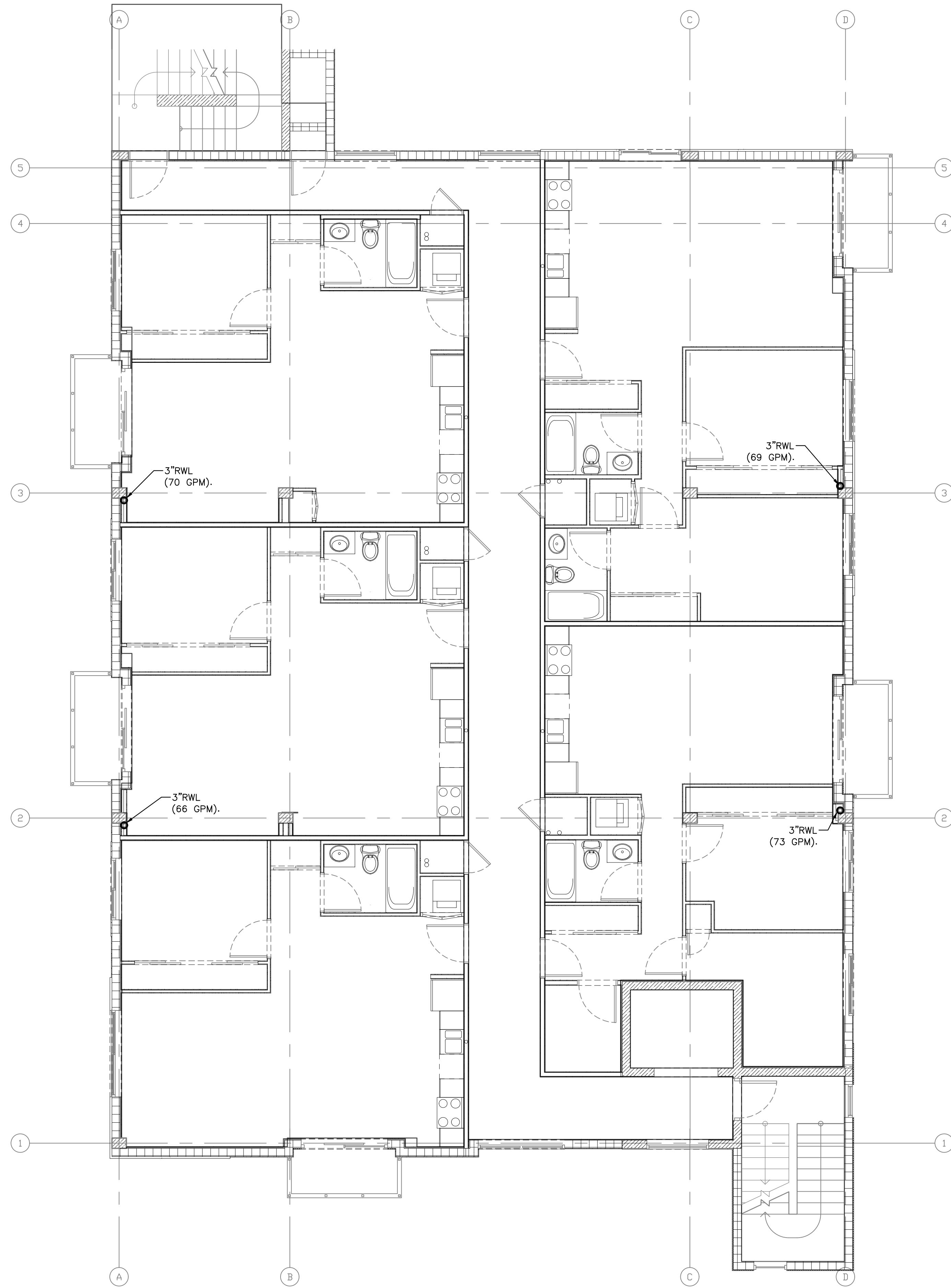
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P.E. #74083, COA #29841

SCALE AS SHOWN  
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**P-1.0**

Site Plan

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**PLUMBING 2ND FLOOR PLAN**  
 SCALE 3/16" = 1'

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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

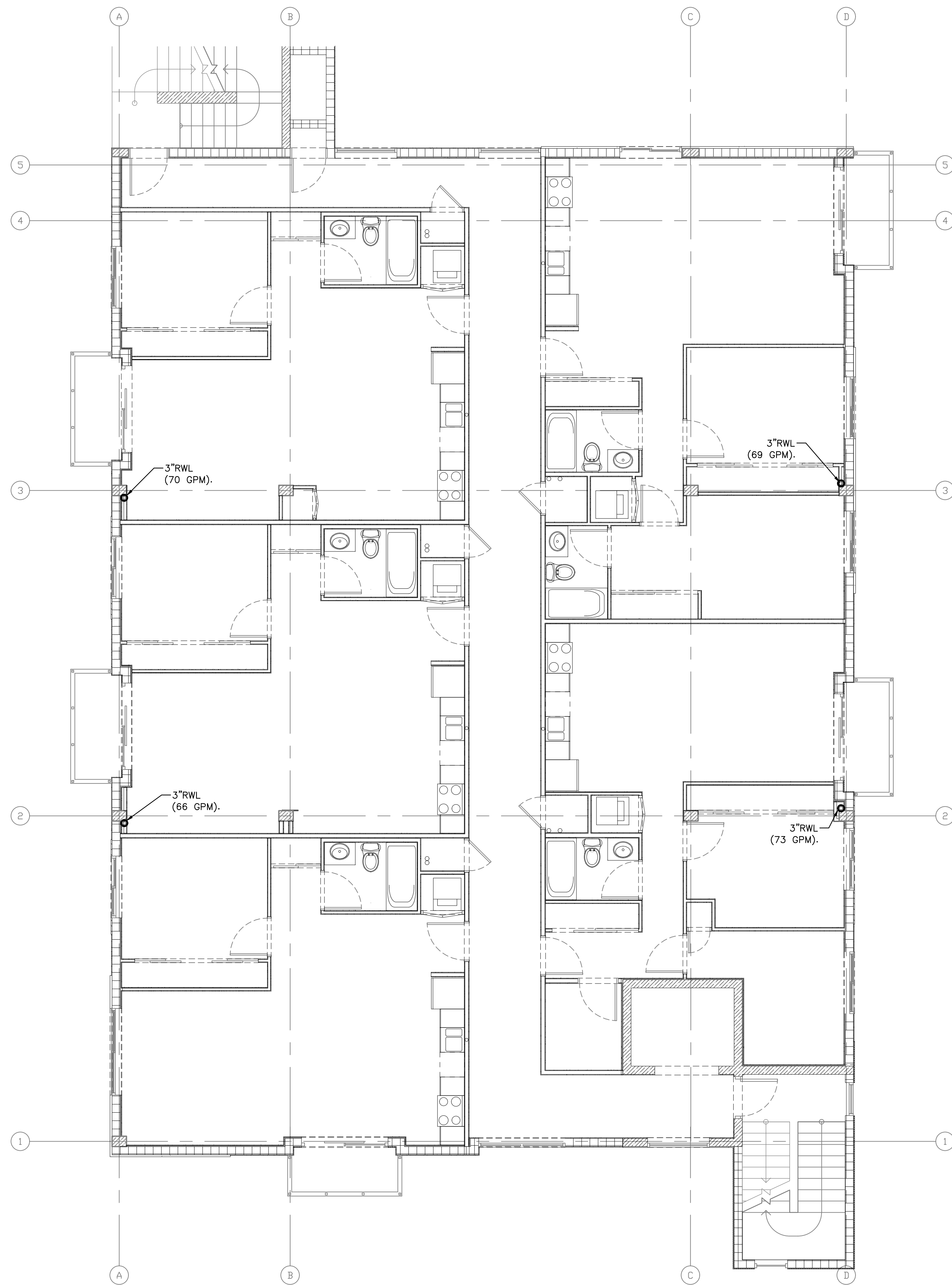
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CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

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 P.E. #74083, COA #29841

SCALE AS SHOWN  
 PROJECT NO.  
 DRAWN BY:  
 CHECKED BY:  
 DATE

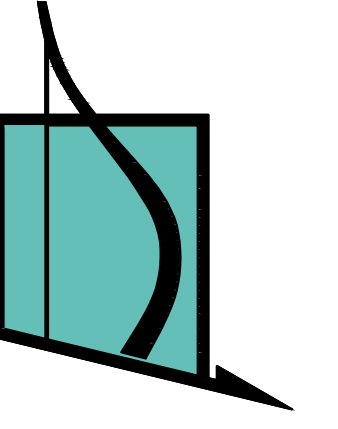
**P-2.0**  
 2nd Floor Plan



# PLUMBING 3RD FLOOR PLAN

SCALE 3/16" = 1'

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## PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

REVISIONS:

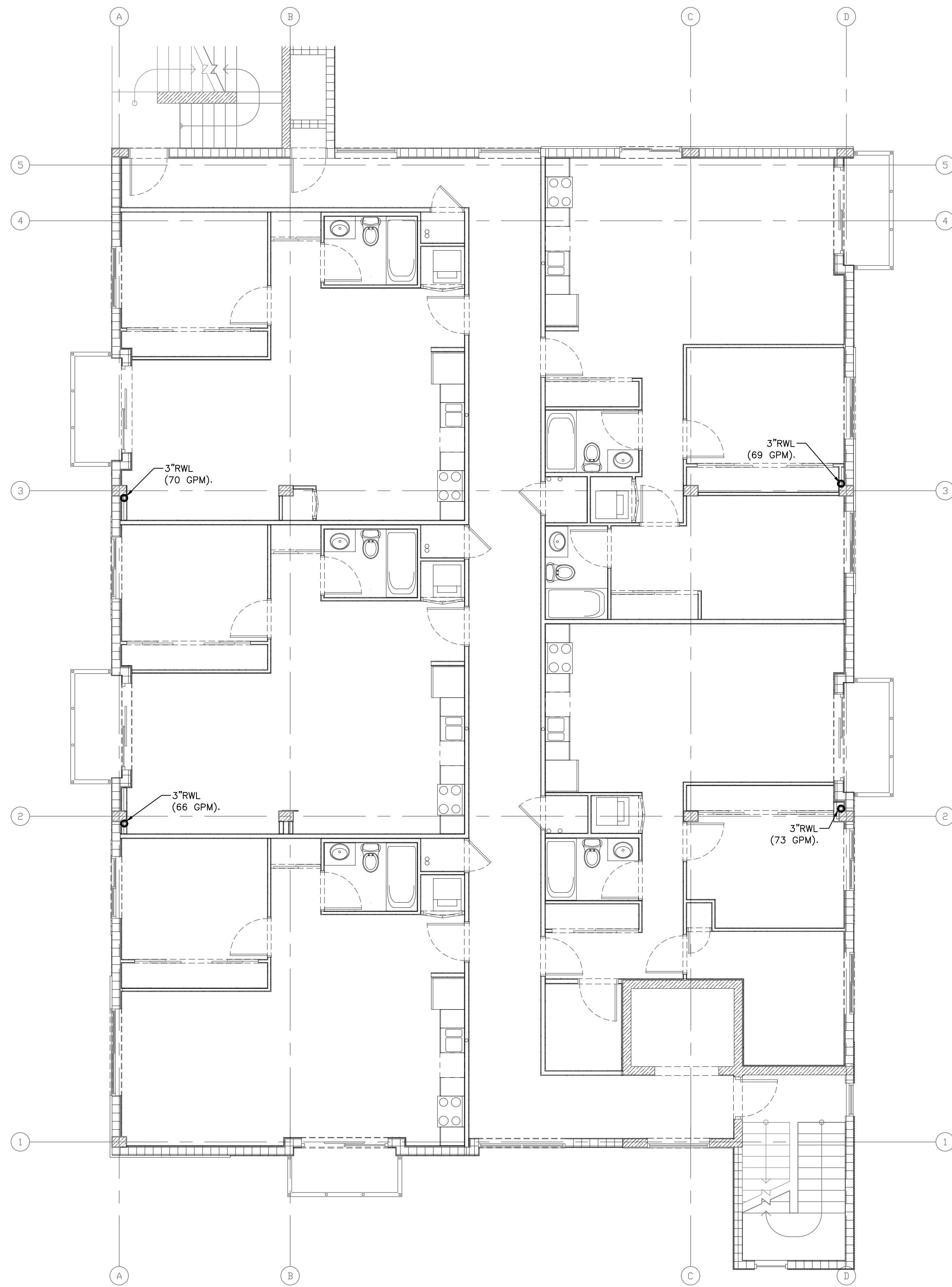

- SCHEMATIC DESIGN
- CLIENT APPROVAL
- LANDLORD APPROVAL
- BIDDING
- PERMIT SET
- FOR CONSTRUCTION
- OWNER REQUESTED REVISION

ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

SCALE AS SHOWN  
 PROJECT NO.  
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 DATE

# P-3.0

3rd Floor Plan



**PLUMBING 4TH FLOOR PLAN**

SCALE 3/16" = 1'

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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

REVISIONS:

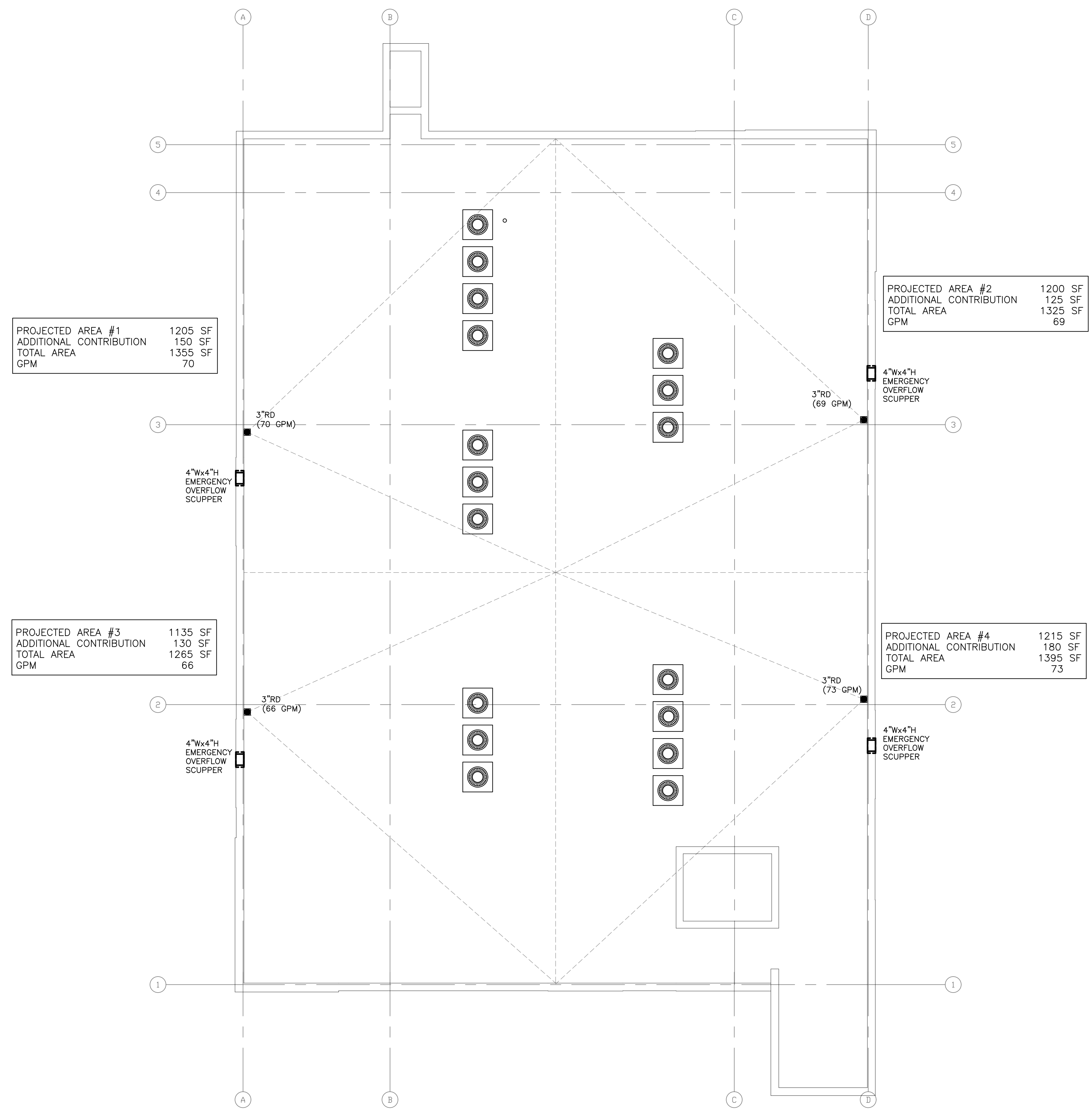

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CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

SCALE AS SHOWN  
 PROJECT NO.  
 DRAWN BY:  
 CHECKED BY:  
 DATE

**P-4.0**

4th Floor Plan



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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
 HILLYWOOD, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
 P.E. #74083, COA #29841

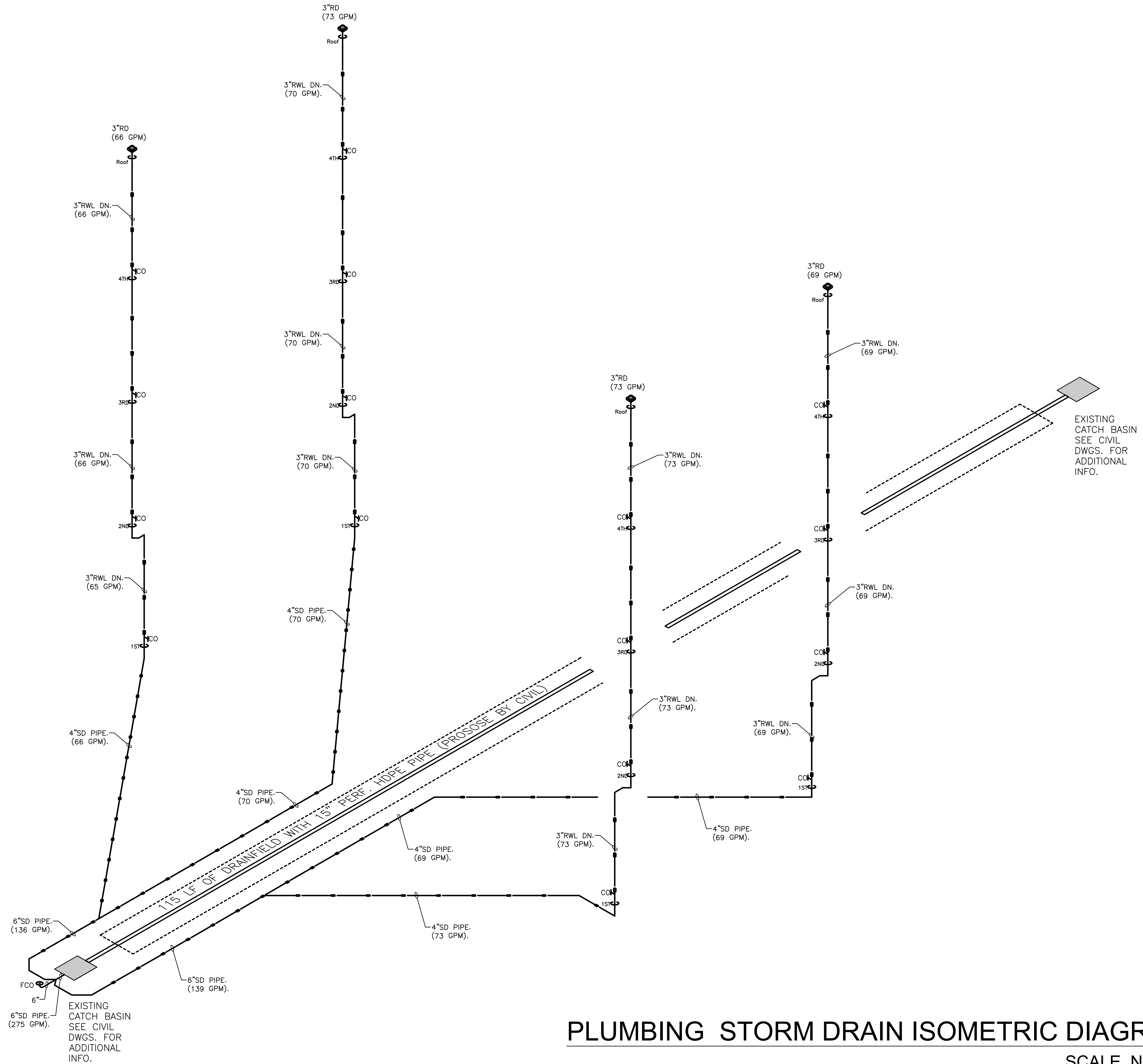
SCALE AS SHOWN  
 PROJECT NO.  
 DRAWN BY:  
 CHECKED BY:  
 DATE

**PLUMBING ROOF PLAN**  
 SCALE 3/16" = 1'

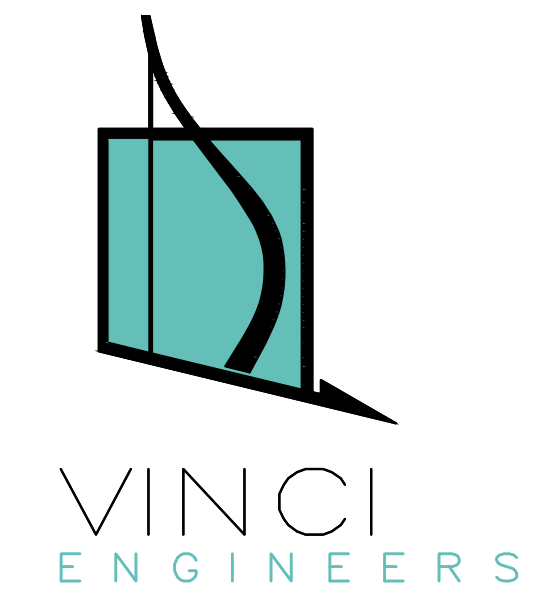
**P-3.0**

Roof Plan

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**PLUMBING STORM DRAIN ISOMETRIC DIAGRAM**  
SCALE N. T. S.



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PROPOSED MULTIFAMILY BUILDING

1939 FUNSTON ST  
Hollywood, FL 33020

REVISIONS:


SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ  
P.E. #74083, COA #29841

SCALE AS SHOWN  
PROJECT NO.  
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DATE

**P-6.0**

Storm Drain Isometric

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**FIRE FLOW CALCULATIONS FOR A FIRE SPRINKLED 4 STORY RESIDENTIAL  
BUILDING LOCATED AT 1939 FUNSTON STREET, HOLLYWOOD FLORIDA**

These calculations are for a four-story non-combustible Type 1 construction building that will be fire sprinkled.

**Fire Flow Area = 12,714 SF**

Based on Type 1 (332) construction, Per NFPA 18.4.4.1.1 Fire Flow Requirements, the fire flow area is based on the three largest successive floors. (4238 SF, 4238 SF and 4238 SF; Total = 12,714 SF)

Per Table 18.4.5.1.2, the fire flow requirement is 1750 GPM for 2 Hour Duration

NFPA 18.40 states that the required fire flow can be reduced by 75%, if the building is protected with an automatic fire sprinkler system.

$1750 \text{ gpm} \times 75\% = 1,312.50 \text{ gpm}$  (fire flow credit available)

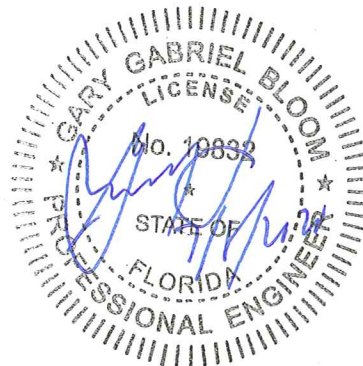
$1750 \text{ gpm} - 1,312.50 \text{ (credit)} = 437.50 \text{ gpm}$  fire flow requirement

The minimum fire flow per NFPA 18.4.5.1.2.1 is however 1,000 GPM

Therefore minimum fire flow requirement for the 1939 Funston Street Residences Building is 1,000 GPM

Sincerely yours:

Gary G. Bloom PE  
President  
GGB Engineering, Inc.





**PROJECT NAME: 1939 FUNSTON STREET**  
**STORM DRAINAGE CALCULATIONS**

Date: 7/6/2020

**SITE CHARACTERISTICS AND AREAS**

BUILDING AREA	4238.0	SF	39.14%
IMPERVIOUS PAVED AREAS	3451.00	SF	31.87%
PERVIOUS SITE AREA	3139.00	SF	28.99%
<b>TOTAL SITE AREA</b>	<b>10828.0</b>	<b>SF</b>	<b>100.00%</b>

Wet Season Water Table El. =	0.5	NAVD
Average grade in green areas =	7.2	Feet
Soil storage: 8.18 x percent pervious =	2.37	Inches

**RUNOFF COEFFICIENTS**

IMPERVIOUS AREAS	0.90
PERVIOUS AREAS	0.35

**DESIGN STORM FREQUENCY FOR WATER QUALITY**

5 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x 1/12)	902.33	CF
Site area for water quality (Total site area-Bldg+Pool)	6590.00	SF
Impervious area for water quality	3451.00	SF
2.5 Inches x % Impervious	1181.32	CF
2.5" x pervious/total area	1.31	Inches
10 year 24 hour storm rainfall (P)	8.5	Inches

Runoff =  $\frac{(P-0.2 \times S)2}{(P+0.8 \times S)}$  Where P = 8.50 inches for 10 year 24 hour storm

Runoff = 6.20 Inches

Volume = A x R/12 5590.16 CF

Use 10 year runoff of 5590.16 CF > 902.23 CF > 1181.32 CF first inch of runoff and for 2.5 x % impervious

**Site Storage Provided to store 5590.16 CF Required Runoff as follows:**

1. Perimeter swale/Pervious areas storage = 3139 SF x (0.50' average depth) = 1569.50 CF
2. Required Exfiltration trench storage = 5590.10 CF - 1569.50 = 4020.60 CF volume

**DESIGN STORM PEAK AND AVERAGE DAY TRENCH CALCULATIONS**

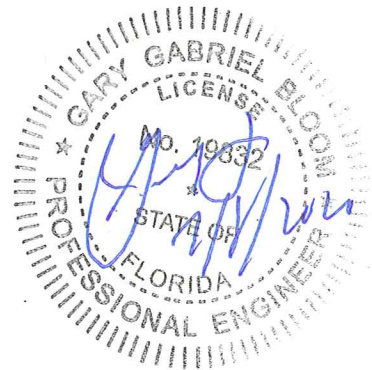
V = 4020.60 CF/10828 SF = 0.37 FT x 12 in/ft = 4.46 inches x 10,828/43560 = 1.11 Ac-inches



$$L = \frac{V}{K(HW + 2HxDu - Du \times Du + 2HDs) + 1.39 \times 10^{-4} \times W \times du}$$

Volume =	1.11	Ac-inches
A = Drainage Area	0.249	Ac
W = Trench Width	5.00	ft
K = Hydraulic Conductivity	2.63E-04	cfs/ft <sup>2</sup> per ft of head
H = Depth to water table	6.40	ft
Du = Non Saturated trench depth	3.50	ft
Ds = Saturated trench depth	0.00	ft

<b>Trench Required</b>	<b>57.19</b>	<b>LF</b>
<b>Trench Provided</b>	<b>115</b>	<b>LF</b>



# PUBLIC SCHOOL IMPACT APPLICATION

The School Board of Broward County, Florida  
Growth Management Section  
Facility Planning and Real Estate Department  
600 SE 3rd Avenue, 8th Floor, Fort Lauderdale, FL 33301 Phone: 754-321-2177, Fax: 754-321-2179  
www.browardschools.com

## GENERAL PROJECT INFORMATION

### APPLICATION TYPE

Land Use     DRI     Rezoning     Flex/Reserve Allocation     Plat     Site Plan

### FOR INTERNAL USE ONLY

School Board Number

County Project Number     City Project Number

Project Name

Has this project been previously submitted (since Feb. 01, 2008)?  If yes, provide the SBBC Number

Application Fee Amount Due/Paid\*  Is proof of Payment attached?

Check No.  Online Payment Order No. (if applicable)

\* Make check payable to "School Board of Broward County." No cash will be accepted.

## PROJECT LOCATION AND SIZE

Section  Township  Range

General location of the project  Side of

at/between  and

Area Acreage  Jurisdiction

## APPLICANT INFORMATION

Owner's Name  Phone

Address  City  State  Zip

Developer/Agent

Address  City  State  Zip

Phone  Fax Number

Agent's E-mail

## DEVELOPMENT DETAILS

Land Use Designation Existing  Proposed

Zoning Designation Existing  Proposed

PERMITTED					PROPOSED			
Residential Type	Total Units	Built Units	Bedroom Mix	Un-built Units	Bedroom Mix	Residential Type	Number of Units	Bedroom Mix
Single Family			___ 3 BR or Less ___ 4 BR or >		___ 3 BR or Less ___ 4 BR or >	Single Family		___ 3 BR or Less ___ 4 BR or >
Townhouse/ Duplex/ Villa			___ 1 BR or Less ___ 2 BR ___ 3 BR or >		___ 1 BR or Less ___ 2 BR ___ 3 BR or >	Townhouse/ Duplex/ Villa		___ 1 BR or Less ___ 2 BR ___ 3 BR or >
Garden Apartment		15	9 ___ 1 BR or Less 62 BR ___ 3 BR or >		___ 1 BR or Less ___ 2 BR ___ 3 BR or >	Garden Apartment	15	9 ___ 1 BR or Less 62 BR ___ 3 BR or >
Mid Rise			___ 1 BR or Less ___ 2 BR or >			Mid Rise		___ 1 BR or Less ___ 2 BR or >
High Rise						High Rise		
Mobile Home			___ 2 BR or Less ___ 3 BR or >		___ 2 BR or Less ___ 3 BR or >	Mobile Home		___ 2 BR or Less ___ 3 BR or >
Total						Total		

Does this project include a non-residential development?

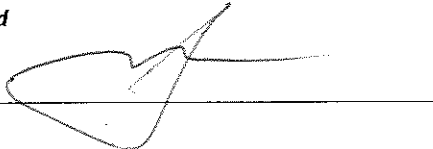
If yes, please describe other proposed uses

**VESTED RIGHTS/EXEMPTION INFORMATION**

Amount of Vested/Exempt development (including number of units, type, and bedroom mix)

Exemption Criteria (check any/all as applicable)	Vesting Criteria (check any/all as applicable)	Associated Application Number
___ Generates less than one student*	___ Located within previously approved plan amendment or rezoning with a valid mitigation agreement with the School Board through an executed and recorded DRC or Tri-Party*	
___ Age restricted to persons 18 and over*	___ Obtained site plan final approval prior to February 1, 2008*	
___ Statutory exemption* ___ Applicable Statute*	___ Site plan located within a plat for which school impacts have been satisfied*	
___ Site Plan located within a plat with a valid final SCAD letter*		Associated Plat Number: ___

\* Supporting documentation is required

Signature of Applicant/Agent: 

Date: 7/23/20

Please attach a survey of the project site  
 NOTE: 30-Day review period only commences upon a determination of completeness by School District Staff. Applicant submitting a plat application must include an official letter containing plat name and municipal project number and must indicate that the plat has been approved or accepted by the municipality  
 ALL APPLICANTS MUST SUBMIT THE APPLICATION TO THE 8th FLOOR



Environmental Protection and Growth Management Department  
 PLANNING AND DEVELOPMENT MANAGEMENT DIVISION  
 1 North University Drive • Plantation, Florida 33324 • 954-357-6666 • broward.org/planning

**Educational Impact Fee Schedule**  
 Current Ordinance Schedule Only

Dwelling Type	Bedrooms	Ordinance 2014-36 January 26, 2018	Ordinance 2014-36 January 26, 2019	Ordinance 2014-36 January 26, 2020
Single Family	3 or fewer	\$6,756	\$6,888	\$7,047
	4 or more	\$8,490	\$8,656	\$8,856
Townhouse,	2 or fewer	\$3,898	\$3,974	\$4,066
Duplex & Villa	3 or more	\$6,612	\$6,741	\$6,897
Garden	1 or fewer	\$368	\$375	\$384 × 9 = \$3,456
Apartment	2	\$4,309	\$4,393	\$4,495 × 6 = \$26,970
	3 or more	\$7,828	\$7,980	\$8,165
Mid-Rise	1 or fewer	\$287	\$293	\$300
	2 or more	\$1,131	\$1,153	\$1,180
High-Rise	All	\$354	\$361	\$369
Mobile Home	2 or fewer	\$3,044	\$3,103	\$3,175
	3 or more	\$6,635	\$6,764	\$6,920

*Handwritten calculations:*  
 $384 \times 9 = 3,456$   
 $4,495 \times 6 = 26,970$   
30,426

NOTE: The educational impact fees above are assessed for all plats approved generally before 1979, unplatted platted property, and for plats and or amendments approved beginning March 1, 2004 that are subject to the "current school impact fee schedule in effect at the time of payment" as stipulated by the "approved" DRR. This also includes plats subject to terminations of impact fee agreements.

The School Board of Broward County, Florida  
**PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION**

**SITE PLAN**

**SBBC-2909-2020**

**County Number: Municipality Number: 20-DR-22**  
**1939 Funston Street Multifamily**

**July 24, 2020**



Growth Management  
Facility Planning and Real Estate Department  
600 SE 3rd Avenue, 8th Floor  
Fort Lauderdale, Florida 33301  
Tel: (754) 321-2177 Fax: (754) 321-2179  
[www.browardschools.com](http://www.browardschools.com)

**PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION  
SITE PLAN**

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS	OTHER PROPOSED USES	STUDENT IMPACT
<b>Date:</b> July 24, 2020	<b>Single-Family:</b>		Elementary: 1
<b>Name:</b> 1939 Funston Street Multifamily	<b>Townhouse:</b>		Middle: 0
<b>SBBC Project Number:</b> SBBC-2909-2020	<b>Garden Apartments:</b> 15		High: 0
<b>County Project Number:</b>	<b>Mid-Rise:</b>		Total: 1
<b>Municipality Project Number:</b> 20-DR-22	<b>High-Rise:</b>		
<b>Owner/Developer:</b> 1939 Funston LLC	<b>Mobile Home:</b>		
<b>Jurisdiction:</b> Hollywood	<b>Total:</b> 15		

**SHORT RANGE - 5-YEAR IMPACT**

Currently Assigned Schools	Gross Capacity	LOS * Capacity	Benchmark** Enrollment	Over/Under LOS	Classroom Equivalent Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Colbert	812	893	701	-192	-10	78.8%	3
Olsen	1,125	1,238	657	-581	-26	53.6%	7
South Broward	2,289	2,518	2,354	-164	-8	93.9%	11

Currently Assigned Schools	Adjusted Benchmark	Over/Under LOS-Adj. Benchmark Enrollment	% LOS Cap. Adj. Benchmark	Projected Enrollment				
				20/21	21/22	22/23	23/24	24/25
Colbert	704	-189	78.8%	679	686	684	682	680
Olsen	664	-574	53.6%	667	678	682	691	689
South Broward	2,365	-153	93.9%	2,338	2,272	2,286	2,300	2,314

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml>. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes.

\*This number represents the higher of: 100% gross capacity or 110% permanent capacity. \*\*The first Monday following Labor Day. \*\*\*Greater than 100% exceeds the adopted Level of Service (LOS).

## CHARTER SCHOOL INFORMATION

Charter Schools within 2-mile radius	2019-20 Contract Permanent Capacity	2019-20 Benchmark Enrollment	Over/(Under)	Projected Enrollment		
				20/21	21/22	22/23
Alpha International Academy	384	86	-298	86	86	86
Ben Gamla Charter	625	509	-116	509	509	509
Ben Gamla Charter North Broward	900	152	-748	152	152	152
The Ben Gamla Preparatory Charter High School	600	407	-193	407	407	407

## PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Colbert	There are no capacity additions scheduled in the ADEFP that will increase the reflected FISH capacity of the school.
Olsen	There are no capacity additions scheduled in the ADEFP that will increase the reflected FISH capacity of the school.
South Broward	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml>. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.



## Comments

The application proposes 15 (9 one bedroom and 6 two bedroom) garden apartment units, which will generate 1 elementary student.

The school Concurrency Service Areas (CSA) serving the project site in the 2019/20 school year include Colbert Elementary, Olsen Middle, and South Broward High Schools. Based on the Public School Concurrency Planning Document (PSCPD), the impacted schools are operating below the adopted Level of Service (LOS), which is established as the higher of: 100% gross capacity or 110% permanent Florida Inventory of School Houses (FISH) capacity. However, it should be noted that utilizing the current student generation rates, the project is only anticipated to generate one student at the elementary school level. Incorporating the cumulative students anticipated from this project and approved and vested developments anticipated to be built within the next three years (2019/20- 2021/22), these schools are projected to operate below the adopted LOS through the 2021/22 school year. It should be noted that FISH capacity for the impacted schools reflect compliance with the class size constitutional amendment.

Additionally in the 2019/20 school year, the charter schools located within a two-mile radius of the site and their associated data are depicted above. Students returning, attending or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSAs, the Board may utilize other options such as school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2019/20 to 2023/24 regarding pertinent impacted schools are depicted above.

Therefore, this application is determined to satisfy public school concurrency on the basis that adequate school capacity is anticipated to be available to support the residential development as currently proposed by the applicant. This preliminary determination shall be valid until the end of the current (2019/20) school year or 180 days, whichever is greater, for a maximum of 15 (9 one bedroom and 6 two bedroom) garden apartment units and conditioned upon final approval by the applicable governmental body. As such, this preliminary determination will expire on January 19, 2021. This preliminary school concurrency determination shall be deemed to be void unless prior to the referenced expiration of the Preliminary School Capacity Availability Determination (SCAD), notification of final approval to the District has been provided and/or an extension of this Preliminary SCAD has been requested in writing and granted by the School District. Upon the District's receipt of sufficient evidence of final approval which shall specify at the minimum the number, type and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

**SBBC-2909-2020 Meets Public School Concurrency Requirements**

Yes  No

Reviewed By:

7/24/2020

**Date**

*Lisa Wight*

**Signature**

Lisa Wight

**Name**

Planner

**Title**



July 15, 2020

Aleksej Bereznoj, P.E.  
Vinci Engineers  
17070 Collins Avenue, #255  
Sunny Isles, Florida 33160

Dear Mr. Bereznoj:

Re: Platting requirements for a parcel legally described as Lots 5-6, Block 6, "Hollywood South Side Addition No. 2," according to the Plat thereof, as recorded in Plat Book 3, Page 17, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Funston Street, between South 19 Avenue and South 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or multi-family development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.25 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

**Aleksej Bereznoj**

**July 15, 2020**

**Page Two**

Some jurisdictions may be more restrictive and require platting in more situations than the Broward County Land Use Plan. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

If you have any additional questions concerning the Broward County Land Use Plan's platting requirements, please contact Christina Evans, Planner, at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:CME

cc: Dr. Wazir Ishmael, City Manager  
City of Hollywood

Shiv Newaldass, Director, Development Services  
City of Hollywood



**CITY OF HOLLYWOOD  
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT  
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development?      Yes       No

If YES was selected please provide the following information. In NO was selected please do not complete application.

**(PRINT LEGIBLY OR TYPE)**

1. Owners Name: 1939 Funston LLC
2. Project Name: 1939 Funston Multifamily
3. Project Address: 1939 Funston Street, Hollywood FL 33020
4. Contact person: Alex
5. Contact number: (954)907-3103
6. Type of unit(s): Single Family       Multi-Family       Hotel/Motel
7. Total number of residential and/or hotel/motel units: 15
8. Unit Fee per residential dwelling based on sq. ft.: \$1,875.-
9. Unit Fee per hotel/motel room: \$1,250.00
10. Total Park Impact Fee: \$28,125      Date: 06/22/2020

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or [dvazquez@hollywoodfl.org](mailto:dvazquez@hollywoodfl.org) should there be any questions.

**CITY OF HOLLYWOOD  
PARK IMPACT FEE SCHEDULE**

<u>Land Use Type</u>	<u>Fee</u>
<b>Residential Dwelling Unit (single or multi-family)</b>	
Less than 500 sq. ft. <sup>1</sup>	<b>\$1,650.00</b>
501 to 1,000 sq. ft.	<b>\$1,875.00</b>
1,001 to 1,500 sq. ft.	<b>\$2,175.00</b>
1,501 to 2,000 sq. ft.	<b>\$2,375.00</b>
2,001 to 2,500 sq. ft.	<b>\$2,525.00</b>
2,501 to 3,000 sq. ft.	<b>\$2,625.00</b>
3,001 to 3,500 sq. ft.	<b>\$2,725.00</b>
3,501 to 4,000 sq. ft.	<b>\$2,825.00</b>
More than 4,000 sq. ft.	<b>\$2,900.00</b>
<b>Hotel / Motel Room</b>	<b>\$1,250.00</b>

<sup>1</sup> Square feet, as used in this section, refers to enclosed, gross floor area excluding parking garages, screened enclosures and unfinished attics.