

ATTACHMENT A
Application Package
Part I



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: **6/21/2025** UPDATED 8/21/2025

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 4220 & 4231 N 58th Avenue, Hollywood, FL

Lot(s): - _____ Block(s): - _____ Subdivision: - _____

Folio Number(s): 514101010010 and 514101140010

Zoning Classification: N-MU (existing) / PD (proposed) Land Use Classification: TOC

Existing Property Use: House w/ guest house; vacant Sq Ft/Number of Units: 470 units

Is the request the result of a violation notice? Yes No **If yes, attach a copy of violation.**

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO 8/19/2024, PTAC 9/16/2024, Final TAC 12/16/2024

DEVELOPMENT PROPOSAL

Requests for Certificate of Appropriateness for (Partial) Demolition and Certificate of Appropriateness for Design of Historic Bryan House (HPOS-12); Rezoning of the property at 4220 and 4231 N 58th Avenue from North Mixed-Use District (N-MU) to Planned Development (PD) with Waiver and Modifications and Master Development Plan (4220 N 58th Avenue Master Development Plan); and Design and Final Site Plan requests for a mixed use development including 470 multifamily units (including 14 live/work units and 47 workforce housing units at 120% AMI) with approximately 9,300 SF private amenity clubhouse and 4,071 SF place of worship (synagogue) (collectively, the "Application")

Explanation of Request: _____

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="470"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text" value="4,070.51 Place of Work S.F."/>
Open Space (% and SQ.FT.)	Required %: <input type="text" value="By PD"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="809"/>)
Height (# of stories)	(# STORIES) <input type="text" value="8"/> (<input type="text" value="85"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="Site Area: 249,853 SF"/> FT.)

Name of Current Property Owner: 58 OAK LLC and 4220 N 58TH AVENUE PARTNERS LLC

Address of Property Owner: 5230 NORTH 31ST PLACE, HOLLYWOOD, FL 33021
3113 STIRLING ROAD SUITE 103, FORT LAUDERDALE, FL 33312

Telephone: Agent: 954.648.9376 Email Address: Agent: stephanie@toothaker.org

Applicant Stephanie J. Toothaker, Esq., P.A. Consultant Representative Tenant

Address: 501 SW 2nd Avenue, Suite 1, Fort Lauderdale, FL 33301 Telephone: 954.648.9376

Email Address: stephanie@toothaker.org and Keith@govlawgroup.com

Email Address #2: estefania@toothaker.org

Date of Purchase: See Warranty Deed Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Cutro & Associates

E-mail Address: cutroplanning@yahoo.com

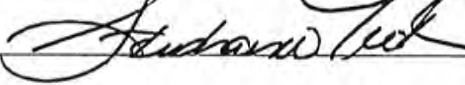
CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 7/17/24

PRINT NAME: Ari Pearl Date: _____

Signature of Consultant/Representative:  Date: 07/16/2024

PRINT NAME: Stephanie J. Toothaker, Esq. Date: _____

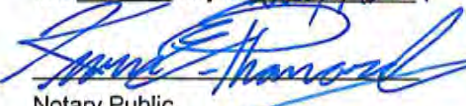
Signature of Tenant: _____ Date: _____

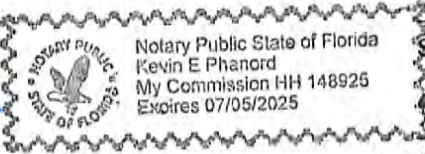
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for permitting and development to my property, which is hereby made by me or I am hereby authorizing Stephanie J. Toothaker, Esq. to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 17th day of July, 2024


 Notary Public




 Signature of Current Owner

Ari Pearl
 Print Name

State of Florida
 My Commission Expires: 07-05-2025 (Check One) Personally known to me; OR Produced Identification D# P640 01070 4521

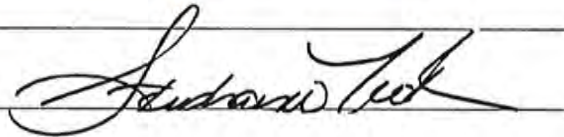
CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 7/16/24

PRINT NAME: Samuel Rogatinsky Date: _____

Signature of Consultant/Representative:  Date: 07/16/2024

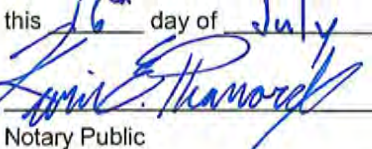
PRINT NAME: Stephanie J. Toothaker, Esq. Date: _____

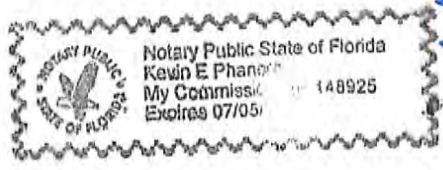
Signature of Tenant: _____ Date: _____


PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for permitting and development to my property, which is hereby made by me or I am hereby authorizing Stephanie J. Toothaker, Esq. to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 16th day of July

 Notary Public
 State of Florida




 Signature of Current Owner

Samuel Rogatinsky
 Print Name

My Commission Expires: 07-05-25 (Check One) Personally known to me; OR Produced Identification _____

KUSHNER REALTY ACQUISITION LLC
767 Fifth Avenue, 50th Floor
New York, New York 10153

August 14, 2023

City of Hollywood
Office of the City Clerk
2600 Hollywood Boulevard, Room 221
Hollywood, Florida 33020

Broward County
Broward County Administration
115 S. Andrews Avenue, Room 409
Fort Lauderdale 33301

Re: Agent Authorization Letter

To Whom it May Concern:

Please accept this letter of authorization permitting Stephanie J. Toothaker, Esq., Estefania Mayorga, and Roya Edwards of Stephanie J. Toothaker, Esq., P.A. (toothaker.org) to represent the interests of **KUSHNER REALTY ACQUISITION LLC** in connection with permitting of the properties located at 4220 and 4231 North 58th Avenue in the City of Hollywood and Broward County.

Sincerely,

KUSHNER REALTY ACQUISITION LLC,
a Foreign Limited Liability Company

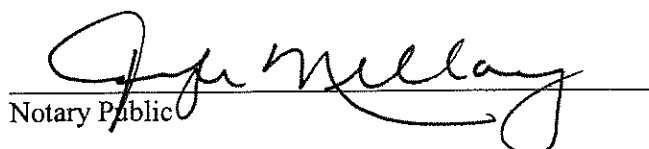
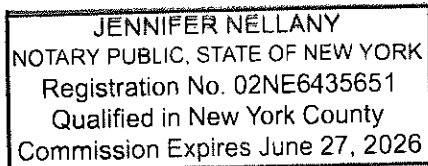


Name: Seryl Kushner
Title: Authorized Signatory

STATE OF NEW YORK
COUNTY OF NEW YORK

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this, 14th day of August, 2023, by Seryl Kushner as the Authorized Signatory of **KUSHNER REALTY ACQUISITION LLC**.

(Notary Seal)



Notary Public

Jennifer Nellany
Name typed, printed or stamped

Personally Known OR Produced Identification
Type of Identification Produced _____

KUSHNER REALTY ACQUISITION LLC
767 Fifth Avenue, 50th Floor
New York, New York 10153

August 14, 2023

City of Hollywood
Office of the City Clerk
2600 Hollywood Boulevard, Room 221
Hollywood, Florida 33020

Broward County
Broward County Administration
115 S. Andrews Avenue, Room 409
Fort Lauderdale 33301

Re: Agent Authorization Letter

To Whom it May Concern:

Please accept this letter of authorization permitting Stephanie J. Toothaker, Esq., Estefania Mayorga, and Roya Edwards of Stephanie J. Toothaker, Esq., P.A. (toothaker.org) to represent the interests of **KUSHNER REALTY ACQUISITION LLC** in connection with permitting of the properties located at 4220 and 4231 North 58th Avenue in the City of Hollywood and Broward County.

Sincerely,

KUSHNER REALTY ACQUISITION LLC,
a Foreign Limited Liability Company

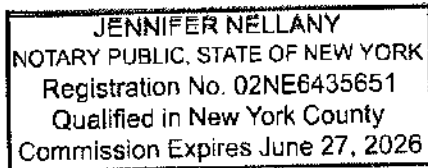


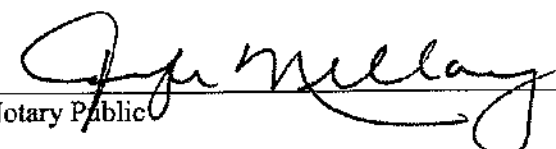
Name: Seryl Kushner
Title: Authorized Signatory

STATE OF NEW YORK
COUNTY OF NEW YORK

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this, 14th day of August, 2023, by Seryl Kushner as the Authorized Signatory of **KUSHNER REALTY ACQUISITION LLC**.

(Notary Seal)




Notary Public

Jennifer Nellany
Name typed, printed or stamped

Personally Known OR Produced Identification
Type of Identification Produced _____



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870



LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

A PORTION OF LOT 1, "**SEMINOLE ESTATES**", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 199.83 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "**SEMINOLE ESTATES**"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 196.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "**SEMINOLE ESTATES**"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES AND DISTANCES: 1) NORTH 84°10'08" EAST 290.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE **POINT OF BEGINNING**.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING A TOTAL OF 5.736 ACRES, MORE OR LESS.

NOTES:

1. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. GRID BEARINGS AND STATE PLANE COORDINATES SHOWN HEREON ARE RELATIVE TO "KEITH & SCHNARS, P.A. RESURVEY OF SECTIONS 1 THRU 30 TOWNSHIP 51 SOUTH, RANGE 41 EAST BROWARD COUNTY FLORIDA", AS RECORDED IN MISCELLANEOUS PLAT BOOK 6, PAGE 19, BROWARD COUNTY RECORDS, AS TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT. BEARINGS SHOWN HEREON ARE BASED ON A LINE BETWEEN THE NORTHWEST CORNER AND THE NORTHEAST CORNER OF SECTION 1-51-41 BEING N87°57'20"E
3. THIS IS NOT A SKETCH OF SURVEY AND DOES NOT REPRESENT A FIELD SURVEY.
4. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.

CLIENT: STEPHANIE J. TOOTHAKER ESQ.

SCALE: N/A

DRAWN: L.H.

ORDER NO.: 74367

DATE: 6/18/25

HOLLYWOOD OAKS

4220 & 4231 NORTH 58TH AVENUE

HOLLYWOOD, BROWARD COUNTY, FLORIDA

SHEET 1 OF 2

**John F
Pulice**

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

Digitally signed by

John F Pulice

Date: 2025.06.27

08:04:27 -04'00'

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.

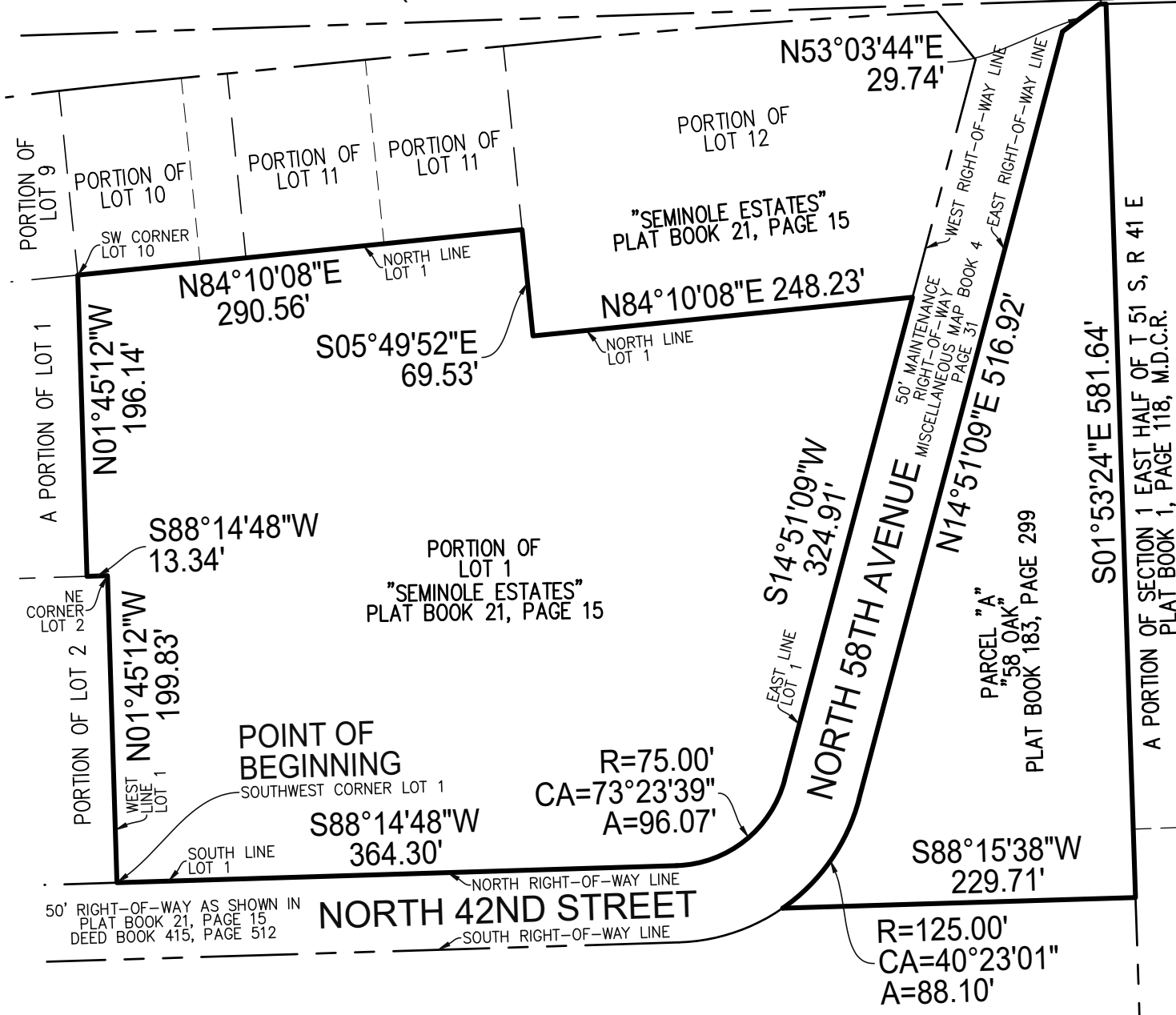
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870



STIRLING ROAD
(STATE ROAD NO. 848)

R=5676.58'
CA=0°02'47"
A=4.60'



CLIENT: STEPHANIE J. TOOTHAKER ESQ.	
SCALE: 1"=100'	DRAWN: L.H.
ORDER NO.: 74367	
DATE: 6/18/25	
HOLLYWOOD OAKS	
4220 & 4231 NORTH 58TH AVENUE	
HOLLYWOOD, BROWARD COUNTY, FLORIDA	

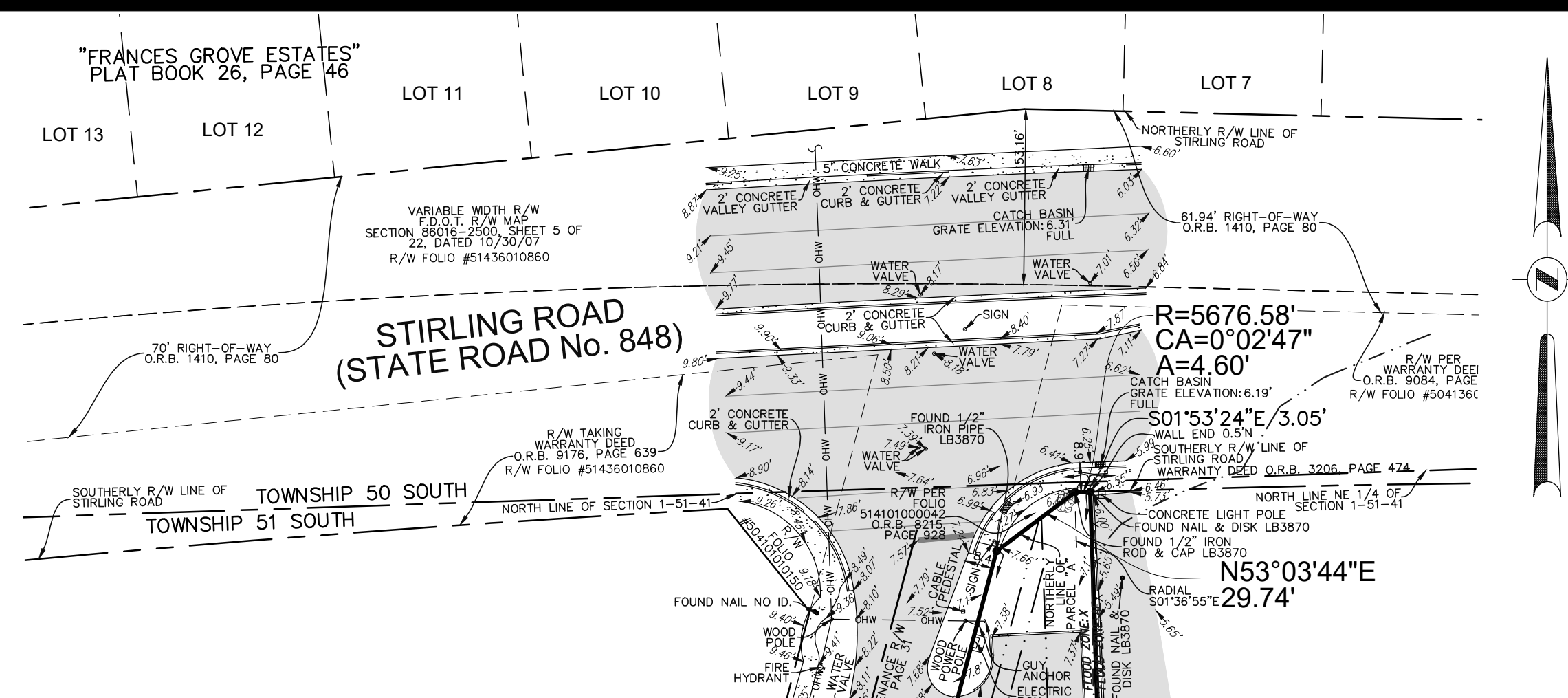
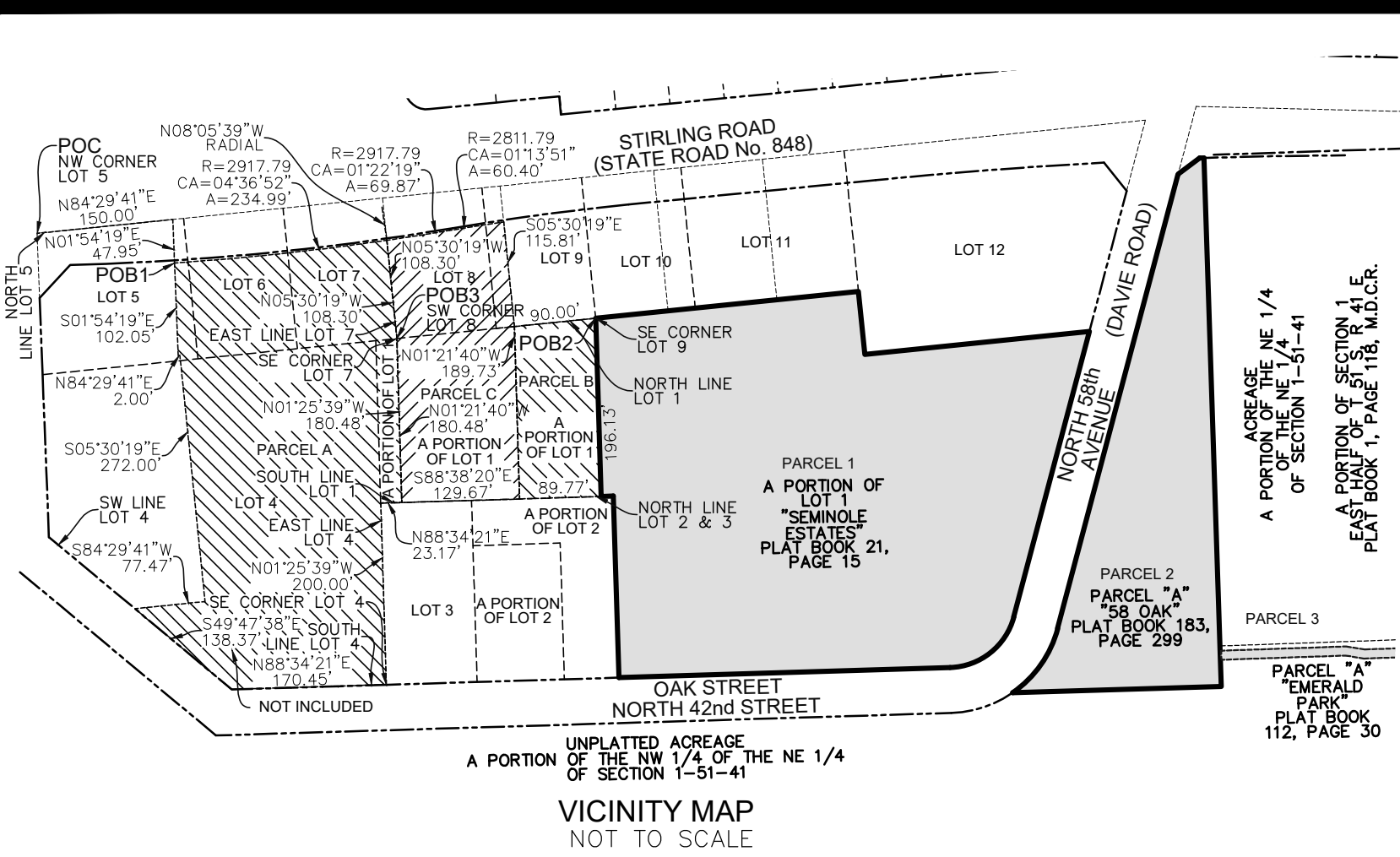
SHEET 2 OF 2



THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

LEGEND & ABBREVIATIONS:

M,D,C,R, MIAMI-DADE COUNTY RECORDS
O.R.B. OFFICIAL RECORDS BOOK



LEGAL DESCRIPTION:

PARCEL 1:
ALL OF THE PLAT OF 58 OAK, RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:
LOT 1 OF THE SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTIONS DESCRIBED AS FOLLOWS:

PARCEL A:
A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5; THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING; THENCE CONTINUE SOUTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET; THENCE SOUTH 5°30'19" EAST 272 FEET; THENCE SOUTH 84°29'41" WEST 77.47 FEET TO THE SOUTHWEST LINE OF SAID LOT 4; THENCE SOUTH 49°47'38" EAST ALONG SAID SOUTHWEST LINE 138.37 FEET; THENCE NORTH 88°34'21" EAST ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 170.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4; THENCE NORTH 1°25'39" WEST ALONG THE EAST LINE OF LOT 4, A DISTANCE OF 200 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88°34'21" EAST ALONG THE LAST DESCRIBED SOUTH LINE 23.17 FEET; THENCE NORTH 1°25'39" WEST PARALLEL WITH THE WEST LINE OF LOT 1, A DISTANCE OF 180.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 5°30'19" WEST ALONG THE EAST LINE OF LOT 7, A DISTANCE OF 108.50 FEET TO A POINT ON A NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 2917.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING, SAID CURVE FORMING THE SOUTH RIGHT OF WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 86516-2602.

PARCEL B:
LOT 9, LESS THE WEST 20.0 FEET THEREOF, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOT 1 OF SAID SEMINOLE ESTATES, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH LINE OF LOT 2 OF SAID SEMINOLE ESTATES; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID SEMINOLE ESTATES 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT 9; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 90.0 FEET TO THE POINT OF BEGINNING.

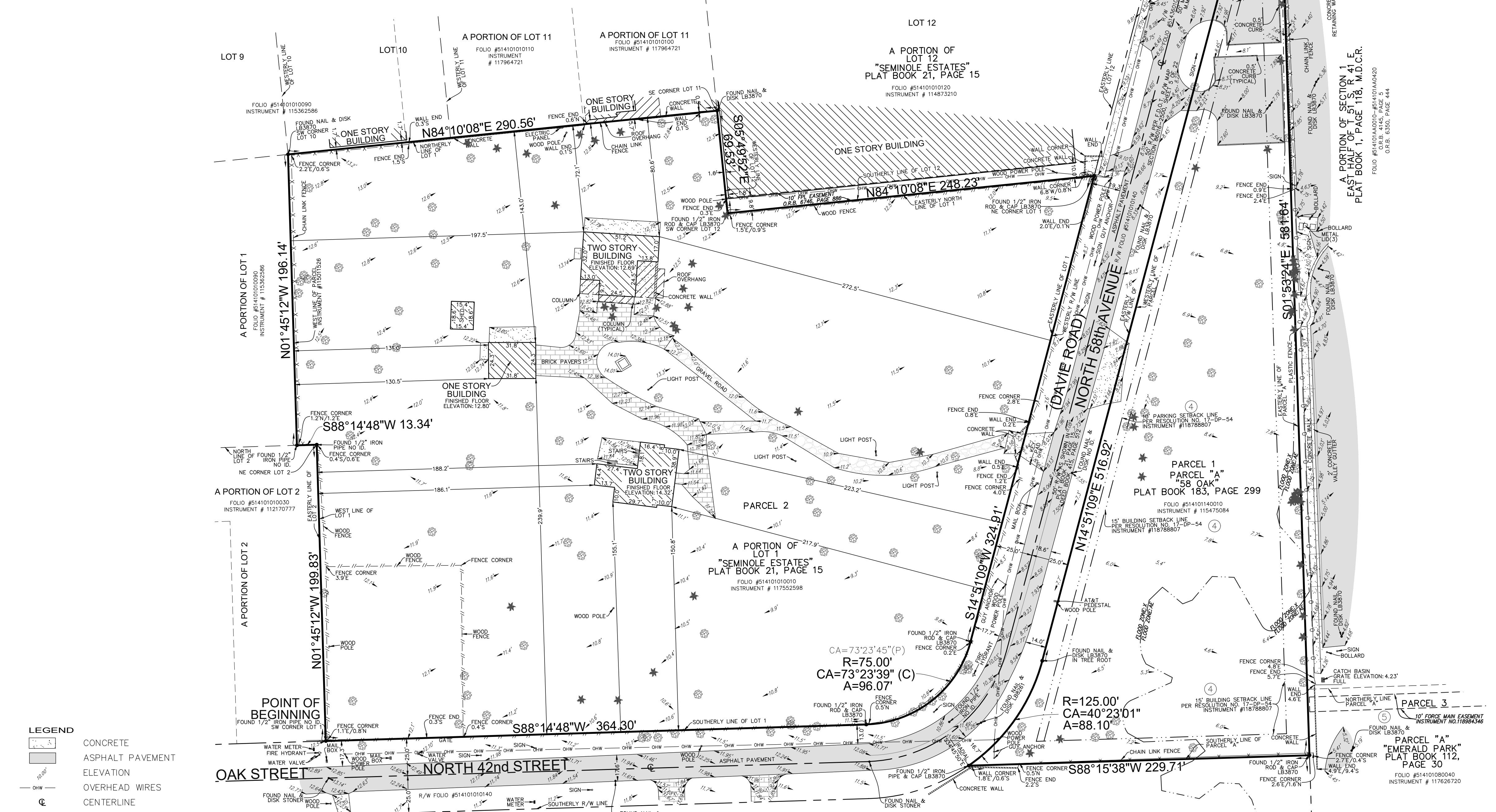
PARCEL C:
LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING; THENCE ON AN ASSUMED BEARING OF NORTH 05°30'19" WEST A DISTANCE OF 108.30 FEET TO A POINT ON THE ARC OF A CONCAVE CURVE, NON-TANGENT, NORTHEASTERLY, HAVING A RADIUS OF 2,917.79 FEET, A CENTRAL ANGLE OF 0°12'21" AND AN ARC DISTANCE OF 69.87 FEET TO THE POINT OF A REVERSE CURVATURE OF A CIRCULAR CURVE SOUTHEASTERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2,811.79 FEET, A CENTRAL ANGLE OF 0°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40" WEST A DISTANCE OF 180.48 FEET TO THE POINT OF BEGINNING.

PARCEL 3:
NON-EXCLUSIVE EASEMENTS CONTAINED IN THAT EASEMENT AGREEMENT RECORDED JULY 18, 2023, UNDER INSTRUMENT NO. 118984346.

PARCEL 1 AND 2 ALSO BEING DESCRIBED AS:
PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:
A PORTION OF LOT 1, "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 198.73 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 198.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "SEMINOLE ESTATES"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX ARCS: 1) NORTH 05°30'19" WEST 220.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 249,853 SQUARE FEET (5.7359 ACRES) MORE OR LESS



- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - ELEVATION
 - OVERHEAD WIRES
 - CENTERLINE
 - RADIUS
 - CA CENTRAL ANGLE
 - A ARC LENGTH
 - FPL FLORIDA POWER & LIGHT COMPANY
 - LB LICENSED BUSINESS
 - M.M.B. MISCELLANEOUS MAP BOOK
 - O.R.B. OFFICIAL RECORDS BOOK
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - R/W RIGHT-OF-WAY
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - EXCEPTION NUMBER
 - PALM TREE
 - TREE

CERTIFICATION:
TO 58 OAK, LLC; FOREMOST TITLE & ESCROW SERVICES LLC; SAGEOAKS LLC, A FLORIDA LIMITED LIABILITY COMPANY; KUSHNER REALTY ACQUISITIONS LLC, A DELAWARE LIMITED LIABILITY COMPANY AND ITS SUCCESSORS AND ASSIGNS; GREENBERG TRAUIG, P.A. AND CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, & 9 OF TABLE THEREOF IN THE FIELDWORK.

DATE OF PLAT OR MAP: 10/21/24

John F. Pulice
Digitally signed by
John F. Pulice
Date: 2024.11.08
09:30:39 -0500

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER #125691
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER #56274
MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER #PSM5660 STATE OF FLORIDA

NO.	REVISIONS	BY
6	#12285 UPDATE SURVEY 10/21/24	L.H.
5	#1280 ADD OWNERSHIP & ENCUMBRANCE REPORT 8/29/24	M.M.B.
4	UPDATE PROPERTY INFO REPORT 8/29/24	A.S.
3	REVISED CERTIFICATIONS & ADDED NOTE 13	J.P.P.
2	#12180 UPDATE SURVEY LOCATE TREES 9/25/23	J.M.
1	#8800 ORIGINAL SURVEY 6/30/21	E.H.

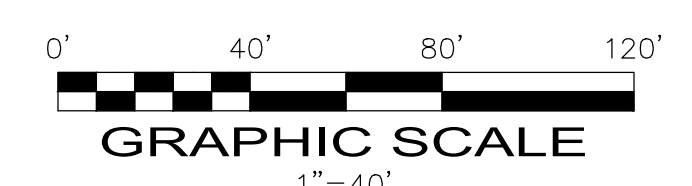
HOLLYWOOD OAKS SITE
4220 & 4231 N 58TH AVE
HOLLYWOOD, FLORIDA, 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: L.H. SCALE: 1" = 40' CLIENT: ARCO/MURRAY
CHECKED BY: J.F.P. SURVEY DATE: 10/21/24 ORDER NO.: 73269



TREE TABLE INFO

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
1	OAK TREE	36"	50'	30'
2	OAK TREE	15"	6'	15'
3	OAK TREE	12"	20'	25'
4	OAK TREE	15"	10'	15'
5	OAK TREE	18"	10'	15'
6	OAK TREE	18"	25'	30'
7	OAK TREE	42"	50'	30'
8	OAK TREE	15"	10'	40'
9	OAK TREE	12"	15'	15'
10	OAK TREE	20"	20'	45'
11	OAK TREE	36"	25'	45'
12	OAK TREE	20"	15'	25'
13	OAK TREE	18"	15'	45'
14	OAK TREE	20"	25'	45'
15	OAK TREE	20"	25'	45'
16	OAK TREE	24"	30'	35'
17	OAK TREE	20"	30'	35'
18	OAK TREE	20"	30'	35'
19	OAK TREE	24"	30'	40'
20	OAK TREE	36"	50'	45'
21	OAK TREE	60"	60'	40'
22	OAK TREE	28"	50'	45'
23	OAK TREE	28"	20'	35'
24	OAK TREE	32"	40'	35'
25	OAK TREE	36"	60'	40'
26	PALM TREE	12"	10'	45'
27	PALM TREE	18"	20'	35'
28	PALM TREE	18"	10'	20'
29	OAK TREE	32"	30'	50'
30	OAK TREE	32"	30'	40'
31	OAK TREE	18"	35'	35'
32	OAK TREE	24"	20'	35'
33	OAK TREE	24"	20'	35'
34	OAK TREE	12"	15'	25'
35	OAK TREE	12"	101'	20'
36	OAK TREE	18"	25'	25'
37	PALM TREE	12"	10'	12'
38	PALM TREE	18"	10'	20'
39	OAK TREE	32"	15'	30'
40	OAK TREE	28"	15'	25'
41	UNIDENTIFIED TREE	8"	10'	10'
42	PALM TREE	24"	10'	40'
43	PALM TREE	24"	10'	35'
44	OAK TREE	18"	15'	20'
45	PALM TREE	15"	10'	35'
46	OAK TREE	20"	15'	25'
47	OAK TREE	36"	20'	20'
48	PALM TREE	24"	15'	35'
49	OAK TREE	15"	15'	15'
50	OAK TREE	60"	35'	30'
51	OAK TREE	20"	20'	25'
52	OAK TREE	20"	20'	25'
53	OAK TREE	32"	25'	30'
54	OAK TREE	12"	15'	10'
55	PALM TREE CLUSTERX4	36"	20'	35'
56	PALM TREE CLUSTERX3	26"	15'	20'
57	OAK TREE	32"	20'	25'
58	PALM TREE CLUSTERX3	24"	15'	30'
59	OAK TREE	30"	20'	22'
60	OAK TREE	48"	20'	30'
61	PALM TREE	5"	10'	10'
62	PALM TREE	5"	10'	10'

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
63	PALM TREE	5"	10'	10'
64	PALM TREE	5"	10'	10'
65	PALM TREE	5"	10'	10'
66	PALM TREE	5"	10'	10'
67	PALM TREE	5"	10'	10'
68	PALM TREE	5"	10'	10'
69	OAK TREE	28"	15'	15'
70	PALM TREE	18"	10'	15'
71	PALM TREE	4"	5'	15'
72	PALM TREE	4"	5'	15'
73	PALM TREE	4"	5'	15'
74	PALM TREE	4"	5'	25'
75	PALM TREE	4"	5'	25'
76	PALM TREE	4"	5'	25'
77	PALM TREE	4"	5'	20'
78	PALM TREE	6"	5'	20'
79	PALM TREE	4"	5'	25'
80	PALM TREE	5"	5'	20'
81	OAK TREE	18"	10'	15'
82	OAK TREE	24"	15'	25'
83	OAK TREE	24"	15'	25'
84	BLACK OLIVE	15"	15'	15'
85	PALM TREE	18"	10'	20'
86	OAK TREE	24"	20'	25'
87	PALM TREE	15"	10'	15'
88	PALM TREE	12"	10'	15'
89	STRANGLER TREE	15"	15'	15'
90	MANGO TREE	18"	25'	25'
91	OAK TREE	38"	40'	40'
92	UNIDENTIFIED TREE	8"	10'	15'
93	UNIDENTIFIED TREE	24"	25'	20'
94	PALM TREE	10"	10'	15'
95	PALM TREE	15"	10'	20'
96	PALM TREE	15"	10'	20'
97	OAK TREE	48"	40'	45'
98	PALM TREE	15"	15'	40'
99	UNIDENTIFIED TREE	15"	10'	10'
100	OAK TREE	60"	50'	50'
101	OAK TREE	48"	35'	45'
102	OAK TREE	48"	35'	45'
103	OAK TREE	30"	25'	30'
104	OAK TREE	30"	25'	30'
105	OAK TREE	48"	35'	45'
106	OAK TREE	24"	25'	35'
107	MANGO TREE	24"	25'	35'
108	MANGO TREE	24"	25'	35'
109	MANGO TREE	24"	25'	35'
110	LIGUSTRUM TREE	60"	45'	50'
111	OAK TREE	32"	25'	30'
112	OAK TREE	15"	25'	30'
113	UNIDENTIFIED TREE	15"	10'	45'
114	UNIDENTIFIED TREE	12"	10'	30'
115	UNIDENTIFIED TREE	12"	10'	30'
116	UNIDENTIFIED TREE	10"	10'	25'
117	OAK TREE	36"	35'	40'
118	PALM TREE	15"	10'	25'
119	OAK TREE	40"	25'	35'
120	OAK TREE	62"	25'	40'
121	OAK TREE	24"	25'	30'
122	MANGO TREE	15"	30'	30'
123	MANGO TREE	15"	30'	30'
124	UNIDENTIFIED TREE	15"	15'	15'

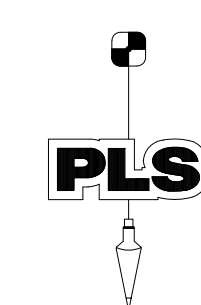
Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
125	OAK TREE	24"	30'	35'
126	OAK TREE	38"	30'	35'
127	OAK TREE	38"	30'	35'
128	OAK TREE	38"	30'	50'
129	OAK TREE	38"	30'	50'
130	OAK TREE	38"	30'	50'
131	OAK TREE	38"	30'	50'
132	MANGO TREE	18"	20'	15'
133	OAK TREE	24"	15'	20'
134	OAK TREE	24"	25'	40'
135	PALM TREE	8"	10'	25'
136	PALM TREE	18"	10'	15'
137	OAK TREE	20"	15'	25'
138	PALM TREE	12"	10'	30'
139	PALM TREE	18"	10'	15'
140	PALM TREE	12"	10'	20'
141	MANGO TREE	18"	25'	25'
142	UNIDENTIFIED TREE	12"	15'	15'
143	PALM TREE	10"	15'	25'
144	UNIDENTIFIED TREE	15"	10'	10'
145	MANGO TREE	24"	30'	25'
146	MANGO TREE	24"	30'	25'
147	MANGO TREE	24"	30'	25'
148	PALM TREE	12"	10'	15'
149	PALM TREE	12"	10'	15'
150	PALM TREE	15"	10'	15'
151	PALM TREE	12"	10'	10'
152	PALM TREE	8"	10'	8'
153	PALM TREE	10"	10'	20'
154	PALM TREE	10"	10'	25'
155	PALM TREE	8"	10'	15'
156	PALM TREE	10"	10'	8'
157	PALM TREE	12"	10'	8'
158	PALM TREE	10"	10'	15'
159	OAK TREE	36"	20'	35'
160	OAK TREE	60"	30'	40'
161	OAK TREE	38"	20'	40'
162	OAK TREE	38"	20'	40'
163	OAK TREE	60"	20'	40'
164	PALM TREE	12"	10'	15'
165	MANGO TREE	24"	35'	30'
166	OAK TREE	28"	35'	40'
167	OAK TREE	15"	15'	20'
168	UNIDENTIFIED TREE	28"	15'	25'
169	OAK TREE	15"	20'	20'
170	OAK TREE	36"	20'	40'
171	OAK TREE	36"	20'	40'
172	OAK TREE	18"	20'	40'
173	OAK TREE	36"	20'	40'
174	OAK TREE	36"	20'	40'
175	PALM TREE	15"	10'	10'
176	OAK TREE	36"	25'	35'
177	PALM TREE	12"	10'	25'
178	OAK TREE	18"	25'	30'
179	UNIDENTIFIED TREE	10"	10'	20'
180	PALM TREE	12"	10'	25'
181	OAK TREE	28"	15'	35'
182	OAK TREE	28"	15'	35'
183	OAK TREE	28"	15'	35'
184	OAK TREE	28"	15'	35'
185	OAK TREE	40"	25'	35'
186	OAK TREE	72"	35'	40'
187	UNIDENTIFIED TREE	15"	15'	10'

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

HOLLYWOOD OAKS SITE
4220 & 4231 N 58TH AVE
HOLLYWOOD, FLORIDA, 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.
CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 9/25/23

CLIENT: KUSHNER
ORDER NO.: 71830



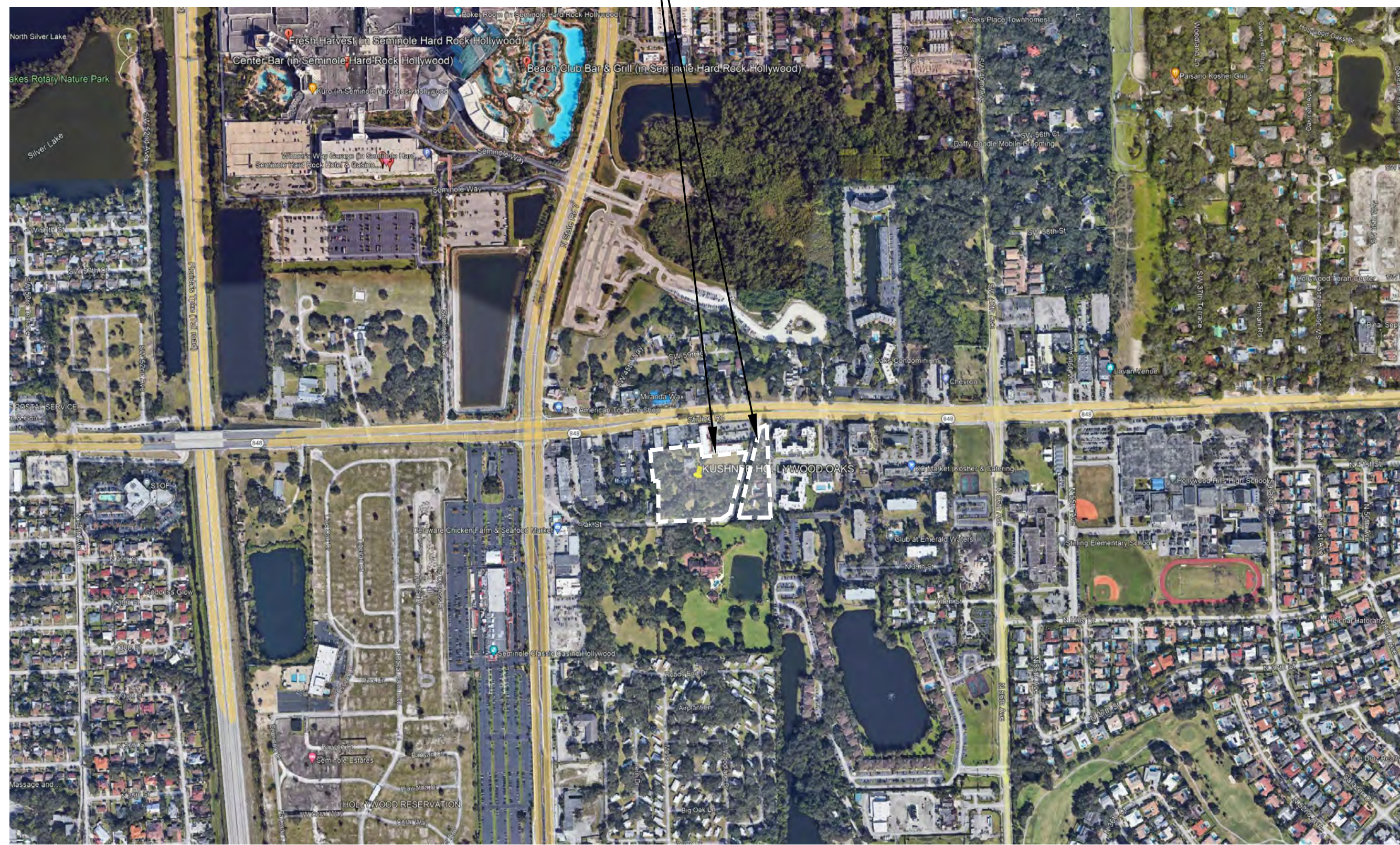






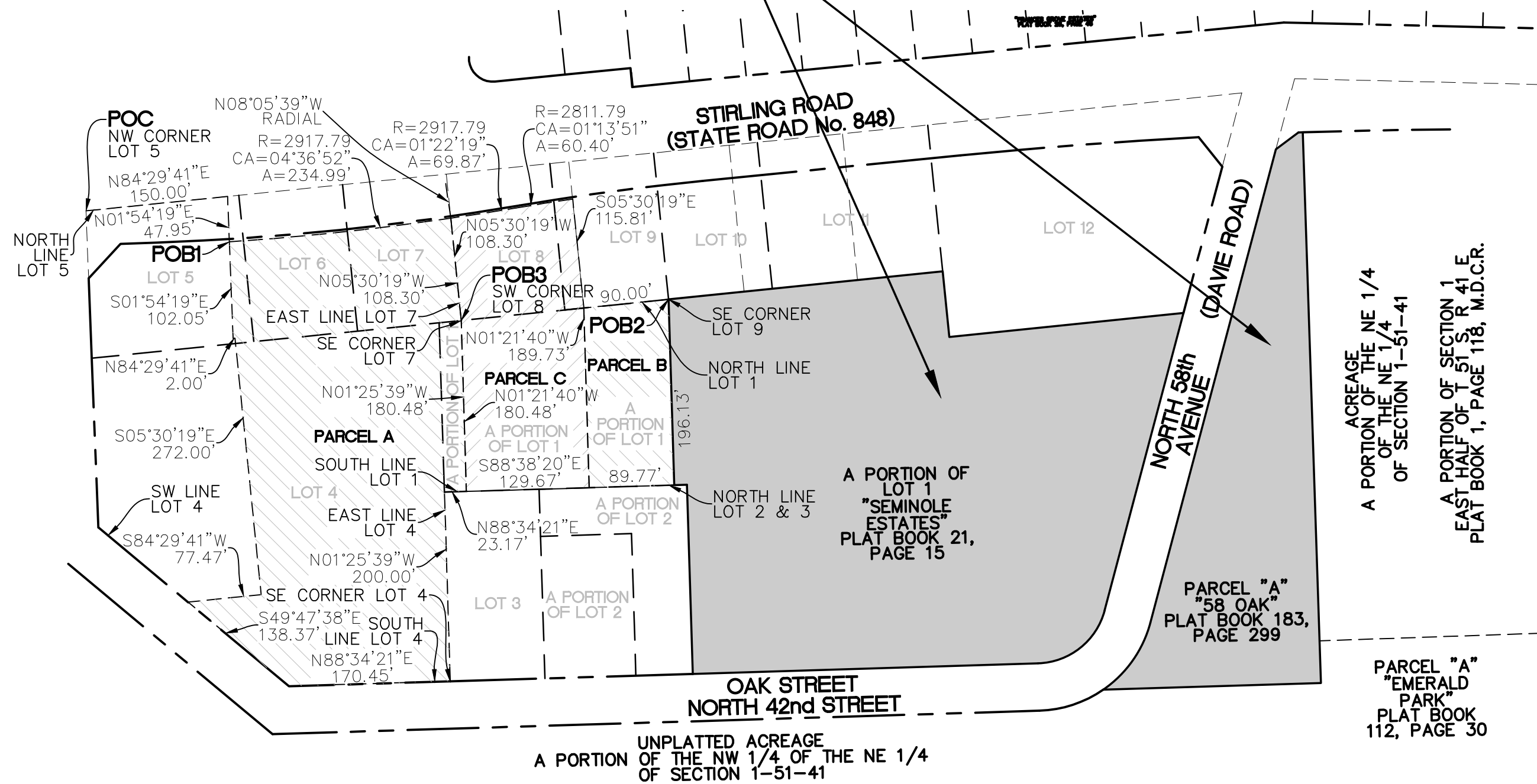


**HOLLYWOOD OAKS:
4220 & 4231 N 58TH AVE**



AERIAL MAP
SCALE: N.T.S.

**HOLLYWOOD OAKS:
4220 & 4231 N 58TH AVE**



LOCATION MAP
SCALE: N.T.S.

LEGAL DESCRIPTION

LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

LOT 1 OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTIONS DESCRIBED AS FOLLOWS:

PARCEL A:
A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5; THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING 1; THENCE CONTINUE SOUTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET; THENCE SOUTH 5°30'19" EAST 272 FEET; THENCE SOUTH 84°29'41" WEST 77.47 FEET TO THE SOUTHWEST LINE OF SAID LOT 4; THENCE SOUTH 49°47'38" EAST ALONG SAID SOUTHWEST LINE 138.37 FEET; THENCE NORTH 88°34'21" EAST ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 170.45 FEET TO THE SOUTHEAST CORNER OF LOT 4; THENCE NORTH 01°25'39" WEST ALONG THE EAST LINE OF LOT 4, A DISTANCE OF 200 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88°34'21" EAST ALONG THE LAST DESCRIBED SOUTH LINE 23.17 FEET; THENCE NORTH 1°25'39" WEST PARALLEL WITH THE WEST LINE OF LOT 1, A DISTANCE OF 180.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 5°30'19" WEST ALONG THE EAST LINE OF LOT 7, A DISTANCE OF 108.30 FEET TO A POINT ON A NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 291.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING 1, SAID CURVE FORMING THE SOUTH RIGHT OF WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 86516-2602.

PARCEL B:
LOT 9, LESS THE WEST 20.0 FEET THEREOF, "SEMINOLE ESTATES", AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOT 1 OF SAID "SEMINOLE ESTATES", DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES" 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT 9; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 90.0 FEET TO THE POINT OF BEGINNING.

PARCEL C:
LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, "SEMINOLE ESTATES", AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING 3; THENCE ON AN ASSUMED BEARING OF NORTH 05°30'19" WEST A DISTANCE OF 108.30 FEET TO A POINT ON THE ARC OF A CONCAVE CURVE NON-TANGENT, NORTHEASTERLY, HAVING A RADIUS OF 2,917.79 FEET, A CENTRAL ANGLE OF 01°22'19" AND AN ARC DISTANCE OF 69.87 FEET TO THE POINT OF A REVERSE CURVATURE OF A CIRCULAR CURVE SOUTHEASTERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2,811.79 FEET, A CENTRAL ANGLE OF 01°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40" WEST A DISTANCE OF 180.48 FEET TO THE POINT OF BEGINNING 3.

SURVEYOR'S LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

A PORTION OF LOT 1, "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 199.83 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 196.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "SEMINOLE ESTATES"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES AND DISTANCES: 1) NORTH 84°10'08" EAST 280.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 249,853 SQUARE FEET (5.7359 ACRES) MORE OR LESS

PD MODIFICATIONS

- FRONT SETBACK OF 15' PROPOSED WHERE A MINIMUM 25' IS REQUIRED PER SECTION 4.15, PD REQUIREMENTS.
- REDUCE THE MINIMUM OFF-STREET PARKING REQUIREMENTS PER SECTION 4.15 PD REQUIREMENTS AS DETAILED IN THE SUBMITTED PARKING NEEDS STUDY DATES FEBRUARY 19, 2025.

PD WAIVERS

- REDUCE THE MINIMUM REQUIRED PD SIZE FROM 10.0 ACRES TO 5.74 ACRES PER SECTION 4.15 PD REQUIREMENTS.

PRELIMINARY TAC SUBMITTAL September 16, 2024
FINAL TAC SUBMITTAL December 02, 2024
TAC REV. 1 SUBMITTAL January 27, 2025
TAC REV. 2 SUBMITTAL May 09, 2025
TAC REV. 3 SUBMITTAL June 30, 2025

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, RA
 LICENSE No.: AR 0093067
 ANDREW STARR, RA
 LICENSE No.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-1363
 FACSIMILE: (305) 592-6865
<http://www.ppkarch.com>

Copyright © PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES, ARCHITECTS + PLANNERS. The architectural design and detail drawings of this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

- TAC - REV. 1 - 2025.02.10
- TAC - REV. 2 - 2025.05.09
- TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
 260 95th Street
 Suite 201
 Surfside, FL 33154

4220 N 58TH AVE.
 BY **KUSHNER**
 HOLLYWOOD, FLORIDA

SEAL:



COVER SHEET

LOCATION PLAN
 DATE: 2024-06-30
 SCALE: AS SHOWN
 DRAWN: SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26

C-0

SHEET NO.:

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS + PLANNERS. The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS+PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, RA
 LICENSE No.: AR 0093067
 ANDREW STARR, RA
 LICENSE No.: AR 0095130

1300 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE : (305) 592-1363
 FACSIMILE : (305) 592-6865
<http://www.ppkarch.com>

COPYRIGHT © PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES, ARCHITECTS + PLANNERS. The architectural design and detail drawings of this building and/or overall project are the legal property of, and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

**4220 N 58TH AVE.
RESIDENTIAL BUILDING**
 HOLLYWOOD, FLORIDA

BY: **KUSHNER**
 260 95th STREET
 SUITE 201
 SURFSIDE, FL 33154

**PASCUAL,
PEREZ,
KILIDDJIAN,
STARR & ASSOC.**

**INDEX OF DRAWINGS:
ARCHITECTURAL**

- | | | |
|---|---|--|
| 1. R-1 RENDER 1 - CORNER | 12. MSP-2 MASTER SITE PLAN / DIAGRAMS | 23. SP-4.3 ROOF PLAN |
| 2. R-2 RENDER 2 - ENTRY | 13. MSP-3 MASTER SITE PLAN / DIAGRAMS | 24. SP-5 SITE PLAN / DETAILS |
| 3. R-3 RENDER 3 - GARAGE ENTRY SOUTH | 14. FP-1 FIRE SET-UP PLAN | 25. SP-6 SITE PLAN / DETAILS |
| 4. R-4 RENDER 4 - SYNAGOGUE | 15. SP-1.2 PERVIOUS AND IMPERVIOUS PLAN | 26. SP-7 GARAGE NATURAL VENTILATION CALCS. |
| 5. R-5 RENDER 5 - GARAGE NORTH | 16. SP-2 SECOND FLOOR PLAN | 27. A-1 RESIDENTIAL BUILDING ELEVATIONS |
| 6. R-6 RENDER 6 - GARAGE WEST | 17. SP-3.1 3RD FLOOR PLAN | 28. A-2 RESIDENTIAL BUILDING ELEVATIONS |
| 7. R-7 RENDER 7 - AMENITY ENTRANCE | 18. SP-3.2 4TH FLOOR PLAN | 29. SA-1 CLUBHOUSE FLOOR PLAN |
| 8. C-0 COVER SHEET - LOCATION MAP | 19. SP-3.3 5TH FLOOR PLAN | 30. SA-2 CLUBHOUSE ELEVATIONS |
| 9. SP-1.1 SITE PLAN / GROUND FLOOR | 20. SP-3.4 6TH FLOOR PLAN | 31. SA-3.1 CLUBHOUSE ELEVATIONS |
| 10. SP-1.1.2 VISIBILITY TRIANGLES DIAGRAM | 21. SP-4 7TH FLOOR PLAN | 32. SA-3.2 CLUBHOUSE RENDER ELEVATIONS |
| 11. MSP-1 MASTER SITE PLAN | 22. SP-4.2 8TH FLOOR PLAN | 33. SA-3.3 CLUBHOUSE RENDER ELEVATIONS |



VIEW OF RESIDENTIAL BUILDING CORNER
OAK STREET & DAVIE ROAD

RENDER 1

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



VIEW OF THE EAST DROP-OFF AREA
VIEW FROM DAVIE ROAD (N 58th AVE)

RENDER 2

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE No. : AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No. : AR 0008254
PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067
ANDREW STARR, RA
LICENSE No. : AR 0095130

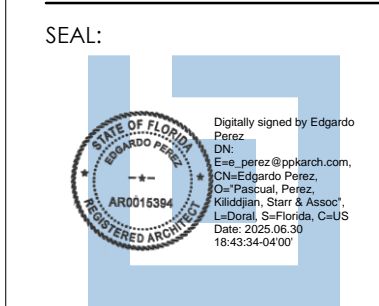
AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
<http://www.ppkorarch.com>

CONTRACT NO. 2024-06-30-001
STARR, ARCHITECTS - PLANNERS
The architectural design and detail drawings of this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, distribution or distribution is prohibited unless authorized in writing by the Architect.

- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA



SITE PLAN

RENDERS
DATE : 2024-06-30
SCALE : AS SHOWN
DRAWN : SJ
CHECK BY: MP / PK
JOB NO. : 24-26

R-2

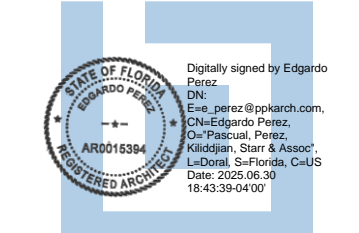
SHEET NO. :

- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



SITE PLAN

RENDERS
DATE : 2024-06-30
SCALE : AS SHOWN
DRAWN : SJ
CHECK BY : MP / PK
JOB NO. : 24-26

R-3

SHEET NO. :



**SOUTH GARAGE ENTRY AND RESIDENTIAL BUILDING SOUTH ELEVATION
VIEW FROM OAK STREET (N 42nd ST)**

RENDER 3

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



VIEW OF SYNAGOGUE FROM ENTRY DRIVE
(SYNAGOGUE SOUTH-WEST CORNER VIEW)

RENDER 4

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

EDGARDO PEREZ, AIA

LICENSE No. : AR 0015394

MARIO P. PASCUAL, AIA

LICENSE No. : AR 0008254

PETER KILIDDJIAN, RA

LICENSE No. : AR 0093067

ANDREW STARR, RA

LICENSE No. : AR 0095130

AT THE BEACON CENTER

1330 NW 84th AVENUE

DORAL, FLORIDA 33126

TELEPHONE: (305) 592-1363

FACSIMILE: (305) 592-6865

<http://www.ppkarch.com>

CONSENT OF PASCUAL, PEREZ, KILIDDJIAN
STARR ARCHITECTS - PLANNERS

The architectural design and detail drawings

of this building and/or other project are the

legal property of and all rights are reserved

by the Architect. Their use for reproduction,

distribution or distribution (in whole or in part)

is authorized in writing by the Architect.

REVISIONS:

1 TAC - REV. 1 - 2025.02.10

2 TAC - REV. 2 - 2025.05.09

3 TAC - REV. 3 - 2025.06.30

OWNER:

KUSHNER

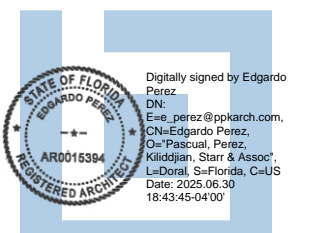
260 95th Street

Suite 201

Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



SITE PLAN

RENDERS

DATE: 2024-06-30

SCALE: AS SHOWN

DRAWN: SJ

CHECK BY: MP / PK

JOB NO.: 24-26

R-4

SHEET NO.:

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



PARKING GARAGE
NORTH - WEST ELEVATION VIEW

RENDER 5

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

EDGARDO PEREZ, AIA

LICENSE No. : AR 0015394

MARIO P. PASCUAL, AIA

LICENSE No. : AR 0008254

PETER KILIDDJIAN, RA

LICENSE No. : AR 0093067

ANDREW STARR, RA

LICENSE No. : AR 0095130

AT THE BEACON CENTER

1330 NW 84th AVENUE

DORAL, FLORIDA 33126

TELEPHONE: (305) 592-1363

FACSIMILE: (305) 592-6865

<http://www.ppkarch.com>

CONCEPT ARCHITECTS, INC. / KILIDDJIAN
STARR ARCHITECTS - PLANNERS

The architectural design and detail drawings
of this building and/or overall project are the
legal property of, and all rights are reserved
by the Architect. Their use for reproduction,
distribution or otherwise (in whole or in part)
without the written consent of the Architect
is prohibited.

REVISIONS:

1 TAC - REV. 1 - 2025.02.10

2 TAC - REV. 2 - 2025.05.09

3 TAC - REV. 3 - 2025.06.30

OWNER:

KUSHNER

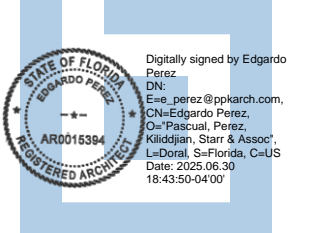
260 95th Street

Suite 201

Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



SITE PLAN

RENDERS

DATE : 2024-06-30

SCALE : AS SHOWN

DRAWN : SJ

CHECK BY: MP / PK

JOB NO. : 24-26

R-5

SHEET NO. :

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



PARKING GARAGE
SOUTH - WEST ELEVATION VIEW

RENDER 6

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE No.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067
ANDREW STARR, RA
LICENSE No.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
<http://www.ppkorrch.com>

CONTRACT NO. PASCUAL, PEREZ, KILIDDJIAN & STARR ARCHITECTS - PLANNERS
The architectural design and detail drawings of this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

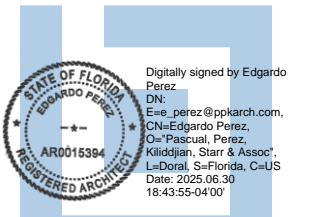
- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30

OWNER:

KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



SITE PLAN

RENDERS

DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

R-6

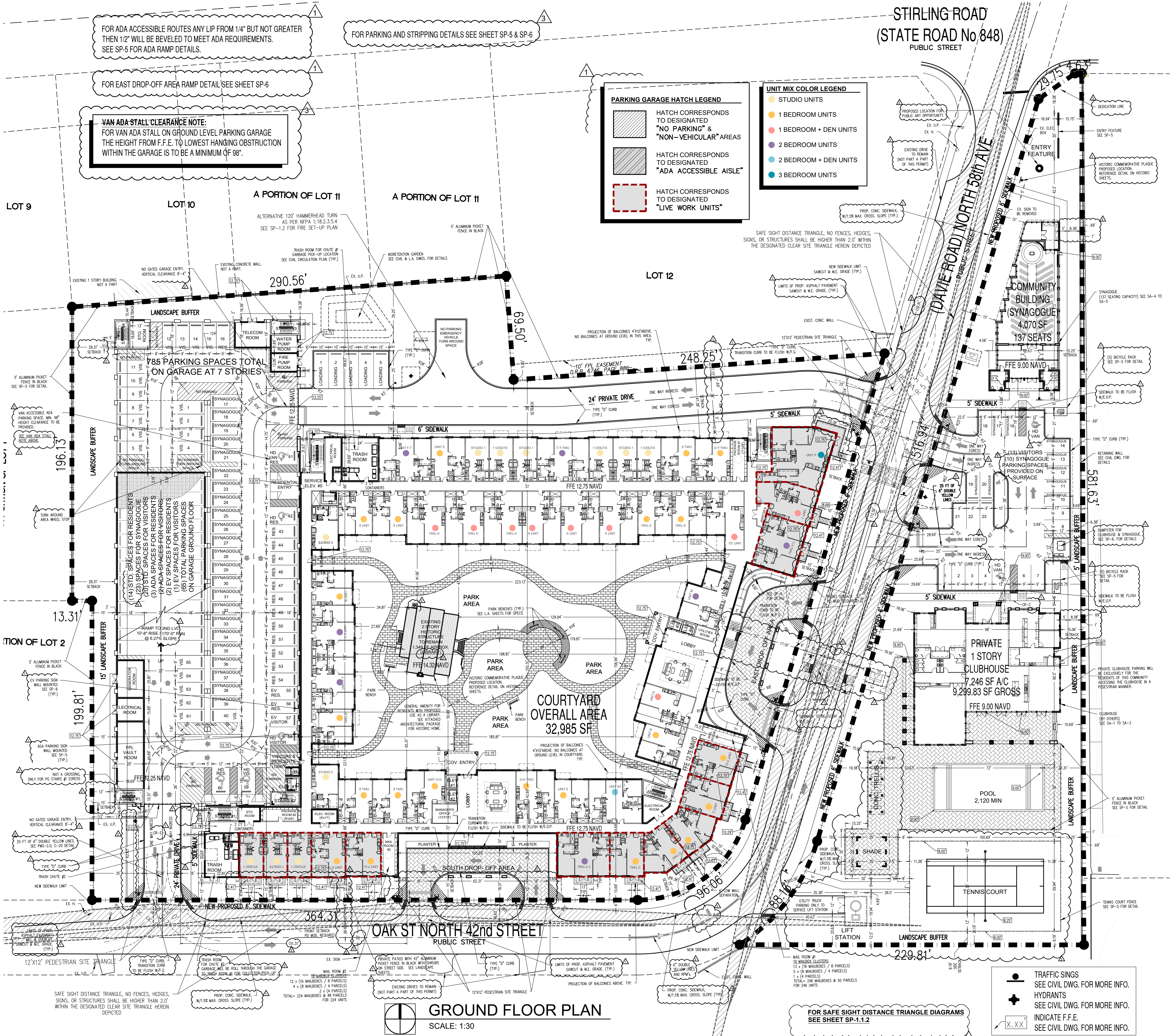
SHEET NO.:



VIEW OF CLUBHOUSE (AMENITY) ENTRY FROM SURFACE PARKING
(CLUBHOUSE NORTH ELEVATION VIEW)

RENDER 7

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



FOR FIRE SET-UP PLAN SEE FP-1
FOR LIFE SAFETY PLAN SEE LS-1 TO LS-5
FOR PERVIOUS/ IMPERVIOUS DIAGRAM SEE SP-1.2
FOR SITE PLAN NOTES SEE SP-2
FOR UNIT BREAKDOWN TABLE SEE SP-3
FOR SITE PLAN DETAILS SEE SP-5 & SP-6

SITE DATA		
ZONING: PDD - PLANNED DEVELOPMENT DISTRICT	SF	ACRES
GROSS AREA	249,853.00	5.74
NET AREA	249,853.00	5.74
DENSITY PROVIDED	# OF UNITS	DUA (GROSS)
8 STORES BLDG	470	81.94
MINIMUM UNIT SIZE	650 SF REQUIRED	540 SF PROVIDED
UNIT BREAKDOWN		
STUDIO		88
1 BEDROOM		148
1 BEDROOM + DEN		98
2 BEDROOM		84
2 BEDROOM + DEN		44
3-BEDROOM		8
TOTAL UNITS PROVIDED		470
PARKING BREAKDOWN		
RESIDENTIAL MULTIFAMILY INCLUDING 1.5 PER UNIT (423 UNITS)	635	635
RESIDENTIAL AFFORDABLE HOUSING UNITS PARKING 1 PER UNIT (47 UNITS)	47	47
GUEST PARKING 1 PER 5 UNITS	94	94
SYNAGOGUE - PLACE OF WORSHIP (1 PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 FIXED SEATS)	69	33
TOTAL	844	809
TOTAL MISSING SPACES		36
SPACES PROVIDED ON (7-story) GARAGE		
SPACES PROVIDED ON SURFACE		23
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	3	3
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (1 PER 100-200 SF OF PARKING SPACES)	42	52
AREA CALCULATIONS		
RESIDENTIAL BLDG. FOOTPRINT	55,651.54	%
GARAGE BLDG. FOOTPRINT	39,734.86	
CLUBHOUSE FOOTPRINT	9,299.83	
COMMUNITY BLDG. (SYNAGOGUE)	4,070.51	
EXISTING HISTORIC BLDG. FOOTPRINT (PROPOSED LIBRARY GROSS AREA)	1,400.00	
TOTAL BUILDING FOOTPRINTS	110,156.74	44.09%
STREETS & PAVED AREAS	28,062.23	11.23%
PEDESTRIAN SIDEWALKS	16,415.38	6.57%
POOL & POOL DECK	9,882.40	3.96%
TENNIS COURT	6,037.25	2.42%
LIFT STATION	299.02	0.12%
UNENCUMBERED "LANDSCAPED" GREEN OPEN SPACE (5% MIN. REQUIRED) (REFERS TO LANDSCAPED OR GREEN PERVIOUS AREAS)	78,999.98	31.62%
TOTAL	249,853.00	100.00%
LOT COVERAGE		
MAX LOT COVERAGE SF	BY CITY COMMISSION	110,156.74
MAX LOT COVERAGE %	BY CITY COMMISSION	44.09%
OPEN SPACE (PARK AND RECREATIONAL AREAS) (INCLUDES COURTYARD, UNENCUMBERED "LANDSCAPED" GREEN OPEN SPACE OUTSIDE COURTYARD, POOL, POOL DECK & TENNIS COURT)		
COURTYARD	32,985.00	13.20%
LANDSCAPE AREAS (OUTSIDE COURTYARD)	53,804.46	21.53%
POOL & POOL DECK	9,882.40	3.96%
TENNIS COURT	6,037.25	2.42%
MINIMUM OPEN SPACE (BY CITY COMMISSION)	102,709.11 SF	41.11%
PERVIOUS / IMPERVIOUS AREA		
PERVIOUS AREA SF (INCLUDES LANDSCAPED AREAS = UNENCUMBERED GREEN OPEN SPACE)	BY CITY COMMISSION	78,999.98
PERVIOUS AREA %	BY CITY COMMISSION	31.62%
IMPERVIOUS AREA SF	BY CITY COMMISSION	170,853.02
IMPERVIOUS AREA %	BY CITY COMMISSION	68.38%
SETBACKS		
INTERNAL STREETS	25'-0"	15'-0"
EXTERNAL STREETS	25'-0"	15'-0"
MIN. DISTANCE BETWEEN BLDGS	NOT REQUIRED	N/A
MAX BUILDING HEIGHT	ALLOWED	PROVIDED
RESIDENTIAL BLDG (TOP OF ROOF SLAB)	NOT REQUIRED	84'-10"
CLUBHOUSE (TOP OF PARAPET)	NOT REQUIRED	25'-1"
COMMUNITY BLDG SYNAGOGUE (TOP OF PARAPET)	NOT REQUIRED	24'-0"
EXISTING HISTORIC STRUCTURE (SEE HISTORIC STRUCTURE PACKAGE)	EXISTING	EXISTING
NOTE: THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)		

PASCUAL PEREZ KILIDDJIAN STARR
ARCHITECTS + PLANNERS
LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE NO.: AR 0006254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
CORAL GABLES, FLORIDA 33126
TELEPHONE: (305) 592-1343
FACSIMILE: (305) 592-6845
http://www.ppkarch.com

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

DATE: 2025-08-11
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-1.1
SHEET NO.:



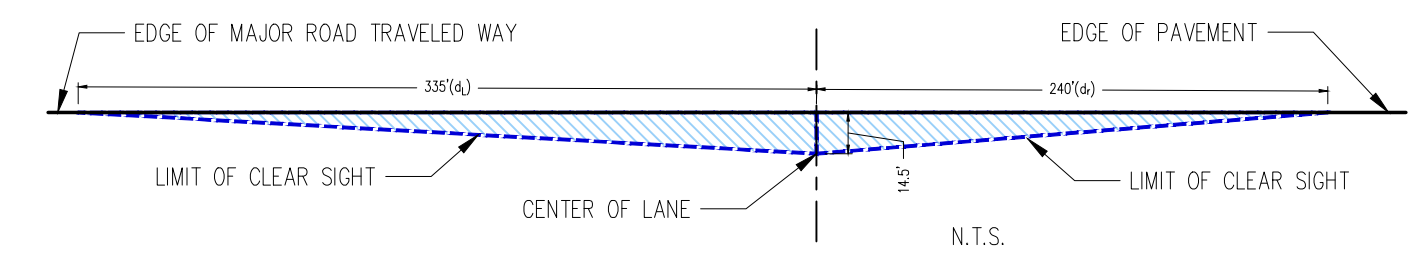
SITE PLAN

VIS. TRIANGLES DIAGRAM
 DATE: 2024-06-30
 SCALE: AS SHOWN
 DRAWN BY: SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26

SP-1.1.2
 SHEET NO.: 3

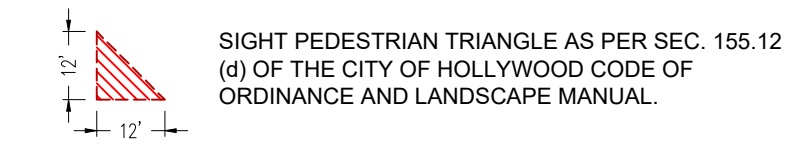
STIRLING ROAD
 (STATE ROAD No. 848)
 PUBLIC STREET

FDOT SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS

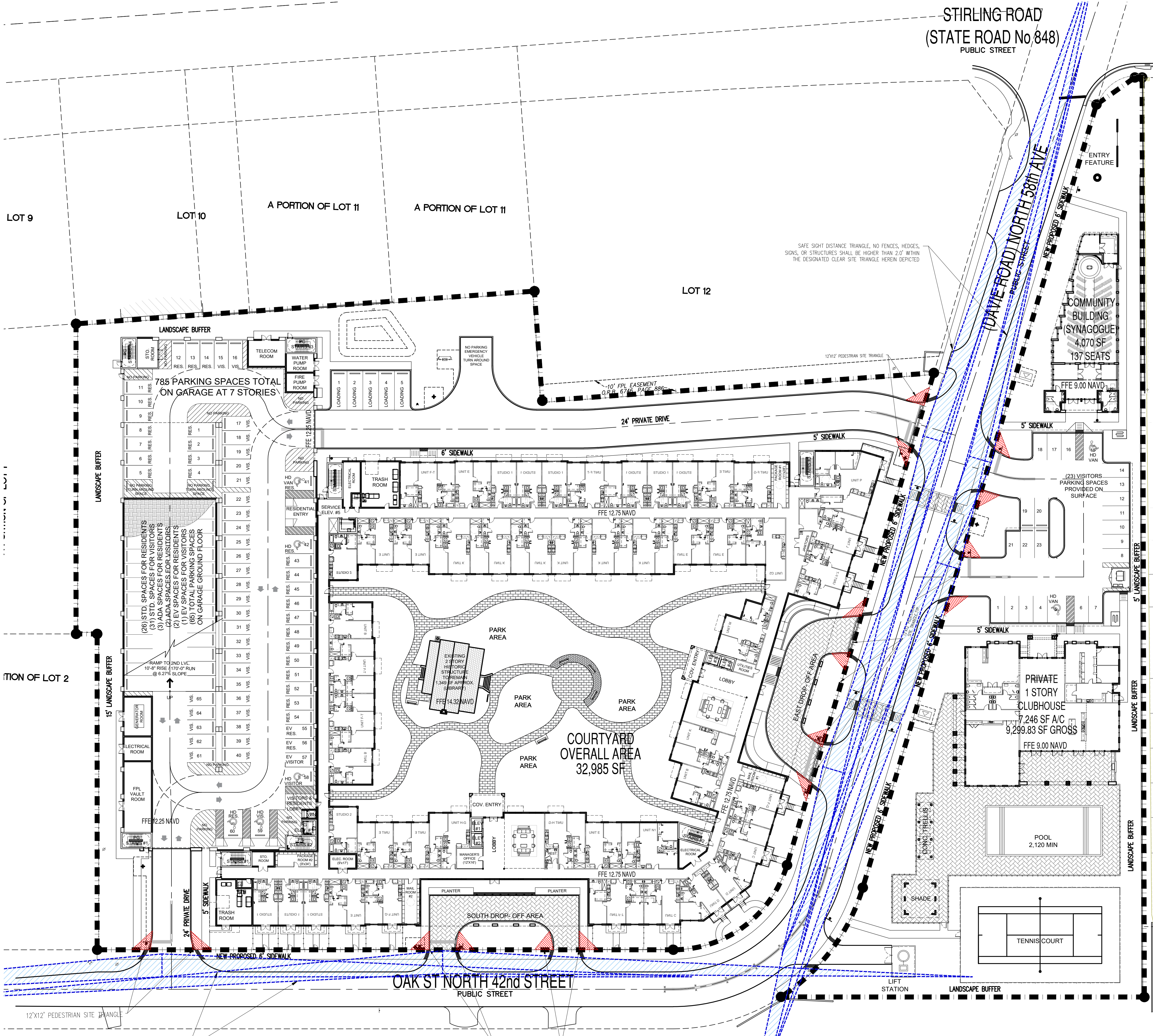


SAFE SIGHT DISTANCE TRIANGLE
 AS PER FDOT DESIGN MANUAL - JAN. 01, 2018. SEC. 212.11.1
 2-LANE UNDIVIDED (PASSENGER VEHICLE)
 POSTED SPEED = 30 mph
 DESIGN SPEED = 35 mph
 USED ON OAK STREET (NORTH 42ND STREET) (50 R.O.W.)
 & DAVIE ROAD (NORTH 58TH AVENUE) (50 R.O.W.)

PEDESTRIAN SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS



SAFE SIGHT DISTANCE TRIANGLE, NO FENCES, HEDGES, SIGNS, OR STRUCTURES SHALL BE HIGHER THAN 2'0" WITHIN THE DESIGNATED CLEAR SITE TRIANGLE HEREIN DEPICTED

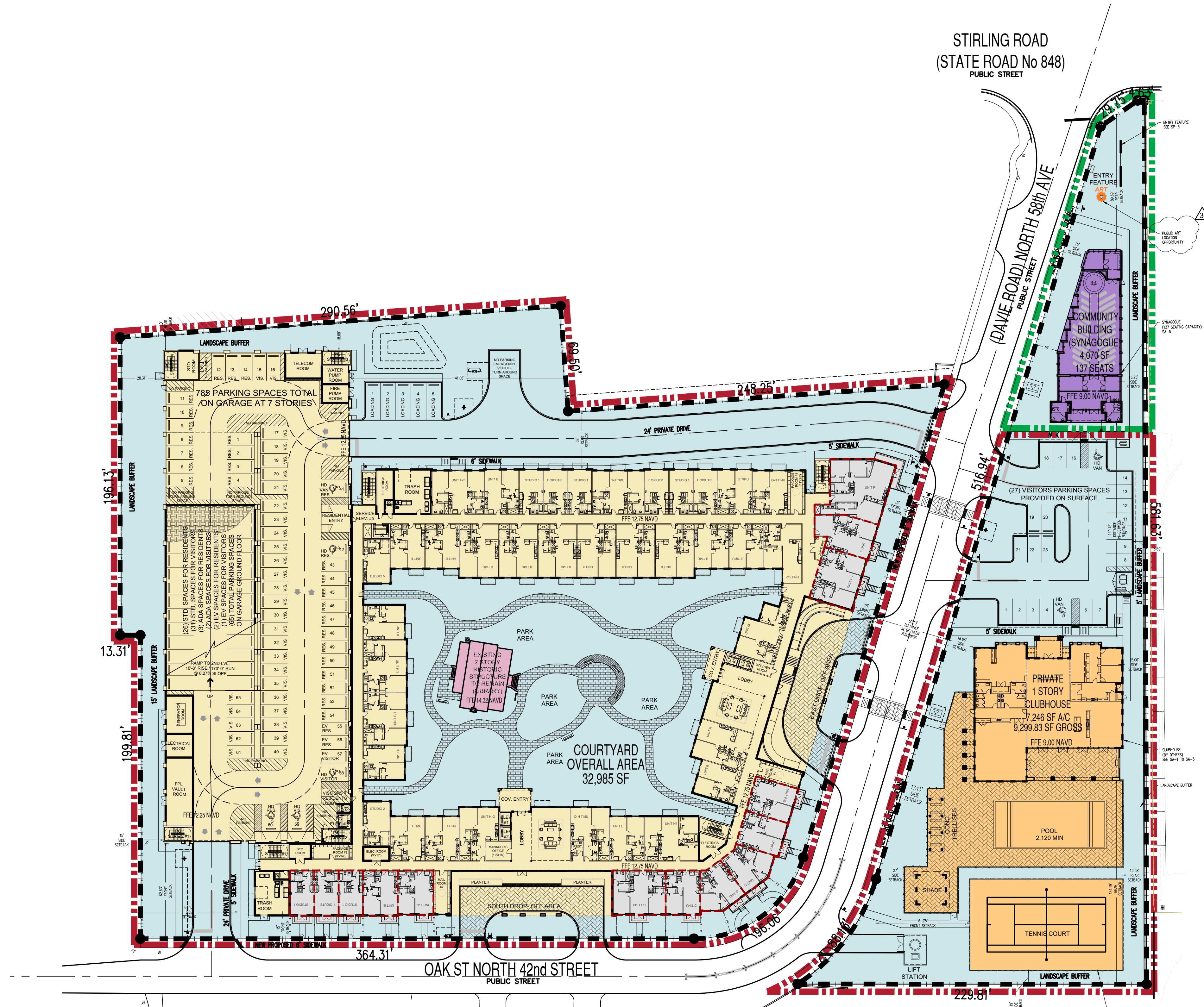


VISIBILITY TRIANGLES DIAGRAM
 SCALE: 1:30



COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



MASTER SITE PLAN
 SCALE: 1:40

PHASING PLAN LEGEND

- PHASE 1
 - PHASE 2
- NOTE: PHASING DOESN'T REPRESENT CONSTRUCTION SEQUENCE.

PUBLIC ART LEGEND

- PROPOSED LOCATION FOR PUBLIC ART OPPORTUNITY

LAND USE PLAN LEGEND

- OPEN SPACE
- RESIDENTIAL USE
- RESIDENTIAL USE RECREATIONAL AREA
- COMMUNITY FACILITY
- HISTORY STRUCTURE "LIBRARY"
- DESIGNATED "LIVE WORK UNITS"

PERMITTED USES:

- AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (D.)
- ALL RESIDENTIAL USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
 - BUSINESS USES LOCATED IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY RESIDENTIAL OR INTENDED TO MEET THE NEIGHBORHOOD SHOPPING AND SERVICE NEEDS OF THE PLANNED DEVELOPMENT AND NOT THE GENERAL NEEDS OF THE SURROUNDING AREA.
 - BUSINESS USES IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY COMMERCIAL, OFFICE OR RESORT TO INCLUDE ALL COMMERCIAL USES CONSISTENT WITH MEDIUM HIGH/HIGH RESIDENTIAL, GENERAL BUSINESS AND OFFICE CATEGORIES OF THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
 - RESORT USES IN A PLANNED DEVELOPMENT MAY INCLUDE ENTERTAINMENT AND RECREATIONAL USES PERMITTED IN THE CENTRAL BEACH AND RECREATIONAL DISTRICTS AS WELL AS THOSE USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
 - USES AND STRUCTURES WHICH ARE CUSTOMARILY ACCESSORY AND CLEARLY INCIDENTAL TO PRINCIPAL USES AND STRUCTURES MAY BE PERMITTED.

PROHIBITED USES:

- ANY USE NOT DESCRIBED IN SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT OF THE CITY OF HOLLYWOOD PLAN DEVELOPMENT CODE.

DESIGN REGULATIONS:

- AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (E.)
- MINIMUM SIZE OF PLANNED DEVELOPMENT:**
 REQUIRED = 10.0 ACRES OF LAND UNDER UNIFIED CONTROL; EXCEPT WITHIN THE DOWNTOWN DISTRICT OF THE COMMUNITY REDEVELOPMENT AGENCY WHERE PLANNED DEVELOPMENTS SHALL CONTAIN A MINIMUM OF TWO ACRES OF LAND UNDER UNIFIED CONTROL. THIS MINIMUM MAY BE WAIVED BY THE CITY COMMISSION UPON THE RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
 PROVIDED = 5.74 ACRES
 - MAXIMUM DENSITY:**
 THE TOTAL NUMBER OF DWELLING UNITS PERMITTED IN A PLANNED DEVELOPMENT SHALL NOT EXCEED THE TOTAL NUMBER OF UNITS PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
 PROVIDED = 470 UNITS (81.94 DUA)
 - MINIMUM LOT SIZE:**
 NO MIN. LOT SIZE SHALL BE REQUIRED WITHIN A PLANNED DEVELOPMENT.
 - DISTANCE BETWEEN STRUCTURES:**
 NO MINIMUM DISTANCE REQUIRED, EXCEPT AS REQUIRED BY THE FLORIDA BUILDING CODE.
 PROVIDED = NOT APPLICABLE
 - SETBACKS**
 INTERNAL STREETS = 25' REQUIRED
 = 15' PROVIDED (VARIANCE REQUESTED)
 EXTERNAL STREETS = 25' REQUIRED
 = 15' PROVIDED (VARIANCE REQUESTED)
 OTHER SETBACKS PROVIDED:
 MIN. SETBACK FROM PARKING GARAGE TO PL. = 8'
 MIN. SETBACK FROM SURFACE PARKING TO PL. = 8.69'
 MIN. SETBACK FROM TENNIS COURT TO PL. = 8.94'
 - MAXIMUM HEIGHT OF STRUCTURES:**
 NO MAXIMUM HEIGHT OF STRUCTURES REQUIRED
 PROVIDED = 8 STORIES RESIDENTIAL BUILDING
 = 84'-10" TO TOP OF ROOF SLAB
 = CLUBHOUSE (1 STORY) AT 24'-6"
 = SYNAGOGUE (1 STORY) AT 24'-0"
 - TOTAL SITE COVERAGE:**
 BY CITY COMMISSION UPON RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
 PROVIDED = 111,025.09 SF (44.4%)
 - LANDSCAPING**
 SHALL MEET THE REQUIREMENTS OF ARTICLE 9 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.
 SEE LANDSCAPE PLANS.
 LANDSCAPE OPEN SPACE REQUIRED = 5% MIN.
 LANDSCAPE OPEN SPACE PROVIDED = 78,999.98 (31.62%)
 - UNDERGROUND UTILITIES**
 ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
 - PERMITTED ABOVE GROUND UTILITIES** SHALL BE SCREEN WITH ADEQUATE LANDSCAPING WITH SHRUBS AND PLANTS.
 - INTERNAL CIRCULATION:**
 A PLANNED DEVELOPMENT SHALL PROVIDE AN INTERNAL CIRCULATION SYSTEM FOR USE BY BOTH MOTORIZED AND NON-MOTORIZED TRANSPORTATION MODES THAT IS ORDERLY. SEE SHEETS MSP-2 & MSP-3 FOR VEHICULAR AND PEDESTRIAN CIRCULATION PLANS.

PARKING AND LOADING REQUIREMENTS:

OFF-STREET PARKING AND LOADING REQUIREMENTS. OFF-STREET PARKING AND LOADING REQUIREMENTS SHALL MEET ALL THE REQUIREMENTS OF ARTICLE 7 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.

PARKING BREAKDOWN	REQUIRED AS PER CURRENT CODE	PROVIDED (PD REQUEST)
RESIDENTIAL PARKING PER UNIT (470 UNITS)	1.5	705
GUEST PARKING 1 PER 5 UNITS	94	94
SYNAGOGUE - PLACE OF WORSHIP FOR 40% OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 VISITORS SEAT	69	0
TOTAL	868	809
TOTAL MISSING SPACES	59	
SPACES PROVIDED ON (7-story) GARAGE		786
SPACES PROVIDED ON SURFACE		23
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	3	3
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (1 PER EVERY 20 RES. PARKING SPACES)	43	52

PASCUAL PEREZ KILIDDJIAN STARR
 ARCHITECTS + PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE NO.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE NO.: AR 0008254
 PETER KILIDDJIAN, RA
 LICENSE NO.: AR 0093067
 ANDREW STARR, RA
 LICENSE NO.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 CORAL FLORIDA 33126
 TELEPHONE: (305) 592-1343
 FACSIMILE: (305) 592-6845
<http://www.ppkarch.com>

EDGARDO PEREZ, MARIO P. PASCUAL, PETER KILIDDJIAN, ANDREW STARR, ARCHITECTS - PLANNERS
 The architectural design and detail drawings of this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
 260 95th Street
 Suite 201
 Surfside, FL 33154

4220 N 58TH AVE.
 BY KUSHNER
 HOLLYWOOD, FLORIDA

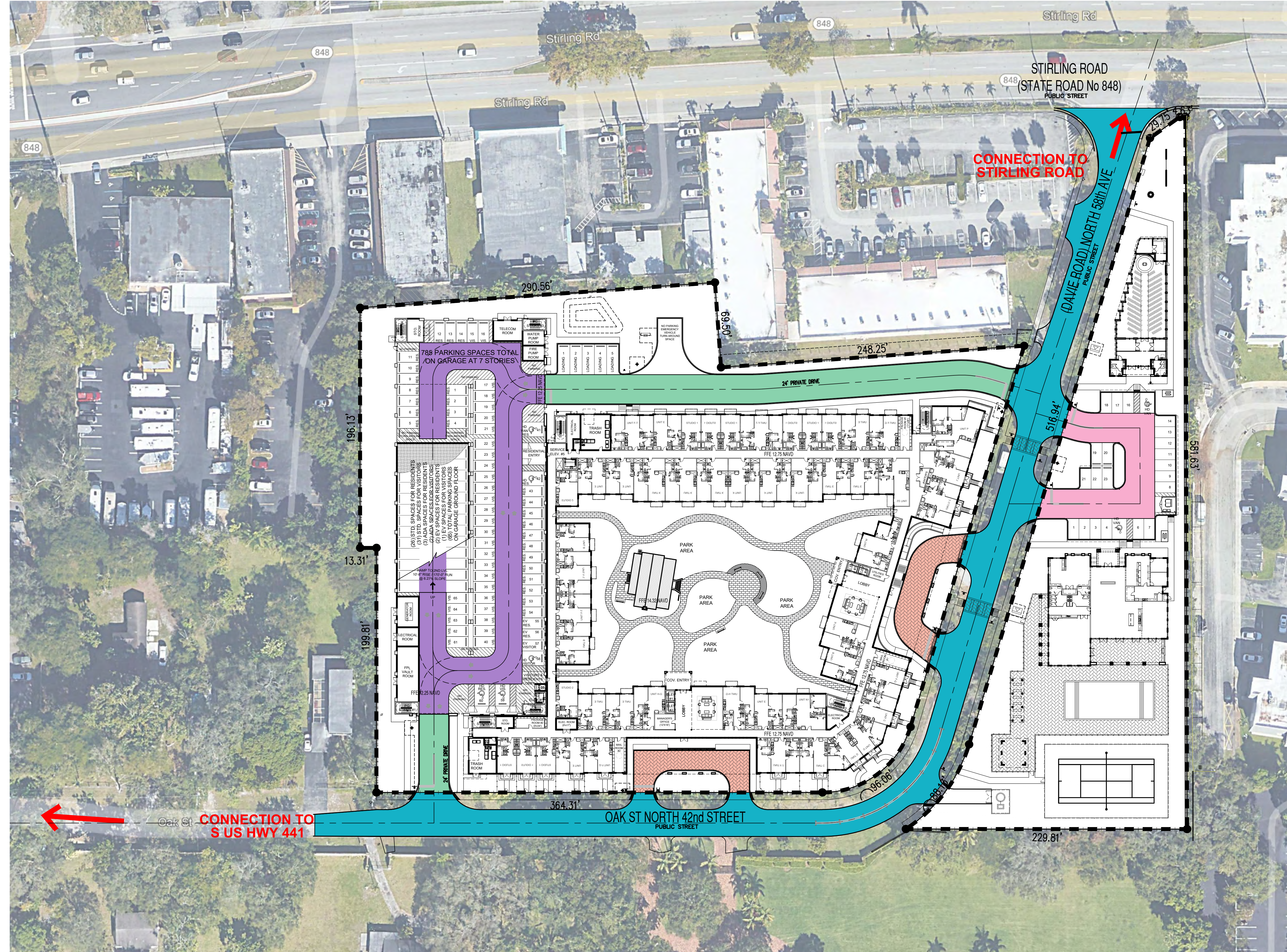
SEAL:

 MASTER SITE PLAN

PLAN DEVELOPMENT
 DATE: 2024-06-30
 SCALE: AS SHOWN
 DRAWN: SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26

MSP-1
 SHEET NO.:

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architects. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



PARKING BREAKDOWN	ALLOWED/ REQUIRED AS PER CURRENT CODE	PROVIDED (PD REQUEST)
RESIDENTIAL PARKING PER UNIT (478 UNITS)	1.5	705
GUEST PARKING 1 PER 5 UNITS		94
SYNAGOGUE - PLACE OF WORSHIP (PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 FIXED SEATS)		69
TOTAL		868
TOTAL MISSING SPACES		59

SPACES PROVIDED ON (7-story) GARAGE	786
SPACES PROVIDED ON SURFACE	23
HANDICAP SPACES (2%)	17
HANDICAP VAN SPACES	3
E.V.S.E. SPACES (2%)	17
LOADING ZONES	5
BICYCLE RACK (1 PER EVERY 20 REQ. PARKING SPACES)	43
	52

- PARKING PROVISION STANDARDS NOTES:**
- 1.5 PARKING SPACES REQUIRED PER UNIT AS PER COH 7.2 - 1, 90° PARKING SHALL BE 9'x19' WITH A 24' DRIVE WIDTH.
 - 1 PER 5 UNITS PARKING SPACES MARKED FOR GUEST AS PER 7.2 - 1.
 - MIN. 2% OF PROVIDED PARKING SPACES SHALL BE HANDICAP ACCESSIBLE AS PER CITY OF HOLLYWOOD (COH) ENGINEERING STD. C-21A.
 - MIN. 2% OF THE PROVIDED HANDICAP SPACES PROVIDED SHALL BE ADA VAN ACCESSIBLE AND COMPLY WITH: FBC 502.5 AS PER COH 7.2 C. 2. LOADING SPACES SHALL BE FOR MULTI-FAMILY BUILDING 50-100 UNITS - 1 SPACE + 1 SPACE FOR EACH ADDITIONAL 100 UNITS OR MAJOR FRACTION, AND THEY MUST BE AT LEAST 10'x25' WITH 14' VERTICAL CLEARANCE.
 - EV PARKING AS PER COH 151.154.
 - AS PER THE COH BICYCLE RACKS PROVIDED SHALL BE 5% OF TOTAL PARKING SPACES PROVIDED.

- STREET HIERARCHY LEGEND**
- PUBLIC STREET (R.O.W.) (NOT INSIDE PROPERTY)
 - PRIVATE DRIVE
 - RESIDENTIAL DROP-OFF AREAS
 - VEHICULAR CIRCULATION ON SURFACE PARKING
 - VEHICULAR CIRCULATION INSIDE PARKING GARAGE. NO EMERGENCY VEHICLE CLEARANCE. NO ADA VAN CLEARANCE. 8'-0" CLEARANCE.

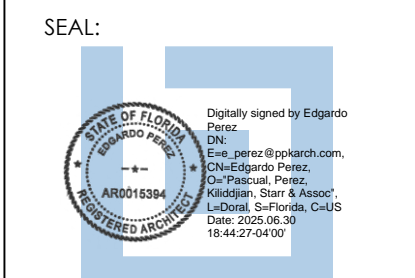
PASCUAL PEREZ KILIDDJIAN STARR
 ARCHITECTS + PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE NO.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE NO.: AR 0008254
 PETER KILIDDJIAN, RA
 LICENSE NO.: AR 0093067
 ANDREW STARR, RA
 LICENSE NO.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-1363
 FACSIMILE: (305) 592-6845
<http://www.ppkarch.com>

REVISIONS:
 1 TAC - REV. 1 - 2025.02.10

OWNER:
KUSHNER
 260 95th Street
 Suite 201
 Surfside, FL 33154

4220 N 58TH AVE.
 BY KUSHNER
 HOLLYWOOD, FLORIDA

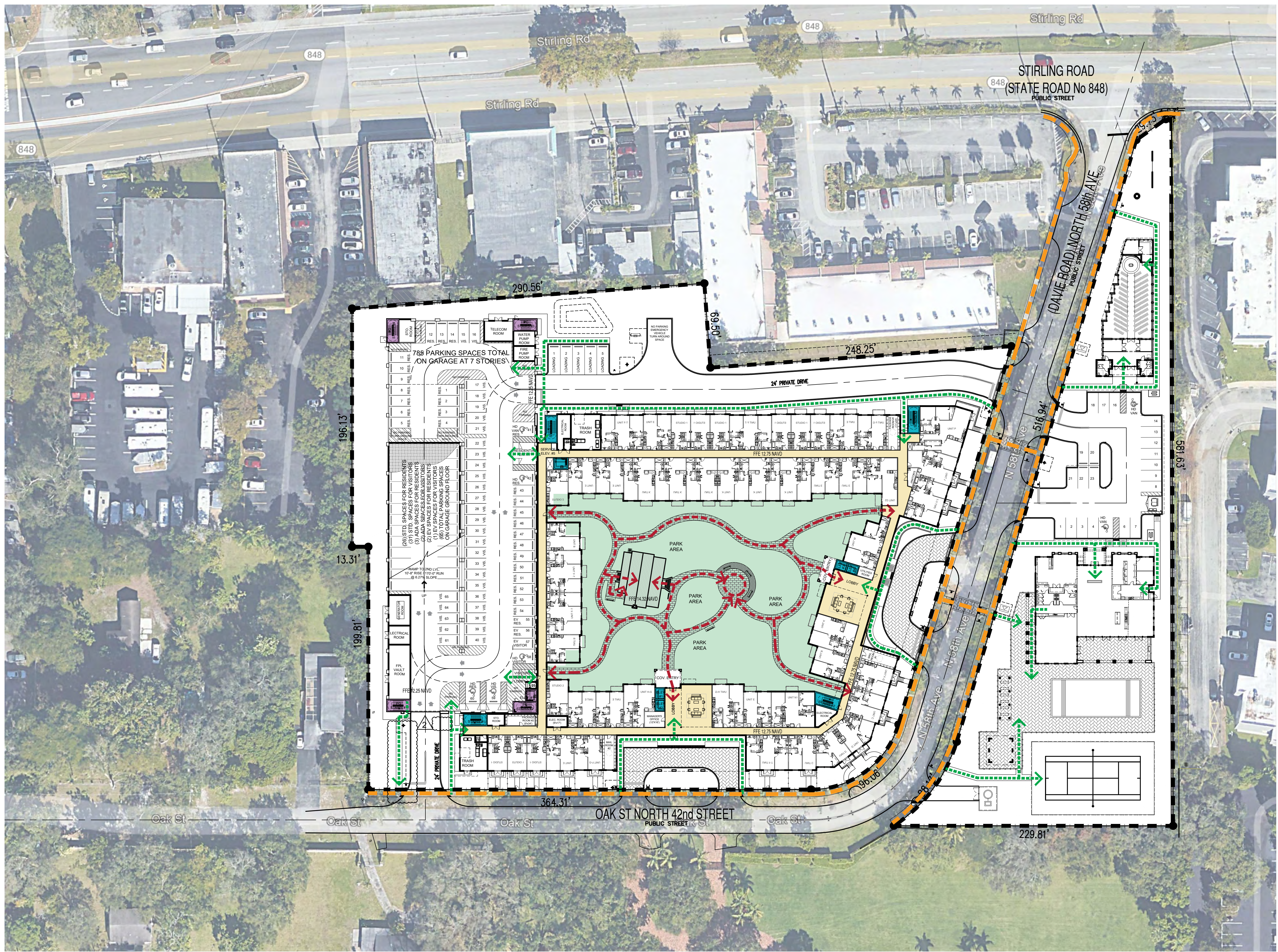
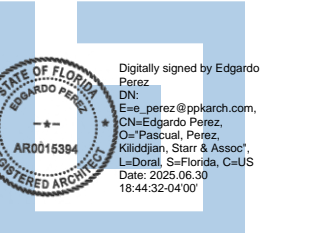


MASTER SITE PLAN

VEHICULAR CIRCULATION
 DATE: 2024-06-30
 SCALE: AS SHOWN
 DRAWN: SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26

VEHICULAR CIRCULATION
 SCALE: 1:40

MSP-2
 SHEET NO.:



PEDESTRIAN CIRCULATION LEGEND

- - - COURTYARD PEDESTRIAN CONNECTIVITY
- - - INTERIOR PROPERTY PEDESTRIAN CIRCULATION
- - - PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE COURTYARD AREA
- EGRESS STAIRS AND/OR ELEVATOR FOR RESIDENTIAL BUILDING
- EGRESS STAIRS AND/OR ELEVATOR FOR PARKING GARAGE
- GROUND LEVEL RESIDENTIAL BUILDING PEDESTRIAN CIRCULATION

PEDESTRIAN CIRCULATION

SCALE: 1:40



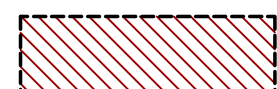
COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS. The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

FIRE DEPARTMENT NOTES:

1. FIRE ACCESS LANES MUST BE CAPABLE OF SUPPORTING 32 TONS AND SURFACED WITH SOLID PAVEMENT, NATURAL OR CONCRETE STONES, OR GRASS TURF REINFORCED CONCRETE GRIDS OR STABILIZED SUB-GRADE CONSTRUCTION THAT MEETS THE STANDARDS OF BROWARD COUNTY PUBLIC WORKS DEPARTMENT. A REGISTERED PROFESSIONAL ENGINEER OF THE STATE OF FLORIDA MUST CERTIFY SUCH CONSTRUCTION. ACCESS LANES ARE TO BE A MINIMUM OF 20 FT. WIDE FOR TWO-WAY TRAFFIC WITH A VERTICAL CLEARANCE OF 13'-6" FT. AS PER THE FPCC NFPA 1:18.2.3.5.1.2. THE AHJ WILL ACCEPT A 15 FT. FOR A ONE-WAY TRAFFIC. LANDSCAPING WITHIN THESE LANES MUST BE APPROVED AND CONFORM TO LANDSCAPING PLANS.
2. TURNOUT LANES FOR FIRE APPARATUS SHALL HAVE A MINIMUM CENTERLINE RADIUS OF 50 FT. (T OR Y TURNAROUNDS ACCEPTABLE TO THE AHJ SHALL BE PERMITTED PER FPCC NFPA 13-5.2)
3. SET UP SITES SHALL BE NO CLOSER THAN 10 FT. OR FURTHER THAN 30 FT. FROM ANY BUILDING AND AT LEAST 21 FT. WIDE AND 47 FT. LONG WITH A CROSS SLOPE OF LESS THAN 5%. CONSTRUCTION OF THE SET-UP SITES WILL CONSIST OF STABILIZED SUB-GRADE WHICH MEETS THE STANDARDS OF BROWARD COUNTY PUBLIC WORKS DEPARTMENT, OR GRASS PAVERS OR AN EQUALLY ACCEPTABLE PRODUCT AS DETERMINED BY THE AUTHORITY HAVING JURISDICTION. SET-UP SITES MUST BE CAPABLE OF WITHSTANDING ANY POINT FORCES RESULTING FROM OUT-RIGGERS.
4. FIRE HYDRANTS AND FIRE PROTECTION APPLIANCES SHALL BE CLEAR OF ALL OBSTRUCTIONS AND LANDSCAPING OR DISTANCE OF 5 FT. TO THE FRONT AND BOTH SIDES OF THE HYDRANT OR APPLIANCE, AND 4 FT. CLEAR TO THE REAR. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED WITH 3 IN. LETTERS STATING "NO PARKING FIRE DEPARTMENT CONNECTION". ANY REQUIRED FIRE SPRINKLER POST INDICATOR VALVE AND/OR FIRE DEPARTMENT CONNECTION SHALL BE LOCATED NO LESS THAN 40 FT. FROM THE PROTECTED BUILDING. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT. OF THE CLOSEST FIRE HYDRANT.
5. AN IDENTIFICATION SYSTEM SHALL BE LOCATED AT THE ENTRANCE OF EVERY BUILDING COMPLEX CONSISTING OF 3 OR MORE BUILDINGS AND SHALL CONSIST OF A FRAMED, LIGHTED MAP OF THE DEVELOPMENT SHOWING ALL STRUCTURES AND STREETS AT AN ADEQUATE SCALE.
6. DEAD-END DRIVES SHALL BE LIMITED TO 150 FT. AND SHALL HAVE "DEAD-END" SIGNS LOCATED AT THE ENTRANCE OF EACH DRIVE. IN FULLY SPRINKLERED BUILDINGS, DEAD ENDS MAY BE UP TO 250 FT. TURN-AROUND SHALL BE APPROVED PER THE FPCC NFPA 1:18.2.3.5.4.
7. GATED ENTRANCES SHALL BE PROVIDED WITH ELEVATOR LOCK BOXES CONTAINING A SWITCH OR LEVER TO ACTIVATE GATES FOR FIRE DEPARTMENT ENTRY. THE MINIMUM WIDTH SHALL BE 15 FT. CLEAR AND CANNOT BE LOCATED WITHIN THE TURNING RADIUS OF ANY DRIVE. GATES WITHIN A TURNING RADIUS SHALL BE MIN. 20 FT. CLEAR.
8. BUILDING SHALL BE FULLY SPRINKLERED.
9. TOP OF LIVING AREA ARE BELOW 75'-0" HEIGHT FROM EACH SET-UP SITE. SEE TABLE BELOW FOR ADDITIONAL INFORMATION.
10. NO ACCESS ROADS COVERED OR GATED IN THIS PROJECT.
11. ALTERNATIVE 120' HAMMERHEAD TURN-AROUND PROVIDED FOR DEAD-END DRIVE OVER 250 FT AS PER THE FPCC NFPA 1:18.2.3.5.4

LEVELS UP TO TOP LIVING FLOOR	TOP FLOOR HEIGHT (FROM FINISHED FLOOR) (FFE 12.75' NAVD)	LOWEST POINT OF SET-UP SITE (NAVD)	TOP FLOOR HEIGHT FROM MIN. LOWEST POINT OF SET-UP SITE (NAVD)	SET-UP SITE (#)
8	70'-8"	11.40'	74'-10"	1
		12.05'		2
		8.57'		3
		11.10'		4
		10.98'		5
		11.60'		6

LEGEND

-  DENOTES FIRE SET-UP SITE 21' x 47'
- DISTANCE TO BUILDING NO CLOSER THAN 10 FT AND NO FURTHER THAN 30 FT.

EMERGENCY VEHICLE TURNING RADIUS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DIORAL, FLORIDA 33126
TELEPHONE: (305) 592-1343
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

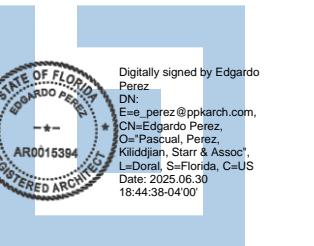
CONTRACT NO. 2024-06-30
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECKED BY: MP / PK
JOB NO.: 24-26

REVISIONS:

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



FIRE SET-UP PLAN

FIRE PLAN

DATE: 2024-06-30

SCALE: AS SHOWN

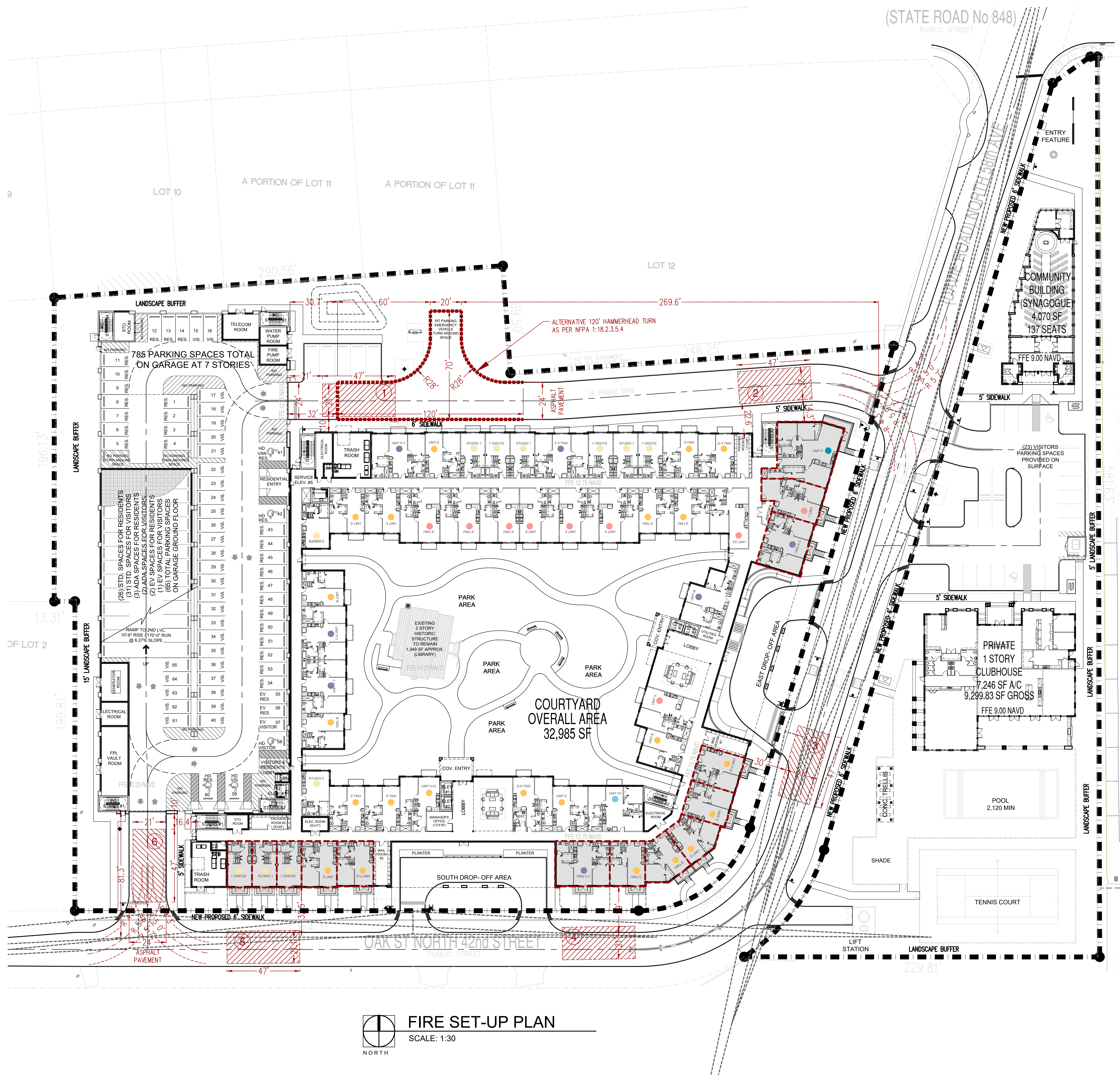
DRAWN: SJ

CHECKED BY: MP / PK

JOB NO.: 24-26

FP-1

SHEET NO.:


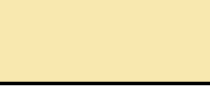


 FIRE SET-UP PLAN
SCALE: 1:30

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

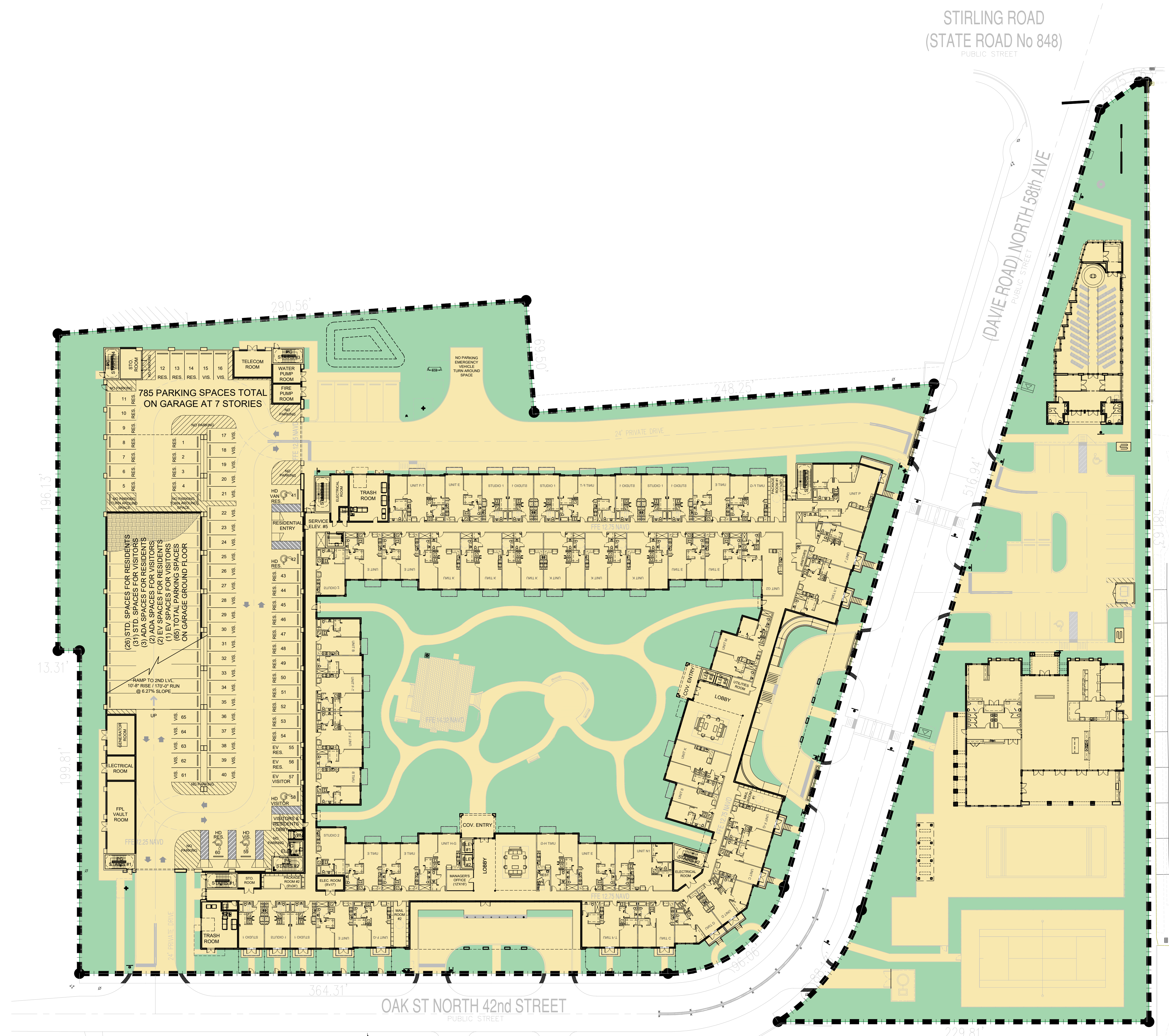
STIRLING ROAD
(STATE ROAD No 848)
PUBLIC STREET

LEGEND

-  DENOTES PERVIOUS SURFACES
-  DENOTES IMPERVIOUS SURFACES

AREA CALCULATIONS	SF	%
RESIDENTIAL BLDG. FOOTPRINT	55,651.54	
GARAGE BLDG. FOOTPRINT	39,734.86	
CLUBHOUSE FOOTPRINT	9,299.83	
COMMUNITY BLDG. (SYNAGOGUE)	4,070.51	
EXISTING HISTORIC BLDG. FOOTPRINT (PROPOSED LIBRARY, GROSS AREA)	1,400.00	
TOTAL BUILDING FOOTPRINTS	110,156.74	44.09%
STREETS & PAVED AREAS	28,062.23	11.23%
PEDESTRIAN SIDEWALKS	16,415.38	6.57%
POOL & POOL DECK	9,882.40	3.96%
TENNIS COURT	6,037.25	2.42%
LIFT STATION	299.02	0.12%
UNENCUMBERED "LANDSCAPED" GREEN OPEN SPACE (5% MIN. REQUIRED) (REFERS TO LANDSCAPED OR GREEN PERVIOUS AREAS)	78,999.98	31.62%
TOTAL	240,852.00	100.00%

PERVIOUS / IMPERVIOUS AREA	ALLOWED/ REQUIRED	PROVIDED
PERVIOUS AREA SF (INCLUDES LANDSCAPED AREAS = UNENCUMBERED GREEN OPEN SPACE.)	BY CITY COMMISSION	78,999.98
PERVIOUS AREA %	BY CITY COMMISSION	31.62%
IMPERVIOUS AREA SF	BY CITY COMMISSION	170,853.02
IMPERVIOUS AREA %	BY CITY COMMISSION	68.38%



COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

PERVIOUS AND IMPERVIOUS PLAN
SCALE: 1:30

(STATE ROAD No 848)
PUBLIC STREET

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6

- SITE PLAN NOTES:**
- ALL CHANGES TO THE PD MASTER PLAN AND SITE PLAN SHALL FOLLOW THE REQUIREMENTS OF SECTION 4.15.G. CONFORMANCE TO APPROVED MASTER DEVELOPMENT PLAN AND SITE PLAN.
 - PROJECT SHALL MEET THE "GREEN BUILDING REQUIREMENTS" SET IN CHAPTER 151 BY THE CITY OF HOLLYWOOD.
 - FOR CONSTRUCTION PHASES, REFER TO SHEET MSP-1
 - GARBAGE WILL BE PICKUP FROM THE TWO TRASH ROOMS LOCATED ON EACH END OF THE RESIDENTIAL BUILDING ADJACENT TO THE GARAGE. ALSO, SEE GARBAGE TRUCK MANUEVERING PLAN PROVIDED BY ENGINEER.
 - ALL MECHANICAL EQUIPMENT ON ROOFTOP SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY.
 - THE PROJECT SHALL MEET THE REQUIREMENTS OF THE CITY'S FLOOD PLAN ORDINANCE AND WILL BE REVIEWED AT THE TIME OF PERMITTING.
 - PARKING GARAGE VENTILATION CALCULATIONS WILL BE PROVIDED AT TIME OF BUILDING PERMIT.
 - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH ARTICLE 8 SIGN REGULATION
 - ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRED A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 - INSTALLATION OF SIGNAGE, PAVEMENT MARKINGS AND OTHER NEED IT ITEMS DEALING WITH ROADWAY CONSTRUCTION WORK SHALL CONFORM TO ALL APPLICABLE REQUIRED STANDARDS OF THE CITY OF HOLLYWOOD, BROWARD COUNTY, PUBLIC WORKS AND FIRE RESCUE DEPARTMENTS. REF. CIVIL DWGS.
 - BUILDING WILL COMPLY WITH THE CITY ARTS AND PUBLIC SPACES PROGRAM.
 - MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTIES LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
 - ALL ABOVE GROUND EQUIPMENT WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING.
 - REFERENCE LANDSCAPE PLANS FOR DETAILS.
 - TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.
 - ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
 - 100% IRRIGATION COVERAGE SHALL BE PROVIDED AT TIME OF BUILDING PERMIT.
 - THE BOTTOM ELEVATION OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ELEVATED TO BFE +1', AT THE MINIMUM.
 - BUILDING SHALL BE CLASSIFIED AS A (MID-RISE BUILDING) WHERE THE FLOOR OF AN OCCUPIABLE STORY IS LESS THAN 75 FT ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE. SEE SP-1.3 FOR MORE FIRE SET-UP PLAN.
 - NO BALCONIES AT GROUND LEVEL. BALCONIES ONLY FROM 2ND TO 8TH FLOOR. OVERHEAD WILL ENCR OACH 4 FT AT GROUND LEVEL.
 - PRIVATE CLUBHOUSE PARKING WILL BE EXCLUSIVELY FOR THE RESIDENTS OF THIS COMMUNITY ACCESSING THE CLUBHOUSE IN A PEDESTRIAN MANNER.
 - SYNAGOGUE PARKING WILL BE PRIMARILY FOR THE RESIDENTS OF THIS COMMUNITY AND NEARBY RESIDENTS ACCESSING THE SYNAGOGUE IN A PEDESTRIAN MANNER.
 - THE HISTORIC STRUCTURE WILL BE A GENERAL AMENITY FOR THE RESIDENTS WITH A LOW-IMPACT MULTIPURPOSE USE.

PASCUAL PEREZ KILIDDJIAN STARR
ARCHITECTS + PLANNERS

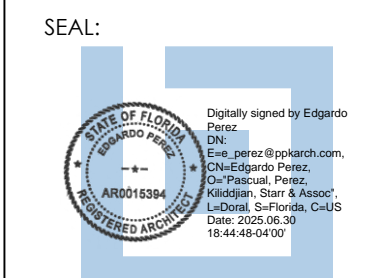
LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE No.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067
ANDREW STARR, RA
LICENSE No.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
CORAL FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA



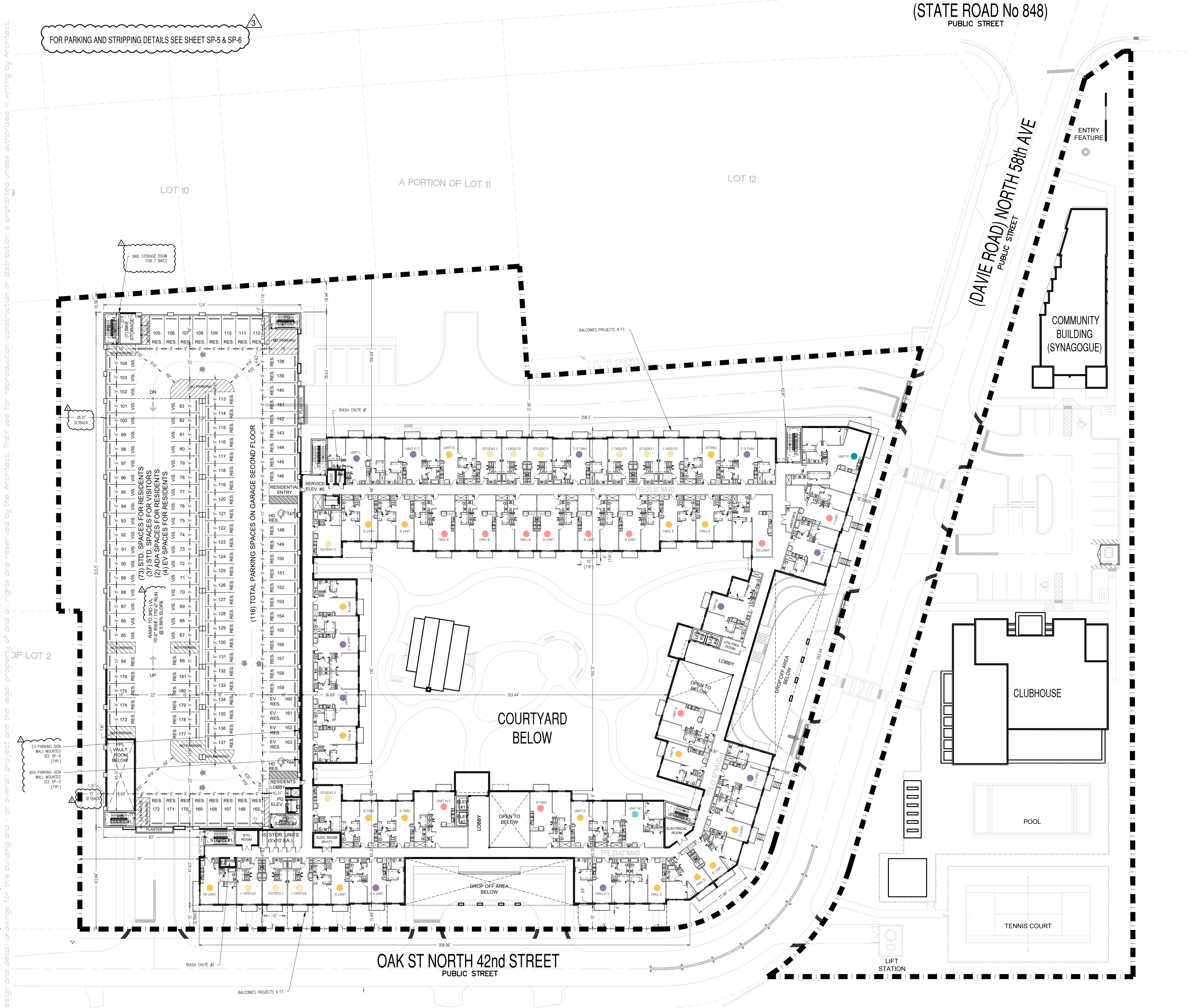
SITE PLAN

SECOND FLOOR

DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-2

SHEET NO.:

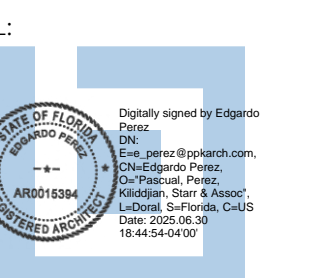


SECOND FLOOR PLAN
SCALE: 1:30

UNIT MIX COLOR LEGEND

- STUDIO UNITS
- 1 BEDROOM UNITS
- 1 BEDROOM + DEN UNITS
- 2 BEDROOM UNITS
- 2 BEDROOM + DEN UNITS
- 3 BEDROOM UNITS

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



SITE PLAN

3RD FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.1

SHEET NO.:

OVERALL UNIT BREAKDOWN TABLE & RESIDENTIAL AREA CALCULATIONS

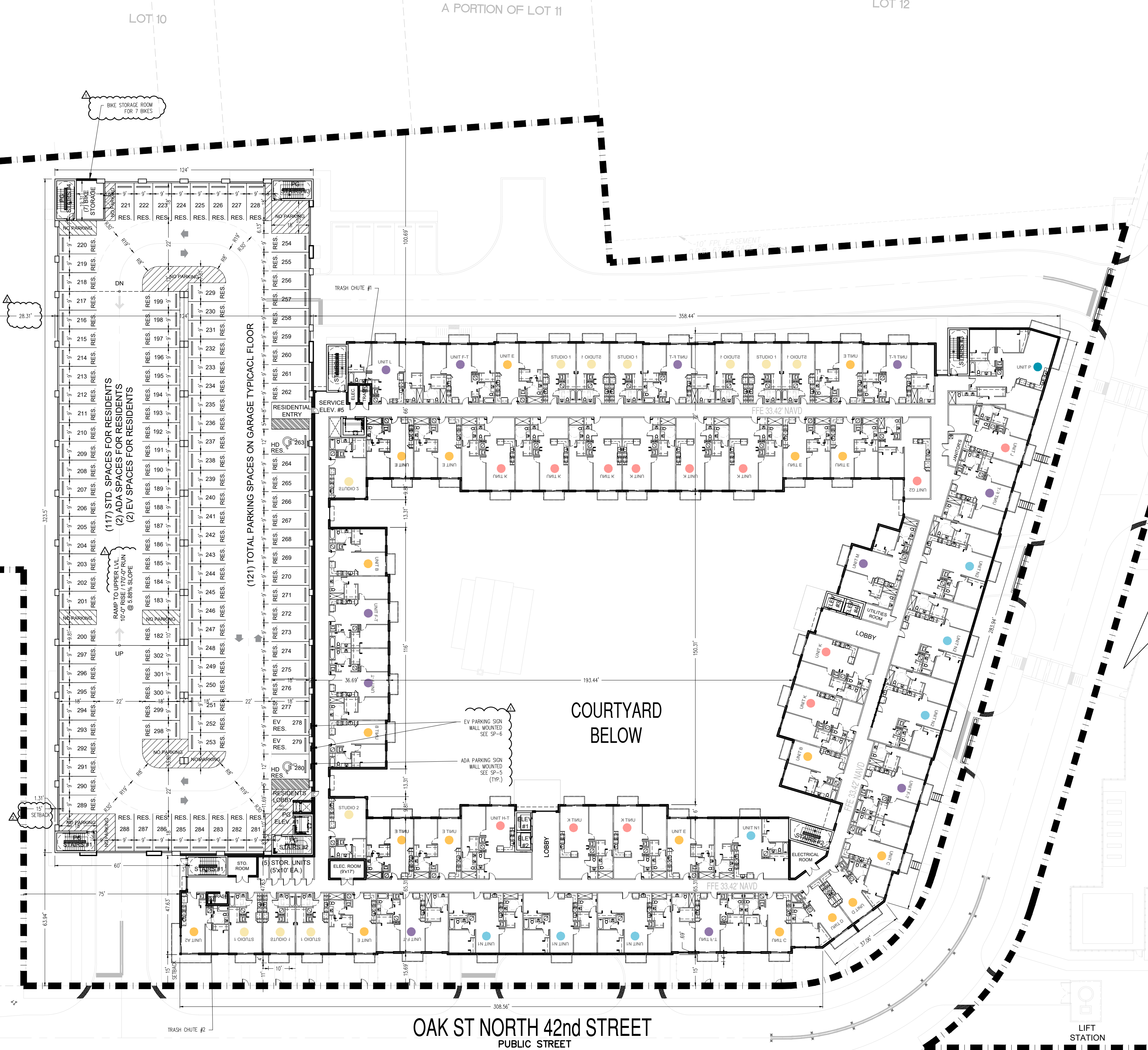
UNIT TYPE	No. BED/BATH	NET UNIT AREA (A/C ONLY, NO BALCONY)	GROSS UNIT AREA (W/BALCONY)	UNIT COUNT PER FLOOR								TOTAL No. UNITS	%	AVERAGE UNIT SIZE (BASED ON UNIT NET AREA)			
				1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR						
STUDIO 1	STUDIO	480 SF	550 SF	9	9	9	9	9	9	9	9	9	72	STUDIO	88	18.72 %	515 SF
STUDIO 2	STUDIO	550 SF	550 SF	2	2	2	2	2	2	2	2	2	16				
UNIT A	1 / 1	616 SF	656 SF	0	1	1	1	1	1	1	1	1	7				
UNIT B	1 / 1	653 SF	693 SF	3	3	3	3	3	3	3	3	3	24				
UNIT C	1 / 1	671 SF	711 SF	2	2	2	2	2	2	2	2	2	16	1 BED	148	31.49 %	686 SF
UNIT D	1 / 1	677 SF	734 SF	2	2	2	2	2	2	2	2	2	16				
UNIT E	1 / 1	685 SF	725 SF	10	10	10	10	10	10	10	10	10	80				
UNIT F-G	1 / 1	692 SF	732 SF	3	0	0	0	0	0	0	0	0	3				
UNIT H-G	1 / 1.5	811 SF	851 SF	2	0	0	0	0	0	0	0	0	2				
UNIT J	1 + DEN / 1.5	864 SF	904 SF	1	1	1	1	1	1	1	1	1	8	1 BED + DEN	98	20.85 %	935 SF
UNIT G2	1 + DEN / 1	913 SF	953 SF	1	1	1	1	1	1	1	1	1	8				
UNIT K	1 + DEN / 1.5	926 SF	966 SF	7	8	10	10	10	10	10	10	10	75				
UNIT H-T	1 + DEN / 1.5	1,038 SF	1,078 SF	0	1	1	1	1	1	1	1	1	7				
UNIT L	2 / 2	970 SF	1,010 SF	0	1	1	1	1	1	1	1	1	7	2 BED	84	17.87 %	999 SF
UNIT F-T	2 / 2	1,017 SF	1,057 SF	6	9	9	9	9	9	9	9	9	69				
UNIT M	2 / 2	1,010 SF	1,050 SF	1	1	1	1	1	1	1	1	1	8				
UNIT N1	2 + DEN / 2	1,070 SF	1,110 SF	1	1	4	4	4	4	4	4	4	26	2 BED + DEN	44	9.36 %	1,161 SF
UNIT N2	2 + DEN / 2	1,251 SF	1,291 SF	0	0	3	3	3	3	3	3	3	18				
UNIT P	3 / 2	1,566 SF	1,706 SF	1	1	1	1	1	1	1	1	1	8	3 BED	8	1.70 %	1,566 SF
TOTAL UNITS PER FLOOR				51	53	61	61	61	61	61	61	61	61	470		81.28 %	999 SF
AREAS FOR RESIDENTIAL BUILDING ONLY (PARKING GARAGE IS NOT INCLUDED IN COUNT)				TOTAL BY FLOOR (SF)								TOTAL BUILDING					
TOTAL NET RESIDENTIAL AREA (NET UNIT AREA) (A/C AREA ONLY)				38,622.12	41,592.20	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	381,903.68 SF		
TOTAL GROSS RESIDENTIAL AREA (GROSS UNIT AREA) (A/C + BALCONY)				39,659.16	43,775.86	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	400,148.68 SF		
TOTAL GROSS BUILDING AREA (INCLUDES UNIT NET AREA + BALCONIES + ANCILLARY AREAS + CIRCULATION AREAS)				55,995.10	56,601.17	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	494,519.73 SF		
EFFICIENCY % (GROSS RESIDENTIAL AREA VS. GROSS BUILDING AREA)				70.83 %	77.34 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	80.92 %		

BUILDING CONSTRUCTION AREA (GROSS AREA)
RESIDENTIAL BUILDING ONLY @ 8 STORIES = 494,519 SF
GARAGE WITH 786 SPACES @ 7 STORIES = 278,144 SF
TOTAL RESIDENTIAL BUILDING AND GARAGE CONSTRUCTION AREA = 772,663 SF

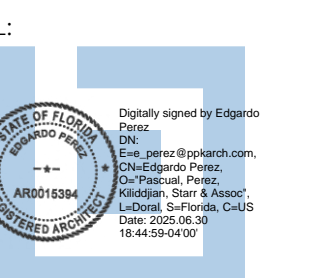
UNIT MIX COLOR LEGEND

- STUDIO UNITS
- 1 BEDROOM UNITS
- 1 BEDROOM + DEN UNITS
- 2 BEDROOM UNITS
- 2 BEDROOM + DEN UNITS
- 3 BEDROOM UNITS

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6



3RD FLOOR PLAN
SCALE: 1:30



SITE PLAN

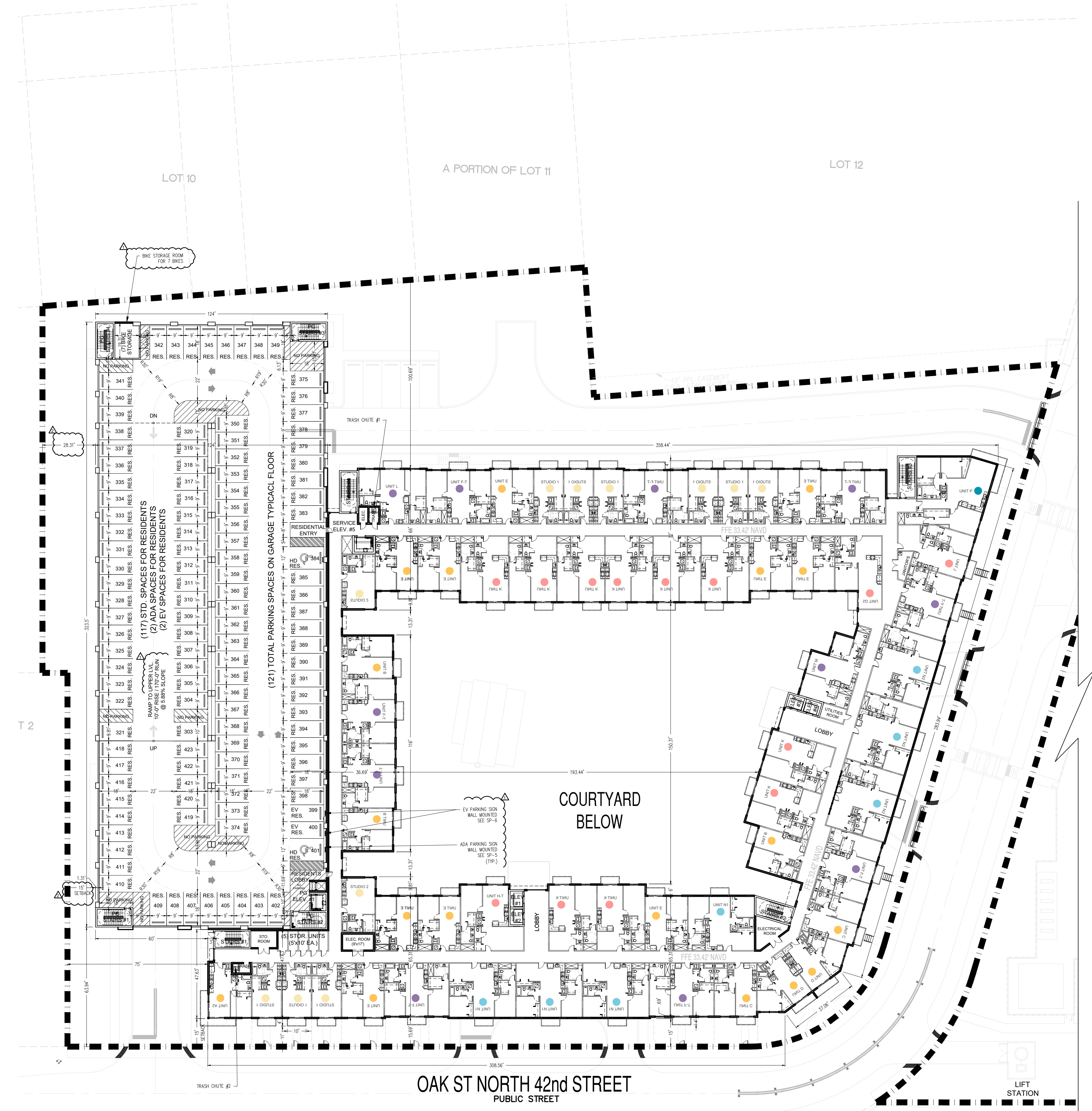
4TH FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.2

SHEET NO.:

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6



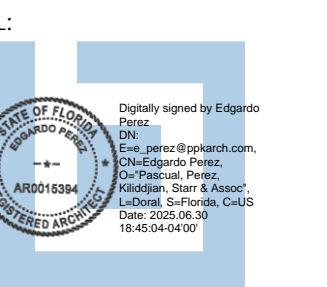
4TH FLOOR PLAN
SCALE: 1:30



- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

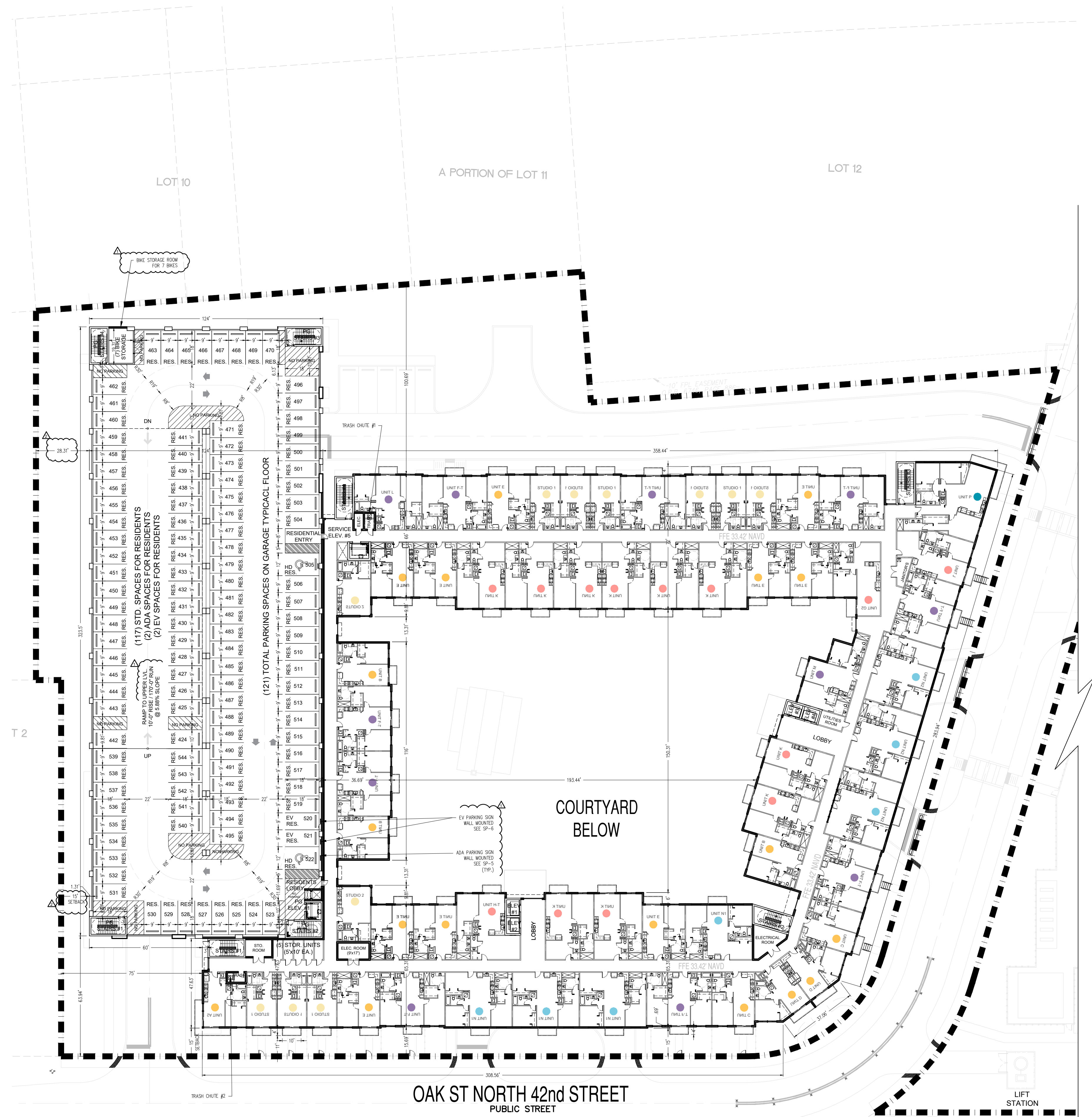


SITE PLAN

5TH FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.3

SHEET NO.:



5TH FLOOR PLAN
SCALE: 1:30

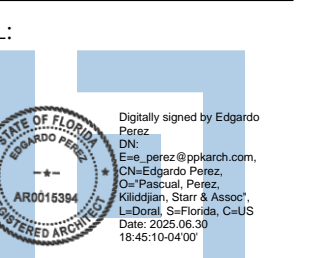
FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

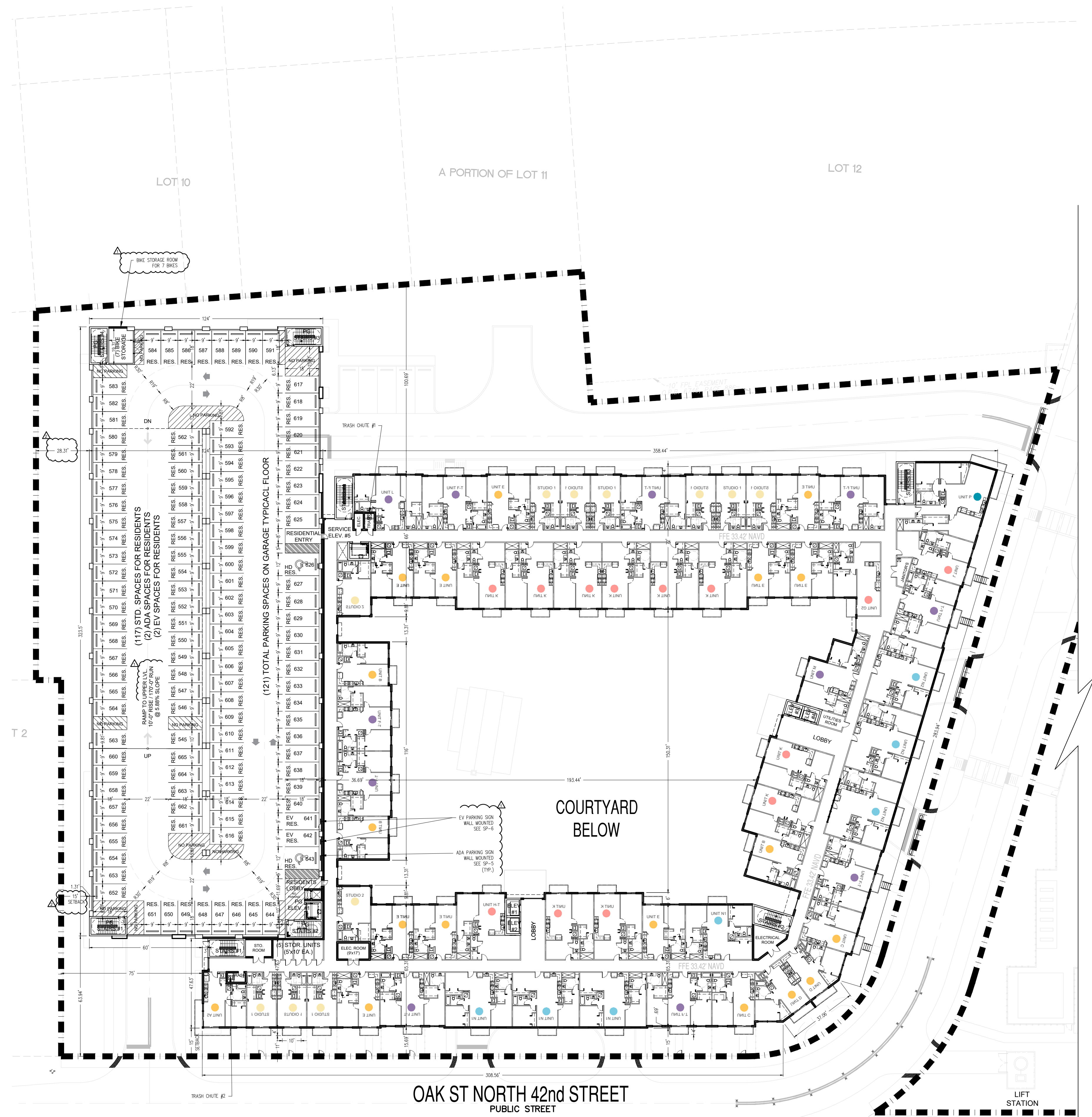


SITE PLAN

6TH FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.4

SHEET NO.:



6TH FLOOR PLAN
SCALE: 1:30

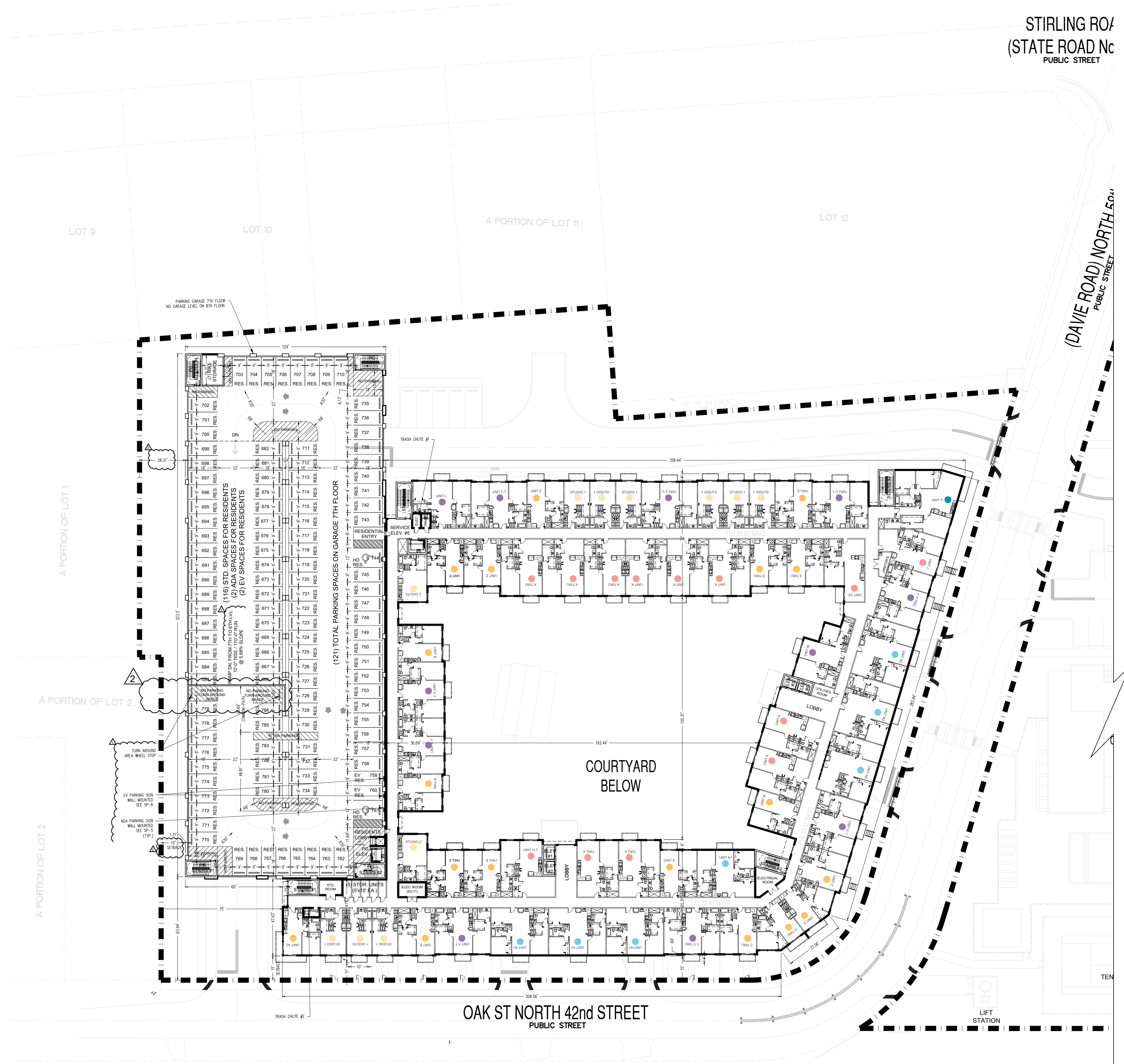


NORTH

STIRLING RO/
(STATE ROAD Nc
PUBLIC STREET

(DAVIE ROAD) NORTH 50th
PUBLIC STREET

OAK ST NORTH 42nd STREET
PUBLIC STREET



FOR PARKING AND STRIPING DETAILS SEE SHEET SP-5 & SP-6

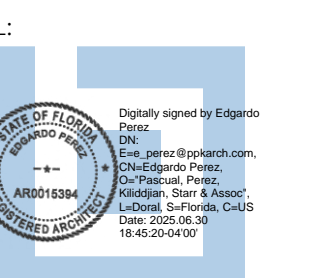
7TH FLOOR PLAN
SCALE: 1:30



- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY **KUSHNER**
HOLLYWOOD, FLORIDA



SITE PLAN

8TH FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

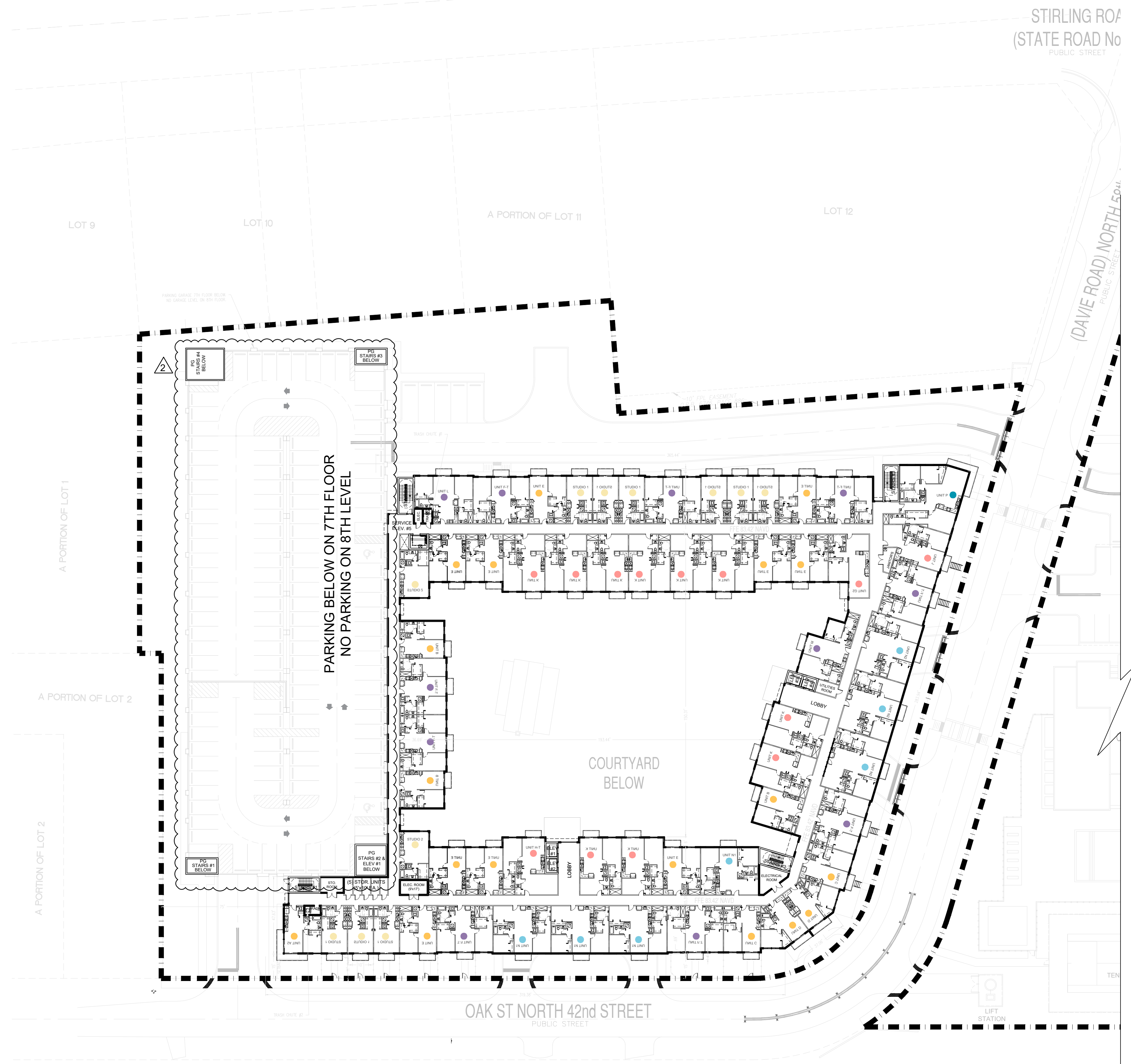
SP-4.2

SHEET NO.:

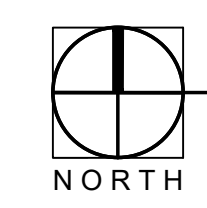
STIRLING ROAD
(STATE ROAD NO
PUBLIC STREET

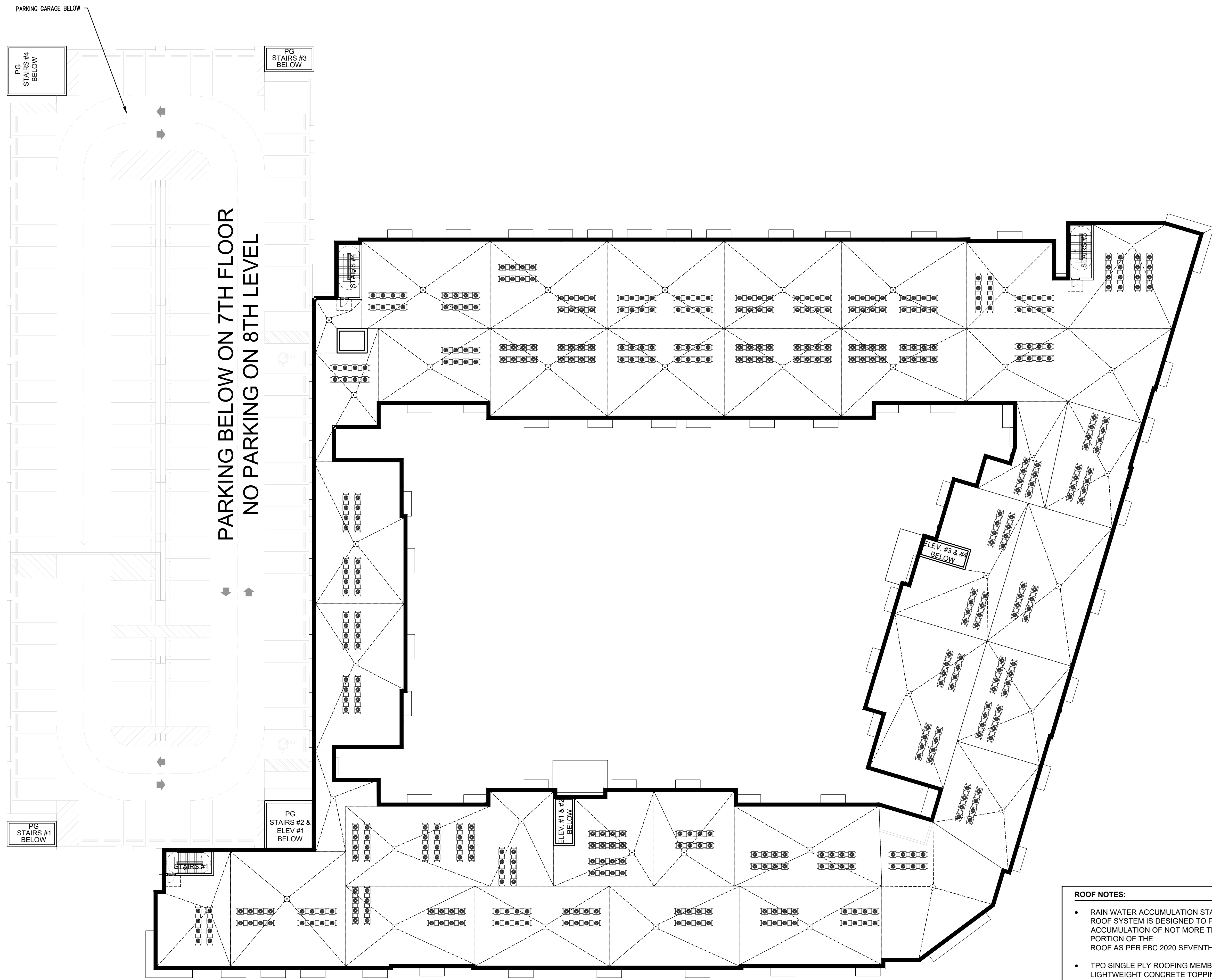
(DAVIE ROAD) NORTH
PUBLIC STREET

OAK ST NORTH 42nd STREET
PUBLIC STREET



8TH FLOOR PLAN
SCALE: 1:30



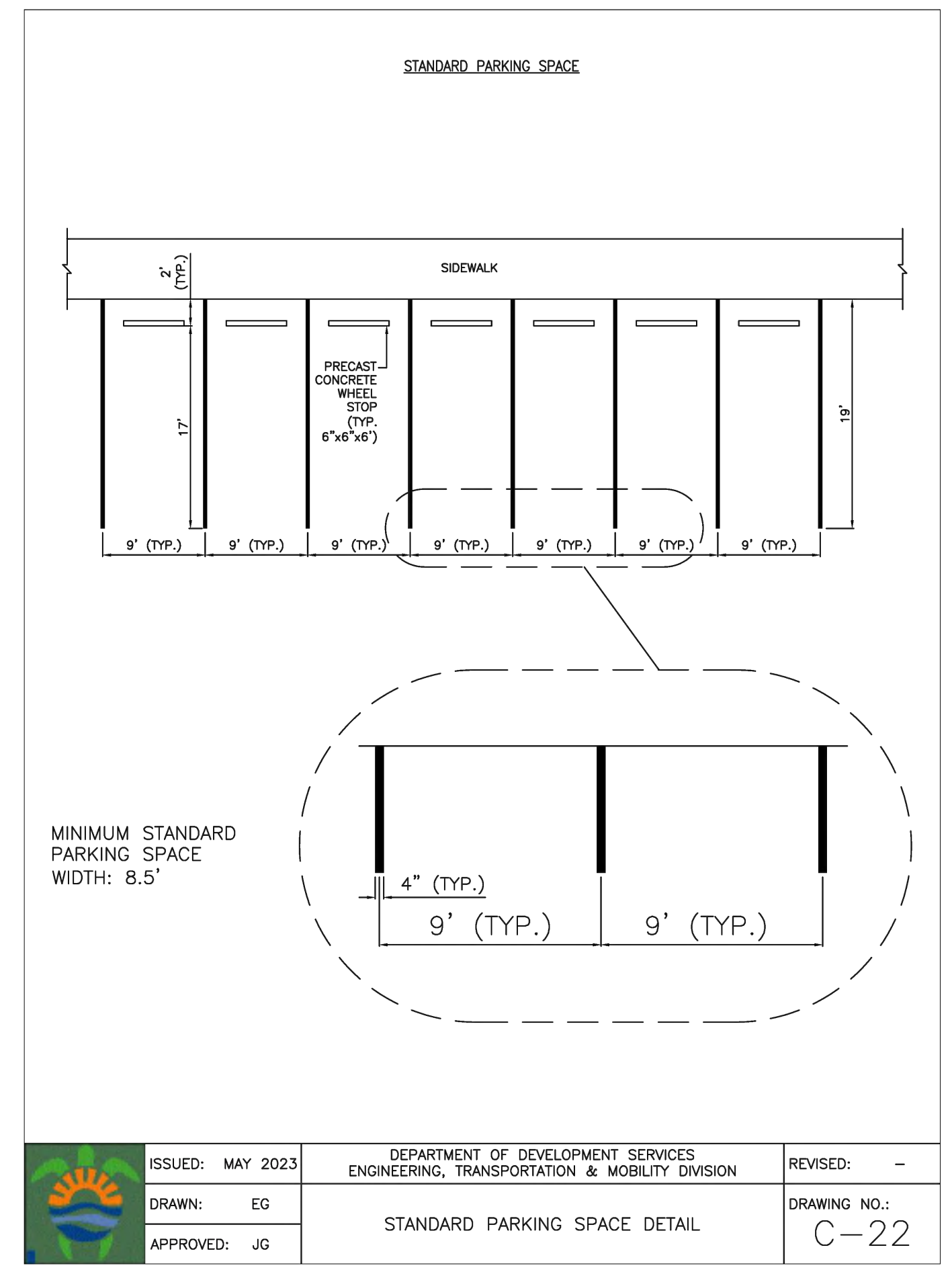
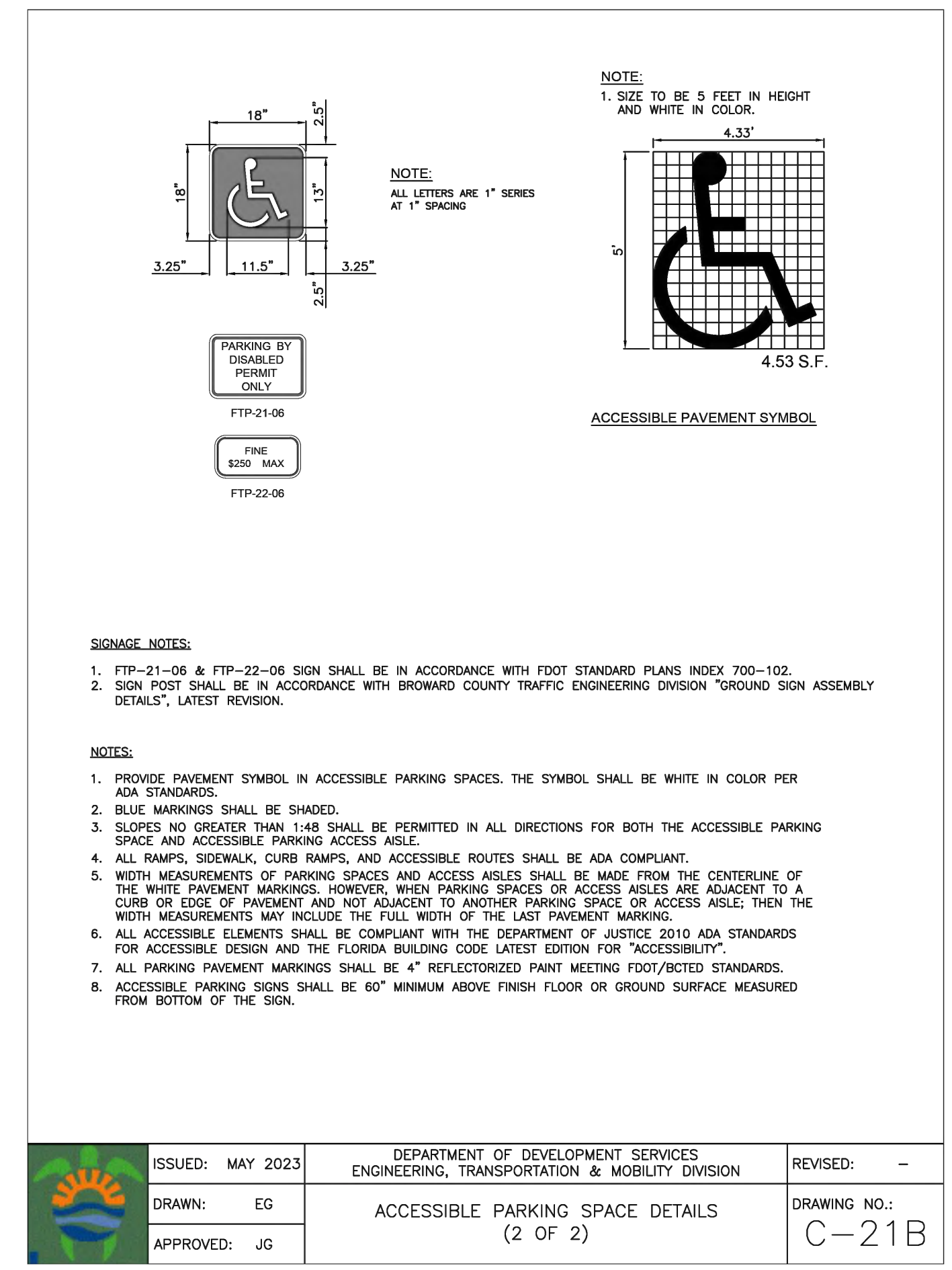
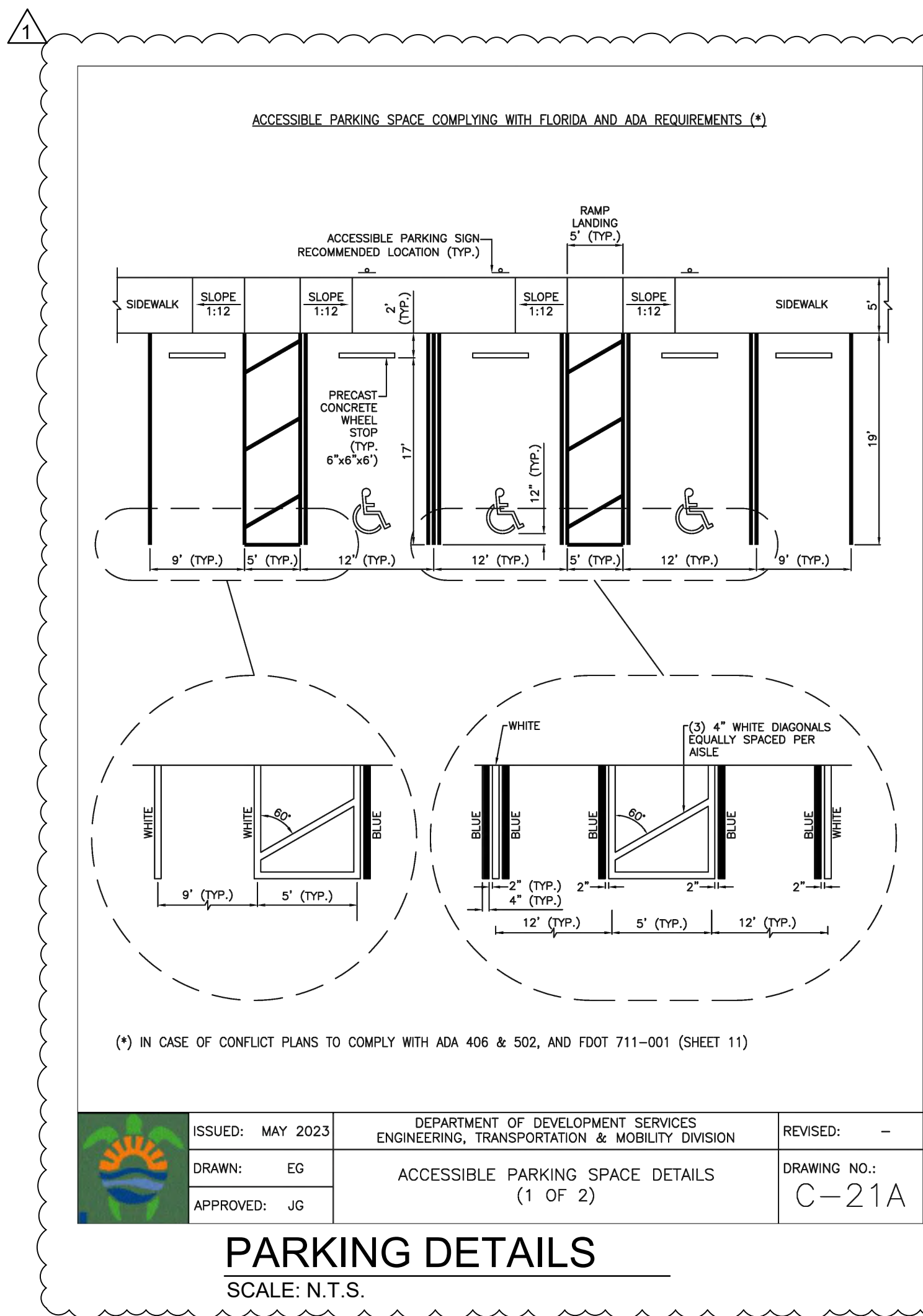
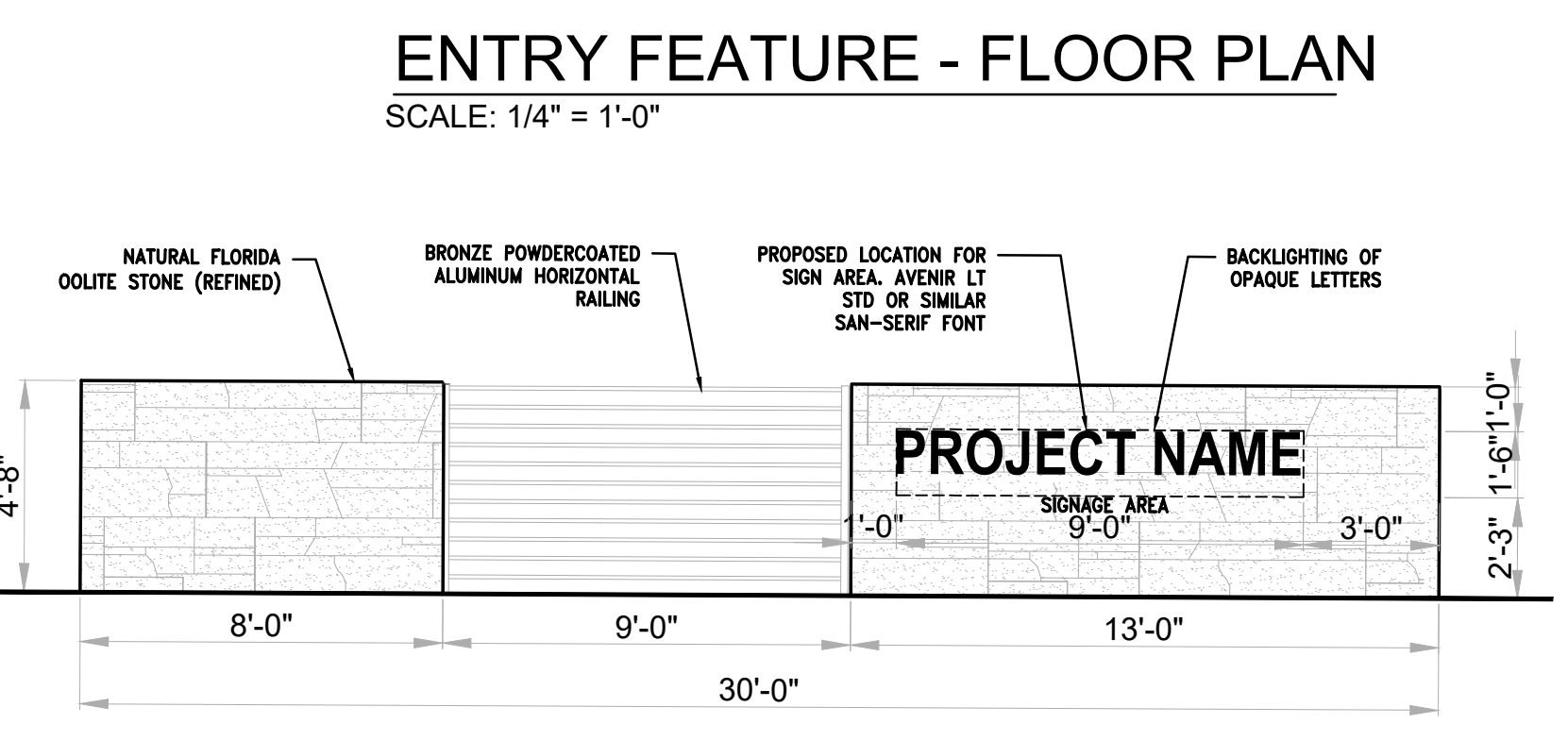
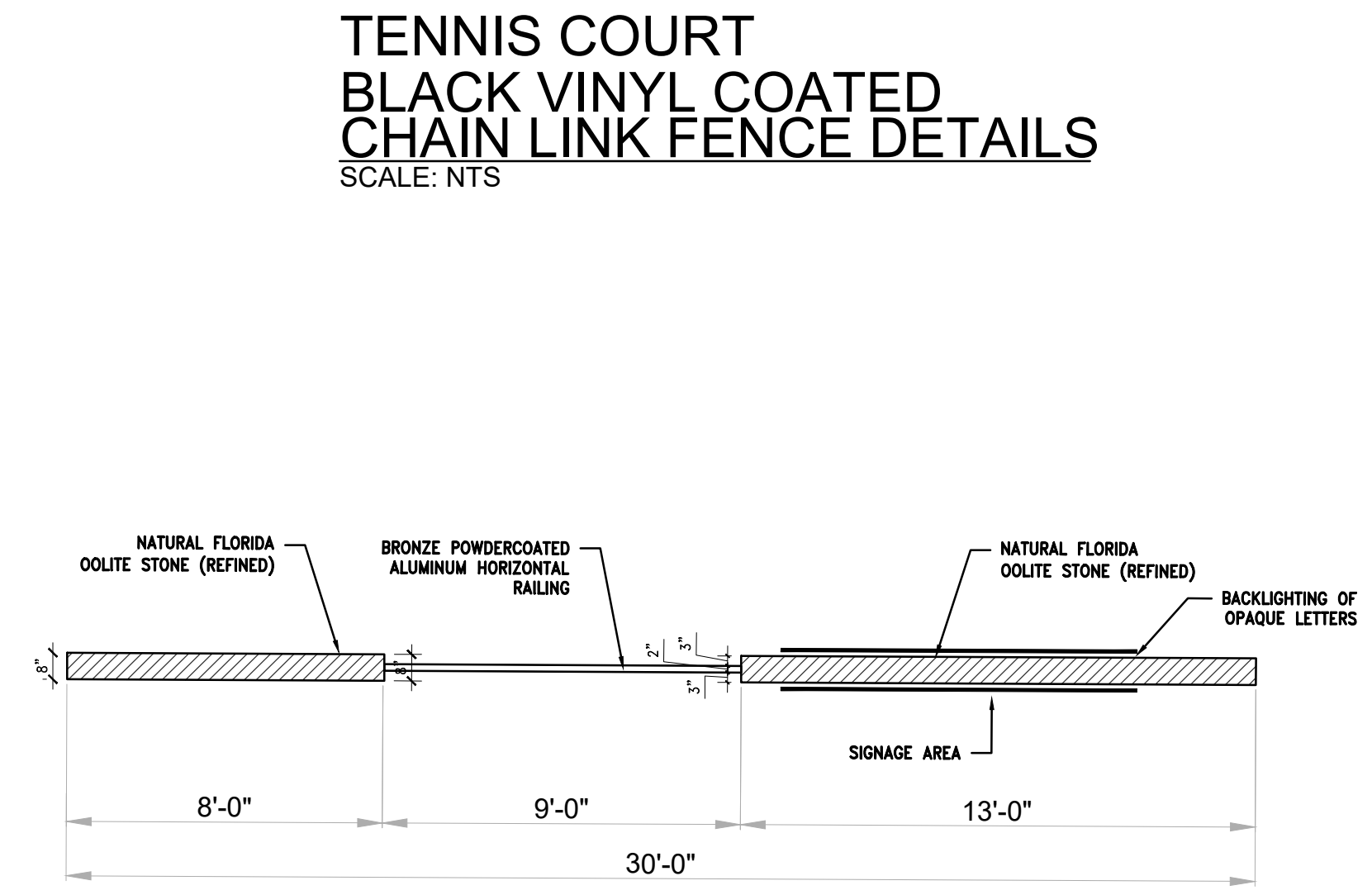
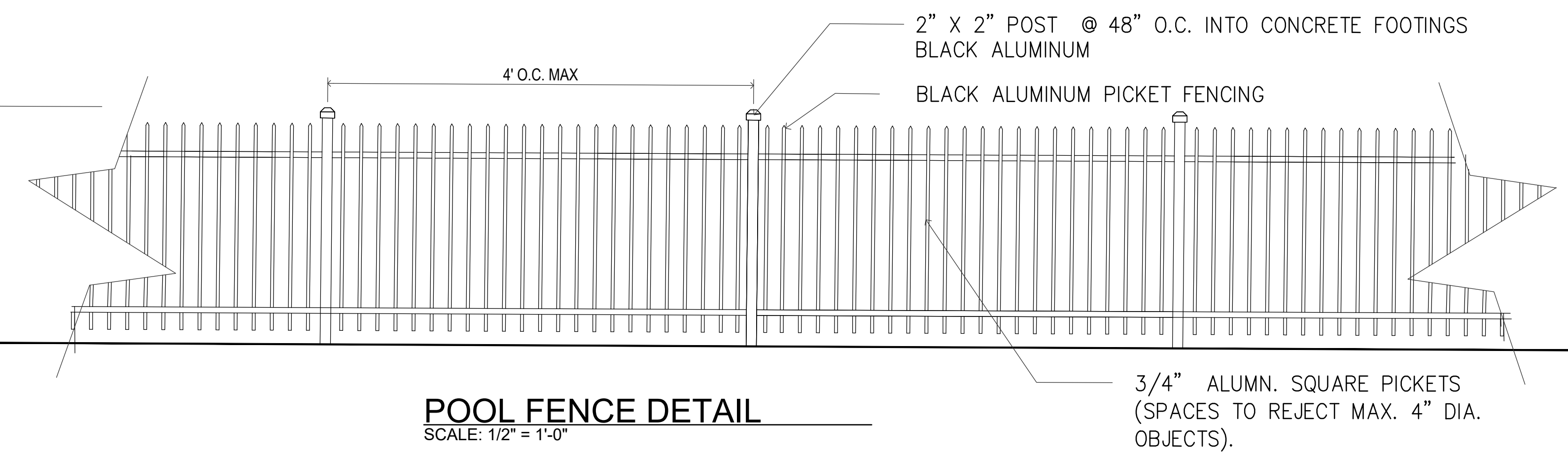
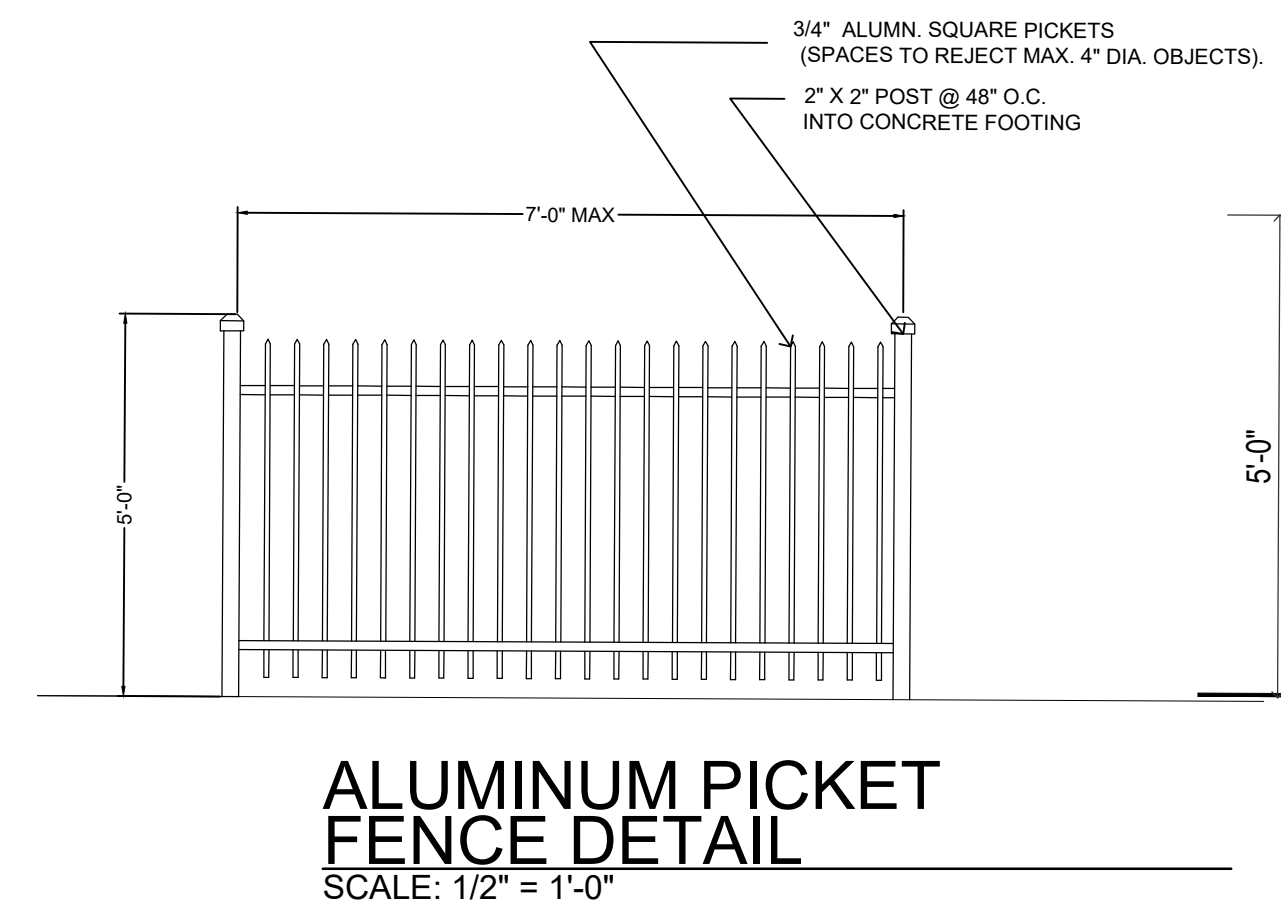
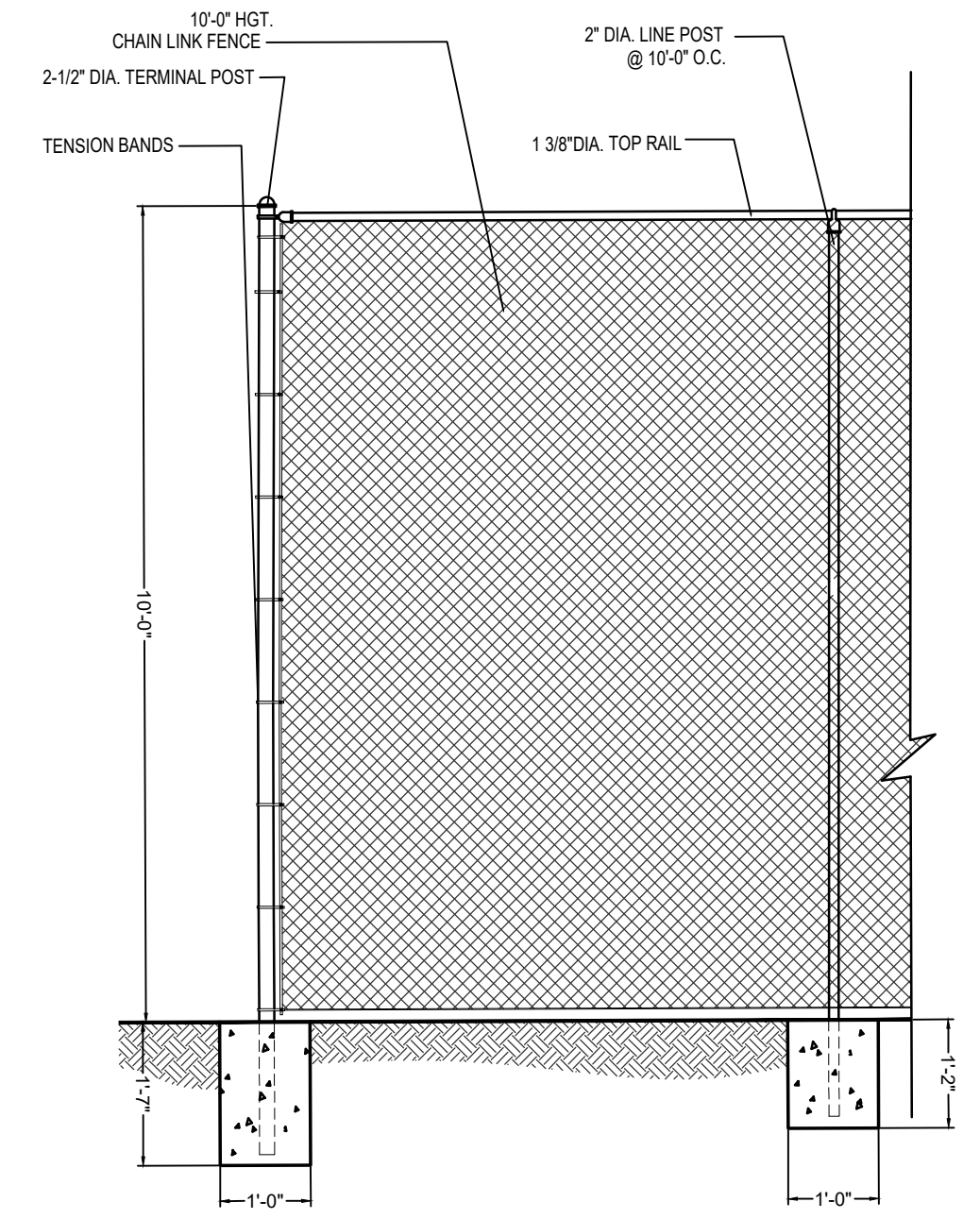
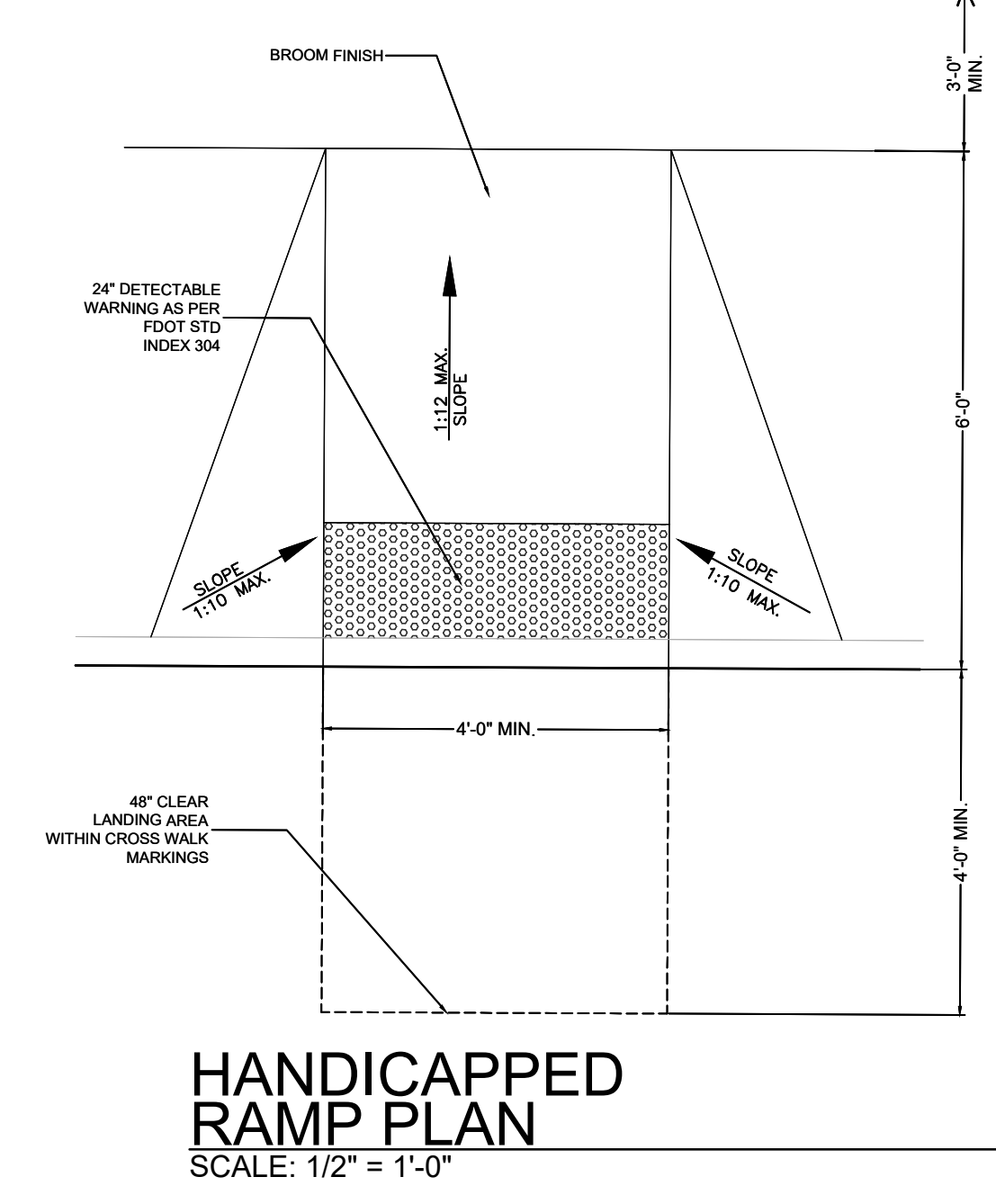
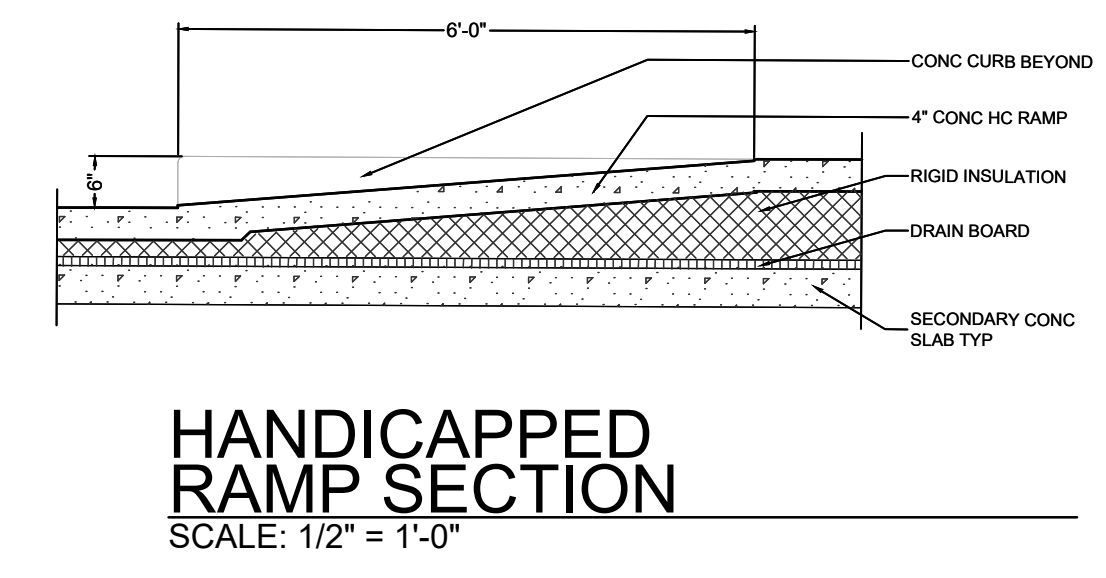
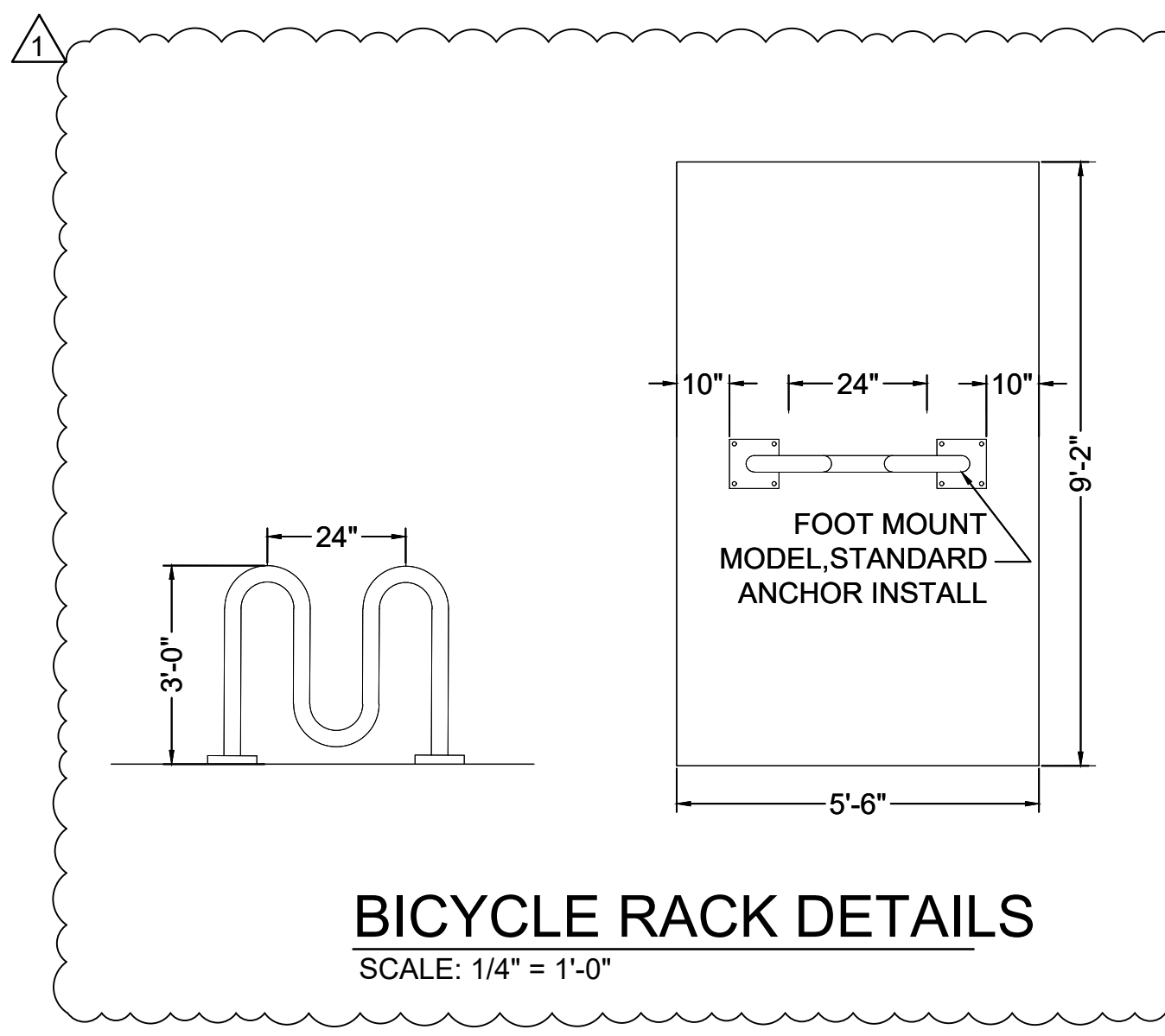


ROOF NOTES:

- RAIN WATER ACCUMULATION STATEMENT: ROOF SYSTEM IS DESIGNED TO PREVENT THE ACCUMULATION OF NOT MORE THAN 5" OF WATER ON ANY PORTION OF THE ROOF AS PER FBC 2020 SEVENTH EDITION SECTION 1611.1.
- TPO SINGLE PLY ROOFING MEMBRANE ATTACHED TO LIGHTWEIGHT CONCRETE TOPPING OVER HIGH DENSITY FOAM INSULATION ON CONCRETE SLAB. PROVIDE 1/4" MIN SLOPE FROM 2" MIN AT THE DRAIN LOCATION TO 6" MAX AT THE HIGH POINT. THE ROOF MEMBRANE SHOULD TERMINATE 6" TO 8" HGT ALONG THE PERIMETER OF THE PARAPET WALLS.
- SEE CIVIL DRAWING FOR ROOF DRAINAGE CONNECTION POINTS.

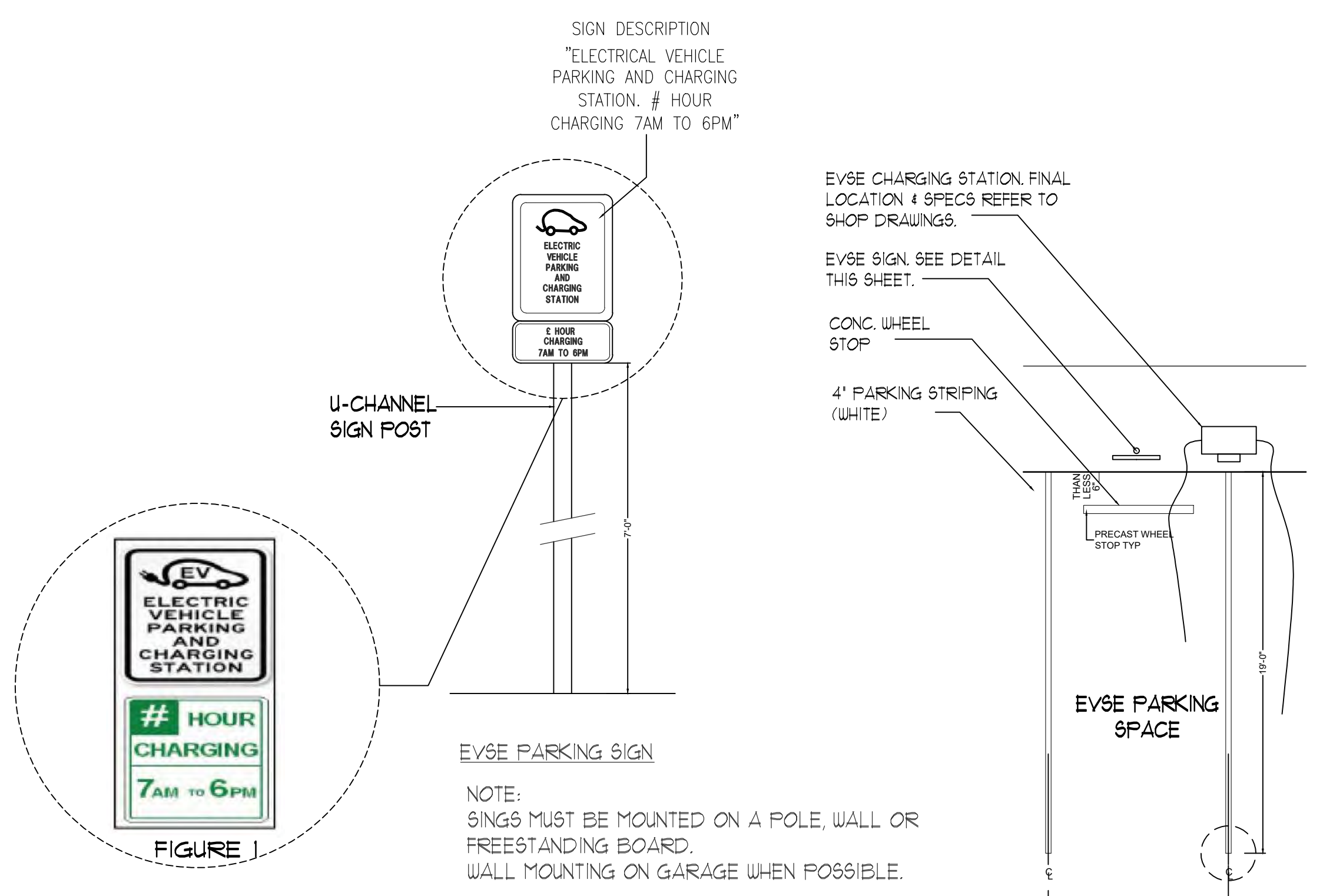
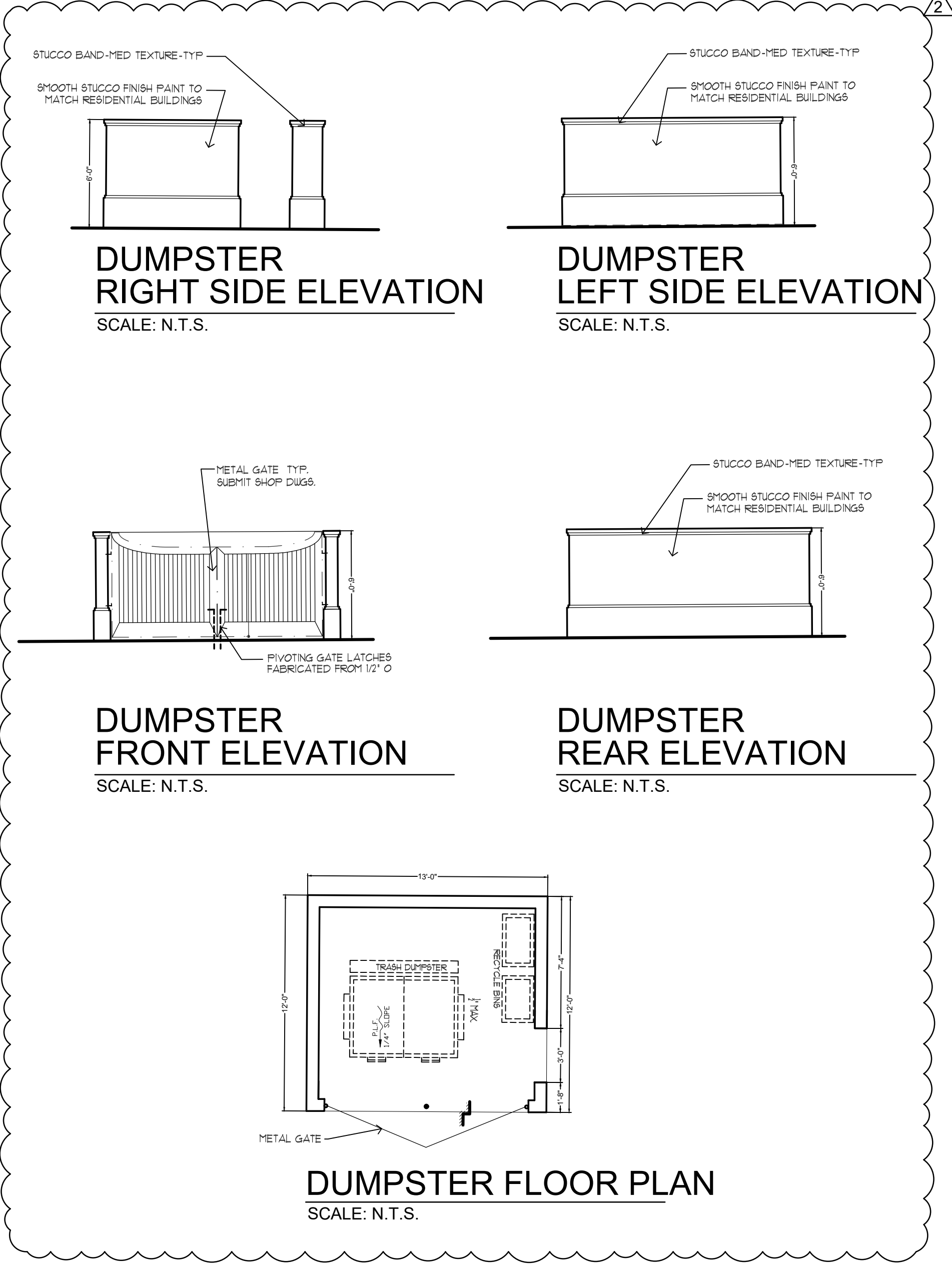
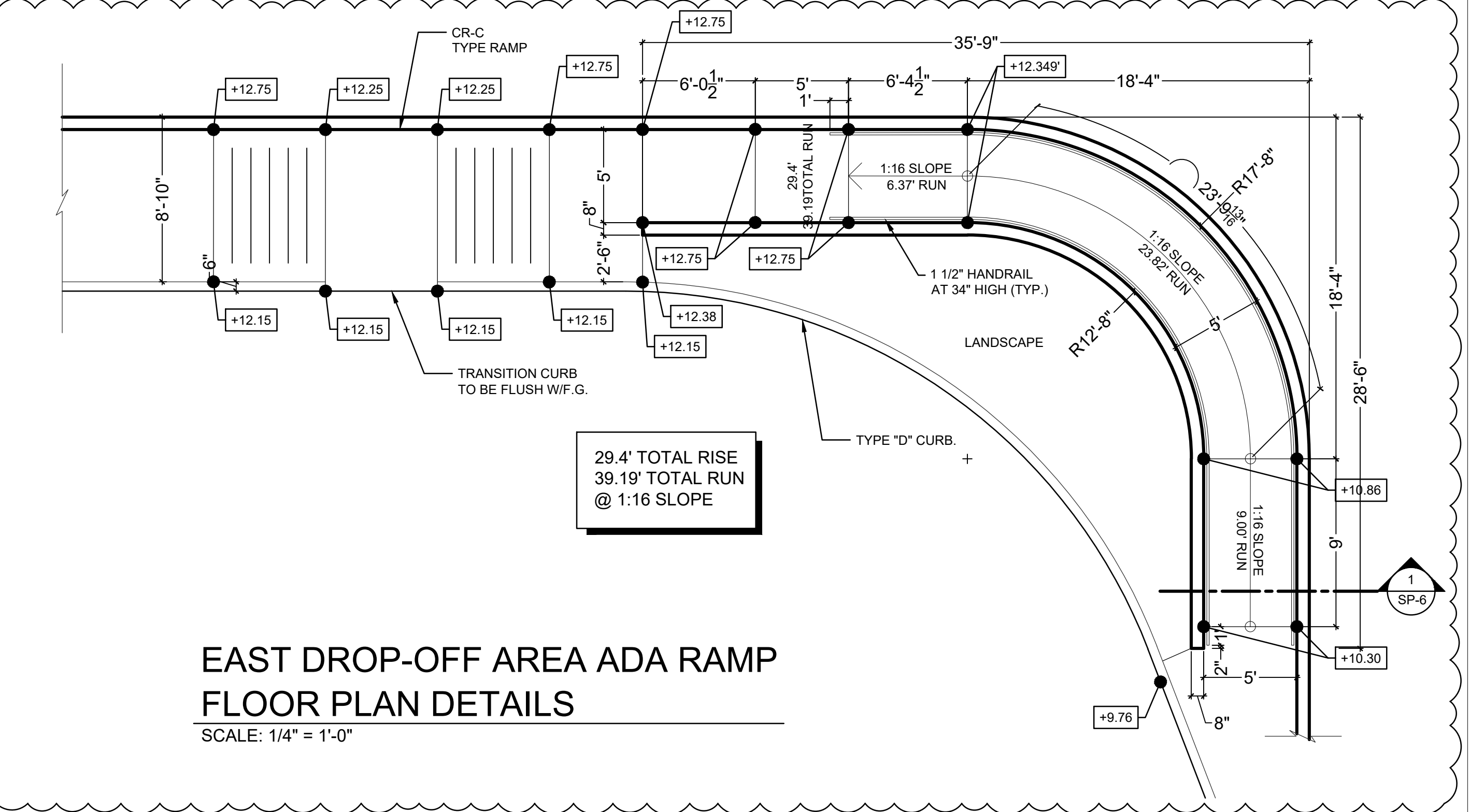
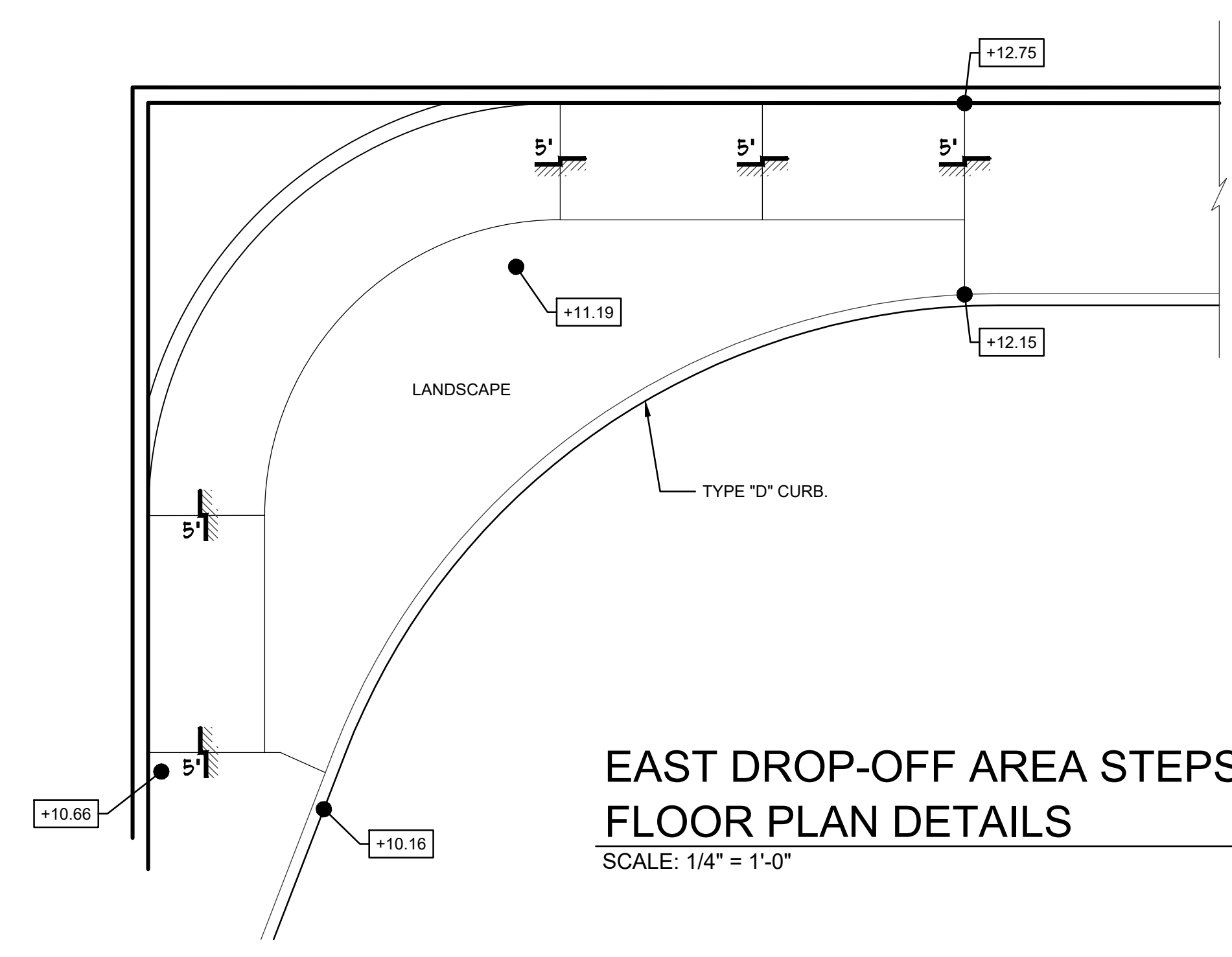
ROOF PLAN
 SCALE: 1:20
 NORTH

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS. The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

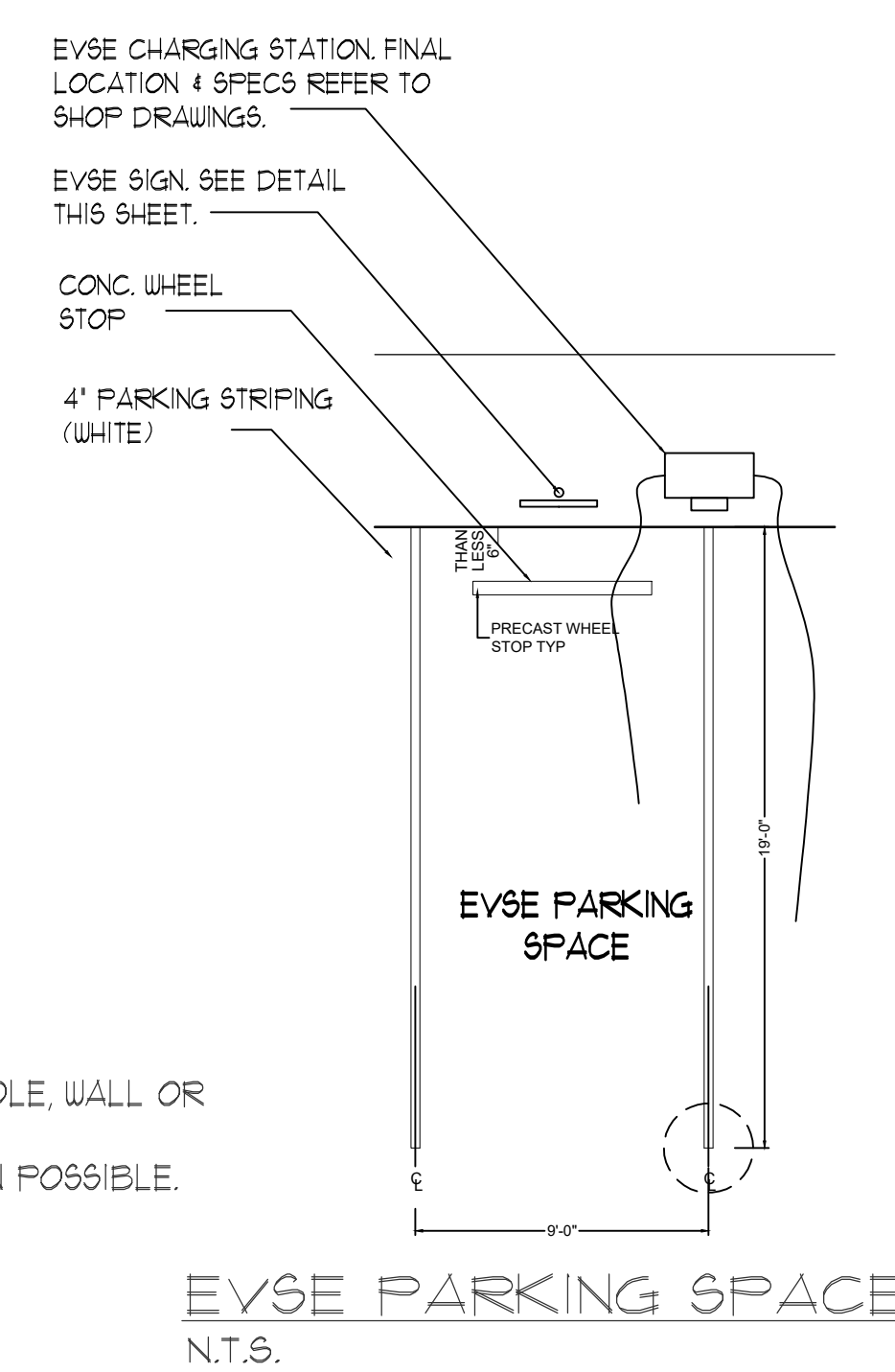


EVSE PARKING SIGN DETAIL
 N.T.S.

SIGNAGE:

- ALL ELECTRIC VEHICLE PARKING SPACES SHALL BE PROMINENTLY DESIGNATED WITH A PERMANENT ABOVE GROUND SIGN WHICH SHALL CONFORM TO FIGURE 1 ABOVE ENTITLED 'ELECTRIC VEHICLE CHARGING STATION SIGN'.
- BOTTOM PORTION OF THE SIGN MUST BE AT LEAST 5 FEET ABOVE GRADE WHEN ATTACHED TO A BUILDING, OR 1 FEET ABOVE GRADE FOR A DETACHED SIGN.
- THE PROPERTY OWNER OR OPERATOR MAY ESTABLISH THE HOURS DURING WHICH VEHICLES MAY BE CHARGED AND THE LENGTH OF CHARGING TIME PERMITTED PER VEHICLE AND SUCH INFORMATION DEPICTED ON THE SIGN IN THE MANNER SHOWN ON FIGURE 1 ABOVE.

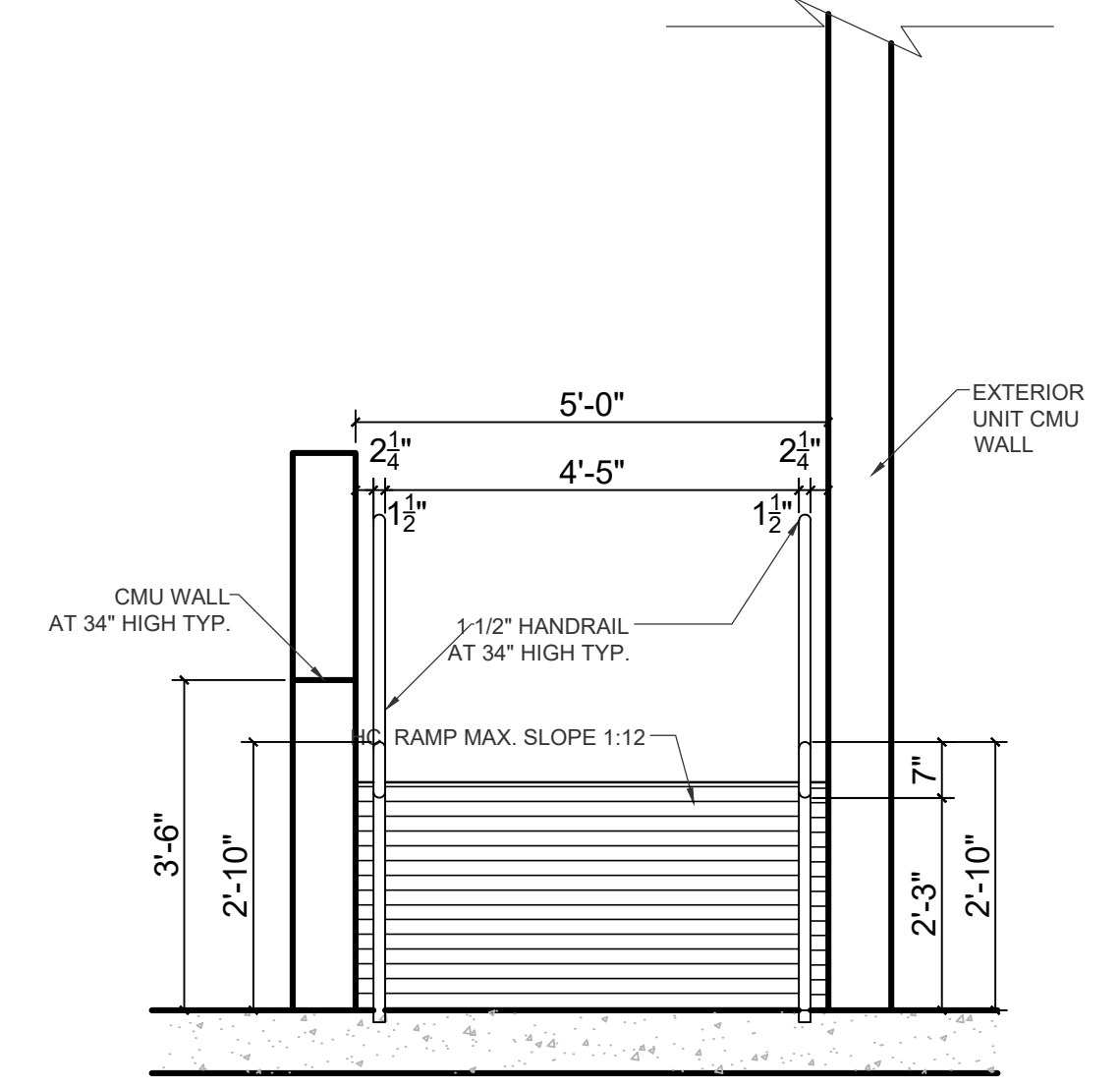
EV PARKING DETAILS
 SCALE: N.T.S.



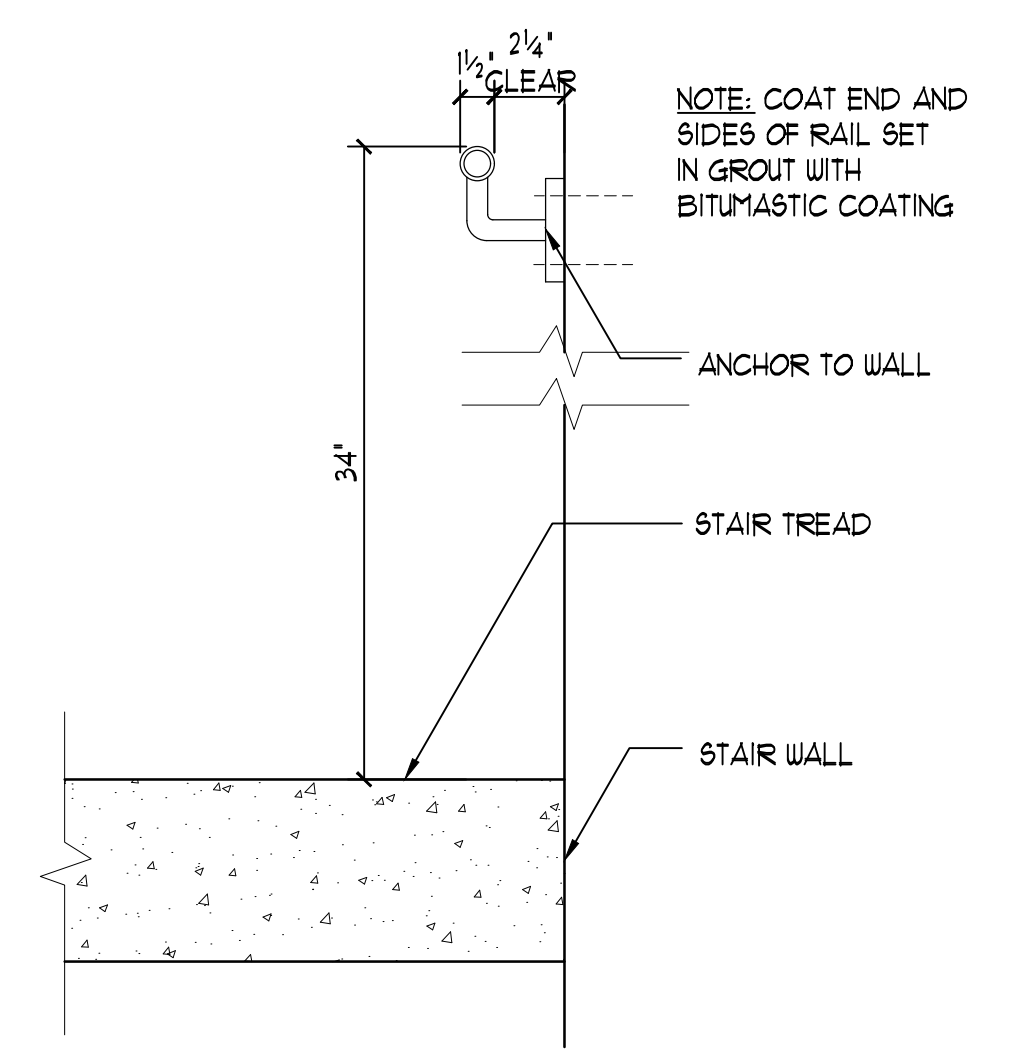
EVSE PARKING SPACE
 N.T.S.

PARKING:

- DEFINITIONS.
 - ELECTRIC VEHICLE OR EV. SHALL MEAN ANY VEHICLE THAT OPERATES EITHER PARTIALLY OR EXCLUSIVELY ON ELECTRICAL ENERGY FROM AN OFF BOARD SOURCE THAT IS STORED ON-BOARD FOR MOTIVE PURPOSE.
 - ELECTRIC VEHICLE SUPPLY EQP. OR EVSE SHALL MEAN A UNIT OF FUELING INFRASTRUCTURE THAT SUPPLIES ELECTRIC ENERGY FOR RECHARGING.
 - EVSE SPACE SHALL MEAN A PARKING SPACE EQUIPPED WITH MIN. LEVEL 2.
 - EVSE-READY SPACE SHALL MEAN A PARKING SPACE WITH CIRCUITRY, AS PER F.B.C.
- NUMBER OF REQ. EVSE SPACES SHALL BE DETERMINED BASED ON THE TOTAL OF OFF-STREET PARKING SPACES (2% OF REQ. PARKING SPACES).
- THE EVSE OPERATOR MAY CHARGE A FEE FOR ELECTRIC VEHICLE CHARGING.



EAST DROP-OFF AREA ADA RAMP ELEV./SEC. DETAIL 1
 SCALE: 1/2" = 1'-0"



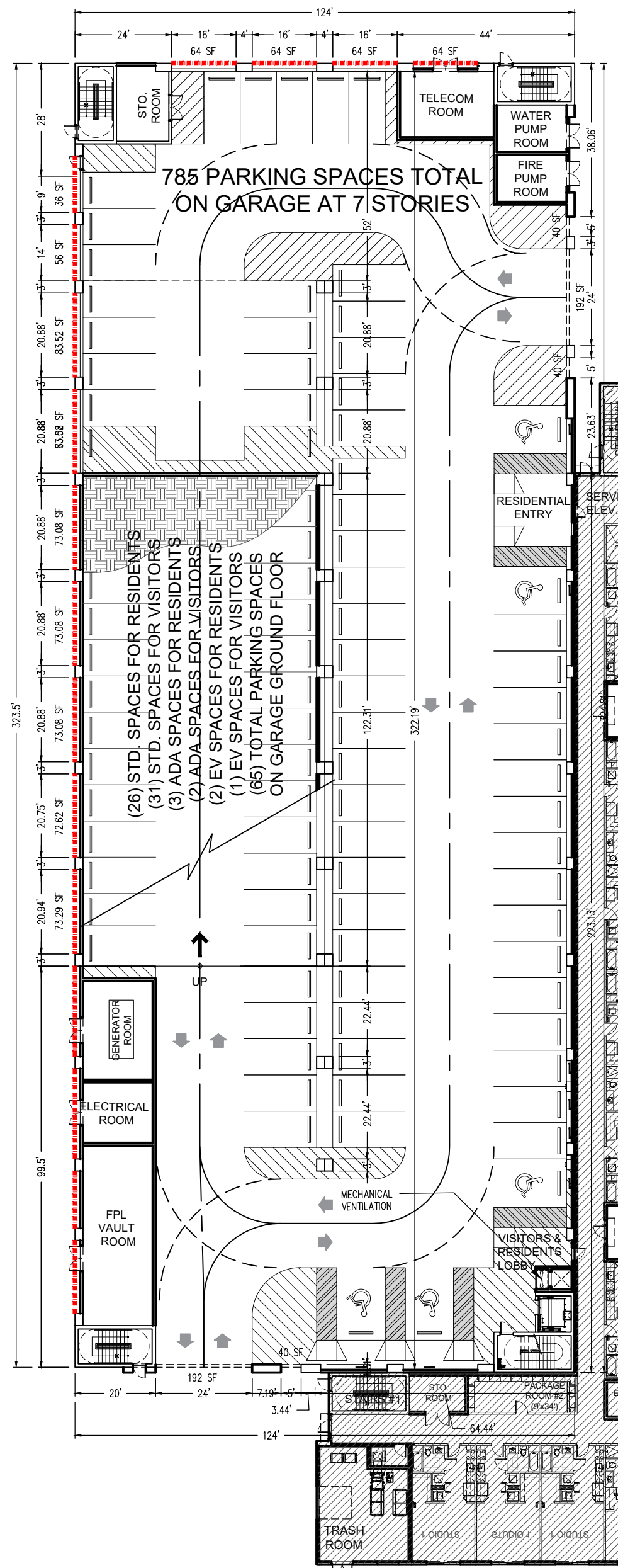
HANDRAIL DETAILS
 SCALE: N.T.S.

NATURAL VENTILATION CALCULATION FOR OPEN PARKING STRUCTURE
GENERAL NOTES:

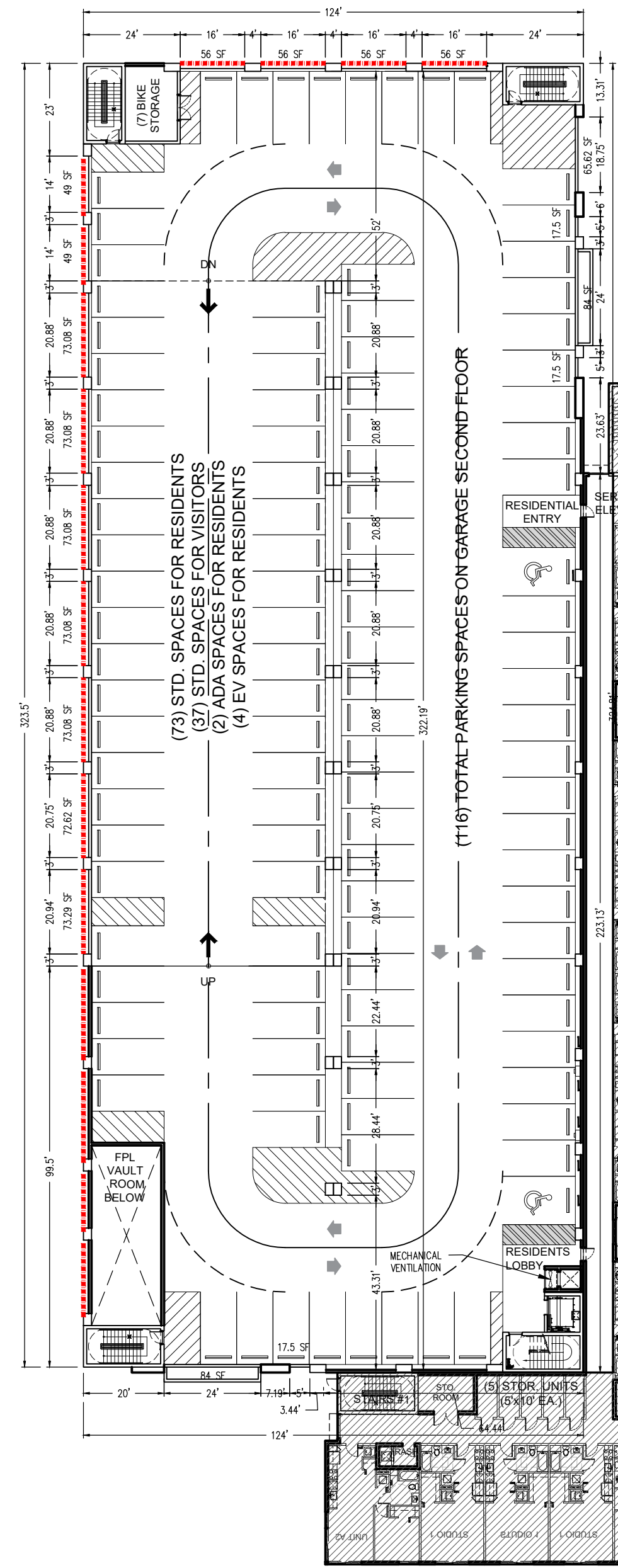
- AS PER 406.5.2 - NATURAL VENTILATION SHALL BE PROVIDED AND HAVE UNIFORMLY DISTRIBUTED OPENINGS ON TWO OR MORE SIDES.
- THE AREA OF SUCH OPENINGS IN THE EXTERIOR WALLS IN A TIER SHALL NOT BE LESS THAN 20% OF THE TOTAL PERIMETER WALL AREA OF THAT TIER.
- THE AGGREGATE LENGTH OF SUCH OPENINGS SHALL NOT BE LESS THAN 40% OF THE PERIMETER OF THE TIER.
- INTERIOR WALLS SHALL NOT BE LESS THAN 20% OPEN WITH UNIFORMLY DISTRIBUTED OPENINGS.
- NATURAL VENTILATION CALCULATIONS NOT REQUIRED FOR PARKING GARAGE 7TH LEVEL.
- MECHANICAL VENTILATION WILL BE NEED IT, MECHANICAL ENGINEER TO PROVIDE PARKING GARAGE CALCULATIONS AT TIME OF PERMITTING.

LEGEND:

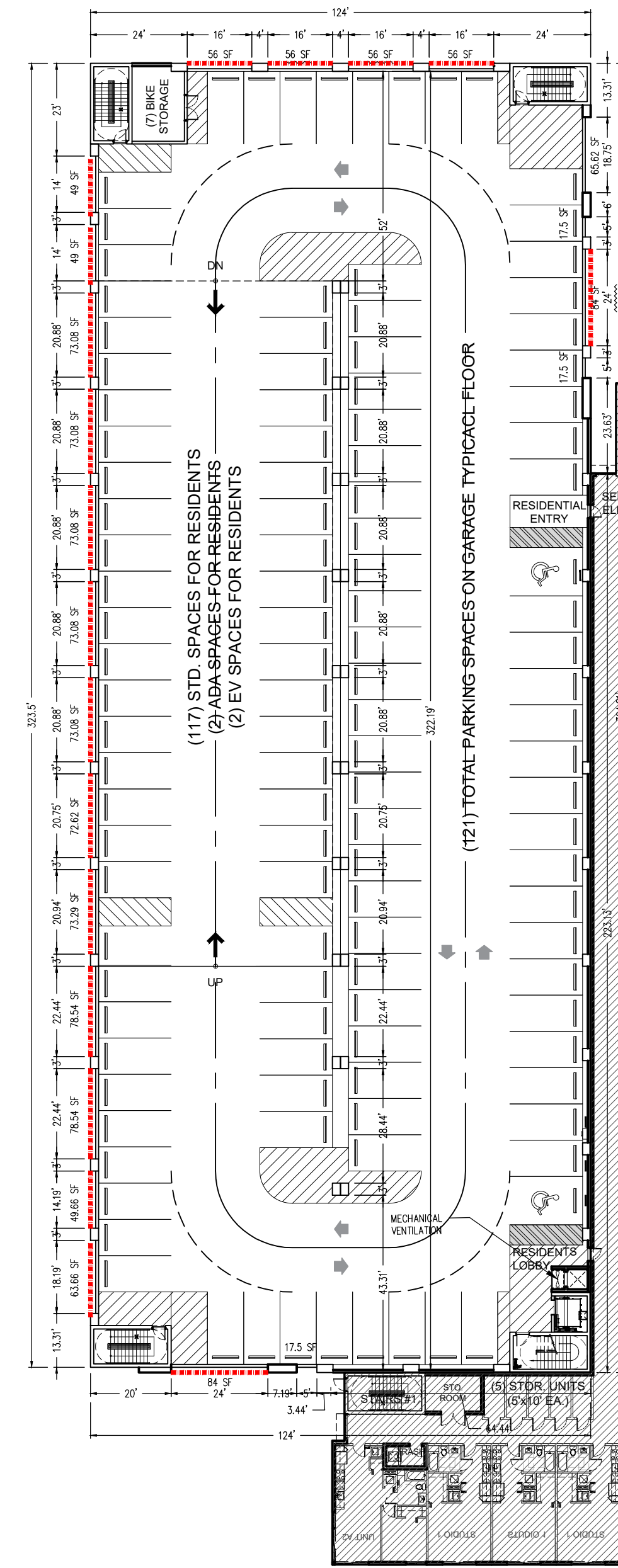
OPENINGS WITH METAL LOUVER SCREEN
SEE A-1 & A-2 FOR DETAILS.



NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE					
GROUND FLOOR					
MIN. OPEN AREA AS PER NPFA 88A 5.5.2					
REQUIRED		PROVIDED			
TOTAL PERIMETER x FLOOR HEIGHT	TOTAL PERIMETER	896'			
9,555 SF	FLOOR HEIGHT	10.66'			
1,911 SF	20.00%	1,171 SF	12.25%		
OPEN AREA					
WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA		
SOUTH	232 SF	0 SF	232 SF		
EAST	272 SF	0 SF	272 SF		
NORTH	0 SF	224 SF	179 SF		
WEST	0.00 SF	609.31 SF	487 SF		
TOTAL	504 SF	667 SF	1,171 SF		
PERIMETER					
WALL ID.	PERIMETER BY WALL	OPENING LENGTH			
SOUTH	124'	29'			
EAST	324.81'	34'			
NORTH	124'	48'			
WEST	323.5'	50.76'			
TOTAL	896'	162'			
MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3					
REQUIRED	PROVIDED				
OPENINGS MIN. 40% OF TOTAL PERIMETER WALL	18.05%				
359'	162'				
MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5					
INTERIOR LENGTH	322.19'				
INT. OPENING LENGTH	187.95'				
REQUIRED	PROVIDED				
OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH	58.34%				
38'	187.95'				

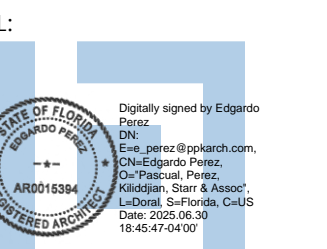


NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE					
SECOND FLOOR					
MIN. OPEN AREA AS PER NPFA 88A 5.5.2					
REQUIRED		PROVIDED			
TOTAL PERIMETER x FLOOR HEIGHT	TOTAL PERIMETER	896'			
9,555 SF	FLOOR HEIGHT	10.66'			
1,911 SF	20.00%	770 SF	8.06%		
OPEN AREA					
WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA		
SOUTH	101.5 SF	0 SF	102 SF		
EAST	184.62 SF	0 SF	185 SF		
NORTH	0 SF	224 SF	179 SF		
WEST	0 SF	609.31 SF	305 SF		
TOTAL	286 SF	484 SF	770 SF		
PERIMETER					
WALL ID.	PERIMETER BY WALL	OPENING LENGTH			
SOUTH	124'	29'			
EAST	324.81'	52.75'			
NORTH	124'	64'			
WEST	323.5'	174.19'			
TOTAL	896'	320'			
MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3					
REQUIRED	PROVIDED				
OPENINGS MIN. 40% OF TOTAL PERIMETER WALL	35.70%				
359'	320'				
MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5					
INTERIOR LENGTH	322.19'				
INT. OPENING LENGTH	292.28'				
REQUIRED	PROVIDED				
OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH	90.72%				
58'	292.28'				



TYPICAL FLOOR PLAN 3RD TO 7TH LEVEL
SCALE: 1:30

NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE					
TYPICAL FLOOR (3RD - 7TH)					
MIN. OPEN AREA AS PER NPFA 88A 5.5.2					
REQUIRED		PROVIDED			
TOTAL PERIMETER x FLOOR HEIGHT	TOTAL PERIMETER	896'			
9,555 SF	FLOOR HEIGHT	10.66'			
1,911 SF	20.00%	1,135 SF	11.88%		
OPEN AREA					
WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA		
SOUTH	17.50 SF	84 SF	85 SF		
EAST	100.62 SF	84 SF	168 SF		
NORTH	0 SF	224 SF	179 SF		
WEST	0 SF	879.71 SF	704 SF		
TOTAL	118 SF	1,017 SF	1,135 SF		
PERIMETER					
WALL ID.	PERIMETER BY WALL	OPENING LENGTH			
SOUTH	124'	29'			
EAST	324.81'	52.75'			
NORTH	124'	64'			
WEST	323.5'	251.35'			
TOTAL	896'	397'			
MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3					
REQUIRED	PROVIDED				
OPENINGS MIN. 40% OF TOTAL PERIMETER WALL	44.30%				
359'	397'				
MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5					
INTERIOR LENGTH	322.19'				
INT. OPENING LENGTH	292.28'				
REQUIRED	PROVIDED				
OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH	90.72%				
58'	292.28'				



CLUBHOUSE

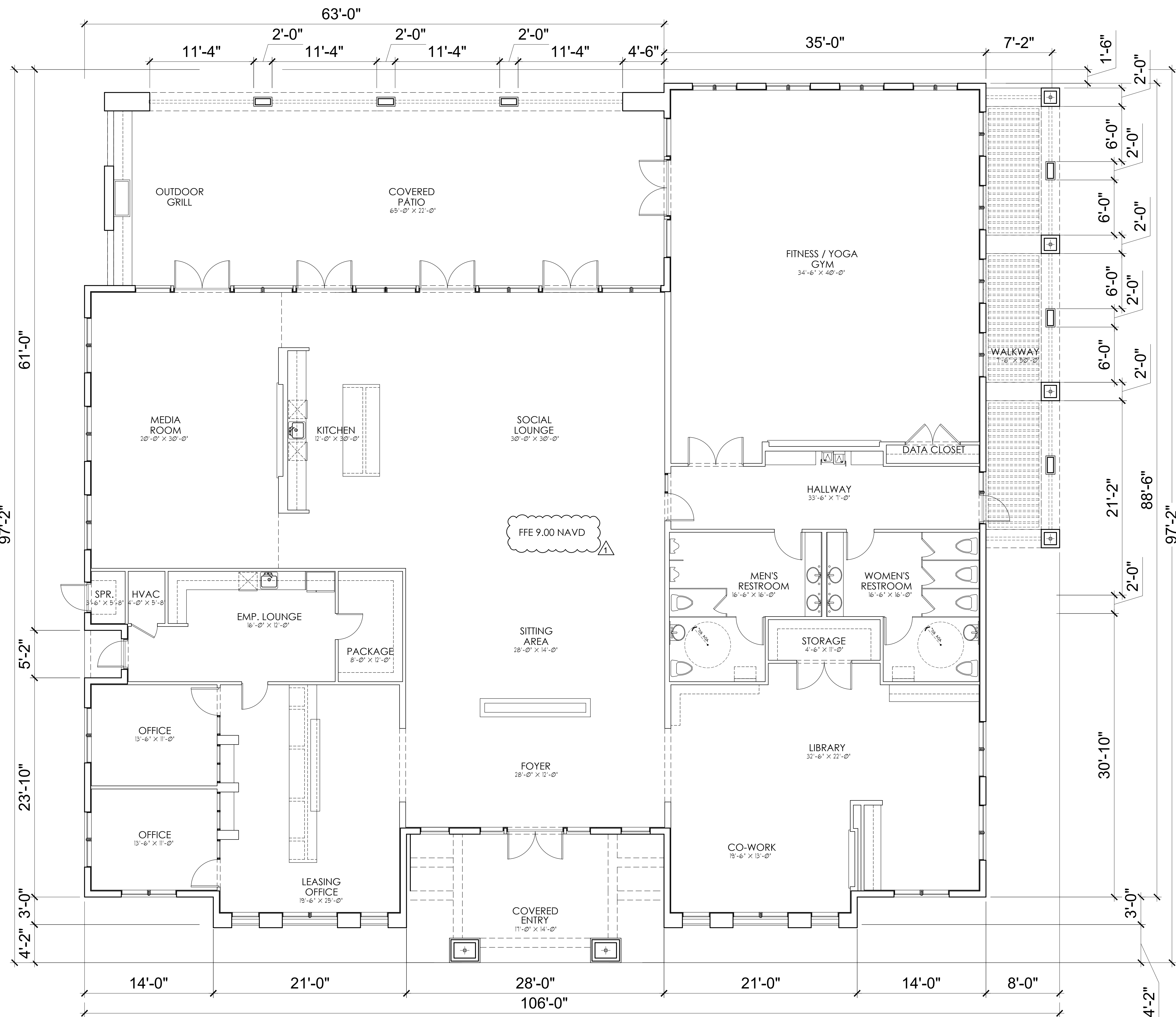
FLOOR PLAN
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-1

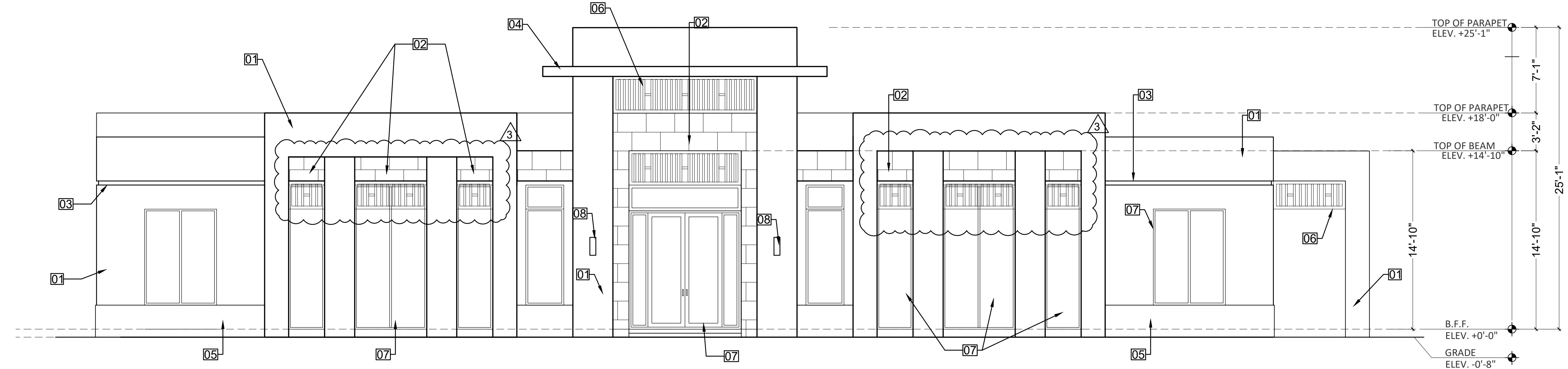
SHEET NO.:

CLUBHOUSE	
AREA CALCULATION	
FITNESS / YOGA GYM	1,477.09 SF
SOCIAL LOUNGE	921.23 SF
KITCHEN	368.99 SF
MEDIA ROOM	648.32 SF
LEASING OFFICE / EMPLOYEE LOUNGE	1,250.43 SF
HALLWAY	259.98 SF
MEN'S RESTROOMS	250.10 SF
WOMEN'S RESTROOMS	254.34 SF
SITTING AREA & FOYER	860.20 SF
LIBRARY & CO-WORK	955.57 SF
TOTAL A/C AREA	7,246.25 SF
WALKWAY	429.67 SF
COVERED ENTRY	222.91 SF
COVERED PATIO	1,401.00 SF
TOTAL LOT COVERAGE	9,299.83 SF

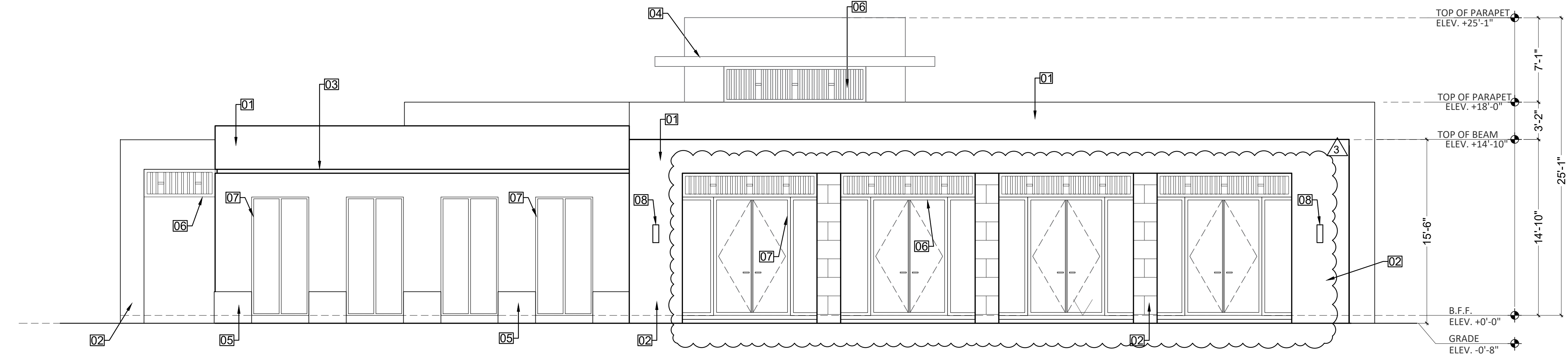
OCCUPANCY LOAD CALCULATIONS:		OCCUPANCY CLASSIFICATION + A-3
		AS PER FBC 2023 TABLE 1004.5
FITNESS / YOGA GYM EXERCISE ROOM	1477 SQ.FT 50 SF/PERSON	30 MAX. OCCUPANT LOAD
SOCIAL LOUNGE ASSEMBLY - UNCONCENTRATED	921 SQ.FT 15 SF/PERSON	62 MAX. OCCUPANT LOAD
KITCHEN KITCHEN	369 SQ.FT 100 SF/PERSON	2 MAX. OCCUPANT LOAD
MEDIA ROOM ASSEMBLY - UNCONCENTRATED	648 SQ.FT 15 SF/PERSON	44 MAX. OCCUPANT LOAD
LEASING OFFICE BUSINESS AREAS	1250 SQ.FT 150 SF/PERSON	9 MAX. OCCUPANT LOAD
SEATING AREA / FOYER WAITING AREAS	860 SQ.FT 15 SF/PERSON	58 MAX. OCCUPANT LOAD
LIBRARY & CO-WORK LIBRARY - READING ROOMS	955 SQ.FT 50 SF/PERSON	20 MAX. OCCUPANT LOAD
EMPLOYEE LOUNGE ASSEMBLY - UNCONCENTRATED	1250 SQ.FT 15 SF/PERSON	84 MAX. OCCUPANT LOAD
COVERED PATIO ASSEMBLY - UNCONCENTRATED	1401 SQ.FT 15 SF/PERSON	94 MAX. OCCUPANT LOAD
TOTAL OCCUPANT LOAD PERSONS		403



CLUBHOUSE - FLOOR PLAN
SCALE: 3/16" = 1'-0"



CLUBHOUSE - FRONT ELEVATION
SCALE: 3/16" = 1'-0"

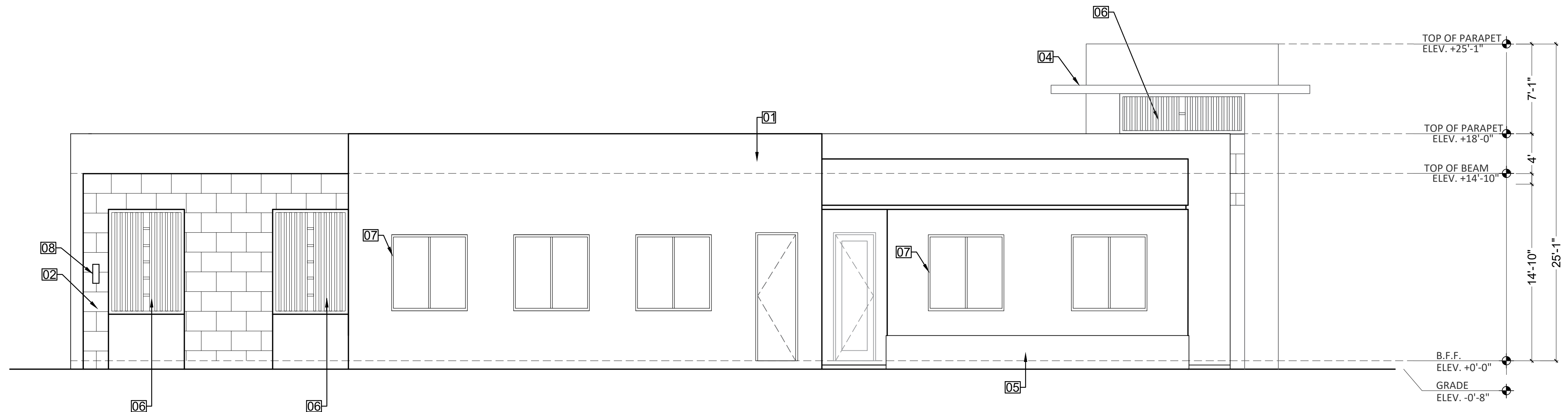


CLUBHOUSE - REAR ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND

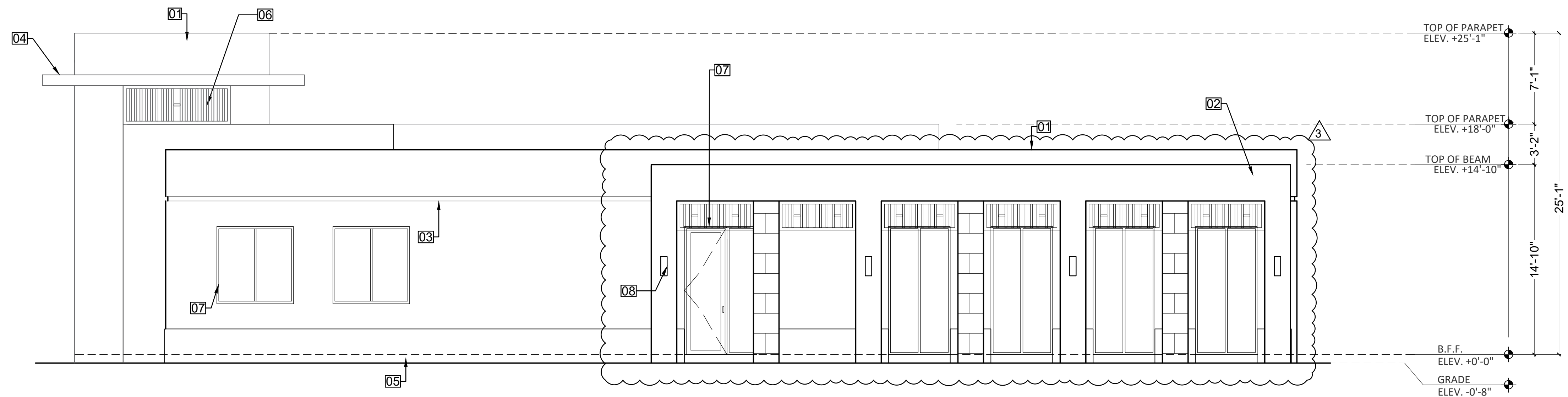
- 01 SMOOTH STUCCO FINISH.
- 02 COQUINA STONE VENEER.
- 03 SMOOTH 4" SCORED STUCCO LINE.
- 04 4" CONCRETE EYEBROW.
- 05 2'-8" STUCCO BAND.
- 06 METAL LOUVERS IN BRONZE.
- 07 WINDOW/DOOR FRAME IN BRONZE
- 08 LIGHT FIXTURE IN BRONZE

COPYRIGHT © 2022 PASCUAL, PEREZ, KILIDDJIAN, STARR - ARCHITECTS - PLANNERS. The architectural design and detail drawings for this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



CLUBHOUSE - LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



CLUBHOUSE - RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND

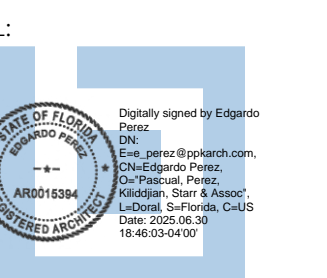
- 01 SMOOTH STUCCO FINISH.
- 02 COQUINA STONE VENEER.
- 03 SMOOTH 4" SCORED STUCCO LINE.
- 04 4" CONCRETE EYEBROW.
- 05 2'-8" STUCCO BAND.
- 06 METAL LOUVERS IN BRONZE.
- 07 WINDOW/DOOR FRAME IN BRONZE
- 08 LIGHT FIXTURE IN BRONZE

COPYRIGHT © 2022 PASCUAL, PEREZ, KILIDDJIAN, STARR - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA



CLUBHOUSE

RENDER ELEVATIONS
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-3.2

SHEET NO.:



**CLUBHOUSE
FRONT (NORTH) ELEVATION**
SCALE: N.T.S.



**CLUBHOUSE
REAR (SOUTH) ELEVATION**
SCALE: N.T.S.

MATERIAL COLOR PALETTE

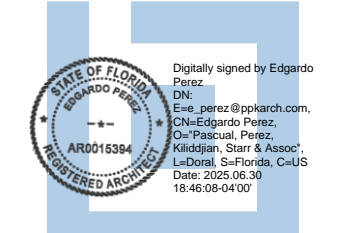
				
ALUMINUM METAL LOUVERS SW 7048 URBANE BRONZE	WINDOWS & DOORS ALUMINUM FRAMES SW 7048 URBANE BRONZE	COQUINA STONE VENEER ACCENT	SMOOTH STUCCO EXTERIOR PAINT SW 7757 HIGH REFLECTIVE WHITE	SMOOTH STUCCO EXTERIOR PAINT SW 7648 BIG CHILL

- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



CLUBHOUSE

RENDER ELEVATIONS

DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-3.3

SHEET NO.:

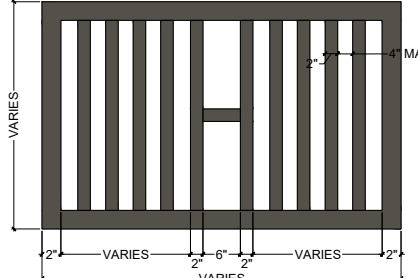
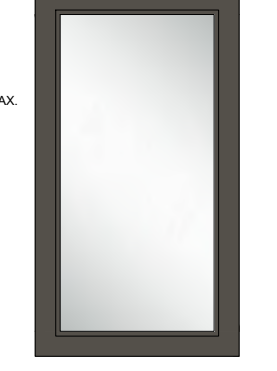

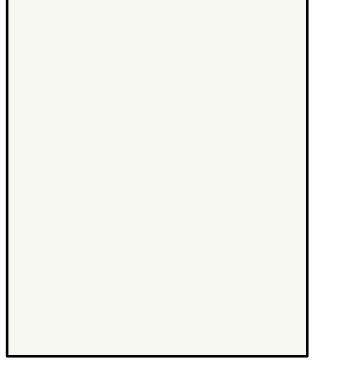



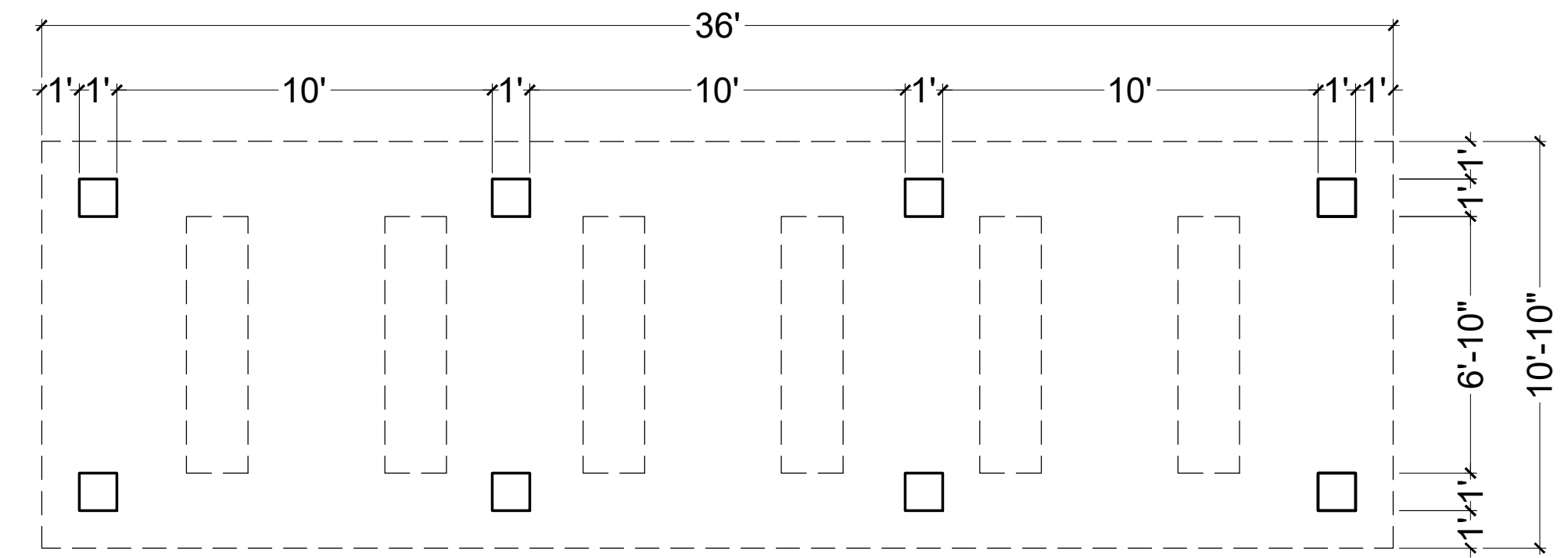
CLUBHOUSE
LEFT SIDE (EAST) ELEVATION
SCALE: N.T.S.



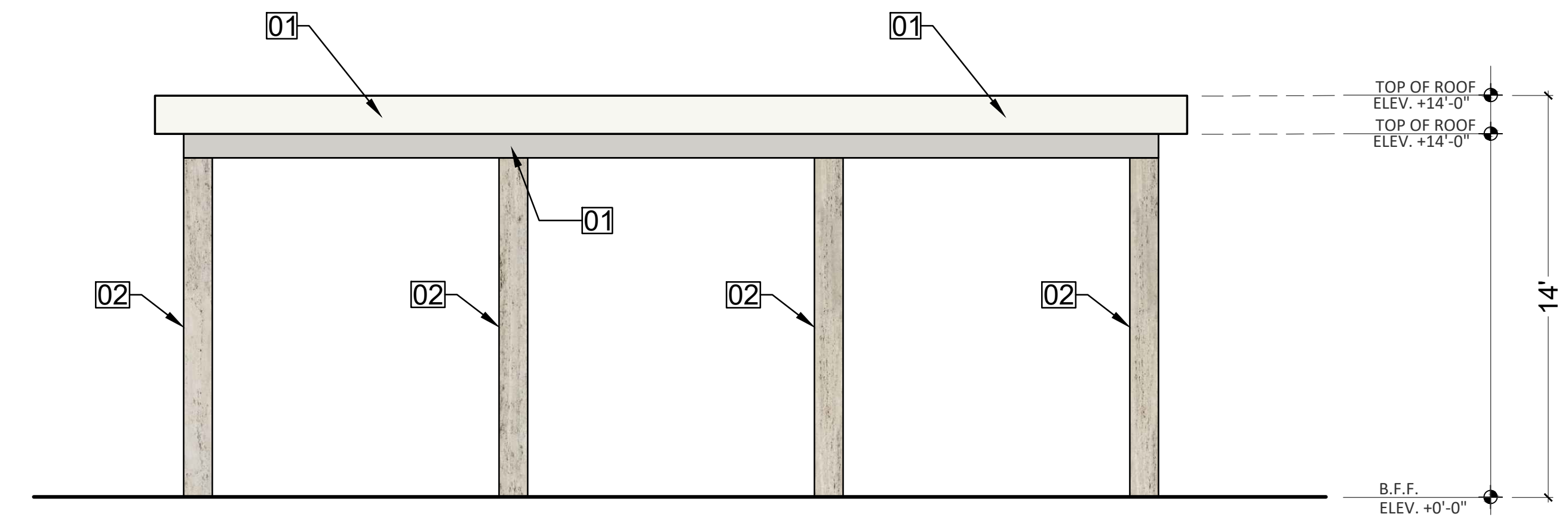
CLUBHOUSE
RIGHT SIDE (WEST) ELEVATION
SCALE: N.T.S.

MATERIAL COLOR PALETTE

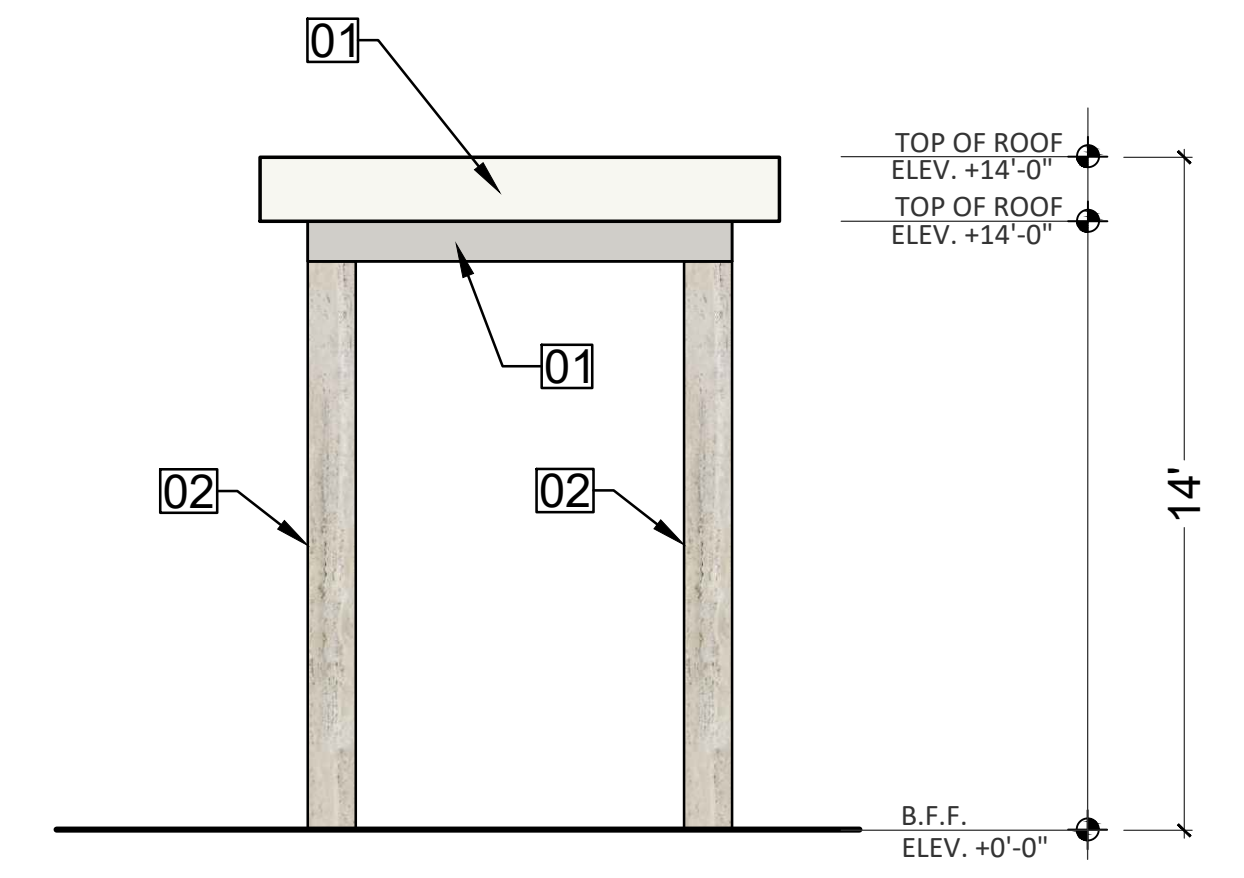
				
ALUMINUM METAL LOUVERS SW 7048 URBANE BRONZE	WINDOWS & DOORS ALUMINUM FRAMES SW 7048 URBANE BRONZE	COQUINA STONE VENEER ACCENT	SMOOTH STUCCO EXTERIOR PAINT SW 7757 HIGH REFLECTIVE WHITE	SMOOTH STUCCO EXTERIOR PAINT SW 7648 BIG CHILL



CONC. TRELLIS - FLOOR PLAN
SCALE: 3/16" = 1'-0"



CONC. TRELLIS - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



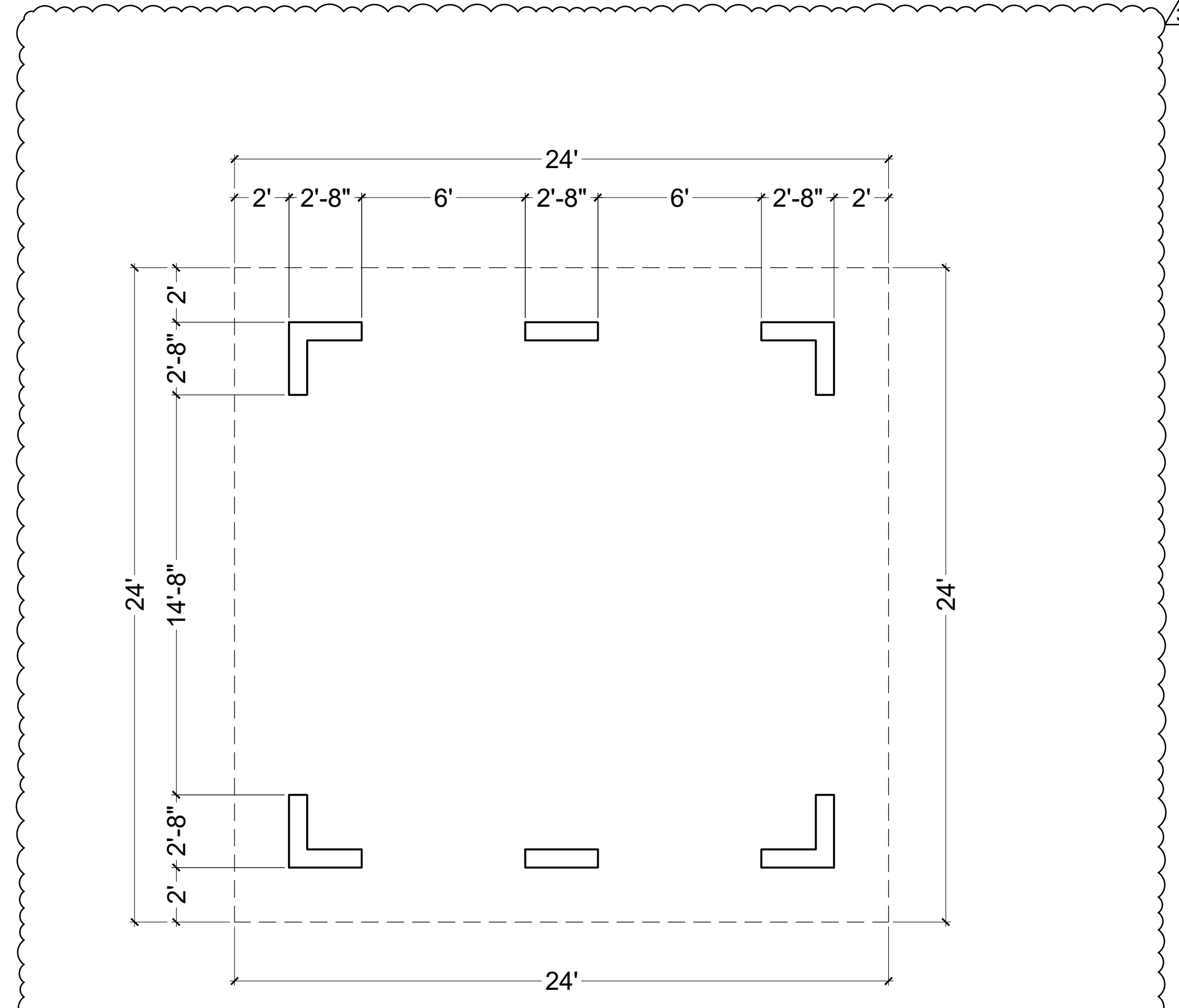
CONC. TRELLIS - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND

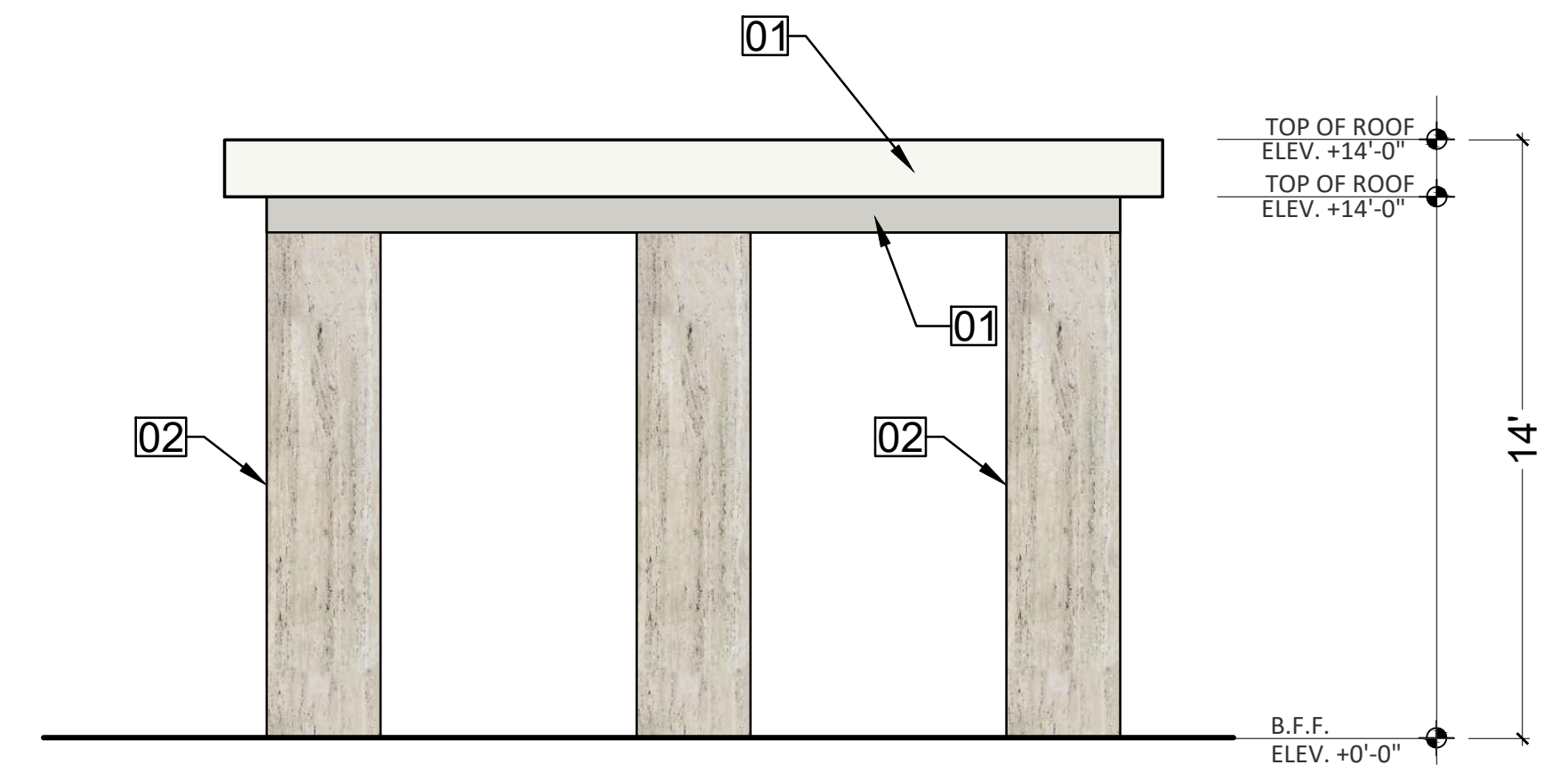
- 01 SMOOTH STUCCO FINISH.
- 02 COQUINA STONE VENEER.

MATERIAL COLOR PALETTE

COQUINA STONE VENEER ACCENT AT DROP-OFF AREAS	SMOOTH STUCCO EXTERIOR PAINT SW 7757 HIGH REFLECTIVE WHITE	SMOOTH STUCCO EXTERIOR PAINT SW 7648 BIG CHILL

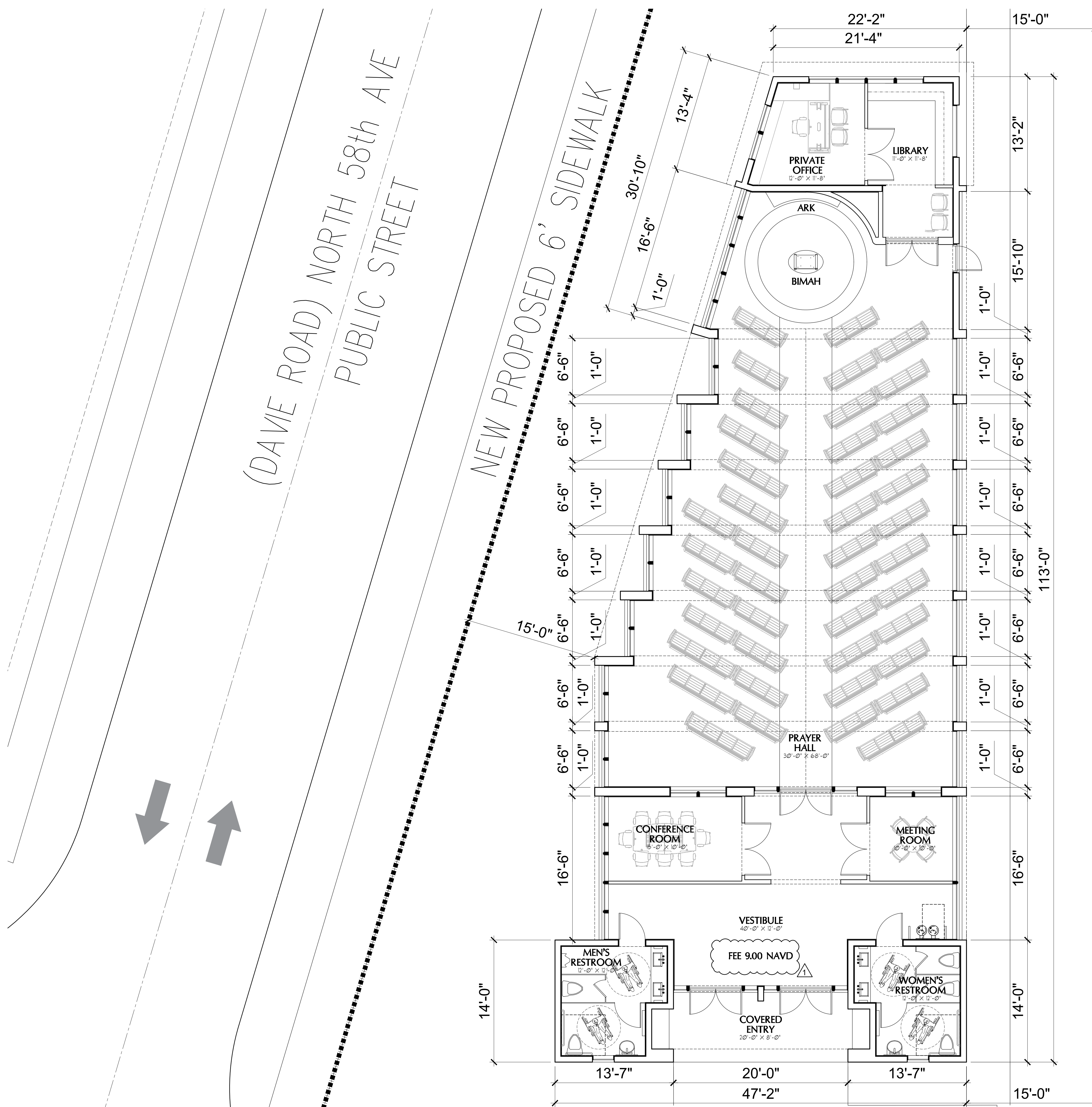


SHADE STRUCTURE - FLOOR PLAN
SCALE: 3/16" = 1'-0"



SHADE STRUCTURE - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

COPYRIGHT © 2022 PASCUAL, PEREZ, KILIDDJIAN, STARR - ARCHITECTS + PLANNERS. The architectural design and detail drawings for this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



SYNAGOGUE AREA CALCULATION	
PRAYER HALL (SEATING AREA)	2,042.43 SF
BIMAH & ARK	293.44 SF
PRACTICE OFFICE	167.79 SF
LIBRARY	219.80 SF
CONFERENCE ROOM	168.41 SF
MEETING ROOM	110.08 SF
VESTIBULE	528.23 SF
MEN'S RESTROOMS	178.71 SF
WOMEN'S RESTROOMS	178.71 SF
TOTAL A/C AREA PROVIDED	3,887.60 SF
COVERED ENTRY	182.91 SF
TOTAL LOT COVERAGE PROVIDED	4,070.51 SF

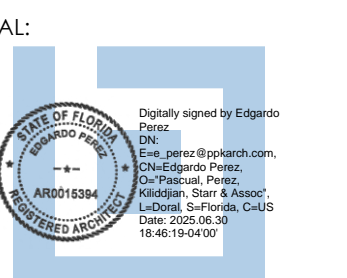
SYNAGOGUE
SEATING CAPACITY:
137 SEATS PROVIDED

**PASCUAL
PEREZ
KILIDDJIAN
STARR**
ARCHITECTS + PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, RA
 LICENSE No.: AR 0093067
 ANDREW STARR, RA
 LICENSE No.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-1363
 FACSIMILE: (305) 592-6865
<http://www.ppkarch.com>
 COPYRIGHT © 2024, PASCUAL, PEREZ, KILIDDJIAN, STARR, ARCHITECTS - PLANNERS
 The architectural design and detail drawings of this building and/or CLUBHOUSE project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.
 REVISIONS:
 1 TAC - REV. 1 - 2025.02.10

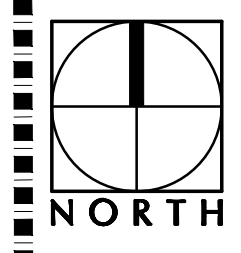
OWNER:
KUSHNER
 260 95th Street
 Suite 201
 Surfside, FL 33154

4220 N 58TH AVE.
 BY KUSHNER
 HOLLYWOOD, FLORIDA



FLOOR PLAN

SYNAGOGUE
 DATE: 2025-06-30
 SCALE: AS SHOWN
 DRAWN: SP / SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26



**HOLLYWOOD OAKS SYNAGOGUE
 GROUND FLOOR PLAN**
 SCALE: 3/16" = 1'-0"

SA-4

SHEET NO.:

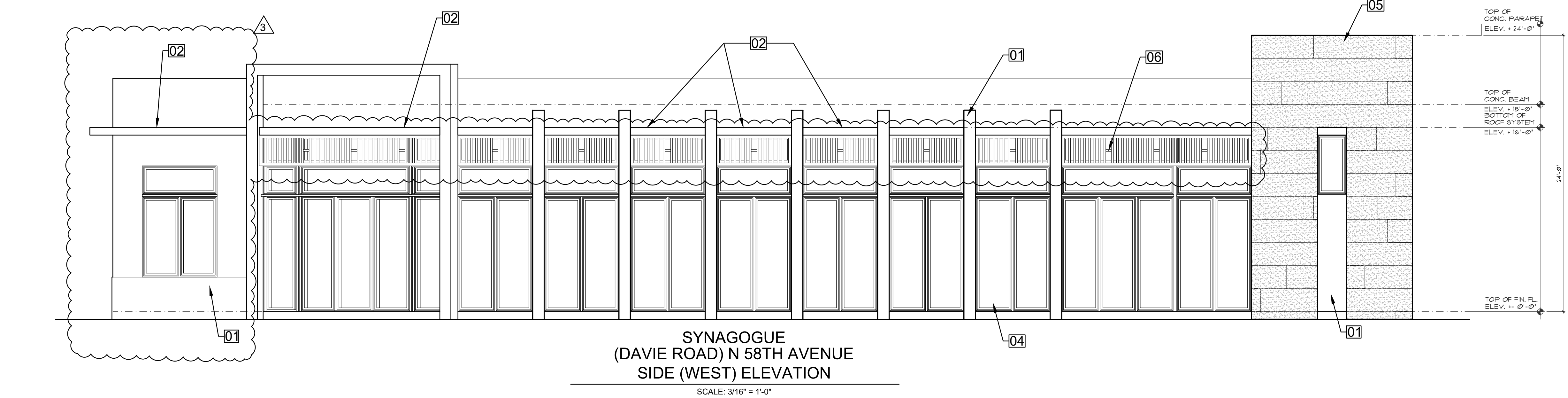
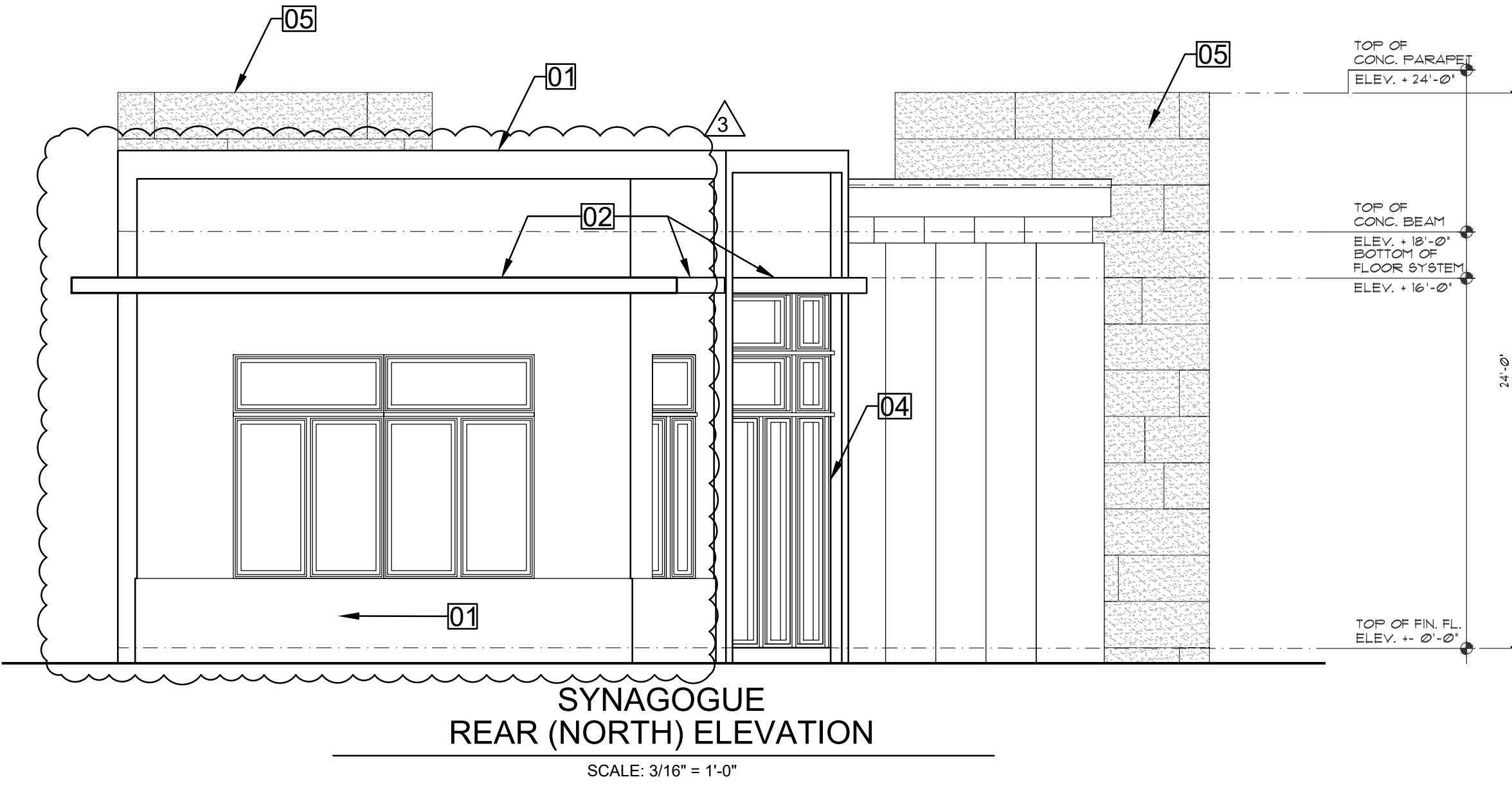
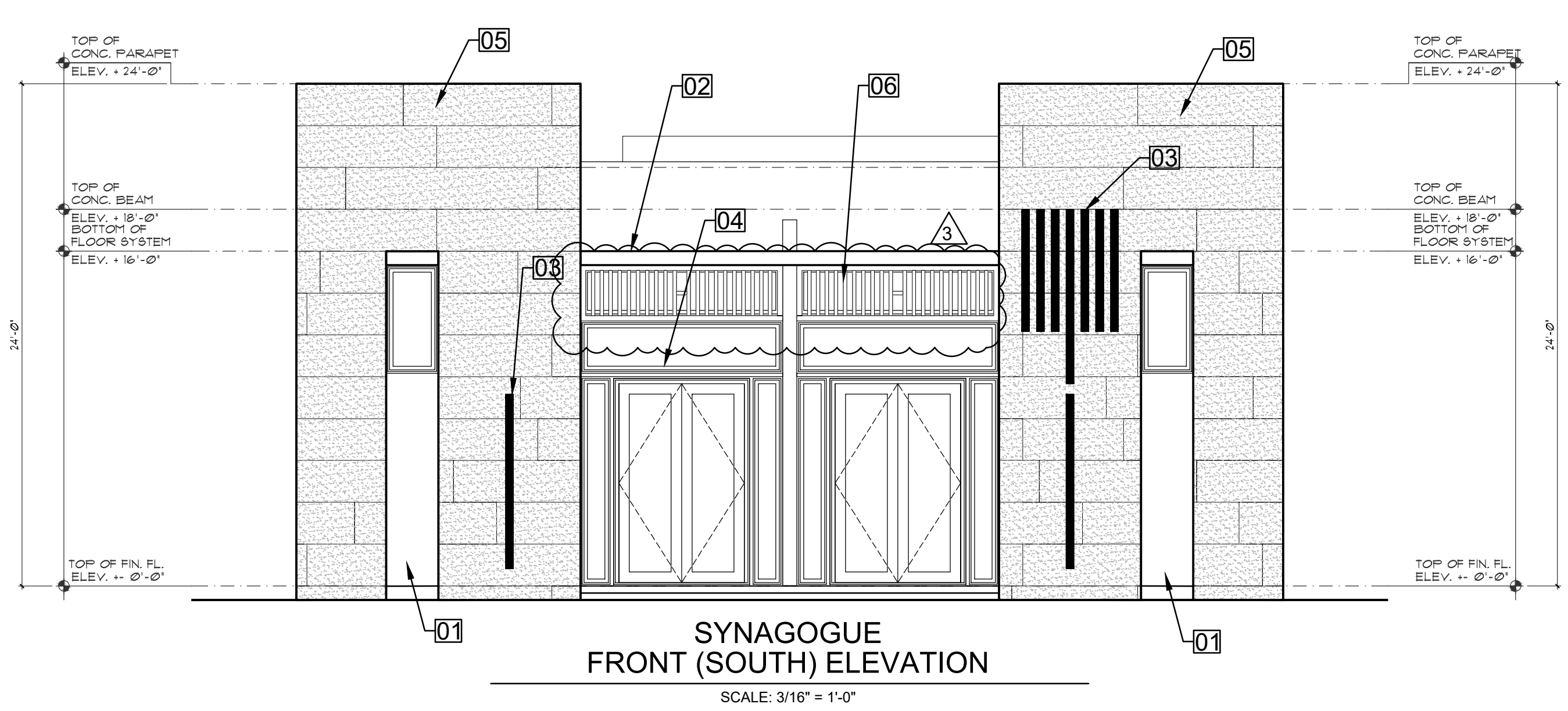


ELEVATIONS

SYNAGOGUE
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-5.1

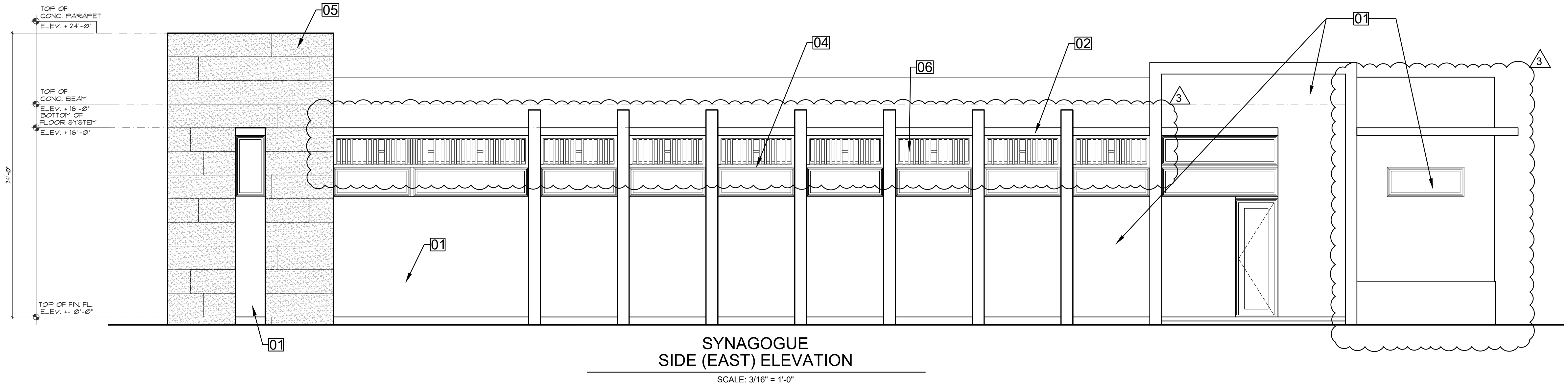
SHEET NO.:



LEGEND

- 01 SMOOTH STUCCO FINISH.
- 02 4" CONCRETE EYEBROW.
- 03 LIGHT FIXTURE
- 04 WINDOW/DOOR FRAME IN BRONZE.
- 05 COQUINA STONE VENEER.
- 06 METAL LOUVERS IN BRONZE

NOTE:
ALL MECHANICAL EQUIPMENT ON ROOFTOP SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY



COPYRIGHT © 2024, PASCUAL, PEREZ, KILIDDJIAN, STARR - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and/or CLUBHOUSE project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



SYNAGOGUE
SIDE (EAST) ELEVATION

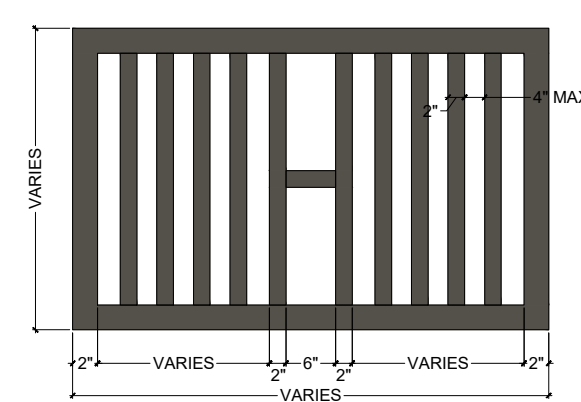
SCALE: N.T.S.



SYNAGOGUE
SIDE (WEST) ELEVATION

SCALE: N.T.S.

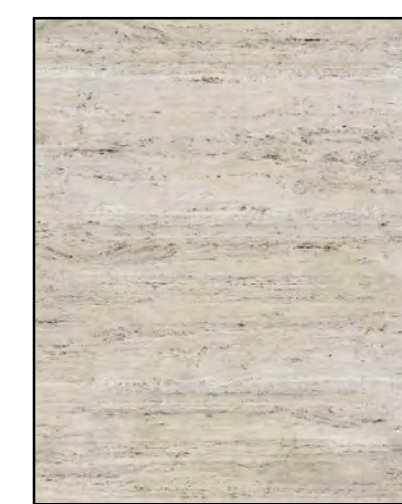
MATERIAL COLOR PALETTE



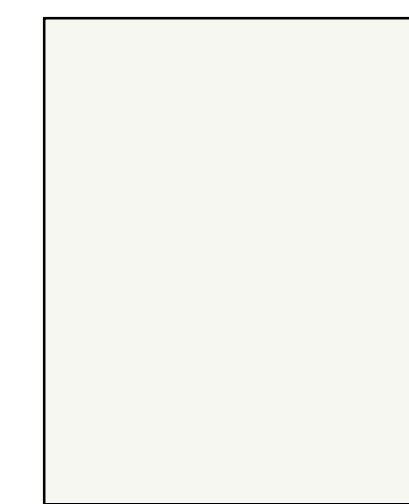
ALUMINUM METAL
LOUVERS
SW 7048
URBANE BRONZE



WINDOWS & DOORS
ALUMINUM FRAMES
SW 7048
URBANE BRONZE



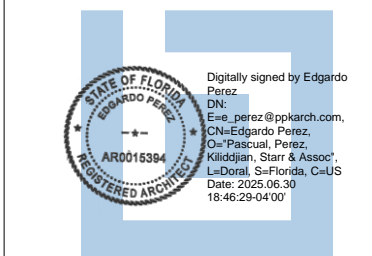
COQUINA STONE
VENEER ACCENT



SMOOTH STUCCO
EXTERIOR PAINT
SW 7757
HIGH REFLECTIVE WHITE



SMOOTH STUCCO
EXTERIOR PAINT
SW 7648
BIG CHILL



- REVISIONS:
- 1 TAC - REV. 1 - 2025.02.10
 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA



RENDER ELEVATIONS

SYNAGOGUE
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-5.3

SHEET NO.:



**SYNAGOGUE
REAR (NORTH) ELEVATION**
SCALE: N.T.S.



**SYNAGOGUE
FRONT (SOUTH) ELEVATION**
SCALE: N.T.S.

MATERIAL COLOR PALETTE

ALUMINUM METAL LOUVERS SW 7048 URBANE BRONZE	WINDOWS & DOORS ALUMINUM FRAMES SW 7048 URBANE BRONZE	COQUINA STONE VENEER ACCENT	SMOOTH STUCCO EXTERIOR PAINT SW 7757 HIGH REFLECTIVE WHITE	SMOOTH STUCCO EXTERIOR PAINT SW 7648 BIG CHILL



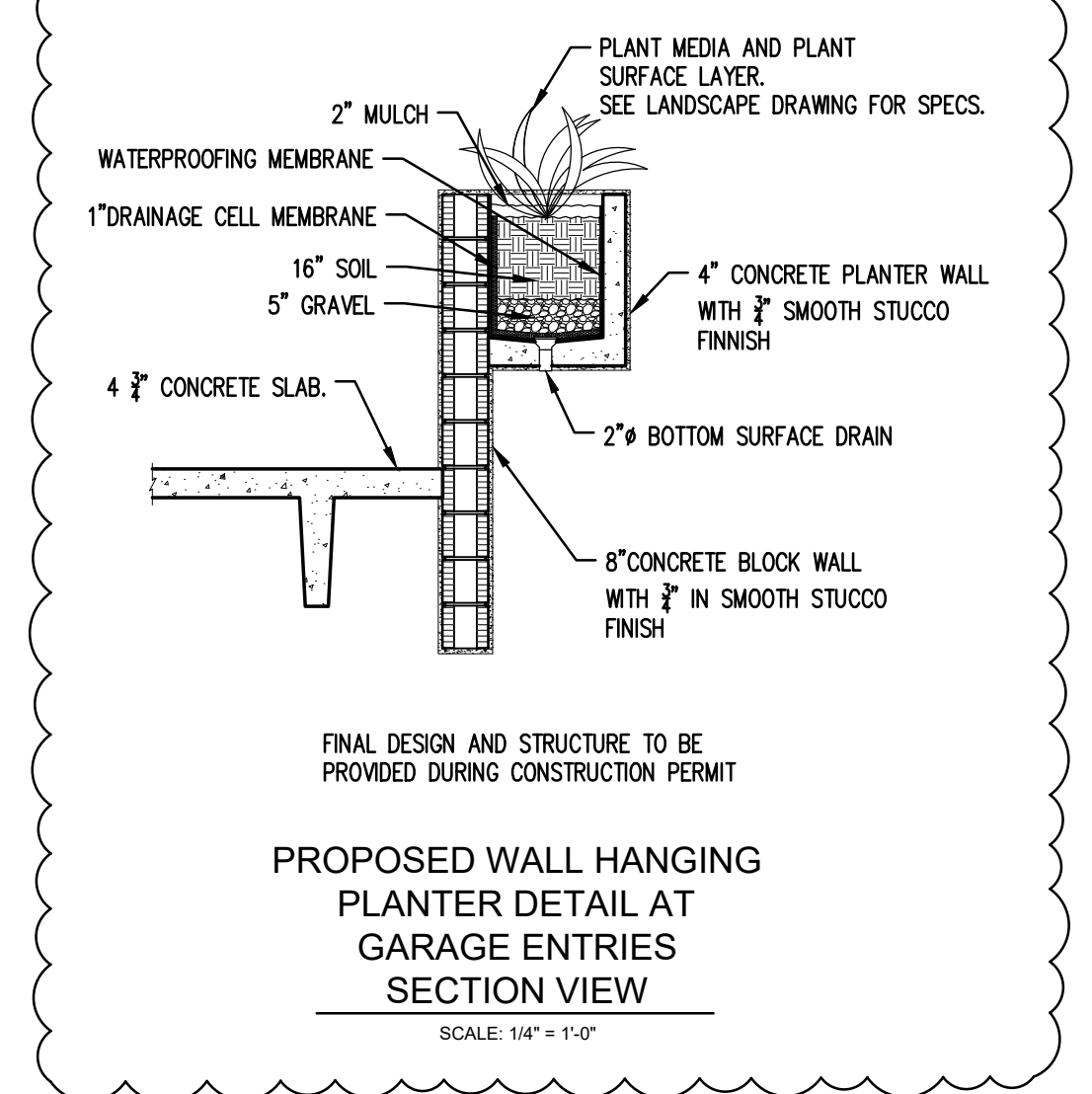
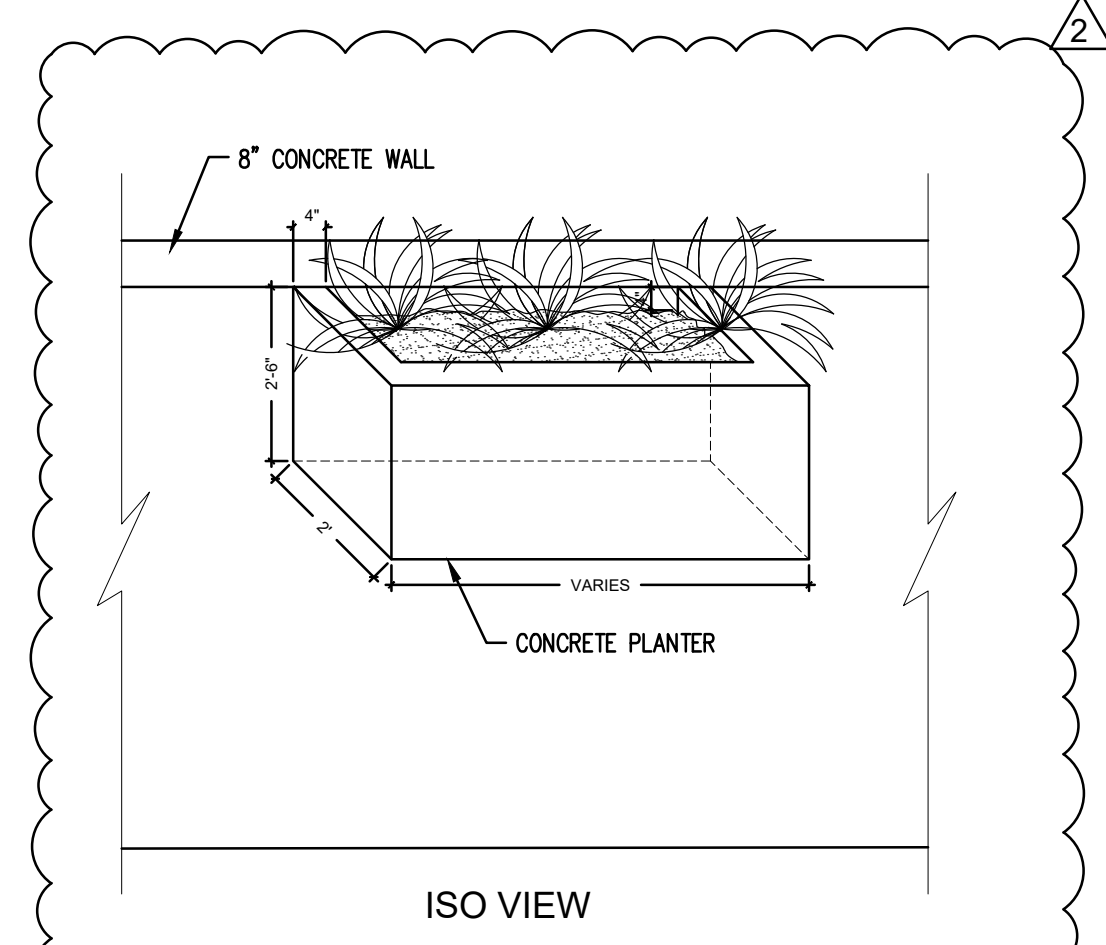
(OAK STREET) N 42ND STREET
 PRIMARY FRONT (SOUTH) ELEVATION
 SCALE: 1/16" = 1'-0"

EAST DROP-OFF AREA
 SEE SP-6 FOR RAMP DETAIL



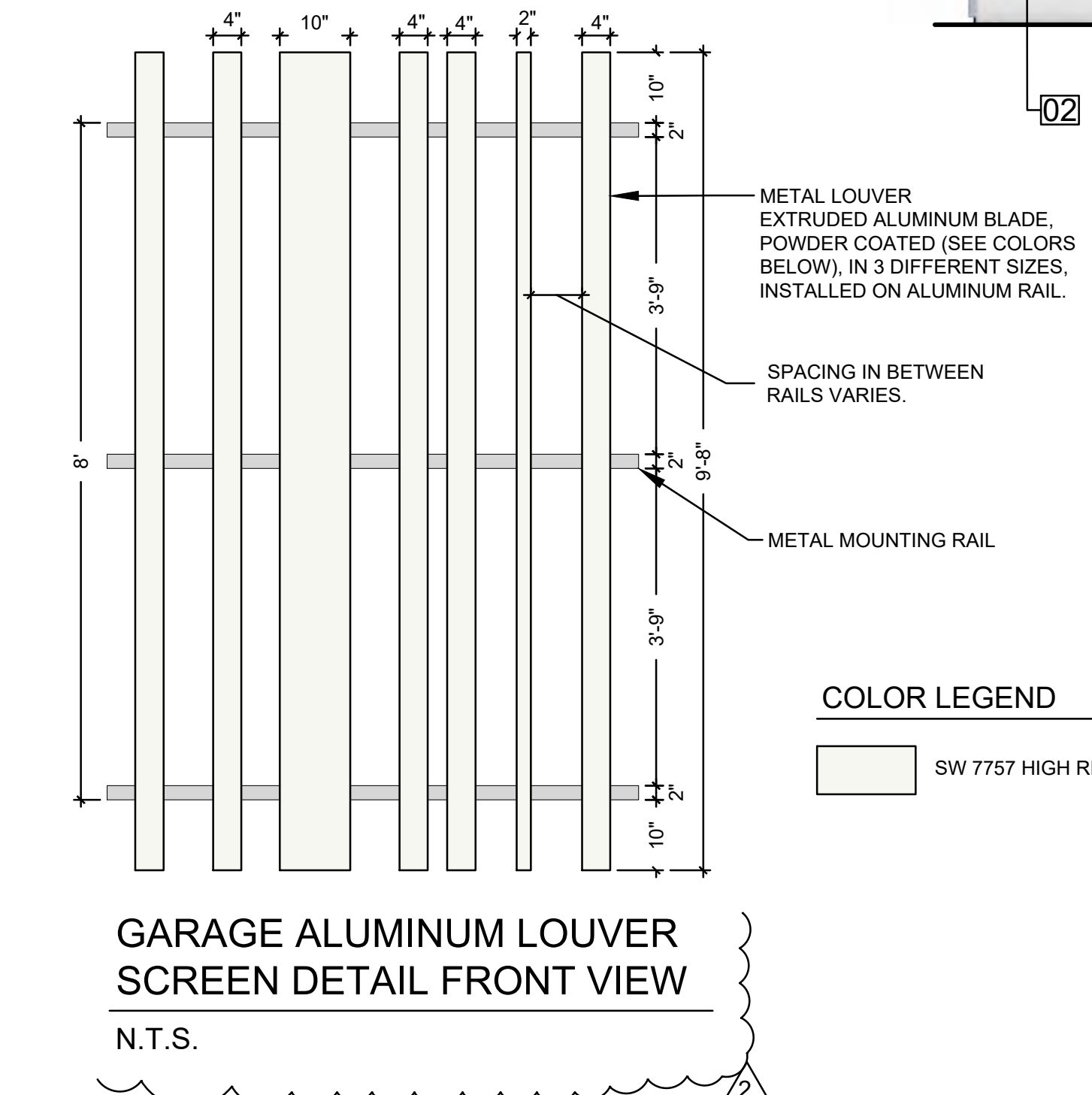
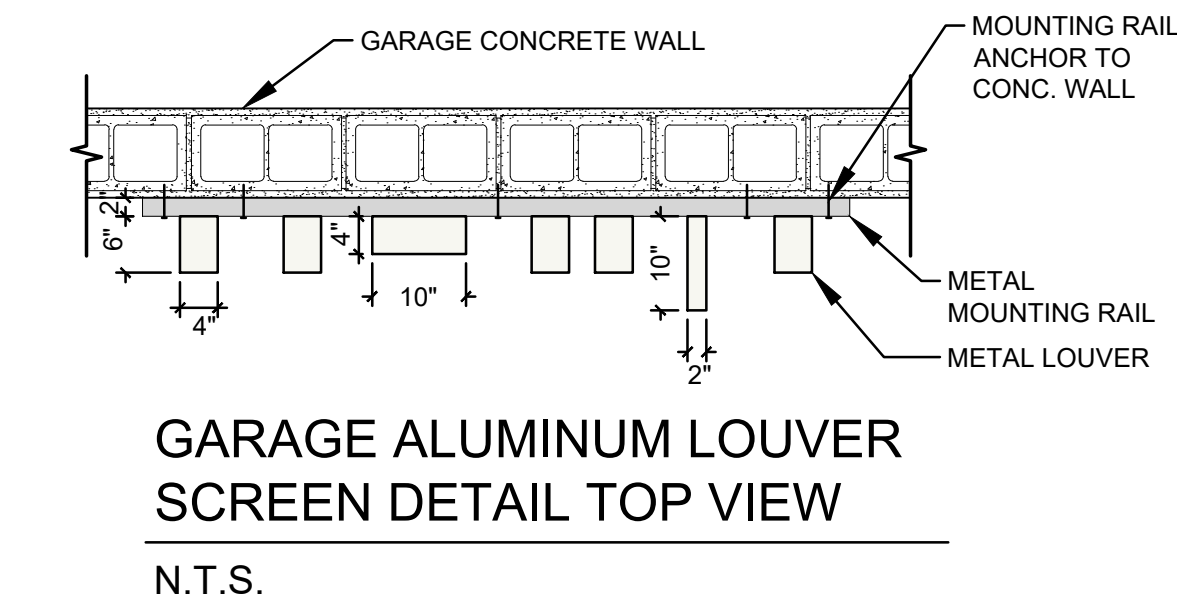
(DAVIE ROAD) N 58TH AVENUE
 SECONDARY FRONT (EAST) ELEVATION
 SCALE: 1/16" = 1'-0"

EAST DROP-OFF AREA
 SEE SP-6 FOR RAMP DETAIL



LEGEND		MATERIAL COLOR PALETTE					
01	SMOOTH STUCCO FINISH.						
02	SMOOTH 1 1/2\"/>						

COPYRIGHT © 2025 PASCUAL PEREZ KILIDDJIAN STARR - ARCHITECTS + PLANNERS. The architectural design and detail drawings for this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



LEGEND

- 01 SMOOTH STUCCO FINISH.
- 02 SMOOTH 1 1/2" SCORED STUCCO LINE.
- 03 6" STUCCO BAND, 6" THICK.
- 04 28" STUCCO BAND, 6" THICK.
- 05 PLANTER.
- 06 ALUMINUM RAILINGS
- 07 COQUINA STONE VENEER.
- 08 GARAGE ALUMINUM LOUVER SCREEN.

MATERIAL COLOR PALETTE

- ALUMINUM METAL RAILINGS & LOUVERS SW 7048 URBANE BRONZE
- WINDOWS & DOORS ALUMINUM FRAMES SW 7048 URBANE BRONZE
- COQUINA STONE VENEER ACCENT AT DROP-OFF AREAS
- SMOOTH STUCCO EXTERIOR PAINT SW 7063 NEBULOUS WHITE
- SMOOTH STUCCO EXTERIOR PAINT SW 7757 HIGH REFLECTIVE WHITE
- SMOOTH STUCCO EXTERIOR PAINT SW 7516 KESTREL WHITE

COPYRIGHT © 2022 PASCUAL, PEREZ, KILIDDJIAN, STARR - ARCHITECTS - PLANNERS. The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

GENERAL INFORMATION / LIFE SAFETY SUMMARY

CODE REGULATIONS:

- 1- FLORIDA FIRE PREVENTION CODE - EIGHT EDITION BASED ON: NFPA 1, FIRE CODE, 2021 EDITION NFPA 101, LIFE SAFETY CODE, 2021 EDITION
- 2- FLORIDA BUILDING CODE 2023 - EIGHT EDITION

BUILDING DESCRIPTION:

- 8 STORY BUILDING / MIDRISE
- BUILDING HEIGHT: 85'-0" / 74'-10" FROM GRADE TO HIGHEST DWELLING CONCRETE SLAB
- BUILDING TOTAL AREA (ALL FLOORS): 507,498 S.F. (RESIDENTIAL) / 278,144 S.F. (PARKING GARAGE)
- SPRINKLERED BUILDING TYPE S13R - (FBC SECTION 903.3.1.2)

TYPE OF CONSTRUCTION:

- TYPE I (332) PER FIRE PREVENTION CODE
- TYPE I-B PER FBC CHAPTER 5

CLASSIFICATION OF OCCUPANCY:

- NFPA 101 CHAPTERS 6 AND 30) / FBC CHAPTER 3 SECTION 310.4
- NEW APARTMENT BUILDING / RESIDENTIAL R-2
- (NFPA 101 CHAPTER 42) / (FBC CHAPTER 3 SECTION 311.3)
- PARKING STRUCTURE (STORAGE OCCUPANCY - ORDINARY HAZARD NFPA 42.8.1.5) / STORAGE S-2

OCCUPANT LOAD

- NFPA 101 TABLE 7.3.1.2 / FBC TABLE 1004.5
- RESIDENTIAL:
- 1ST. FLOOR: 56,838.89 S.F. / 200 = 284 OCCUPANTS
- 2ND. FLOOR: 56,868.62 S.F. / 200 = 284 OCCUPANTS
- 3RD. TO 8TH FLOOR: 65,631.78 S.F. / 200 = 328 OCCUPANTS PER FLOOR
- PARKING:
- 1ST. TO 7TH. FLOOR 39,734.86 S.F. / 200 = 199 OCCUPANTS PER FLOOR

MEAN OF EGRESS

- NFPA 101 CHAPTER 7 / FBC CHAPTER 101
- 1 - APARTMENTS BUILDING
- 1.1- NUMBER OF EGRESS: NFPA 101 7.4 AND 30.2.4 / FBC 1006.3.2
- EXIT ENCLOSURE STAIRS:
- 1ST. FLOOR (GROUND): REQUIRED : 2 PROVIDED : 5
- 2ND. TO 8TH. FLOOR (STAIRS): REQUIRED : 2 PROVIDED : 4

12- EGRESS STAIR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.1
- 2ND FLOOR: REQUIRED: 284 / 4 = 71 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.
- 3RD. TO 8TH FL: REQUIRED: 328 / 4 = 82 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.

13- EGRESS DOOR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.2
- 1ST FLOOR: REQUIRED: 284 / 5 = 57 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
- 2ND FLOOR: REQUIRED: 284 / 4 = 71 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
- 3RD. TO 8TH FL: REQUIRED: 328 / 4 = 82 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.

2 - PARKING GARAGE

- 2.1- NUMBER OF EGRESS STAIRS: NFPA 101 7.4 AND 30.2.4 / FBC 1006.3.2
- EXIT ENCLOSURE STAIRS:
- 1ST. FLOOR (GROUND): REQUIRED : 2 PROVIDED : 3
- 2ND. TO 7TH. FLOOR (STAIRS): REQUIRED : 2 PROVIDED : 3

2.2- EGRESS STAIR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.1
- 2ND. TO 8TH FL: REQUIRED: 199 / 3 = 66 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.

2.3- EGRESS DOOR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.2
- 1ST FLOOR: REQUIRED: 199 / 3 = 57 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
- 2ND. TO 7TH FL: REQUIRED: 199 / 4 = 50 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.

3- EGRESS STAIR FIRE RESISTANCE RATING

- NFPA 101 30.2.2.1.2 / FBC 1023.2
- REQUIRED: 1 HR
- PROVIDED: 2 HR.

4- EGRESS STAIRS SEPARATION DISTANCE

- NFPA 101 SECTION 7.5.1.3.3
- 4.1- APARTMENTS BUILDING
- REQUIRED: MIN. 1/3 OF 532'-0" = 177'-4"
- PROVIDED: 311'-0"
- 4.2- PARKING GARAGE
- REQUIRED: MIN. 1/3 OF 346'-6" = 115'-6"
- PROVIDED: 299'-0"

5- TRAVEL DISTANCES TO EXIT

- 5.1- TRAVEL DISTANCE WITHIN DWELLING UNIT:
- REQUIRED: 125 FT. MAX (NFPA 101 30.2.6.2)
- PROVIDED: 87'-5" (AT UNIT P THAT IS LONGEST PATH OF TRAVEL)
- 5.2- TRAVEL DISTANCE FROM DWELLING UNIT ENTRANCE DOOR TO NEAREST EXIT
- REQUIRED: 200 FT. MAX (NFPA 101 30.2.6.3.2)
- PROVIDED: 185 FT. (LONGEST PATH OF TRAVEL)
- 5.3- DWELLING UNIT COMMON PATH OF TRAVEL
- REQUIRED: 50 FT. MAX (NFPA 101 30.2.5.2.1)
- PROVIDED: 7 FT.
- 5.4- DWELLING UNITS DEAD ENDS CORRIDOR
- REQUIRED: 50 FT. MAX (NFPA 101 30.2.5.3.1)
- PROVIDED: 35 FT.
- 5.5- PARKING GARAGE COMMON PATH OF TRAVEL
- REQUIRED: 50 FT. MAX (NFPA 101 TABLE A.7.6)
- PROVIDED: 48 FT.
- 5.6- PARKING GARAGE TRAVEL DISTANCE
- REQUIRED: 200 FT. MAX (NFPA 101 TABLE A.7.6)
- PROVIDED: 151 FT. (LONGEST PATH OF TRAVEL)

A LIFE SAFETY PROGRAM SUMMARY DESCRIPTION

THE FOLLOWING IS A SUMMARY DESCRIPTION OF FIRE PROTECTION AND LIFE SAFETY COMPONENTS IN THE LIFE SAFETY EVALUATION. IT CANNOT BE OVER-EMPHASIZED THAT THE FOLLOWING SUMMARY DESCRIPTION IS SPECIFIC TO THIS PROJECT ONLY AND IS NON-TRANSFERABLE.

THE FIRE DEPARTMENT HAS NOT YET ACCEPTED THE CONCEPTUAL PROPOSAL. THAT APPROVAL OF ANY AND ALL FUTURE CONSTRUCTION DOCUMENTS TO BE SUBMITTED AS PART OF THE FIRE PROTECTION AND LIFE SAFETY PROGRAM WILL BE SUBJECT TO THEIR (THE A.H.J.) FINAL REVIEW.

MEANS OF EGRESS COMPONENTS / VERTICAL OPENINGS	FIRE RESISTANCE RATING TYPICAL FLOORS
- EXIT STAIRS	2 HRS
- ELEVATOR HOISTWAYS	2 HRS
- TRASH CHUTE SHAFT ENCLOSURES	2 HRS
- COMMERCIAL EXH. AND MECH. SHAFTS ENCLOSURES	2 HRS
- EXIT ACCESS DOORS	90 MIN
SEPARATION BETWEEN OWNERS / BUILDING SERVICES / FIRE PROTECTION EQUIPMENT	
- TRASH CHUTE ACCESS ROOMS	2 HRS
- TRASH CHUTE ACCESS ROOM DOORS	90 MIN.
- SEPARATION UNIT-TO-UNIT	1 HR
- TRASH COLLECTION ROOMS / DOORS	2 HRS / "B" LABEL
- SEPARATION FLOOR-TO-FLOOR (INCLUDING FIRE DAMPERS)	2 HR
- DOOR SEPARATING UNIT-TO-CORRIDOR	2 HRS (MINIMUM) 'C' LABEL (20 MIN.)

SEPARATION FROM HAZARDOUS AREAS SHALL BE IN ACCORDANCE WITH NFPA 101 - 30.1 (NEW APT, BUILDING & 38.1 (NEW BUSINESS OCCUPANCY))

APARTMENT BUILDING / COMMERCIAL FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13, INCLUDING:	
› ALL BUILDING SERVICE AREAS	2 HRS
› LOCKER ROOMS	2 HRS
› ANY RETAIL SHOPS	1HR
› MAINTENANCE SHOP	1HR
› TRASH COLLECTION ROOMS	2 HRS

PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED AS PER NFPA 101 - 9.7.4.1 AND NFPA 101

GENERAL INFORMATION

1 PROPOSED BUILDING TO BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 101 AND F.B.C. 2023.

2 EXIT DOORS SHALL NOT BE LOCKED FROM EGRESS AND SHALL CONFORM TO F.B.C. 2023 ALL FIRE DOORS SHALL BE PROVIDED WITH FIRE DOOR HARDWARE AS PER NFPA 80 INCLUDING DOOR, FRAME, HINGES, CLOSERS AND PASSAGE SETS. PLEASE SEE DOOR SCHEDULE ON ARCHITECTURAL SHEETS FOR FURTHER DETAILS. A SEPARATED ELEVATOR FOYER IS NOT REQUIRED AT THE GROUND LOBBY LEVEL.

4 ILLUMINATED AND MARKED MEANS OF EGRESS AS PER NFPA 7.8 AND SECTION 1006 F.B.C. 2023.

5 AUDIBLE ALARM AND COMMUNICATION SYSTEM SHALL BE IN ACCORDANCE TO SECTION 907 F.B.C. 2023. DETECTION, ALARM AND COMMUNICATION SYSTEMS SHALL BE AS PER NFPA SECTION 30-8, MID-RISE BUILDINGS. ALARM TO STATE: *MAY I HAVE YOUR ATTENTION PLEASE. A FIRE EMERGENCY HAS BEEN REPORTED IN THE BUILDING. WHILE THIS IS BEING INVESTIGATED, PLEASE LEAVE THE BUILDING BY THE NEAREST EXIT. DO NOT USE THE ELEVATOR.* OR AS PER A.H.J.

6 FIRE ALARM SYSTEM TO BE INSTALLED CERTIFIED AND MAINTAINED BY A U.L. CERTIFIED FIRE ALARM CONTRACTOR FIRE ALARM SYSTEM IS NOT TO BE OFF-SITE (PROPRIETARY SYSTEM ONLY).

7 EVERY MECHANICAL EQUIPMENT, ELECTRICAL, TRANSFORMER, TELEPHONE EQUIPMENT, ELEVATOR MACHINE AND LOBBY, OR SIMILAR ROOM SHALL BE PROTECTED BY APPROVED SMOKE DETECTORS, CHAPTER 3 F.B.C. 2021 AND EACH DWELLING UNIT AS PER SECTION 9 F.B.C. 2021, REFER TO ELECTRICAL DRAWINGS FOR EACH LOCATION OF SMOKE AND HEAT DETECTION DEVICES.

8 VERTICAL PENETRATIONS SHALL BE OF 2-HOUR NONCOMBUSTIBLE CONSTRUCTION AND SEPARATION AND METAL LINED. ANY SHAFTWAY LARGE ENOUGH FOR A PERSON TO FALL IN SHALL BE MARKED "SHAFTWAY" IN RED LETTERS.

9 AS PER NFPA 101-5-13.1 ENCLOSED EXIT STAIRWAYS SHALL UTILIZE 1-1/2-HOUR SELF-CLOSING DOORS AND FRAMES W 450° TEMP. STAIR IDENTIFICATION SIGNS SHALL BE PROVIDED FOR ALL STAIRWAYS.

10 AS PER "SAFETY CODE FOR ELEVATORS" TWO-HOUR PENETRATIONS SHALL BE SMOKE AND FIRE PROTECTED WHERE REQUIRED.

11 THE PROPOSED BUILDING DOES NOT INCORPORATE ANY COMMUNICATING SPACE.

12 WET FIRE HYDRANTS ARE REQUIRED PRIOR TO, DURING, AND AFTER CONSTRUCTION.

13 SUITABLE ROADS ARE TO BE PROVIDED FOR FIRE AND PARAMEDICAL EQUIPMENT.

14 ALL CONSTRUCTION WORK TO COMPLY WITH NFPA 241.

15 REFER TO SIGNAGE SHEET FOR DETAILS AND INFORMATION ON, BUILDING ADDRESS SIGN (6" MIN. HEIGHT), STAIR IDENTIFICATION SIGNS, SHAFTWAY AND ELEVATOR LOBBIES.

16 ELEVATOR LOBBY TO HAVE SIGNAGE READING *IN CASE OF FIRE EMERGENCY, DO NOT USE ELEVATOR. USE STAIRS*.

17 ALL ELEVATORS SHALL BE STRETCHER CAPABLE AND A SIGN SHALL BE PROVIDED INDICATING THIS AT THE ELEVATOR.

18 TACTILE SIGNAGE SHALL BE PROVIDED AT ALL STAIRWELLS.

NOTES OF WALKING SURFACES IN THE MEAN OF EGRESS:

- 1.- WALKING SURFACES IN THE MEAN OF EGRESS SHALL COMPLY WITH CHAPTER 7.1.6 NFPA 101.
- 2.- ABRUPT CHANGE IN ELEVATION OF WALKING SURFACE SHALL NOT EXCEED 1/4-IN. CHANGES IN ELEVATION EXCEEDING 1/4-IN BUT NOT EXCEEDING 1/2-IN SHALL BE BELIEVED WITH SLOPE 1:2.
- 3.- WALKING SURFACE SHALL BE NOMINALLY LEVEL. MAX. SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 AND 1:48 MAX. PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- 4.- WALKING SURFACES SHALL BE SLIP RESISTANCE UNDER FORESEEABLE CONDITIONS. 7.1.6.4 NFPA 101.
- 5.- CHANGES IN LEVEL IN MEAN OF EGRESS SHALL COMPLY WITH CHAPTER 7.1.7 NFPA 101. CHANGES IN LEVEL IN MEAN OF EGRESS NOT IN EXCESS OF 21-IN SHALL BE ACHIEVED EITHER BY RAMP COMPLYING WITH THE REQUIREMENTS OF 7.2.5 NFPA 101 OR BY A STAIR COMPLYING WITH THE REQUIREMENTS OF 7.2.2 NFPA 101.

FIRE PUMP LOCATION::

FIRE PUMP IS LOCATED IN GARAGE STRUCTURE "C" (SEE LS-2) UNDER SEPARATE PERMIT..

EMERGENCY FORCES ACCESS

-ACCESS FOR EMERGENCY VEHICLES, VEHICULAR ACCESS LANES AND WIDTHS, OBSTRUCTION REQUIREMENTS AND TURNING RADII TO BE ACCOMMODATED. CONTINUED VEHICULAR ACCESS TO BE CONTINUOUS THROUGH ANY PROPOSED ENTRANCE FEATURE.

-APPROACH ACCESS LANES FOR EMERGENCY FIRE APPARATUS TO BE MAINTAINED AS PER APPROVED SPECIFICATIONS.

-OPERATION AREA FOR HYDRANT CONNECTION AND SUPPLY TO FDC, EXACT LOCATION TO BE DETERMINED IN THE FIELD WITH THE AHJ.

-DURING CONFIRMED EMERGENCIES, THE PRIMARY DEDICATED STAGING AREA FOR LADDERING APPARATUS WILL BE ON 107TH AVE AND NW 78TH TERRACE

-BACK-UP *Y*-TURNAROUND AS PER EXCEPTION NO.1 TO NFPA 1-3-5.2. GENERAL AREA OF THE TYPICAL FLOOR AREA AND CONFIGURATION USING THE COMPARTMENTATION / SMOKE-PROTECTED COMMON AREA ALTERNATIVE EQUIVALENCY

-SOLUTION AS DESCRIBED IN THE ORIGINAL LIFE SAFETY EQUIVALENCY PROGRAM. ACCESS POINT (ON EACH TYPICAL FLOOR) THAT WOULD BE THE TARGET PENETRATION POINT FOR "WORST-CASE" LADDERING OPERATIONS. PROVIDE A SMOKE-PROTECTED PERSONNEL STAGING AREA GRANTING ACCESS THROUGH LOWER LEVEL UNITS INTO THE "CORE" AREA ON EACH FLOOR AND, FROM THERE TO 2 AND 1-WAY COMMUNICATIONS, STANDPIPE HOSE CONNECTIONS, ELEVATORS FOR BACK-UP EQUIPMENT, EVACUATION OF NON-AMBULATORY OCCUPANTS, ETC. AND DIRECT ACCESS TO ALL OTHER UNITS.

GENERAL REQUIREMENTS FOR MEANS OF ACCESS FOR FIRE DEPARTMENT APPARATUS

GENERAL PROVISIONS FOR FIRE LANES 16'-0" OF UNOBSTRUCTED WIDTH ABLE TO WITHSTAND LIVE LOADS OF F.D. APPARATUS MINIMUM OF 13'-6" OF VERTICAL CLEARANCE, MINIMUM CENTERLINE RADIUS OF 50'-0", MAXIMUM GRADE OF FIRE LANE NO GREATER THAN 10%. EXCEPTION- WHERE BUILDINGS ARE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE PROVISIONS OF THIS SECTION MAY BE MODIFIED BY THE AHJ.

APPARATUS WEIGHT	APPARATUS	62,080	LBS.
	BOOSTER TANK (H2O)	2,400	LBS.
	MANPOWER / EQUIPMENT	8,000	LBS.
		72,480	LBS. OR 36 TONS

OTHER

THE 38' INSIDE RADIUS AND 50' OUTSIDE RADIUS MUST BE ADHERED TO FOR ALL APPROACH AND FIRE ACCESS LANES. STAGING FOR ALL AERIAL APPARATUS WILL BE ACCOMMODATED ON 107th AVENUE AND ACCESS DRIVE PROVIDED. FIRE HYDRANT AND FIRE DEPARTMENT CONNECTIONS CAN BE LOCATED ON CIVIL DRAWINGS.

TURNAROUND FOR FIRE DEPARTMENT APPARATUS SHALL BE ACCOMPLISHED BY IT IS IMPORTANT THAT TURNING RADII, APPARATUS LENGTHS AND WEIGHT BE CONSIDERED AND ACCOMMODATED.

INTERIOR FINISH CLASSIFICATION (SPRINKLERED BUILDING)

INTERIOR WALL AND CEILING FINISH MATERIALS AS FOLLOW:

- EXITS : CLASS "B"
- LOBBIES AND EXIT ACCESS CORRIDORS : CLASS "C"
- OTHER SPACES : CLASS "C"

PRODUCTS REQUIRED TO BE TESTED IN ACCORDANCE WITH NFPA 101 TABLE A.10.2.2

CLASS "B" FLAME SPREAD 26-75 & SMOKE DEVELOPMENT 0-450

CLASS "C" FLAME SPREAD 76-200 & SMOKE DEVELOPMENT 0-450

INTERIOR FLOOR FINISH MATERIALS AS FOLLOW:

- EXITS : CLASS "II"
- LOBBIES AND EXIT ACCESS CORRIDORS : CLASS "II"
- OTHER SPACES : N/A

CLASS II: CRITICAL RADIANT FLUX, NOT MORE THAN 0.22 W/CM2, BUT LESS THAN 0.45 W/CM2

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	
BUILDING ELEMENT	TYPE I-B
PRIMARY STRUCTURAL FRAME	2
BEARINGS WALLS:	
EXTERIOR	2
INTERIOR	2
NON-BEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION & SECONDARY MEMBERS	2
ROOF CONSTRUCTION & SECONDARY MEMBERS	1

Legend	
SYMBOL	DESCRIPTION
	EXIT SIGN
	FIRE EXTINGUISHER
	ONE HOUR FIRE RATING
	TWO HOUR FIRE RATING
	THREE HOUR FIRE RATING



ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkirch.com

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS + PLANNERS. ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT.

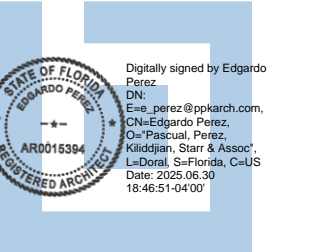
REVISIONS:

OWNER:

KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



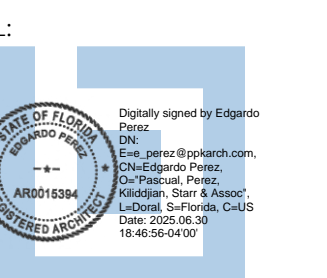
GENERAL NOTES

LIFE SAFETY GENERAL INFORMATION

DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

LS-1

SHEET NO.:



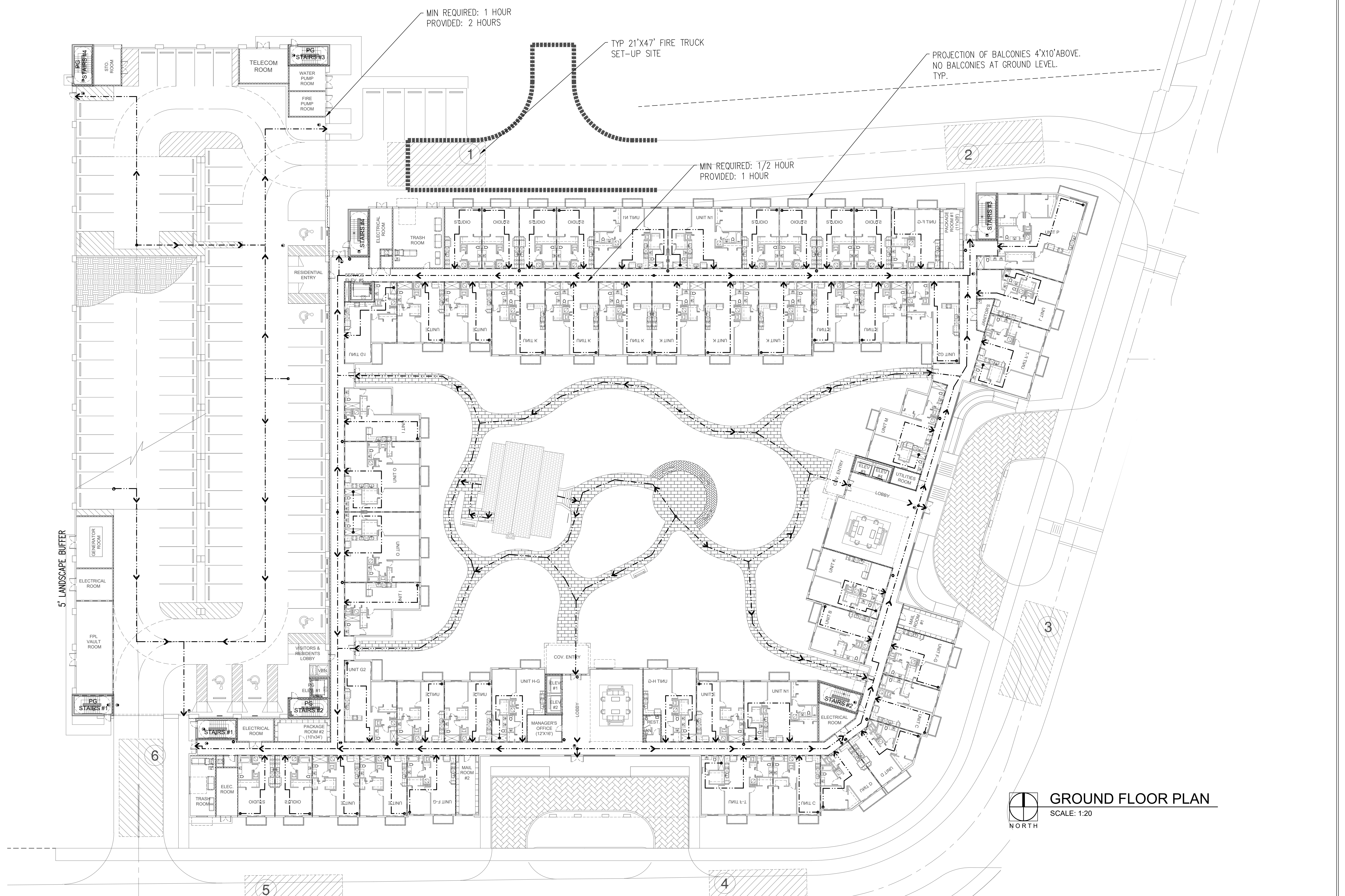
LIFE SAFETY PLAN

GROUND FLOOR
 DATE: 2025-06-30
 SCALE: AS SHOWN
 DRAWN: SJ
 CHECK BY: MP / PK
 JOB NO.: 24-26

LS-2

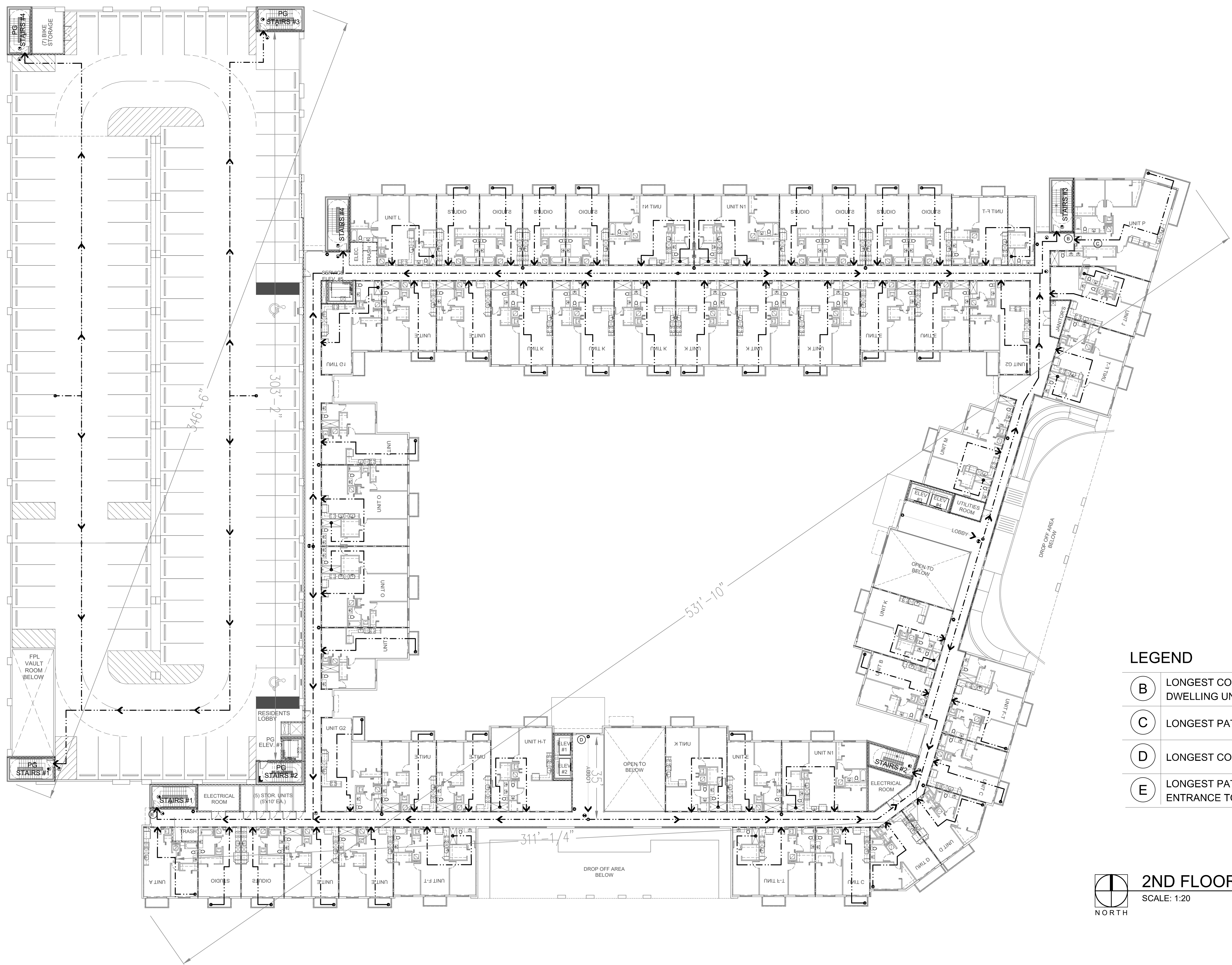
SHEET NO.:

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



GROUND FLOOR PLAN
 SCALE: 1:20

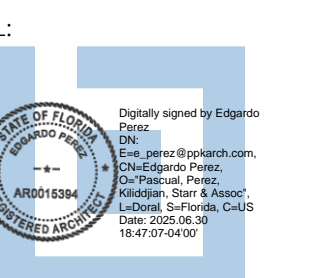
COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



LEGEND

- (B)** LONGEST COMMON PATH OF TRAVEL FROM DWELLING UNIT ENTRANCE
- (C)** LONGEST PATH OF TRAVEL INTO A UNIT
- (D)** LONGEST COMMON PATH = 35'
- (E)** LONGEST PATH OF TRAVEL FROM DWELLING UNIT ENTRANCE TO EXIT STAIR = 185'

 **2ND FLOOR PLAN**
 SCALE: 1:20



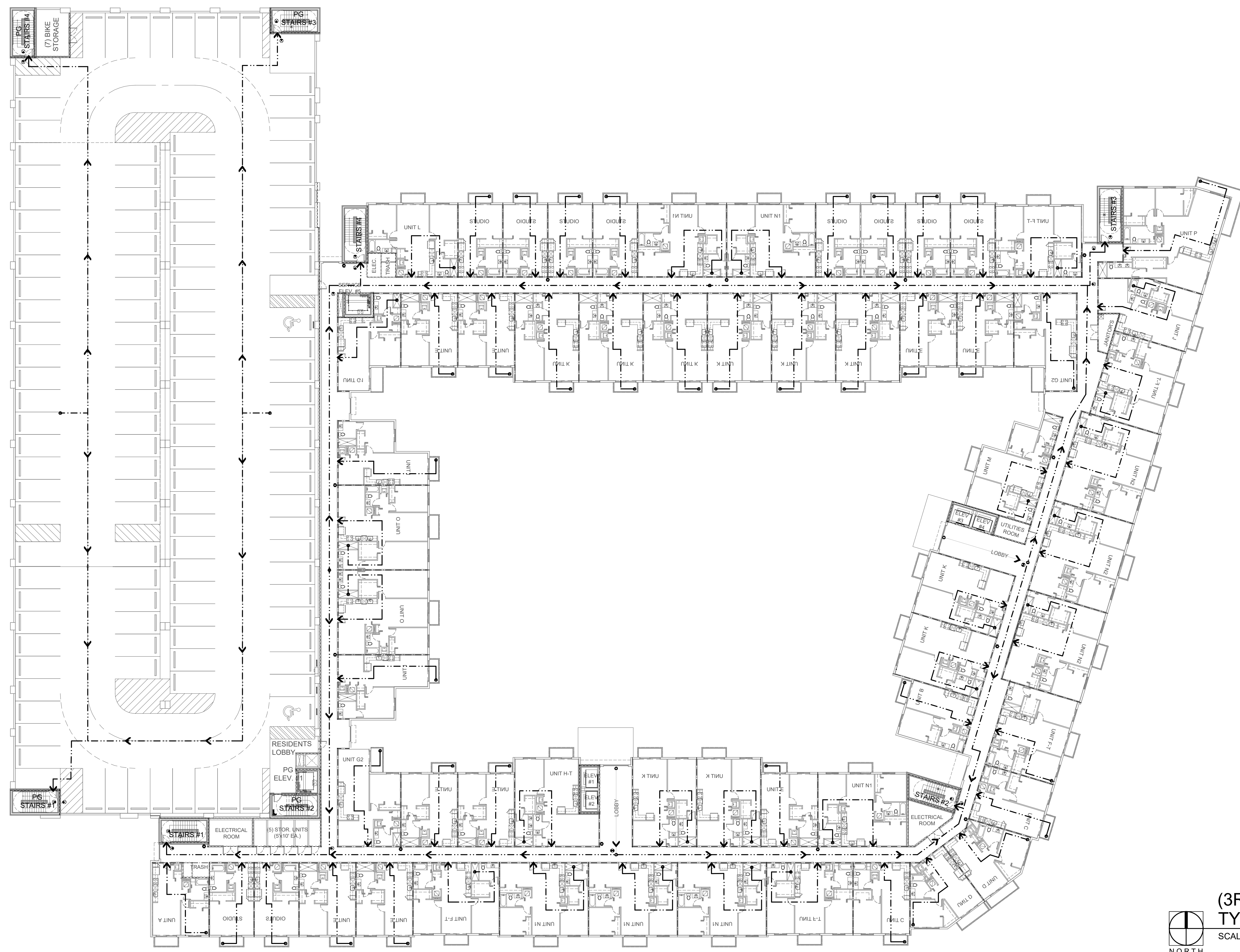
LIFE SAFETY PLAN

TYPICAL FLOOR

DATE:	2025-06-30
SCALE:	AS SHOWN
DRAWN BY:	SJ
CHECK BY:	MP / PK
JOB NO.:	24-26

LS-4

SHEET NO.:



(3RD to 7TH)
TYPICAL FLOOR PLAN
 SCALE: 1:20



COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

COPYRIGHT © 2020 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



 **8TH FLOOR PLAN**
SCALE: 1:20