

ATTACHMENT A

Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- ☐ Technical Advisory Committee
 ☐ Art in Public Places Committee
 ☒ Variance
☒ Planning and Development Board
 ☐ Historic Preservation Board
 ☐ Special Exception
☐ City Commission
 ☐ Administrative Approval

PROPERTY INFORMATION

Location Address: 300 ARIZONA ST 1-4 HOLLYWOOD FL 33019

Lot(s): 27 Block(s): 8 Subdivision: _____

Folio Number(s): 514213012050

Zoning Classification: BRT-25-C Land Use Classification: Commercial

Existing Property Use: Multi-family Dwelling Sq Ft/Number of Units: 2'705.73 S.F. / 5 DU

Is the request the result of a violation notice? ☒ Yes ☐ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

DEVELOPMENT PROPOSAL

Explanation of Request: Resolve existing violation by obtaining a variance for number of existing parking spaces, variance for 5'0 landscape buffer and special exception to have 1 residential unit and 4 motel rooms.

Phased Project: Yes ☐ No ☒ Number of Phases: 1

Project	Proposal
Units/rooms (# of units)	# UNITS: <u>1</u> #Rooms <u>4</u>
Proposed Non-Residential Uses	<u>N/A</u> S.F.)
Open Space (% and SQ.FT.)	Required %: <u>N/A</u> (Area: <u>N/A</u> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <u>2</u>)
Height (# of stories)	(# STORIES) <u>2</u> (<u>24</u> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<u>6,485.00</u> FT.)

Name of Current Property Owner: ROBERT L. ORDWAY

Address of Property Owner: PO Box 223875, Hollywood, FL 33022

Telephone: (714) 227 - 1288 Email Address: robertordway@yahoo.com

Applicant Joseph B. Kaller

Consultant ☒ Representative ☐ Tenant ☐

Address: 2417 Hollywood Blvd, Hollywood, FL 33020

Telephone: 954 920 5746

Email Address: joseph@kallerarchitects.com

Email Address #2: jsaavedra@kallerarchitects.com

Date of Purchase: 03-10-2022

Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Cutro & Associates

E-mail Address: cutroplanning@yahoo.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

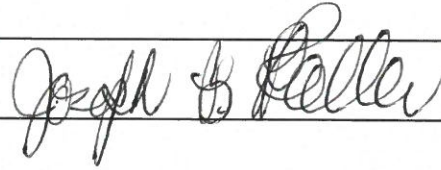
The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Robert L. Ordway

Signature of Current Owner:  SIGNED VIA ILOVEPDF Date: 03/03/2025
B19D5155-2BF0-4DC0-BEE0-51265FEA4FB0

PRINT NAME: Robert L. Ordway Date: 03/03/2025

Signature of Consultant/Representative:  Date: 03/03/2025

PRINT NAME: Joseph B. Kaller Date: 03/03/2025

Signature of Tenant: _____ Date: _____

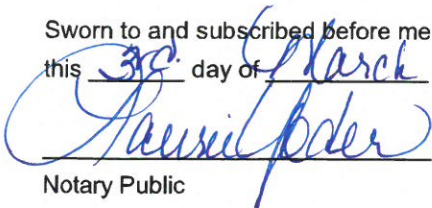
PRINT NAME: _____ Date: _____

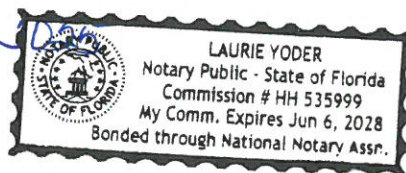
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Variances and special exceptions to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application.

Robert L. Ordway

Sworn to and subscribed before me
this 30 day of March


Notary Public
State of Florida



 SIGNED VIA ILOVEPDF
B19D5155-2BF0-4DC0-BEE0-51265FEA4FB0
Signature of Current Owner

Robert L. Ordway
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



KallerArchitecture

Reference: 300 Arizona St, Hollywood FL 33019

Project Description: Interior renovation of existing building, bringing units to code.

PROPERTY ID's

514213012050

300 Arizona St.

HOLLYWOOD BEACH 1-27 B LOT 27 LESS S 31.7,28 LESS S 31.7 BLK 8

SURROUNDING PROPERTIES



310 – 314 Arizona Street (west)



298 Arizona Street (east)



311 N. Surf Road (south)



309 Arizona Street (north)



317 Arizona Street (north)

SUBJECT PROPERTY



300 Arizona Street



KallerArchitecture

City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33022

Oct 16th, 2025

Re:
300 Arizona St.
Hollywood, Florida 33019
Architect's Project #24278
Variance Criteria

To Whom It May Concern,

The following is our analysis of Criteria and findings for Variance's Review for the above referenced Commercial Building as per the City of Hollywood Zoning and Land Development Regulations, Article 5.3(F)(1).

1. Variance #01: To reduce number of parking spaces required per City of Hollywood Zoning and Land Development Regulations from 5 to 2 parking stalls: **Article 4.6 (C)(b) b. Beach Resort Commercial District – BRT-25-C**

(5) Off-street **parking standards**:

(a) Notwithstanding the provisions of **Article 7** of the Zoning and Land Development Regulations, the following **parking standards** shall apply:

Hotel/Motel	Minimum 1 space/room	Maximum 1 space/room
	The following minimums shall apply for lots less than or equal to 40 feet by 80 feet: 0-4 rooms: 0 spaces/room.	
Retail	Minimum 1 space/1,000 sf	Maximum 1 space/1,000 sf
Office	Minimum 1 space/1,000 sf	Maximum 1 space/1,000 sf

The Variance Requested:

Our property is required to provide one parking space per unit; however, due to the constraints of the existing site, it is not feasible to accommodate this requirement. The zoning code states that for lots measuring 40 feet by 80 feet with 0–4 rooms, no parking spaces per room are required. Given that our lot dimensions are 48 feet in width, with a depth ranging from 85 to 90 feet, we respectfully request that our property be evaluated under the parking standards applicable to a 40-by-80-foot lot.

Additionally, while we are seeking a variance for one residential flex unit in addition to the four motel rooms, we will still be providing two parking spaces, including one ADA-compliant space, to ensure accessibility and convenience for guests.

Variance Criteria:

A. That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the city.

This variance does not affect the stability and appearance of the city, given that it will only affect the layout of the site plan.

B. The variance is compatible with the surrounding land uses.

There are many motels and residential units in the surrounding properties. Many of them with limited parking. This variance request is compatible and will not be detrimental to the community.

C. That the requested variance is consistent with and in furtherance of the Goal, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

The purpose of this renovation is to bring the property to comply with the code regulations as much as possible, given that it is an existing condition. As a result, this will increase the value and appearance of this property, which will increase the value of the surrounding properties, which will benefit the neighborhood and City.

D. That the need for requested Variance is not economically based or self-imposed

The requested variance is not economically based or self-imposed. It is due to an existing limiting condition of the property itself.

E. That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

These items are considered according to quasi-judicial procedures.

2. **Variance #02:** To reduce landscape buffer; on northwest property line from 5' to 2' 10" for parking at grade and on southeast property line from 5' to 3' 10" to provide a 4' walkway for entrance to motel unit #02; per City of Hollywood Zoning and Land Development Regulations: **Article 4.6 (B)(d)-3. General Landscape requirements**

3. General **Landscape** Requirements Table.

GENERAL LANDSCAPE REQUIREMENTS	
	Requirements
Perimeter Landscape	1 One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed. 2 Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area. 3 When abutting or across an alley from a residential zoning district a perimeter landscape buffer shall be included within the required setback area with one (1) tree for every 20 linear feet of required buffer area.
Interior Landscape for At-Grade Parking Lots and Vehicular Use Area	4 Terminal islands shall be installed at each end of all rows of parking spaces and landscape islands shall be provided no further apart than every 10 parking spaces. Each island shall contain a minimum of one 190 square feet of pervious area or shall measure the same length and width as the adjacent parking stall. Landscape islands within the CRA may be a minimum of 100 square feet. Each island shall contain at least one (1) tree. 5 A five (5) foot landscape buffer including a landscape element of at least 42 inches in height shall be provided along the perimeter. The landscape buffer may be included within required setback areas. 6 Lots with a width of 50 feet or less: 15 percent of the total square footage of the paved vehicular use area shall be landscaped. 7 Lots with a width of more than 50 feet: 25 percent of the total square footage of the paved vehicular use area shall be landscaped. Note: Percentage calculation excludes required perimeter landscaped setback area.

The Variance Requested:

The City of Hollywood Zoning and Land Development Regulations require a 5-foot landscape buffer around the property. We are requesting a reduction of this buffer as follows:

- Northwest property line: Reduce from 5' to 2'-10" to accommodate required parking at grade.
- Southeast property line: Reduce from 5' to 3'-10" to allow a 4' walkway providing direct access to motel unit #02.

Northwest Landscape Buffer

If the 5-foot buffer were maintained along the northwest property line (front), the available back-out space for the two parking spaces would be reduced to less than 19 feet, which does not meet the City's minimum standard. Reducing the buffer ensures compliance with the back-out clearance requirement, prioritizing safe and functional vehicle maneuvering.

Southeast Landscape Buffer

If the 5-foot buffer were maintained along the southeast property line (rear), the walkway leading to motel unit #02 would be reduced to only 2'-10", below the minimum standard for pedestrian access. Allowing a reduced buffer ensures a safe and comfortable 4' walkway to access unit #02.

Additional Consideration

It is important to note that this buffer requirement was introduced in the last round of comments to prevent this area from being used as an illegal parking space. The proposed landscape buffer reduction satisfies this concern while also maintaining safe and functional site circulation for pedestrians.

Variance Criteria:

A. That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the city.

This variance does not affect the stability and appearance of the city, given that it will only affect the layout of the site plan.

B. The variance is compatible with the surrounding land uses.

There are many motels and residential units in the surrounding properties. Many of them with no landscape buffers whatsoever. This variance request is compatible and will not be detrimental to the community.

C. That the requested variance is consistent with and in furtherance of the Goal, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

The purpose of this renovation is to bring the property to comply with the code regulations as much as possible, given that it is an existing condition. Although this variance asks for landscape buffer reductions, these are landscape buffers that the property as of now doesn't have at all. As a result of now having landscape buffers, this will increase the value and appearance of this property, which will increase the value of the surrounding properties, which will benefit the neighborhood and City.

D. That the need for requested Variance is not economically based or self-imposed

The requested variance is not economically based or self-imposed. It is due to an existing limiting condition of the property itself.

E. That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

These items are considered according to quasi-judicial procedures.

3. **Variance #03:** Variance to reduce setback of 3' for concrete slabs to 2' 2" for access to motel unit #03 (ADA unit); and to 0' for walkway (from Arizona St.) to access motel units #1, #2 and #4.

The Variance Requested:

In compliance with the Florida Building Code, we are required to provide an ADA-accessible motel unit. After multiple evaluations of different existing units, and based on the recommendation of the engineering department, motel unit #03 has been identified as the most suitable option due to its proximity to the parking lot.

The only feasible point of access to this unit from the parking lot is through the southwest corner. To provide the required ADA-compliant entry, a 5' x 5' concrete landing slab must be constructed directly adjacent to the unit. This configuration necessitates extending the slab up to the property line. Accordingly, we are requesting a reduction of the current 3' setback (for any concrete slab) to 2' 2" at this specific location in order to accommodate the slab and ensure full ADA compliance for unit #03.

Also, we are asking to reduce the same setback from 3' to 0' to provide a walkway to access motel units #1, #2 and #4 and avoid needing to using the ROW of S. Surf RD to access them.

Variance Criteria:

A. That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the city.

This variance does not affect the stability and appearance of the city, given that it will only affect the layout of the site plan.

B. The variance is compatible with the surrounding land uses.

This variance request is compatible and will not be detrimental to the community.

C. That the requested variance is consistent with and in furtherance of the Goal, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

The purpose of this renovation is to bring the property to comply with the code regulations as much as possible, given that it is an existing condition. Although this variance requires a setback reduction, it will provide safe use of the building. Also, having an ADA compliant motel unit will increase the value and of this property, which will increase the value of the surrounding properties, which will benefit the neighborhood and City.

D. That the need for requested Variance is not economically based or self-imposed

The requested variance is not economically based or self-imposed. It is due to an existing limiting condition of the property itself.

E. That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

These items are considered according to quasi-judicial procedures.

Sincerely,
Kaller Architecture



Joseph B. Kaller AIA, LEED AP BD+C
President



KallerArchitecture

October 16th, 2025

City of Hollywood

2600 Hollywood Boulevard

Hollywood, FL 33022

Reference: 300 Arizona St.

Hollywood, Florida 33019

To Whom It May Concern,

The following is our analysis of Criteria and findings for Design Review of the above-referenced property as per the City of Hollywood Zoning and Land Development Regulations.

DESIGN REVIEW

GENERAL CRITERIA:

All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

CRITERION 1: Bringing Units to Code

The project involves the renovation of an existing two-story building currently operating in violation of certain Florida Building Codes due to previous unpermitted work. Our design prioritizes correcting these deficiencies by bringing all motel units into full compliance with applicable codes. This includes updating bathroom facilities to current standards, removing non-permitted kitchen installations, and ensuring only code-compliant appliances (mini-fridge, microwave, and sink) remain in each unit. This work is essential to legalize the property's occupancy and operations while enhancing safety, health, and welfare standards.

CRITERION 2: ADA Compliance

To meet accessibility requirements, one of the four motel units has been designated as ADA-compliant. Additionally, the site's parking layout has been reconfigured to include a designated ADA parking space, ensuring the property provides inclusive access in line with both Florida Building Code and federal ADA standards.

CRITERION 3: Compatibility with the Neighborhood and Improved Aesthetics

Although the renovation does not alter the building's footprint or square footage, the exterior upgrades aim to strengthen the building's visual harmony with its surroundings. This includes repainting the entire structure, replacing outdated windows with new, code-compliant ones that enhance both safety and appearance, and significantly upgrading the landscaping. These improvements seek to revitalize the property's street presence and support the broader aesthetic character of the Hollywood Beach area, contributing positively to the neighborhood's architectural fabric.

CRITERION 4: Preservation of Mixed-Use Functionality

While the BRT-25-C zoning does not permit residential uses, we are requesting a variance to preserve one residential unit within the building alongside the four motel units. This careful integration of residential use respects the existing fabric of the building and provides a meaningful blend of transient and long-term occupancy. The design ensures that the residential unit remains distinct yet cohesive within the context of the motel operation, all while adhering to the necessary building codes and safety standards.

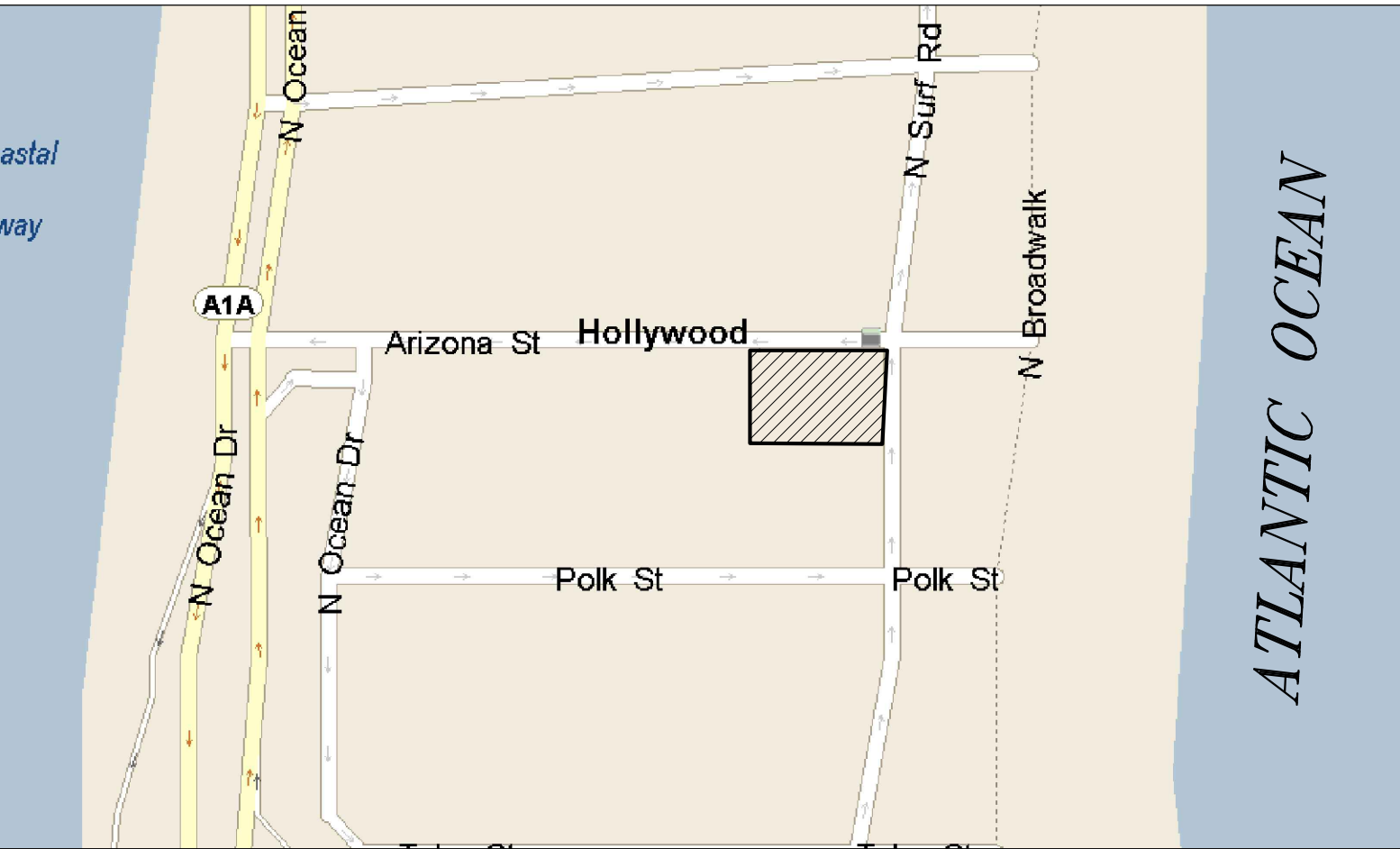
Should you have any questions or require further information, please do not hesitate to contact this office.

Sincerely,
Kaller Architecture



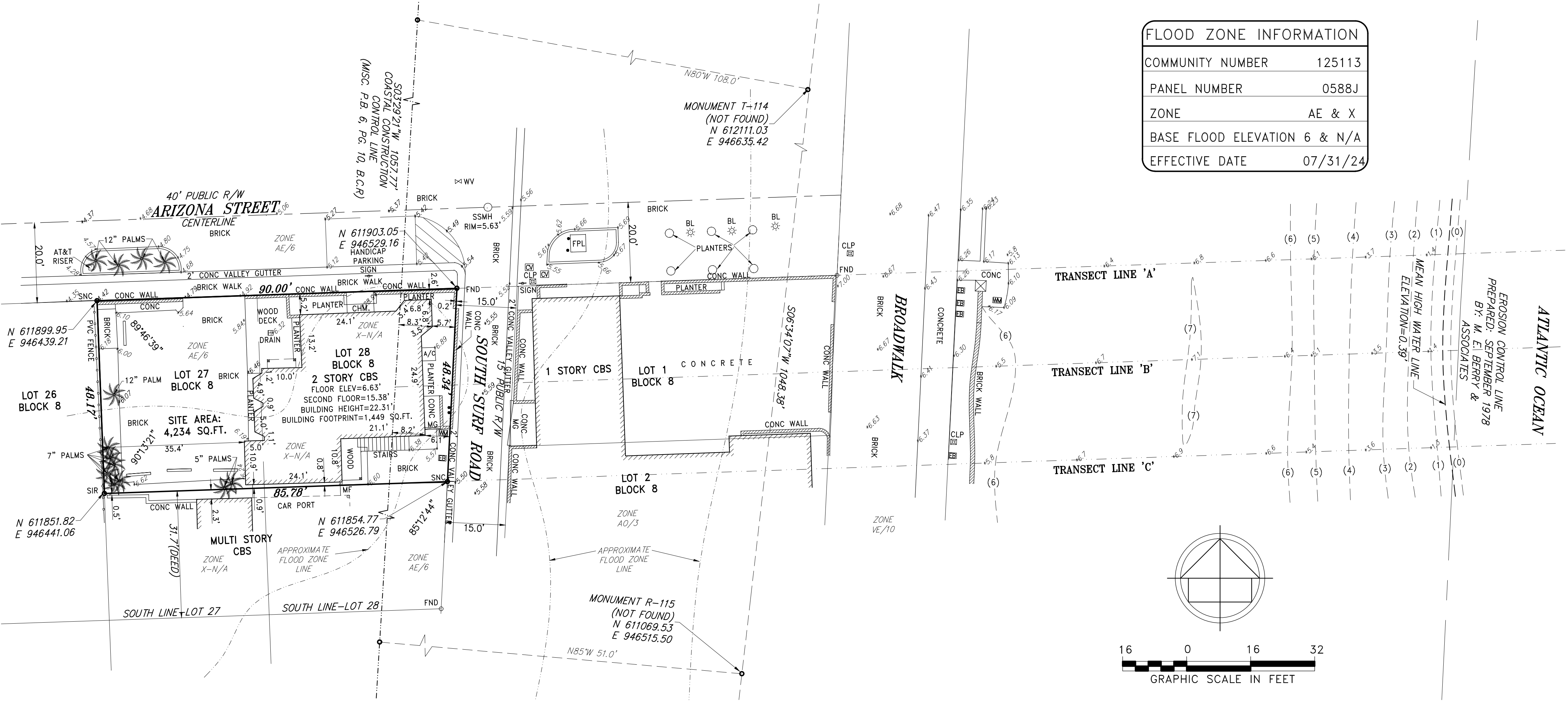
Joseph B. Kaller AIA, LEED AP BD+C
President

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0588J
ZONE	AE & X
BASE FLOOD ELEVATION	6 & N/A
EFFECTIVE DATE	07/31/24



LAND DESCRIPTION:

LOT 27, LESS THE SOUTH 31.7 FEET AND LOT 28, LESS THE SOUTH 31.7 FEET, BLOCK 8, HOLLYWOOD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE(S) 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

STATE PLANE COORDINATE INFORMATION

(a) PROJECTION:
UNIVERSAL TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM.

(b) DATUM:
THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2011 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2011)). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

(c) METHODOLOGY:
COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE 'L-NET' ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE 'L-NET' NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS.

(d) ESTIMATED ACCURACIES:
HORIZONTAL ACCURACIES TO 0.04'
VERTICAL ACCURACIES TO 0.07'

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
CO	CLEAN OUT
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CLP	CONCRETE LIGHT POLE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
*0.00	ELEVATIONS
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK
SO.FT.	SQUARE FEET
CHM.	CHIMNEY
MF	METAL FENCE
MG	METAL GATE
BL	BOLLARD LIGHT
CV	CABLE VAULT
R/W	RIGHT OF WAY

NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK REFERENCE: CITY OF HOLLYWOOD BENCHMARK @ BROADWALK & NEW YORK STREET. ELEVATION = 6.11' (NAVD88)
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY ----- INSURANCE COMPANY, ORDER NO.: ----- WITH AN EFFECTIVE DATE OF --- 2021 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO ARIZONA STREET, A DEDICATED PUBLIC STREETS AS SHOWN ON PLAT BOOK 1, PAGE 27, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), (B) AND (C), 8, 9, 13, 14, 16 17 AND 19 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON NOVEMBER 04, 2024.

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766
EMAIL: OFFICE@CSASURVEY.NET

CLIENT:

KALLER ARCHITECTS
GROUP

300 ARIZONA STREET #1-4
HOLLYWOOD, FLORIDA 33019

R E V I S I O N S		DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY/COASTAL CONSTRUCTION CONTROL LINE INFORMATION		11/04/24	SKETCH	AM	REC
REVISED BUILDING DIMENSIONS		11/15/24	SKETCH	REC	REC

R E V I S I O N S		DATE	FB/PG	DWN	CKD

PROJECT NUMBER: 10311-24

SCALE: 1" = 16'

SHEET
1
OF
1
SHEET

ARIZONA MOTEL

300 ARIZONA ST.
HOLLYWOOD, FL - 33019



ARCHITECT
JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: Mr. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954)-920-5746
FAX: (954)-926-2841
EMAIL: joseph@kallerarchitects.com

OWNER
Robert L. Ordway
Po Box 223875,
Hollywood, FL 33022

LANDSCAPE
THOMAS WHITE
ADDRESS: 2600 NE 27th AVE.
FORT LAUDERDALE, FL 33306
PHONE: (954)-253-2265
EMAIL: tcawhite@bellsouth.net

SURVEYOR
COUSIN SURVEYORS & ASSOCIATES, INC.
ADDRESS: 3921 SW 47th AVENUE SUITE 1011
TOWN OF DAVIE, FL 33314
PHONE: (954)-689-7766
E-MAIL: office@csasurvey.net

DRAWING INDEX

ARCHITECTURE	
A-0.0	COVER
A-1.0	SITE PLAN DATA
A-2.0	EXISTING SITE PLAN
A-2.1	EXISTING GROUND FLOOR
A-2.2	EXISTING SECOND FLOOR
A-2.3	PROPOSED SITE PLAN
A-2.4	PROPOSED GROUND FLOOR
A-2.5	PROPOSED SECOND FLOOR
A-2.6	DEMO PLAN - GROUND FLOOR
A-2.7	DEMO PLAN - SECOND FLOOR
A-2.8	ADA ROUTE
A-2.9	ELEVATIONS 1
A-2.10	ELEVATIONS 2
A-2.11	RENDERINGS

KA

KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

STATE OF FLORIDA

JOSEPH B. KALLER

R. A.

0009239

REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:

COVER SHEET

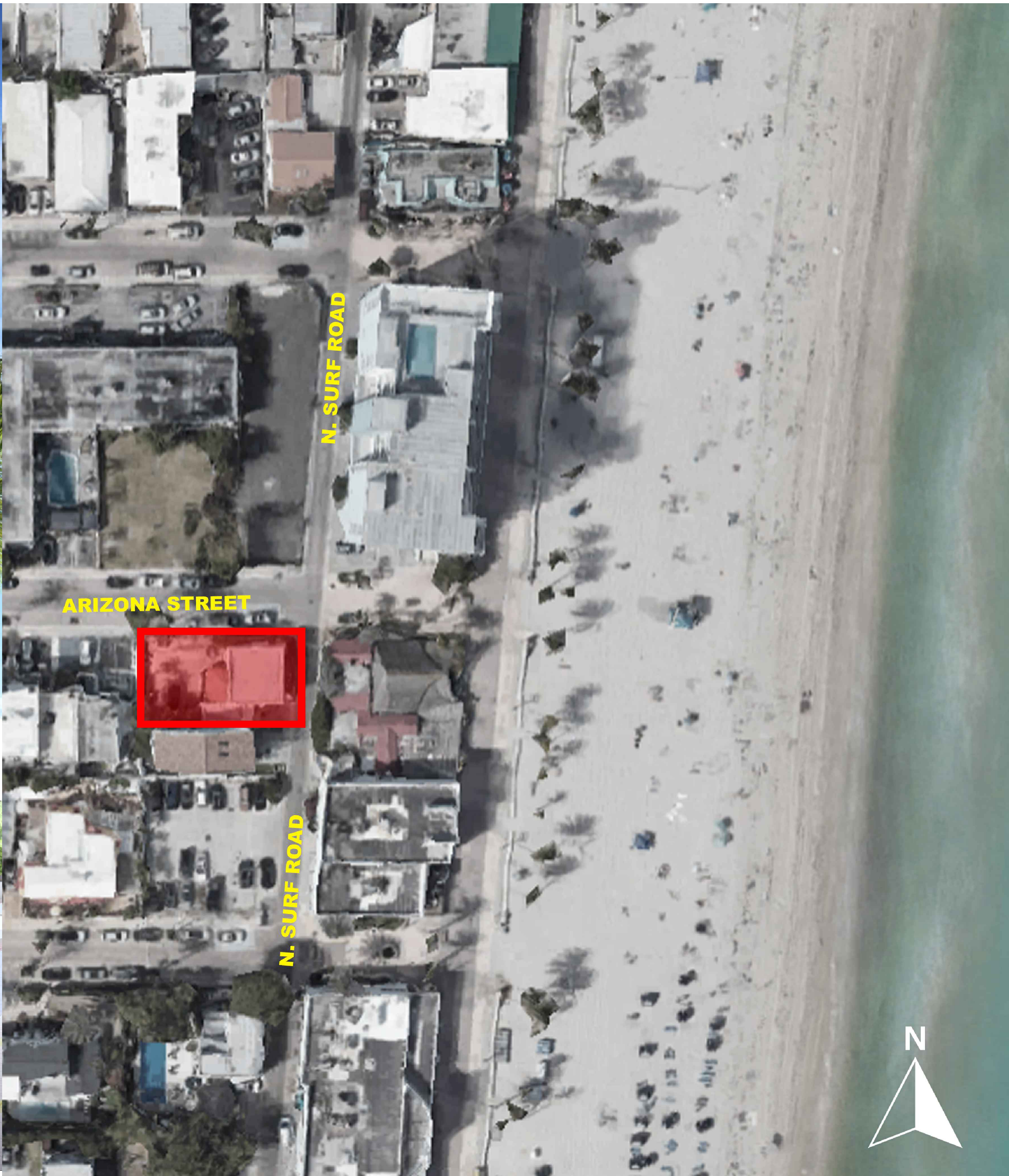
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-0.0



PROPERTY ADDRESS

300 ARIZONA ST. FL 33019

FOLIO

5142 13 01 2050

LEGAL DESCRIPTION

HOLLYWOOD BEACH 1-27 B LOT 27 LESS S 31.7,28 LESS S 31.7 BLK 8

SITE INFORMATION

ZONING:

Beach Resort Commercial District
BRT-25-C

N/A

BUILDING USE:

MULTIFAMILY DWELLING

SINGLE FAMILY + HOTEL (4DU)

LAND USE DESIGNATION:

COMMERCIAL

N/A

COUNTY USE DESIGNATION:

COMMERCIAL

N/A

NET LOT AREA:

4,222.00 SQ. FT.

N/A

GROSS LOT AREA:

6'485.00 SQ. FT.

N/A

BASE FLOOD ZONE :

AE - 8.0' NAVD + 1

N/A

PARKING CALCULATION:

HOTEL = 0 - 4 ROOMS: 0 SPACES PER ROOM. THIS SHALL APPLY FOR LOTS LESS THAN OR EQUAL TO 40 FEET BY 80 FEET

1 PER RESIDENTIAL UNIT

1

1

1 PER MOTEL UNIT

4

0

HANDICAPPED SPACE

1

1

TOTAL

= 5 SPACE

= 2 SPACES

BUILDING DENSITY

ALLOWED

PROVIDED

PROPOSED NO. OF UNITS:

7 HOTEL UNITS (50 DU/AC)
or 4 RESI. UNITS (25 DU/AC)

4 HOTEL UNITS + 1 SINGLE FAMILY RESIDENCE

HEIGHT:

50 FEET

24 FEET

DWELLING UNITS:

REQUIRED

PROVIDED

MINIMUM MOTEL UNIT SIZE IS 250 SQ. FT. AND MINIMUM RESIDENTIAL UNIT SIZE IS 500 SQ. FT.

RESIDENTIAL UNIT

500 SQ. FT. (MIN.)

1,477.93 SQ. FT.

MOTEL ROOM #1

250 SQ. FT. (MIN.)

291.97 SQ. FT.

MOTEL ROOM #2

250 SQ. FT. (MIN.)

369.55 SQ. FT.

MOTEL ROOM #3

250 SQ. FT. (MIN.)

253.19 SQ. FT.

MOTEL ROOM #4

250 SQ. FT. (MIN.)

313.09 SQ. FT.

VARIANCES:

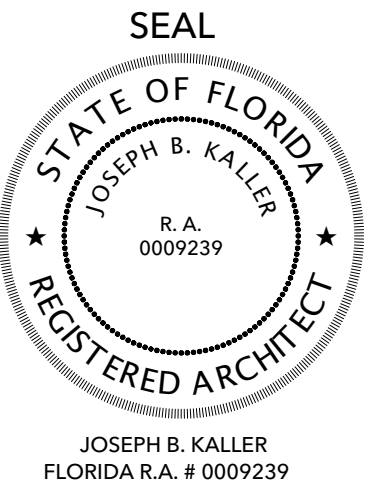
- 1) VARIANCE TO REDUCE NUMBER OF PARKING SPACES REQUIRED FROM 5 TO 2 PARKING SPACES
2) VARIANCE TO REDUCE LANDSCAPE BUFFER ON SOUTHWEST PROPERTY LINE FROM 5' TO 3' 1" FOR PARKING AT GRADE AND ON SOUTHEAST PROPERTY LINE FROM 5' TO 3' 10" TO PROVIDE A 4' WALKWAY FOR ENTRANCE TO MOTEL UNIT #02
3) VARIANCE TO REDUCE SETBACK OF 3' FOR CONCRETE SLABS TO 2' 2" FOR ACCESS TO MOTEL UNIT #03 (ADA UNIT); AND TO 0' FOR WALKWAY (FROM ARIZONA ST.) TO ACCESS MOTEL UNITS #1, #2 AND #4.



KallerArchitecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com



PROJECT TITLE

300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:

SITE PLAN DATA

REVISIONS
No. DATE DESCRIPTION

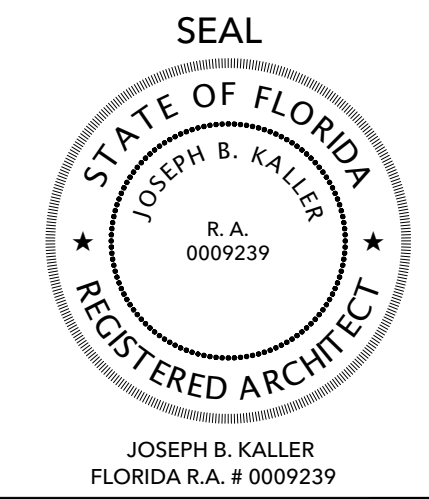
PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-1.0



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
EXISTING
SITE PLAN

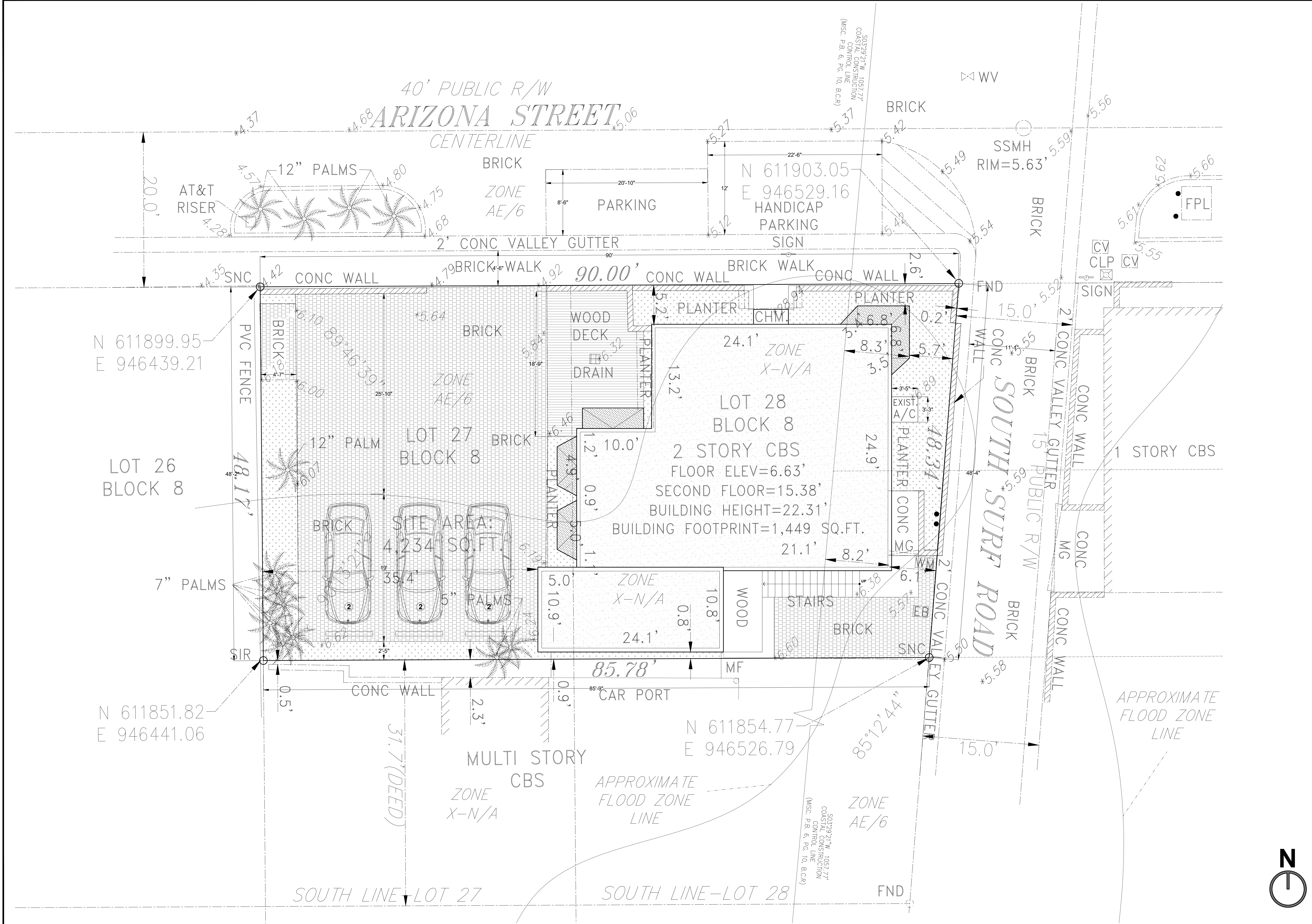
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

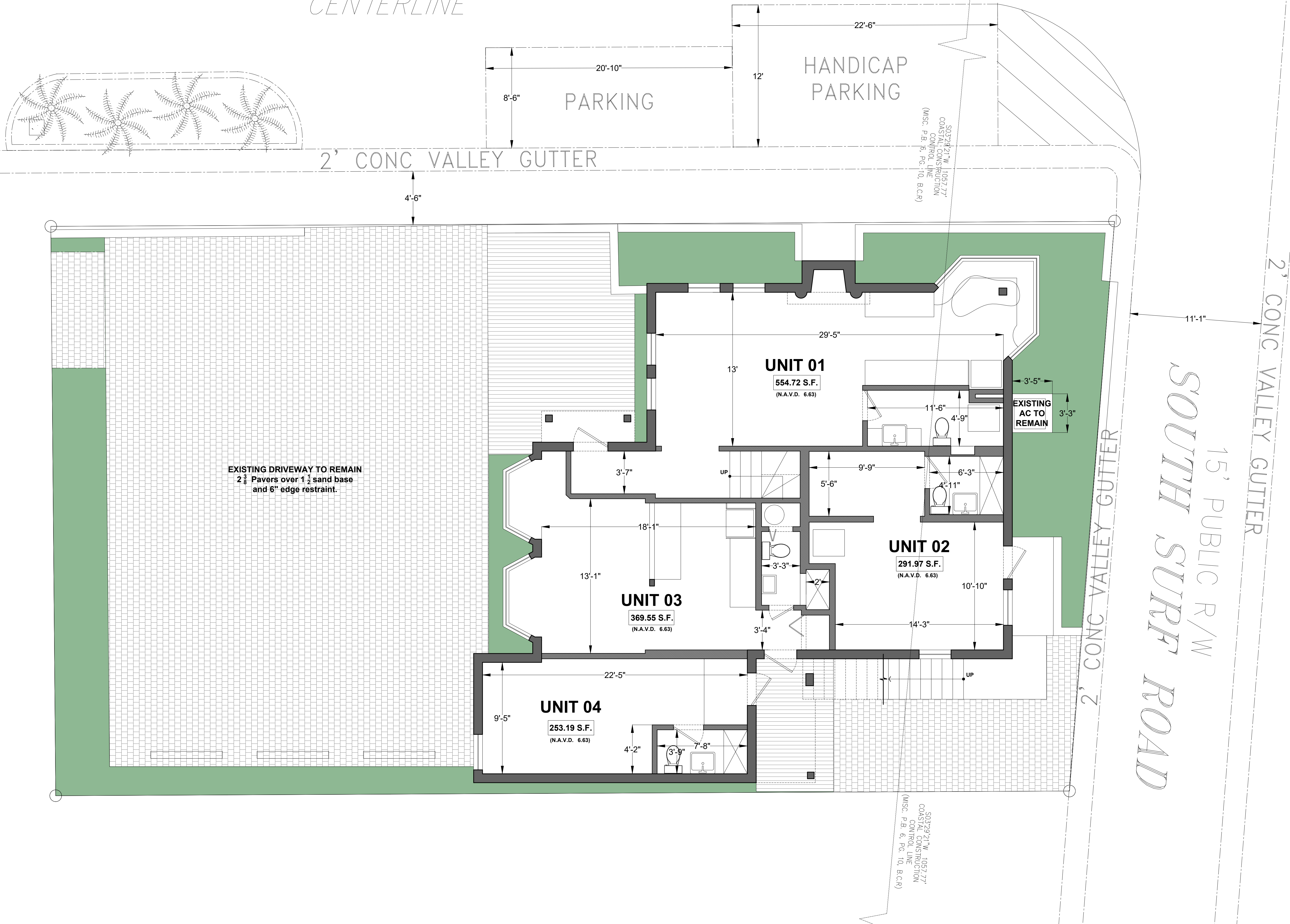
PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-2.0



40' PUBLIC R/W
ARIZONA STREET
CENTERLINE



KA

KallerArchitecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

STATE OF FLORIDA
JOSEPH B. KALLER
R.A.
0009239
REGISTERED ARCHITECT
JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:

EXISTING
GROUND FLOOR

REVISIONS

No.	DATE	DESCRIPTION

PROJECT No.:

24278

DATE:

10/16/25

DRAWN BY:

JAVIER

CHECKED BY:

ROCKY

SHEET

A-2.1

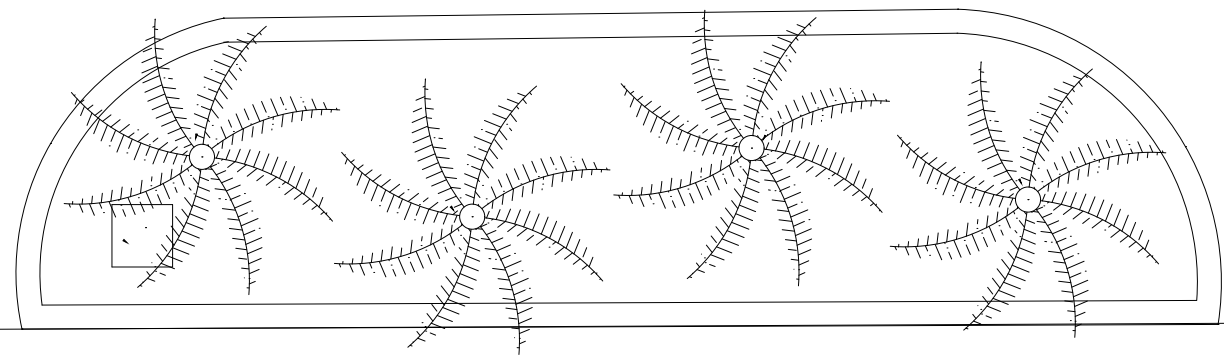
1

EXISTING GROUND FLOOR
3/8" = 1'-0"

1

EXISTING GROUND FLOOR
3/8" = 1'-0"

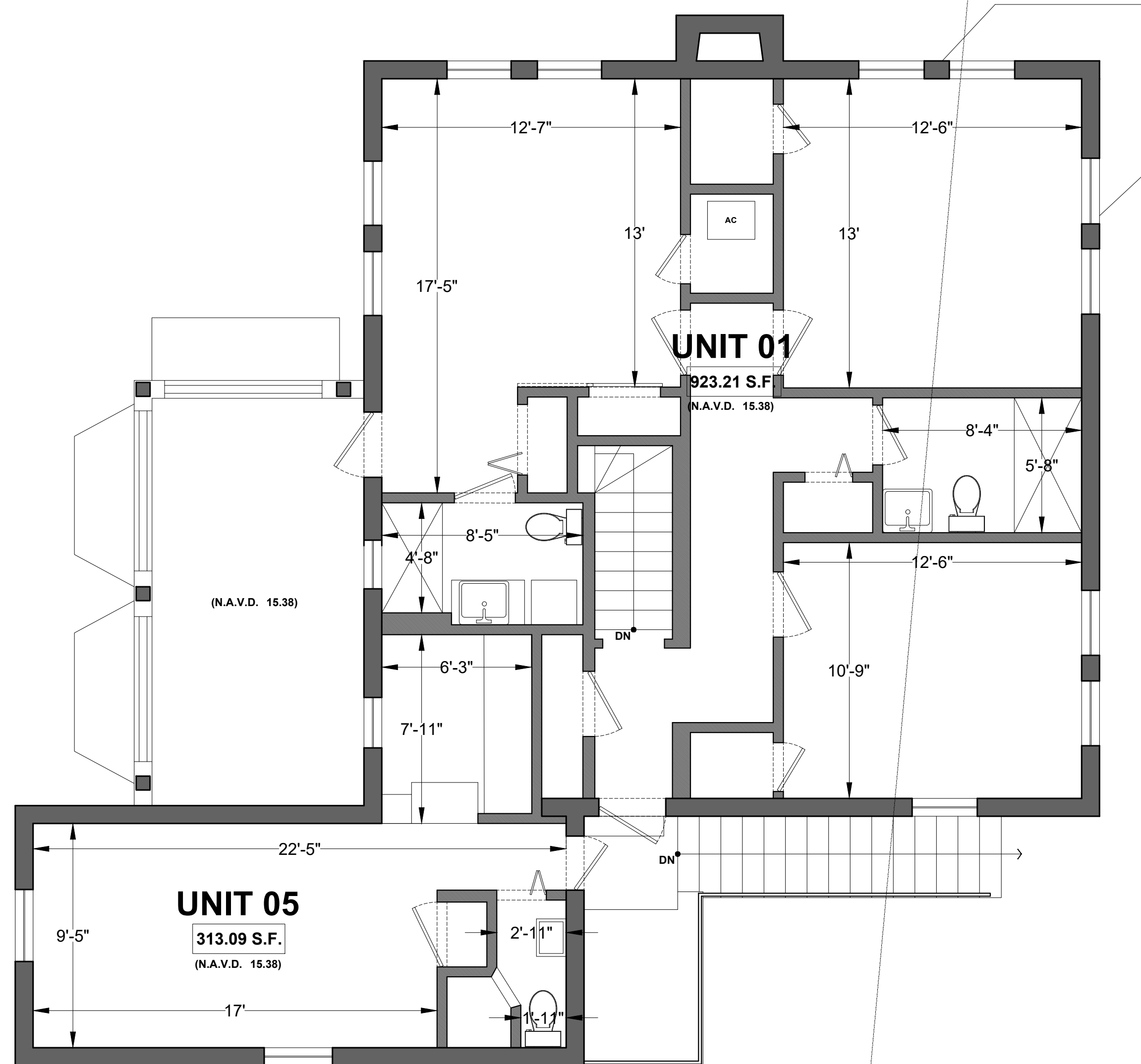
40' PUBLIC R/W
ARIZONA STREET
CENTERLINE



2' CONC VALLEY GUTTER

HANDICAP
PARKING

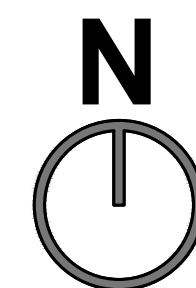
50379.21' W, 1057.77'
COASTAL CONSTRUCTION
CONTROL LINE
(MSC, P.B. 6, PG. 10, B.C.R.)



2' CONC VALLEY GUTTER

15' PUBLIC R/W
SOUTH SURF ROAD

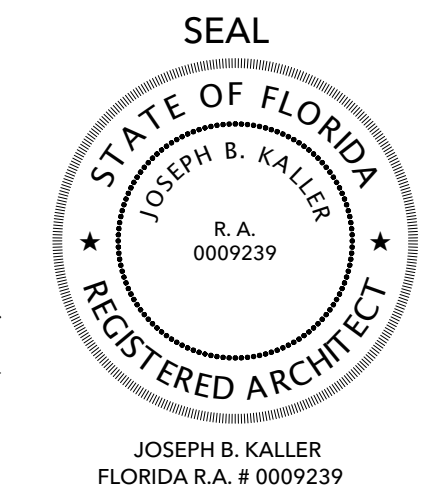
2' CONC VALLEY GUTTER



KallerArchitecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
EXISTING
SECOND FLOOR

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

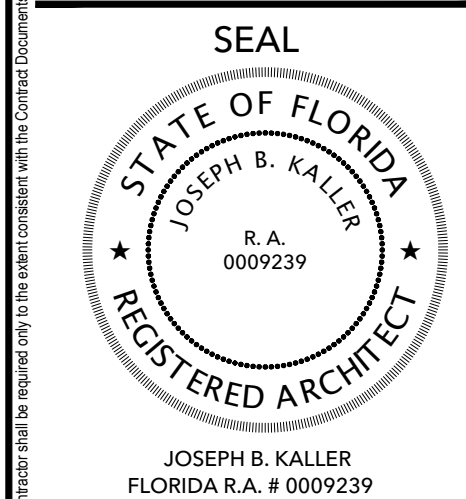
PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-2.2



www.kallerarchitects.com



CONTACT TITLE

300 ARIZONA
300 Arizona St.

HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE:

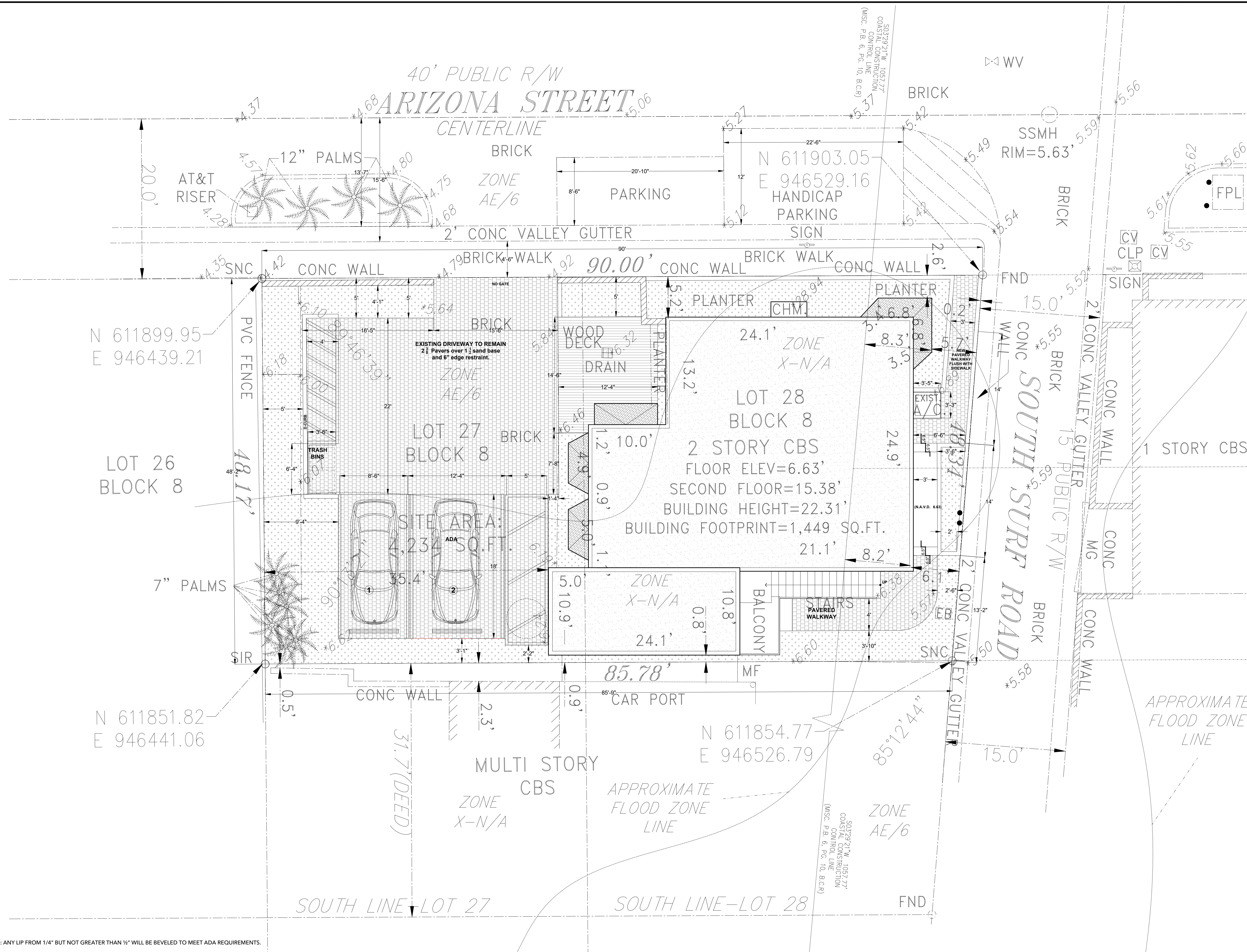
[illegible]

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-2.3



NOTE: ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS

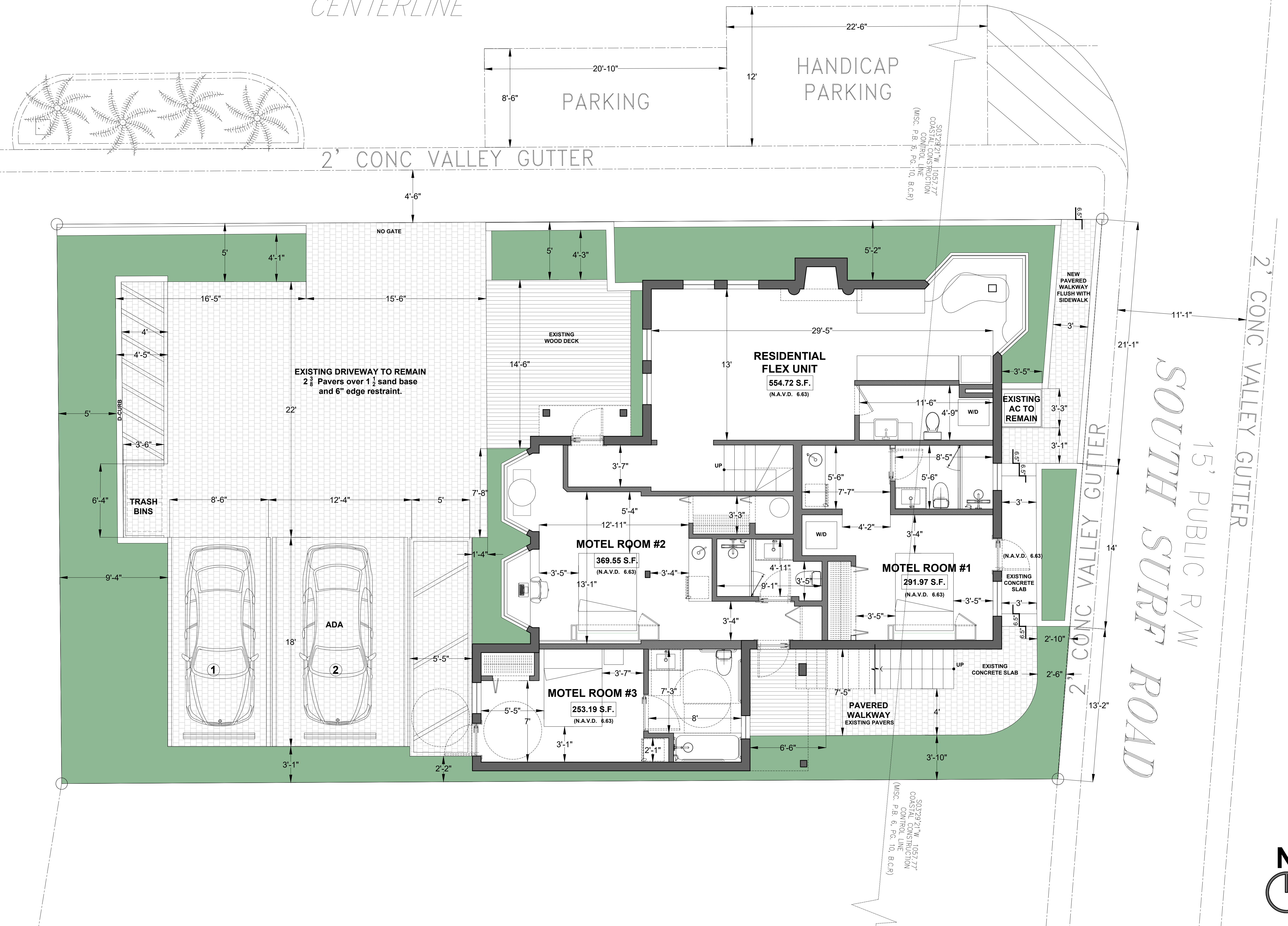
1

PROPOSED SITE PLAN
3/16" = 1'-0"

$$3/16'' = 1'-0''$$

ALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018

40' PUBLIC R/W
ARIZONA STREET
CENTERLINE



KA

KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

STATE OF FLORIDA

JOSEPH B. KALLER

R.A.

0009239

REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

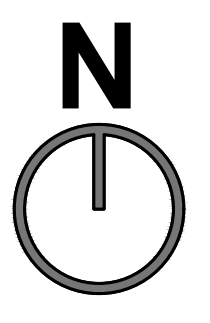
PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
**PROPOSED
GROUND FLOOR**

REVISIONS		
No.	DATE	DESCRIPTION

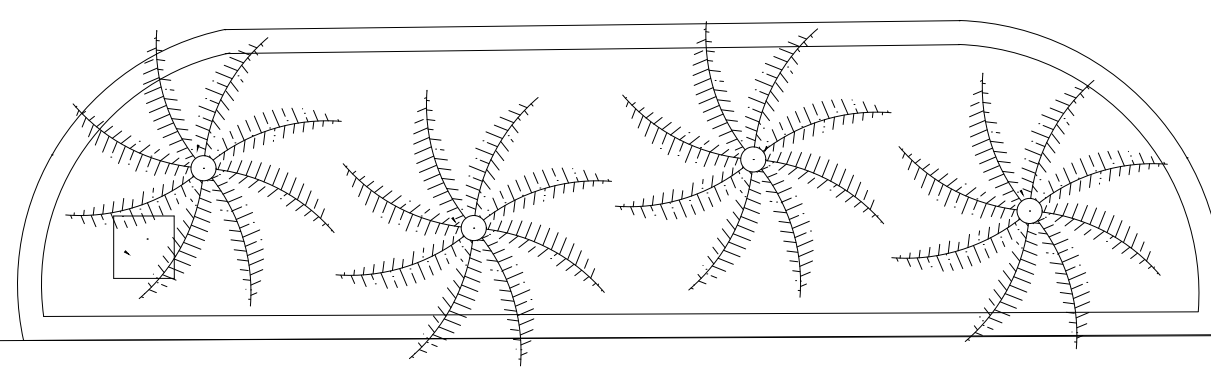
PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET
A-2.4



KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018

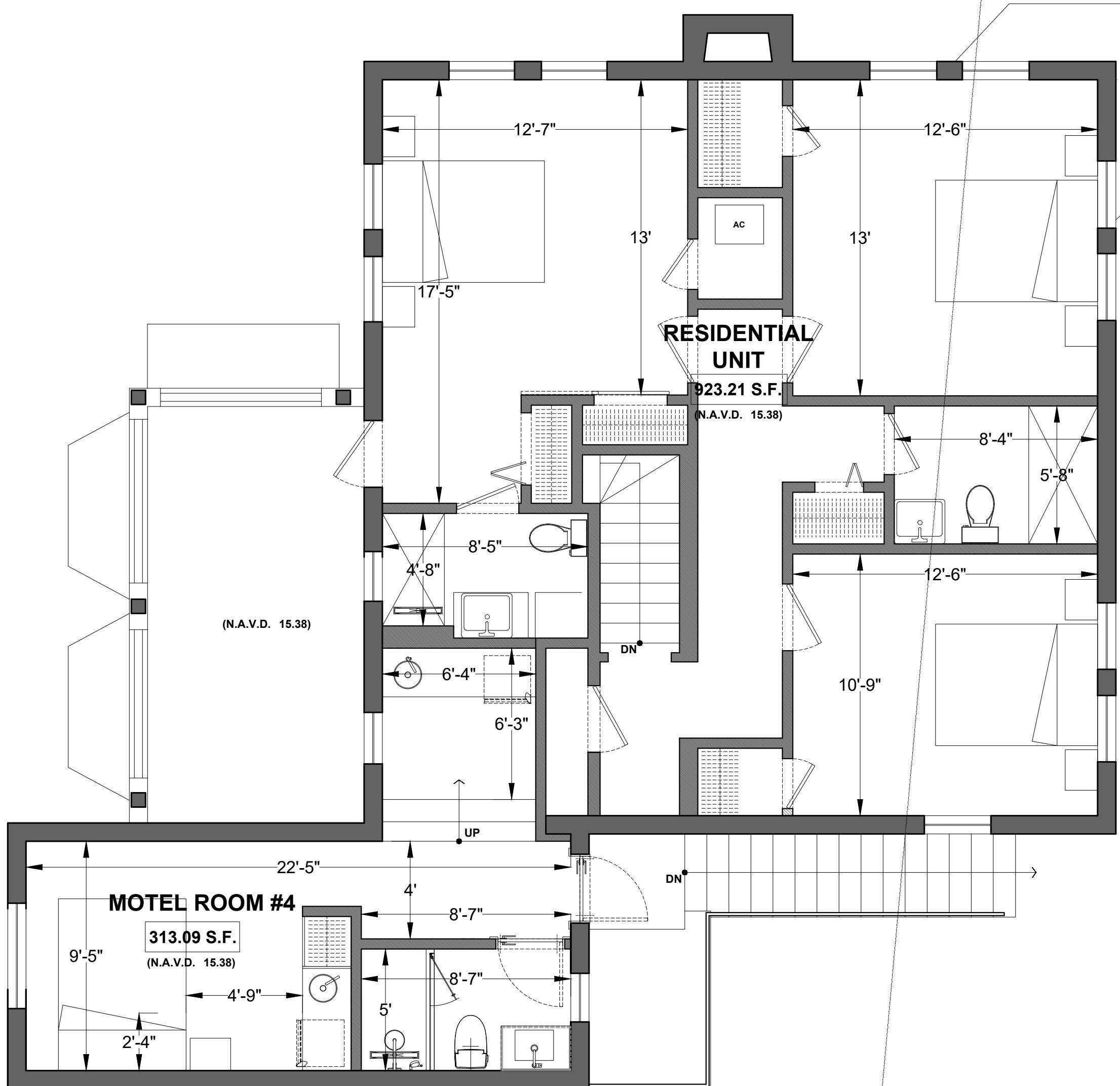
40' PUBLIC R/W
ARIZONA STREET
CENTERLINE



2' CONC VALLEY GUTTER

HANDICAP
PARKING

50329.21'W, 1057.77'
COASTAL CONSTRUCTION
CONTROL LINE
(MISC. P.B. 6, PG. 10, B.C.R.)

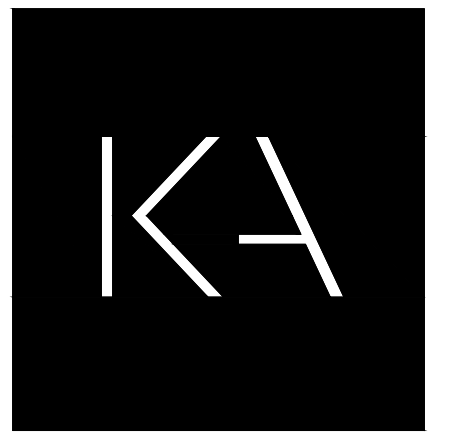
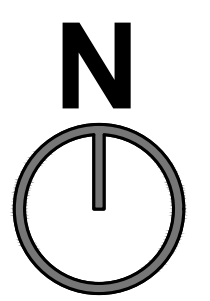


50329.21'W, 1057.77'
COASTAL CONSTRUCTION
CONTROL LINE
(MISC. P.B. 6, PG. 10, B.C.R.)

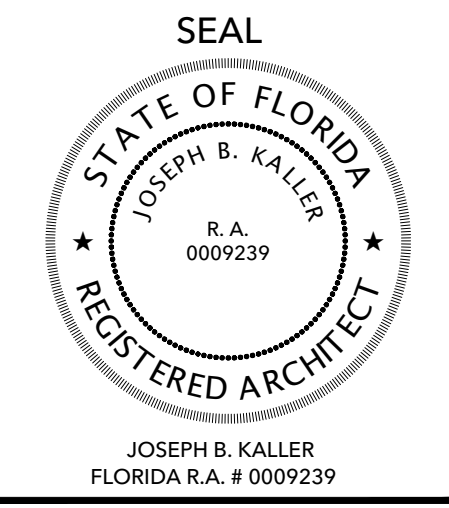
2' CONC VALLEY GUTTER

15' PUBLIC R/W
SOUTH SURF ROAD

2' CONC VALLEY GUTTER



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

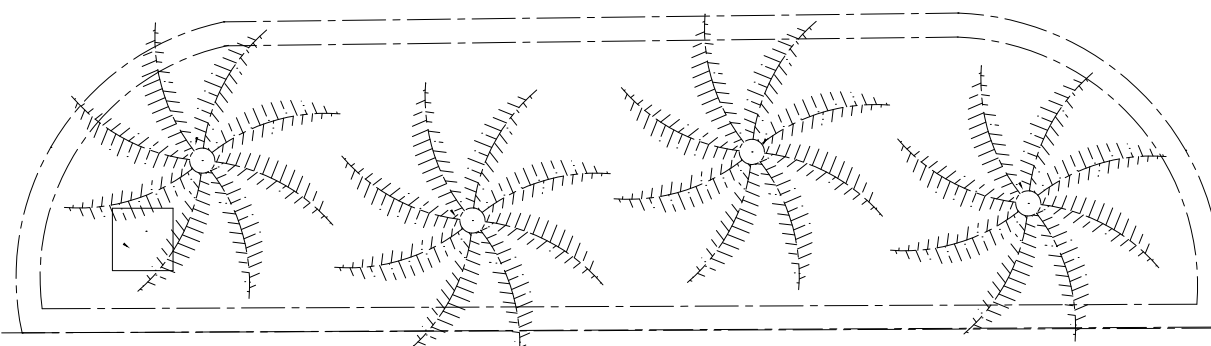
SHEET TITLE:
**PROPOSED
SECOND FLOOR**

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET
A-2.5

40' PUBLIC R/W
ARIZONA STREET
CENTERLINE

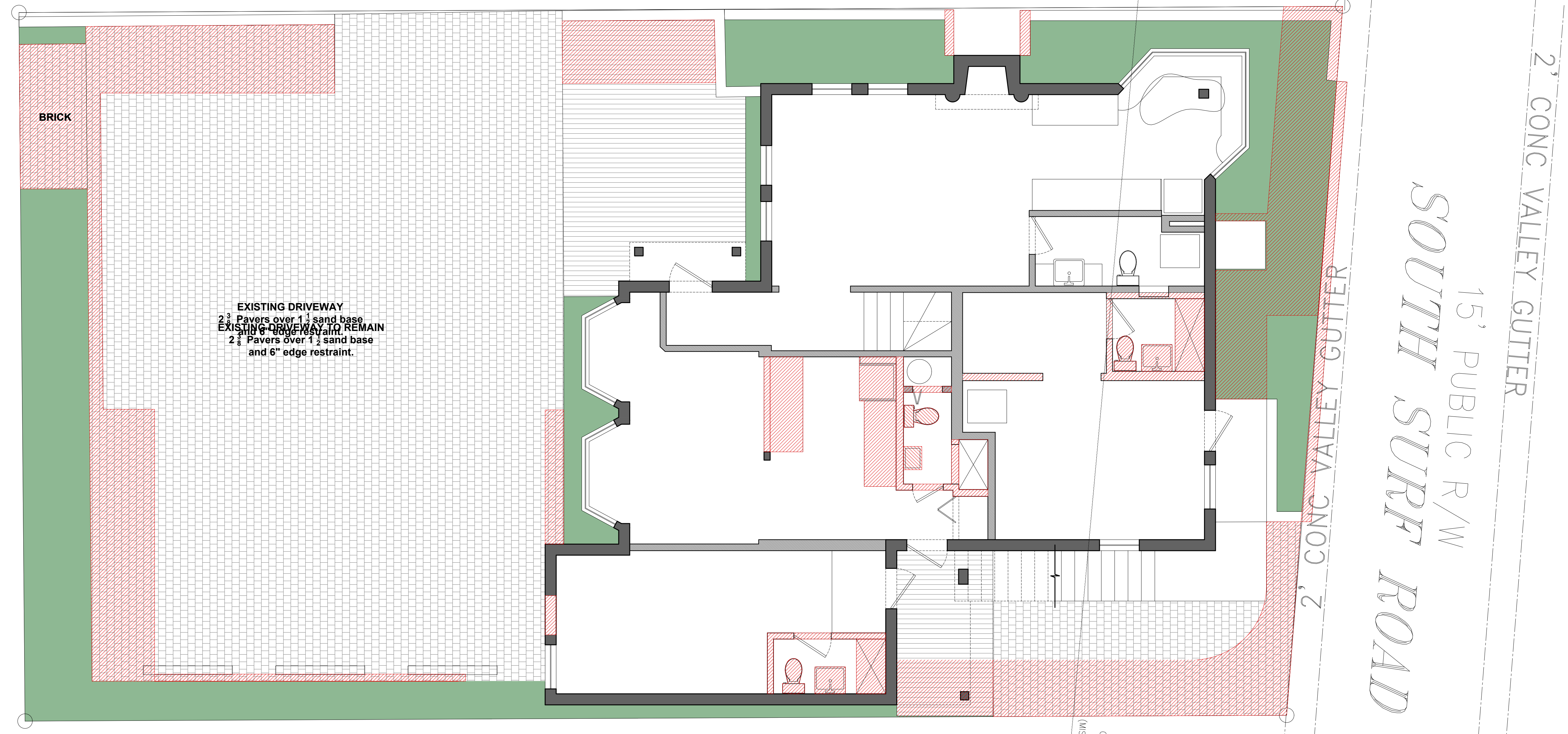


PARKING

HANDICAP
PARKING

S032921"W 1057.77'
COASTAL CONSTRUCTION
CONTROL LINE
(MSC. P.B. 6, PG. 10, B.C.P.)

2' CONC VALLEY GUTTER



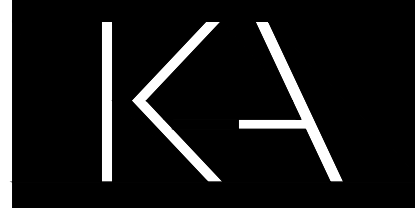
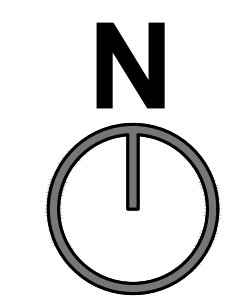
EXISTING DRIVEWAY
2 3/4 Pavers over 1 1/2" sand base
EXISTING DRIVEWAY TO REMAIN
2 3/4 Pavers over 1 1/2" sand base
and 6" edge restraint.

BRICK

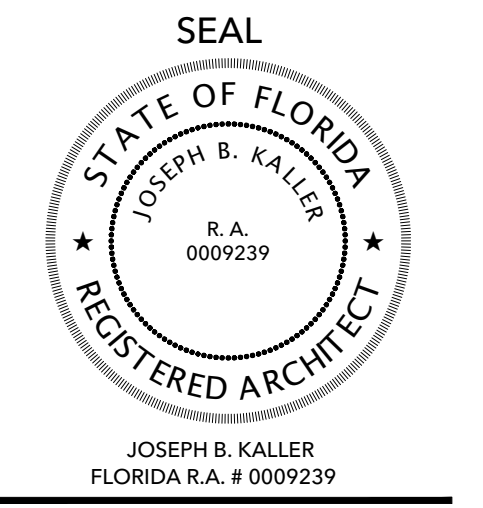
2' CONC VALLEY GUTTER

15' PUBLIC R/W
SOUTH SUPR ROAD

2' CONC VALLEY GUTTER



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
DEMO PLAN
GROUND FLOOR

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

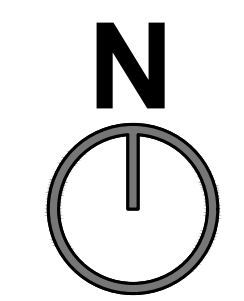
SHEET
A-2.6

HANDICAP
PARKING

S03-29 21"W 1057.77'
COASTAL CONSTRUCTION
CONTROL LINE
(MISC. P.B. 6, PG. 10, B.C.R.)

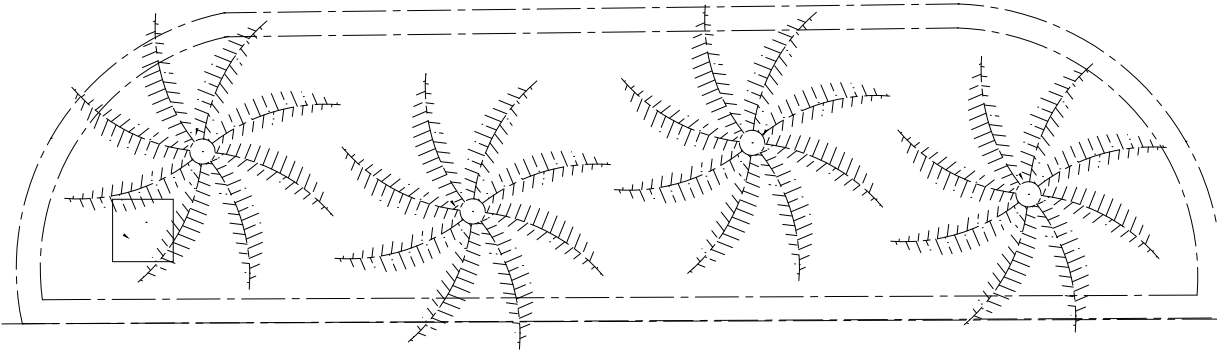
15' PUBLIC R/W
SOUTH SUPR ROAD

2' CONC VALLEY GUTTER



A-2.7

40' PUBLIC R/W
ARIZONA STREET
CENTERLINE



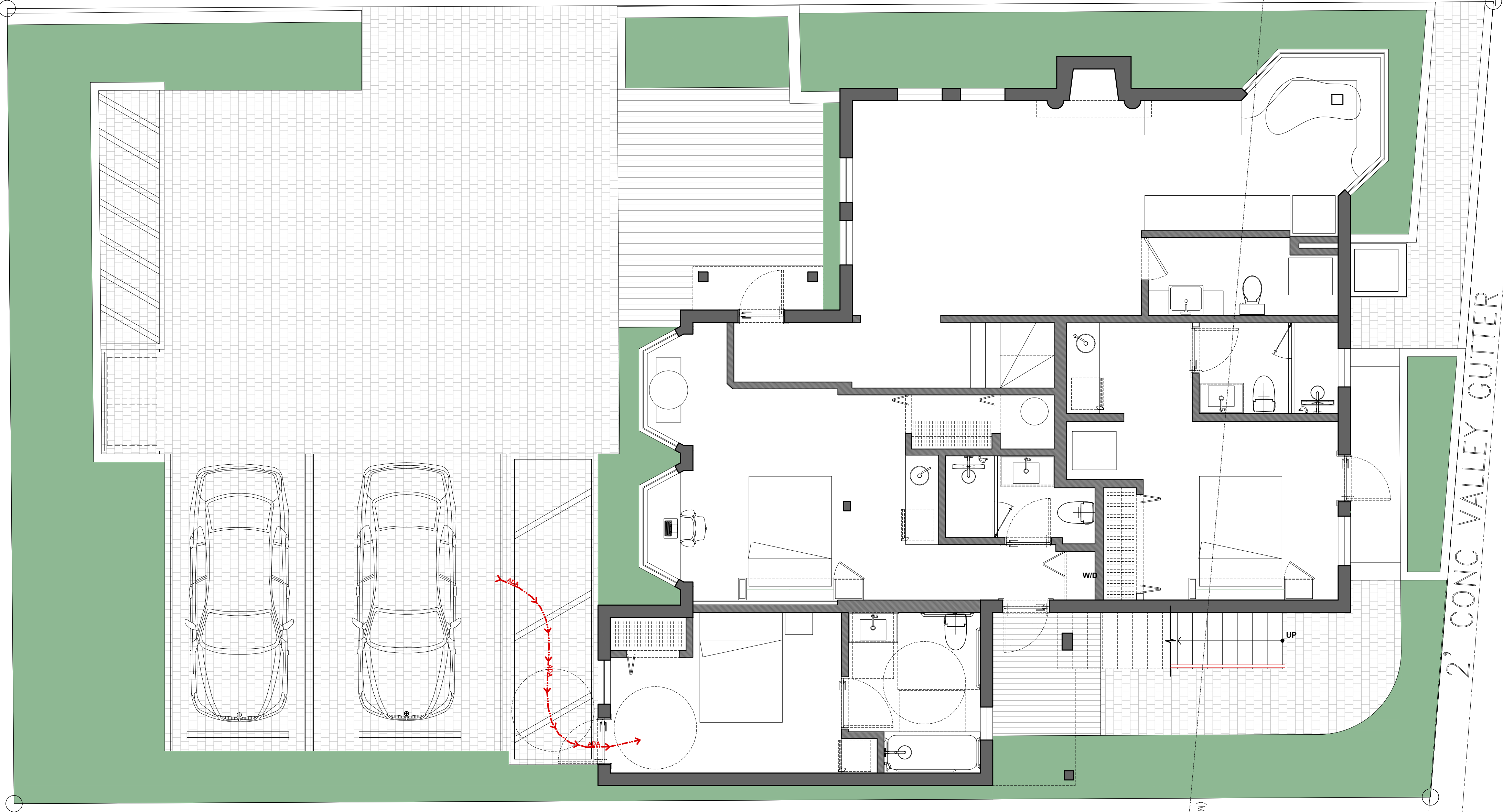
PARKING

HANDICAP
PARKING

S0329217W 1057.77
COASTAL CONSTRUCTION
CONTROL LINE
(MISC. P.B. 6, P.G. 10, B.C.R.)

2' CONC VALLEY GUTTER

BRICK WALK



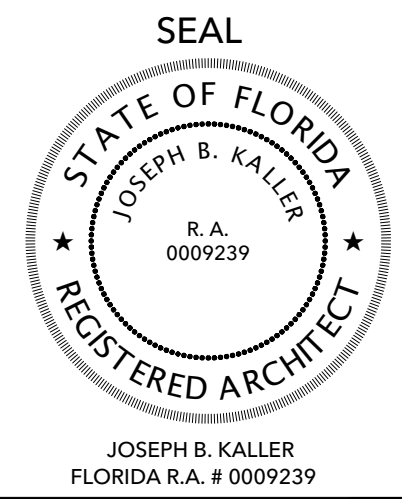
2' CONC VALLEY GUTTER

15' PUBLIC R/W
SOUTH SURF ROAD

2' CONC VALLEY GUTTER



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
ADA ROUTE
SITE PLAN

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

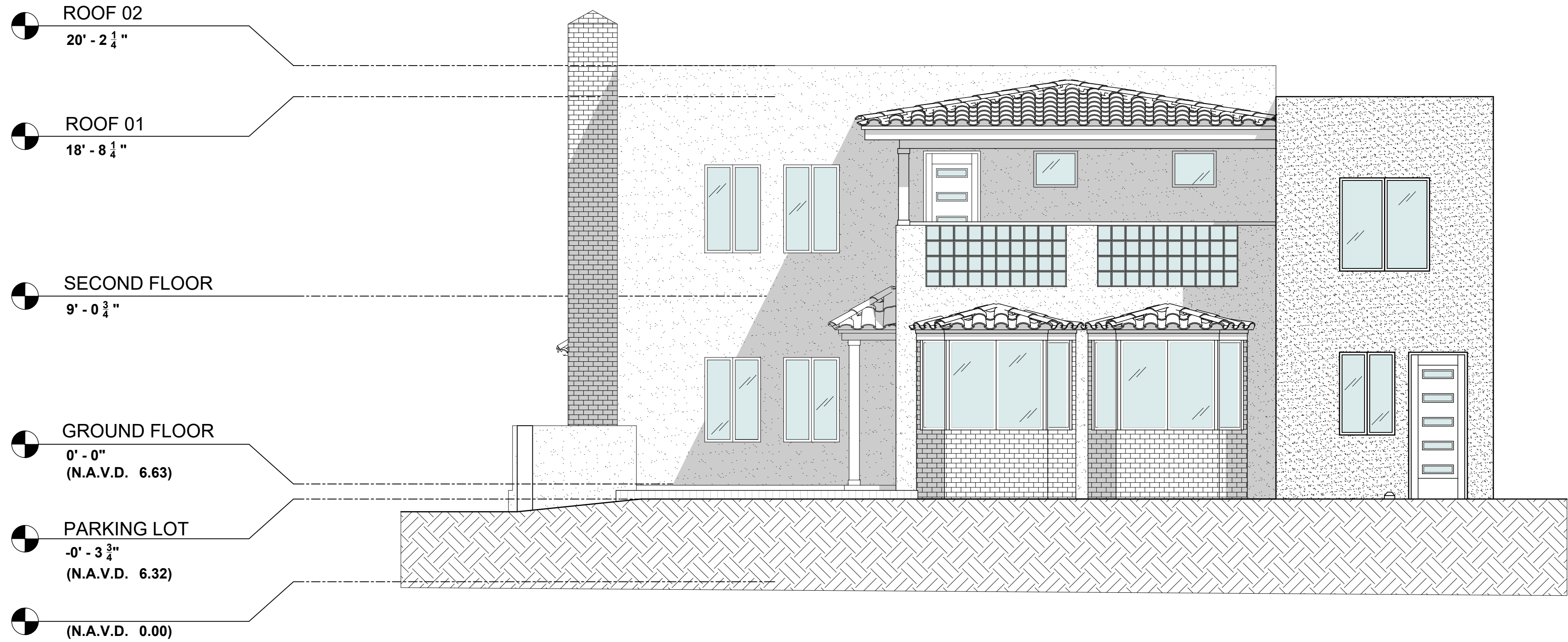
PROJECT No.: 24278
DATE: 08/18/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET
A-2.8

KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018

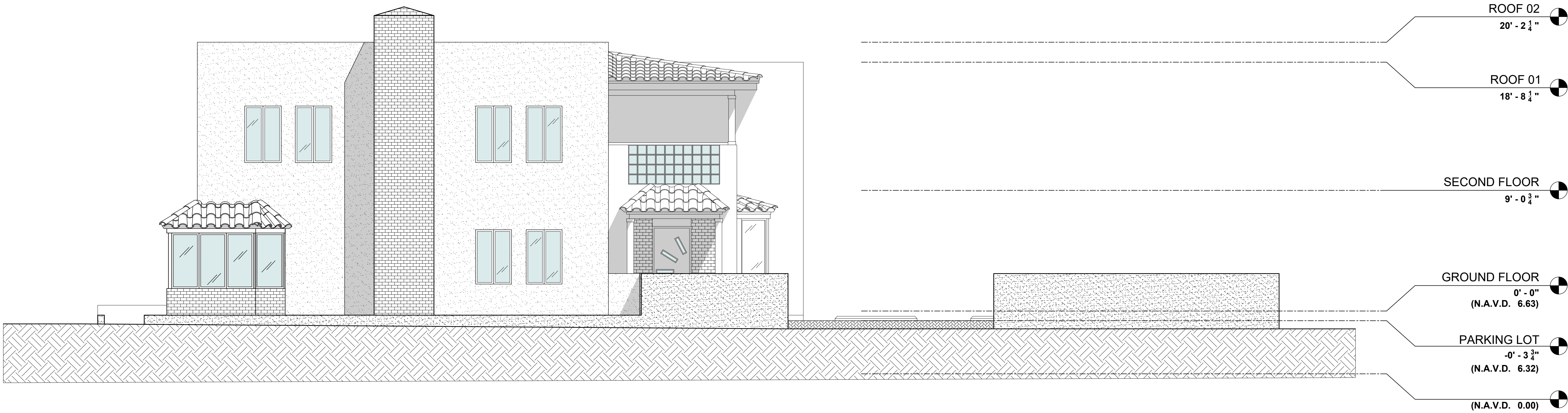
2

EAST ELEVATION
1/4" = 1'-0"



1

NORTH ELEVATION
1/4" = 1'-0"



REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

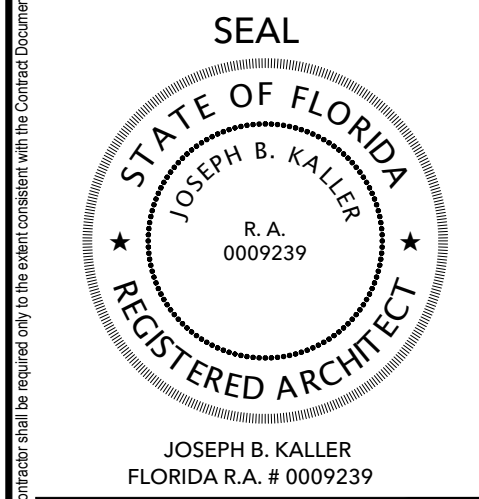
A-2.9

SHEET TITLE:

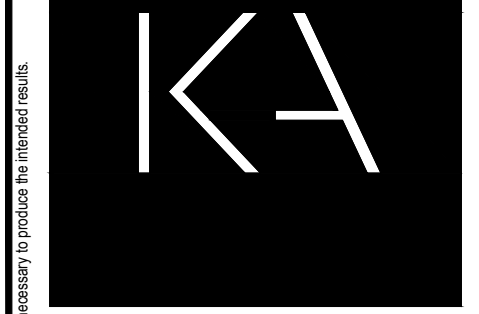
ELEVATIONS
PROPOSAL

PROJECT TITLE

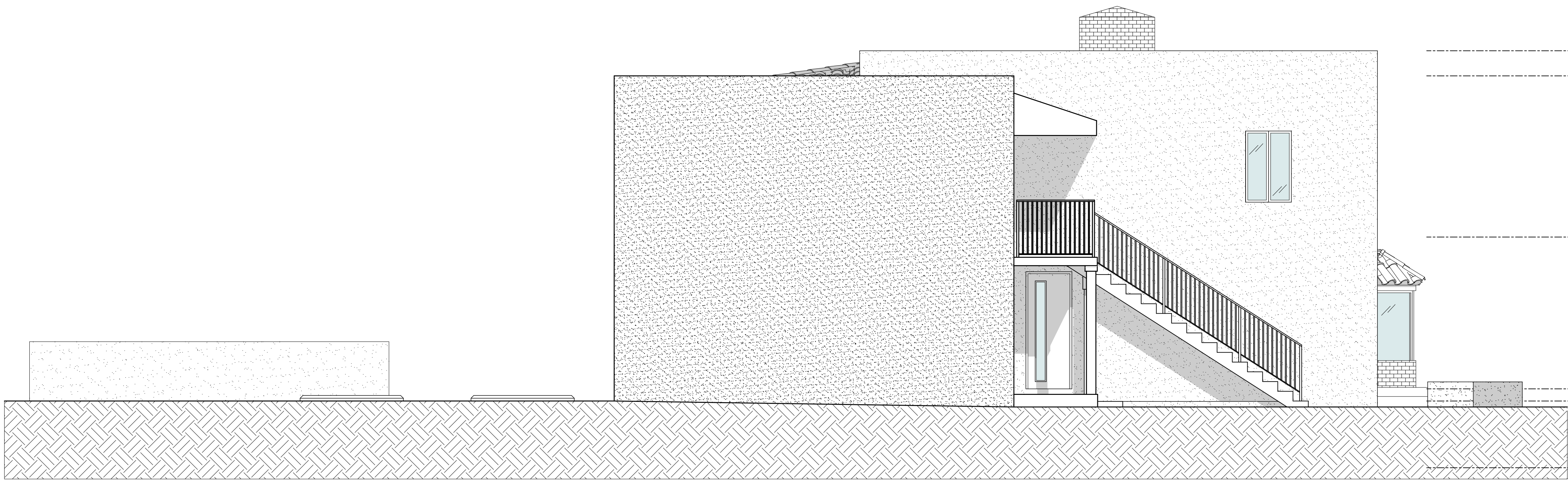
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019



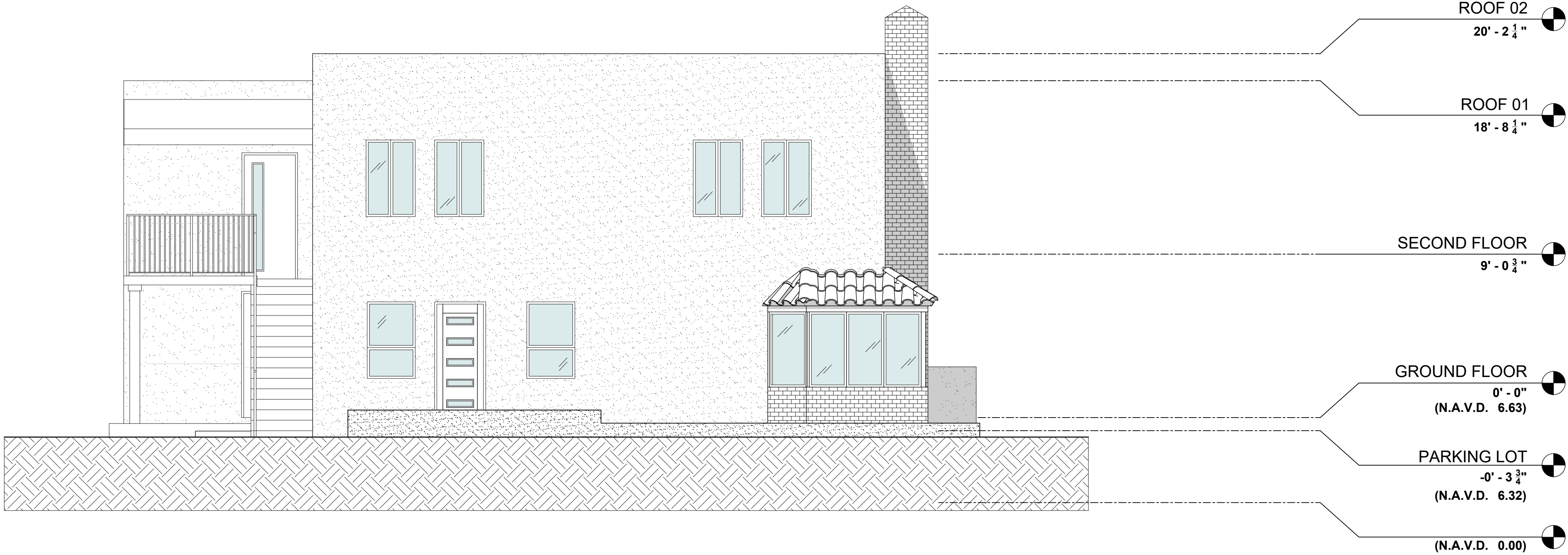
KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018



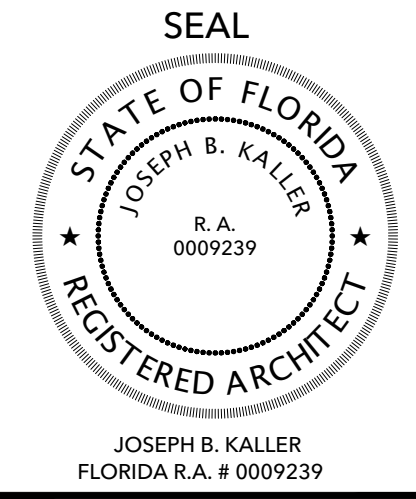
1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
ELEVATIONS
PROPOSAL

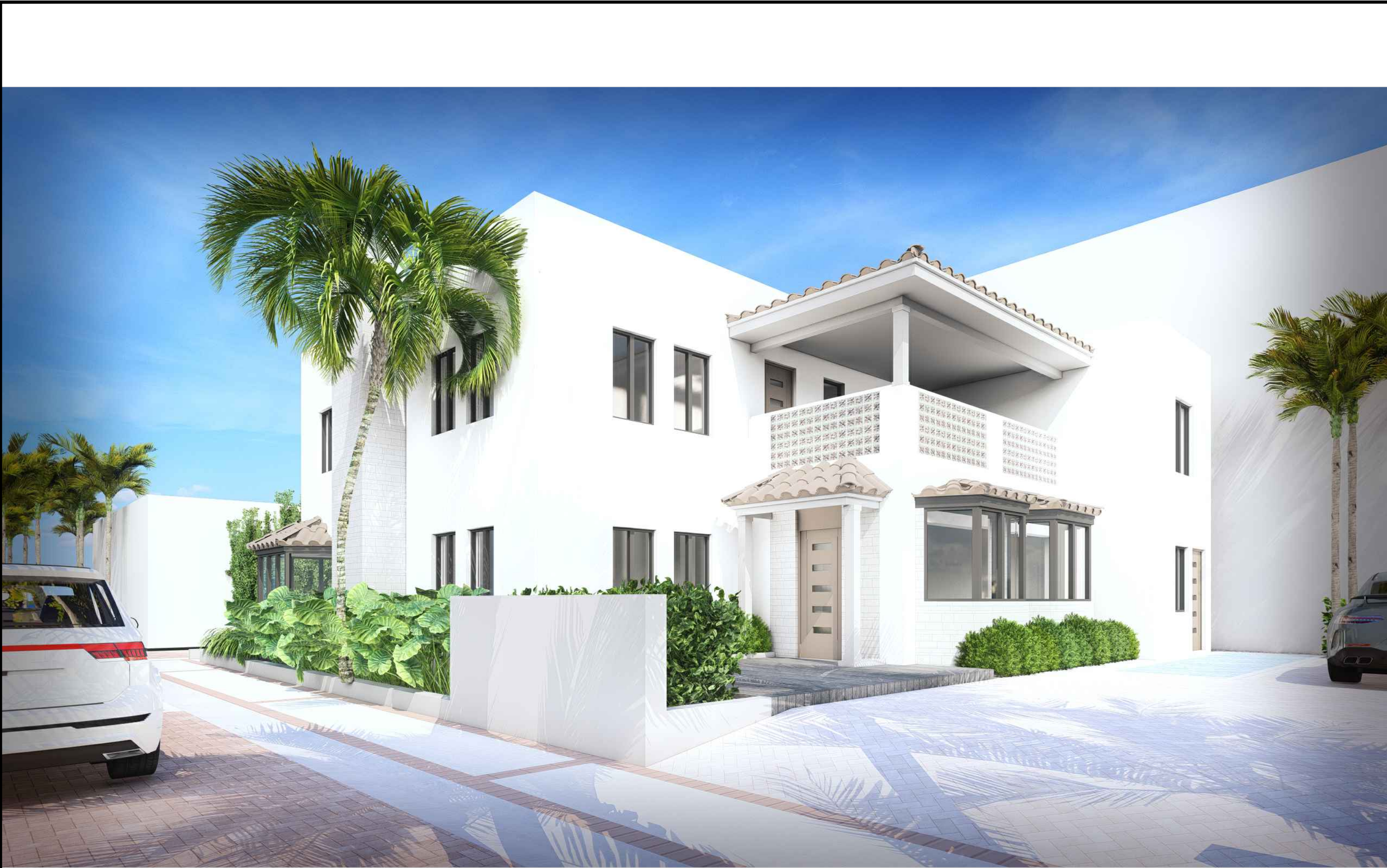
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-2.10



1 ARIZONA STREET
RESIDENTIAL UNIT ENTRANCE



2 N SURF RD.
MOTEL ROOMS 1, 2 AND 4 ENTRANCE



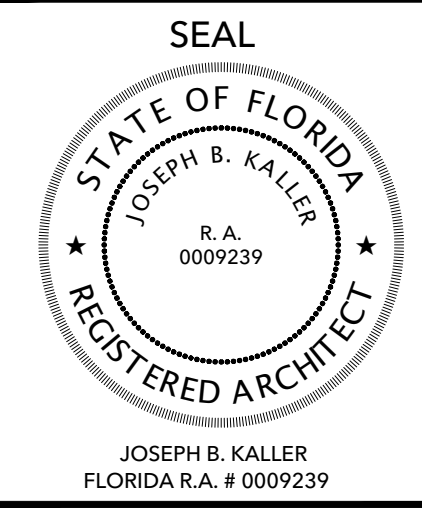
3 PARKING + TRASH ENCLOSURE
NEW DISTRIBUTION OF PARKING LOT



4 ADA PARKING + ADA ROOM ACCESS
VIEW FROM INTERIOR OF LOT



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
300 ARIZONA
300 Arizona St.
HOLLYWOOD, FLORIDA 33019

SHEET TITLE:
RENDERINGS
PROPOSAL

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

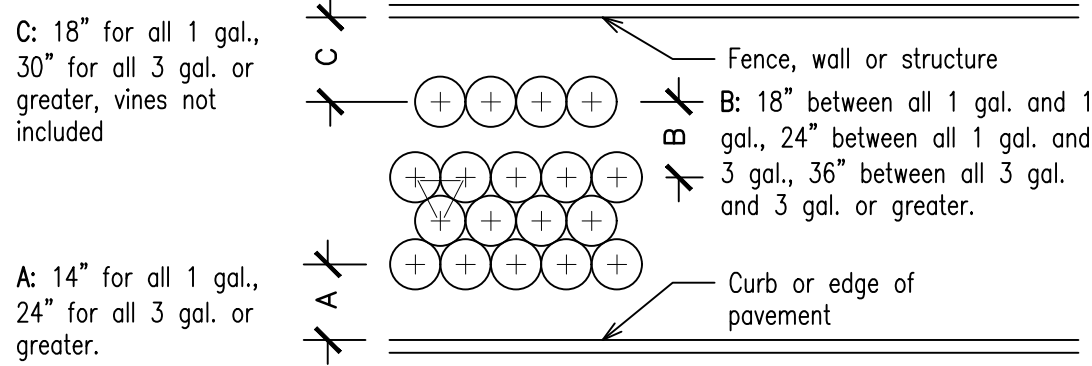
PROJECT No.: 24278
DATE: 10/16/25
DRAWN BY: JAVIER
CHECKED BY: ROCKY

SHEET

A-2.11



TREE SURVEY
SCALE: 1"=20'



TYPICAL SHRUB SPACING DETAIL
NTS

GENERAL LANDSCAPE NOTES

- The plan takes precedence over the plant list.
- 2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
- General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.
- All sizes shown for plant material on the plans are to be considered Minimum.
- All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.
- All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soil. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be filled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.
- All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
- All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.
- No fertilizers are required.
- All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.
- Please refer to the planting details for a graphic representation of the above notes.
- All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.
- No landscape substitutions shall be made without the City of Hollywood approval.
- No tree removal or planting allowed until sub permits are fully approved by city.
- Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

300 Arizona Street Existing Palm List

Location: 300 Arizona Street, Hollywood, FL

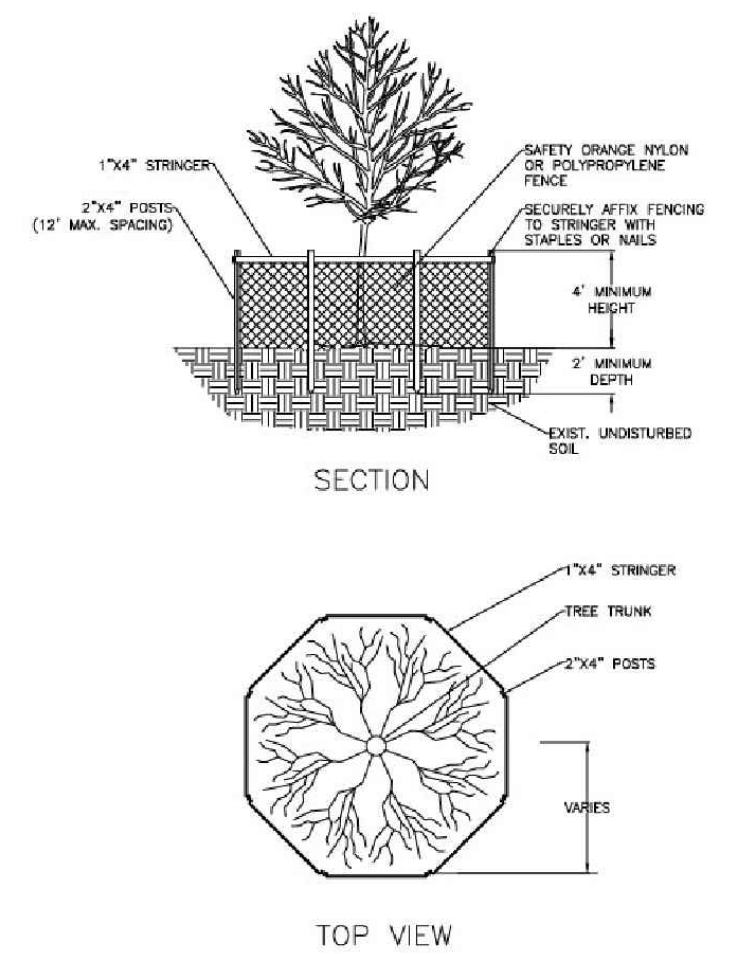
Date: 2/25/2025

Appraiser: Thomas White, ASLA-ISA, Arborist FL-5248A

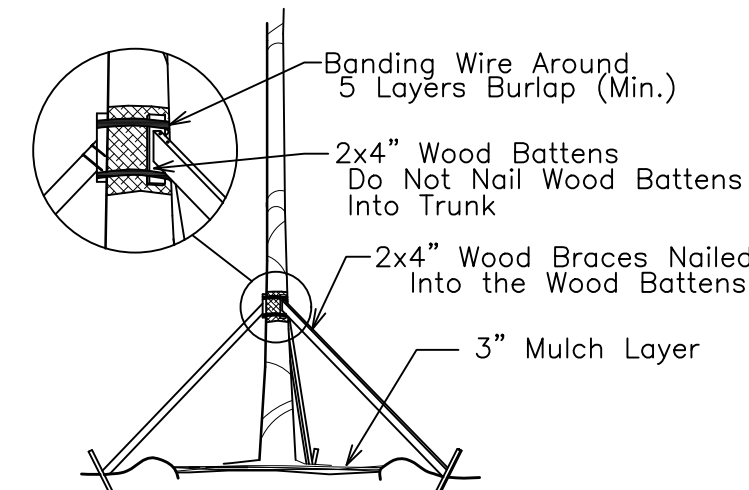
Landscape Architect FL #LA1100

ISA Arborist #FL-5248A

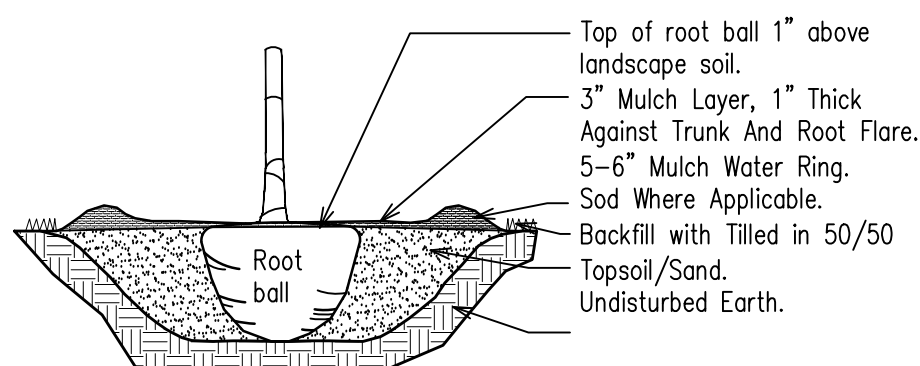
Palm #	Species Botanical Name / Common Name	Ht. (Feet)	CT (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
1	Adonidia merillii / Christmas Palm	16	12	5	Good-Fair	0	Remain
2	Adonidia merillii / Christmas Palm	20	18	5	Good-Fair	0	Remain
3	Syagrus romanzoffiana / Queen Palm	24	12	7	Fair-Poor	0	Remain
4	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Remain
5	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Remain
6	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Remain
7	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Remain
8	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Relocate On-Site
9	Adonidia merillii / Christmas Palm	24	20	5	Good-Fair	0	Relocate On-Site
Replacement Palms Required						0	



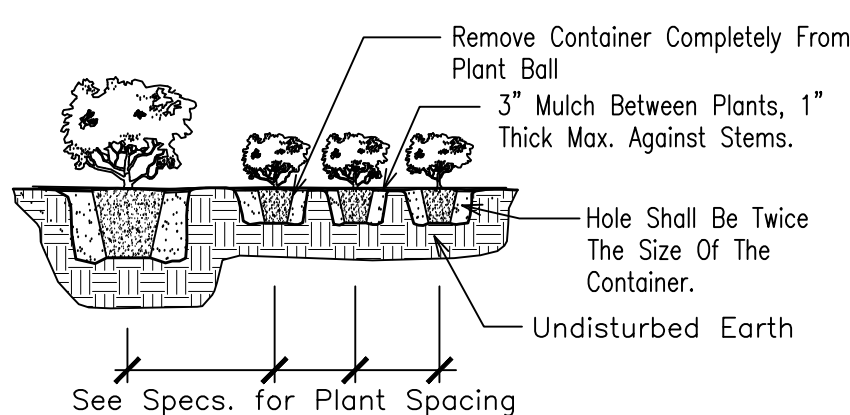
HOLLYWOOD TREE PROTECTION BARRIER DETAIL
NTS



TREE/PALM BRACING DETAIL
NTS

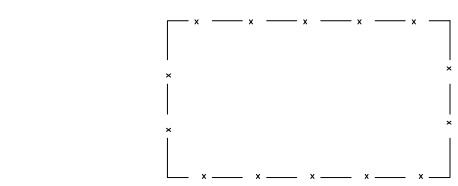


TREE/PALM PLANTING DETAIL
NTS

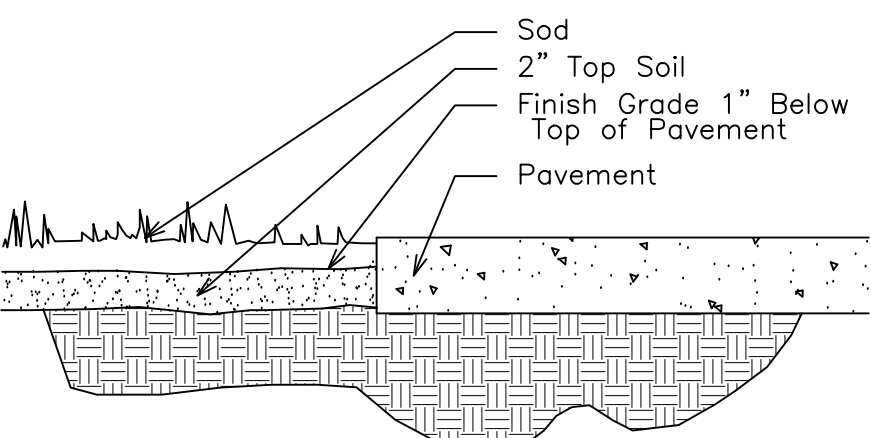


SHRUB PLANTING DETAIL
NTS

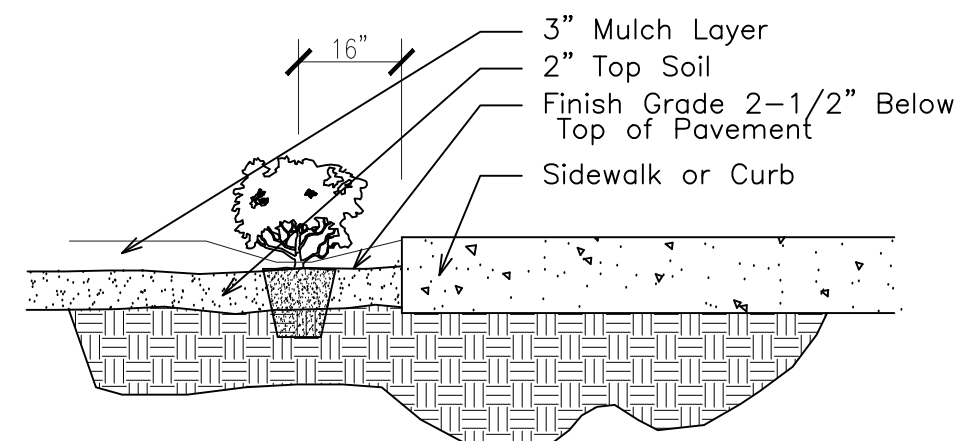
Before Construction Begins, Contractor to Install and Maintain Tree Protection Fencing Around Existing Trees As Shown. See Existing Tree Protection Detail This Sheet



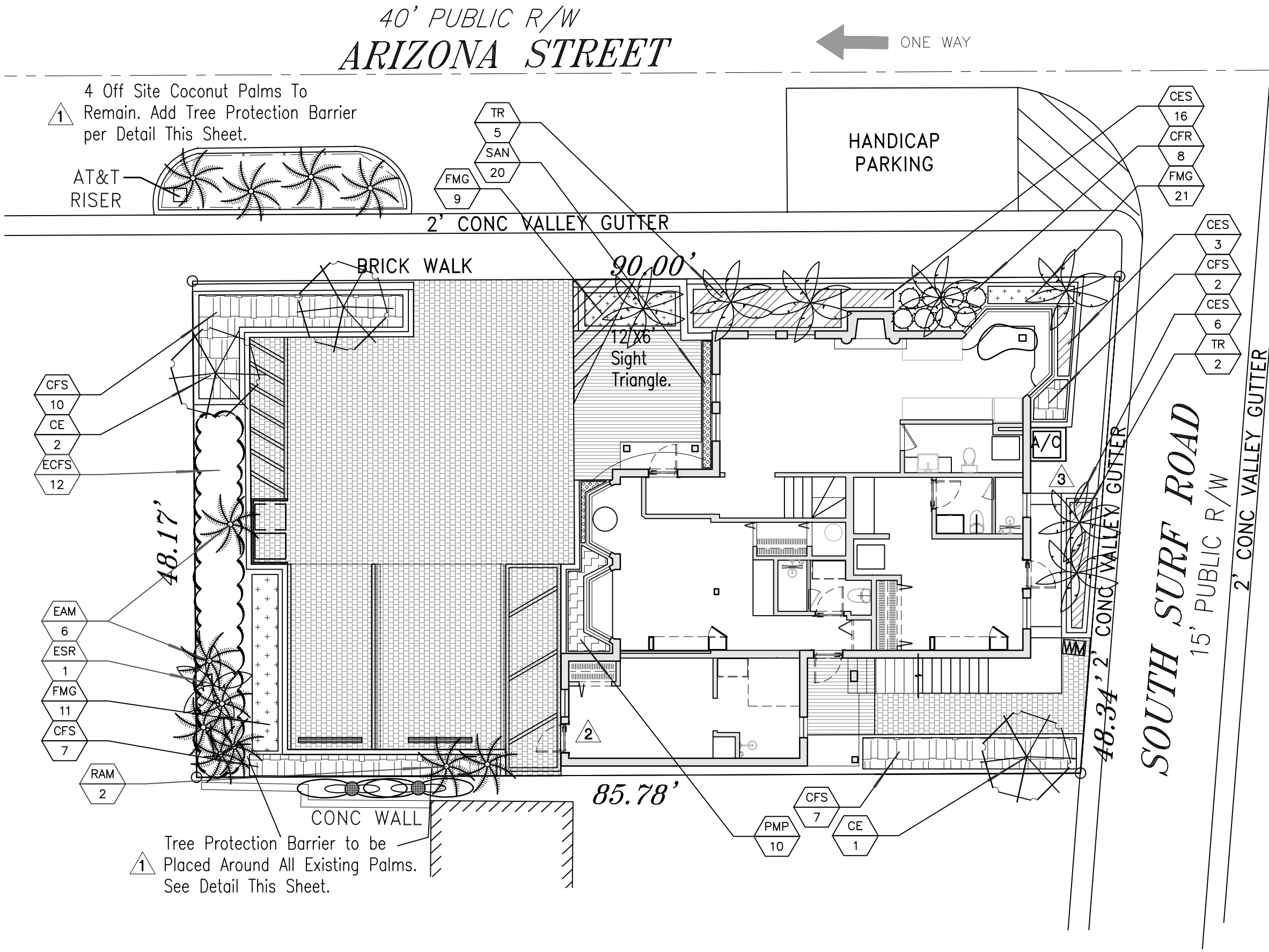
SMALL TREE PLANTING DETAIL
NTS



SOD INSTALLATION DETAIL
NTS



SHRUB INSTALLATION DETAIL
NTS



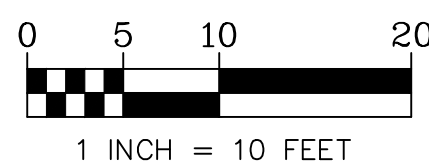
LANDSCAPE PLAN
SCALE: 1"=10'

300 Arizona Street Plant List

Code	Drought	QTY.	Botanical Name / Common Name	Specifications	
EXISTING and RELOCATED PALMS					
ESR	V	1	Existing Syagrus romanzoffiana / Queen Palm	16-24' CT	
EAM	V	6	Existing Adonidia merillii / Christmas Palm	16-24' CT	
RAM	V	2	Relocated Adonidia merillii / Christmas Palm	16-24' CT	
		3	Palms Counted as 3:1		
PROPOSED TREES / PALMS					
CE	(N)	V	3	Conocarpus erectus sericeus / Silver Buttonwood	12' Ht., 2" DBH, Sng. Trunk
TR	(N)	V	7	Thrinax radiata / Florida Thatch Palm	8' CT
		8	Total Site Trees / Palms (TR Counted as 3:1)		
		5	Native Trees		
		64%	Native Trees		
SHRUBS					
CES	(N)	V	25	Conocarpus erectus sericeus / Silver Buttonwood	3 Gal., 24"x 24", 24" OC
CFR	V	8	Cordyline fruticosa 'Red Sister' / Red Sister Ti Plant	7 Gal., 42"x 24-30"	
CFS	(N)	V	26	Clusia flava / Small Leaf Clusia	7 Gal., 42"x 24", 36" OC
ECFS	(N)	V	12	Existing Clusia flava / Small Leaf Clusia	5-6' OA Ht.
PMP	V	10	Podocarpus macrophyllus / Podocarpus	7 Gal., 42"x 24-30"	
		81	Total Shrubs		
		63	Native Shrubs		
		78%	Native Shrubs		
GROUND COVERS					
FMG	V	41	Ficus microcarpa / Green Island Ficus	3 Gal., 16" Spr., 24" OC	
SAN	V	20	Sansevieria trifasciata / Black Gold Sansevieria	1 Gal., 12" OA Ht., 12" OC	

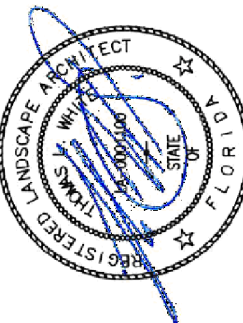
CITY OF HOLLYWOOD PLANTING CALCULATIONS

Minimum Landscape Requirements			
Land. Manual	Street Trees: One Per 50 LF of Street Frontage	Required	Provided
2.2.A.1	51 LF Arizona Street (90 minus 39' hardscape)		
	25 LF S. Surf Road (48' minus 23' hardscape)		
	76 LF Total	2	2
Sec. 9.5	5' Landscape Buffer Required West & South Perimeter		
	83 LF Trees 20' OC	4	4
	Continuous Hedge	Contd. Hedge	Contd. Hedge
Sec. 9.5.F.1	Parking: One Tree per 190 S.F. of Terminal Islands	Required	Provided
		1	1
Land. Manual	One Tree per every 1,000 square feet of Pervious Area		
2.2.A.7	704 SF of Pervious (Net Lot) Area.	1	1
	TOTAL	8	8



Tree Survey-Disposition Plan / Landscape Permit Plan

300 Arizona
300 Arizona Street
Hollywood, Florida 33019



DRAWN:
TW
CHECKED:
TW
DATE:
2-27-2025
SCALE: As Shown

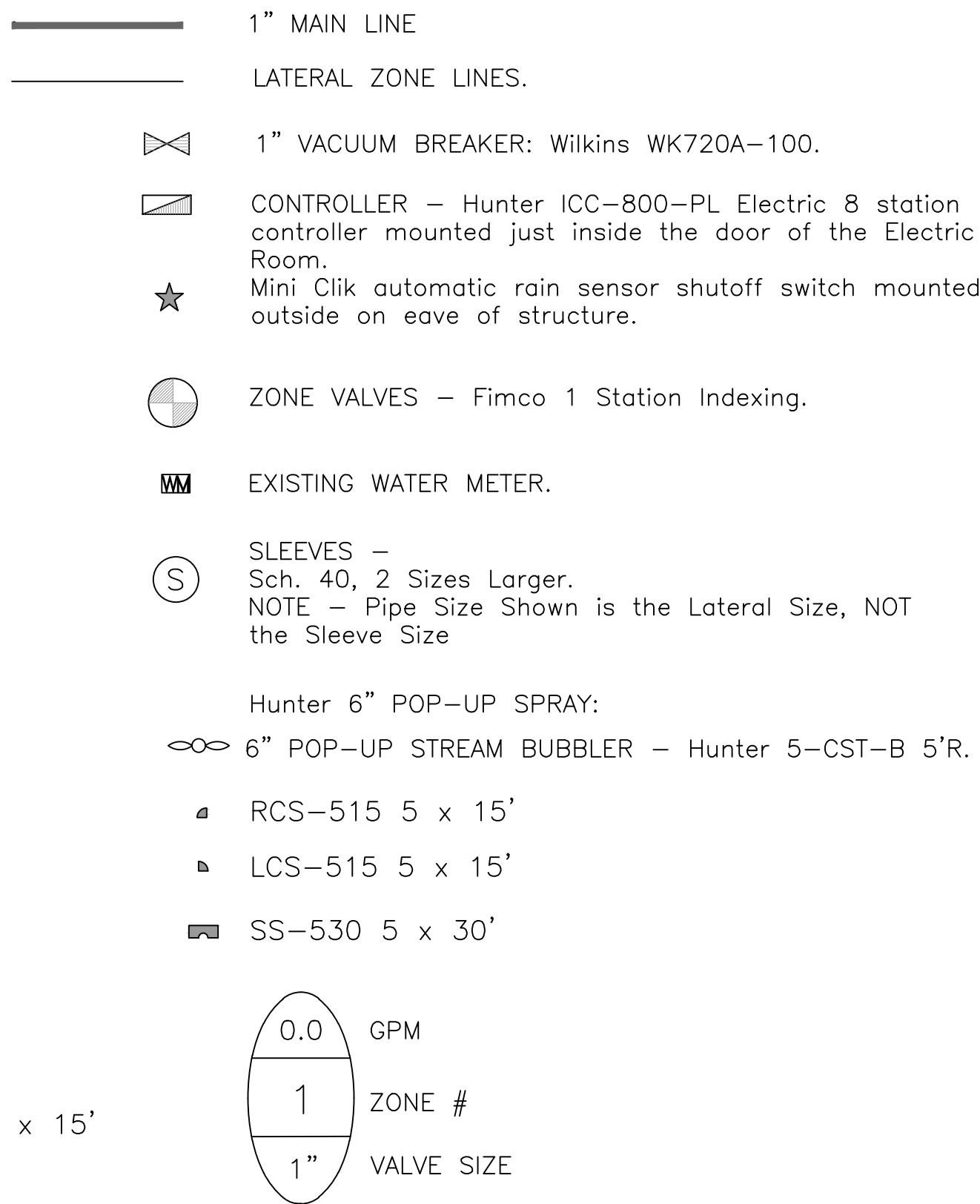
Sheet No.
L-1
Sheet 1 Of 2

REVISIONS

1	4/4/2025: Minor Site Plan Revisions, Note Added.
2	8/16/2025: New HC Access Into Building.
3	10/20/2025: Surf Road Entrance Revised.

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
tcwhite@bellsouth.net
954-253-2265

IRRIGATION LEGEND:



IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 3/4 inch.
Sleeves and Suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

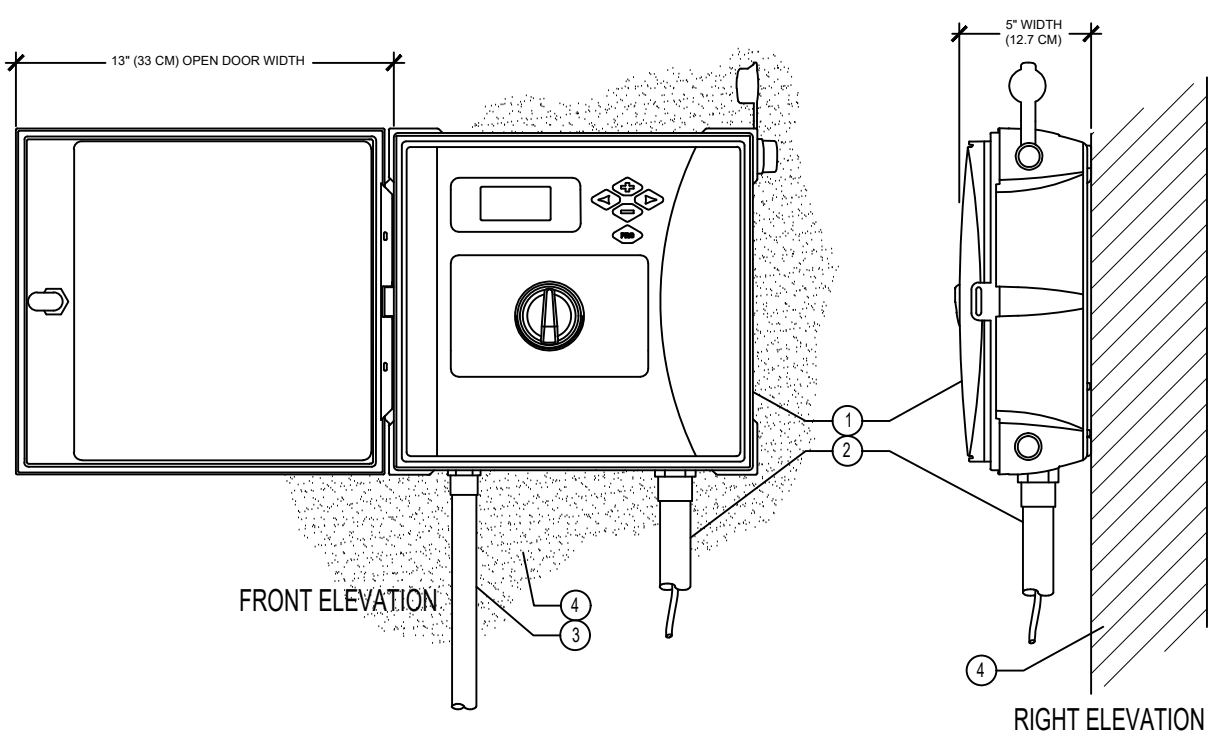
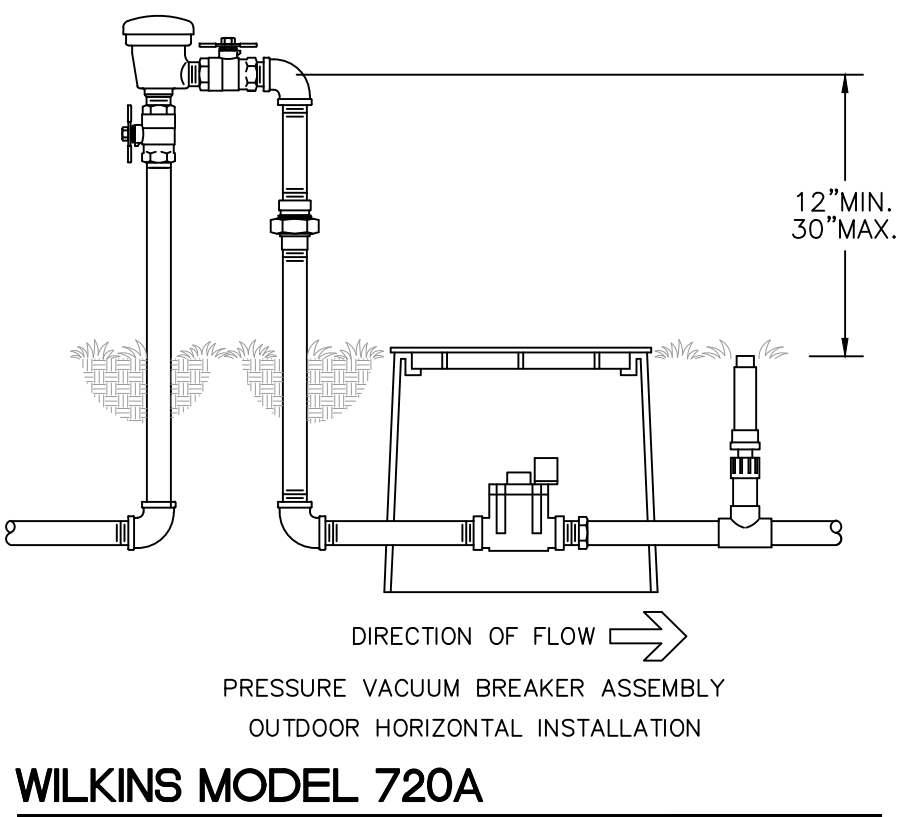
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

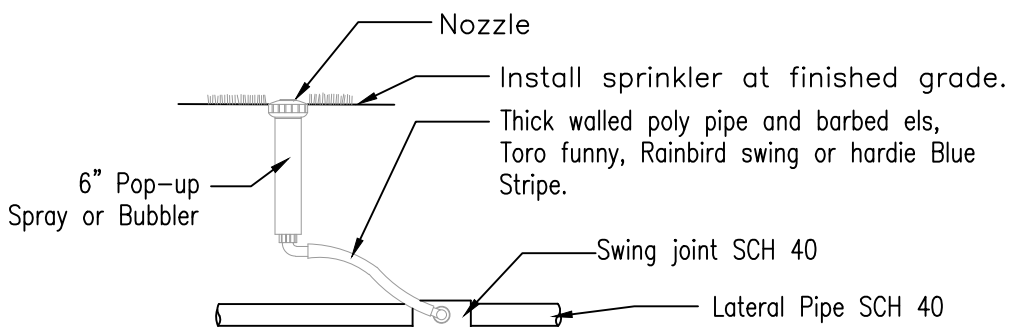
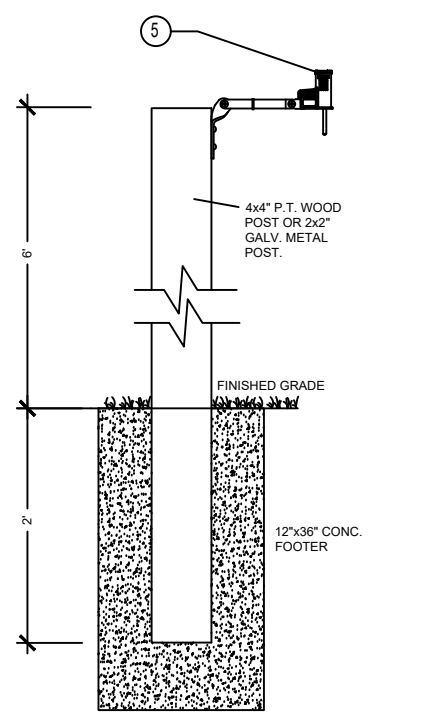
Contractor shall verify all underground utilities prior to commencement of work.



LEGEND:

- ① IRRIGATION CONTROLLER
- ② IRRIGATION CONTROL WIRE IN CONDUIT
SIZE AND TYPE PER LOCAL CODES
- ③ ELECTRICAL SUPPLY CONDUIT
CONNECT TO POWER SOURCE, A BOX INSIDE CONTROLLER
- ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
- ⑤ WIRELESS RAIN SENSOR

NOTE
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDING 110 VAC POWER SOURCE



6" Pop-up Spray / Bubbler Detail

NTS

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

Irrigation Permit Plan
300 Arizona
300 Arizona Street
Hollywood, Florida 33019

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
tcwhite@bellsouth.net
954-253-2265

REVISIONS

NO.	DESCRIPTION

DRAWN:
TW
CHECKED:
TW
DATE:
2-27-2025
SCALE: 1"=10'

Sheet No.
L-2
Sheet 2 Of 2

