PLANNING DIVISION

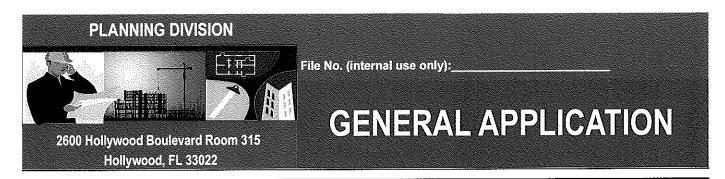


File No. (internal use only):

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK ONE):
	☑ Technical Advisory Committee
	City Commission Planning and Development Board
FLORIDA	Date of Application: $08/24/2020$
Tel: (954) 921-3471	Location Address: <u>1939 Funston Street</u> Lot(s): <u>5,6</u> Block(s): <u>6</u> Subdivision: <u>Holl So Side</u>
Fax: (954) 921-3347	Lot(s): 5,6 Block(s): 5,6 Subdivision: 1011 50 5142
	Folio Number(s): 5142 22 10 0970
The second s	Zoning Classification: <u>PS-1</u> Land Use Classification: <u>01</u> Existing Property Use: <u>Residential</u> Sq Ft/Number of Units: <u>1,249/1</u>
This application must be completed <u>in full</u> and	
submitted with all documents	Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
to be placed on a Board or Committee's agenda.	Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): $20 - DP - 22$
	Economic Roundtable
The applicant is responsible	□ City Commission □ Planning and Development
for obtaining the appropriate checklist for each type of	-
application.	Explanation of Request: TAC Final
Applicant(s) or their	15 0-50 12 120
authorized legal agent must be present at all Board or	Number of units/rooms: 15 Sq Ft: 13,129 Number of units/rooms: \$1,400,000 Setund Data of Completions 2022
Committee meetings.	Value of Improvement: \$1,400,000 Estimated Date of Completion: 2022
	Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase
At least one set of the submitted plans for each	
application must be signed	Name of Current Property Owner: 1939 Funston LLC
and sealed (i.e. Architect or Engineer).	Address of Property Owner: 17070 Collins Ave #255, Sunny Isles, Fl
	Telephone: <u>954.907.3103</u> Fax:Email Address: <u>9073103@gmail.com</u>
Documents and forms can be	Name of Consultant/Representative/Tenant (circle one): <u>Aleksej Bereznoj</u>
accessed on the City's website	Address: <u>17070 Collins Ave #255</u> Telephone: <u>954.907.3103</u>
at a second s	Fax: Email Address:
http://www.hoilywoodfl.org/Do cumentCenter/Home/View/21	Date of Purchase: $2/20/20$ is there an option to purchase the Property? Yes () No (X)
	If Yes, Attach Copy of the Contract.
	List Anyone Else Who Should Receive Notice of the Hearing: <u>None</u>
A PL	Address: Email Address:
E State	



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 8/24/20
PRINT NAME: Aleksej Bereznoj for 1939 Funston llc	Date: 8/24/20
Signature of Consultant/Representative:	Date: 8/24/20
PRINT NAME: Aleksej Bereznoj for K-2 Design, Inc	Date: <u>8/24/20</u>
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of to my property, which is hereby nto be my legal representative before the Committee) relative to all matters concerning this application.	hade by me or I am hereby authorizing
Committee) relative to all matters concerning this application.	
Sworn to and subscribed before me this day of	Signature of Current Owner
Notary Public	Print Name
State of Florida My Commission Expires:(Check One)Personally known to me; ORF	Produced Identification

$\overline{\mathsf{SU}}$ RVEYORS, INC. R FESSI Ο ()N PHONE (954) 241-3000 LICENSED BUSINESS# 7326

2243 ADAMS STREET, UNIT 2 HOLLYWOOD, FL 33020

PROPERTY ADDRESS: 1939 FUNSTON STREET HOLLYWOOD, FLORIDA. 33020

LEGAL DESCRIPTION:

LOTS 5 AND 6, BLOCK 6, OF "HOLLYWOOD SOUTH SIDE ADDITION NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND & ABBREVIATIONS:

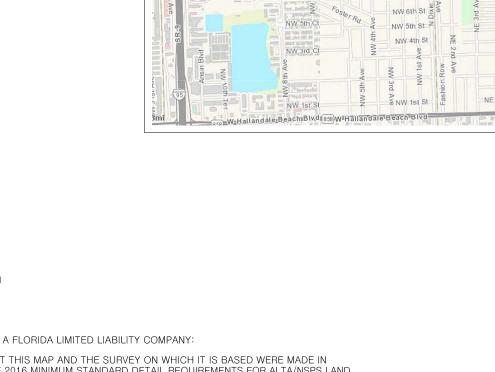
....AIR CONDITIONER A/C... BM....BENCHMARKCALCULATED PER PLAT (CP)... CNA.....CORNER NOT ACCESSIBLE CONC......CONCRETE EOW.EDGE OF WALKFENCE CORNER FC... FDH.FOUND DRILL HOLEFENCE ENDS EE FINISHED FLOOR FIP/FIR.....FOUND IRON PIPE/ROD FN.....FOUND NAIL FN&DFOUND NAIL AND DISC FPKN.....FOUND PARKER KALON NAIL ... IDENTIFICATION (M).. ...MEASURED ADDRESS NUMBERPER PLAT (P)..PLAT BOOK PG.. ...PAGE PIPOINT OF INTERSECTIONRECORDED (R).... R/W..RIGHT-OF-WAY SIR.... SND.....SET NAIL AND DISC (TYP.).....TYPICALMORE OR LESS ASPHALT PAVING MASONRY OR CONCRETE BLOCK WALL CONCRETE - OH ----- OVERHEAD CABLES(OH) CATCH BASIN (CB) SEWER MANHOLE UTILITY POLE (UP) ☆ LIGHT POLE (LP) WATER METER (WM) UTILITY ANCHOR 9s OFFSET CENTER LINE PROPERTY LINE SEWER CLEANOUT GAS METER ELECTRIC METER (EM) 🦚 PLANTER OR PLANTED WELL AIR CONDITIONER X WATER VALVE RISER 0. BOUNDARY CORNER S ELEVATION • POINT OF ELEVATION • POINT

- INDICATES DIMENSION IS NOT TO SCALE
- IRRIGATION PUMP

CERTIFICATION: TO: 1939 FUNSTON LLC, A FLORIDA LIMITED LIABILITY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7a, 7b1, 7b2, 8, 9, 11, 13, 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 14th, 2020.

K.F. KUHN PROFESSIONAL SURVEYOR & MAPPER No. 5953





ALTA/NSPS LAND TITLE SURVEY FIP 3/4" NO ID FC 4'S.-0.1'W.

Se.

0.00% 6 N STREET, UNITS 1, D, FLORIDA 33020 Nichal Sadeh

HI FUNSTON S HOLLYNOOD

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35

FC_ 0.45'E.

0.52'

6.2

7.90

11.67

12.49'

0.54 5.00'

FIP 1/2' NO ID

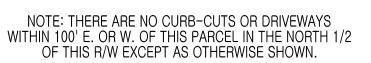
(03/14/2020

EOW 0.95' S.

ORIVEWA

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5



FIP 1" AT P.I. NO ID

(03/14/202

38 48'(H 168,50'(M)

DRIVEWAY

-CURB-CU

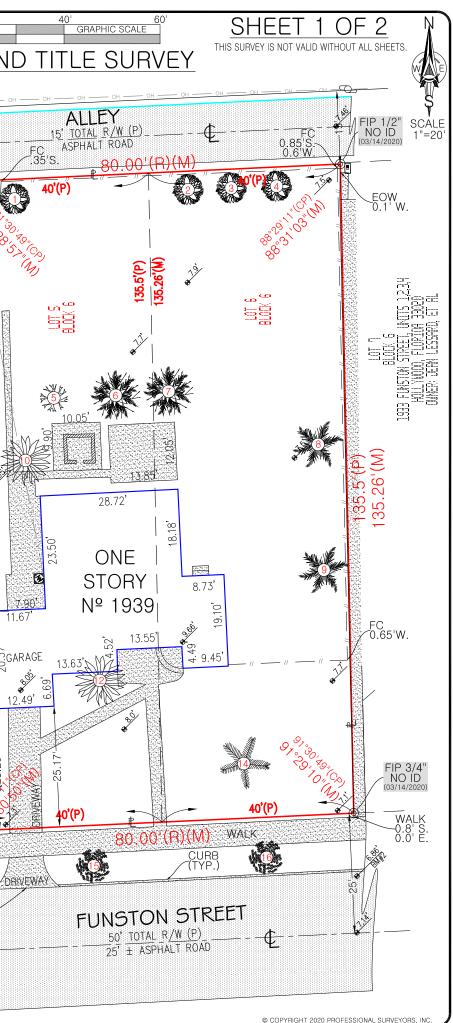
AVENUE AVENUE(P)

20th second A

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STATE OF FLORIDA NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

20-1004E FILE REF: FOR: 20B-05-1939 ALEKSEI FIELD DATE 03-14-202



ESSI ONA() S

2243 ADAMS STREET, UNIT 2 HOLLYWOOD, FL 33020

PHONE (954) 241-3000 LICENSED BUSINESS# 7326

THIS SURVEY IS BASED ON THE OWNER & ENCUMBRANCE PROPERTY INFORMATION REPORT(O&E) PROVIDED BY CLIENT: 1939 FUNSTON LLC, A FLORIDA LIMITED LIABILITY COMPANY. SAID O&E REPORT WAS PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND/OR SHUTTS & BOWEN LLP, DATED MARCH 12th, 2020 AND, ACCORDING TO SAID REPORT, IS BASED ON A SEARCH PERIOD FROM DECEMBER 3rd, 1923 TO MARCH 9th, 2020. AGENT FILE No.: 51677.0001 AND File No: 20035327.

• THIS SITE LIES IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

 UNLESS OTHERWISE NOTED HEREON. ALL DOCUMENTS RELIED UPON FOR THIS SURVEY ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

• THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS OR OTHER RECORDED OR UNRECORDED, ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY, MAY NOT BE SHOWN ON THIS SKFTCH.

ALL HORIZONTAL CONTROL MEASUREMENTS ARE WITHIN A PRECISION OF 1:10.000 FEET.

ROOF OVERHANGS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.

• THE PARCEL ID IS PER BCPA.NET(BROWARD COUNTY PROPERTY APPRAISER'S WEBSITE) PROPERTY APPRAISER'S PARCEL ID: 5142 22 10 0970

SQUARE FEET:

- GROSS PARCEL: 10817.18 ± SQUARE FEET / 0.248 ± ACRES
- BUILDING (EXTERIOR FOOTPRINT): 1419.18 ± SQUARE FEET
- CONCRETE IMPROVEMENTS: 947.46 ± SQUARE FEET
- NET(GROSS LESS BUILDING): 9398.00 ± SQUARE FEET
- NET(GROSS LESS BUILDING AND CONCRETE): 8450.54 ± SQUARE FEET

FLOOD ZONE INFORMATION:

- FLOOD ZONE: X'
- COMMUNITY NAME AND NUMBER: CITY OF HOLLYWOOD 125113
- MAP/PANEL NUMBER: 12011C0569 H -- EFFECTIVE DATE: 08/18/2014

INFORMATION OBTAINED FOR FLOOD ZONE DESIGNATION IS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE RATE MAPS. FEMA'S NATIONAL FLOOD INSURANCE PROGRAM(NFIP). UNDER THE UNITED STATES DEPARTMENT OF HOMELAND SECURITY(DHS).

•THIS ENTIRE DOCUMENT CONTAINS PROPRIETARY INFORMATION. IS COPYRIGHTED, AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS. INC. OR THE SIGNING SURVEYOR IF COPIED BY OTHERS.

 UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS, UTILITIES OR OTHER UNDERGROUND IMPROVEMENTS. IF ANY. WERE NOT LOCATED.

• FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE. USE CENTER OF SYMBOLS TO DETERMINE LOCATION.

• WALL TIES ARE TO THE FACE OF THE WALL AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.

- THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH
- BASIS OF BEARINGS, IF ANY, ARE ASSUMED PER PLAT AND/OR LEGAL DESCRIPTION.

* THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN APPROVAL BY THE CITY OF HOLLYWOOD FOR THE DESIGN ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF PROFESSIONAL SURVEYORS, INC.

SEE SHEET 1 OF 2 FOR SIGNATURE AND ORIGINAL SEAL FOR THIS SURVEY.

NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

THIS ENTIRE DOCUMENT CONTAINS PROPRIETARY INFORMATION. IS COPYRIGHTED, AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS, INC. OR THE SIGNING SURVEYOR WHEN COPIED BY OTHERS

ELEVATION NOTES:

20-1004E

20B-05-1939 ALEKSEL

03-14-202

REF: FOR:

ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. ABBREVIATIONS RELATED TO VERTICAL CONTROL: (NGVD'29)......NATIONAL GEODETIC VERTICAL DATUM OF 1929. (NAVD'88)......NORTH AMERICAN VERTICAL DATUM OF 1988. BM.....BENCHMARK

*ORIGINATING BENCHMARK: BENCHMARK №: 1896 DESCRIPTION: A C&GS DISC, ABOUT 0.1 MILE SOUTH ALONG THE FLA. EAST COAST RAILWAY FROM THE STATION AT FT. LAUD- DALE, 0.35 MILE NORTH OF MILEPOST 349, 223' SOUTH-WEST OF THE SOUTHWEST CORNER OF THE STATION, 24' SOUTHEAST CORNER OF AN OUTSIDE WAITING ROOM, 25.5 FEET EAST OF THE EAST RAIL OF THE NORTHBOUND TRACK 5' SOUTH OF THE EXTENDED CENTERLINE OF POLK STREET 6 1/2' WEST OF THE WEST CURB OF NORTH 21 AVENUE, 1' BELOW THE LEVEL OF THE TRACK AND SET IN THE TO OF A CONCRETE POST FLUSH WITH THE GROUND. ELEVATION: 10.932'(NGVD'29) **ELEVATION: 9.327'(NAVD'88)

SITE BENCHMARKS:

NAME: BM#1 DESCRIPTION: CUT NAIL 1'± S. OF N. CURB IN ASPHALT ROAD, IN LINE WITH WESTERLY PROPERTY LINE ELEVATION: 6.97' (NAVD'88) NAME: BM#2 DESCRIPTION: CUT NAIL 1'± S. OF N. CURB IN ASPHALT ROAD. IN LINE WITH EASTERLY PROPERTY LINE.

ELEVATION: 6.86' (NAVD'88)

- * ORIGINATION AND ORDER OF BENCHMARK IS BASED ON BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION
- ATMOSPHERIC ADMINISTRATION.

TREE DETAIL D.B.H.=DIAMTER AT BREAST HEIGHT					
CANOPY IS DEFINED AS FURT			OM		
THE CENTER OF THE C			0111		
# TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION	
1 TYPE:FICUS TREE	1.10'	19.0'	5.0'	GOOD	
2 TYPE:FICUS TREE	0.70'	11.0'	2.0'	FAIR	
3 TYPE:FICUS TREE	0.80'	12.0'	5.0'	FAIR	
4 TYPE:FICUS TREE	0.91'	14.0'	8.0'	FAIR	
5 TYPE:MANGO TREE	0.85'	17.0'	6.0'	GOOD	
6 TYPE: ARECA PALM CLUSTER	1.60'	14.0'	5.0'	GOOD	
7 TYPE: ARECA PALM CLUSTER	1.30'	10.0'	4.0'	GOOD	
8 TYPE:SABAL PALM	1.30'	13.0'	4.0'	GOOD	
9 TYPE:SABAL PALM	1.65'	19.0'	5.0'	GOOD	
10 TYPE:CHRISTMAS PALM	0.44'	7.0'	3.0'	GOOD	
11 TYPE: ARECA PALM CLUSTER	1.40'	14.6'	6.0'	GOOD	
12 TYPE: CHRISTMAS PALM CLUSTER OF 3	0.90'	4.0'	9.5'	GOOD	
13 TYPE:QUEEN PALM	0.77'	23.0'	5.0'	GOOD	
14 TYPE:QUEEN PALM	0.83'	21.0'	4.0'	GOOD	
15 TYPE:BLACK OLIVE TREE	0.92'	34.0'	10.0'	GOOD	
16 TYPE:BLACK OLIVE TREE	1.42'	41.0'	14.0'	GOOD	
COMMON-SCIENTIFIC					
ARECA PALM-DYPSIS LUTESCENS					
BLACK OF IVE TREE-BUCIDA BUCEBAS					
CHRISTMAS PALM-ADONIDIA MERRILLII					
FICUS TREE-FICUS BENJAMINA					
MANGO TREE-MANGIFERA INDICA					
SABAL PALM-SABAL PALMETTO					
QUEEN PALM-SYAGRUS R		-			

THIS SUBVEY IS NOT VALID WITHOUT ALL SHEETS

** CONVERSION FROM (NGVD'29) TO (NA.V.D.1988) IS -1.605'. ORTHOMETRIC HEIGHT CONVERSION FROM (NGVD'29) TO (NAVD'88) IS PER VERTCON AT NATIONAL GEODETIC SURVEY - NATIONAL OCEANIC AND

PROPOSED MULTIFAMILY BUILDING – 1939 FUNSTON ST, HOLLYWOOD, FL 33020



INDEX OF DRAWINGS:

ARCHITECTURAL

ARCHILEC	TURAL		
CS	COVER SHEET	<u>CIVIL</u>	
T-1	GENERAL NOTES	C-1	ENGINEERING PLAN
	BOUNDARY SURVEY	C-2	CONSTRUCTION DETAILS
L-1	LANDSCAPE PLAN	C-3	CONSTRUCTION DETAILS
IR-1	EXISTING CONDITION WITH NEW IRRIGATION	C-4	CONSTRUCTION DETAILS
A-1.0	PARKING PLAN / SITE PLAN	C-5	CONSTRUCTION DETAILS
A-2.0	2ND FLOOR PLAN	C-6	STORMWATER POLLUTION F
A-3.0	3RD FLOOR PLAN	C-7	STORMWATER POLLUTION F
A-4.0	4TH FLOOR PLAN	C-8	STORMWATER POLLUTION F
A-5.0	SOUTH ELEVATION		
A-6.0	WEST ELEVATION	<u>PLUMBING</u>	
A-7.0	NORTH ELEVATION	P-0.0	PLUMBING GENERAL NOTES
A-8.0	EAST ELEVATION	P-1.0	PLUMBING GROUND FLOOR
A-9.0	RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST	P-2.0	PLUMBING 2ND FLOOR PLAN
A-10.0	RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST	P-3.0	PLUMBING 3RD FLOOR PLAN
A-11.0	RENDERING OF THE PROPOSED BUILDING FROM ALLEY	P-4.0	PLUMBING 4TH FLOOR PLAN
A-12.0	VEHICULAR USE AREA DIAGRAM /	P-5.0	PLUMBING ROOF PLAN
	PERVIOUS VS IMPERVIOUS AREA PLAN /	P-6.0	PLUMBING STORM DRAIN IS
A 12 O	FUNSTON STREET PROFILE (NORTH ELEVATION)		
A-13.0	COLOR SAMPLES		
A-14.0	DETAILS		

A-15.0 DETAILS **STRUCTURAL**

PREVENTION PLAN N PREVENTION PLAN I PREVENTION PLAN

ES, LEGEND AND DETAILS R PLAN

ISOMETRIC DIAGRAM

FIRE PROTECTION

MECHANICAL

ELECTRICAL

OWNER: 1939 FUNSTON LLC 1939 FUNSTON STREET HOLLYWOOD, FL 33020 (954) 907-3103

ENGINEER OF RECORD: VINCI ENGINEERS 17070 COLLINS AVE #255 SUNNY ISLES, FL 33160 (786) 607-3797

MEP & FIRE PROTECTION ENGINEERS: VINCI ENGINEERS 17070 COLLINS AVE #255 SUNNY ISLES, FL 33160 (786) 607-3797

CIVIL ENGINEER: GGB ENGINEERING, INC. 2699 STIRLING ROAD, SUITE C-202 FORT LAUDERDALE, FLORIDA 33312 (954) 986-9899

LANDSCAPE ARCHITECT: BRUCE E. CUMMINGS P.A 235 COMMERCIAL BLVD., STE. 203 LAUDERDALE-BY-THE-SEA, FL 33308 (954) 771-8184

PRELIMINARY TAC MEETING (COMMENTS RECEIVED): JUNE 15, 2020

PRELIMINARY TAC MEETING (COMMENTS RESPONSE): JULY 6, 2020 (CANCELED)

FINAL TAC MEETING: SEPTEMBER 8, 2020

BOARD MEETING:

LOCATION OF THE SITE



VINCI

K-2 design, Inc 17070 Collins Ave #255 Sunny Isles, FI 33160 Phone: 786.607.3797 954.212.0164 Fax: contact@vinciengineers.com www.vinciengineers.com

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BUILDIN

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REVISIONS:	
SCHEMATIC DESIGN	
CLIENT APPROVAL	
LANDLORD APPROVAL	
BIDDING	
PERMIT SET	
FOR CONSTRUCTION	
OWNER REQUESTED REVISION	

ALEKSEJ BEREZNOJ P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/21/2020



Project Information

PROPERTY ADDRESS:

1939 FUNSTON ST, HOLLYWOOD, FL 33020

LEGAL DESCRIPTION:

LOTS 5 AND 6, BLOCK 6, OF "HOLLYWOOD SOUTH SIDE ADDITION NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FEMA ZONE: X

CITY ZONE: PS-1 (PARKSIDE LOW INTENSITY MULTIFAMILY DISTRICT) LAND USE: REGIONAL ACTIVITY CENTER (RAC)

SITE AREA: 10,817 FT

REQUIRED PROVIDED SETBACKS: FRONT (SOUTH) SIDE 20'-2" 20' REAR (NORTH) SIDE 20' 24'-9 1/4" EAST SIDE 10' 10' WEST SIDE 10' 10'

PERVIOUS AREA:

REQUIRED PROVIDED 2,163 SF (20%) 3,402 SF

OVERALL BUILDING HEIGHT: 4 STORIES, 45' PROPOSED 1 FLOOR HEIGHT – 11'-01" PROPOSED 2-4 FLOORS HEIGHT – 9'-11"

FAR 1.25 ALLOWABLE BUILDING AREA: 1.25*10,817 = 13,521 SF

BUILDING FOOTPRINT: 5,123 SF

PROPOSED USE: RESIDENTIAL APARTMENTS

PROPOSED BUILDING AREA: 13,129 SF

TOTAL APARTMENTS: 15

UNITS PER FLOOR:

GROUND FLOOR: PARKIN	IG AND LOBBY	
2ND FLOOR	BEDROOM	BATHROOM
MODEL A (201)	1	1
MODEL B (202)	2	1
MODEL C (203)	1	1
MODEL D (204)	2	2
MODEL E (205)	1	1
3RD FLOOR	BEDROOM	BATHROOM
MODEL A (301)	1	1
MODEL B (302)	2	1
MODEL C (303)	1	1
MODEL D (304)	2	2
MODEL E (305)	1	1
4TH FLOOR	BEDROOM	BATHROOM
MODEL A (401)	1	1
MODEL B (402)	E	1
MODEL C (403)	1	1
MODEL D (404)	2	2
MODEL E (405)	1	1

UNIT SQUARE FOOT A	REAS:	A/C AREA	BALCONIES
MODEL A, 1 BEDROOM	1 (201,301,401)	678 SF	33 SF
MODEL B, 2 BEDROOM	IS (202, 302,402)	783 SF	33 SF
MODEL C, 1 BEDROOM	1 (203,303,403)	680 SF	33 SF
MODEL D, 2 BEDROOM	/IS (204,304,404)	888 SF	33 SF
MODEL E, 1 BEDROOM	1 (205,305,405)	674 SF	33 SF

UNIT SIZE:	MINIMUM	AVERAGE
REQUIRED	300 SF	500 SF
PROVIDED	674 SF	741 SF

PARKING CALCULATION: TOTAL 2 BEDROOM APARTMENTS: 4, TOTAL 1 BEDROOM APARTMENTS: 11, PARKING REQUIRED: 6 + 11 + 2 GUEST (1HD) = 19 SPACES TOTAL PARKING PROVIDED:

FOOT-CANDLE LEVEL AT ALL PROPERTY LINES: 0.5

RESIDENTIAL GREEN BUILDING PRACTICES:

- 1. NO GARBAGE DISPOSAL
- 2. ALL ENERGY STAR APPLIANCES
- 3. NO SHOWER WITH MORE THAN ONE SHOWER HEAD, AND ALL LOW FLOW SHOWER HEADS
- 4. WASHER AND DRYER OUTSIDE OF AIR-CONDITIONED SPACE
- 5. CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
- 6. ENERGY EFFICIENT (LOW E) WINDOWS
- 7. ENERGY EFFICIENT DOORS
- 8. ENERGY STAR APPROVED ROOFING MATERIALS
- 9. PROGRAMMABLE THERMOSTATS
- 10. DUAL FLUSH TOILETS
- 11. ALL ENERGY-EFFICIENT OUTDOOR LIGHTING
- 12. ALL HOT WATER PIPES INSULATED
- 13. MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT
- 14. ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
- 15. RECYCLE MATERIALS FROM DEMOLITION AND CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE

NOTES:

- 1. ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
- 2. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
- 3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
- 4. EACH ELECTRICALLY ILLUMINATED SIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT
- 5. ALL THE DOORS TO THE STAIRS WILL HAVE SIZEABLE WINDOWS
- 6. EXTERNAL LIGHTING SHOULD BE FULLY SHIELDED AND MEET THE REQUIREMENTS OF THE INTERNATIONAL DARK SKY ASSOCIATION
- 7. NO TREE REMOVALS WITHOUT A TREE REMOVAL SUB-PERMIT
- 8. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE 12.3.2.1 AND 12.3.2.2
- 9. THE AMERICAN CRIME PREVENTION INSTITUTE RECOMMENDS THE FOLLOWING LEVELS OF EXTERNAL ILLUMINATION:
 - A. PARKING LOTS 3-5-FOOT CANDLES
 - B. WALKING SURFACES 3-FOOT CANDLES
 - C. RECREATIONAL AREAS 2-3-FOOT CANDLES
 - D. BUILDING ENTRYWAYS 5-FOOT CANDLES

E. THESE LEVELS MAY BE SUBJECT TO REDUCTION IN SPECIFIC CIRCUMSTANCES WHERE AFTER HOURS USE IS RESTRICTED

F. THE LIGHTING FIXTURE IDENTIFICATION SYSTEM SHOULD ENABLE ANYONE TO EASILY REPORT A MALFUNCTIONING FIXTURE

G. EXTERIOR LIGHTING SHOULD BE CONTROLLED BY AUTOMATIC DEVICES (PREFERABLY BY PHOTOCELL). H. EXTERIOR LIGHTING FIXTURE LENSES SHOULD BE FABRICATED FROM POLYCARBONATE, BREAK-RESISTANT MATERIALS

I. PLANT MATERIALS, PARTICULARLY TREE FOLIAGE, SHOULD NOT INTERFERE WITH OR OBSCURE EXTERIOR LIGHTING

- J. LIGHT FIXTURES BELOW 10' IN GRADE SHOULD BE DESIGNED TO MAKE ACCESS TO INTERNAL PARTS DIFFICULT (I.E. SECURITY SCREWS, LOCKED ACCESS PANELS)
- 10. EXTERIOR DOORS NOT USED AS DESIGNATED ENTRY POINTS, SHOULD BE LOCKED TO PREVENT ENTRY FROM THE EXTERIOR
- 11. LOBBY SHOULD BE ACCESSIBLE TO RESIDENTS ONLY
- 12. CONVEX MIRRORS SHOULD BE USED IN CORNERS AND IN STAIRWELLS

A/C + BALCONIES

711 SF 816 SF

713 SF

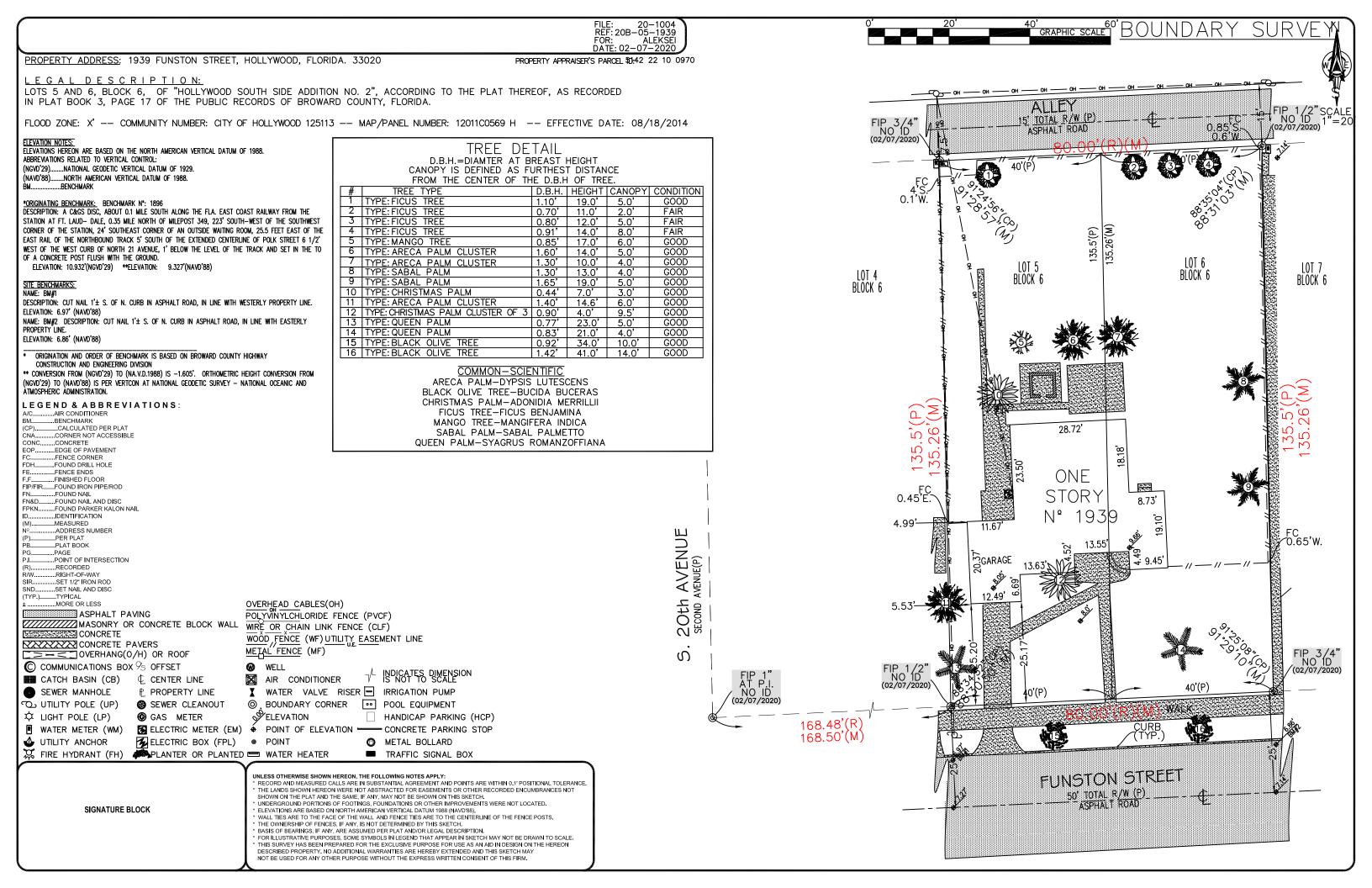
921 SF

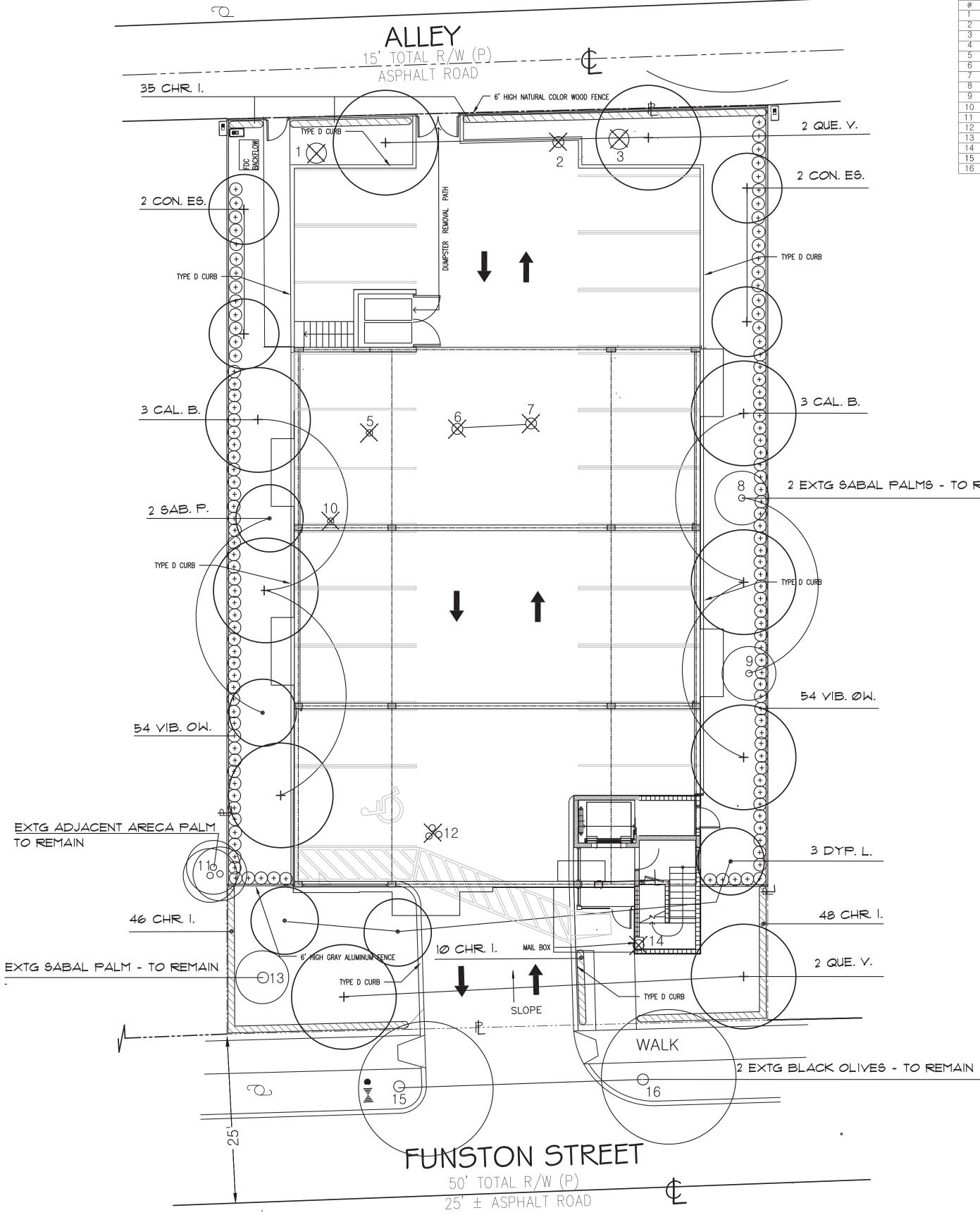
707 SF

4*1.5 = 6 SPACES 11*1 = 11 SPACES 18 REG + 1 HD = 19 SPACES

ON SCALED DIMENSIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK		
L NOT RELY ON SCALED DIMENSIONS. N	Phone: 786	Ave #255 FI 33160 5.607.3797 .212.0164 gineers.com
MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF VINCI ENGINEERS INC, © 2012 CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL	PROPOSED MULTIFAMILY BUILDING	1939 FUNSTON ST HIIywood, FL 33020
DUPLICATED, USED, OR DISCLOSED WITHOUT THE	RE VISIONS:	
AND UNPUBLISHED WORK OF VINCI ENGINEERS INC, AND MAY NOT BE	SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED R	
statement: All drawings and written Material Appearing Herein are the original and unpublished work	ALEKSEJ BE P.E. #74083, Co SCALE	REZNOJ DA #29841 AS SHOWN
Written Materia	PROJECT NO. DRAWN BY: CHECKED BY: DATE	S.K. A.B. 08/21/2020

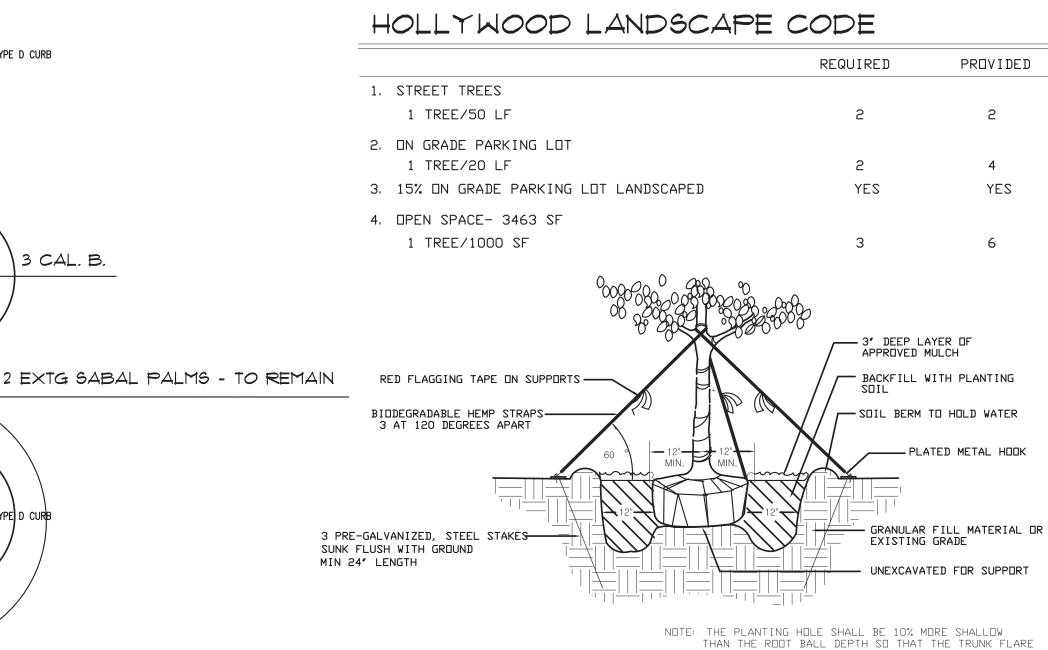
General Notes





EXISTING TREES

#	TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION	RESOLUTION
1	TYPE:FICUS TREE	1.10'	19.0'	5.0'	GOOD	REMOVE
2	TYPE:FICUS TREE	0.70'	11.0'	2.0'	FAIR	REMOVE
3	TYPE:FICUS TREE	0.80'	12.0'	5.0'	FAIR	REMOVE
4	TYPE:FICUS TREE	0.91'	14.0'	8.0'	FAIR	REMOVE
5	TYPE:MANGO TREE	0.85'	17.0'	6.0'	GOOD	REMOVE
6	TYPE:ARECA PALM CLUSTER	1.60'	14.0'	5.0'	GOOD	REMOVE
7	TYPE:ARECA PALM CLUSTER	1.30'	10.0'	4.0'	GOOD	REMOVE
8	TYPE:SABAL PALM	1.30'	13.0'	4.0'	GOOD	REMAIN
9	TYPE:SABAL PALM	1.65'	19.0'	5.0'	GOOD	REMAIN
10	TYPE:CHRISTMAS PALM	0.44'	7.0'	3.0'	GOOD	REMOVE
11	TYPE:ARECA PALM CLUSTER	1.40'	14.6'	6.0'	GOOD	REMAIN
12	TYPE: CHRISTMAS PALM CLUSTER OF 3	0.90'	4.0'	9.5'	GOOD	REMOVE
13	TYPE:QUEEN PALM	0.77'	23.0'	5.0'	GOOD	REMAIN
14	TYPE:QUEEN PALM	0.83'	21.0'	4.0'	GOOD	REMOVE
15	TYPE:BLACK OLIVE TREE	0.92'	34.0'	10.0'	GOOD	REMAIN
16	TYPE:BLACK OLIVE TREE	1.42'	41.0'	14.0'	GOOD	REMAIN

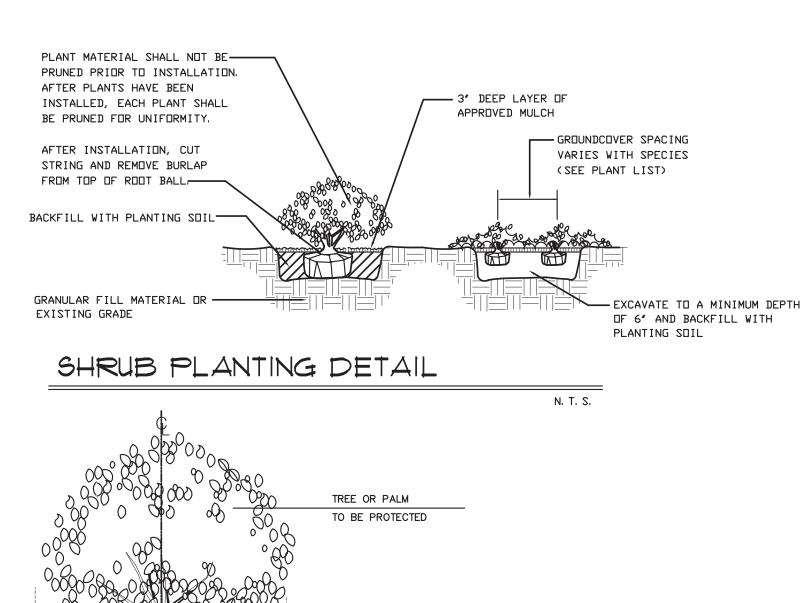


TREE PLANTING DETAIL

N.T.S.

FOR TREES UP TO 16' HT.

(TAPER) IS VISIBLE ABOVE GRADE. MULCH MUST NOT BE PLACED AT THE TAPER AND MUST BE SET BACK 12-18" FROM THE TRUNK



TREES & PALM SYMBOL OTY

ZIMBUL	QIY
CAL. B.	6
CON. ES.	4
DYP. L.	3
QUE, V.	4
SAB. P.	2

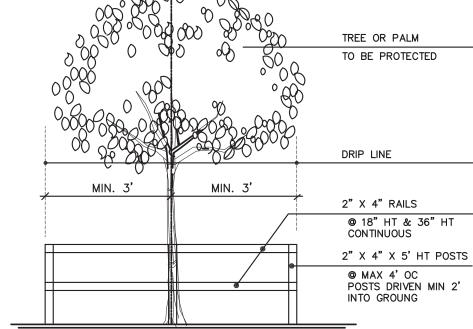
SHRUBS

CHR. I. 139 VIB. 🛛 W. 108

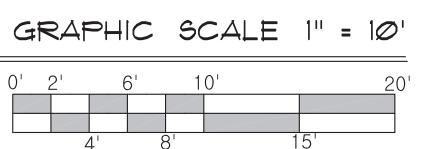
- 2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES ROUGH GRADES BY GENERAL CONTRACTOR.

- 5. TREES & PALMS GUARANTEED FOR 180 DAYS- SHRUBS 90 DAYS.

- 48 CHR. I.



TREE BARRIER DETAIL



PLANT LIST

_MS		
BOTANICAL NAME	COMMON NAME	SIZE
CALOPYLLUM BRASILIENCE	BEAUTYLEAF	12' X 5-6'
CONDCARPUS E. SERICEUS	SILVER BUTTONWOOD	8-9'X 4-5'/MIN 4'CT & MULTISTEM
DYPSIS LUTESCENS	ARECA PALMS	8-9'X 5-6'/MIN 5 TRK/FULL
QUERCUS VIRGINIANA	LIVE DAK	12' X 5-6'
SABAL PALMETTO	SABAL PALMS	14-16' HT. /FULL

CHRYSOBALNUS ICACO	COCOPLUM	2-3′X 2′ @ 24″OC.
VIBURNUM D. "WALTER'S"	WALTER'S VIBURNUM	4-5′X 2-3′@ 30″□C.

LANDSCAPE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- 3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. DF AGRICULTURE GRADES & STANDARDS, PARTS I & II, 1973 & 1975.
- 4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
- 6. APPLY 2" MELALEUCA\EUCALYTUS MULCH ARDUND ALL PLANTS WITHIN 2 DAYS.
- 7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- 8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES DR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- 9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- 10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- 11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- 12. ALL MECHANICAL EQUIPMENT IS TO BE SCREENED FROM VIEW USING AN APPROVED HEDGE, FENCE OR WALL AND LABEL AS SUCH ON THE PLAN.

TREE LEGEND

NEW TREES

-+-

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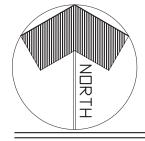
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EXISTING TREES & PALMS - TO REMAIN

EXISTING TREES & PALMS - TO BE REMOVED

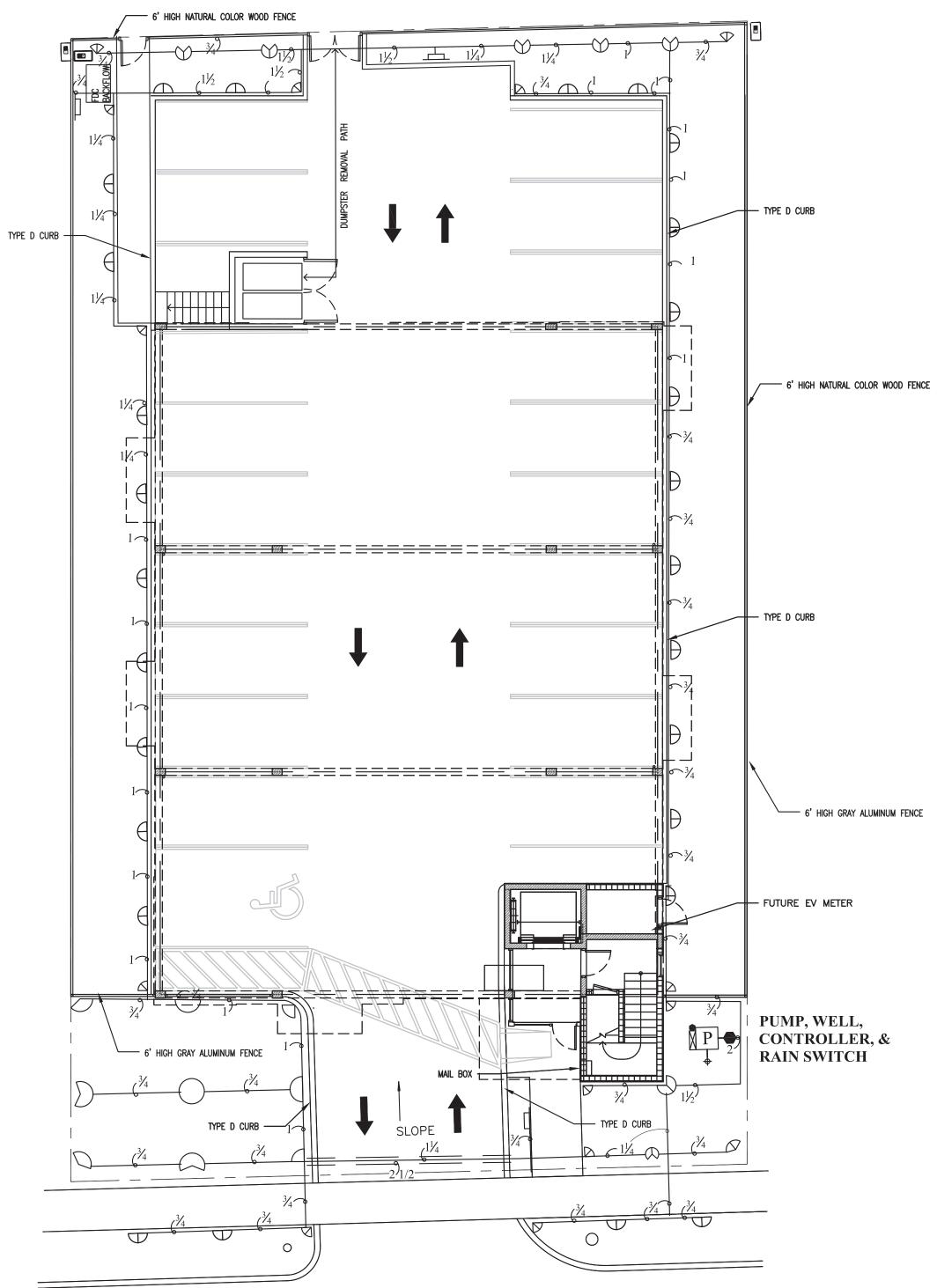
EXISTING CONDITIONS

WITH NEW LANDSCAPE



ISSUE / REVISION 27 APRIL 2020 1 JULY 2020 2 JULY 2020 4 AUG 2020 21 AUG 2020 D 4₩Ш $= \tilde{\mathbb{Z}}$ ⊨ ∢ \bigcirc Ш Ш Ф $\cup \cap$ \square SEAL \mathbf{N} U S Ž D \square $\overline{\mathbf{A}}$ ∎ C ┣─ S Щ. $\overline{\nabla}$ Ш ₩ 4 Ш SHEET NO.

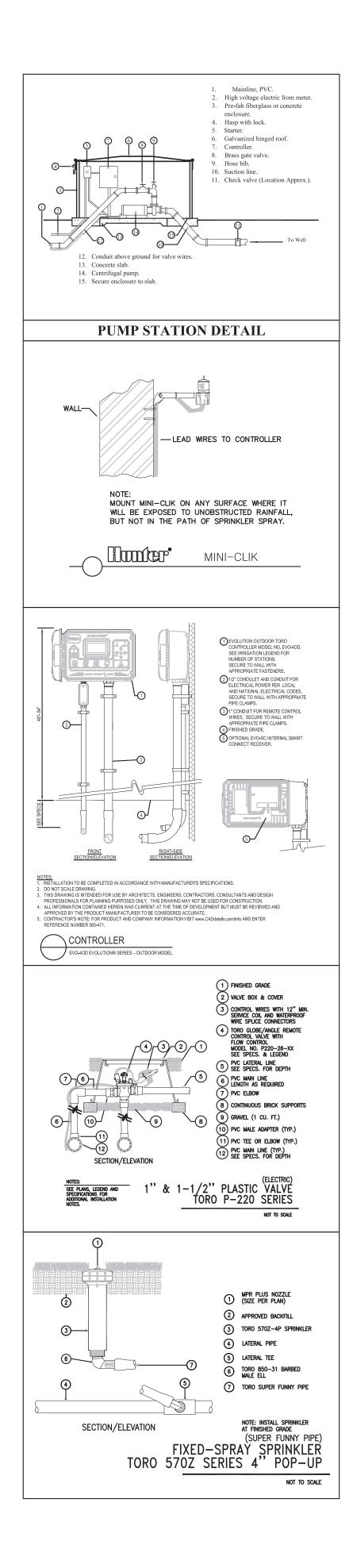
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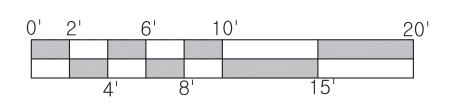
SPRINKLER ZONE SUMMARY

Zone No.	Head Type	<u>GPM</u>	Valve Size
1	Spray	44	1 1/2"

Total head count: 45 Sprays



GRAPHIC SCALE 1" = 10'



GENERAL IRRIGATION NOTES

1. This design is diagrammatic. All piping, valves, etc., shown within paved areas or outside property lines is for design clarification only and shall be installed in landscaped areas within the property boundaries where possible. No irrigation equipment may be installed outside property lines unless otherwise directed.

2. This system has been designed to conform with the requirements of the applicable codes. Should any conflict exist, the requirements of the codes shall prevail.

3. All sprinkler equipment not otherwise detailed or specified shall be installed as per the manufacturer's recommendations and specifications.

4. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of the larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.

5. It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The Irrigation Contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc. The Irrigation Contractor shall also familiarize himself with the landscape plan and coordinate the installation with the Landscape Contractor.

6. Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the Irrigation Contractor shall assume full responsibility for any changes necessary.

7. The Irrigation Contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with no overspray on to walks, streets, walls, etc. To eliminate overspray, low angle and variable arc nozzles may be substituted for standard spray nozzles.

8. All pipe and wire installed beneath paving shall be sleeved in Schedule 40 PVC pipe.

9. All threaded PVC joints shall be made using Schedule 80 PVC nipple stubs and solvent weld couplings. No threaded adapters will be allowed. All other PVC joints shall be of the same type as the specified pipe, i.e., 'O' ring or solvent weld.

10. All above ground piping shall be schedule 40PVC, unless other wise specified.

11. All sprinkler heads with flow rates of 7 GPM or less shall be mounted on flex type swing joints. Flex type pipe shall be used for swing joints only and not lateral lines. All sprinkler heads with flow rates greater than 7 GPM shall be mounted on PVC swing joints of the same size as the sprinkler head inlet.

12. All sprinkler heads shown as solid symbols may be mounted on schedule 40 PVC risers. Unless otherwise specified shrub type heads may be substituted for 4" (or less) pop-up heads. Riser height to be determined by plant material. Riser extenders may be used on pop-up heads. All shrub risers shall be Schedule 40 PVC and painted flat or satin black. Risers shall be supported with rebar or angle iron secured by stainless steel clamps. All sprinkler heads shown on risers adjacent to public thoroughfares shall be installed 12" (min) from edge of pavement.

13. This system has been designed to provide a 100% coverage with 100% overlap. All water used for irrigation shall be rust free. If a chemical injection system is used in a well water system, the well shall be protected in accordance with Florida state law.

LEGEND

Symbol	<u>Manufacturer</u>	<u>Part No.</u>	Description
\$		2"min	Supply well - capable of continuously producing 45gpm free of sand and debris.
Ρ	Goulds	GT15	1 1/2 hp pump with motor controls, SCH 40 PVC suction line to well, rust inhibiting system, check valve, slab, and prefabricated enclosure. Secure pump and enclosure to slab with threaded fasteners and lead anchors.
\boxtimes	Rain Bird	ESP-4M	Controller-mount in pump enclosure or as directed.
٠	Hunter	Mini-Clik II	Rain switch-mount at pump site or as directed.
	Toro	P220-26-06	1 1/2" solenoid valve with valve box.
		SDR26 / Class160	PVC pipe
Not Shown		14AWG Type UF	Direct burial irrigation wire.

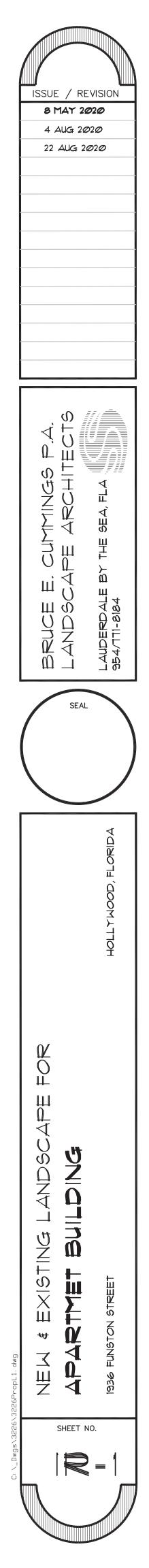
SPRINKLER HEAD SCHEDULE

Symbol	Toro Part No.	Туре	PSI	GPM	Rad.
	570Z-6P-10-Q-PC	6" pop-up spray	30-40	.33	10'
	570Z-6P-10-T-PC	6" pop-up spray	30-40	.44	10'
	570Z-6P-10-H-PC	6" pop-up spray	30-40	.66	10'
\square	570Z-6P-10-TT-PC	6" pop-up spray	30-40	.89	10'
6	570Z-6P-10-TQ-PC	6" pop-up spray	30-40	.99	10'
	570Z-6P-12-Q-PC	6" pop-up spray	30-40	.48	12'
Δ	570Z-6P-12-T-PC	6" pop-up spray	30-40	.64	12'
\Box	570Z-6P-12-H-PC	6" pop-up spray	30-40	.96	12'
\bigcirc	570Z-6P-12-TT-PC	6" pop-up spray	30-40	1.28	12'
\triangleleft	570Z-6P-4-EST-PC	6" pop-up spray	30-40	.43	4' X 15'
	570Z-6P-4-SST-PC	6" pop-up spray	30-40	.88	4' X 30'

THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F, **CONSTRUCTION AND BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, OF THE FLORIDA BUILDING CODE.**

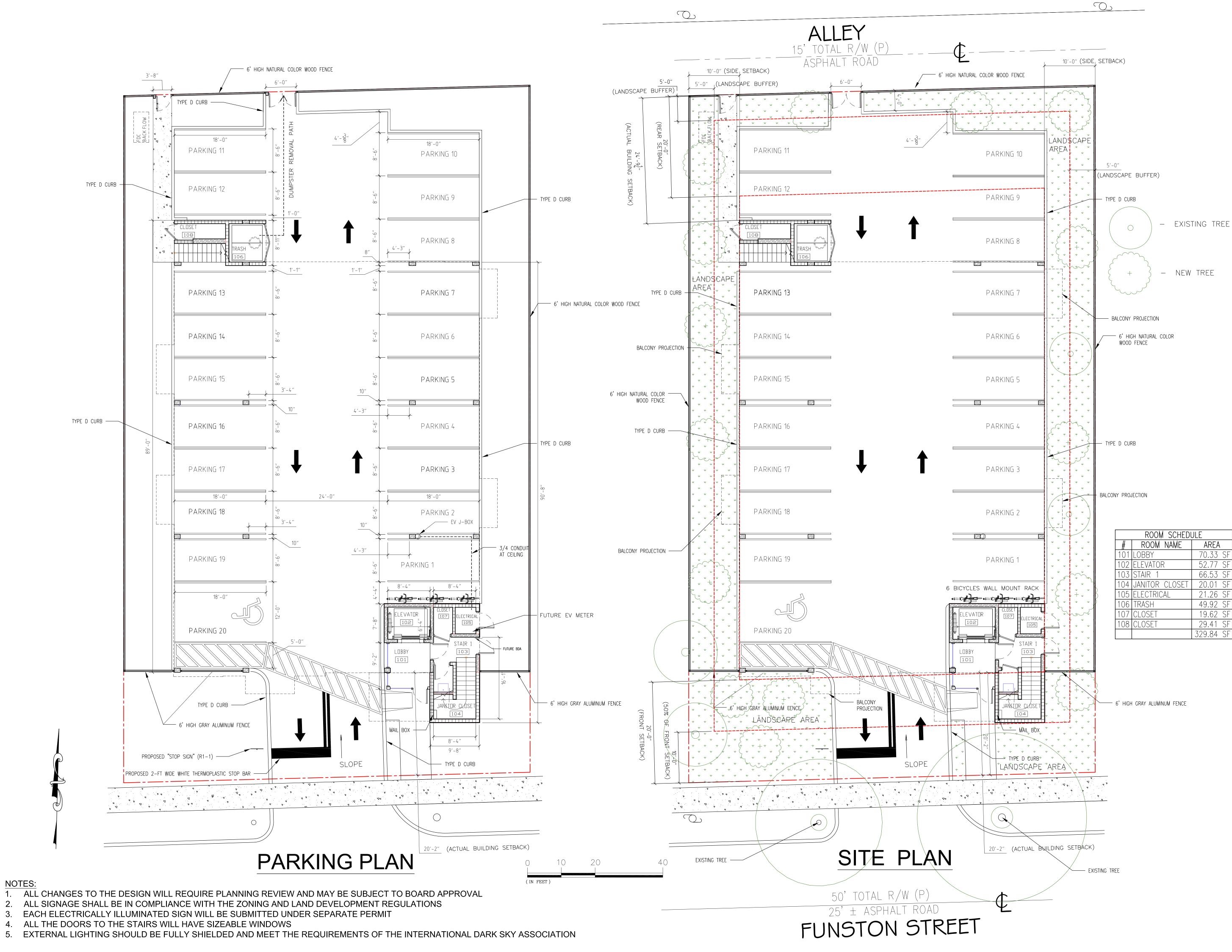


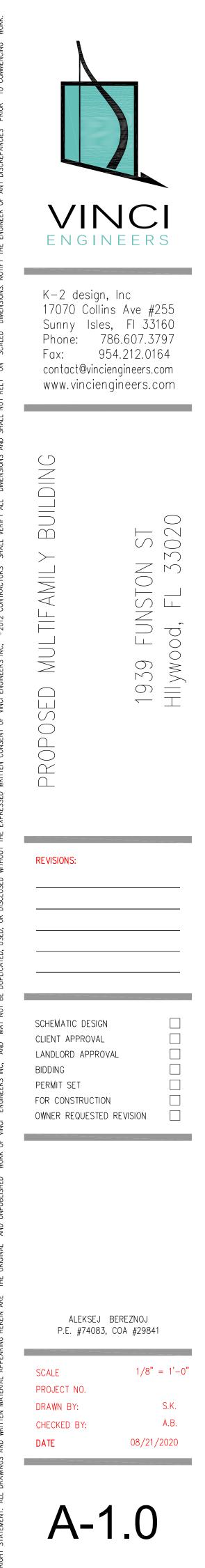
EXISTING CONDITIONS WITH NEW IRRIGATION



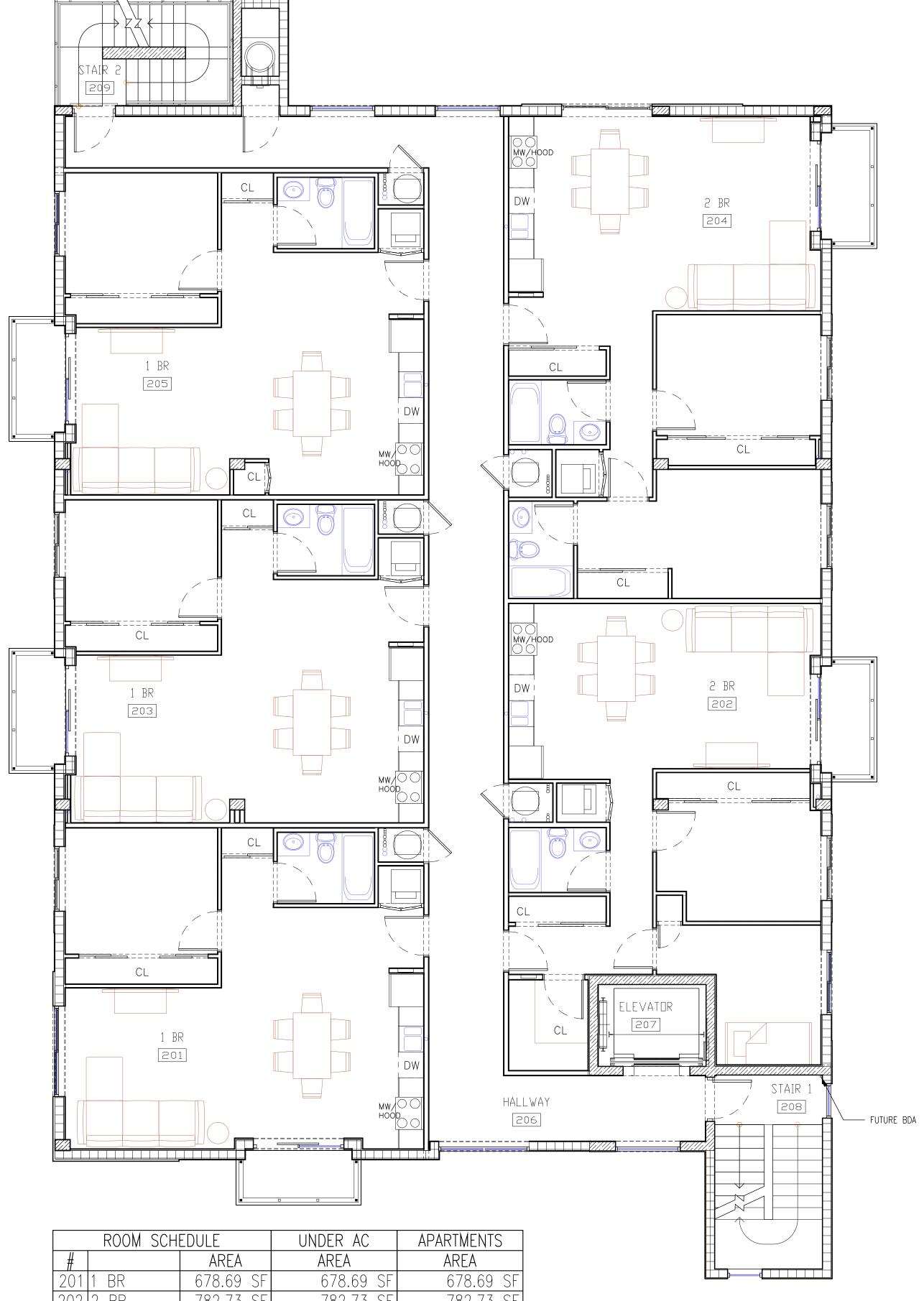


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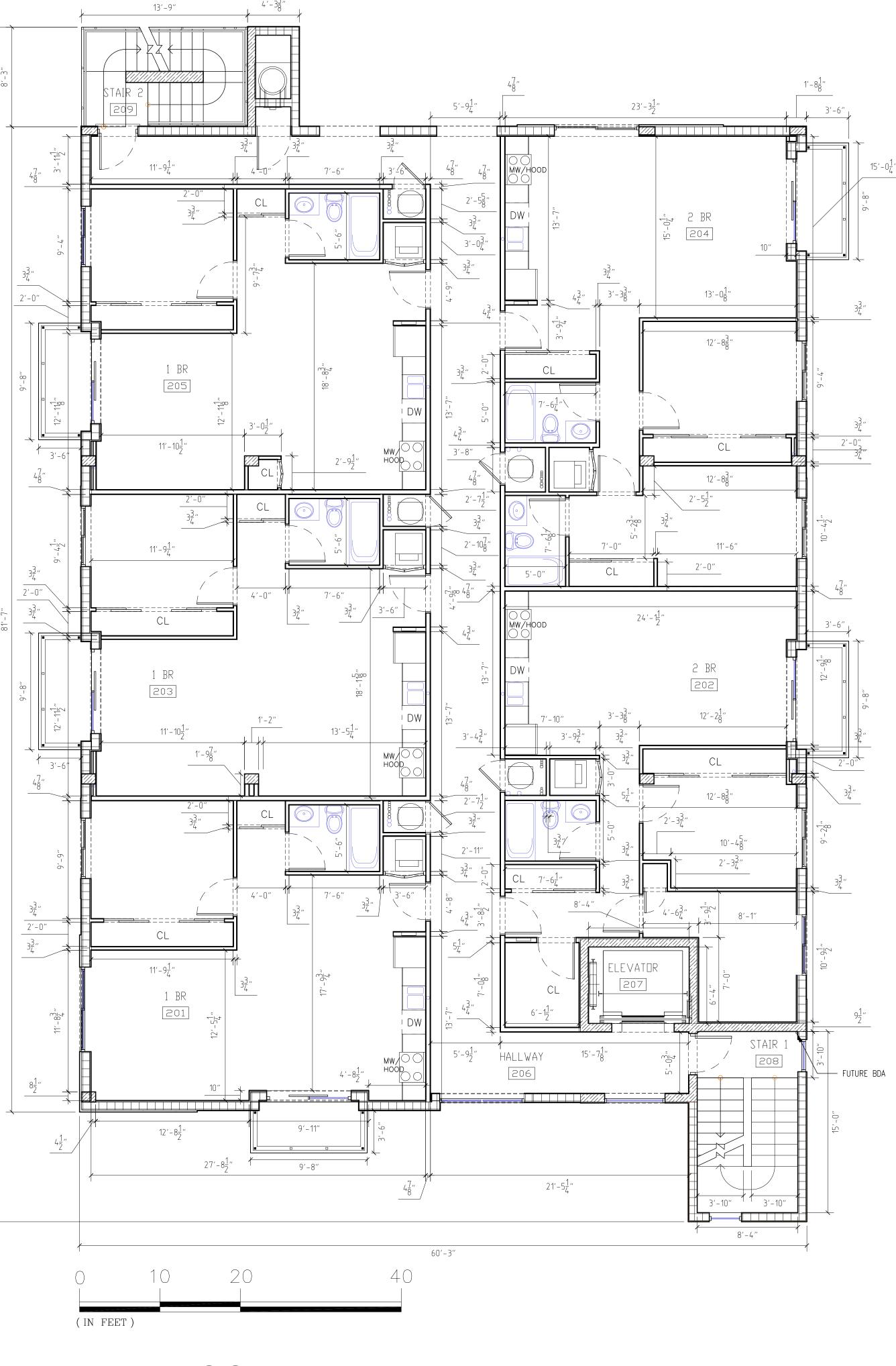


Parking Plan/Site Plan



ROOM SCHEDULE		UNDER AC	APARTMENTS	
#		AREA	AREA	AREA
201	1 BR	678.69 SF	678.69 SF	678.69 SF
202	2 BR	782.73 SF	782.73 SF	782.73 SF
203	1 BR	679.81 SF	679.81 SF	679.81 SF
204	2 BR	888.45 SF	888.45 SF	888.45 SF
205	1 BR	674.29 SF	674.29 SF	674.29 SF
206	HALLWAY	649.14 SF	649.14 SF	
207	ELEVATOR	52.78 SF		
208	STAIR 1	125.00 SF		
209	STAIR 2	112.72 SF		
	TOTAL	4643.62 SF	4353.12 SF	3703.98 SF

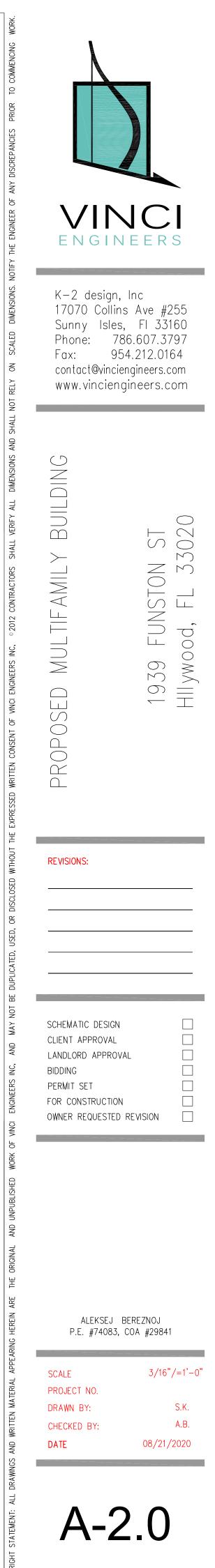
2ND FLOOR FURNITURE PLAN



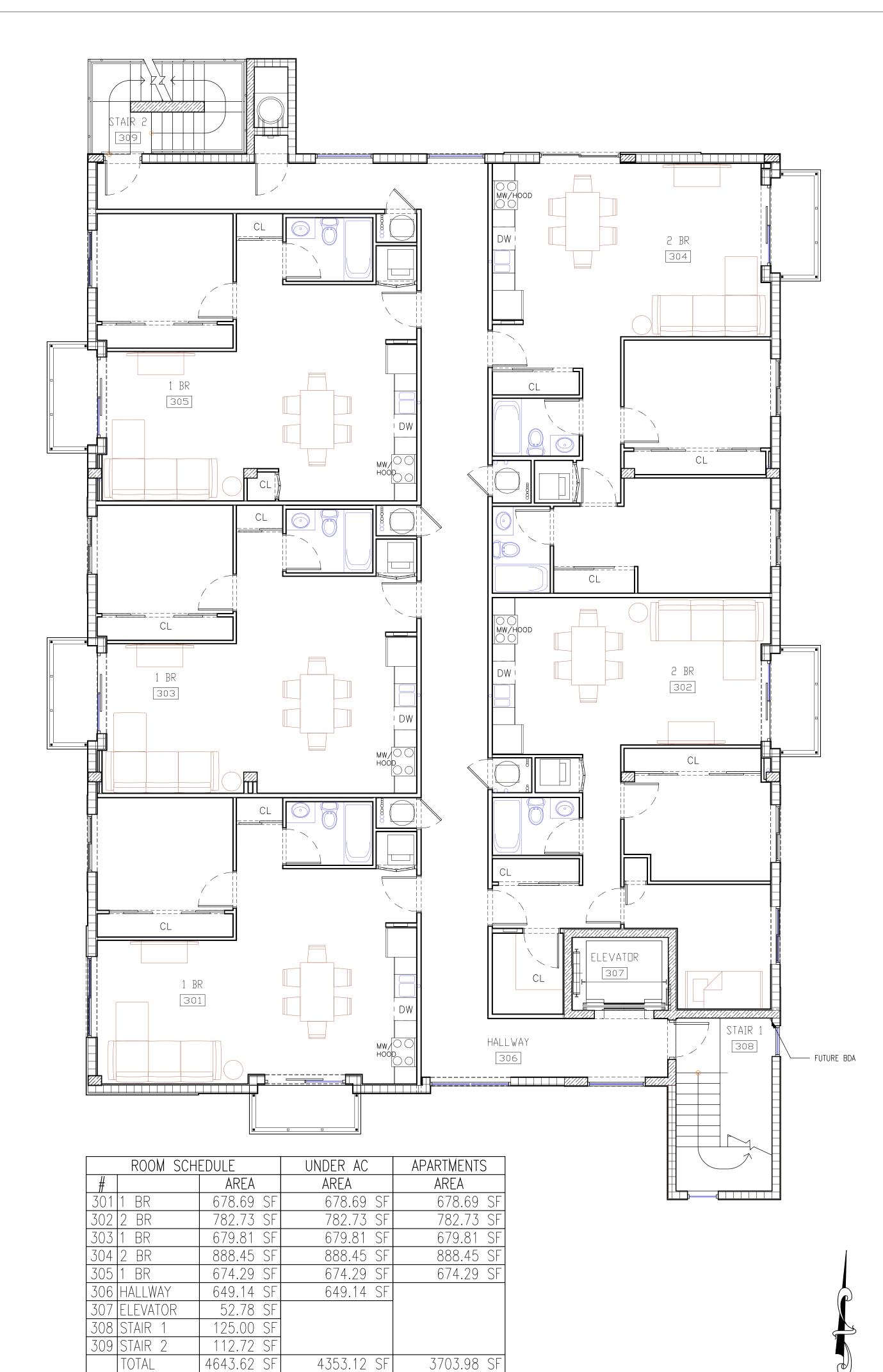
2ND FLOOR PLAN

NOTES:

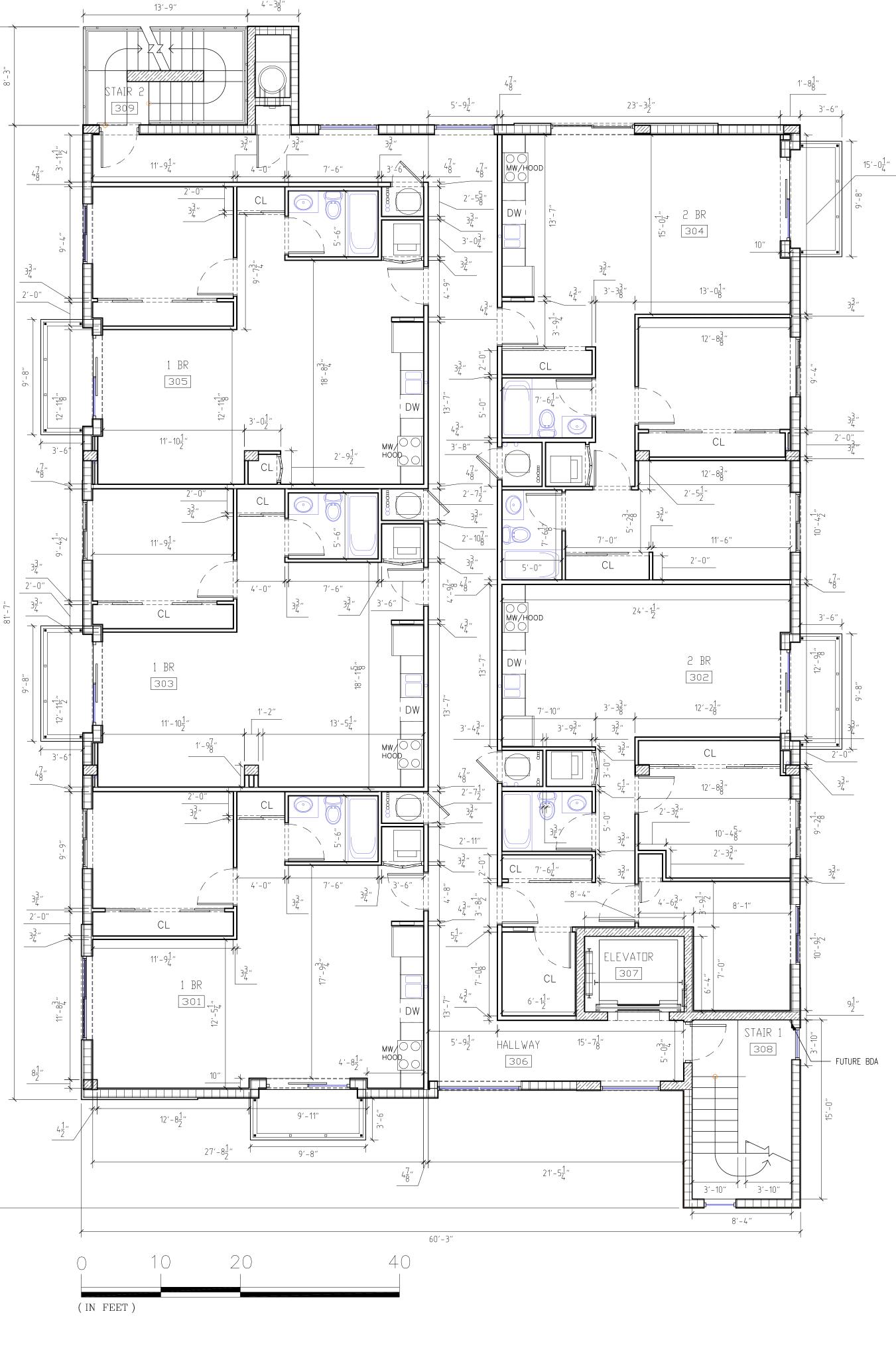
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN 2.
- WINDOWS ARE IN THE FIRE EGRESS DOORS 3



2nd Floor Plan



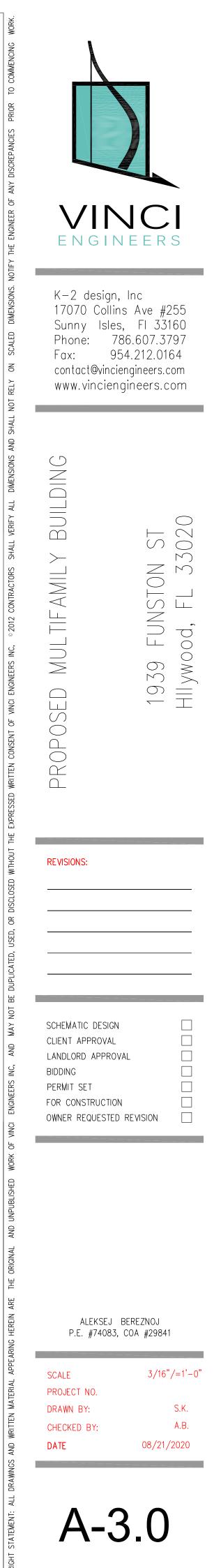
3RD FLOOR FURNITURE PLAN



3RD FLOOR PLAN

NOTES:

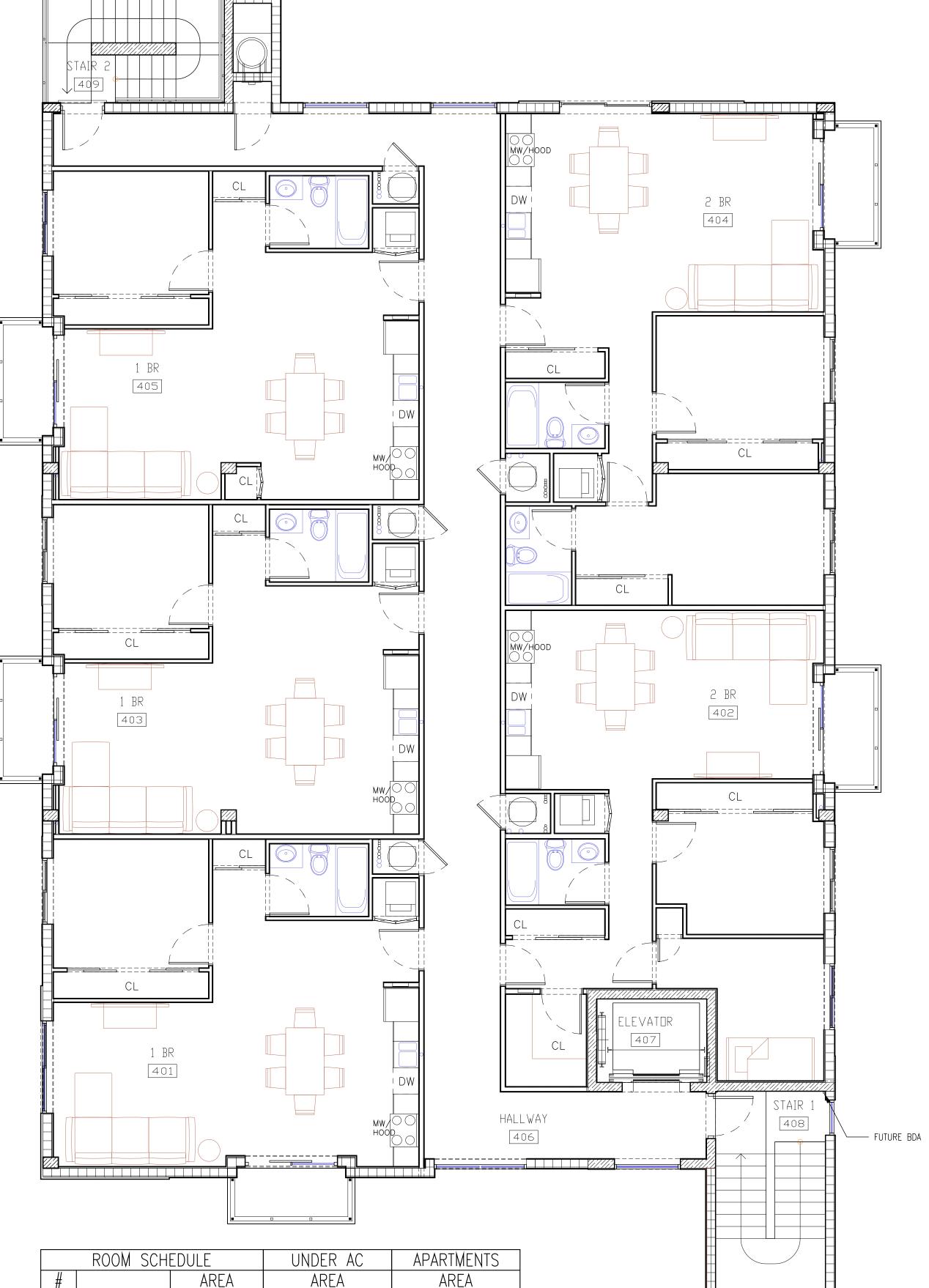
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN 2.
- WINDOWS ARE IN THE FIRE EGRESS DOORS

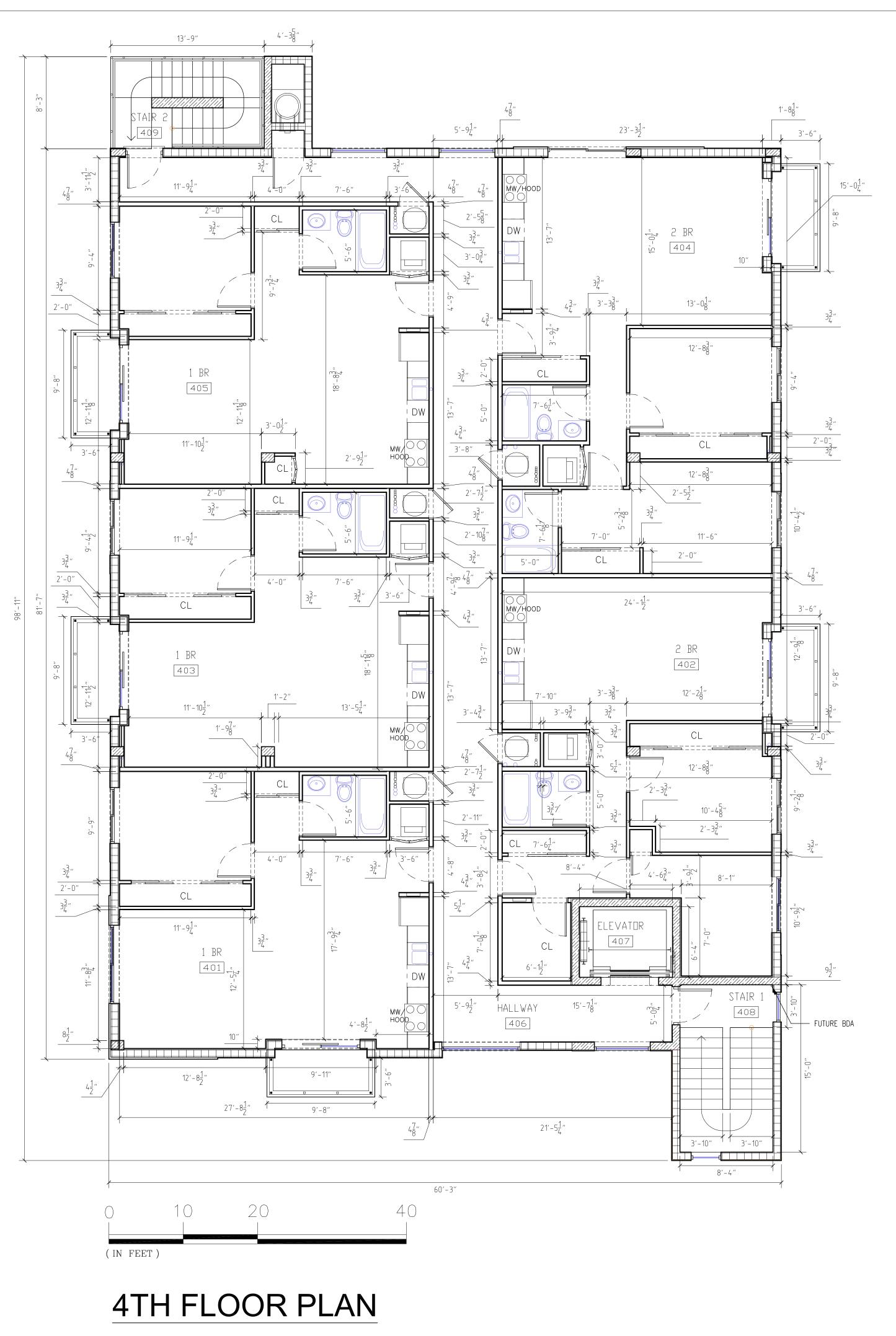


3rd Floor Plan

4TH FLOOR FURNITURE PLAN

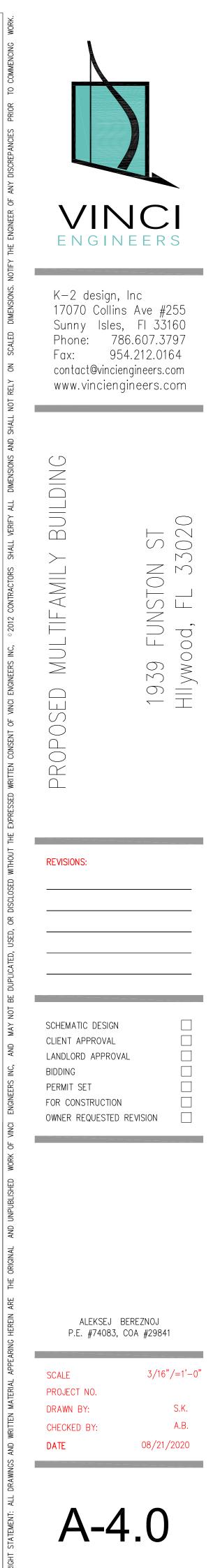
	ROOM SCH	EDULE	UNDER AC	APARTMENTS
#		AREA	AREA	AREA
401	1 BR	678.69 SF	678.69 SF	678.69 SF
402	2 BR	782.73 SF	782.73 SF	782.73 SF
403	1 BR	679.81 SF	679.81 SF	679.81 SF
404	2 BR	888.45 SF	888.45 SF	888.45 SF
405	1 BR	674.29 SF	674.29 SF	674.29 SF
406	HALLWAY	649.14 SF	649.14 SF	
407	ELEVATOR	52.78 SF		
408	STAIR 1	125.00 SF		
409	STAIR 2	112.72 SF		
	TOTAL	4643.62 SF	4353.12 SF	3703.98 SF



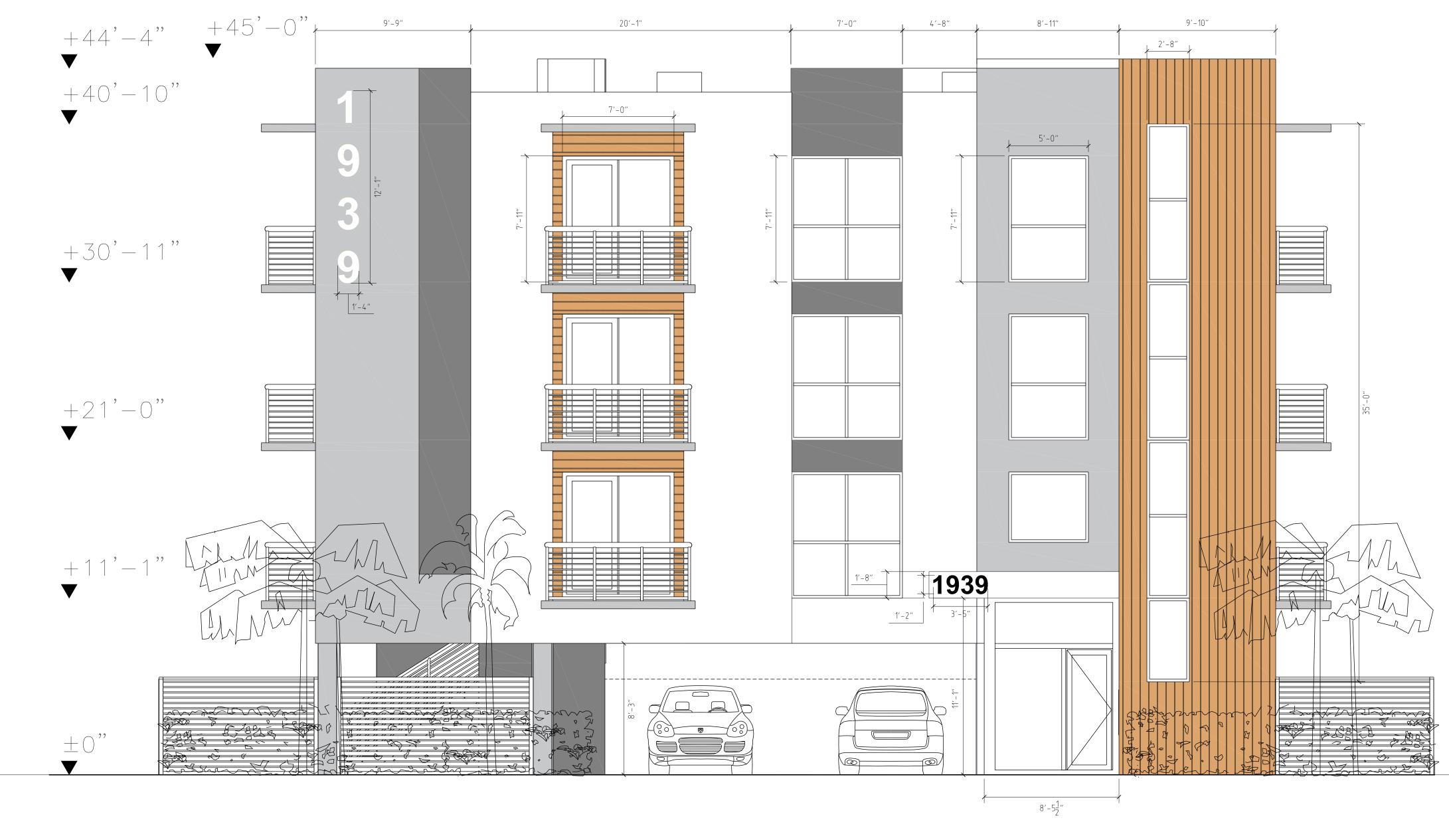


NOTES:

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- ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN 2.
- WINDOWS ARE IN THE FIRE EGRESS DOORS 3

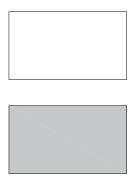


4th Floor Plan



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MATERIAL LEGEND

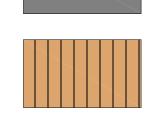


STUCCO, SW 7661 REFLECTION

40

STUCCO, SW 7757 HIGH REFLECTIVE WHITE

STUCCO, SW 6255 MORNING FOG



REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE

SOUTH ELEVATION SCALE 1/4" = 1'

VINCI INT OF



K—2 design, Inc 17070 Collins Ave #255 Sunny Isles, FI 33160 Phone: 786.607.3797 Fax: 954.212.0164 contact@vinciengineers.com www.vinciengineers.com

1939 FUNSTON ST HIIywood, FL 33020

REVISIONS:

BUILDING

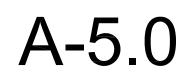
MULTIFAMILY

PROPOSED

SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVISION

ALEKSEJ BEREZNOJ P.E. #74083, COA #29841

AS SHOWN SCALE PROJECT NO. S.K. DRAWN BY: A.B. CHECKED BY: DATE 08/21/2020

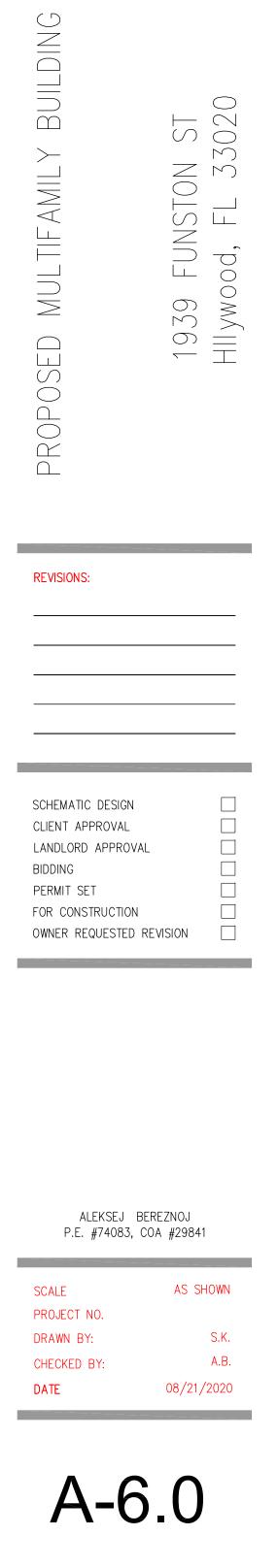








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REGENT GROVE 6 IN. X 36 IN. ASH GRAY GLAZED PORCELAIN TILE

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1939 FUNSTON ST HIIywood, FL 33020

REVISIONS:

BUILDING

MULTIFAMILY

PROPOSED

SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVISION

ALEKSEJ BEREZNOJ P.E. #74083, COA #29841

AS SHOWN SCALE PROJECT NO. S.K. DRAWN BY: A.B. CHECKED BY: DATE 08/21/2020







RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST

VINCI K—2 design, Inc 17070 Collins Ave #255 Sunny Isles, FI 33160 Phone: 786.607.3797 Fax: 954.212.0164 contact@vinciengineers.com www.vinciengineers.com BUILDING FUNSTON ST ood, FL 33020 \succ MUL 1939 HII ywo(PROP **REVISIONS:** SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVISION ALEKSEJ BEREZNOJ P.E. #74083, COA #29841 AS SHOWN SCALE PROJECT NO. DRAWN BY: S.K. A.B. CHECKED BY: DATE 08/21/2020 A-9.0

Rendering



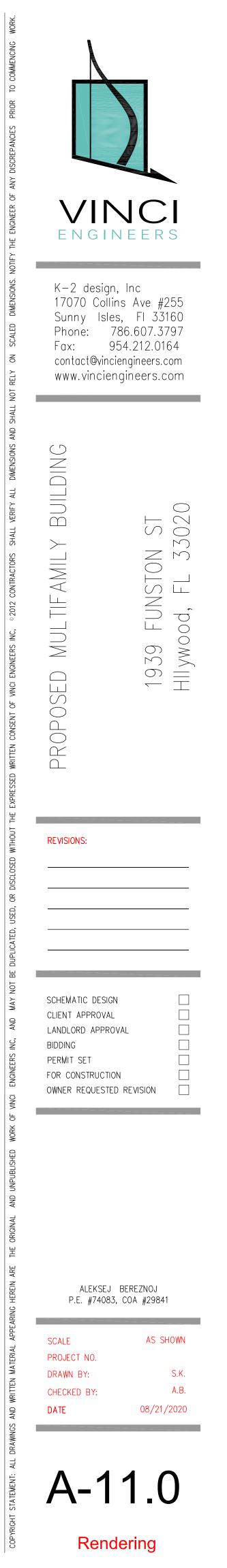
RENDERING OF THE PROPOSED BUILDING FROM FUNSTON ST

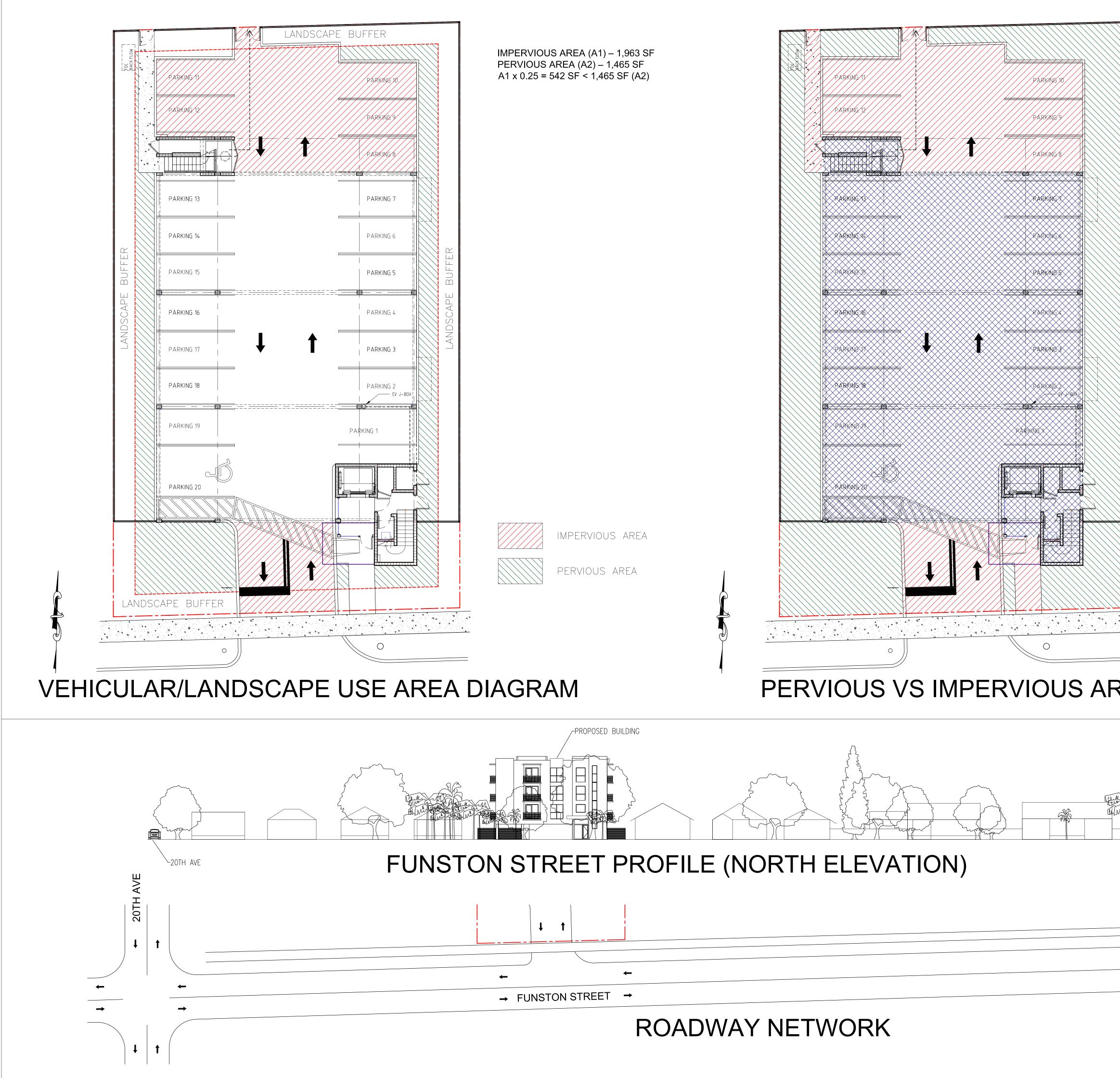
VINCI K-2 design, Inc 17070 Collins Ave #255 Sunny Isles, Fl 33160 Phone: 786.607.3797 Fax: 954.212.0164 contact@vinciengineers.com www.vinciengineers.com BUILDING 1939 FUNSTON ST HIIywood, FL 33020 TIFAMILY PROPOSED REVISIONS: SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVISION ALEKSEJ BEREZNOJ P.E. #74083, COA #2984 AS SHOWN SCALE PROJECT NO. DRAWN BY: S.K. A.B. CHECKED BY: DATE 08/21/2020 A-10.0

Rendering



RENDERING OF THE PROPOSED BUILDING FROM ALLEY





BUII HAF	TAL SITE AREA LDING FOOTPRINT RDSCAPE (IMPERVIO IDSCAPE (PERVIOU	•	100% 47.4% 21.2% 31.4%	Y THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.		
				L NOT RELY ON SCALED DIMENSIONS. NOTIFY		Ave #255 FI 33160 6.607.3797 4.212.0164 ngineers.com
	Building IMPERVIO	FOOTPRINT US AREA		THE EXPRESSED WRITTEN CONSENT OF VINCI ENGINEERS INC, © 2012 CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL	PROPOSED MULTIFAMILY BUILDING	1309 N 24TH AVENUE HIlywood, FL 33020
	PERVIOUS			USED, OR DISCLOSED WTHOUT	REVISIONS:	
REAP	LAN			HED WORK OF VINCI ENGINEERS INC, AND MAY NOT BE DUPLICATED.	SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED F	
				RAMNGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED	ALEKSEJ BE P.E. #74083, C SCALE PROJECT NO. DRAWN BY: CHECKED BY: DATE	
		19TH AVE ↓			A-12 vehicular use a ervious vs imper- funston stre	rea diagram vious area plan

SW 7757 **High Reflective White**

SW 7661 Reflection

MAIN BUILDING COLOR: Sherwin Williams SW 7757 High Reflective White

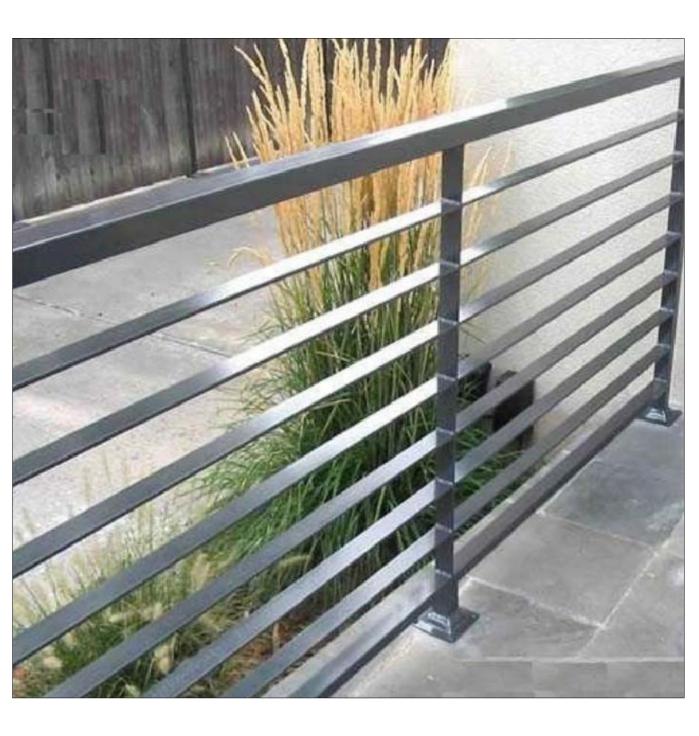
Sherwin Williams SW 7661 Reflection

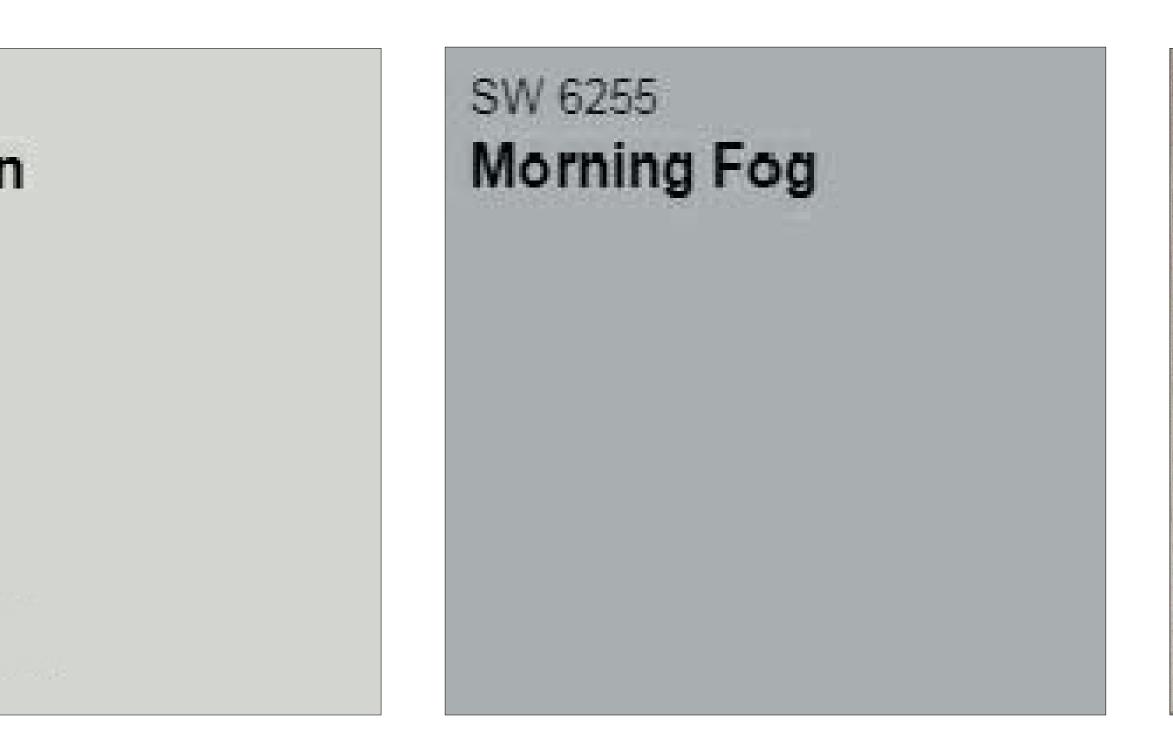
ENTRY DOOR AND FRAMING STYLE

ALUMINUM RAILINGS STYLE









LIGHT GRAY ACCENT COLOR:

GRAY ACCENT COLOR: Sherwin Williams SW 6255 Morning Fog

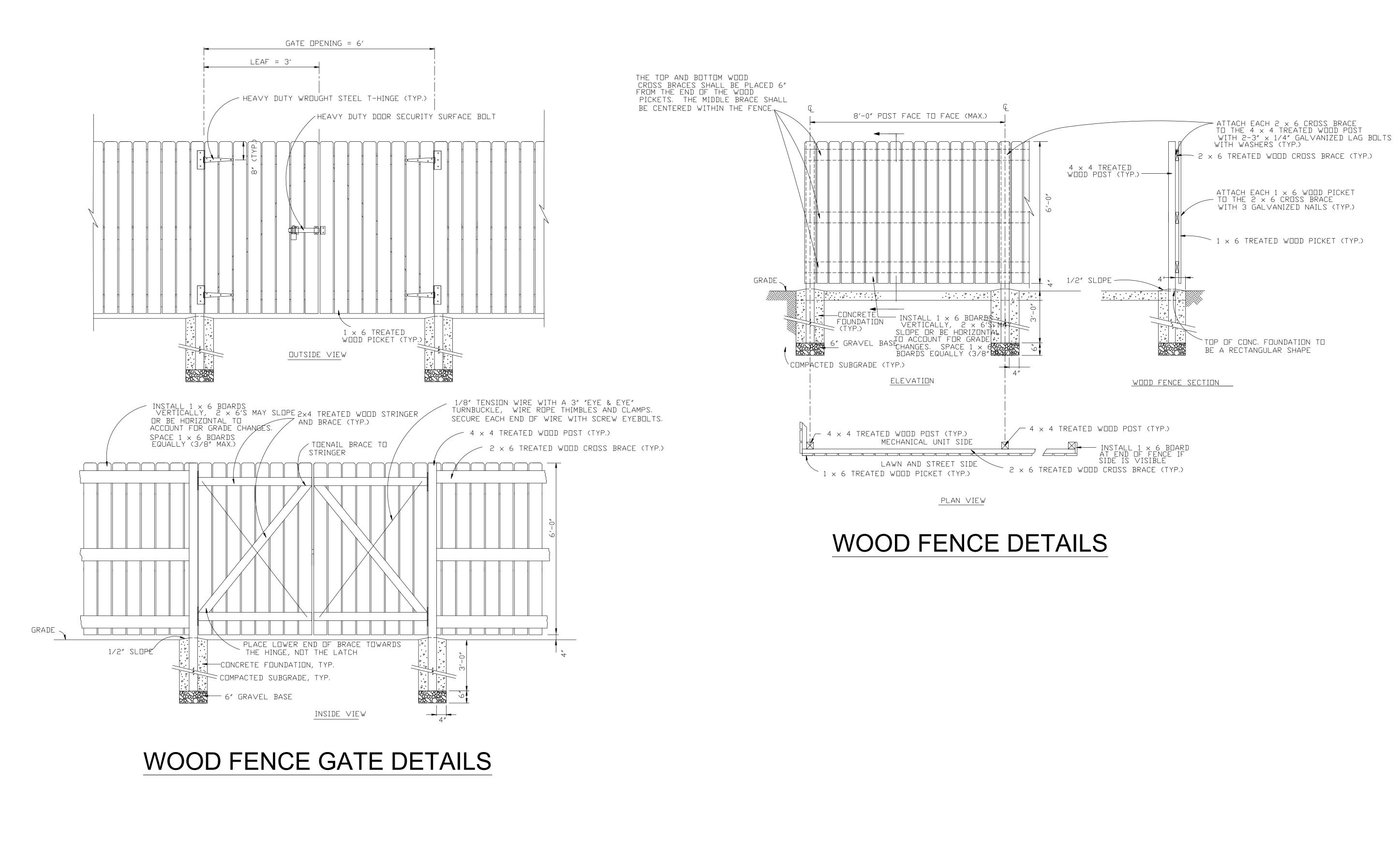
STAIR TOWERS DECORATION: DALTILE, Regent Grove 6 in. x 36 in. ash gray glazed porcelain tile



COLOR SAMPLES

K—2 design, Inc 17070 Collins Av Sunny Isles, Fl Phone: 786.60 Fax: 954.21 contact@vinciengine www.vinciengine	33160 7.3797 2.0164 eers.com
PROPOSED MULTIFAMILY BUILDING	1939 FUNSTON ST HIlywood, FL 33020
REVISIONS:	
SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVIS	
ALEKSEJ BEREZI P.E. #74083, COA #	
SCALE PROJECT NO. DRAWN BY: CHECKED BY: DATE C	AS SHOWN S.K. A.B. 08/21/2020
A-13	.0

Color Samples





K-2 design, Inc 17070 Collins Ave #255 Sunny Isles, Fl 33160 Phone: 786.607.3797 Fax: 954.212.0164 contact@vinciengineers.com www.vinciengineers.com

ST 3020

FL 3.

1939 FUNS Hllywood, F

BUILDING

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PROPOSED

REVISIONS:

SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROVAL BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED REVISION

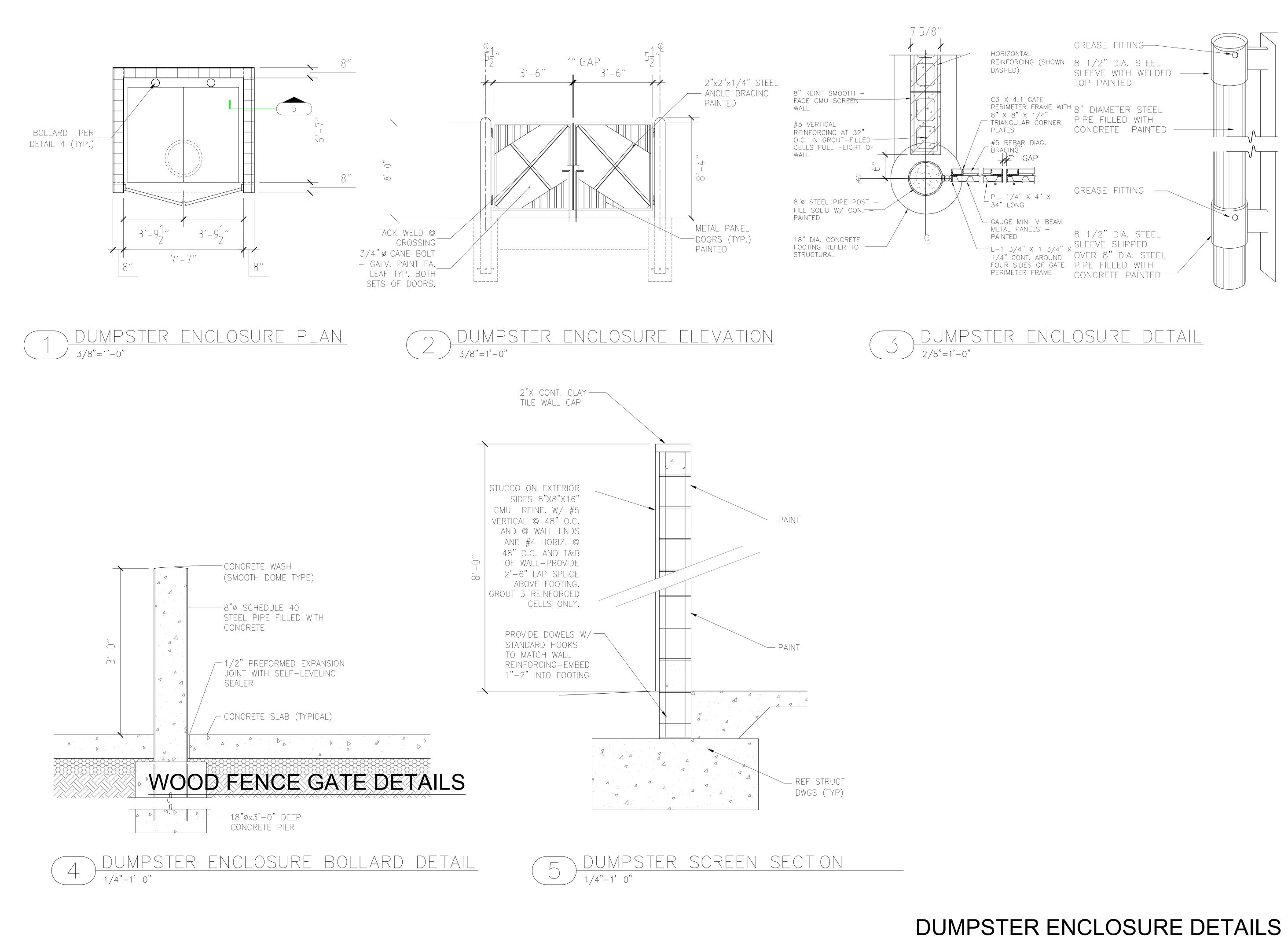
\square

ALEKSEJ BEREZNOJ P.E. #74083, COA #29841

1/2"/=1'-0" SCALE PROJECT NO. S.K. DRAWN BY: A.B. CHECKED BY: 08/21/2020 DATE

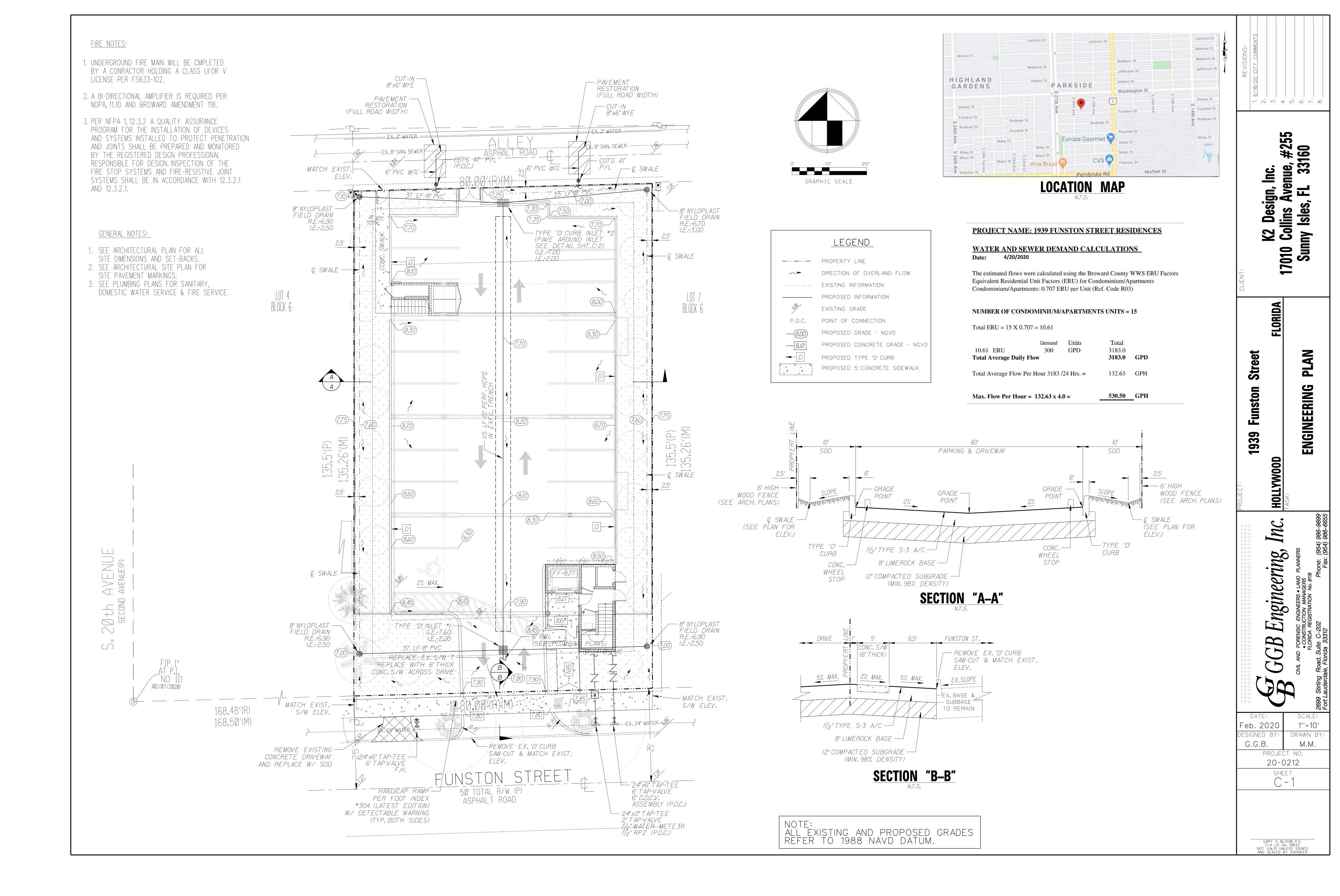


Details



Sunny Isles Phone: 76 Fax: 95 contact@vincie	is Ave #255 s, FI 33160 86.607.3797 54.212.0164
PROPOSED MULTIFAMILY BUILDING	1939 FUNSTON ST HIIywood, FL 33020
REVISIONS:	
SCHEMATIC DESIGN CLIENT APPROVAL LANDLORD APPROV BIDDING PERMIT SET FOR CONSTRUCTION OWNER REQUESTED	
ALEKSEJ P.E. #74083,	
SCALE PROJECT NO. DRAWN BY: CHECKED BY:	3/8"/=1'-0 S.K. A.B. 08/21/2020

Details



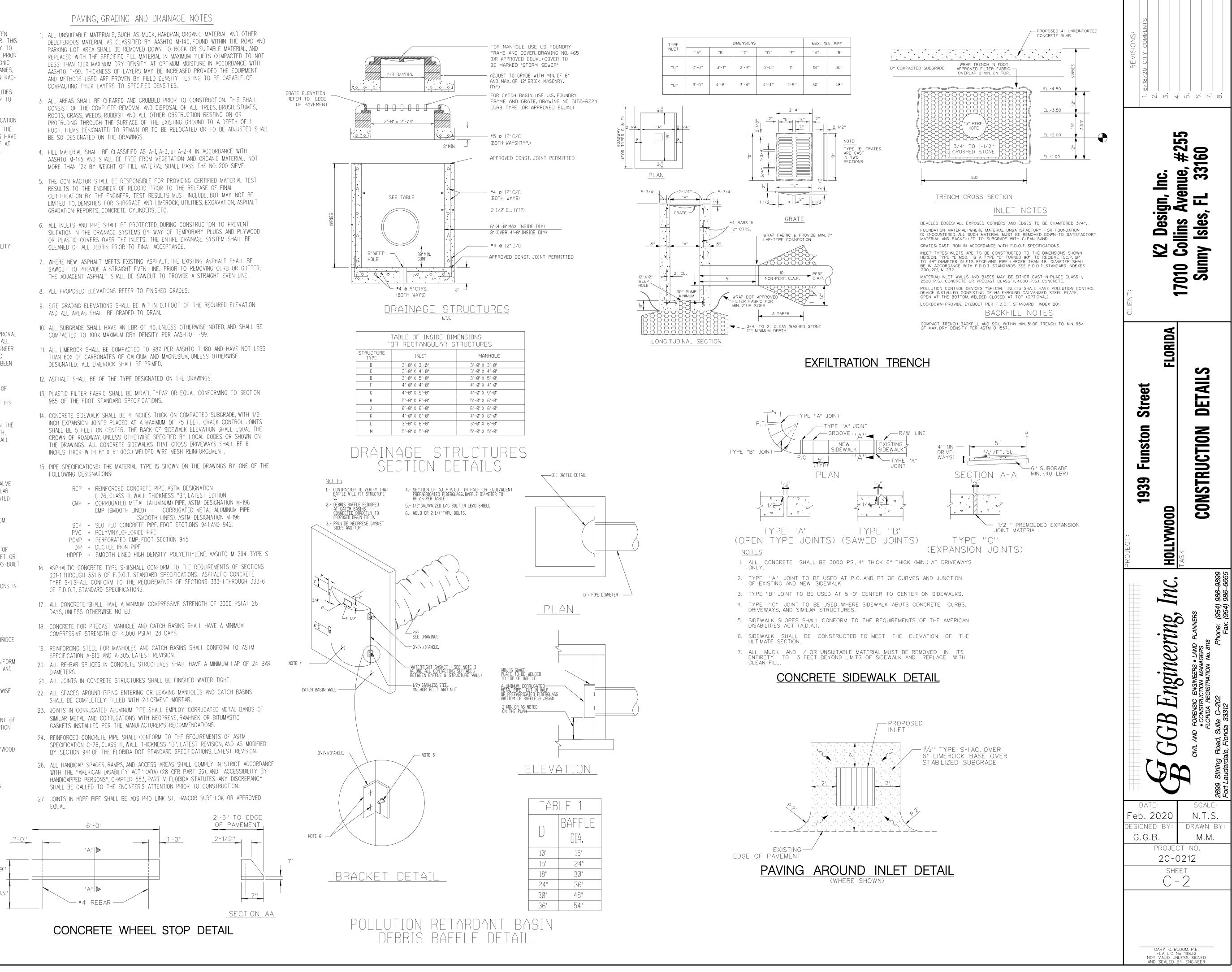
 L. Solling and Table an		general notes		
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 EXEMPTING PAYMENT, PRES, CONDUTS, CABLES, ETC., AND LANDSCAPED ARCAS DAMAGD AS A ESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS DAMAGD AS A ESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL COORDINATE THE WRONG UTLY. THE CONTRACTOR SHALL COORDINATE THE WRONG SUBCRACE, THE CONTRACTORS SIN THE AREA AND ANY OTHER UNDERGROUND CONDUT REQUIRED FOR FREIL, SELL SCITH, REPCATION SYSTEM TC: DEPRICI DEGENINGS SUBCRACE, THE CONTRACTOR SHALL COORDIVATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICAGLE UTILITY COMPANES. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY COSTINGS, INCLUONG VALVE DAXES, UNCTON DOXES, MANUELS, AND OUCS, PULL BAND SAMLAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUST MENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY COSTINGS, INCLUONG VALVE DAXES, UNCTON DOXES, MANUELS, AND OUCS, PULL BAND SAMLAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUST MENTS TO BE COORDINATED WITH THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY COSTINUES INCLUSES IN AREAS OF CONSTRUCTION. ALL ADJUST MENTS TO BE COORDINATED WITH THE CONTRACTOR SHALL DUTY COMPANY. THE CONTRACTOR SHALL ONTAR THRACTOR SHALL SUPPLY THE INGNEER OF RECORD WITH THE CORTINACES THE CONTRACTOR SHALL SUPPLY THE INGNEER OF RECORD WITH THE CORTINACES THE CONTRACTOR SHALL SUPPLY THE INGNEER OF RECORD WITH THE "RECONFRACTOR SHALL SUPPLY THE INGNEER OF RECORD WITH THE CONTRACTOR SHALL SUPPLY THE INGNEER OF RECORD WITH THE CONTRACTOR SHALL SUPPLY AND MATERIALS MEET OR EXCESS OF 5 FOOT DEPTHS. THERENTS CHILL BENES ATT HE REQUIREMENTS OF THE MANUAL ON UNHORM INCLESS AND TO TRAVERSOR ATION STANDARD SPECIFICATION STANDARD SPE		MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN		THAN 607 DESIGNAT
 THE CONTRACTOR SHALL CONFORME THE WITH ALL SOUTHALTS CONTRACTOR SHALL SOUTH, BELLS SOUTH, BELLS		EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS	13.	PLASTIC 985 OF ⁻
 ALL EADING OTHERS SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, UNCTON BOXES, MANDRIGS, MAND HOLES, PULL BOXES, INCLEDING VALVE BOXES, UNCTON BOXES, MANDRIGS, MAND HOLES, PULL BOXES, INCLEDING VALVE BOXES, UNCTON BOXES, MANDRIGS, MAND HOLE, MANDL BOXES, INCLEDING VALVE BOXES, UNCTONE BOXES, MANDRIGS, MAND HOLE, MAND HOLES, PULL BOXES, INCLEDING VALVE BOXES, UNCTONE BOXES, MANDRIGS, MAND HOLE, MAND HOLES, PULL BOXES, INCLEDING VALVE BOXES, UNCTONE BOXES, MANDRIGS, MAND HOLE, MAND HOLES, PULL BOXES, INCLEDING VALVE BOXES, UNCTARCTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK. I. THE CONTRACTOR SHALL OFTEN TO COMMENCING WORK. I. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCEEDS THE DESION AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT ORAWINGS. I. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORDA DEPARTMENT OF TRANSFORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIUM THICKNESS 90 MLS (ALKYD ONLY). I. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNFORM TRAFFIC CONTROL DEVISED FOR STREETS AND HIGHWAYS, AND FDOT ROADWAY AND TRAFFIC CONSISTING DEVISED FOR STREETS AND HIGHWAYS, AND FDOT ROADWAY AND TRAFFIC CONSISTANDARDS. I. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-STE PAVEMENT TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION. I. THERMOPLASTIC SHALL BE IN ACCORDANCE WITH THE FLORDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD WID BRIDGE CONSTRUCTION LATEST EDITION. I. THERE BLUE REFLECTORS SHALL BE IN ACCORDANCE WITH THE FLORDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD WID BRIDGE CONSTRUCTION LATEST EDITION. I. THERE BLUE REFLECTORS SHALL BE IN ACCORDANCE WITH THE FLORDA DEPAR		AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY		SHALL BE CROWN O THE DRAV
BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMLAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY. 10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK. F 11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS. F 12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS. 17. ALL CON DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY). 18. CONCRET COMPRESS 2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNFORM TRAFFIC DESIGN STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY). 19. REINFORC SPECIFIC/ 20. ALL RE-E DIMALTER APPROVED BY CITY OF HOLLYWOOD, ALL ON-SITE PAVEMENT MARKINGS SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD, ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT. 21. ALL SPAC SHALL BE 23. JOINTS IN 3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD, ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT. 23. JOINTS IN 3. JUNCTION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDTION. 24. REINFORC SPECIFIC/ 3. ALL REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART. WITH TH HANDICAF SHALL BIL			15.	
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		= PAVEMENT 1'-0''	-	-
		ROCK BASE 9"		
ROCK BASE 9" SUBGRADE 9"		TYPE "D" CURB		
ROCK BASE 8" 8" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0"		NOTE: PLACES WHERE TYPE 'D' CURB ARE UTILIZED IN LIEU OF WHEELSTOPS THE STANDARD VERTICAL HEIGHT OF 6''		CO

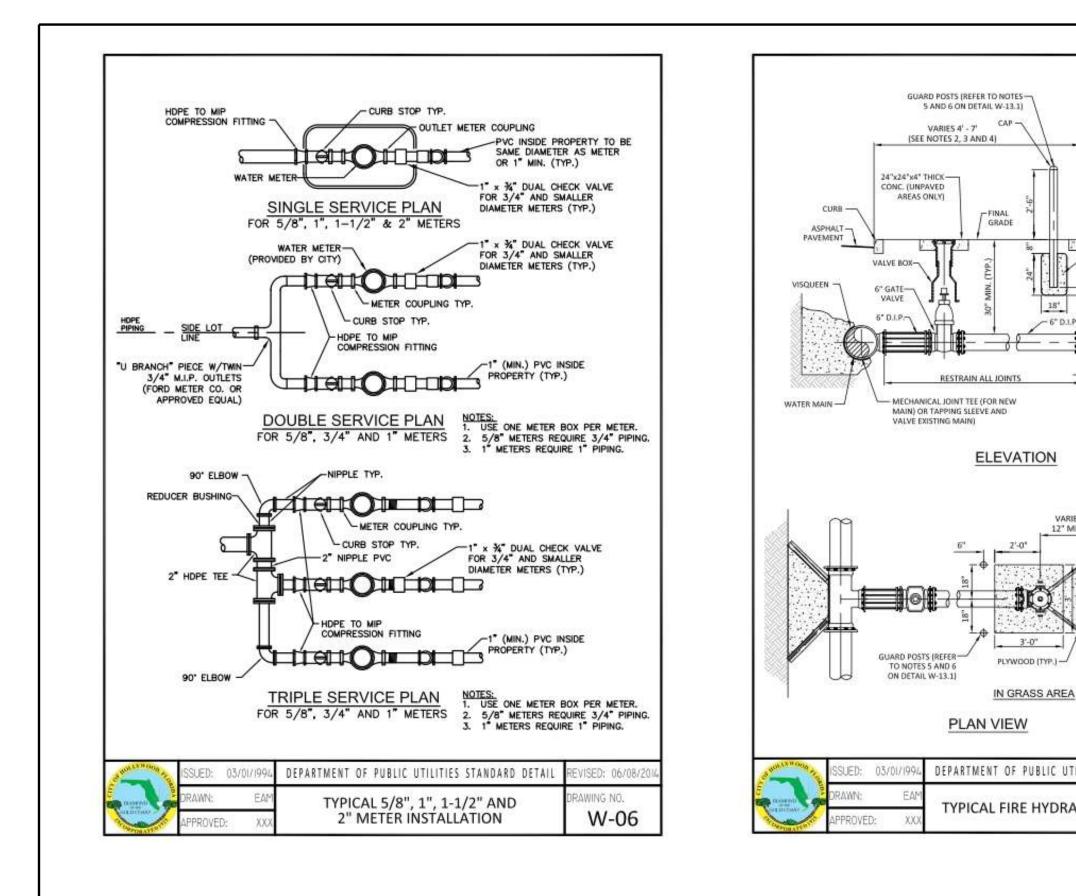
- ING THICK LAYERS TO SPECIFIED DENSITIES.
- FSIGNATED ON THE DRAWINGS.
- ON REPORTS, CONCRETE CYLINDERS, ETC.
- OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.

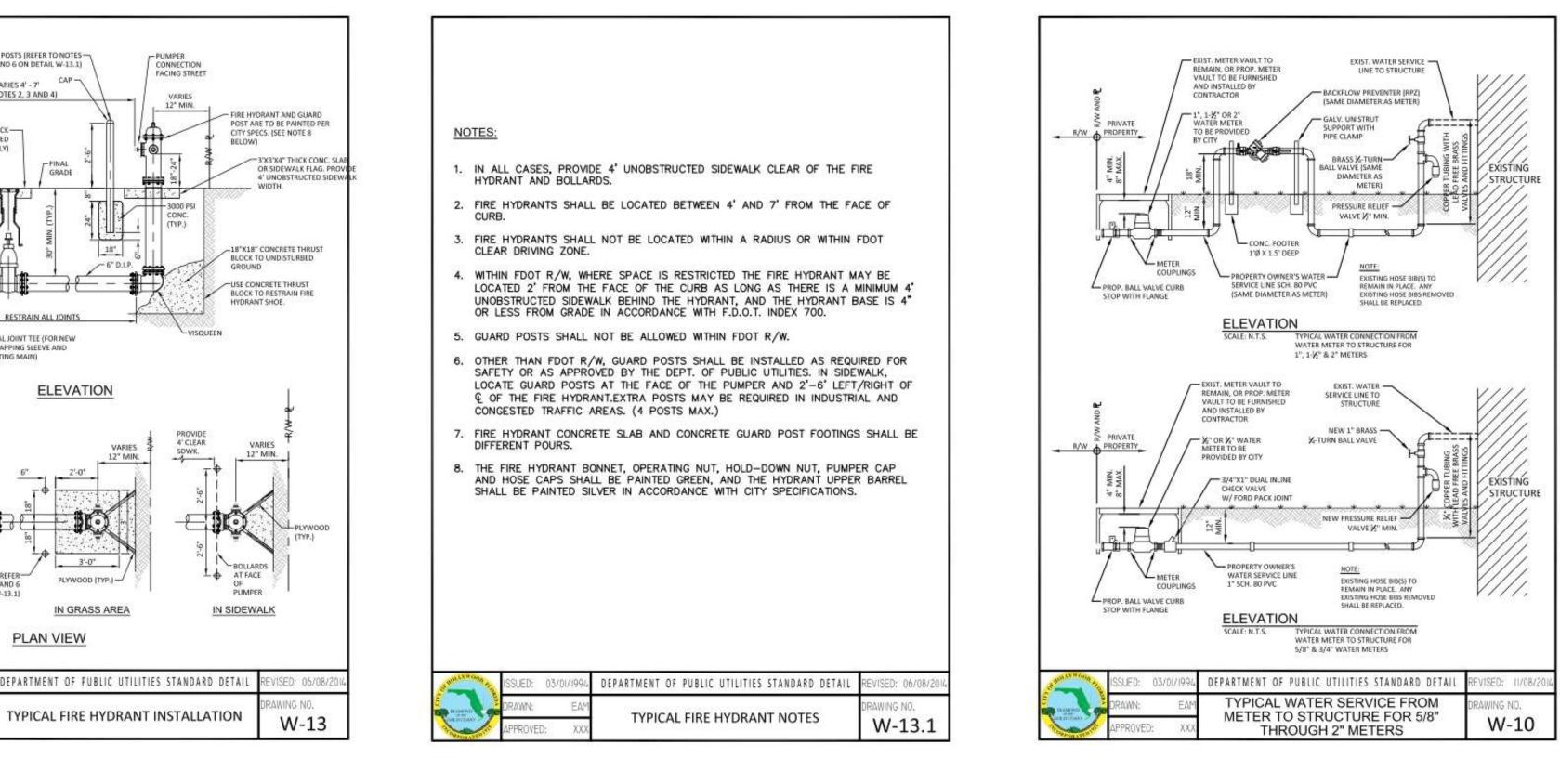
- AREAS SHALL BE GRADED TO DRAIN.
- ED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.

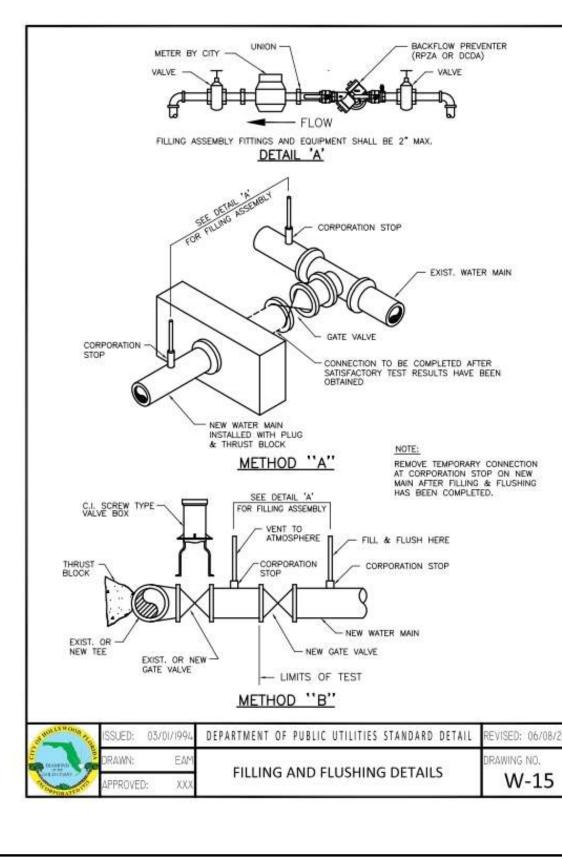
- THE FDOT STANDARD SPECIFICATIONS.
- THICK WITH 6" X 6" (IOG.) WELDED WIRE MESH REINFORCEMENT.
- - RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION
-).T. STANDARD SPECIFICATIONS.
- SSIVE STRENGTH OF 4,000 PSLAT 28 DAYS.
- CATION A-615 AND A-305, LATEST REVISION.

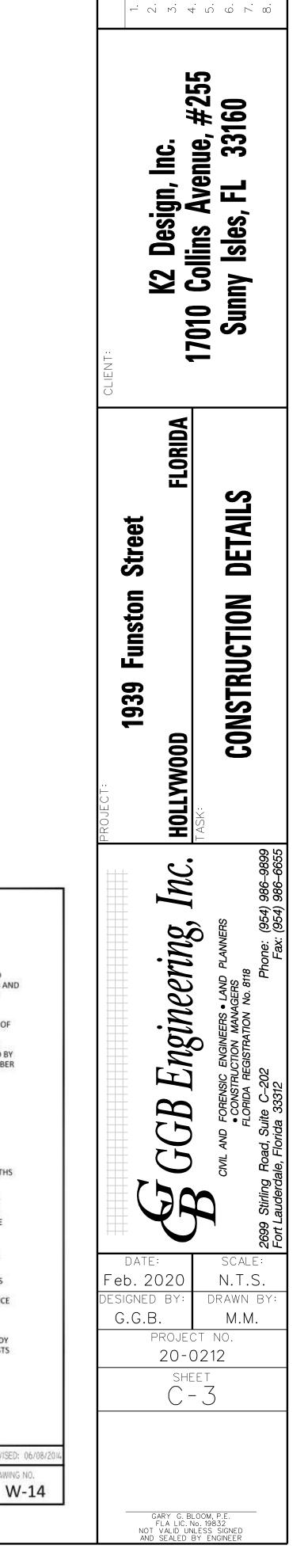
- E COMPLETELY FILLED WITH 2:1 CEMENT MORTAR.
- S INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

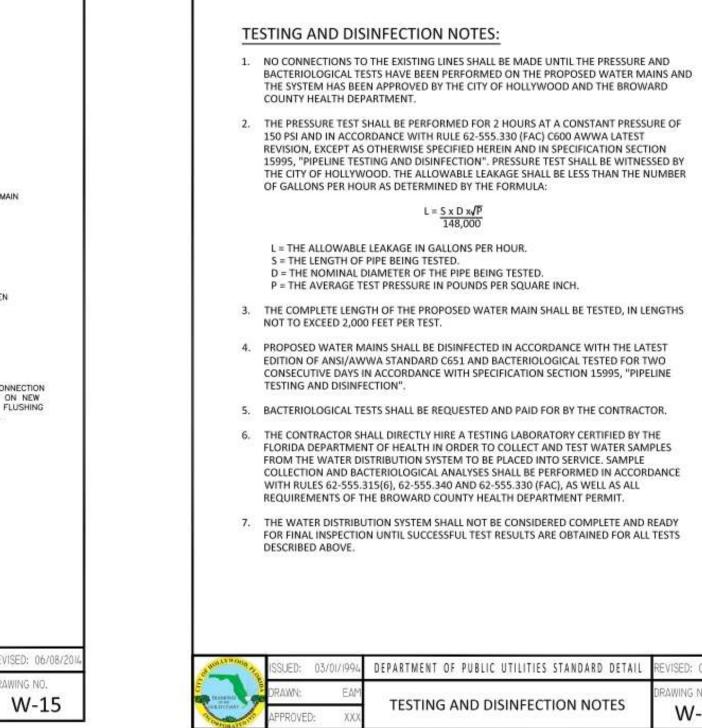












WATER SYSTEM:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE LOCAL MUNICIPALITY AND APPLICABLE DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS, NO PHYSICAL CONNECTION OF NEW WATER MAINS TO ACTIVATE WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY AND THE HEALTH DEPARTMENT RELEASE HAS OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO ACTIVE MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE.

ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE COMPRESSION TYPE BELL AND SPIGOT JOINTS.

THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C651/05 AND TESTED FOR A PERIOD OF 2 HOURS AT NOT LESS THAN 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:

 $L = S D P^{0.5} / 148,000$ WHERE: = ALLOWABLE LEAKAGE IN GALLONS / HOUR S = PIPE LENGTH IN FEET

D = NOMINAL DIAMETER OF PIPE IN INCHES P = AVERAGE TEST PRESSURE IN PSI

TEST PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE TEST.THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 2000 FEET WHEN THE LENGTH OF PIPE TESTED EXCEEDS 2000 FEET THRUST BLOCKS AS SHOWN ON THE DETAIL SHEETS SHALL BE PROVIDE AT ALL BENDS UNLESS NOTED OTHERWISE ON PLANS. IF RESTRAINT JOIN PIPE ISSPECIFIED ON THE PLANS, IT SHALL BE INSTALLED THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT.NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT FOR FIRE HYDRANTS.

BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C651-05 LATEST REVISION.

PVC WATER MAIN PIPE (BLUE) SHALL MEET THE REQUIREMENTS OF AWWA C-900.97 "POLYVINYL CHLORIDE (PVC) PRESSURE PIPE", CLASS 150 PIPE SHALL CONFORM TO REQUIREMENT OF SDR 18.

ALL PVC PIPE SHALL BE SUITABLE FOR USE AS A PRESSURE CONDUIT.PROVISIONS MUST BE MADE FOR EXPANSION AND CONTRACTION AT EACH JOINT WITH AN ELASTOMERIC RING. THE BELL SHALL CONSIST OF AN INTEGRAL WALL SECTION WITH AN ELASTOMERIC RING WHICH MEETS THE REQUIREMENTS OF ASTM F-477 STANDARD SPECIFICATIONS FOR ELASTOMERIC SEALS (GASKETS FOR JOINTING PLASTIC PIPE). THE WALL THICKNESS IN THE BELL SECTION SHALL CONFORM TO THE REQUIREMENTSOF ASTM D-3139.

PVC PIPE SHALL BE DELIVERED TO THE JOB SITE FROM THE FACTORY AND STORED AT THE JOB SITE IN PALLETIZED UNITS OR BUNDLES TO PREVENT UNNECESSARY DEFLECTION PRIOR TO INSTALLATION, EACH PALLETIZED UNIT SHALL BE SIZED TO LIMIT THE STACKING OF PIPE NOT MORE THAN SIXTY (60) INCHES HIGH OR AS APPROVED BY THE ENGINEER.

CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND TIE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE DAMAGED DURING SHIPPING WILL BE REJECTED.

PVC MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER.

FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-

PVC AND D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF(1/2) THE MANUFACTURERS RECOMMENDATION.

JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET (EITHER ON SPIGOT OR IN BELL)COMPRESSION TYPE AS SPECIFIED IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00. SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION.

ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE ALONG ALL WATER MAINS. DETECTOR TAPE SHALL HAVE BLUE SIDE-UP, A 14 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO NON-CONDUCTIVE WATER MAIN TO FACILITATE FUTURE LOCATION, AN EXTRA 4' OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC.

POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANSI/AWWA C105/A21.5-05 STANDARDS.

DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR ASPHALT.

DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED A MINIMUM DISTANCE AS SPECIFIED IN RESTRAINEND DETAIL ON APPLICABLE DETAIL SHEET, USING MEGA-LUG OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE.

WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (IF STUB LENGHTS IS LEES THAN TWO PIPE LENGTH)LENGHTS WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.)

DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA / ANSI STANDARD C151/A21.51-O2. WATER MAINS SHALL BE LAID WITH A MINIMUM 30 CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 1 AND CLASS 250 IN SIZES 16" AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-03 AND C153/A21.53-00. NEOPRENE GASKETS SHALL BE USED.

ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAILS.

CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES.

ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL ARE THE PROPERTY OF THE UTILITY, MATERIALS SHALL BE REMOVED FROM THE GROUND AS CAREFULLY AS POSSIBLE AND SALVAGED FOR UTILITY.SHOULD UTILITY REFUSE SAID WATER COMPONENTS, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL.

CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER BUILDING CONNECTIONS.

DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR, AND COMPUTER DISK TO THE ENGINEER OF RECORD PRIOR TO FINAL CERTIFICATION TO THE UTILITY, AS-BUILTS SHALL BE SIGNED AND SEALED BY A REGISTERED FLORIDA SURVEYOR.

MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS.

LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6' OF ALL WATER MAINS AND SERVICES OR WITHIN A 5' RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER.

WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS.

ALL WATER SERVICES SHALL TERMINATE A MINIMUM OR 5' FROM BUILDING.

UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY TH LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST REVISION.

ALL WATER MAIN INSTALLATION SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 FAC.

WATER SERVICE LINES:

WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS FOR PE, AWWA C902-02 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-OD) SDR 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT UNIONS.

JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES. SERVICE LINES SHALL BE MARKED WITH 2" X 4" POST PAINTED BLUE.

ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION. MINIMUM COVER SHALL BE 24".

ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS. FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE. GATE VALVES:

GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C509-01. MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C111/A21.11-00

ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE), THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-90 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILLS DFT.)

GATE VALVES 4" TO 12" SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED MUELLER, CLOW RESILIENT WEDGE, M & H, OR APPROVED EQUAL, WITH RESTRAINT JOINTS.

GATE VALVES UNDER 4" IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPEN LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL, PEWTER AND POT METAL OPERATING WHEELS SHALL NOT BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS. VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN

5-1/4" DIAMETER SHAFT AND WITH COVERS MARKED "WATER", PAINTED BLUE, USF 7500 OR APPROVED EQUAL, GATE VALVES 18" AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY

VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED EQUAL.

BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY; ALLOY CAST IRON OR DUCTILE IRON DISK; BODY MOUNTED ADJUSTABLE SEAT; ONE-PIECE STAINLESS STEEL SHAFT; SHORT OR LONG BODY TYPE; WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES.

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES FOR BURIED OR SUBMERGED SERVICE. POSITION INDICATORS WILL BE FURNISHED AS REQUIRED, UNITS ARE TO BE EQUIPPED WITH ACTUATING NUTS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

WATER SERVICE FITTINGS:

METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS MODEL #KV43-342W FOR SINGLE SERVICES AND FORD MODEL #UV63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL.

CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A.

METER VALVES AND CORPORATION STOPS (FORD BALL CORP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM PECIFICATION B62-82A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-05. OUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME AS VALVES.

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.) SUPPLIED AND INSTALLED BY UTILITY.

FIRE HYDRANTS:

ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-05 AND THE FOLLOWING DESIGN STANDARDS:

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH THE LINE PRESSURE WITH (1)-5 1/4" VALVE OPENING, THE HYDRANT SHALL BE EQUIPPED WITH (2)-2 $\gamma_2^{\prime\prime}$ hose nozzles and (1)-5 $^{1}\gamma_4^{\prime\prime}$ pumper nozzle.

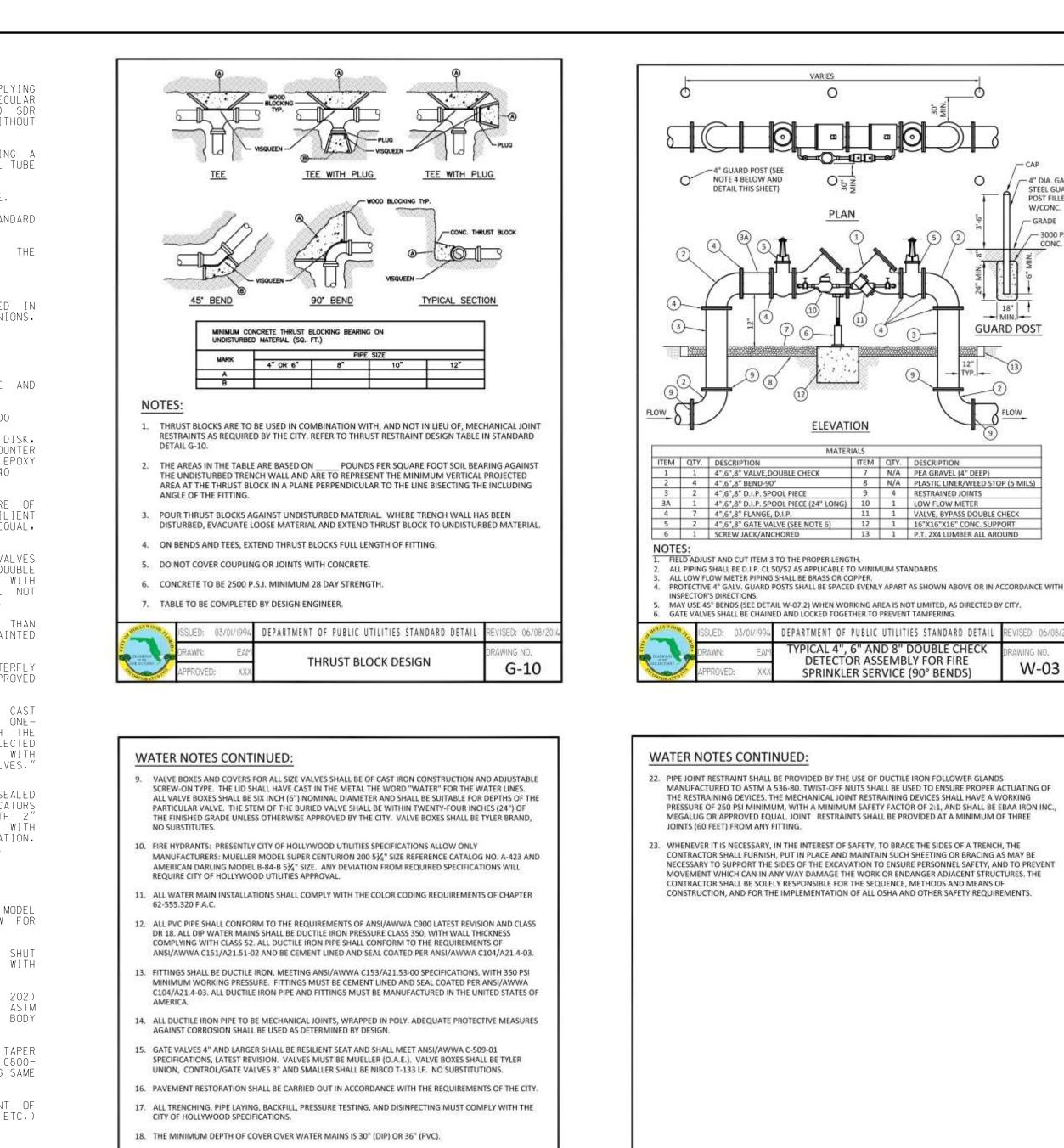
FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT OPERATED. THE HYDRANT WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SHORT DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST TIE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL.

FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL.

THE FIRE HYDRANT INTERNAL VALVE SHALL BE 51/4" MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1^{1} /2" POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OF OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH, MEASURED FROM THE BOTTOM OF THE CONNECTING PIPE TO THE GROUND LINE AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN.

THE HYDRANT SHALL BE EQUIPPED WITH A 6" MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. FIRE HYDRANTS SHALL BE MUELLER PAINTED TRAFFIC RED OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY.

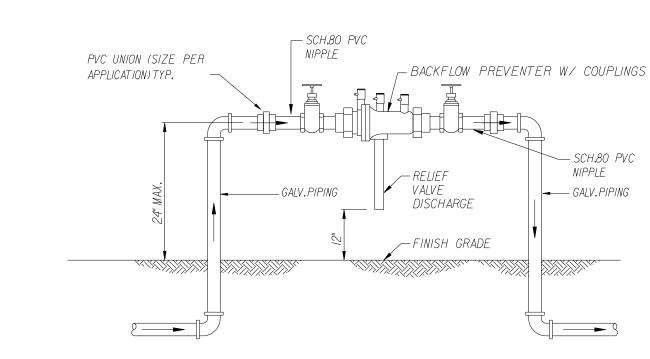
REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS.

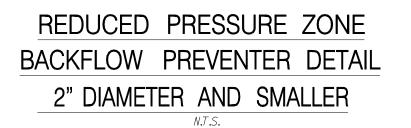


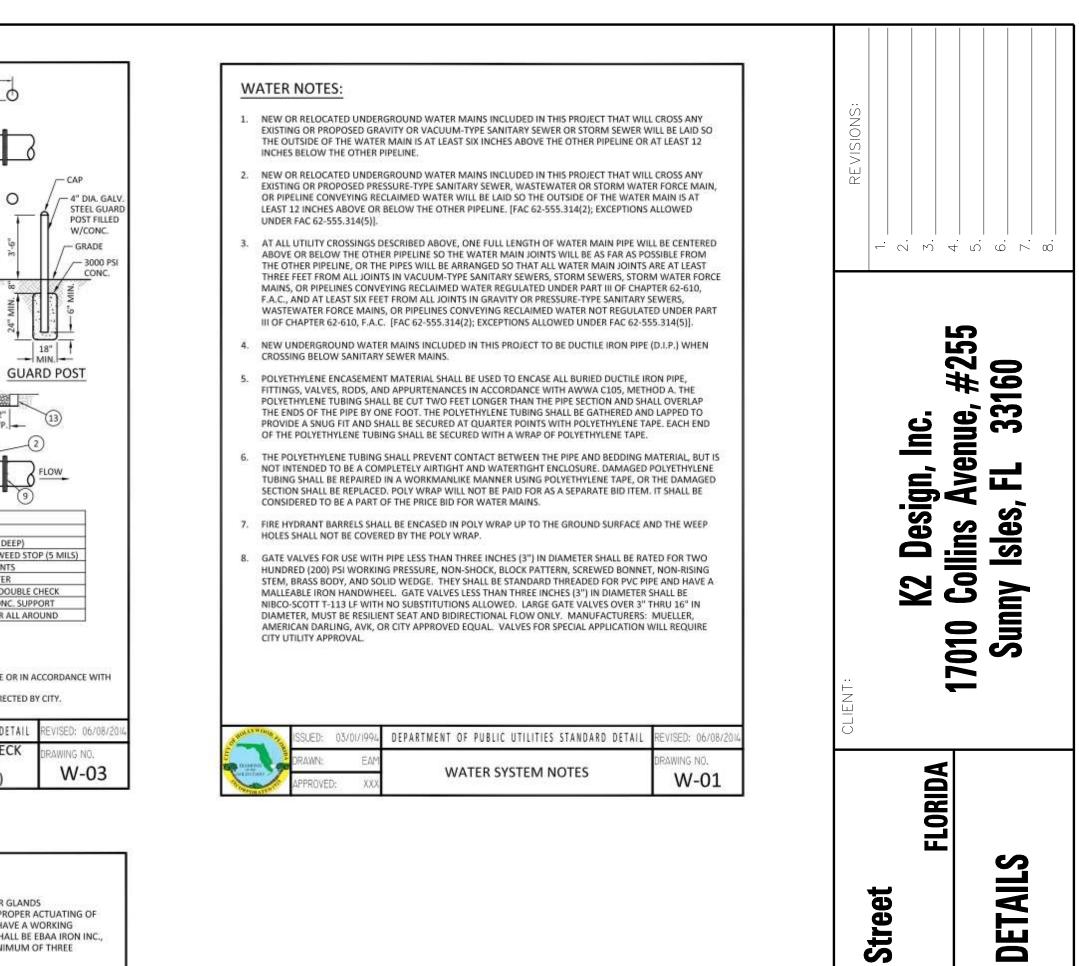
- 19. MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2', AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
 - 20. TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.). TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL-SIZE CUTTER.
 - 21 CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

Con BOALEN CAUGO AT	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
Caleron C	DRAWN:	EAM	WATER NOTES	DRAWING NO.
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EVISED: 06/08/ WING NO W-02

> GARY G. BLOOM, P.E FLA LIC. No. 19832 NOT VALID UNLESS SIGNE

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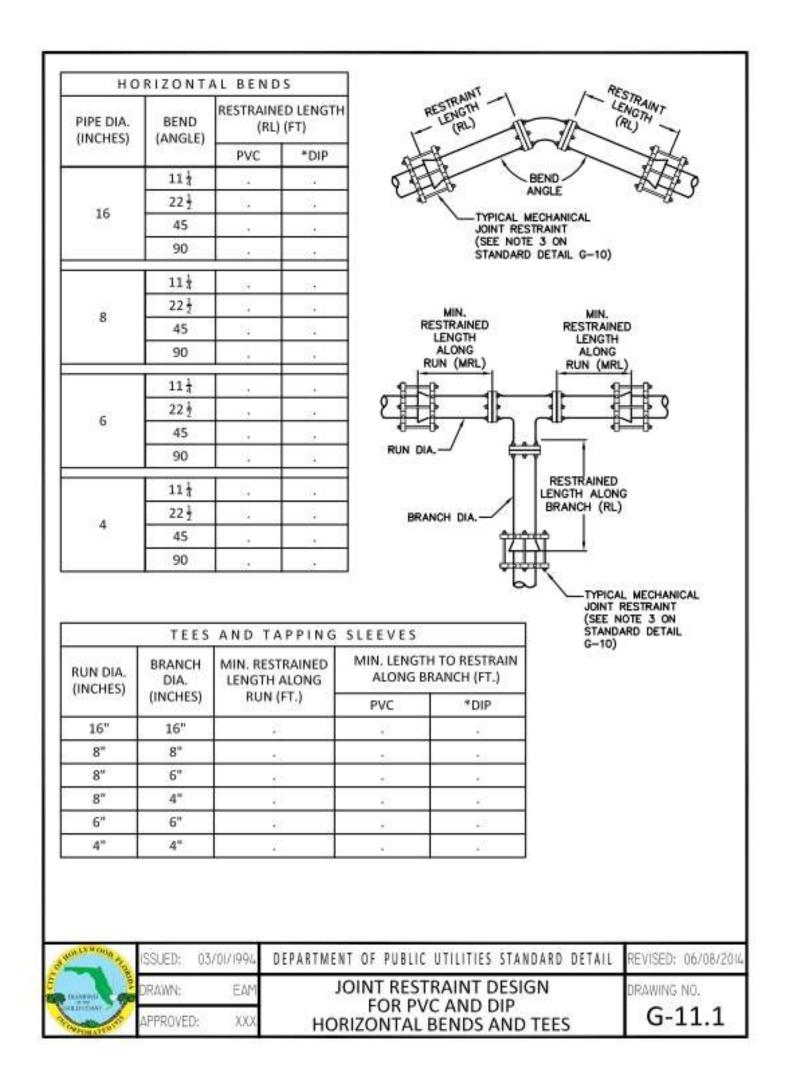
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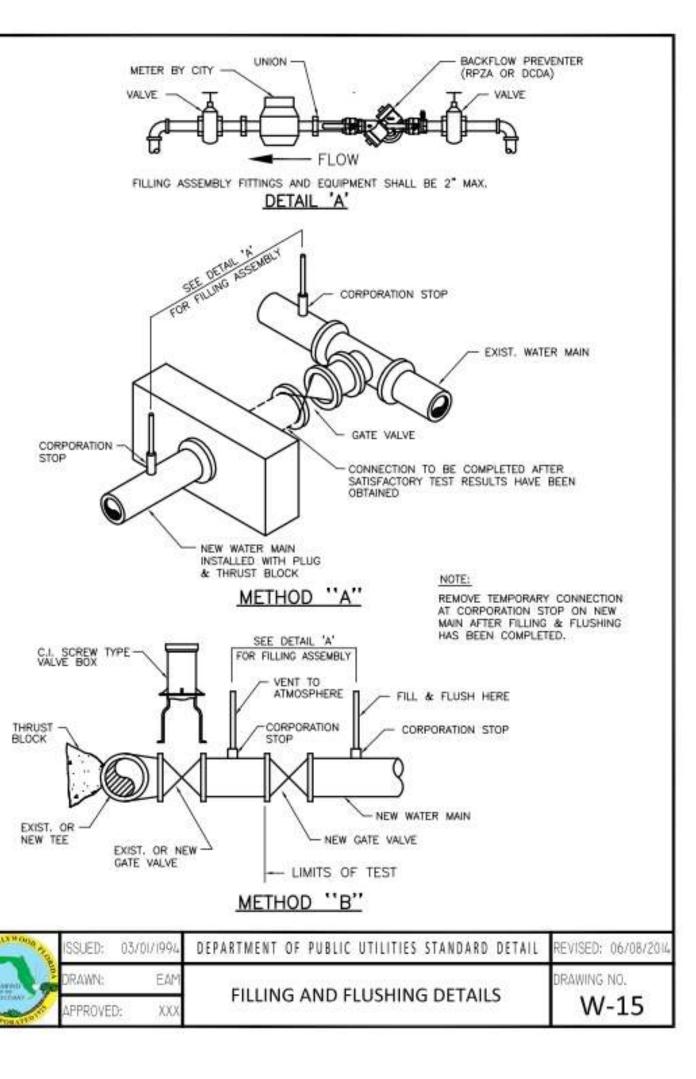
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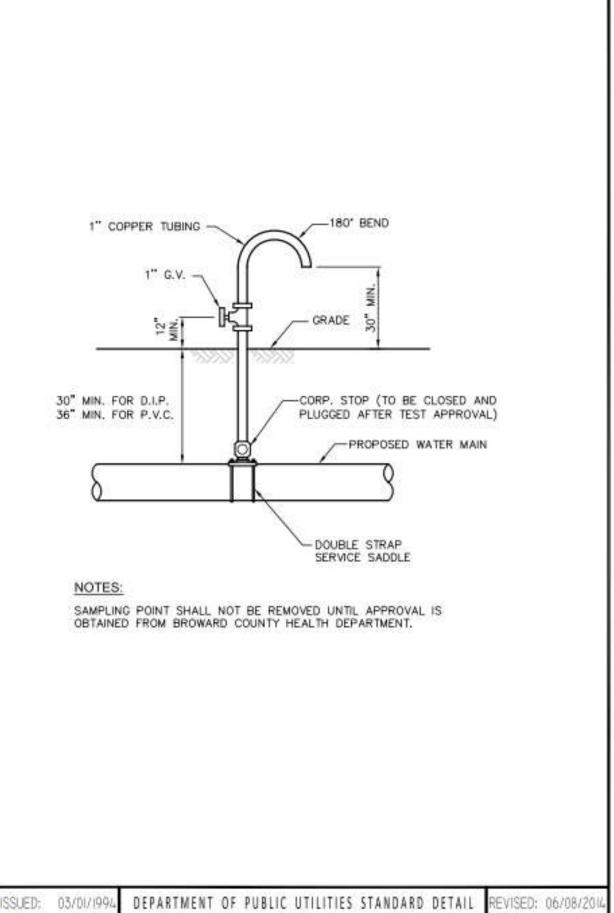
JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)	Afternate 3 ft minimum	Alternate 6 ft minimum		IER PIPE, THE MINIMUM EAST 6 INCHES ABOVE THE SE APPROVED. OF SEWER AND WATER MAIN E WATER MAIN MUST BE LAID E SEWER OR FORCE MAIN AT THE TOP OF THE SEWER.	INSTALLATIONS, THE WATER CONSTRUCTED OF DIP WITH A HE SEWER. JOINTS ON THE R FORCE MAIN (STAGGERED RESTRAINED.	
CROSSING (1), (4)	O C WATER MAIN 3 12 inches is the minimum except for storm sever, then 6 inches is the minimum and 12 inched is preferred	Image: Construction of the minimum except for gravity sewer, then for gravity sewer, then for the minimum and find here is the minimum and the minima and the minimum and the minimum and the minimum and the		WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED. 10" A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHELF LOCATED ON ONE SIDE OF THE SEWER AND MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER. IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER.	WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).	
HORIZONTAL SEPARATION		20 ft prefered 5 ft minimum	10 ft minimum	WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MU SEPARATION IS 12 INCHES. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 52-610, F.A.C. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER TOP OF THE GRAVITY SANITARY SEWER. 18° VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BET IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAI IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED O SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST	D MAINTAIN A VERTICAL DISTAU D OF DIP AND THE SANITARY SE CE OF 6 INCHES. THE WATER MU TED AS FAR APART AS POSSIBLE TAIN WITHIN 20 FEET OF THE CF	
OTHER PIPE	STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	 WATER MAIN SHOULD CROSS ABOVE OTHER PIPE./ SEPARATION IS 12 INCHES. RECLAIMED WATER REGULATED UNDER PART III OF 3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE B TOP OF THE GRAVITY SANITARY SEWER. 18" VERTICAL MINIMUM SEPARATION REQUIRED B A II8" VERTICAL MINIMUM SEPARATION REQUIRED B A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHI IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE IN A SEPARATE TRENCH OR ON AN UNDISTURBED E SUCH AM ELEVATION THAT THE BOTTOM OF THE W 	 WHERE IT IS NOT POSSIBLE TO MAIN MAIN SHALL BE CONSTRUCTED OF DI MINIMUM VERTICAL DISTANCE OF 6 WATER MAIN SHALL BE LOCATED AS JOINTS). ALL JOINTS ON THE WATER MAIN WI 	







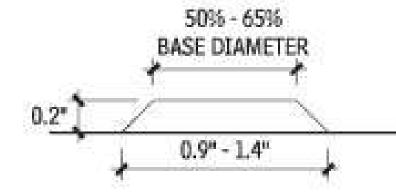




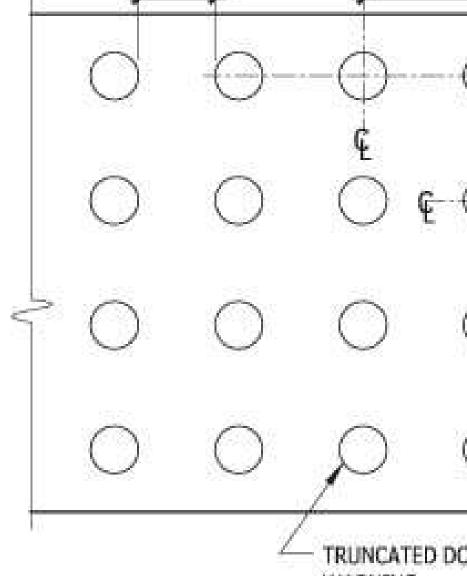
MENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014	
SAMPLING POINT DETAIL	DRAWING NO. W-16	ELEVATION
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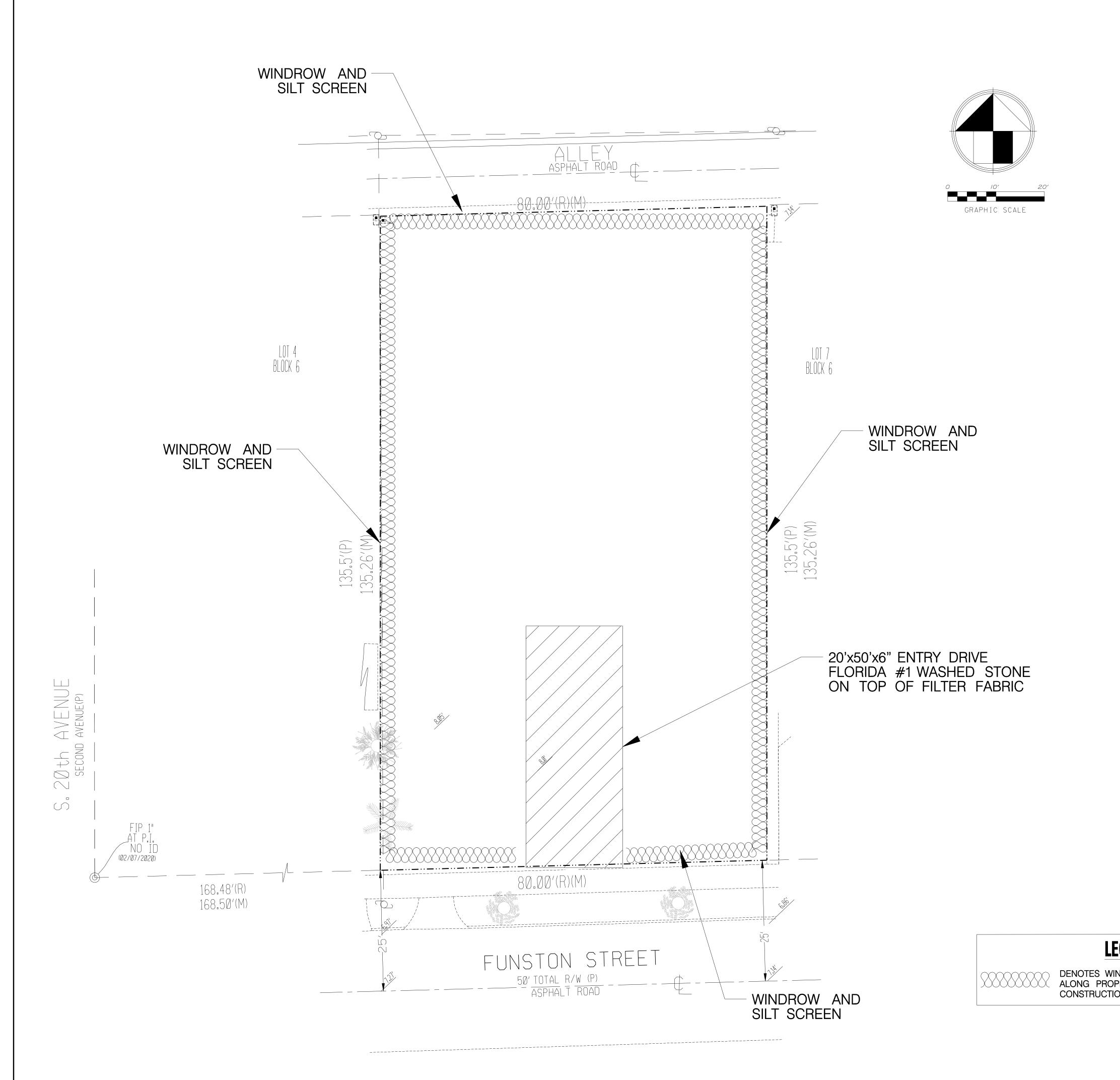
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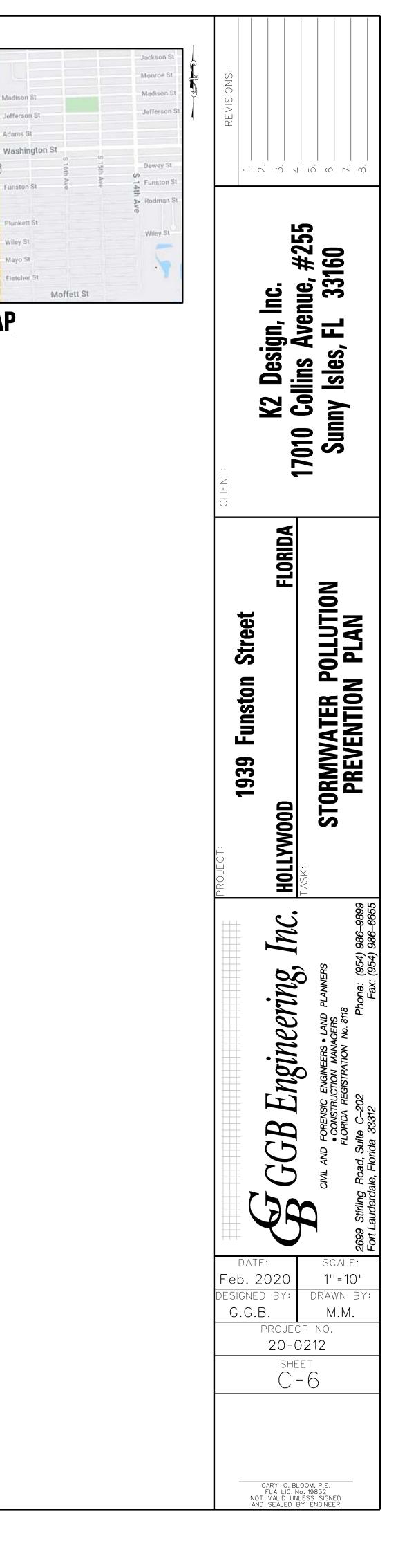


PLAN



TESTING AND DISINFECTION NOTES: Not connections to the existing lines shall be made until the pressure and based court reacting the proposed watter mains and the system has been approved by the Cit of hollywood and the broward court reacting the pressure and based court reacting the pressure and the system has been approved by the Cit of hollywood and the broward court reacting the pressure and the system has been approved by the Cit of hollywood and the broward court reacting the pressure and the system has been approved by the Cit of hollywood and the broward court reacting the pressure and the system has been approved by the Cit of hollywood and the broward court reacting the pressure of iso Psi and in accordance with fuel 62-55-330 (FaG Good awwa Latest review). System has been approved by the Cit of Acg Good awwa Latest review of the fuel work as contensives service by the Cit of hollywood the factore by the System test iso preservice of solutions the hourd as the fuel to the the preservice by the Cit of hollywood the factore by the Cit of hollywood the factore by the Cit of hollywood and the system control section section is and the preservice iso and the preservice by the Cit of hollywood and the preservice iso and t	CLENT: CLENT:
THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE. SSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PRAWN: EAM APPROVED: XXX TESTING AND DISINFECTION NOTES DRAWING NO. W-14 0.65" MIN. 1.6" - 2.4"	PROJECT: 1939 Funston Street 1939 Junston Street 1930 Insten Insten Task: CONSTRUCTION DETAILS
	BEBREARING IN BARNERS - LAND PLANNERS CON AND FORENSIC ENGINEERS - LAND PLANNERS CONSTRUCTION MANAGERS FOR DAG SUITE C-202 FOR LIBERTATION NO. BHD
50% - 65% BASE DIAMETER 0.2" 0.9" - 1.4" TION ATED DOME SIZE AND SPACING	DATE: SCALE: Feb. 2020 1''=10' DESIGNED BY: DRAWN BY: G.G.B. M.M. PROJECT NO. 20-0212 SHEET C-5 C-5





DENOTES WINDROW AND SILT SCREEN ALONG PROPERTY LINE DURING CONSTRUCTION OF GRADING AND DRAINAGE

Jackson St

Madison St

Rodman Si

Plunkett St

Mayo St

Adams St

Wiley St

Mayo St

🥈 Viva Brazil 🕡

PARKSIDE

Mooroe St

HIGHLAND GARDENS

Dewey St

Funston St

Rodman St

S Wiley St 26th

Jackson St.

Europa Gourmet 🕞

LOCATION MAP

CVS 🕒

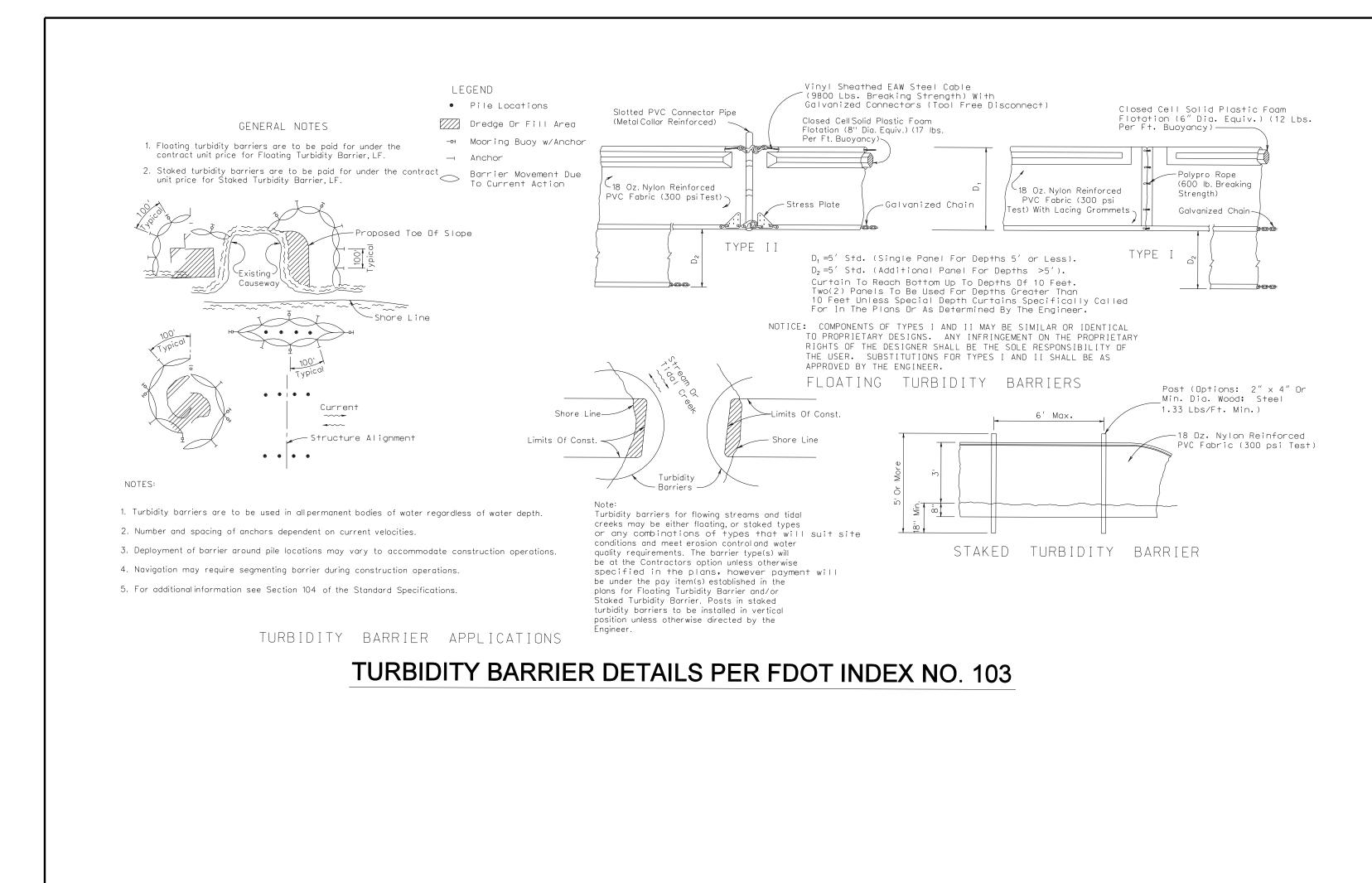
Madison

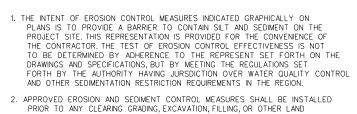
Adams St

Mayo St

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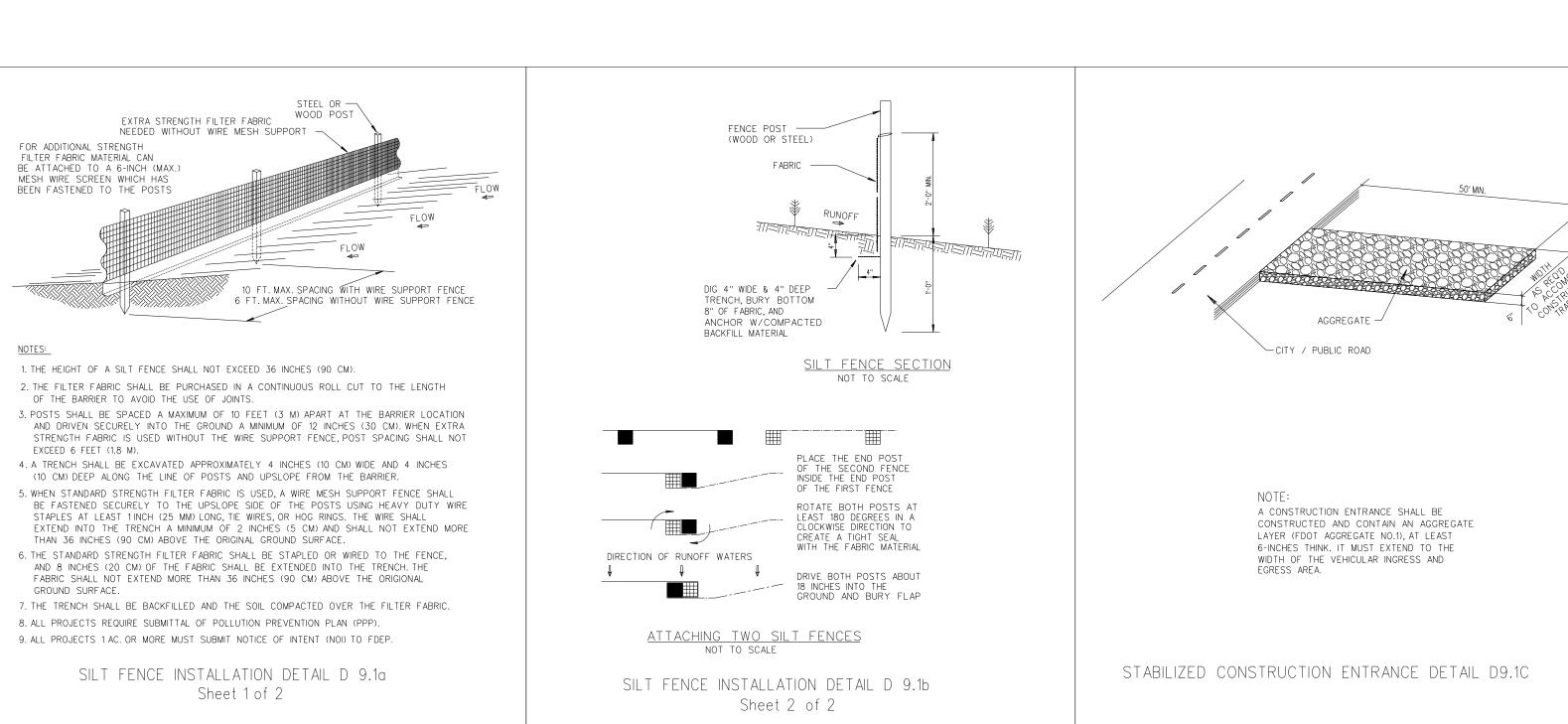
LEGEND

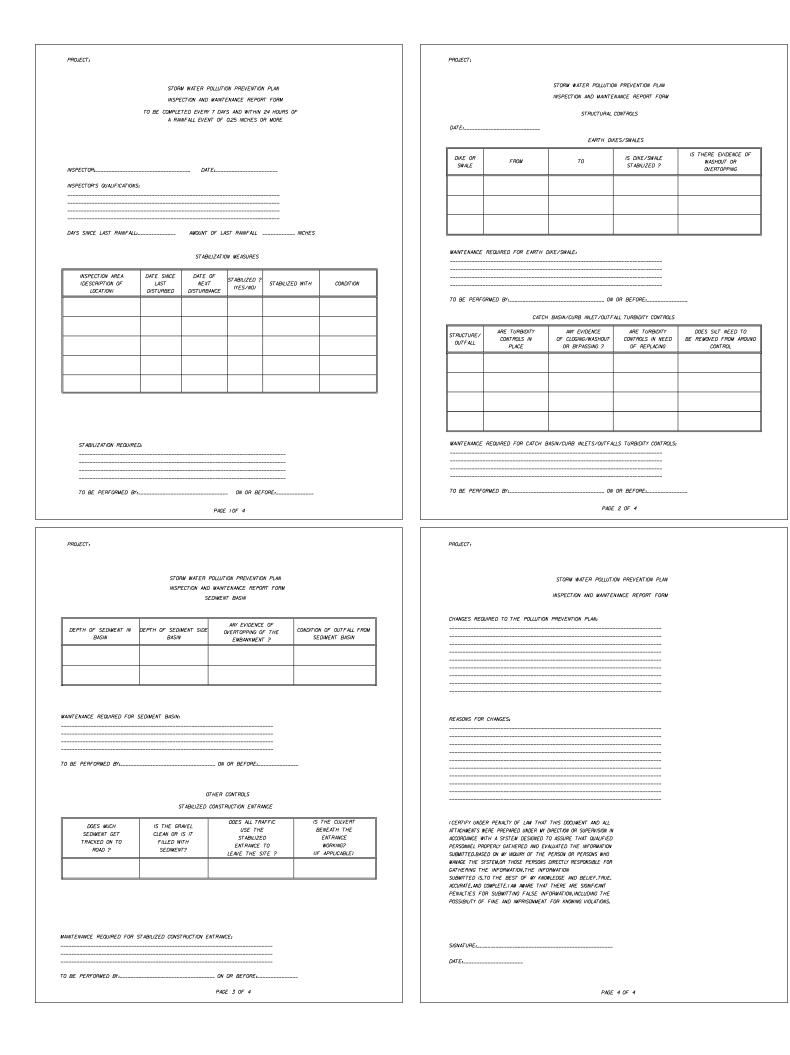




- PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES. 3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTY, AS NEEDED.
- 4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE
- MEANS. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- 8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. 10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- 11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- 12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

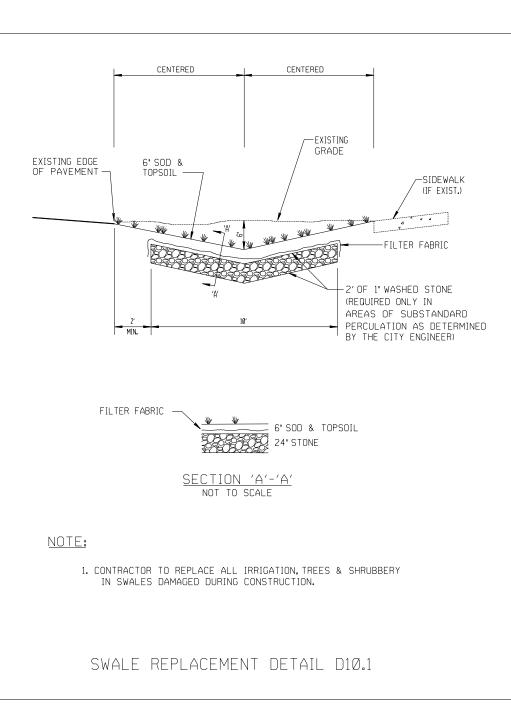
EROSION CONTROL NOTES DETAIL D9.1

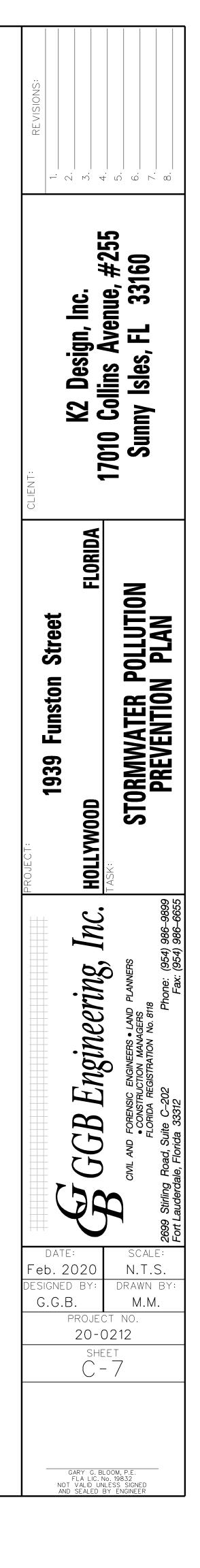




NOTE TO CONTRACTOR:

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION YSTEM (NPDES),STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER LACRES.TH CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES.IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.





SITE DESCRIPTION	GENERAL
	THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR' REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSI AND TURBIDITY CONTROL PLAN.IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERM CONDITIONS AND STATE WATER QUALITY STANDARDS.DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY B REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACIN THE SYSTEM INTO OPERATION.
	SEQUENCE OF MAJOR ACTIVITIES:
	 SEQUENCE OF MAJOR ACTIVITIES: INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DEMO AND CLEAR SITE INSTALL UNDERGROUND UTILITIES. COMPLETE FINAL GRADING OPERATIONS. CONTINUE WITH E&S CONTROL MEASURES. START BUILDING FOUNDATION. CONTINUE WITH E&S CONTROL MEASURES. COMPLETE BUILDING CONSTRUCTION. CONTINUE WITH E&S CONTROL MEASURES. COMPLETE CURB AND SIDEWALK CONSTRUCTION REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM.
	TIMING OF CONTROLS/MEASURES AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR
CONTROLS THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF.AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINT AIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.	GRADING OF ANY PORTIONS OF THE SITE.AS CONSTRUCION PROCEEDS,THE CONTRACTOR MUST BE DILIGENT TO UN-INSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BAYS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.
STORM WATER MANAGEMENT	ENDANGERED SPECIES AND CRITICAL HABITAT
DURING CONSTRUCTION, STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE. THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORMWATER UTILITIES ARE INSTALLED, STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS, EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE S OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL, STATE AND FEDERAL REQUIREMENTS.	I. ARE THERE ENDANGERED SPECIES ON SITE? NO. 2. ARE THERE CRITICAL HABITAT ON SITE? NO. IF YES TO EITHER QUESTION, PLEASE EXPLAIN.
TIMING OF CONTROLS/MEASURES IT IS THE CONTRACTOR IS RESPONSIBE FOR THE TIMING OF CONTROLS AND MEASURES AS REQUIRED TO MEET REQUIREMENTS. CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. • _ERP_APPLICATION • _BRO_COUNTY_DPEP POLLUTION_PREVENTION PLAN_CERTIFICATION ICERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERTY GATHERED AND EVALUATED THE INFORMATION SUBMITTED.BASED ON MY INQURY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM,OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION,THE INFORMATION SUBMITTED IS,TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE.I M WARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.	CONTROLS IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION A TURBIDITY CONTROLS AS SHOWN ON THE GRADINADE & EROSION CONTROL PLAN.IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLUTIED WATER FROM LEAVING TI PROJECT STE.THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROL SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MESURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS, THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED TO MEET THE EROSION AN TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATO AGENCIES. EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES (IF APPLICABLE): 1. HAY BALE BARRIER; HAY BALE BARRIERS CAN BE USED BELOW DISTURBE AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING UNITATION A WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PER B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUT DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MOI D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STAWN BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHI THERE IS THE POSSIBILITY OF A WASHOUT.IF NECESSARY, MEASURE SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINS WASHOUT. REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BAL BARRIERS, ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION 2. FILTER FABRIC BARRIER; FILTER FABRIC BARRIERS CAN BE USED BELD DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH TO FOLLOWING LIMITATIONS: A WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PER B. IN MINOR SWALES OR DITCH LINES WHERE THE BARRIER IS 33 PER B. IN MINOR SWALES OR DITCH UNES WHERE THE BARRIER IS 33 PER B. IN MINOR SWALES OR DITCH UNES WHERE THE BARRIER IS 33 PER B. IN MINOR SWALES OR DITCH UNE

STORM WATER POLLUTION PREVENTION PLAN

- 3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- 4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS.THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED.THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
- 5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
- 6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.
- 7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- 8. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.
- 9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:ITHAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- IO. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.
- II. TEMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER,THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
- 12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- 13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.
- 14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION.SLOPES STEEPER THAN 4: I SHALL BE SEEDED AND MULCHED OR SODDED.
- STRUCTURAL PRACTICES (IF APPLICABLE):
- I. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- 2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
- A. BLOCK & GRAVEL SEDIMENT FILTER THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
- B. GRAVEL SEDIMENT TRAP THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.
- C. DROP INLET SEDIMENT TRAP THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL.THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
- 3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY.SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
- 4. SEDIMENT BASIN: (NOT APPLICABLE)

OTHER CONTROLS

WASTE DISPOSAL (IF APPLICABLE):

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER.THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL.ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS,WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS,WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE.THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS.THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT AS NEEDED TO REMOVE ANY EXCESS MUD,DIRT OR ROCK TRACKED FROM THE SITE.DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

X Concrete X Asphalt X Tar X Detergents _____

X Fertilizers X Wood X Petroleum Based Products X Masonry Blocks X Roofing Materials X Cleaning Solvents X Metal Studs X Paints ____ ____

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
- * AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- * ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND,IF POSSIBLE,UNDER A ROOF OR OTHER ENCLOSURE.
- * PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LABEL.
- * SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- * WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- * MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- * THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

HAZARDOUS MATERIALS. * PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE: PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.ONCE APPLIED,FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA.THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS. PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLE ANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE.EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE.A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING.THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 5 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH

SPILL CONTROL PRACTICES

MAINTENANCE/INSPECTION PROCEDURES

- * SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- * THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES IO PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
- * DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- * TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS,WASHOUTS,AND HEALTHY GROWTH.
- * A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED.
- THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER,ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS.OR STORM WATER MANAGEMENT PLANS.
- THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- * THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE RFPORT.
- * PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

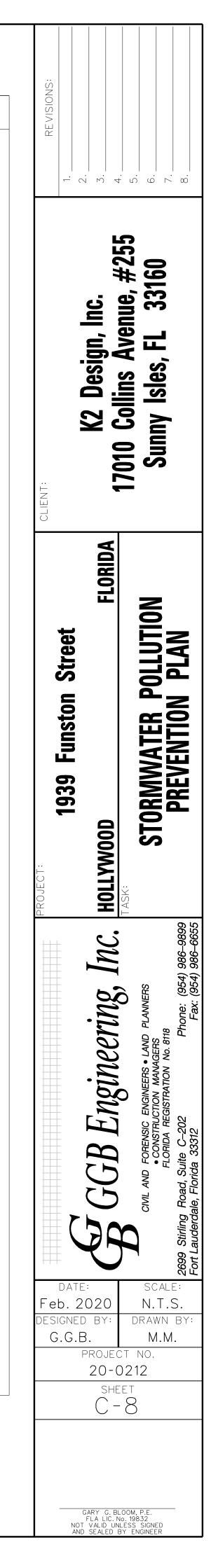
IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

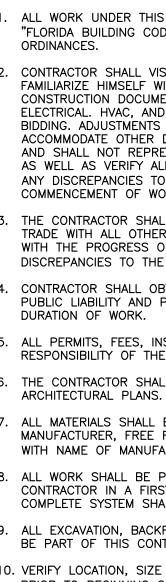
- * WATER FROM WATER LINE FLUSHING
- * PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- * UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

ICERTIFY UNDER PENALTY OF LAW THAT IUNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

RESPONSIBLE FOR/DUTIES	GENERAL CONTRACTOR	SUB-CONTRACTOR	SUB-COMT RACT OR	SUB-CONTRACTOR	SUB-COMT RACT OR
BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS					
SIGNATURE					



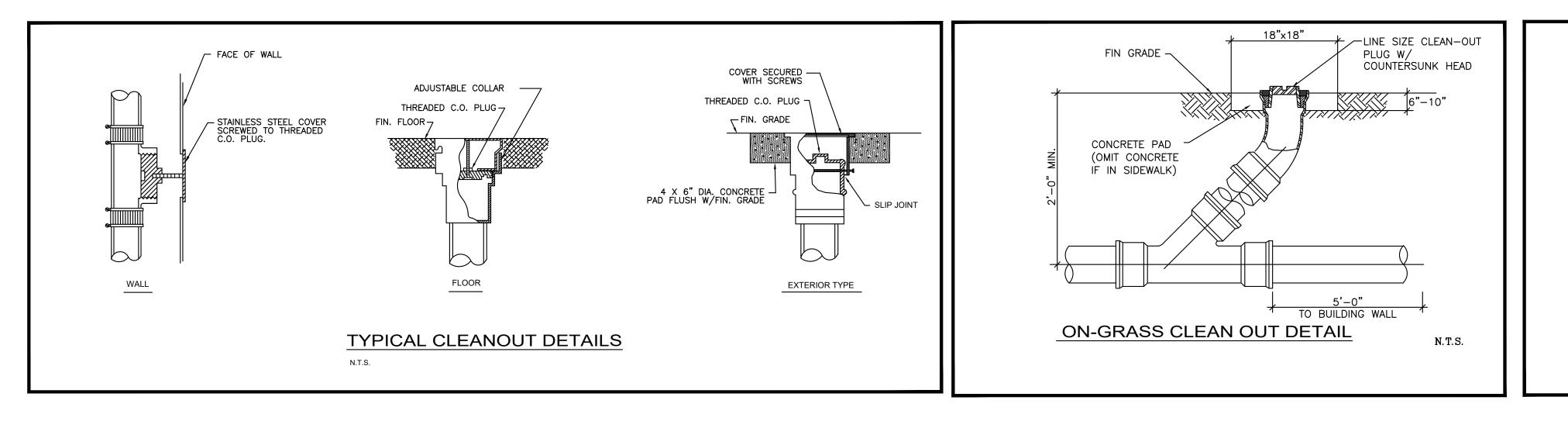


THESE SUBMITTALS.

AGENCY.

RD ROOF

FIXTURE



GENERAL PLUMBING NOTES:

- ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH JOB SITE AND WITH ALL CONSTRUCTION DOCUMENTS INCLUDING ARCHITECTURAL, ELECTRICAL. HVAC, AND STRUCTURAL DWGS, PRIOR TO BIDDING. ADJUSTMENTS IN THE PLUMBING SYSTEM TO ACCOMMODATE OTHER DISCIPLINES SHOULD BE EXPECTED, AND SHALL NOT REPRESENT ADDITIONAL COSTS TO OWNER. AS WELL AS VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER. CONTRACTOR SHALL OBTAIN INSURANCE PROTECT AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE ALL PERMITS, FEES, INSPECTIONS AND TESTS SHALL BE THE
- RESPONSIBILITY OF THE PLUMBING CONTRACTOR. 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE
- ALL MATERIALS SHALL BE NEW AND OF AN AMERICAN MANUFACTURER, FREE FROM DEFECTS, INDELIBLY MARKED WITH NAME OF MANUFACTURER. WEIGHT AND/ OR CLASS.
- B. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- 9. ALL EXCAVATION. BACKFILL AND PATCHING THE SLAB SHALL BE PART OF THIS CONTRACT.
- 10. VERIFY LOCATION, SIZE AND ELEVATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ARCHITECT/ ENGINEER OF ANY DISCREPANCIES.
- 1. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF FIXTURES AND PIPING.
- 12. DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
- 13. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
- 14. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
- 15. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2 1/2" PIPES AND SMALLER.
- 16. ALL MATERIALS SHALL BE NEW, FREE OF DEFECTS AND CORRECTLY LABELED WITH THEIR APPROPRIATE LISTING
- 17. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT FOR APPROVAL, WITHIN 30 DAYS OF SIGNING CONTRACT, A MINIMUM OF FIVE COPIES OF FULLY DESCRIPTIVE LITERATURE, INCLUDING BUT NOT LIMITED TO: WATER HEATERS, AND PLUMBING FIXTURES. NO WORK SHALL PROCEED WITHOUT THE APPROVAL OF

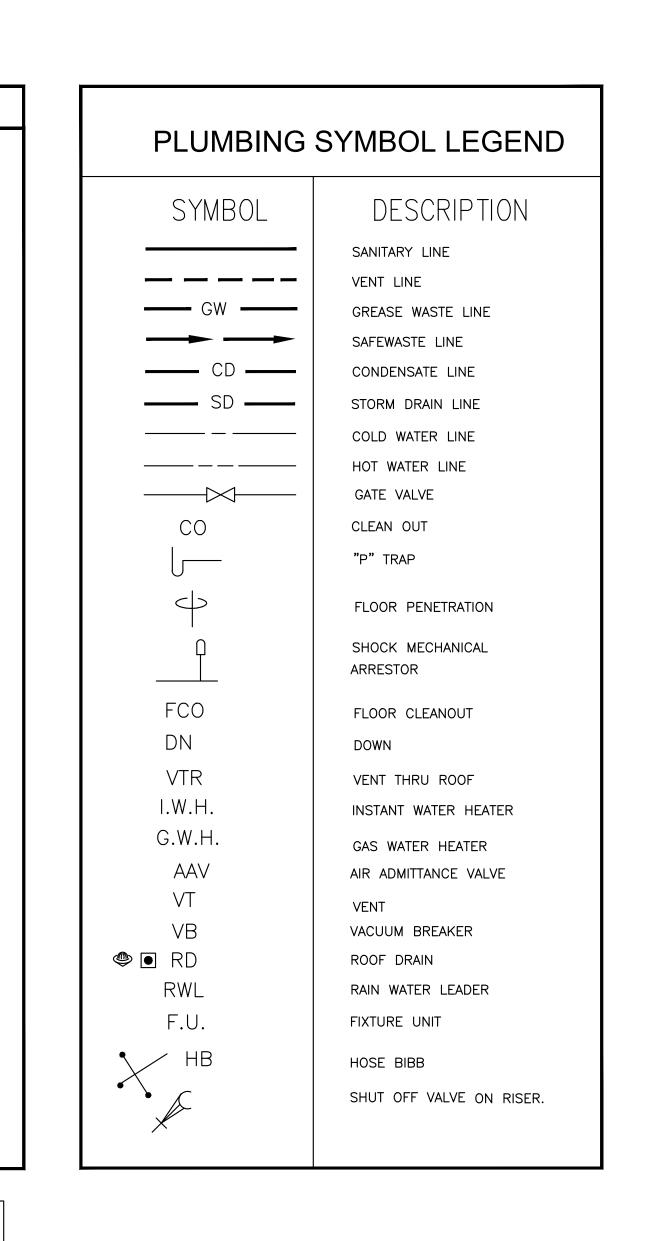
- "FLORIDA BUILDING CODE 2017", AND ALL APPLICABLE LOCAL 18. PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS. SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC WATER SAVING STANDARDS.
 - 19. MATERIALS 19.1. PIPING: SOIL, WASTE, VENT, AND STORM
 - 19.1.a. (BELOW GRADE): SHALL BE SHALL BE CENTRIFUGALLY CAST IRON PIPE CONFORM TO ONE OF THE STANDARDS ASTM A 74; ASTM A 888; CISPI 301, NO-HUB FITTINGS. POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, CSA B181.2) IS ACCEPTABLE. (ABOVE GRADE): SHALL BE SHALL BE
 - 19.1.b. CENTRIFUGALLY CAST IRON PIPE AND CONFORM TO ONE OF THE STANDARDS ASTM A 74; ASTM A 888; CISPI 301, NO-HUB FITTINGS. POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, ASTM F 1488, CSA B181.2) IS ACCEPTABLE.
 - 19.2. DOMESTIC WATER PIPING:
 - 19.2.a. (BELOW GRADE): SHALL BE COPPER TYPE "K" ASTM B-88 WITH WROUGHT COPPER FITTINGS AND 95-5 SOLDERED JOINTS. PAINT WITH BITUMASTIC WHEN INSTALLED IN GRADE.
 - 19.2.b. (ABOVE GRADE): SHALL BE COPPER TYPE "L" ASTM B-88 WITH WROUGHT COPPER FITTINGS AND 95-5 SOLDERED JOINTS. CPVC (CHLORINATED POLYVINYL CHLORIDE) ASTM D 2846 PIPE AND TUBING WITH CPVC PLÁSTIC FITTINGS ASTM F 437 IS ACCEPTABLE.
 - 19.3. ALL PIPING IN RETURN PLENUM SHALL NOT BE PVC OR CPVC, ONLY METALLIC MATERIAL WILL BE USE WITHIN THE PLENUM AREA.
 - 19.4. DOMESTIC WATER SUPPLY ASSEMBLY: CHROME FINISH TUBING WITH ANGLE SHUT OFF VALVES IN EXPOSED AREAS.
 - 19.5. CONDENSATE DRAIN: DWV COPPER PIPE & FITTINGS OR POLYVINYL CHLORIDE (PVC) PLASTIC PIPE ((TYPE DWV) ASTM D 2665, ASTM D 2949, CSA B181.2) IS ACCEPTABLE.
 - 20. ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
 - 21. PIPING TEST AND DISINFECTIONS:
 - 21.0. <u>TESTING</u>
 - 21.0. COMPLETE WATER PIPING SYSTEM SHALL BE PRESSURE TESTED BY CAPPING OR PLUGGING OPENINGS, FILLING SYSTEM WITH WATER AND APPLYING HYDROSTATIC PRESSURE OF 125 PSI FOR PERIOD OF NOT LESS THAN 2 HOURS.
 - 21.0. SOIL. WASTE AND VENT PIPING SHALL BE TESTED BY CAPPING THE ENDS OF THE SYSTEM AND ALL LINES FILLED WITH WATER TO HIGHEST POINT AND ALLOW TO STAND UNTIL INSPECTION IS MADE AND WATER LEVEL REMAINS CONSTANT.
 - 22. DISINFECTION OF POTABLE WATER SYSTEM
 - 22.1. FIRST, FLUSH THE ENTIRE DOMESTIC WATER SYSTEM WITH CLEAN, POTABLE WATER UNTIL NO DIRTY WATER APPEARS AT ALL OUTLETS. CONTINUE WITH THE FOLLOWING FLUSHING REQUIREMENTS:

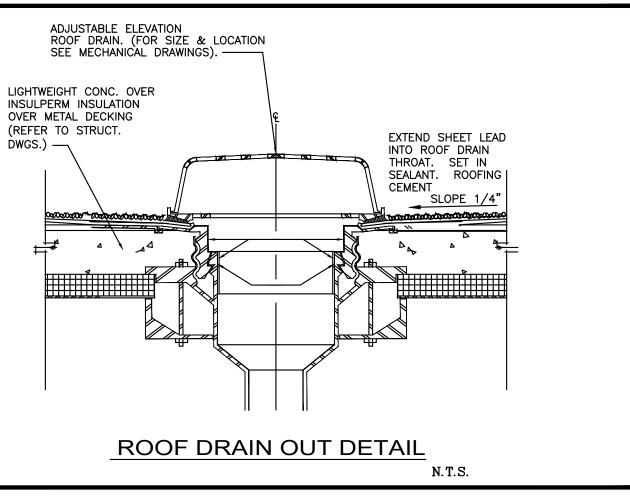
- 22.1. DISINFECTION SOLUTION: ONCE FLUSHED PER ABOVE. CLOSE VALVES, FILL THE ENTIRE DOMESTIC WATER SYSTEM WITH A WATER /CHLORINE SOLUTION CONTAINING MINIMUM OF 50 PARTS PER MILLION AND RETAIN SOLUTION IN SYSTEM FOR 24 HOURS MINIMUM.
- 22.2. CHLORINE PURGING: AFTER RETAINING THE SOLUTION IN THE SYSTEM FOR 24 HOURS, FLUSH THE SYSTEM WITH CLEAN POTABLE WATER UNTIL SYSTEM IS PURGED OF CHLORINE. REPEAT THE FLUSHING PROCEDURE UNTIL CONTAMINATION IS ELIMINATED FROM THE SYSTEM AND THE DISINFECTION IS VERIFIED BY A BACTERIOLOGICAL EXAMINATION AND TESTS.
- 23. VALVES: DOMESTIC WATER VALVES SHALL BE OF BRONZE BODY SWEAT ENDS.
- 24. HOSE BIBBS: SHALL BE 3/4 INCH. ROUGH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND VACUUM BREAKER.
- 25. ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
- 26. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL PLUMBING SYSTEM PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.
- 27. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR AND MATERIALS FOR A COMPLETE "TURN-KEY" PLUMBING SYSTEM.
- 28. CONTRACTOR SHALL KEEP ACCURATE AS-BUILT DWGS ON THE FIELD AND PROVIDE THEM TO OWNER ONCE JOB IS COMPLETE.
- 29. PROVIDE WALL CLEANOUTS AT THE BASE OF EVERY STACK.
- 30. CONTRACTOR SHALL USE DIMENSIONS IN ARCHITECTURAL DRAWINGS TO ROUGH-IN PLUMBING WORK.

- SPECIFIC NOTE:
- THIS IS A GENERAL LEGEND FOR SYMBOLS APPLICABLE TO THIS JOB, REFER TO THIS LEGEND.

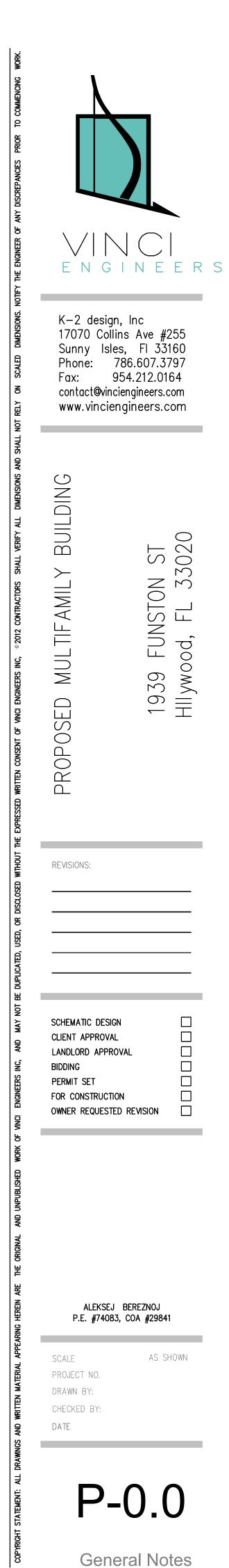
DRAIN SCHEDULE		
URE	DESCRIPTION	
ROOF DRAIN	ZURN Z121–DP 12 ROOF DRAIN. DURA–COASTED CAST IRON BODY WITH COMBINATION MEMBRANE FLASHING CLAMP / GRAVEL GUARD. TOP SET DECK & LOW SILHOUETTE CAST IRON DOME	

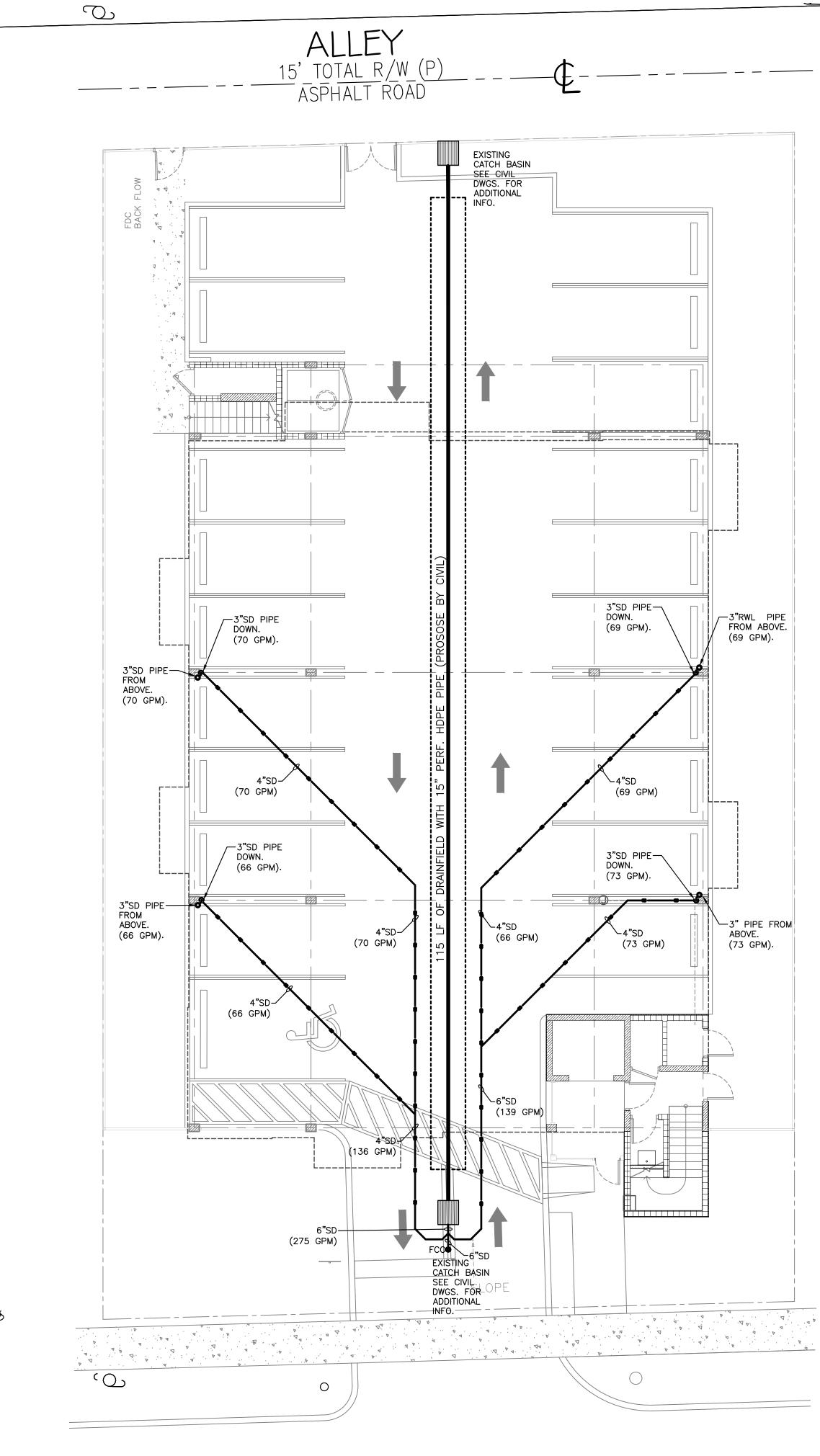
PLUMBING GENERAL NOTES, LEGEND AND DETAILS



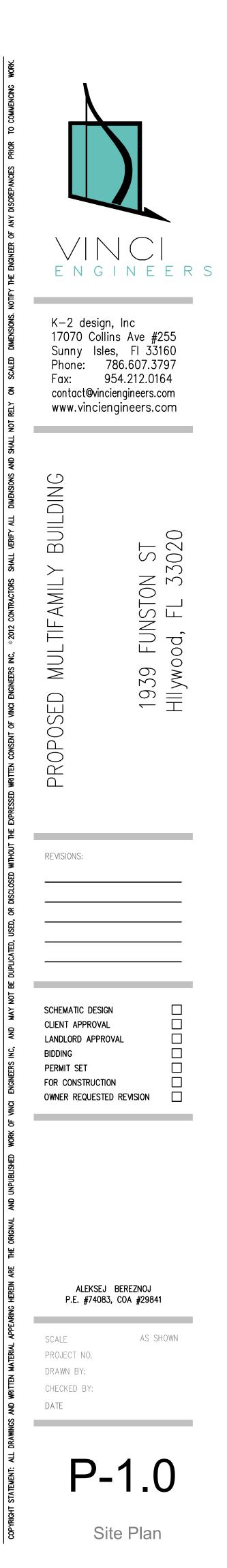






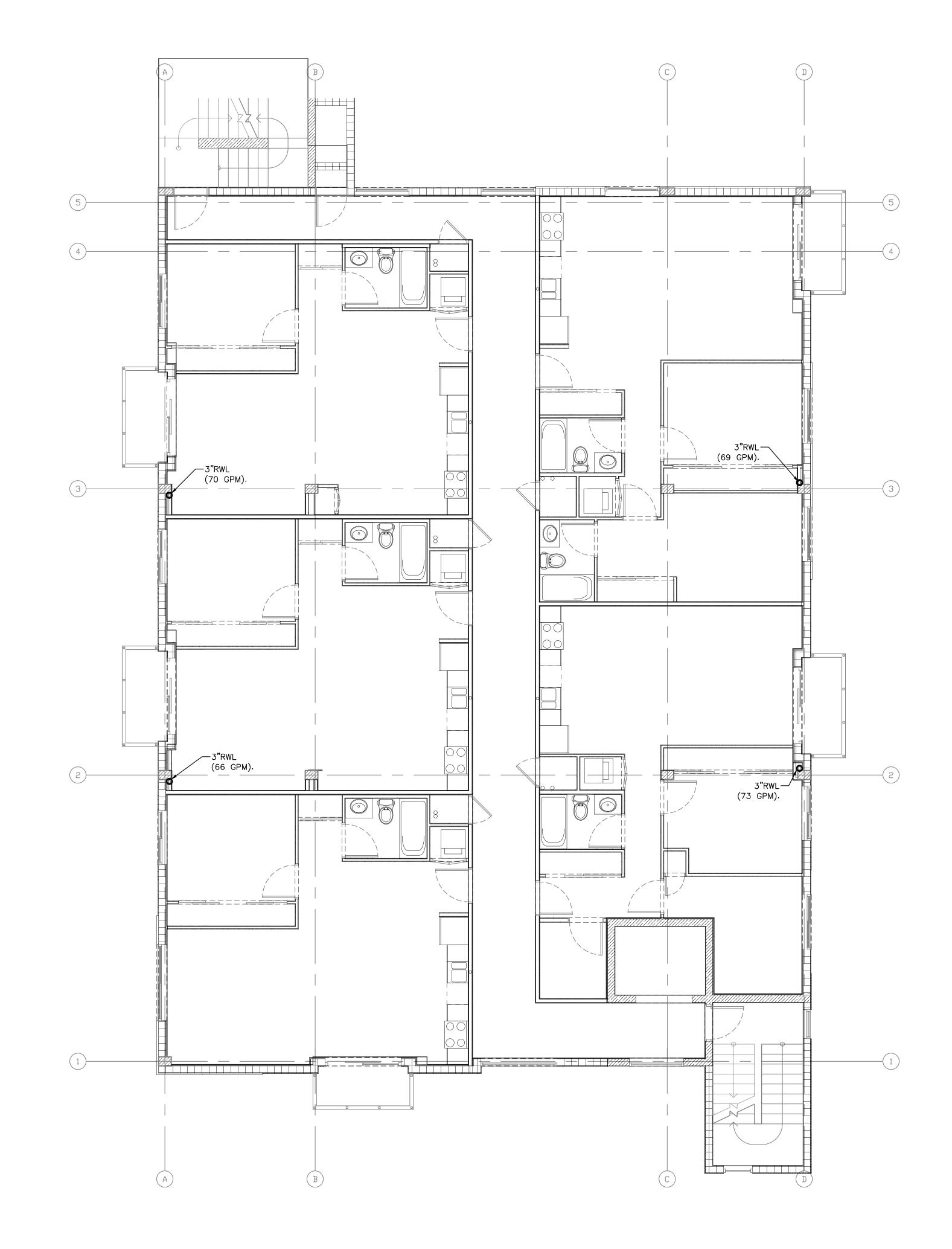


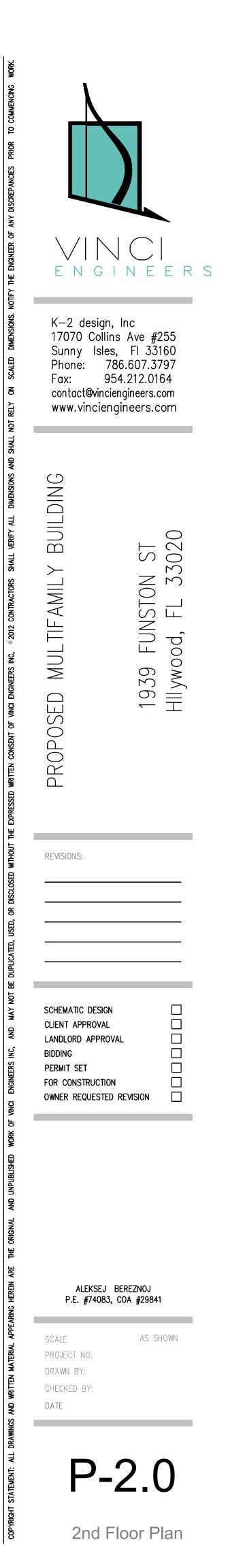
50' TOTAL R/W (P) 25' ± ASPHALT ROAD FIINIGTONI GTRFFT E



PLUMBING GROUND FLOOR PLAN

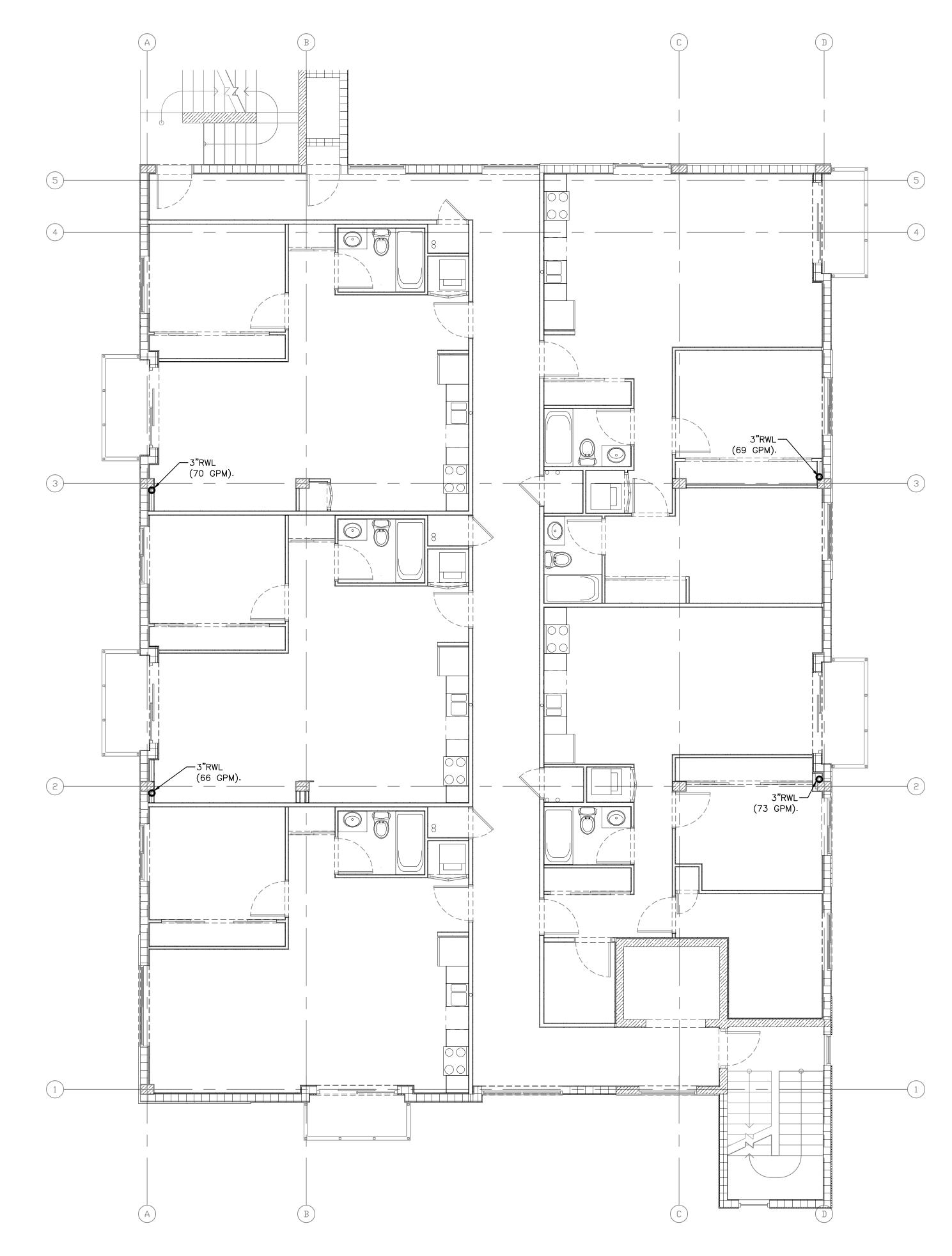
SCALE 1/8" = 1'





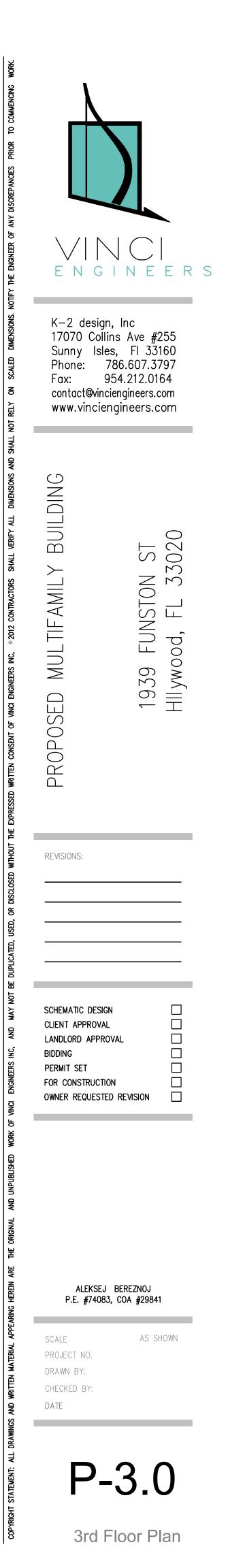
PLUMBING 2ND FLOOR PLAN

SCALE 3/16" = 1'

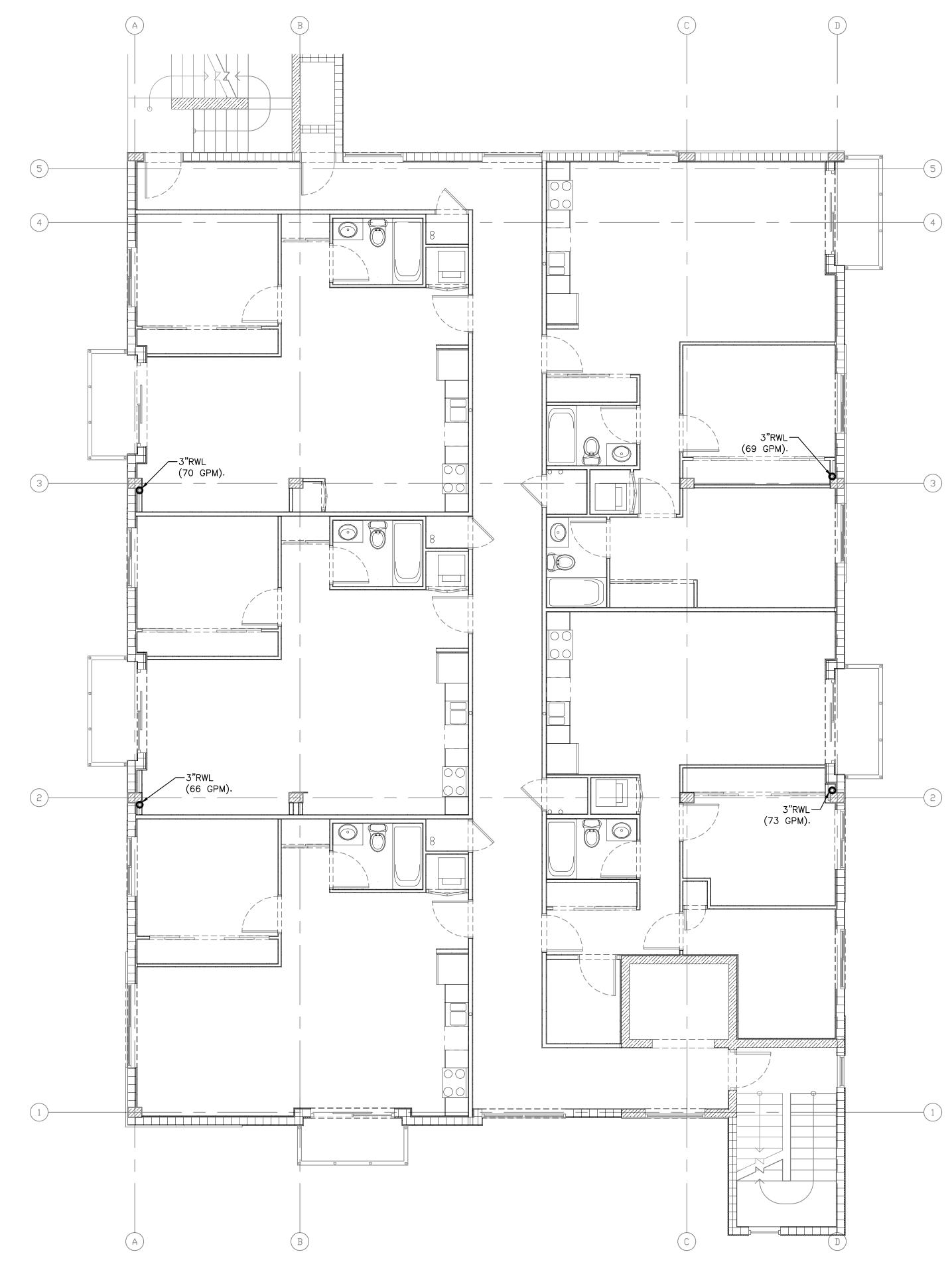


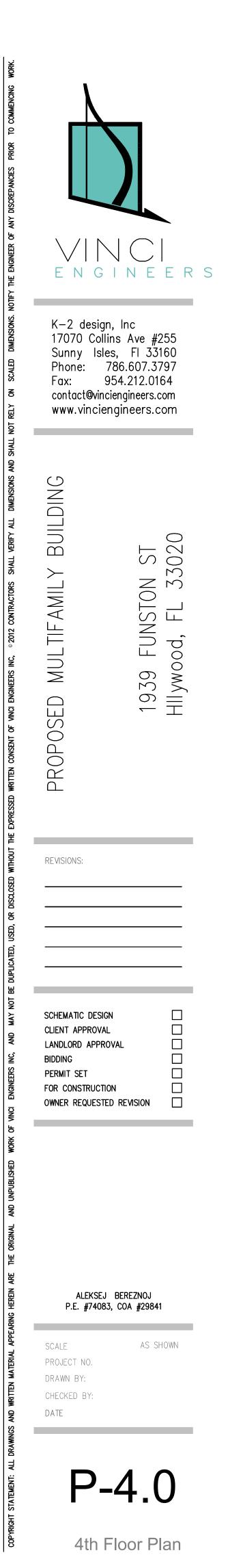
PLUMBING 3RD FLOOR PLAN

 \bigcirc

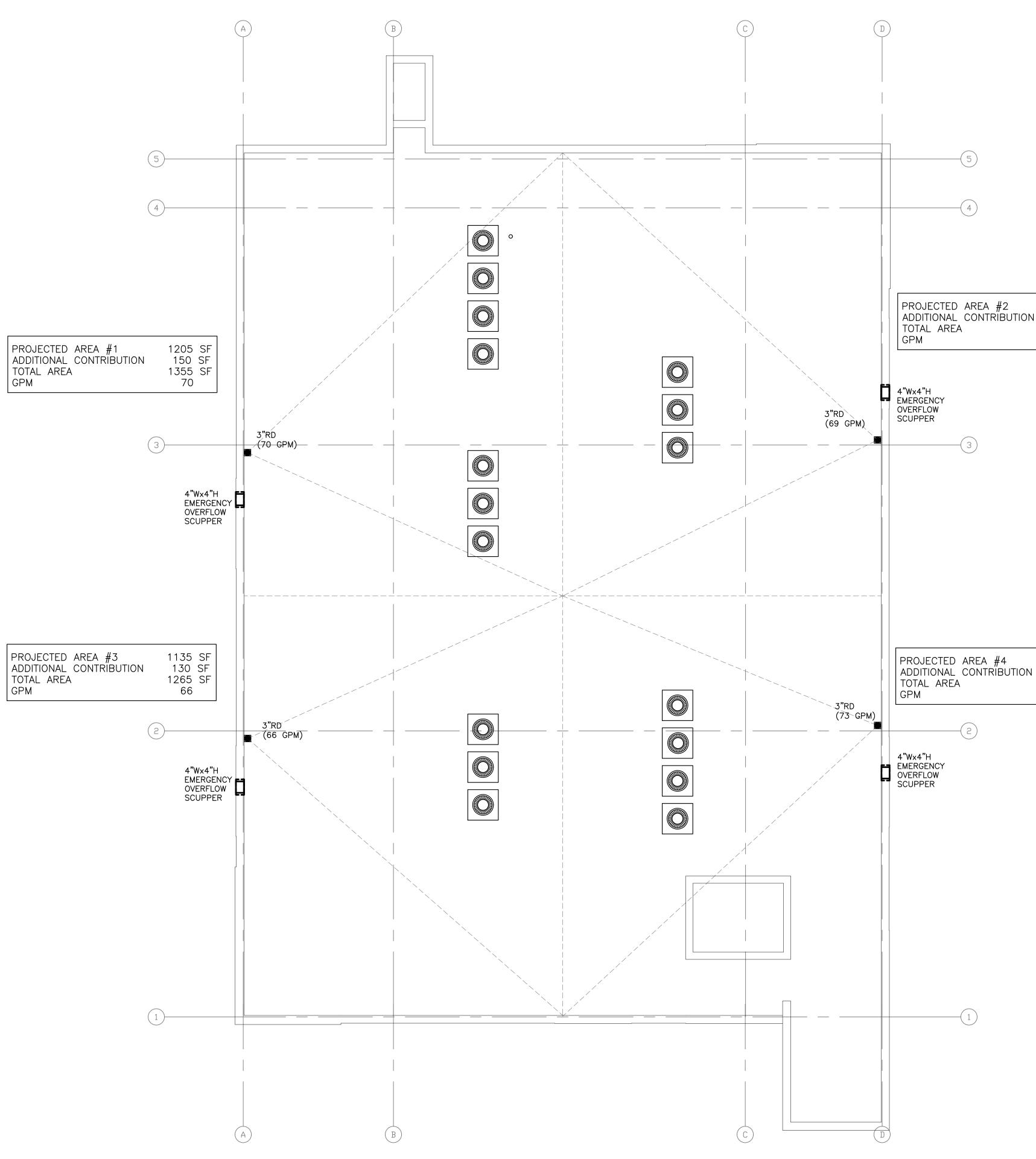


SCALE 3/16" = 1'





PLUMBING 4TH FLOOR PLAN SCALE 3/16" = 1'



DN	1200 SF 125 SF 1325 SF 69

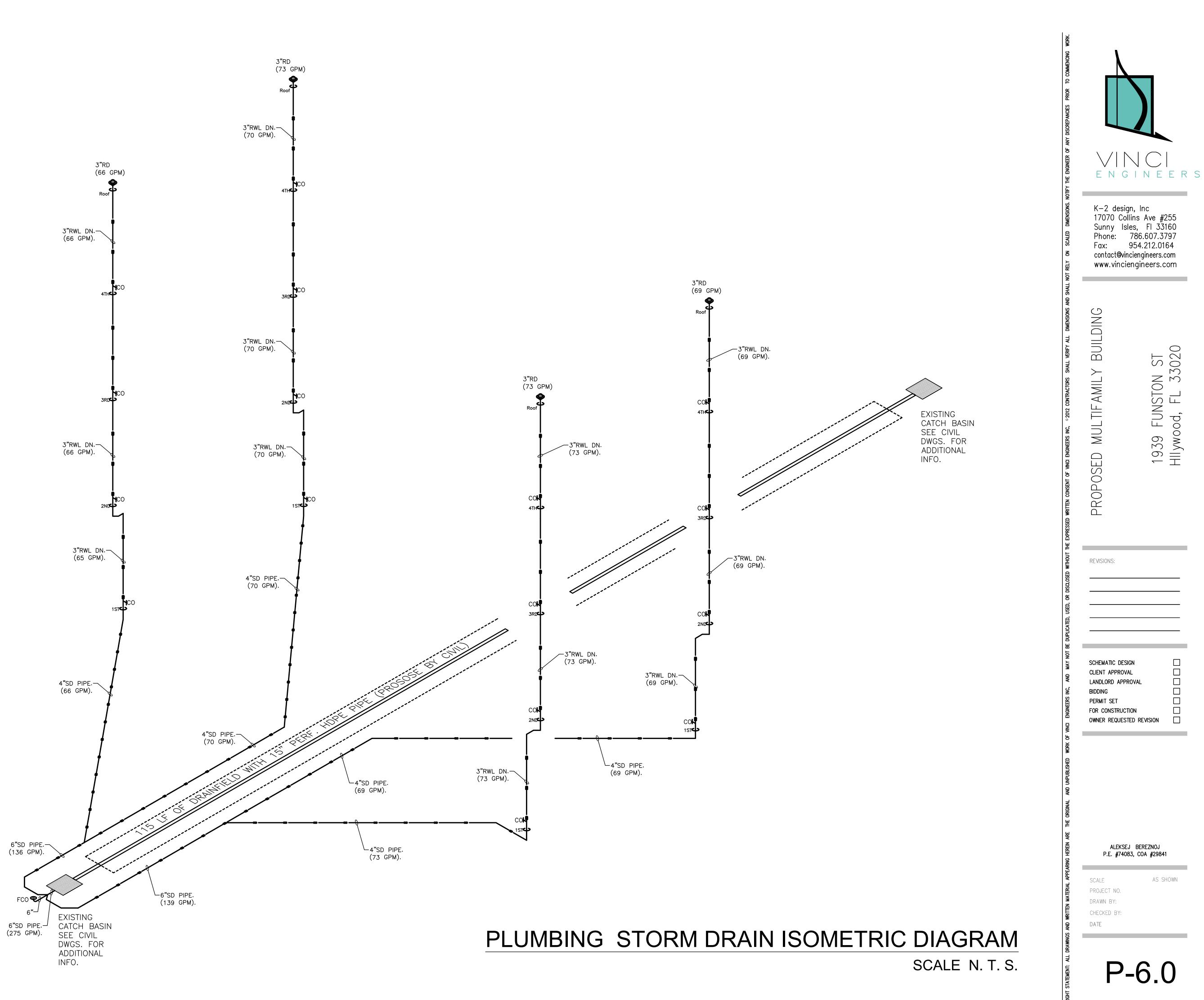
N	1215 180 1395 73	SF	

PLUMBING ROOF PLAN

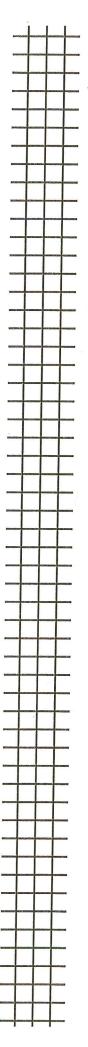
SCALE 3/16" = 1'

E N	G I N	Ē	ERS
17070 (Sunny Phone: Fax: contact@	sign, Inc Collins Av Isles, Fl 786.60 954.21 vinciengine cienginee	331 7.37 2.016 ers.c	60 97 64 om
PROPOSED MULTIFAMILY BUILDING		1939 FUNSTON ST	HIIJwood, FL 33020
REVISIONS:			_
			_
SCHEMATIC D CLIENT APPR LANDLORD A BIDDING PERMIT SET FOR CONSTRI OWNER REQU	oval Pproval Jction	ON	
	:SEJ BEREZI 4083, COA (
SCALE PROJECT NO. DRAWN BY:		AS SH	OWN

Roof Plan



Storm Drain Isometric



GGB Engineering, Inc. 2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Ph: (954) 986-9899 • Fax: (954) 986-6655 e-mail: gary@ggbeng.com

FIRE FLOW CALCULATIONS FOR A FIRE SPRINKLED 4 STORY RESIDENTIAL

BUILDING LOCATED AT 1939 FUNSTON STREET, HOLLYWOOD FLORIDA

These calculations are for a four-story non-combustible Type 1 construction building that will be fire sprinkled.

Fire Flow Area = 12,714 SF

Based on Type 1 (332) construction, Per NFPA 18.4.4.1.1 Fire Flow Requirements, the fire flow area is based on the three largest successive floors. (4238 SF, 4238 SF and 4238 SF; Total = 12,714 SF)

Per Table 18.4.5.1.2, the fire flow requirement is 1750 GPM for 2 Hour Duration

NFPA 18.40 states that the required fire flow can be reduced by 75%, if the building is protected with an automatic fire sprinkler system.

1750 gpm x 75% = 1,312.50 gpm (fire flow credit available)

1750 gpm – 1,312.50 (credit) = 437.50 gpm fire flow requirement

The minimum fire flow per NFPA 18.4.5.1.2.1 is however 1,000 GPM

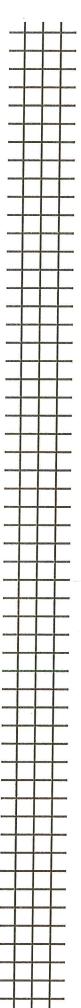
Therefore minimum fire flow requirement for the 1939 Funston Street Residences Building is 1,000 GPM

Sincerely yours:

Gary G. Bloom PE President GGB Engineering, Inc.



CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS



Engineering, Inc.

2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Ph: (954) 986-9899 • Fax: (954) 986-6655 e-mail: gary@ggbeng.com

PROJECT NAME: 1939 FUNSTON STREET **STORM DRAINAGE CALCULATIONS**

Date: 7/6/2020

SITE CHARACTERISTICS AND AREAS

	ALL LAND			
BUILDING AREA	2	4238.0	SF	39.14%
IMPERVIOUS PAVED AREAS		3451.00	SF	31.87%
PERVIOUS SITE AREA		3139.00	SF	28.99%
TOTAL SITE AREA		10828.0	SF	100.00%
Wet Season Water Table El. =	0.5	NAVD		
Average grade in green areas =	7.2	Feet		
Soil storage: 8.18 x percent pervious =	2.37	Inches		
RUNOFF COEFFICIENTS				
IMPERVIOUS AREAS		0.90		
PERVIOUS AREAS		0.35		

DESIGN STORM FREQUENCY FOR WATER QUALITY

5 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

0.35

First inch runoff (Total site area x 1/12)	902.33	CF
Site area for water quality (Total site area-Bldg+Pool)	6590.00	SF
Impervious area for water quality	3451.00	SF
2.5 Inches x % Impervious	1181.32	CF
2.5" x pervious/total area	1.31	Inches
10 year 24 hour storm rainfall (P)	8.5	Inches

Runoff = (P-0.2 xS)2(P+0.8 x S) Where P = 8.50 inches for 10 year 24 hour storm

Runoff = 6.20 Inches

Volume = $A \times R/12$ 5590.16 CF



Use 10 year runoff of 5590.16 CF >902.23 CF > 1181.32 CF first inch of runoff and for 2.5 x % impervious

Site Storage Provided to store 5590.16 CF Required Runoff as follows:

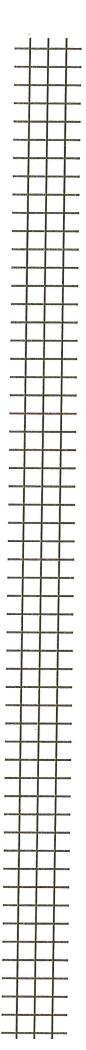
1. Perimeter swale/Pervious areas storage = 3139 SF x (0.50' average depth) = 1569.50 CF

2. Required Exfiltration trench storage = 5590.10 CF - 1569.50 = 4020.60 CF volume

DESIGN STORM PEAK AND AVERAGE DAY TRENCH CALCULATIONS

V = 4020.60 CF/10828 SF = 0.37 FT x 12 in/ft = 4.46 inches x 10,828/43560 = 1.11 Ac-inches 10,828/4360 = 1

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS



L =

GGB Engineering, Inc.

2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Ph: (954) 986-9899 • Fax: (954) 986-6655 e-mail: gary@ggbeng.com

V

K(HW+ 2HxDu – Du x Du +	2HDs) + 1.3	9 x 10(-4) x W x du
Volume =	1.11	Ac-inches
A = Drainage Area	0.249	Ac
W = Trench Width	5.00	ft
K = Hydraulic Conductivity	2.63E-04	cfs/ft^2per ft of head
H = Depth to water table	6.40	ft
Du = Non Saturated trench depth	3.50	ft
Ds = Saturated trench depth	0.00	ft

Trench Required	57.19	LF
Trench Provided	115	LF



CIVIL AND FORENSIC ENGINEERS+LAND PLANNERS+CONSTRUCTION MANAGERS

PUBLIC SCHOOL IMPACT APPLICATION The School Board-of-Broward County, Florida Growth Management Section Facility Planning and Real Estate Department 600 SE 3rd Avenue, 8th Floor, Fort Lauderd Jelf 193301/Phone: 754-321-2177, Fax: 754-321-2179 www.browardschools.com GENERAL PROJECT INFORMATION								
APPLICATION TYPE								
Land Use DRI Rezoning Flex/Reserve Allocation Plat X Site Plan								
FOR INTERNAL USE ONLY								
School Board Number								
County Project Number City Project Number 20-DR-22								
Project Name 1939 Funston Street Multifamily								
Has this project been previously submitted (since Feb. 01, 2008) ? No If yes, provide the SBBC Number								
Application Fee Amount Due/Pald* \$30,426 Is proof of Payment attached? No								
Check No. Online Payment Order No. (if applicable) * Make check payable to "School Board of Broward County." No cash will be accepted.								
PROJECT LOCATION AND SIZE								
Section Township Range								
General location of the project 1939 Funston Street Side of								
at/between Dixie Hwy and US-1								
Area Acreage 0.25 Jurisdiction								
APPLICANT INFORMATION								
Owner's Name 1939 Funston Street Phone 954.907.3103								
Address 1939 Funston Street City Hollywood State FL Zip 33020								
Developer/Agent Aleksej Bereznoj								
Address17070 Collins Ave #255CitySunny IslesStateFLZip33160								
Phone 954.907.3103 Fax Number								
Agent's E-mail 9073103@gmail.com								
DEVELOPMENT DETAILS								
Land Use Designation Existing RAC Proposed RAC								

Form No. 4726 06/15

Zoning Designation	Existing PS-1	· · · · · · · · · · · · · · · · · · ·	Proposed	PS-1	

PERMITTED						PROPOSED		
Residential Type	Total Units	Built Units	Bedroom Mix	Un-built Units	Bedroom Mix	Residential Type	Number of Units	Bedroom Mix
Single Family			3 BR or Less 4 BR or >		3 BR or Less 4 BR or >	Single Family		3 BR or Less 4 BR or >
Townhouse/ Duplex/ Villa			1 BR or Less 2 BR3 BR or >		1 BR or Less 2 BR3 BR or >	Townhouse/ Duplex/ Villa		1 BR or Less 2 BR3 BR or >
Garden Apartment		15	9_1 BR or Less 62 BR_3 BR or >		1 BR or Less 2 BR3 BR or >	Garden Apartment	5	1 BR or Less 2 BR3 BR or >
Mid Rise			1 BR or Less 2 BR or >			Mid Rise		1 BR or Less 2 BR or >
High Rise						High Rise		
Mobile Home			2 BR or Less 3 BR or >		2 BR or Less 3 BR or >	Mobile Home		2 BR or Less 3 BR or >
Total						Total		

Does this project include a non-residential development?

No

If yes, please describe other proposed uses

VESTED RIGHTS/EXEMPTION INFORMATION

Amount of Vested/Exempt development (including number of units, type, and bedroom mix) None

Exemption Criteria (check any/all as applicable)	Vesting Criteria (check any/all as applicable)	Associated Application Number
Generates less than one student*	Located within previously approved plan amendment or rezoning with a valid mitigation agreement with the School Board through an executed and recorded DRC or Tri-Party*	
Age restricted to persons 18 and over*	Obtained site plan final approval prior to February 1, 2008*	
Statutory exemption* Applicable Statute*	Site plan located within a plat for which school impacts have been satisfied*	
Site Plan located within a plat v	Associated Plat Number:	

* Supporting documentation is required

Signature of Applicant/Agent:

7/23/20 Date:

 Please attach a survey of the project site

 NOTE: 30-Day review period only commences upon a determination of completeness by School District Staff. Applicant submitting a plat application must include an official letter containing plat name and municipal project number and must indicate that the plat has been approved or accepted by the municipality

 ALL APPLICANTS MUST SUBMIT THE APPLICATION TO THE 8th FLOOR
 Page 2 of 2



Environmental Protection and Growth Management Department PLANNING AND DEVELOPMENT MANAGEMENT DIVISION 1 North University Drive • Plantation, Florida 33324 • 954-357-6666 • broward.org/planning

Educational Impact Fee Schedule

Current Ordinance Schedule Only

Dwelling Type	Bedrooms	Ordinance 2014-36	Ordinance 2014-36	Ordinance 2014-36	
Dwennig Type	Beurooms	January 26, 2018	January 26, 2019	January 26, 2020	
Cinala Family	3 or fewer	\$6,756	\$6,888	\$7,047	
Single Family	4 or more	\$8,490	\$8,656	\$8,856	
Townhouse,	2 or fewer	\$3,898	\$3,974	\$4,066]
Duplex & Villa	3 or more	\$6,612	\$6,741	\$6,897	+ /
Garden	1 or fewer	\$368	\$375	\$384 × 9 = \$4,495 × 6 =	#3,456
Apartment	2	\$4,309	\$4,393	\$4,495 ≻ @· =	\$26,970
	3 or more	\$7,828	\$7,980	\$8,165	No. in the second s
	1 or fewer	\$287	\$293	\$300	\$30,426
Mid-Rise	2 or more	\$1,131	\$1,153	\$1,180	
High-Rise	All	\$354	\$361	\$369	
Mobile Home	2 or fewer	\$3,044	\$3,103	\$3,175	
	3 or more	\$6,635	\$6,764	\$6,920	

NOTE: The educational impact fees above are assessed for all plats approved generally before 1979, unplatted platted property, and for plats and or amendments approved beginning March 1, 2004 that are subject to the "current school impact fee schedule in effect at the time of payment" as stipulated by the "approved" DRR. This also includes plats subject to terminations of impact fee agreements.

The School Board of Broward County, Florida PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION

SITE PLAN SBBC-2909-2020 County Number: Municipality Number: 20-DR-22 1939 Funston Street Multifamily

July 24, 2020

Growth Management Facility Planning and Real Estate Department 600 SE 3rd Avenue, 8th Floor Fort Lauderdale, Florida 33301

Tel: (754) 321-2177 Fax: (754) 321-2179 www.browardschools.com

PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION SITE PLAN

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS		OTHER PROPOSED USES	STUDENT IMPACT	
Date: July 24, 2020	Single-Family:			Elementary:	1
Name: 1939 Funston Street Multifamily	Townhouse:				
SBBC Project Number: SBBC-2909-2020	Garden Apartments:	15		Middle:	0
County Project Number:	Mid-Rise:				_
Municipality Project Number: 20-DR-22	High-Rise:			High:	0
Owner/Developer: 1939 Funston LLC	Mobile Home:				
Jurisdiction: Hollywood	Total:	15		Total:	1

SHORT RANGE - 5-YEAR IMPACT

Currently Assigned Schools	Gross Capacity	LOS * Capacity	Benchmark* Enrollment		Classroom Equivalent Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Colbert	812	893	701	-192	-10	78.8%	3
Olsen	1,125	1,238	657	-581	-26	53.6%	7
South Broward	2,289	2,518	2,354	-164	-8	93.9%	11

	Adjusted	Over/Under LOS-Adj.	% LOS Cap. Adj. Projected Enrollment					
Currently Assigned Schools	Benchmark	Benchmark Enrollment	Benchmark	20/21	21/22	22/23	23/24	24/25
Colbert	704	-189	78.8%	679	686	684	682	680
Olsen	664	-574	53.6%	667	678	682	691	689
South Broward	2,365	-153	93.9%	2,338	2,272	2,286	2,300	2,314

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes. *This number represents the higher of: 100% gross capacity or 110% permanent capacity. **The first Monday following Labor Day. ***Greater than 100% exceeds the adopted Level of Service (LOS).

CHARTER SCHOOL INFORMATION

	2019-20 Contract	2019-20 Benchmark		Proje	cted Enrollr	nent
Charter Schools within 2-mile radius	Permanent Capacity	Enrollment	Over/(Under)	20/21	21/22	22/23
Alpha International Academy	384	86	-298	86	86	86
Ben Gamla Charter	625	509	-116	509	509	509
Ben Gamla Charter North Broward	900	152	-748	152	152	152
The Ben Gamla Preparatory Charter High School	600	407	-193	407	407	407

PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Colbert	There are no capacity additions scheduled in the ADEFP that will increase the reflected FISH capacity of the school.
Olsen	There are no capacity additions scheduled in the ADEFP that will increase the reflected FISH capacity of the school.
South Broward	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

School Capacity Availability Determination - Prepared by the Facility Planning and Real Estate Department - The School Board of Broward County, Florida

Comments

The application proposes 15 (9 one bedroom and 6 two bedroom) garden apartment units, which will generate 1 elementary student.

The school Concurrency Service Areas (CSA) serving the project site in the 2019/20 school year include Colbert Elementary, Olsen Middle, and South Broward High Schools. Based on the Public School Concurrency Planning Document (PSCPD), the impacted schools are operating below the adopted Level of Service (LOS), which is established as the higher of: 100% gross capacity or 110% permanent Florida Inventory of School Houses (FISH) capacity. However, it should be noted that utilizing the current student generation rates, the project is only anticipated to generate one student at the elementary school level. Incorporating the cumulative students anticipated from this project and approved and vested developments anticipated to be built within the next three years (2019/20- 2021/22), these schools are projected to operate below the adopted LOS through the 2021/22 school year. It should be noted that FISH capacity for the impacted schools reflect compliance with the class size constitutional amendment.

Additionally in the 2019/20 school year, the charter schools located within a two-mile radius of the site and their associated data are depicted above. Students returning, attending or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSAs, the Board may utilize other options such as school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2019/20 to 2023/24 regarding pertinent impacted schools are depicted above.

Therefore, this application is determined to satisfy public school concurrency on the basis that adequate school capacity is anticipated to be available to support the residential development as currently proposed by the applicant. This preliminary determination shall be valid until the end of the current (2019/20) school year or 180 days, whichever is greater, for a maximum of 15 (9 one bedroom and 6 two bedroom) garden apartment units and conditioned upon final approval by the applicable governmental body. As such, this preliminary determination will expire on January 19, 2021. This preliminary school concurrency determination shall be deemed to be void unless prior to the referenced expiration of the Preliminary School Capacity Availability Determination (SCAD), notification of final approval to the District has been provided and/or an extension of this Preliminary SCAD has been requested in writing and granted by the School District. Upon the District's receipt of sufficient evidence of final approval which shall specify at the minimum the number, type and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

SBBC-2909-2020 Meets Public School Concurrency Requirements

🗙 Yes 🗌 No

Reviewed By:

7/24/2020

Date

Lisa Wight

Signature

Lisa Wight

Name

Planner

Title



July 15, 2020

Aleksej Bereznoj, P.E. Vinci Engineers 17070 Collins Avenue, #255 Sunny Isles, Florida 33160

Dear Mr. Bereznoj:

Re: Platting requirements for a parcel legally described as Lots 5-6, Block 6, "Hollywood South Side Addition No. 2," according to the Plat thereof, as recorded in Plat Book 3, Page 17, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Funston Street, between South 19 Avenue and South 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting <u>would not be required</u> by Policy 2.13.1 of the Broward County Land Use Plan for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or multi-family development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.25 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Aleksej Bereznoj July 15, 2020 Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the Broward County Land Use Plan. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

If you have any additional questions concerning the Broward County Land Use Plan's platting requirements, please contact Christina Evans, Planner, at your convenience.

Respectfully,

Barbara Blake Boy Executive Director

BBB:CME

cc: Dr. Wazir Ishmael, City Manager City of Hollywood

> Shiv Newaldass, Director, Development Services City of Hollywood



CITY OF HOLLYWOOD PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT PARK IMPACT FEE APPLICATION

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes X No

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name:	1939 Funston LLC					
2. Project Name:	1939 Funston Multifamily					
3. Project Address:	1939 Funston Street, Hollywood FL 33020					
4. Contact person:	Alex					
5. Contact number:	(954)907-3103					
6. Type of unit(s): Single Family 🗌 Multi-Family 🗵 Hotel/Motel 🗌						
7. Total number of residential and/or hotel/motel units:						
8. Unit Fee per residential dwelling based on sq. ft.:\$1,875						
9. Unit Fee per hotel/motel room:\$1,250.00						
10. Total Park Impa	ct Fee:	Date:06/22/2020				

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or <u>dvazquez@hollywoodfl.org</u> should there be any questions.

CITY OF HOLLYWOOD

PARK IMPACT FEE SCHEDULE

Land Use Type	Fee
Residential Dwelling Unit (single or multi-family)	
Less than 500 sq. ft. ¹	\$1,650.00
501 to 1,000 sq. ft	\$1,875.00
1,001 to 1,500 sq. ft.	\$2,175.00
1,501 to 2,000 sq. ft.	\$2,375.00
2,001 to 2,500 sq. ft.	\$2,525.00
2,501 to 3,000 sq. ft.	\$2,625.00
3,001 to 3,500 sq. ft.	\$2,725.00
3,501 to 4,000 sq. ft.	\$2,825.00
More than 4,000 sq. ft.	\$2,900.00
Hotel / Motel Room	\$1,250.00

¹ Square feet, as used in this section, refers to enclosed, gross floor area excluding parking garages, screened enclosures and unfinished attics.