

**ATTACHMENT A**  
Application Package for 23-CM-53

## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 06-02-2023

Location Address: 1317 Harrison St Hollywood FL

Lot(s): Lot 11 Block(s): Blk 8 Subdivision: Hollywood Lakes

Folio Number(s): 514214011580

Zoning Classification: RS-6 Land Use Classification: SINGLE FAMILY DISTRICT

Existing Property Use: VACANT PROPERTY Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: \_\_\_\_\_ Sq Ft: \_\_\_\_\_

Value of Improvement: 1,000,000.00 Estimated Date of Completion: 2024

Will Project be Phased? (✓) Yes ( ) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Tiram Real Estate Enterprises LLC

Address of Property Owner: 1317 Harrison St Hollywood FL

Telephone: 773-732-4800 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): SKLARchitecture

Address: 2310 Hollywood Blvd. Hollywood, FL 33020 Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email Address: Ari@Sklarchitect.com

Date of Purchase: 10-11-2021 Is there an option to purchase the Property? Yes ( ) No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_





My Commission Expires: 03-29-2024 (Check One) ☒ Personally known to me; OR ☐ Produced Identification



## **LEGAL DESCRIPTION & PROJECT INFORMATION**

**Project Owner:** Tiram Real Estate Enterprises LLC.

**Project Address:** 1317 Harrison St., Hollywood FL 33019  
Folio: 514214011580

**Legal Description:** Lots 12, east 1/2 of lot 11 in Block 8 of Hollywood Lakes section, according to the plat thereof, as recorded in Plat Book 1, at page 32 of the public records of Broward County, Florida.

**Zoning Classification:** RS-6 Single Family District

**Land Use:** Low Residential (LRES).

**Site Square Footage:** 9,080 Sq.ft.

### **Design Concept**

The design intent for this new home is to create custom architecture indicative of its time and place that is comparable in massing and height to the recent homes constructed in the immediate area of Hollywood Lakes. This design is more modern, yet we are keeping a portion of the original home that will feel has some significance. The new design is using expressive materials including:

- Wood finishes on the facade
- White-gray colored paint over smooth stucco, on the facade
- Architectural concrete and other unique architectural features.
- Ample glass for thru property transparency
- Ample landscaping

The total A/C area of the new house is 4,148 square feet and will also have a variety of covered terraces to enjoy the South Florida climate.

The property is located on the North side of Harrison St, just south of Hollywood Blvd



Page 1 **HISTORICAL STRUCTURE FORM**  
**FLORIDA SITE FILE**

Site # 8BD00498

Site Name EDWIN R CLOSS RESIDENCE

Recorder # 0

Field Date 1/1/96

Form Date 1/5/96

Survey

No Original

Multilist #:

National Register Category BUILDING

Yes Update

Survey #:

**LOCATION AND IDENTIFICATION**

Address (include N,S,E,W; st. ave, etc) 1317 HARRISON ST

Cross Streets (nearest/between) 13 AND 14 AVE

Nearest City/Town HOLLYWOOD

Within City Limits Yes

County BROWARD

Tax # 514214011580

Subdivision Name HWD LAKES 1-32B

Block 8

Lots 10,11,12

Ownership PRIV-INDIV

Name of Public Tract (e.g., park)

Route To N SIDE OF HARRISON ST

**MAPPING**

USGS Map Name FT LAUD SOUTH 1962 PR 1969

Township 51 Range 42 Sect. 14 1/4 SW 1/4 - 1/4: NW Irreg. Sect.? No

UMT ZONE (16 OR 17): 17 Easting 586640 Northing 2876980

Landgrants:

Plat or Other Map (Map's name, Location) HWD LAKES 1-32B

**DESCRIPTION**

Style MISSION Exterior Plan IRREGULAR No. Stories 1

Structural Systems MASONRY: CONCRETE BLOCK

Foundation Types PIERS Materials CONCRETE BLOCK

Exterior Fabrics STUCCO

Roof Types GA, FLAT, SHED Materials BARREL TILE

Secondary Strucs. (dormers etc.) NONE

Chimney: No. 1 Materials STUCCO Locations WEST: OFFSET, INTERIOR

Windows: Types AWNING 1", GLASS BLOCK Materials ANODIZED ALUM

Main Entrance (stylistic details) QUOINED STUCCO ENTRYWAY

Open Porches 0 Closed 0 Incised 0 Locations NONE

Porch Roof Types

Exterior Ornament TICL, STUC

Interior Plan UNKNOWN Condition FAIR

Surroundings A-RESI

Ancillary Features GRGE-REAR, PER. WALL, POOL

Archaeological Remains at Site: NONE-NA

NARRATIVE: (eg description of interior, landscape, architecture, etc. 250 character limit.)

SCUPPERS AND A ROW OF BARREL TILE ENHANCING THE FLAT ROOF LINE ADD TO THE INTEGRITY OF THIS MISSION STYLE HOUSE. ADD'L FEATURES INCLUDE A RECESSED FOCAL WINDOW W/ A SEGMENTED ARCH; PORTE-COCHERE; DEC STONE SILL; TICL PARAPET; AND ELAB CHIMNEY.

### HISTORY

Construction Date 1925 CIRCA: Yes

ARCHITECT (last name first): UNKNOWN

BUILDER (last name first): UNKNOWN

Moves No Dates Orig. addr.

Alterations Yes Dates Nature WINDOWS, ROOF

Additions Yes Dates Nature

Original Use (give dates): RESIDENCE From To

Intermediate Uses (give dates): RESIDENCE From To

Present Uses (give dates): RESIDENCE From To

## OWNERSHIP HISTORY:

HWD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME". ACCORDING TO THIS PUBLICATION EDWIN CLOSS SOLD THIS PROPERTY TO WILLIAM RICH, PRES OF CHASE AND SANBORN COFFEE CO ON THIS DATE. STATEMENT ATTACHED.

### RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

No Archaeological survey/testing:	Yes Tax records only:	Yes Library research-local:	Yes Subdivision maps:
No Exposures inspected, informal:	No Interior inspection:	Yes Library special collectn	Yes Sanborn maps:
No Controlled archaeological surf colltn	Yes FMSF survey search:	Yes Building Permits:	Yes Plat maps:
No Archaeological form completed:	Yes FMSF sites search:	Yes Demolition permits:	No Newspapers:
No Public Lands Survey:	No FL Archives (Gray Bldg):	No Commercial permits	No Occupant interview:
No Tax records/property deeds:	No FL Phono Archives	No Occupation permits:	Yes neighbor interview:

No other: (Specify)

### SURVEYOR'S EVALUATION OF SITE

Potentially eligible for local designation? Yes

Individually eligible for National Register? No Category HPOD-2

Potential contributor to National Register district? No

Historical Associations ARCHITECTURE

## Explanation of Evaluation

BLDG DATES FROM EARLIEST CONSTRUCTION PERIOD IN HWD AND IS AN EXAMPLE OF MISSION STYLE WHICH FEATURES INCLUDE FLAT ROOFS W/STRAIGHT OR CURVED PARAPETS, EDGED W/TILE OR RAISED MOLDING, AND USE OF SCUPPERS, STUCCO AND ARCHES.

### DOCUMENTATION (Photos, Plans, etc.)

## Bibliographic References (Use continuation Sheet, give FSF Manuscript # if relevant)

C:1925: AS INDICATED ON "BUILDING CARDS, BROWARD COUNTY PROPERTY APPRAISER'S OFFICE"; HWD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HWD HOME". STATEMENT ATTACHED.

Location of negatives + negative numbers 96N014ARS(FRAME 5)

NOTE: For computer entry on "Smartform" please refer to the REPOSITORY section to input information on photographs)

### RECORDER

Recorder Name NIPE, FRANCES

Recorder Address 2600 HWD BLVD, HWD, FL, 33020-9045

Recorder Phone 954-921-3471

Affiliation COM PLN DIV, CITY OF HWD



**ADDITIONAL INFORMATION**

OWNERSHIP HISTORY: HOLLYWOOD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME": SALES THIS WEEK INCLUDED A LOT IN THE LAKES SECTION AND ALSO THE BEAUTIFUL HOME OF SPANISH ARCHITECTURE AT 1317 HARRISON STREET OWNED BY EDWIN R. CLOSS. THIS PROPERTY WAS SOLD FOR CASH TO WILLIAM T. RICH OF NEWTON, MASSACHUSETTS WHO IN FORMER YEARS WAS A GUEST AT THE BEACH HOTEL AFTER INTRODUCTION TO HOLLYWOOD THROUGH HIS FRIENDSHIP WITH W. J. COZENS OF W. J. COZENS REALTY. HE HAD PRIOR TO THAT WINTERED FOR SEVERAL YEARS AT THE ROYAL PALM HOTEL IN MIAMI. — UNTIL RECENTLY, MR. RICH WAS PRESIDENT OF THE CHASE AND SANBORN COFFEE COMPANY WITH HEADQUARTERS IN BOSTON AND CHICAGO. HE IS WELL KNOWN THROUGHOUT THE EASTERN STATES AS ONE OF THE OUTSTANDING LAYMEN OF THE METHODIST EPISCOPAL CHURCH. — MR. RICH PLANS TO MAKE HOLLYWOOD HIS FUTURE PERMANENT WINTER HOME AND IS HAVING THE HARRISON STREET PROPERTY AND ADJACENT LOT LANDSCAPED AND REDECORATED UNDER THE SUPERVISION OF COZENS.

BIBLIOGRAPHIC REFERENCES: "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME," HOLLYWOOD HERALD, APRIL 1, 1932.

## Historic Properties: Harrison Street



1317 Harrison Street Mission Style c. 1925

A porte cochere adds integrity to this Mission Style house. The windows have been altered.

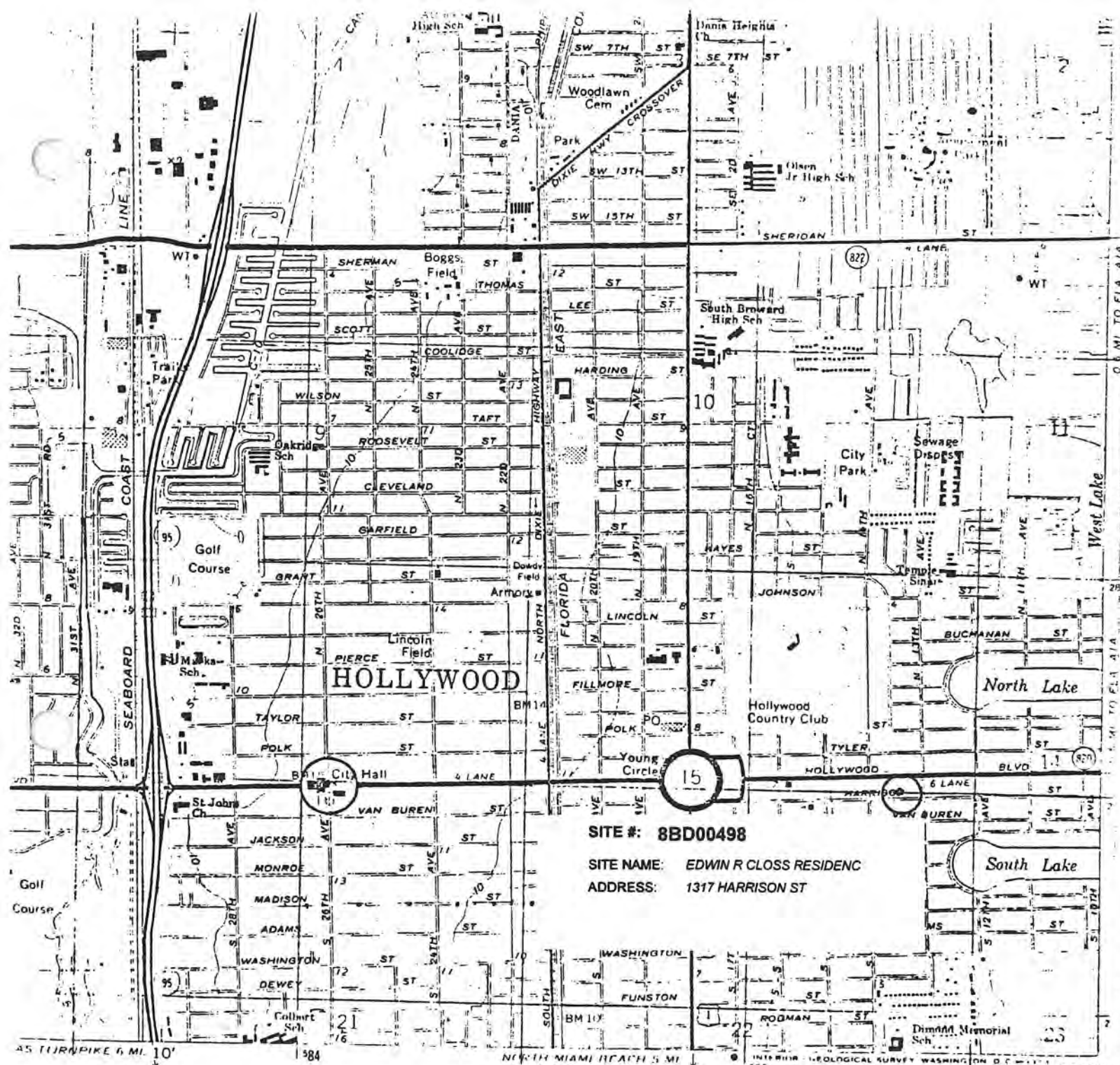


## Historic Properties: Harrison Street



1317 Harrison Street Mission Style c. 1925

A porte cochere adds integrity to this Mission Style house. The windows have been altered.



SITE #: 8BD00498

SITE NAME: EDWIN R CLOSS RESIDENCE

ADDRESS: 1317 HARRISON ST

ROAD CLASSIFICATION

- |                  |           |                 |
|------------------|-----------|-----------------|
| Heavy duty       | —————     | Light duty      |
| Medium duty      | - - - - - | Unimproved dirt |
| Interstate Route | ⦿         | U S Route       |
|                  |           | State Route     |

FORT LAUDERDALE SOUTH, FLA.  
N2600—W8007 5 7 5

1962

AMS 4936 II SW—SERIES V847



NAME OF OWNER Matt Tomich

ADDRESS 1317 Harrison St.

LEGAL DESCRIPTION Lot 10, 11, 12 B-8 Hard Lakes COST \$12,600

DESCRIPTION OF CONST. Sec

ARCHITECT:

Swimming Pool

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.	3449	7-8-70	Red Pools	
ROOF				
ELECTRICAL	1920	8-24-70	Swanner	
PLUMBING	1490	3-25-71	Peoples Gas	1 gas out 1 gas in
GAS				
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

## JOE CARD

OWNER M. Tomich		JOB ADDRESS 1317 Harrison Street	
LEGAL DESCRIPTION	LOT NUMBER 10, 11, 12	BLOCK 8	SUBDIVISION OR ADDITION Hollywood Lakes
MICROFILM NO. 78-0337	ARCHITECT	FEE \$ 19.20	VALUATION \$ 2469.00

## DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 192	24538	2/27/75	Wally Bjork	SEPTIC/SEWER			
ROOF 200				AIR/CONDITION			
ELECTRIC-BASIC	8610	2-28-75	Anderson	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX. 3	6338	2/28/75	MGR Corp	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

FORM 1144-13



# JOB CARD

OWNER <b>Johns</b>		JOB ADDRESS <b>1317 Harrison St.</b>	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE <b>\$ 45.00</b>	VALUATION <b>\$5820.00</b>

DESCRIPTION OF CONSTRUCTION <b>remove &amp; replace 40 windows</b>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
-----------------------------------------------------------------------	----------------------------------------------------------------------------

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	77313	9-1-82	Windowrama	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
C-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County surcharge: \$2.04

# JOB CARD

OWNER Melina Tomich		JOB ADDRESS 1317 Harrison St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 15.00	VALUATION \$ 500.

DESCRIPTION OF CONSTRUCTION Replace wall unit	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--------------------------------------------------	----------------------------------------------------------------------------

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	15756	5/10/84	Holden A/C
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County Surcharge: .20



# JOB CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison St.

LEGAL  
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 1400.00

DESCRIPTION OF CONSTRUCTION

Re-roof - T & G

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 1000	53975	5/1/79	White Seal	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

County Surcharge \$.49

# JOB CARD

OWNER

THOMICH

JOB ADDRESS

1317 Harrison St.

LEGAL  
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 6.00

VALUATION

\$ 400

DESCRIPTION OF CONSTRUCTION

1-2 ton Window Unit

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	9518	9/15/78	H E Holden
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:



# JOB CARD

OWNER

TOMICH

JOB ADDRESS

1317 Harrison St.

LEGAL  
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 7.00

VALUATION

\$ 450

DESCRIPTION OF CONSTRUCTION

Re Roof Tar & Gravel

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 300	46263	3/10/78	White Seal	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

# JOB CARD

OWNER <b>THOMICH</b>	JOB ADDRESS <b>1317 Harrison St.</b>
-------------------------	-----------------------------------------

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
-------------------	------------	-------	-------------------------

MICROFILM NO.	ARCHITECT	FEE \$ <b>2.50</b>	VALUATION \$ <b>300</b>
---------------	-----------	-----------------------	----------------------------

DESCRIPTION OF CONSTRUCTION <b>1-1 Window Unit</b>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
-------------------------------------------------------	----------------------------------------------------------------------------

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	<b>4261</b>	<b>5/14/74</b>	<b>United App.</b>
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
I.-P.-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	FORM 1144-13
--------	--------------



# JOB CARD 691

OWNER <b>Tomick</b>		JOB ADDRESS <b>1317 Harrison St.</b>	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ <b>6.30</b>	VALUATION \$ <b>500.00</b>

DESCRIPTION OF CONSTRUCTION <b>Re-Roof</b>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
-----------------------------------------------	----------------------------------------------------------------------------

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF <b>800 Ø</b>	<b>3229</b>	<b>11/5/72</b>	<b>Alpha</b>	AIR/CONDITION			
ELECTRIC-BASIC	<b>1148</b>	<b>4-13-72</b>	<b>Minim</b>	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES;

FORM 0860-13

# JOB CARD

OWNER

JOB ADDRESS

*Tomich*

*1317 Harrison St.*

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

VALUATION

*\$ 11.30*

*\$ 1800.00*

DESCRIPTION OF CONSTRUCTION

*Re-Roof 1600#*

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	<i>550</i>	<i>12/15/71</i>	<i>Alpha</i>	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

## Permit Search Results

[Search](#) > Properties located at/on/near '...1317...'

4 permits were found for  
**1317 HARRISON ST**

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
<a href="#">Details</a>	86845	<b>B0501094</b>	RE-ROOF FLAT	2/23/2005	<b>2/28/2005</b>
	NO PLANS	<b>B9706636</b>	REPAIRS- STRUCTURAL		<b>9/18/1997</b>
	GARAGE DOOR	<b>B9605475</b>	ALTERATIONS- EXTERIOR		<b>7/30/1996</b>
<a href="#">Details</a>		<b>B9206659</b>	RE-ROOF-FLAT		<b>10/7/1992</b>



FLORIDA MASTER SITE FILE  
Site Inventory Form

FDAHRM

802 = =

1009 = =

(FORMER) Edwin R. Closs Residence Site No. 830 = =  
Site Name 830 = = Survey Date 1-8008 820 = =  
Address of Site: 1317 Harrison Street Hollywood, Florida 905 = =  
Instruction for locating on the N. side of Harrison St. between 13th and  
14th Ave. 813 = =  
Location: Hollywood Lakes Section 1-32 B 8 10,11,12 868 = =  
subdivision name block no. lot no.  
County: Broward 808 = =  
Owner of Site: Name: Helina Tomich ;  
Address: 1317 Harrison Street  
Hollywood, Florida 33020 902 = =  
Type of Ownership Private 848 = = Recording Date 832 = =  
Recorder:  
Name & Title: Marlyn Kemper, Director ;  
Address: Historic Broward County Preservation Board  
1900 Tyler Street Hollywood, Florida 33020 818 = =  
Condition of Site: Integrity of Site: Original Use Residence 838 = =  
Check One Check One or More  
☐ Excellent 863 = = ☐ Altered 858 = =  
☒ Good 863 = = ☐ Unaltered 858 = =  
☐ Fair 863 = = ☒ Original Site 858 = =  
☐ Deteriorated 863 = = ☐ Restored ( ) (Date: X) 858 = =  
☐ Moved ( ) (Date: X) 858 = =  
Present Use Residence 850 = =  
Dates: Beginning c1925 844 = =  
Culture/Phase American 840 = =  
Period Twentieth Century 845 = =

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More  
☐ Zoning ( X ) 878 = = ☐ Transportation ( X ) 878 = =  
☐ Development ( X ) 878 = = ☐ Fill ( X ) 878 = =  
☐ Deterioration ( X ) 878 = = ☐ Dredge ( X ) 878 = =  
☐ Borrowing ( X ) 878 = =  
☒ Other (See Remarks Below): Unknown 878 = =

Areas of Significance: Historical, Streetscape, Other 910 = =

Significance:

HISTORICAL: c1925: As indicated on "Building Cards, Broward County Property Appraiser's Office."

STREETSCAPE: One of a series of residences on Harrison St. between 8th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.

OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.

Additional Statement of Significance attached.

911 = =



ARCHITECT Unknown 872 ==  
 BUILDER Unknown 874 ==  
 STYLE AND/OR PERIOD Mediterranean Revival 964 ==  
 PLAN TYPE Irregular: unknown 966 ==  
 EXTERIOR FABRIC(S) Stucco: unknown 854 ==  
 STRUCTURAL SYSTEM(S) Masonry: concrete block 856 ==  
 PORCHES Unknown

942 ==

FOUNDATION: Piers: concrete block, unknown 942 ==

ROOF TYPE: Flat, built-up 942 ==

SECONDARY ROOF STRUCTURE(S): Gable 942 ==

CHIMNEY LOCATION: NA 942 ==

WINDOW TYPE: Jalousie, metal, paired 942 ==

CHIMNEY: NA 882 ==

ROOF SURFACING: Built-up 882 ==

ORNAMENT EXTERIOR: 882 ==

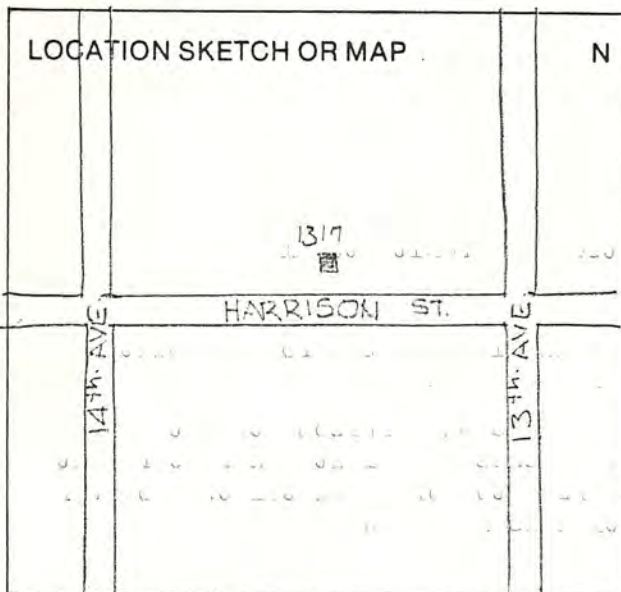
NO. OF CHIMNEYS 952 == NO. OF STORIES 1 950 ==

NO. OF DORMERS 954 ==

Map Reference (incl. scale & date) USGS Ft. Lauderdale South, Fla.  
7.5 Min. 1962 (1969) 809 ==

Latitude and Longitude: " " " " " " 800 ==

Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
51S	42E	14

812 ==

UTM Coordinates:

17 586640 2876980 890 ==  
 Zone Easting Northing

Photographic Records Numbers R18/F25 860 ==

Contact Print

Statement of Significance:

HOLLYWOOD, CITY OF  
1317 Harrison Street

HOLLYWOOD HERALD, April 1, 1932

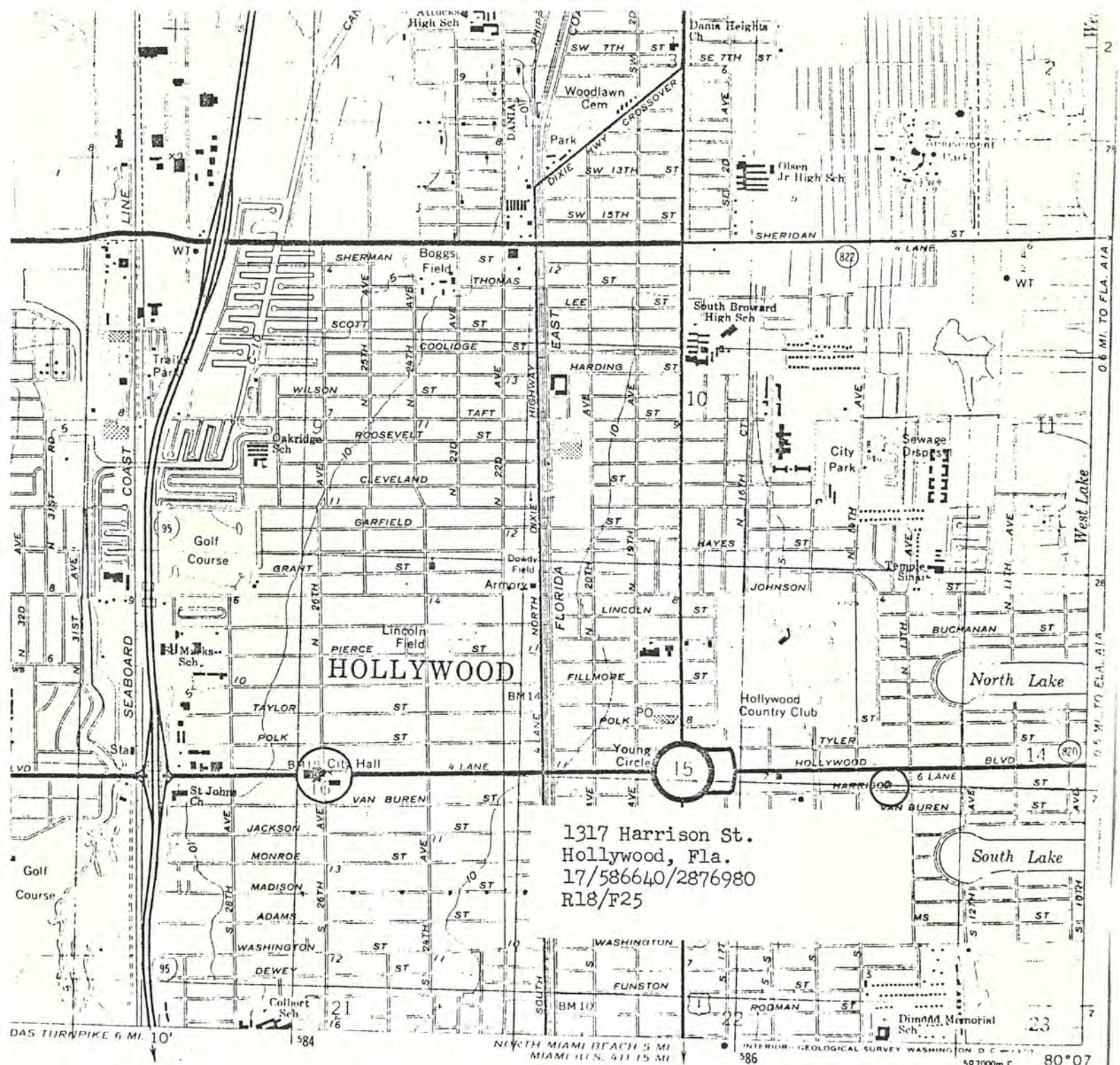
"Coffee King Is Purchaser of a Hollywood Home"

Sales this week included a lot in the Lakes section and also the beautiful home of Spanish architecture at 1317 Harrison Street owned by Edwin R. Closs. This property was sold for cash to William T. Rich of Newton, Massachusetts who in former years was a guest at the Beach Hotel after introduction to Hollywood through his friendship with W. J. Cozens of W. J. Cozens Realty. He had prior to that wintered for several years at the Royal Palm Hotel in Miami.

Until recently, Mr. Rich was president of the Chase and Sanborn Coffee Company with headquarters in Boston and Chicago. He is well known throughout the eastern states as one of the outstanding laymen of the Methodist Episcopal Church.

Mr. Rich plans to make Hollywood his future permanent winter home and is having the Harrison Street property and adjacent lot landscaped and redecorated under the supervision of Cozens.





1317 Harrison St.  
Hollywood, Fla.  
17/586640/2876980  
R18/F25

#### ROAD CLASSIFICATION

Heavy duty ——— Light duty ———  
Medium duty - - - - - Unimproved dirt - - - - -  
Interstate Route U.S. Route State Route



FORT LAUDERDALE SOUTH, FLA.  
N2600—W8007 5/7 5

1962

AMS 4936 II SW—SERIES V847





1317

## JOE CARD

OWNER

M. Tomich

JOB ADDRESS

1317 Harrison Street

LEGAL  
DESCRIPTION

LOT NUMBER

10, 11, 12

BLOCK

8

SUBDIVISION OR ADDITION

Hollywood Lakes

MICROFILM NO.

ARCHITECT

FEE

\$ 19.20

VALUATION

\$ 2469.00

DESCRIPTION OF CONSTRUCTION

mono footing and pads - remodel and new patio screen

☐ SEPTIC TANK  
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING 192

24538

2/27/75

Wally Bjork

SEPTIC/SEWER

ROOF 200

AIR/CONDITION

ELECTRIC-BASIC

8610

2-28-75

Anderson

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING NO. FIX. 3

6338

2/28/75

MGR Corp

POOL

L-P-DRY WALL

DRIVEWAY

FENCE

PATIO or WALK

NOTES:

FORM 1144-13



78-0351

250

Let's issued 2-27-75 Permit No. 24538  
Owner M. Tomich  
Description Remodel - add new PATIO - Screen  
Location 1317 Harrison St  
Lot 10-1-12 Block 8 Subdivision HARD LAKES  
Contractor or Builder Wally B. Clark & Son  
License No. \_\_\_\_\_  
Architect and/or Engineer \_\_\_\_\_  
Cubic Ft. 1728 Valuation \$ 2469<sup>00</sup>  
Square Ft. 192 Roof 200  
Date Plans Received 2/25/75 3:25 pm  
Mono Ftg. & Pads

78-0351  
Zoning Single 2-26-75  
Engineering-Curb Cuts \_\_\_\_\_  
Sidewalk \_\_\_\_\_  
Drainage \_\_\_\_\_  
Utilities-Water \_\_\_\_\_  
Sewer \_\_\_\_\_  
Traffic Eng. \_\_\_\_\_  
Bldg.-Electric EH 2-26-75  
Plumbing EH 2-26-75  
A/C-Mech. \_\_\_\_\_  
Structure \_\_\_\_\_  
Fire Bureau \_\_\_\_\_  
Plan Review Ray [Signature]

sub j to field insp.

Relocate Laundry  
Remove cap w/ 4 feet  
(Min. Permit) J. M. Cowell

"SEPARATE PLUMBING PERMIT  
AND INSPECTION REQUIRED"

Blueprints  
Subdivisions

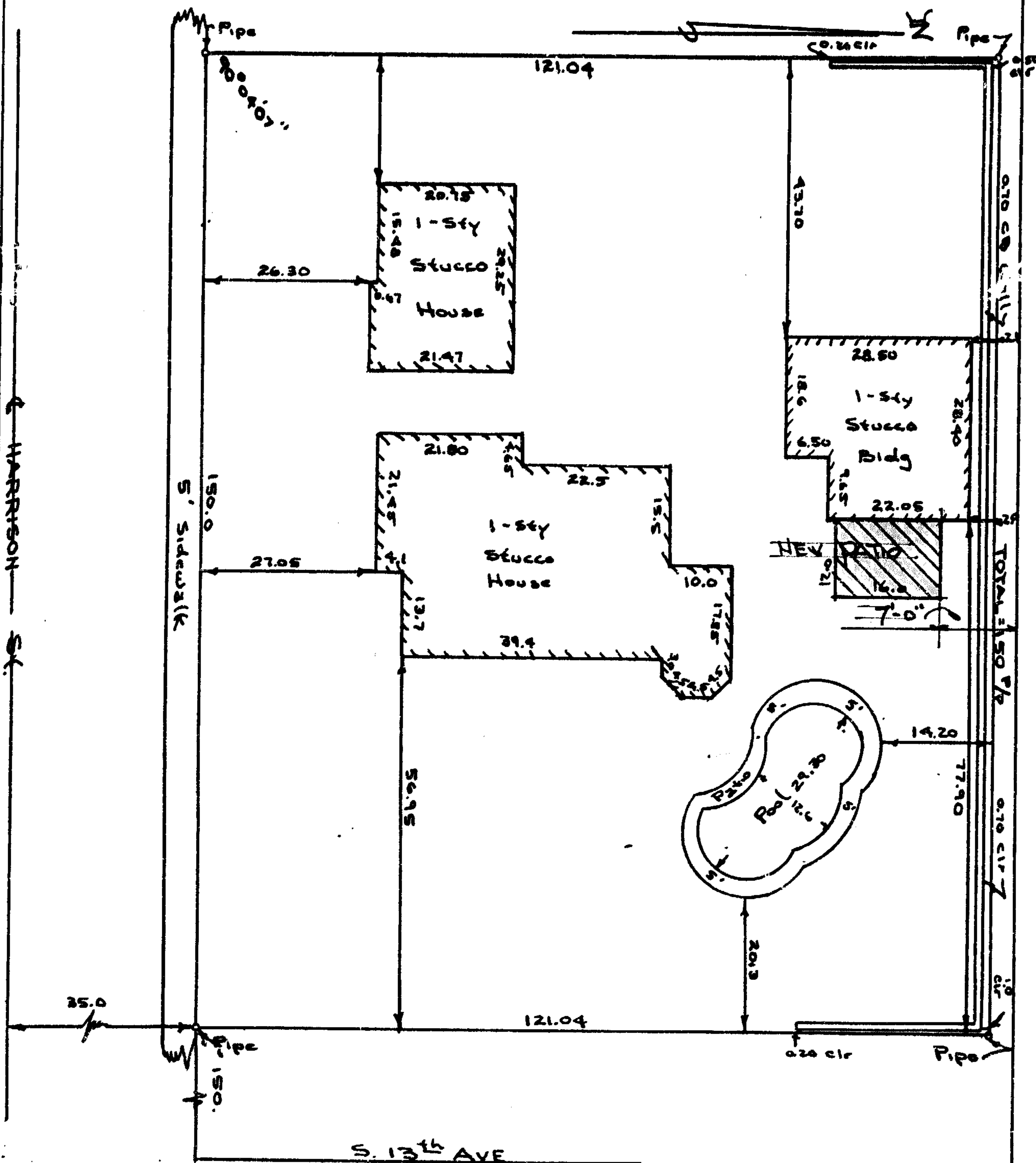
Survey for

Photostats  
Land Planning

M. TOMICH  
E. JOHNS

Scale 1" = 20'

DESCRIPTION: Lots 10, 11, and 12, Block 8 of HOLLYWOOD LAKES SECTION" according to the Plat thereof recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.



I hereby certify that I have made a recent survey of the above described property and it is true and correct to the best of my knowledge and belief. I also certify that there are no above ground encroachments, unless otherwise noted. Dated this 25<sup>th</sup> day of February, 1975, A.D.

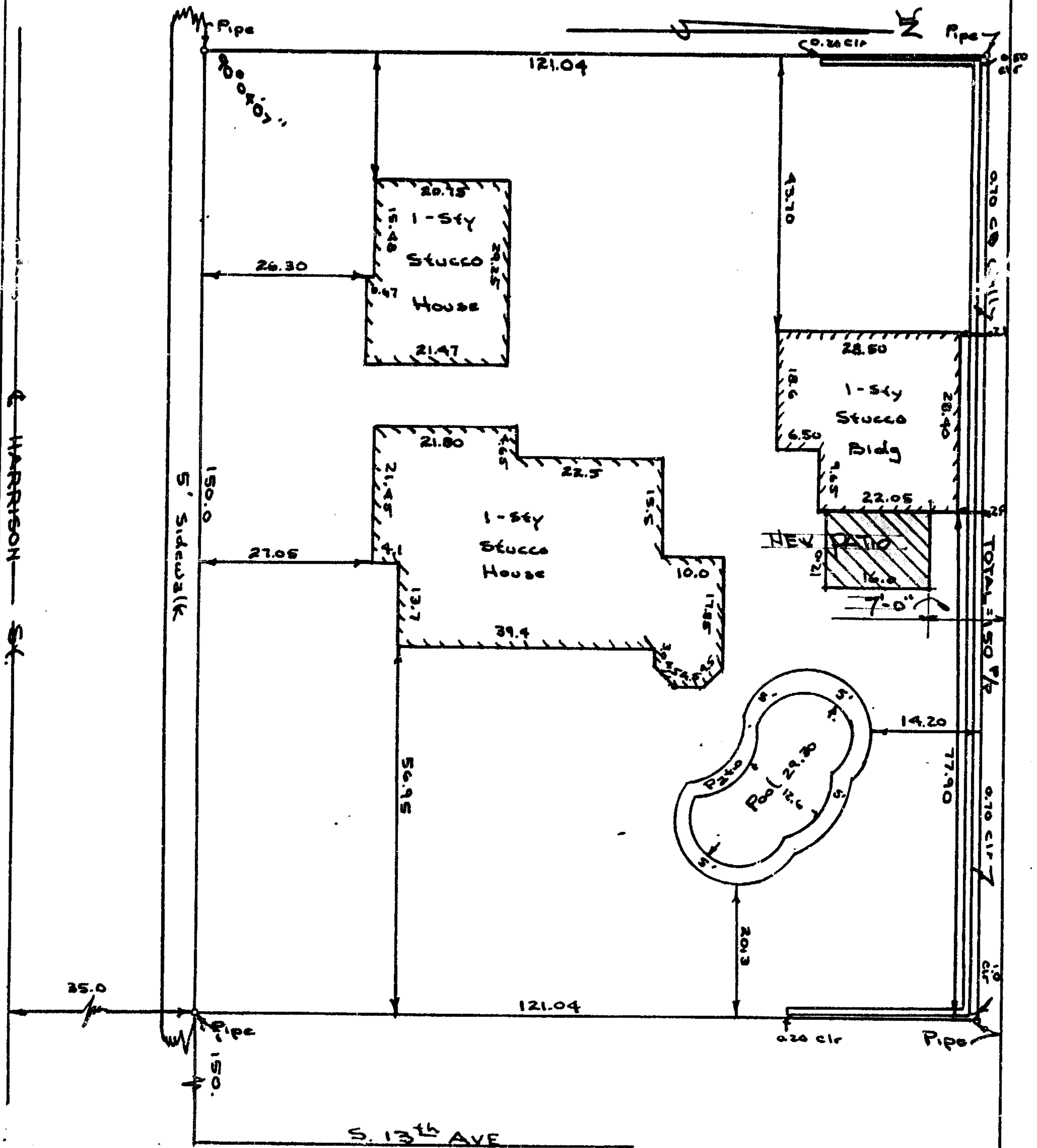
"I further certify that the survey represented hereon meets the minimum requirements adopted by the F.S.P.L.S. and the F.L.T.A."

*Arthur C. Boggs*  
**ARTHUR C. BOGGS**  
Registered Land Surveyor No. 724  
State of Florida

M. TOMICH  
E. JOHNS

Scale 1" = 20'

DESCRIPTION: Lots 10, 11, and 12, Block 8 of HOLLYWOOD LAKES SECTION" according to the Plat thereof recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.



I hereby certify that I have made a recent survey of the above described property and it is true and correct to the best of my knowledge and belief. I also certify that there are no above ground encroachments, unless otherwise noted. Dated this 25<sup>th</sup> day of February, 1975, A.D.

"I further certify that the survey represented hereon meets the minimum requirements adopted by the F.S.P.L.S. and the F.L.T.A."

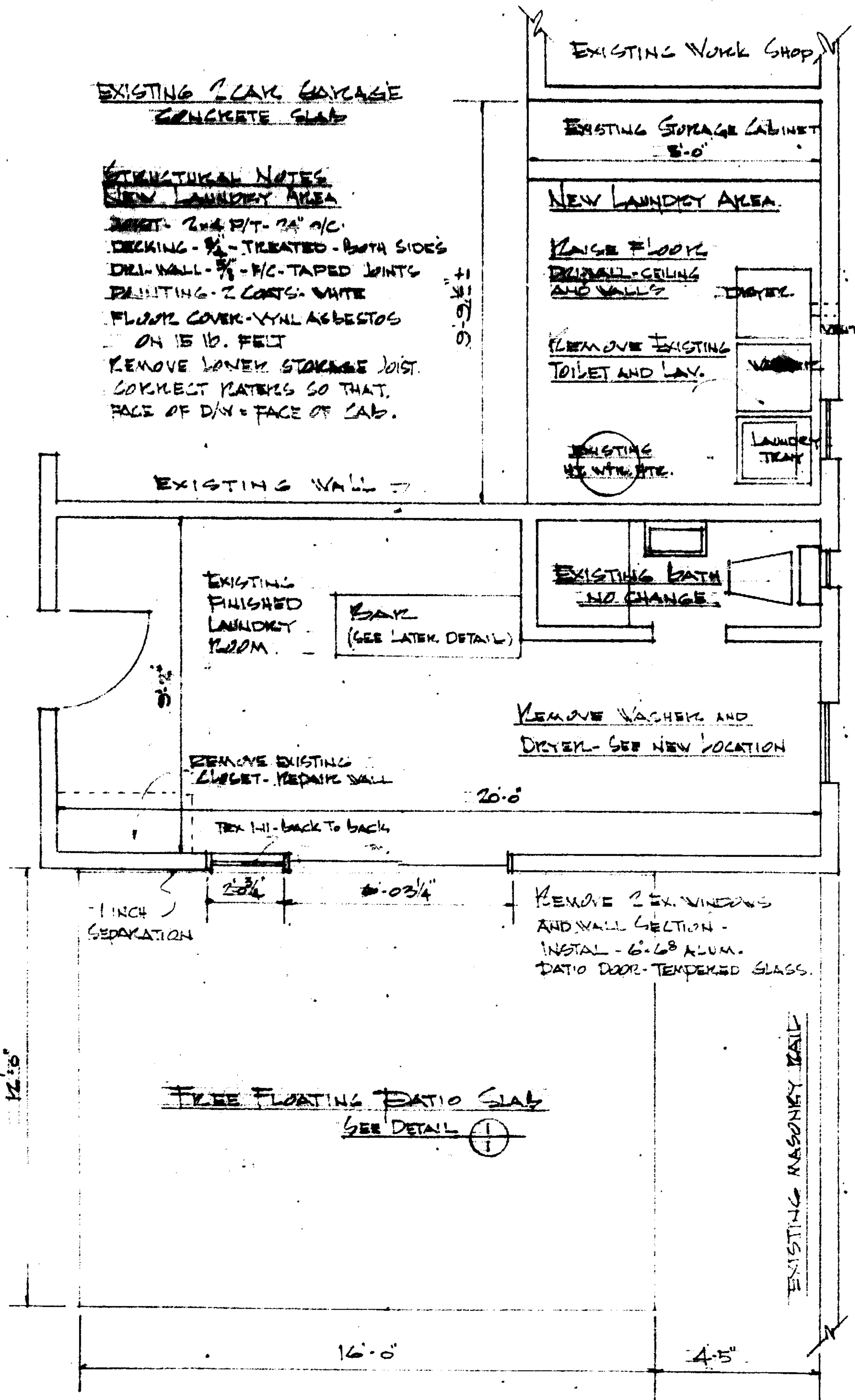
*Arthur C. Boggs*  
**ARTHUR C. BOGGS**  
Registered Land Surveyor No. 724  
State of Florida



EXISTING 2 CAR GARAGE  
CONCRETE SLAB

STRUCTURAL NOTES  
NEW LAUNDRY AREA

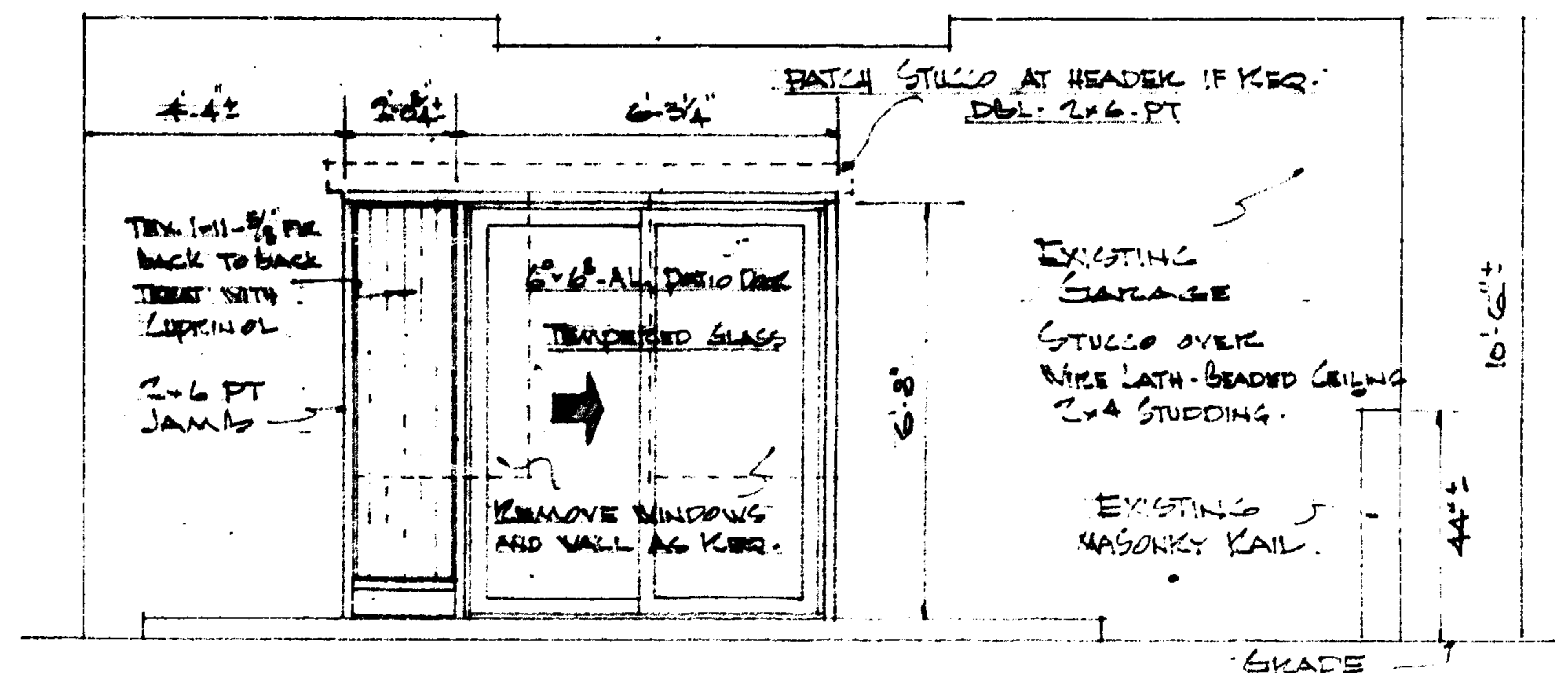
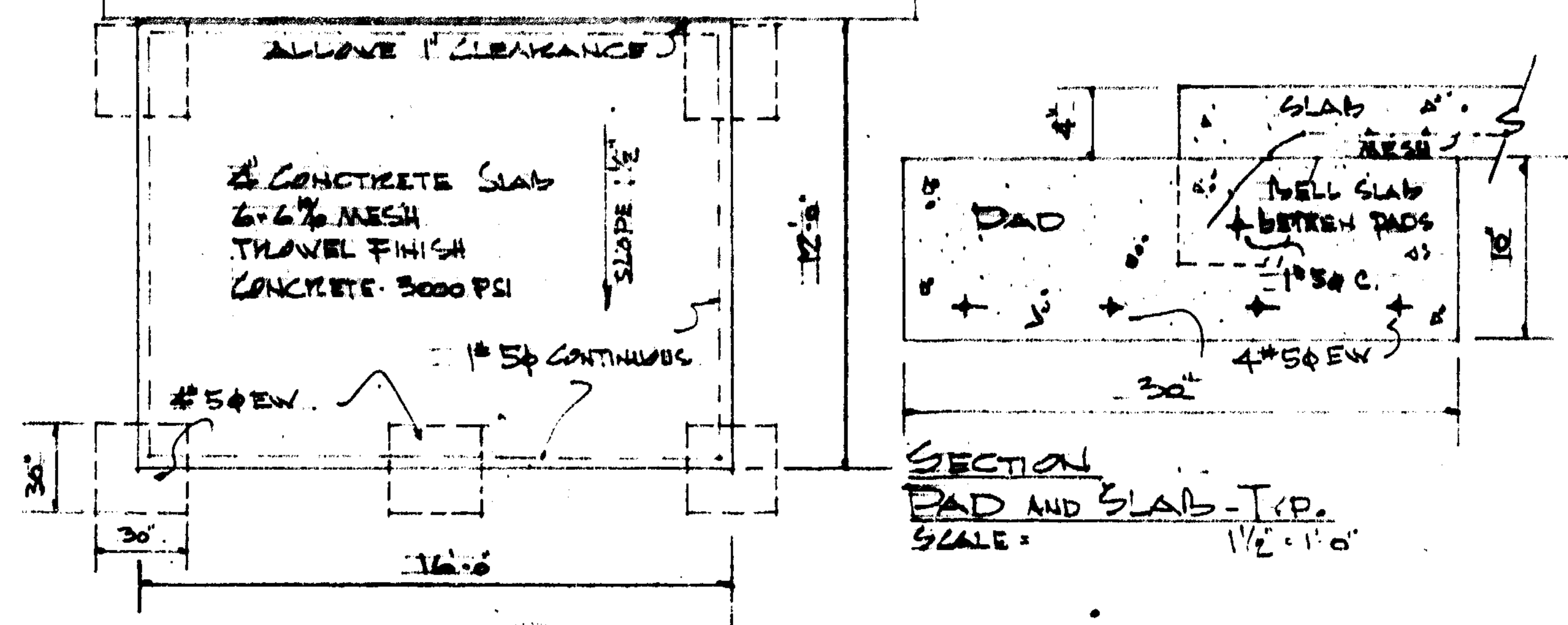
WALLS - 2x4 P/T - 3/4" A/C  
DECKING - 3/4" - TREATED - BOTH SIDES  
DRILL WALL - 3/8" - P/C - TAPED JOINTS  
PAINTING - 2 COATS - WHITE  
FLOOR COVER - VINYL ASBESTOS  
ON 15 LB. FELT  
REMOVE LOWER STORAGE DIST.  
CORRECT PATERS SO THAT  
FACE OF D/W = FACE OF CAB.



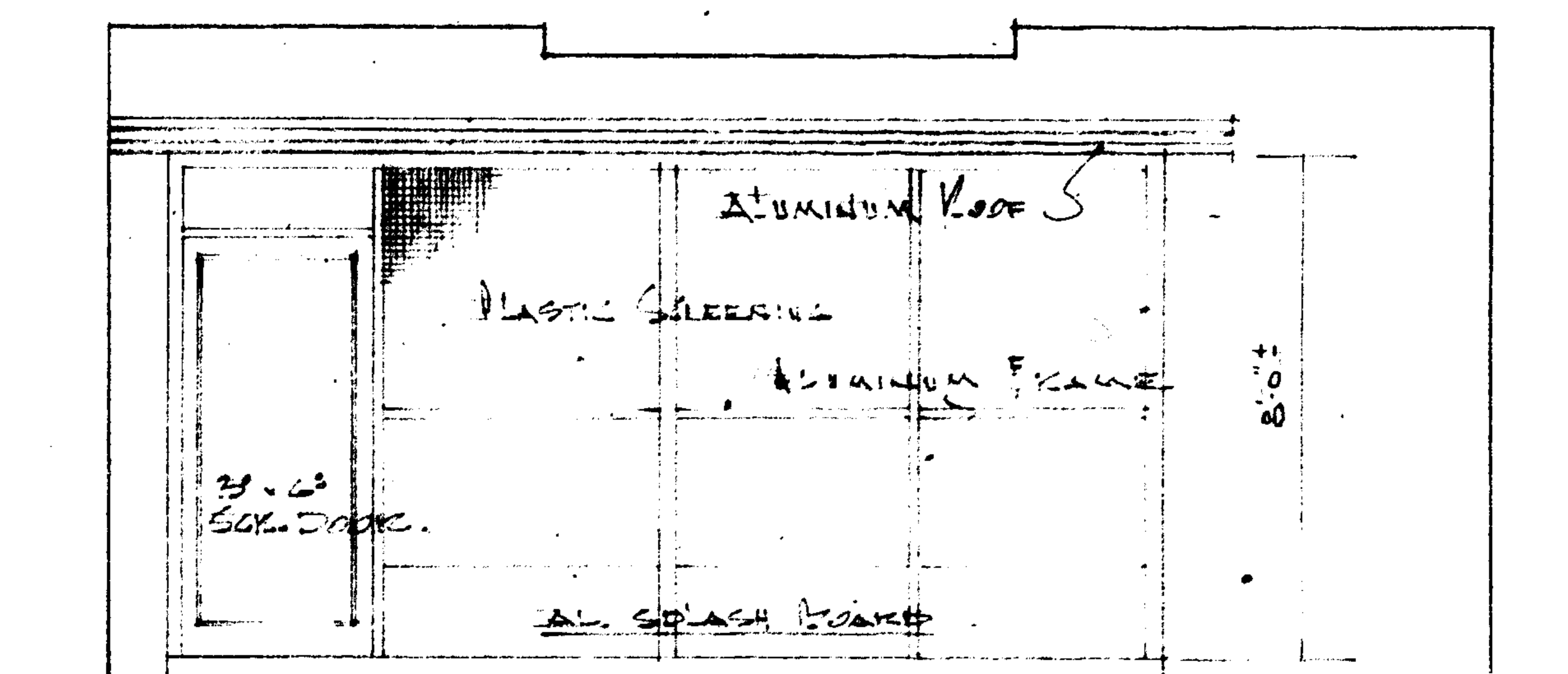
PLAN  
SCALE - 3/8" = 1'-0"

SEPARATE PLUMBING AND ELECTRICAL PERMITS

EXISTING GARAGE



EAST ELEVATION - SHOWING PATIO DOOR



EAST ELEVATION - SHOWING SCREENING  
OTHER SIDES - DITTO - NO SCREEN DOOR

RESIDENTIAL ALTERATIONS  
FOR MRS. M. TOMICH.....  
1317 HARRISON ST, HOLLYWOOD, FLA.  
WALLY BJORK AND SON  
GENERAL CONTRACTORS  
HOLLYWOOD LICENSE # 73-22802

# EXISTING GARAGE CONCRETE SLAB

## STRUCTURAL NOTES NEW LAUNDRY AREA

ROOF - 2" x 4" P/T - 2" x 4" A/C.  
DECKING - 1/2" - TREATED - BOTH SIDES  
DRY-WALL - 1/2" - MC-TAPED JOINTS  
PAINTING - 2 COATS - WHITE  
FLOOR COVER - VINYL ASBESTOS  
ON 15 LB. FELT  
REMOVE LOWER STORAGE UNIT.  
CORRECT PLATES SO THAT  
FACE OF D/W = FACE OF CAB.

EXISTING WORK SHOP

EXISTING STORAGE CABINET  
5'-0"

NEW LAUNDRY AREA

REMOVE FLOOR

REMOVE CEILING  
AND WALLS

REMOVE EXISTING  
TOILET AND LAV.

EXISTING  
VENTILATE.

LAUNDRY  
TRAY

EXISTING WALL

EXISTING  
FINISHED  
LAUNDRY  
ROOM

WALL  
(SEE LATER DETAIL)

EXISTING BATH  
NO CHANGE

REMOVE WASHERS AND  
DRYER - SEE NEW LOCATION

REMOVE EXISTING  
TOILET - REPAIR WALL

TRX 1-1/2" BACK TO BACK

1 INCH  
SEPARATION

REMOVE 2 EX. WINDOWS  
AND WALL SECTION -  
INSTALL - 6'-0" ALUM.  
PATIO DOOR - TEMPERED GLASS.

FREE FLOATING PATIO SLAB

SEE DETAIL ①

EXISTING MASONRY WALL

PLAN  
SCALE - 3/8" = 1'-0"

SEPARATE PLUMBING AND ELECTRICAL PERMITS

# EXISTING GARAGE

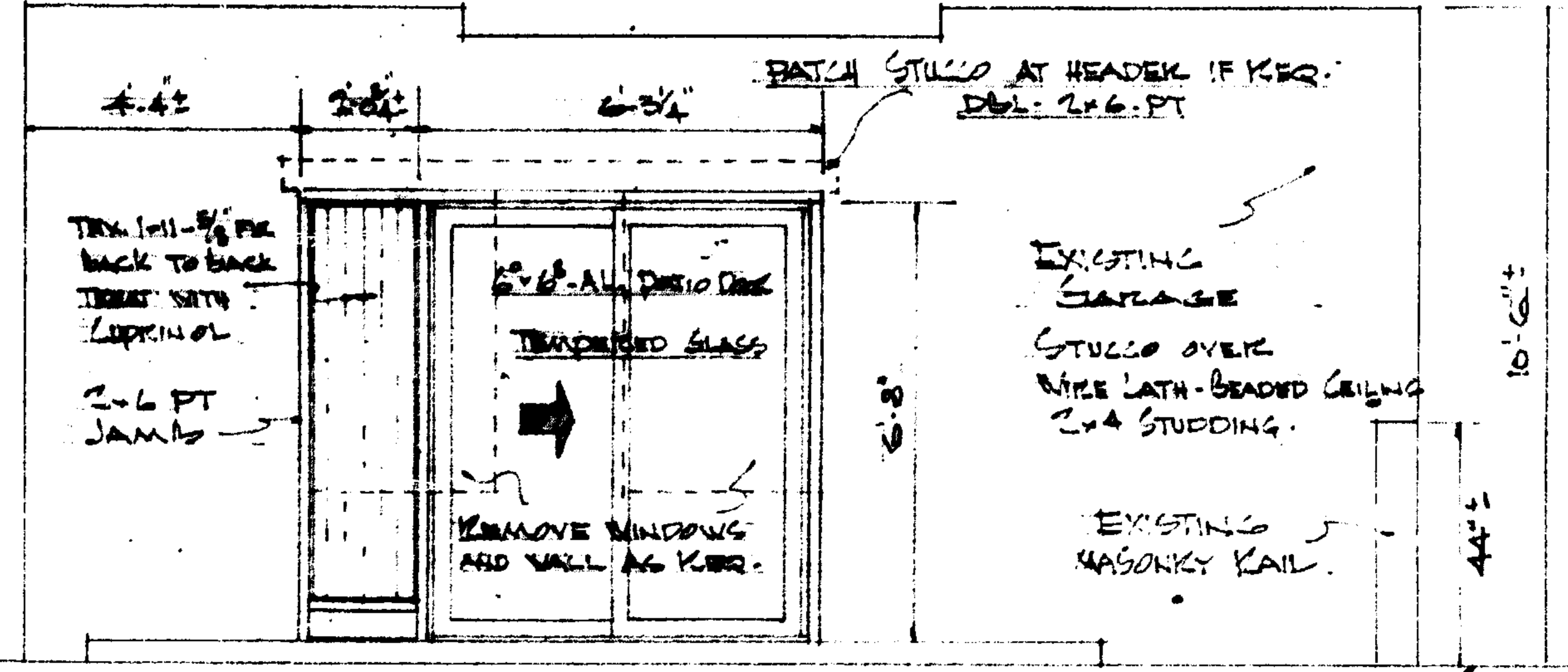
ALL NEW CLEARANCE

CONCRETE SLAB  
6'-0" MESH  
THIN FILL  
CONCRETE - 3000 PSI

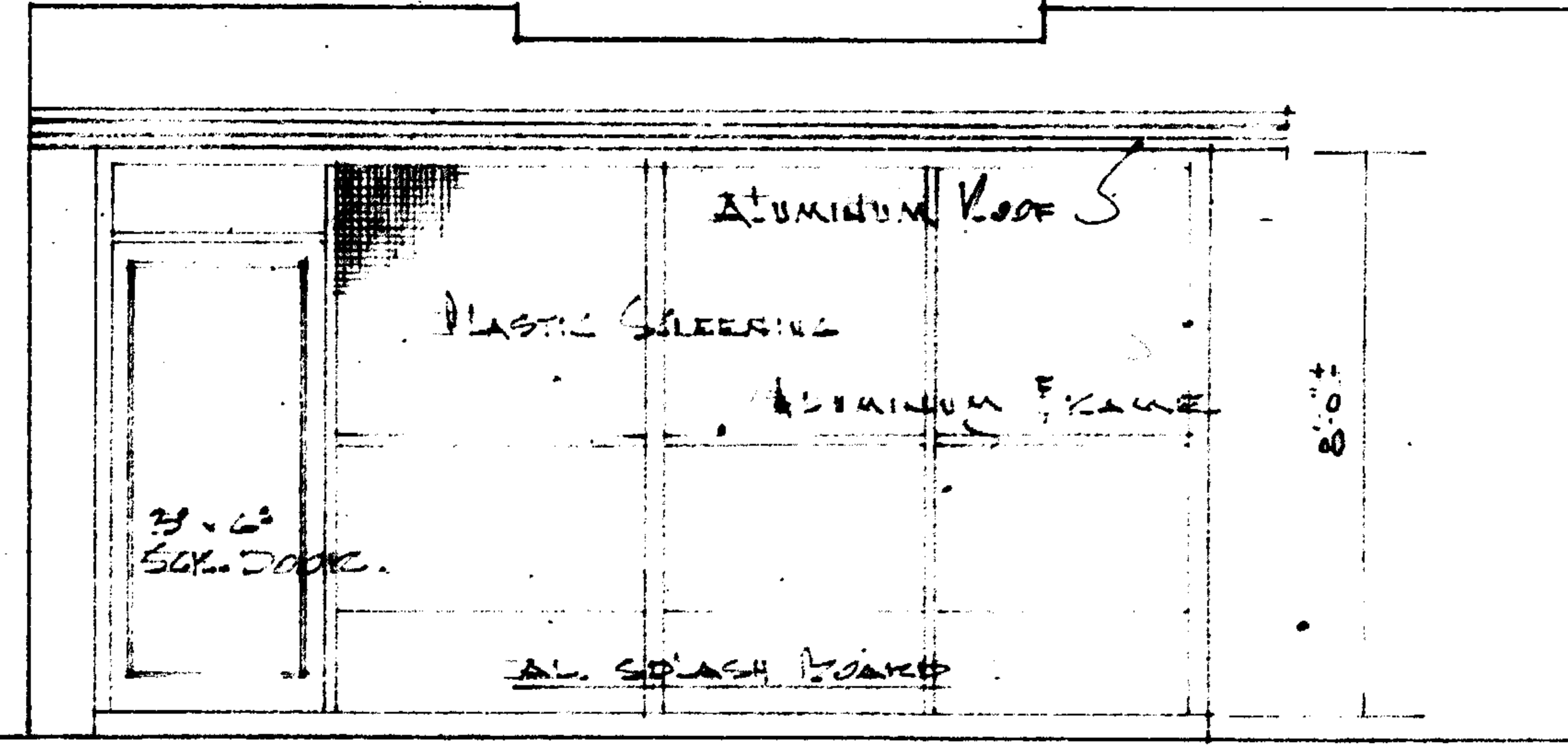
1" 5# CONTINUOUS

SLAB AND PADS  
SCALE - 1/4" = 1'-0"

SECTION  
PAD AND SLAB - TYP.  
SCALE - 1 1/2" = 1'-0"



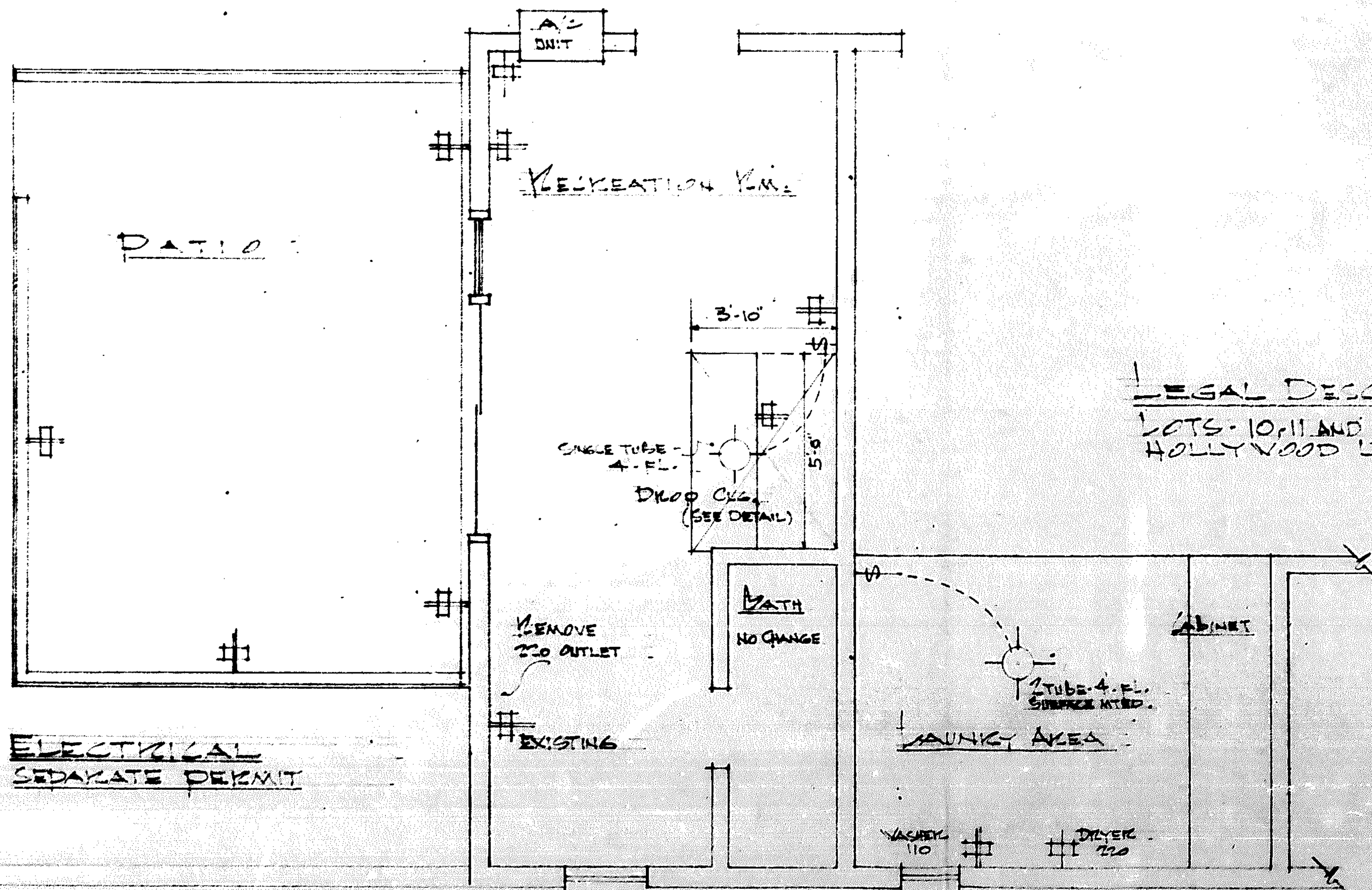
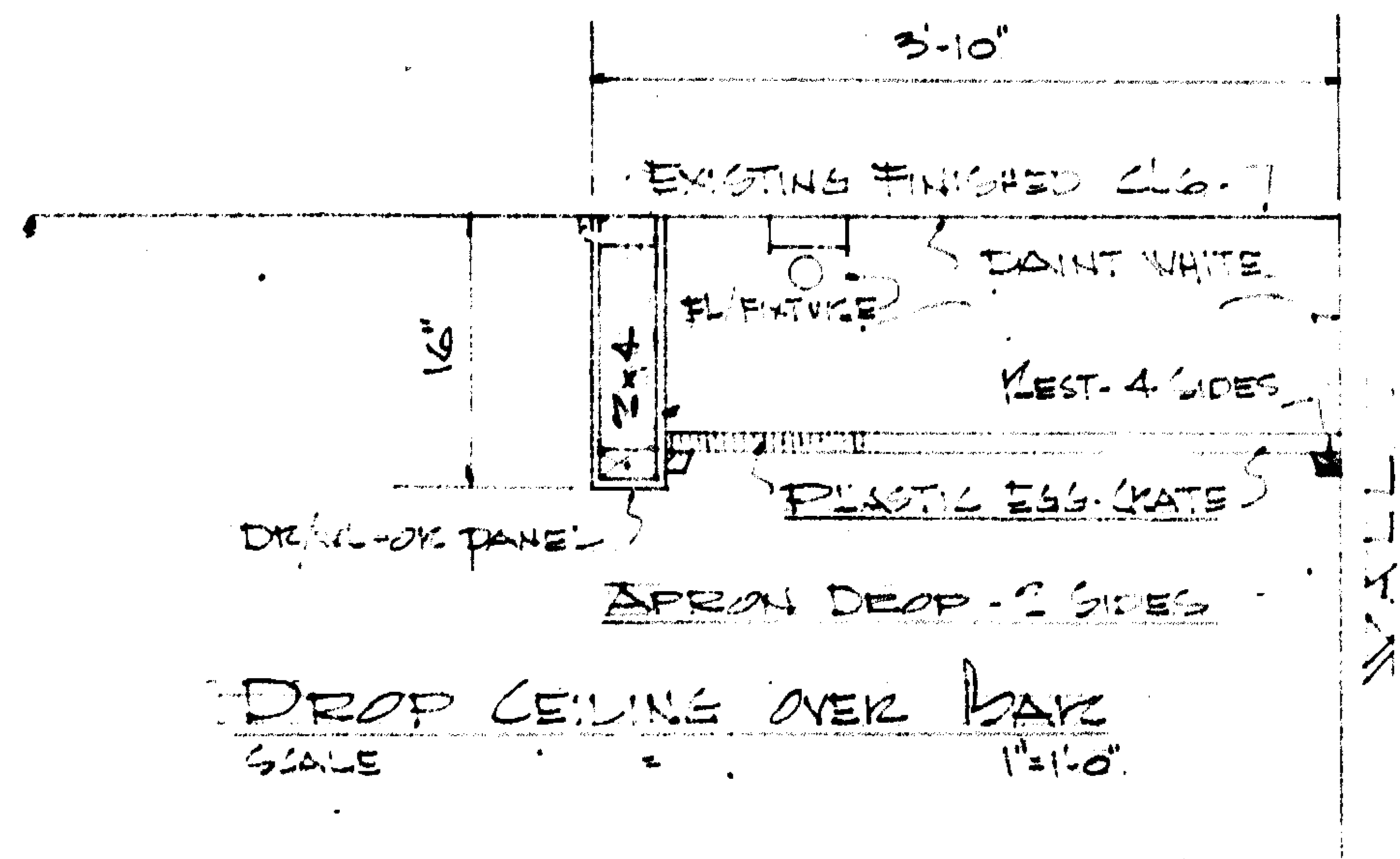
EAST ELEVATION - SHOWING PATIO DOOR



EAST ELEVATION - SHOWING SCREENING  
OTHER SIDES - DITTO - NO SCREEN DOOR

RESIDENTIAL ALTERATIONS  
FOR MRS. M. TOMICH.....  
1317 HARRISON ST, HOLLYWOOD, FLA.  
WALLY BLOCK AND SON  
GENERAL CONTRACTORS  
HOLLYWOOD LICENSE # 73-22802



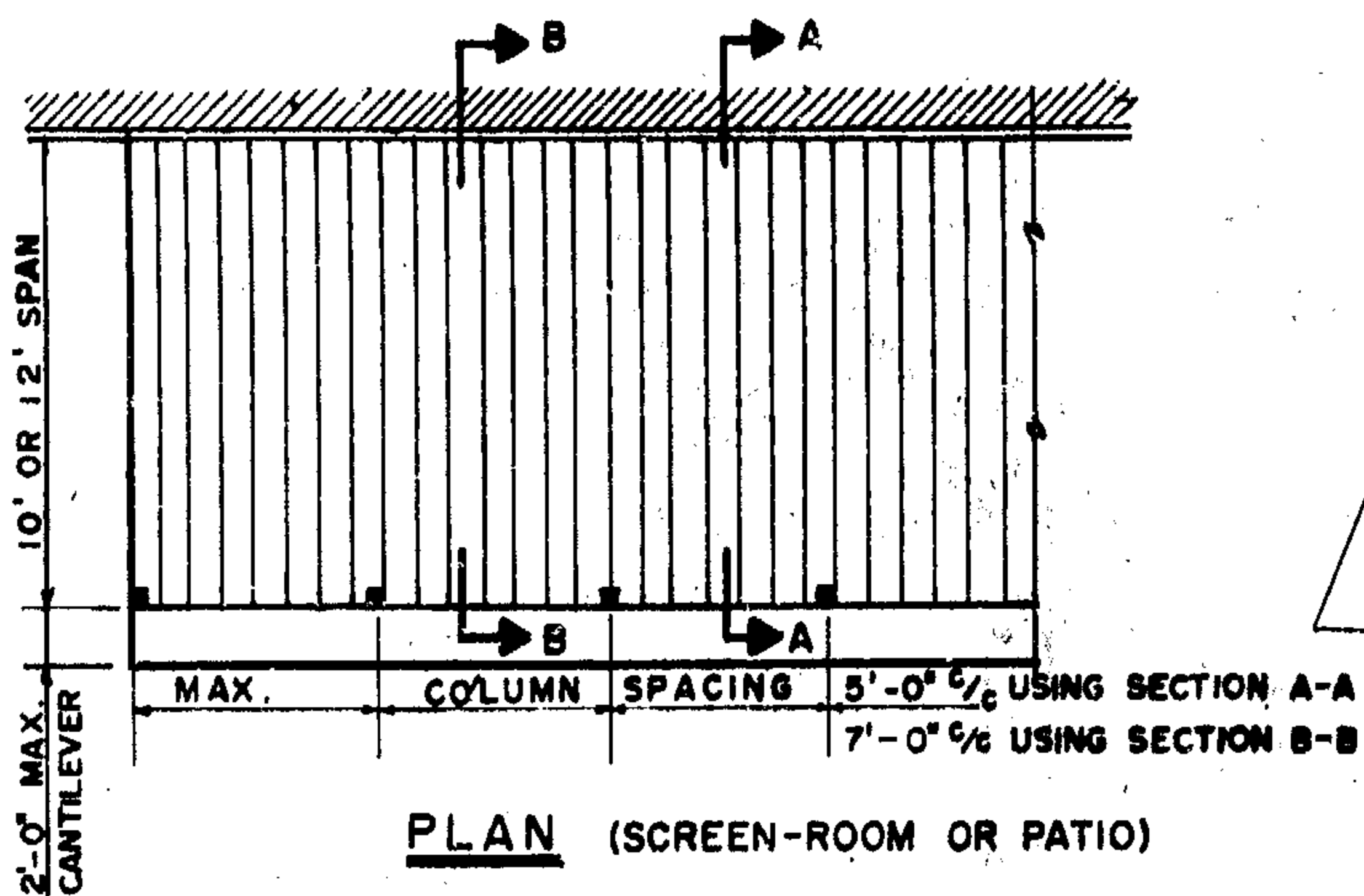


LEGAL DESCRIPTION  
 LOTS 10, 11 AND 12 - BLOCK 8,  
 HOLLYWOOD LAKES.

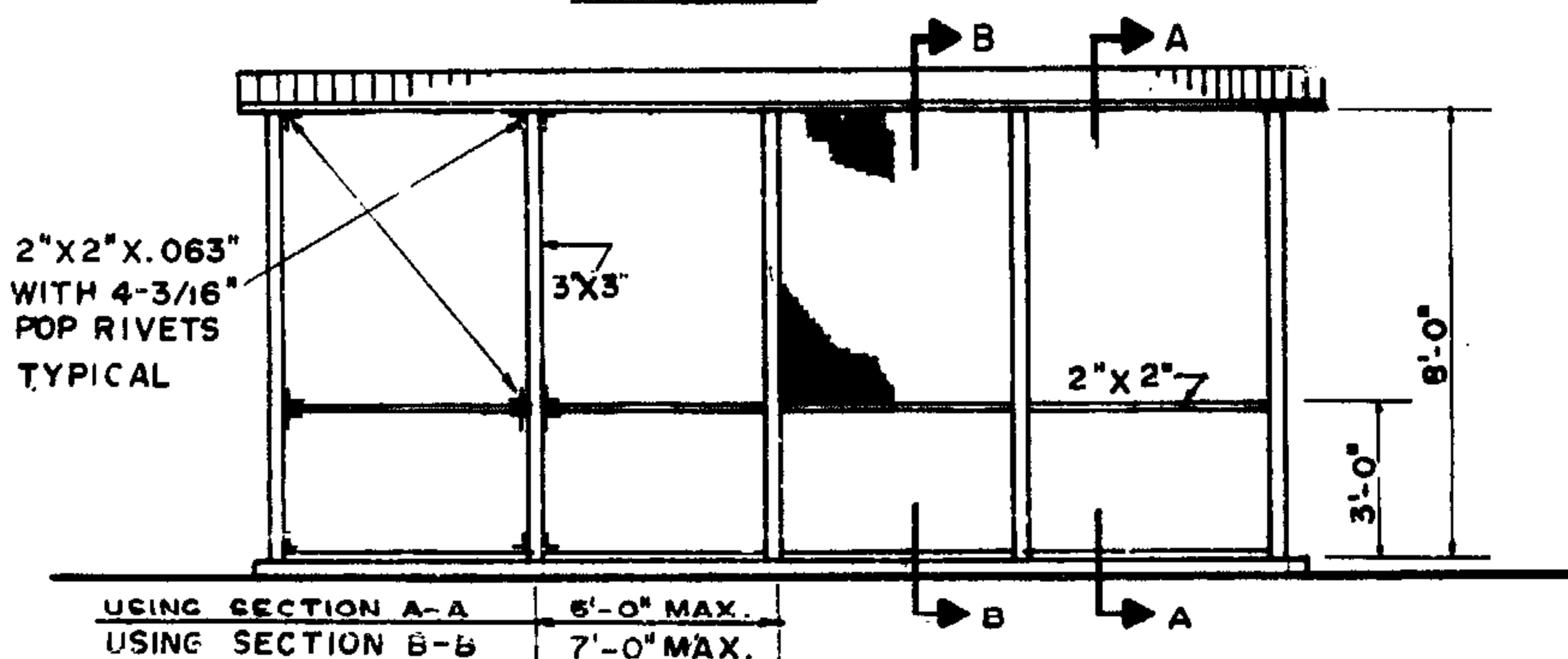
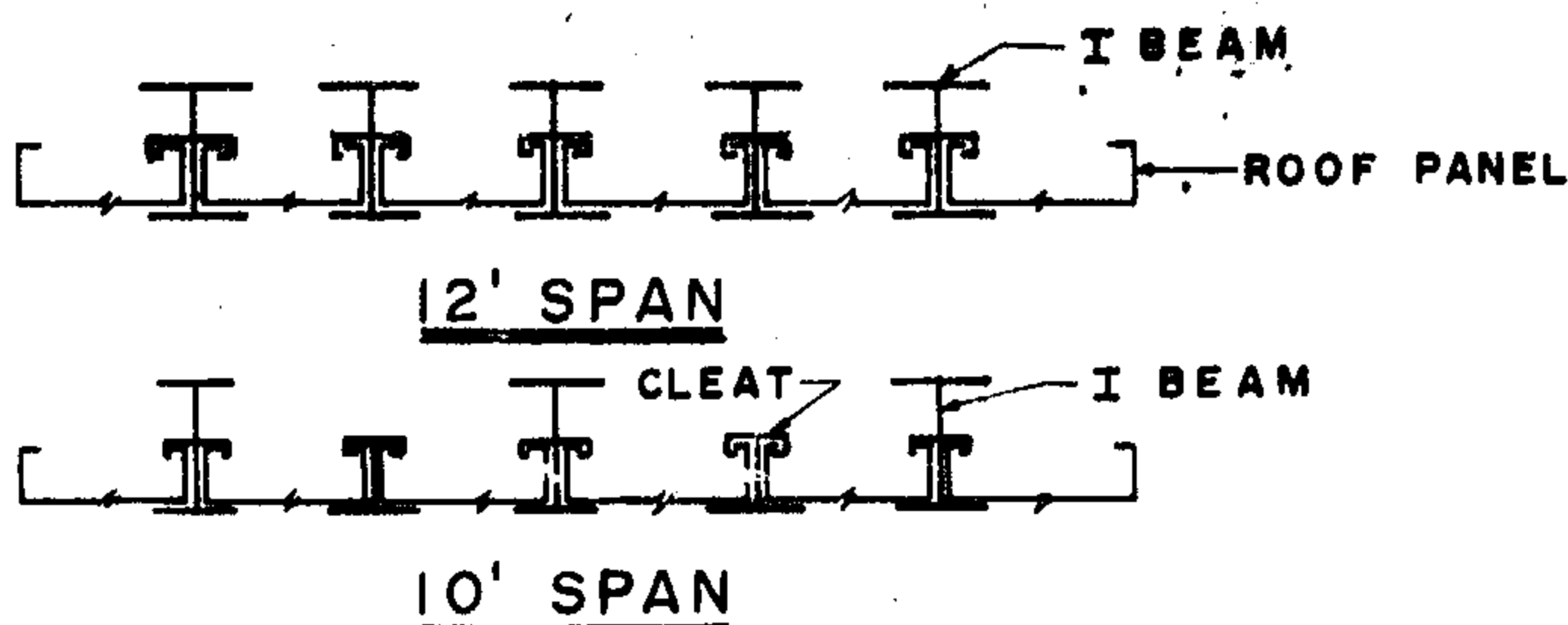
ELECTRICAL  
 SEPARATE PERMIT

SEPARATE ELECTRICAL  
 PERMIT REQUIRED





PLAN (SCREEN-ROOM OR PATIO)



SCREEN ROOM ELEVATION

PATIO ELEVATION, SIMILAR W/ REMOVAL OF SCREEN & COMPONENTS

### SPECIFICATIONS

#### DESIGN CRITERIA

LOADING DESIGN 30 PSF  
DEFLECTION: PRIMARY MEMBERS L/180  
SECONDARY MEMBERS L/80  
RECOVERY FROM WIND LOAD 9%  
COLUMNS: L/r not greater than 200  
FASTENERS: SAFETY FACTOR EQUALS 3 MINIMUM

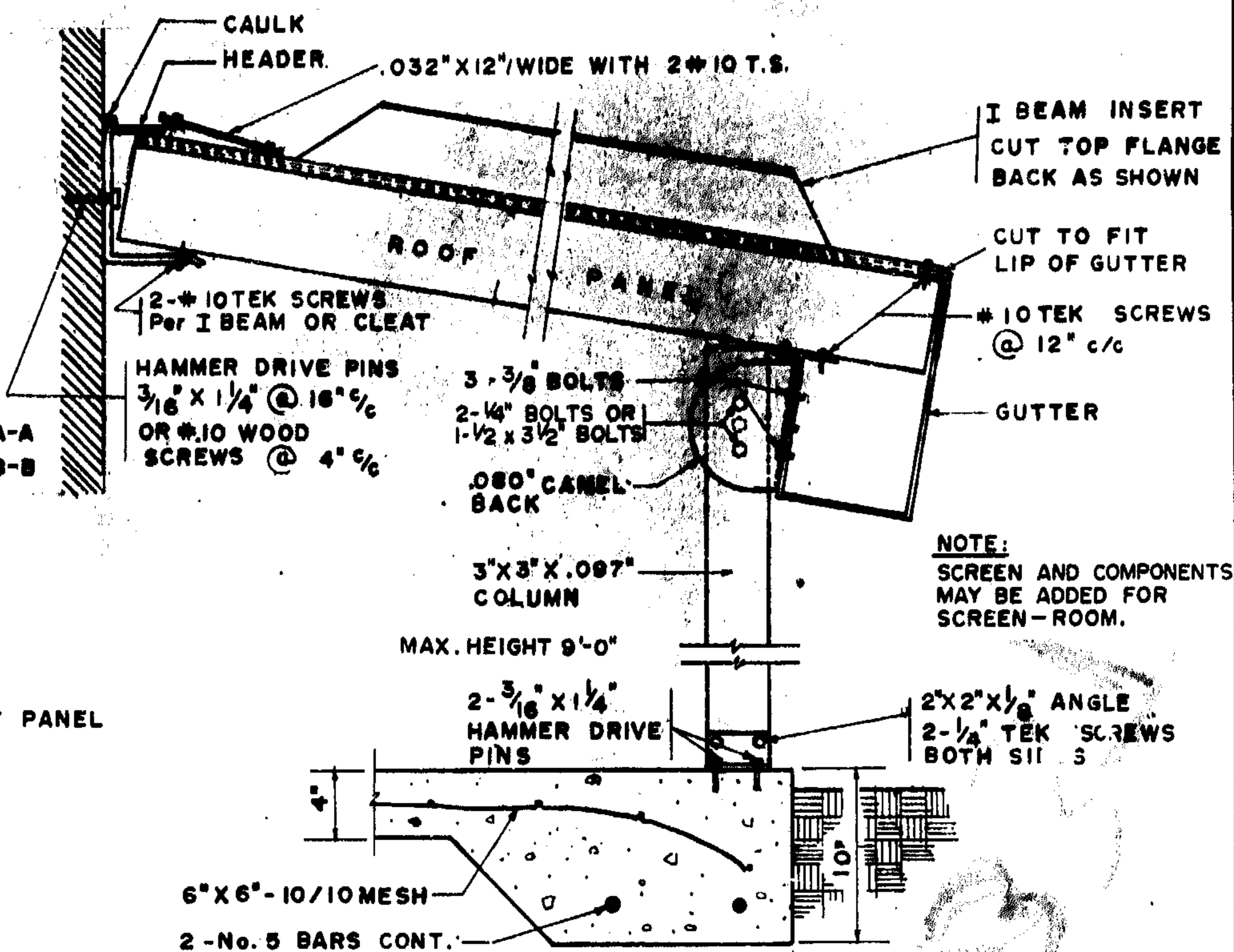
ALL ALUMINUM EXTRUSIONS SHALL BE ALLOY 6063-T5  
ALL NUTS, BOLTS AND SCREWS SHALL BE ALUMINUM ALLOY 2024-T4

CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

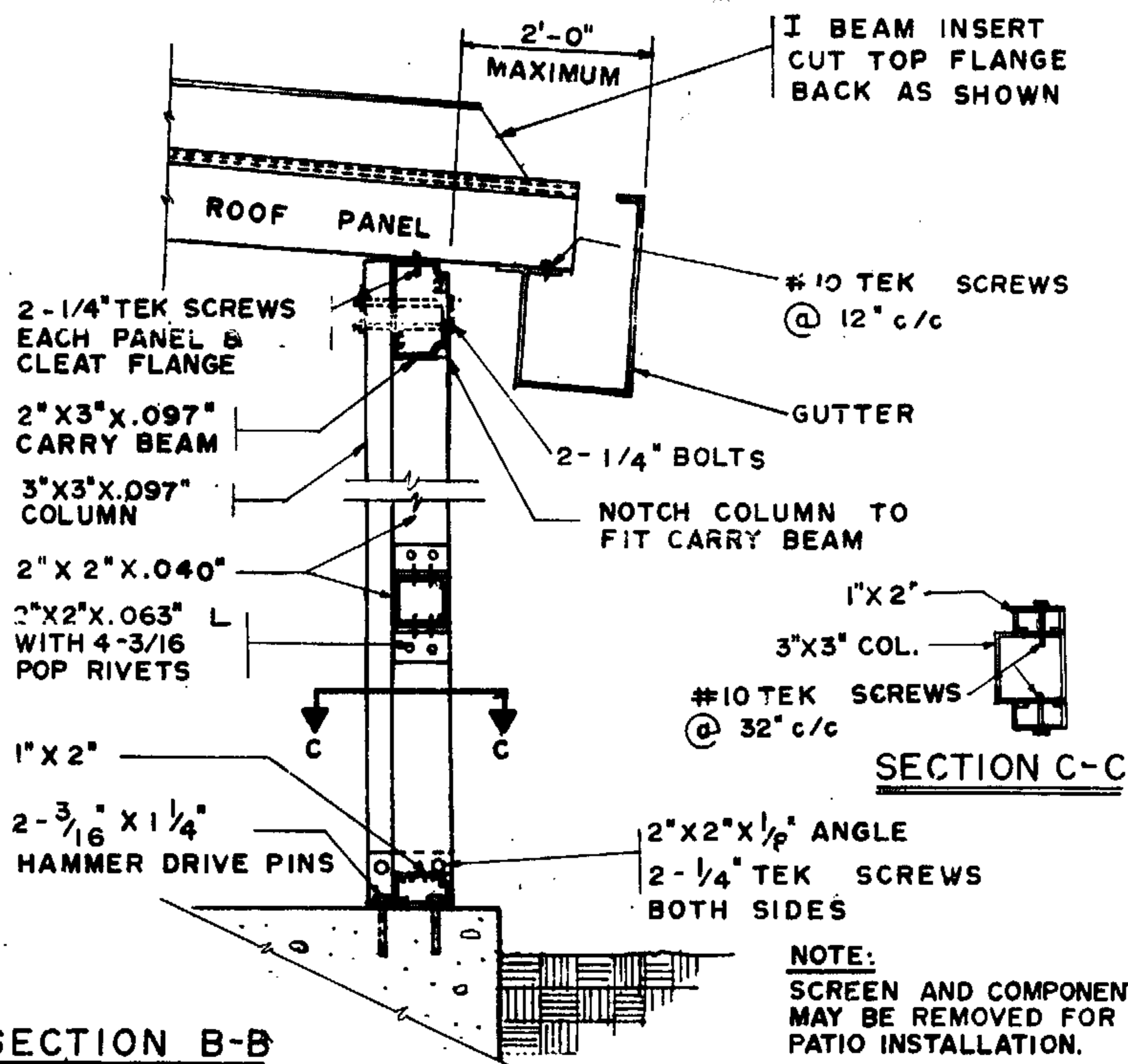
SOIL UNDER SLAB SHALL BE FREE OF ORGANIC MATTER AND HAVE A MINIMUM BEARING VALUE OF 1000 PSF.

PITCH OF ROOF SHALL BE 1/4" PER FOOT MIN.

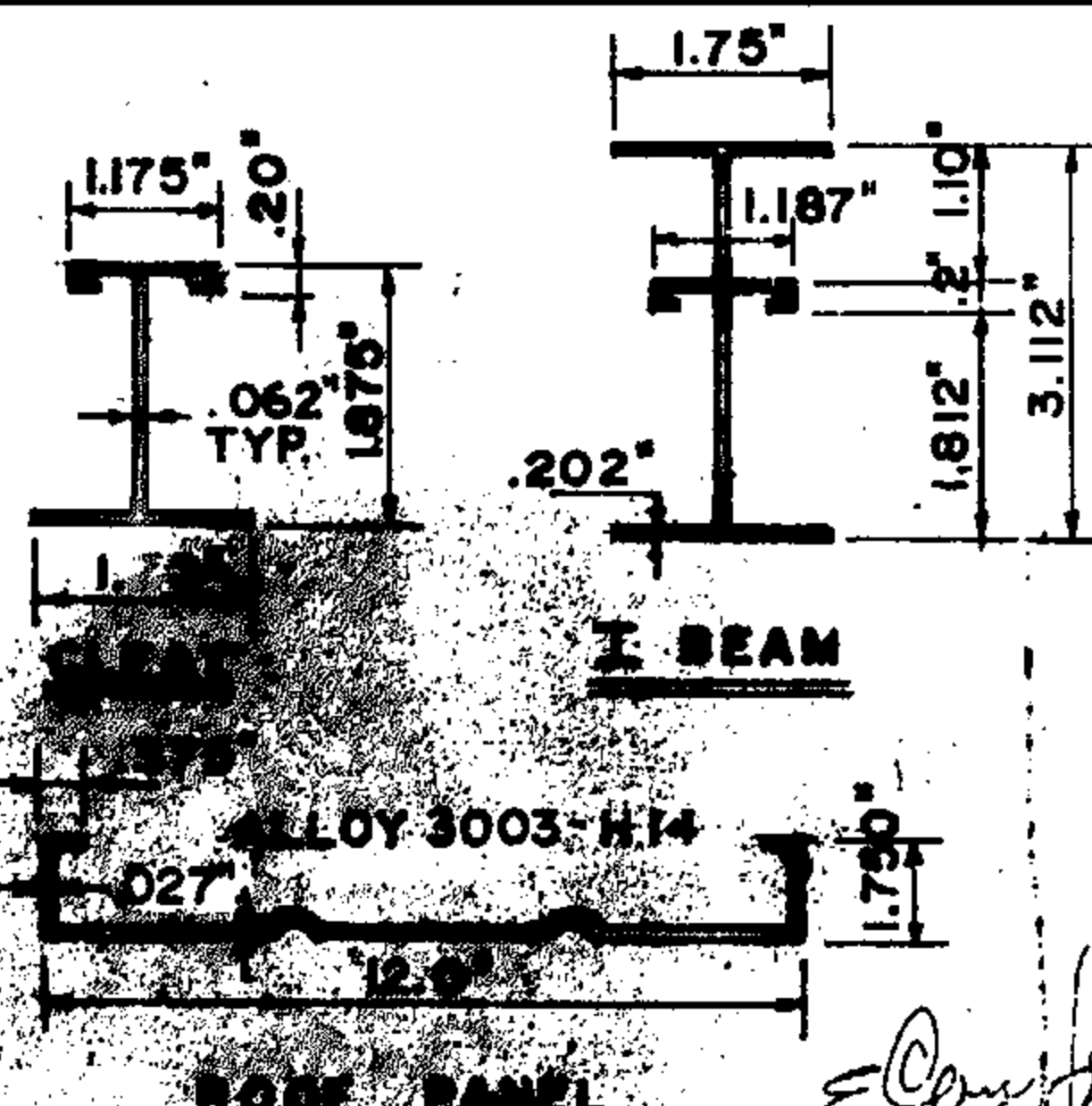
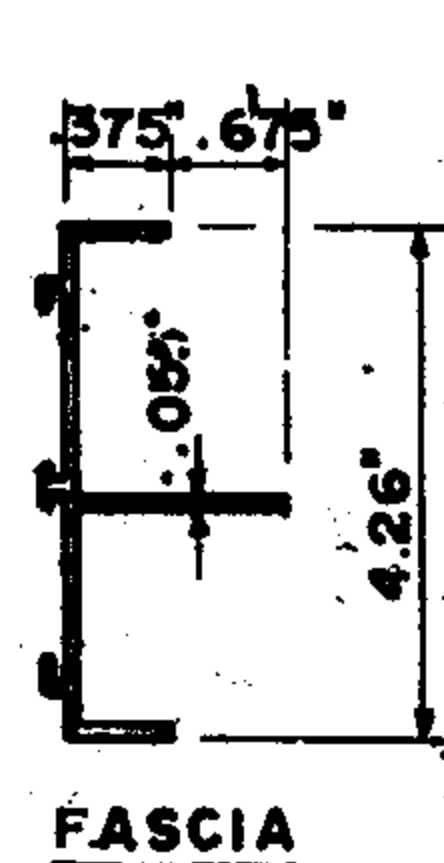
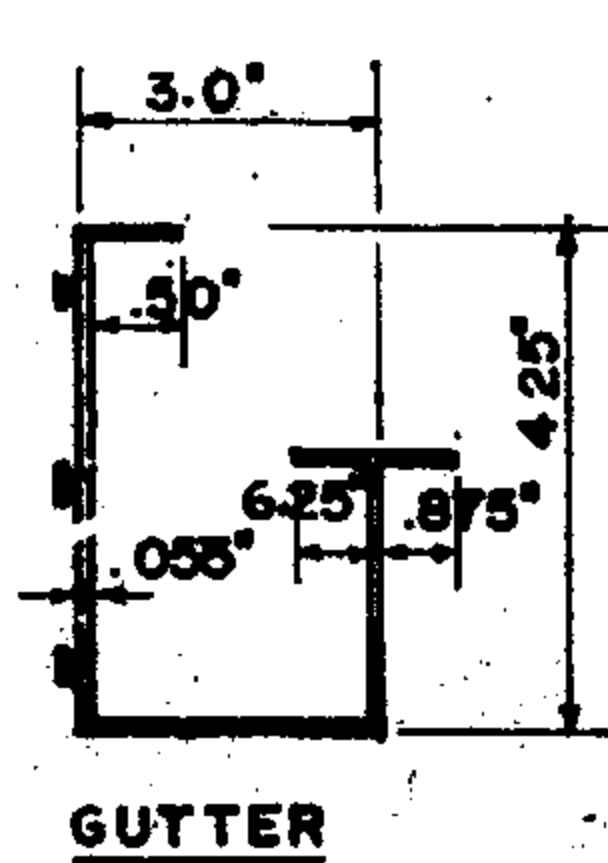
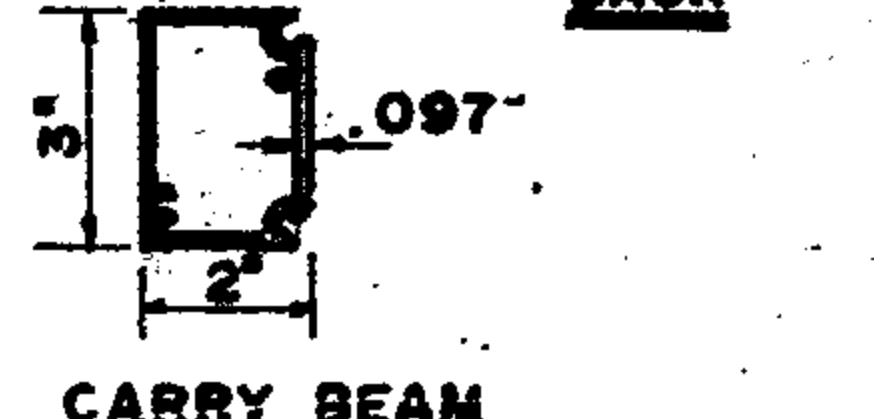
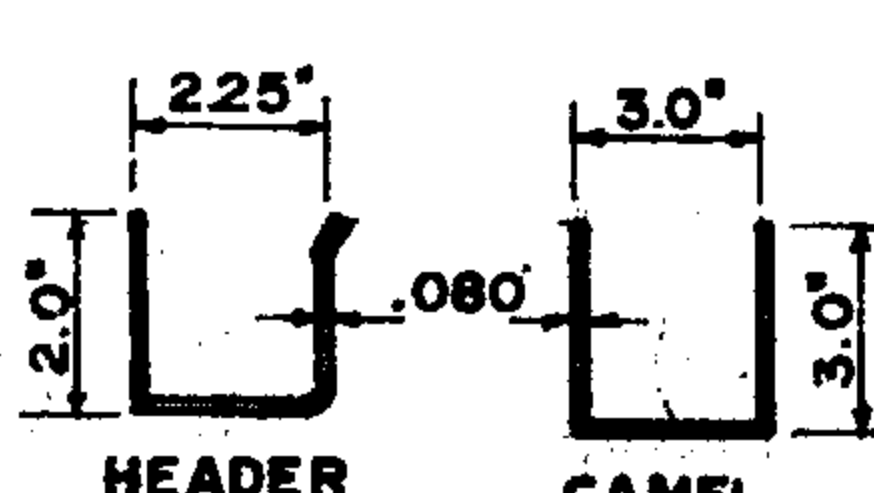
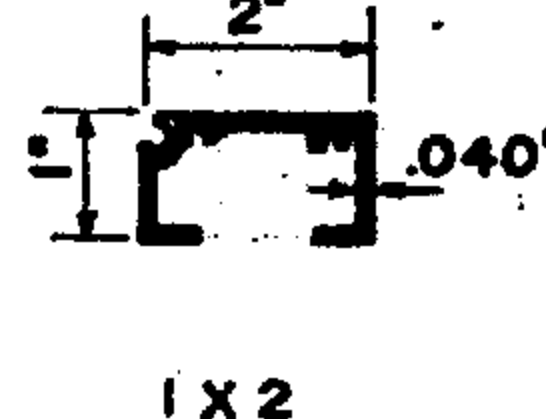
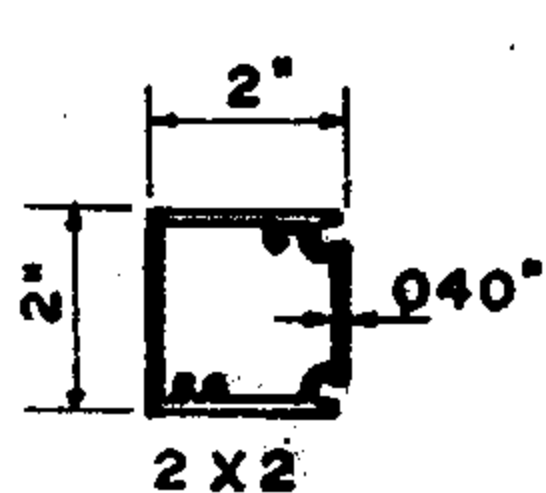
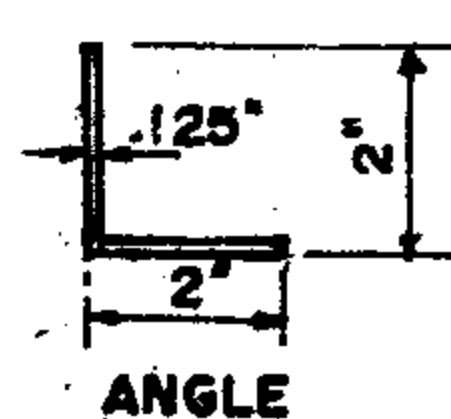
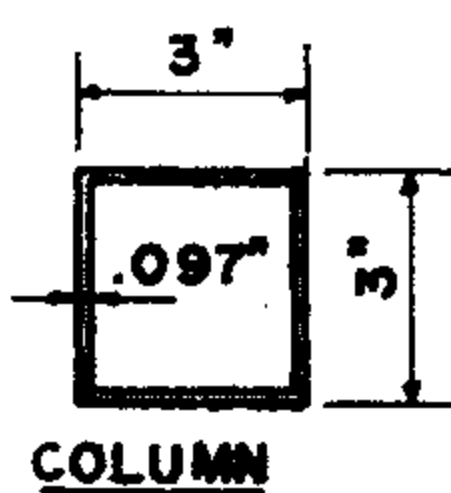
IT SHALL BE DETERMINED THAT THE EXISTING STRUCTURE CAN SAFELY SUPPORT THE LOADS IMPOSED BY THIS PATIO ROOF.



SECTION A-A



SECTION B-B



CARR SMITH & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
CORAL GABLES, FLORIDA

D & D ALUMINUM INSTALLATION  
5970 FUNSTON ST.  
HOLLYWOOD, FLA. 33023  
989-0692

NO.	DATE	REVISION	FILE NO.	73185
1	6/74	PANEL THICKNESS TO .027	DRAWN G.S.	SHEET NO.
2	6/74	ALTERNATE 1/2" BOLT COL. TO BEAM	DESIGN C.S.	1 OF 1
			CHECK K.N.	
			DATE OCT-73	

---

# STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019  
Project Number: 224690

---

## ASSESSMENT REPORT

---

**PREPARED BY:**

Cory Nelson, PE

**DATE OF ASSESSMENT:**

January 17<sup>th</sup>, 2023

**DATE SUBMITTED:**

January 27<sup>th</sup>, 2023

---



**GREEN COASTAL ENGINEERING**

11900 Biscayne Blvd, Suite 308

Miami, FL 33181

[info@greencoastalengineering.com](mailto:info@greencoastalengineering.com)

(786) 583-5545 (office)

# STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019



## Table of Contents

0.	INTRODUCTION .....	2
1.	BUILDING ONE.....	3
2.	BUILDING TWO.....	6
3.	BUILDING THREE .....	8
4.	BUILDING FOUR .....	10
5.	EXECUTIVE SUMMARY.....	13
6.	CONDITIONS AND ASSUMPTIONS .....	13



# STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019

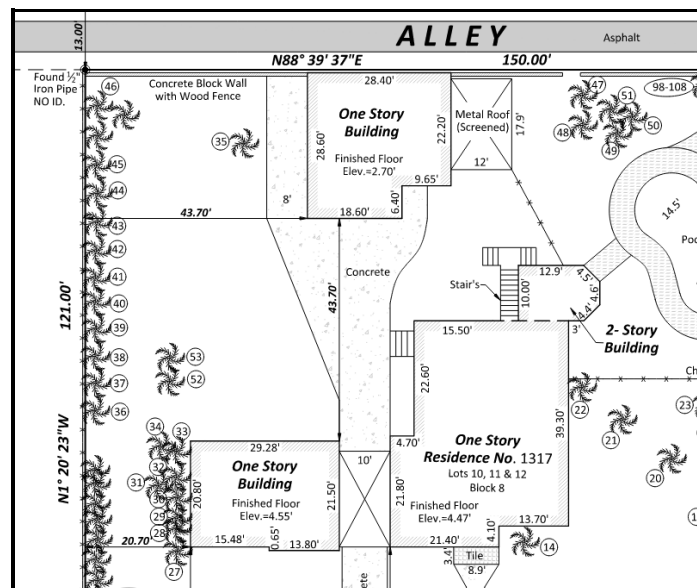


## 0. INTRODUCTION

Green Coastal Engineering (GCE) is pleased to submit this **Structural Assessment Report** for the structural assessment of the residential structures located at 1317 Harrison Street, Hollywood, FL. This assessment was performed by Cory Nelson, PE on January 17th, 2023. The project site consists of the following four structure types.

1. A one-story residential structure (616-sqft footprint)
2. A one-story residential structure (1,390-sqft footprint)
3. A two-story residential structure (164-sqft footprint)
4. A one-story garage (745-sqft footprint)

Detailed structure descriptions, observations, recommendations, and conclusions derived from our assessment are noted in the sections below.



**Site Map**

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019




### 1. BUILDING ONE

Photographs	Building One Description
  	<p>Building one is a one-story, 616-sqft residential structure. The exterior walls are masonry load bearing walls supported on concrete wall footings and concrete piles. The floor system is a poured in place concrete slab and the roof system consists of timber trusses.</p> <p>Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019


Photographs	Observations & Recommendations
	<p><b><u>Item 1</u></b></p> <p><b>Observation:</b> An exposed area of roof near the rear building exterior revealed deteriorated roof structure. Daylight can be seen penetrating through the roof in this area. Additional areas of the concealed roof were not inspected.</p> <p><b>Recommendation:</b> The rotten and deteriorated portions of roof structure will need to be replaced or reinforced with new roof structure. Additional destructive investigation should be done to verify the extent of rot on the roof trusses at the exterior building edges. Removal and replacement of the roof will likely be required to facilitate repair and replacement of the deteriorated roof structure.</p>



## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019




Photographs	Observations & Recommendations
	<p><b><u>Item 2</u></b></p> <p><b>Observation:</b></p> <p>The structure is heavily undermined due to settling of the mucky land around the building structure. Since the structure is constructed on concrete piles, the building has moved very little over time with respect to the surrounding land. This is evident by the large gap below the continuous wall footings which were originally cast directly on top of the earth. This observation is typical for buildings one, two, and three.</p> <p>It is also apparent that mass concrete has previously been placed below some areas of undermined foundations in an effort to restore soil bearing to the undermined foundations. However, the land has continued to settle this completion of this work.</p> <p><b>Recommendation:</b></p> <p>We recommend that additional underpinning and additional mass concrete be placed below the undermined areas of load bearing walls to restore structural bearing capacity to the undermined foundations. This type of repair work will likely be required on 10-25 year intervals as the mucky land continues to settle.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019




### 2. BUILDING TWO

Photographs	Building Two Description
 The 'Photographs' column contains three images. The top image is an exterior view of a white, one-story building with a yellow door and windows, situated on a grassy lot with palm trees in the background. The middle image shows the interior of a room with a wooden floor and a window; the masonry wall below the window is crumbling and exposed. The bottom image is a close-up of the damaged masonry wall, showing exposed rebar and crumbling concrete.	<p>Building two is a one-story, 616-sqft residential structure. The exterior walls consist of masonry load bearing walls supported by continuous concrete foundations on concrete piles. The floor and roof system consist of timber joist. Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas of foundation.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019

Photographs	Observations & Recommendations
 <p data-bbox="402 1444 537 1476">NO PHOTO</p>	<p data-bbox="776 443 857 474"><b><u>Item 3</u></b></p> <p data-bbox="776 516 935 548"><b>Observation:</b></p> <p data-bbox="776 552 1443 793">The timber floor joists are adequately supported on the exterior load bearing walls due to the foundations being supported by concrete piles. However, the interior floor joists are improperly supported by masonry blocks and timber shoring. It is evident that shoring of the interior joists has been an ongoing issue, and will continue to be so.</p> <p data-bbox="776 835 1003 867"><b>Recommendation:</b></p> <p data-bbox="776 871 1443 940">A new foundation structure with piles should be designed to adequately support the interior joists.</p>



## STRUCTURAL ASSESSMENT



1317 Harrison Street,  
Hollywood, FL 33019

### 3. BUILDING THREE

Photographs	Building Three Description
  	<p>Building three is a two-story, 164-sqft footprint residential structure. The exterior walls consist of masonry load bearing walls supported by continuous concrete foundations on concrete piles. The ground floor is a concrete slab on grade with the second floor and roof consisting of timber joists. Foundation restoration work has been performed to restore the soil surface bearing area of some undermined areas.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019

Photographs	Observations & Recommendations
	<p><b><u>Item 4</u></b></p> <p><b>Observation:</b> An exposed area of second floor joist revealed a small amount of rotten timber near an exterior wall.</p> <p><b>Recommendation:</b> All rotten timber will need to be replaced with new material. Additional destructive investigating should be done to verify the extent of rot in the floor system.</p>
	<p><b><u>Item 5</u></b></p> <p><b>Observation:</b> Auxiliary structures surrounding building three are undermined due to the settlement of the surrounding mucky land. Concrete restoration work has been done below the stairs to restore the bearing on the soil, but the land has continued to settle relative to the pile supported structure.</p> <p>This phenomenon is also evident by the gap observed below the concrete slab surround the pool.</p> <p><b>Recommendation:</b> The land around all three pile supported structures may continue to settle over the years, requiring foundation restoration work every 10-25 years, or removal and replacement of the mucky soil with compacted structural fill.</p>



## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019

### 4. BUILDING FOUR

Photographs	Building Four Description
  	<p>Building four is a one-story garage structure with an attached entertainment area with a total footprint of 745-sqft. The entire structure is constructed with 2x timber framing. The garage floor is a concrete slab on grade and the entertainment areas floor system consist of timber framing constructed directly on grade with no waterproofing or other protective barrier.</p>



## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019




Photographs	Observations & Recommendations
	<p><b><u>Item 5</u></b></p> <p><b>Observation:</b> The floor system in the entertainment area of building four was constructed directly on top of the earth, exposing it to insects and moisture. This has caused the floor system to rot and warp.</p> <p><b>Recommendation:</b> The entire floor system needs to be removed and replaced with a new structure that is properly waterproofed. This will likely require the demolition and replacement of the entire structure.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019



Photographs	Observations & Recommendations
	<p><b><u>Item 6</u></b></p> <p><b>Observation:</b> The entire garage structure is constructed with 2x timber framing. Timber structures are exceedingly rare in South Florida due to their inability to resist hurricane force winds.</p> <p>Overall, the garage portion of the structure is in good condition with no obvious signs of deterioration.</p> <p><b>Recommendation:</b> N/A.</p>

## STRUCTURAL ASSESSMENT

1317 Harrison Street,  
Hollywood, FL 33019



### 5. EXECUTIVE SUMMARY

#### **5.1. Building One**

Building one is undermined and requires foundation restoration work to restore foundation surface bearing area. A minor amount of rot was observed in the roof trusses, requiring additional destructive investigation and roof truss replacement as required.

#### **5.2. Building Two**

Building two is undermined and requires foundation restoration work to restore foundation surface bearing area. Inadequate supports for the interior floor joists were observed, requiring installation of new structure capable of resisting land settlement.

#### **5.3. Building Three**

Building three and related auxiliary structures are undermined and require foundation restoration work to restore foundation surface bearing area. A minor amount of rot was observed in the second floor framing, requiring additional destructive investigation and joists replacement as required.

#### **5.4. Building Four**

The garage area is in good condition. The attached entertainment area floor system is constructed directly on grade without any protective barrier against the elements and should be demolished and replaced with a new structure.

### 6. CONDITIONS AND ASSUMPTIONS

- 6.1. GCE's findings and report are based on engineering judgment following typical industry standards.
- 6.2. This report is not intended or to be used as a guarantee or warranty.
- 6.3. GCE's observations are based on current conditions and no estimate of deterioration rate could be determined. Therefore, any time frames provided within this report should be adjusted if conditions change.
- 6.4. GCE shall not be held liable for any damage or loss resulting from the failure of inspected structures.
- 6.5. In providing estimates of probable construction cost, the Client understands that GCE has no control over the cost or availability of labor, equipment or materials, or over market conditions or the Contractor's method of pricing, and that GCE's estimates of probable construction costs are made on the basis of professional judgment and experience. GCE makes no warranty, express or implied, that the bids or the negotiated cost of the Project will not vary from GCE's estimate of probable construction cost.



Planning and Zoning Board  
City of Hollywood  
2600 Hollywood Boulevard,  
Hollywood FL, 33022

**RE: CRITERIA STATEMENT(S) FOR APPLICABLE CRITERIA FOR HISTORIC PRESERVATION BOARD  
AT 1317 Harrison St.**

Dear Planning and Zoning Board,

This firm represents Tiram Real Estate Enterprises LLC (the “Applicant”), owners of the lots located at 1317 Harrison St., (“Property”). Please consider this letter the applicant’s letter of intent in support of an application seeking a certificate of appropriateness for design for two new proposed residences of such lots mentioned above.

**Property:** The property is located at 1317 Harrison St. The lot is 9,080 square feet in size and is identified by the Broward County Property Appraiser by ID No. for 1317 Harrison St 514214011580 The property has an existing home constructed in 1925 encompassing both lots. A swimming pool was added in 1970, and a small addition in 1975. The design intent is to create a new modern home on each parcel.

**Criteria Statement Analysis:**

Certificate of appropriateness for design.

**1. Integrity of Location**

The modern typology of the proposed new residence respects all the zoning setbacks and heights. We are keeping a portion of the original house to serve as a covered entry with beautiful rafters and a fireplace mantel which is visible to the street for the neighbors to see from the sidewalk. This seems to be the most architecturally significant space of the original house. The design also creates a private courtyard in the back for the family to enjoy.

## **2. Setting**

The setting of the proposed residence complements the street and neighborhood.

The house is a modern version of a historic design with fenestration architectural detail facing Harrison St. There are several other 2-story homes along the street and as a result, the new design is comparable with the homes in the area.

## **3. Materials**

The proposed residence will be constructed of concrete blocks. The facade materials primarily consist of stucco, simulated wood, exposed concrete, and other architectural claddings. The stucco will be painted white, and other appropriate colors, and the steel claddings will be bronze. Hurricane-impact doors and windows will be provided to make the home safe and allow natural light and ventilation. A swimming pool and luxurious landscaping will be included. All these materials are compatible with the homes in the neighborhood.

## **4. Workmanship**

As the residence is going to be occupied by the client. The intent is to deliver the residences with the best standards available. The workmanship and quality of the construction will meet or exceed the standards in the area by a licensed construction professional and specialty craftsman.

## **5. Association**

We believe this design will adhere to the Citywide Master Plan, the Comprehensive Plan, and the Hollywood Lakes Plan.

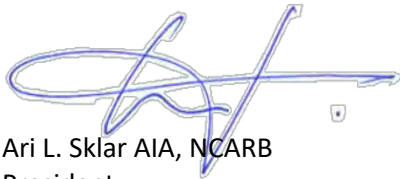
## **6. Design**

The proposed design of the house is well thought out and incorporates both modern and historic features. The proposed design criteria create a dynamic and proportional structure while, the interaction of its masses, textures, and transparencies, create an appropriate home for the neighborhood.

## **Conclusion.**

This application meets all the standards of the City regulations. We look forward to your review and approval. If you have any questions or concerns, please do not hesitate to call us at 954 925-9292

Sincerely,

A handwritten signature in blue ink, appearing to read 'A. Sklar', with a long horizontal stroke extending to the right. A small square notepad icon is visible at the end of the signature.

Ari L. Sklar AIA, NCARB  
President



# ARON TIRAM RESIDENCE #2

1317 HARRISON ST, HOLLYWOOD, FL

## PROJECT TEAM



### ARCHITECT OF RECORD:

2310 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020  
www.sklararchitect.com  
TEL - (954) 925-9292  
FAX - (954) 925-6292

AA 0002849  
IB 0000894  
NCARB CERTIFIED

OWNER:  
TIRAM REAL ESTATE ENTERPRISES LLC  
Mr. ARON TIRAM  
Address: 1317 HARRISON ST HOLLYWOOD FL

LANDSCAPE ARCHITECT:  
GUILLERMO SALAZAR M.S.  
ISA CERTIFIED ARBORIST  
LANDSCAPE DESIGNER/HORTICULTURIST  
FOLIAGE EXPRESSIONS LLC  
WWW.FOLIAGEEXPRESSIONS.COM  
(754)234-1024

CIVIL ENGINEER:  
ZEPHYR ENGINEERING INC.

WILFORD ZEPHYR P.E.  
HOLLYWOOD, FL  
TEL - (786) 302-7893  
WZEPHYR@GMAIL.COM  
CA# 31158

SURVEYOR:

## PROJECT PRELIMINARY RENDERING



## DRAWING INDEX

### ARCHITECTURE

- A0.0 COVER
- A0.1 MICROFILMS
- A0.2 EXISTING HOUSE PHOTOS
- A0.3 EXISTING HOUSE PHOTOS
- A0.4 HARRISON STREET PROFILE
- A0.5 AREA FLOOR PLANS
- A0.6 LOT COVERAGE PLAN
- A1.0 SITE PLAN
- A1.1 B&W SITE PLAN
- A2.0 GROUND FLOOR
- A2.1 2ND FLOOR
- A2.3 ROOF PLAN
- A4.0 ELEVATIONS SOUTH + WEST
- A4.1 ELEVATIONS EAST+ NORTH
- A5.0 SECTIONS 1 + 2
- A5.1 SECTION 3
- A10.0 FRONT RENDER
- A10.1 SOUTH WEST RENDER
- A10.2 SOUTH EAST RENDER
- A10.3 NORTH WEST RENDER
- A10.4 NORTH EAST RENDER
- A11.0 EXTERIOR FINISHES BOARD

### LANDSCAPE

- L-200 TREE DISPOSITION PLAN
- L-210 LANDSCAPE PLAN AND DETAILS

### CIVIL

- C1 EROSION & SEDIMENT CONTROL PLAN
- C2 PAVING, GRADING & DRAINAGE PLAN
- C3 FDOT DETAILS
- C4 WATER & SEWAGE PLAN & DETAILS
- C5 WATER & SEWAGE DETAILS

### SURVEY

## ZONING DATA

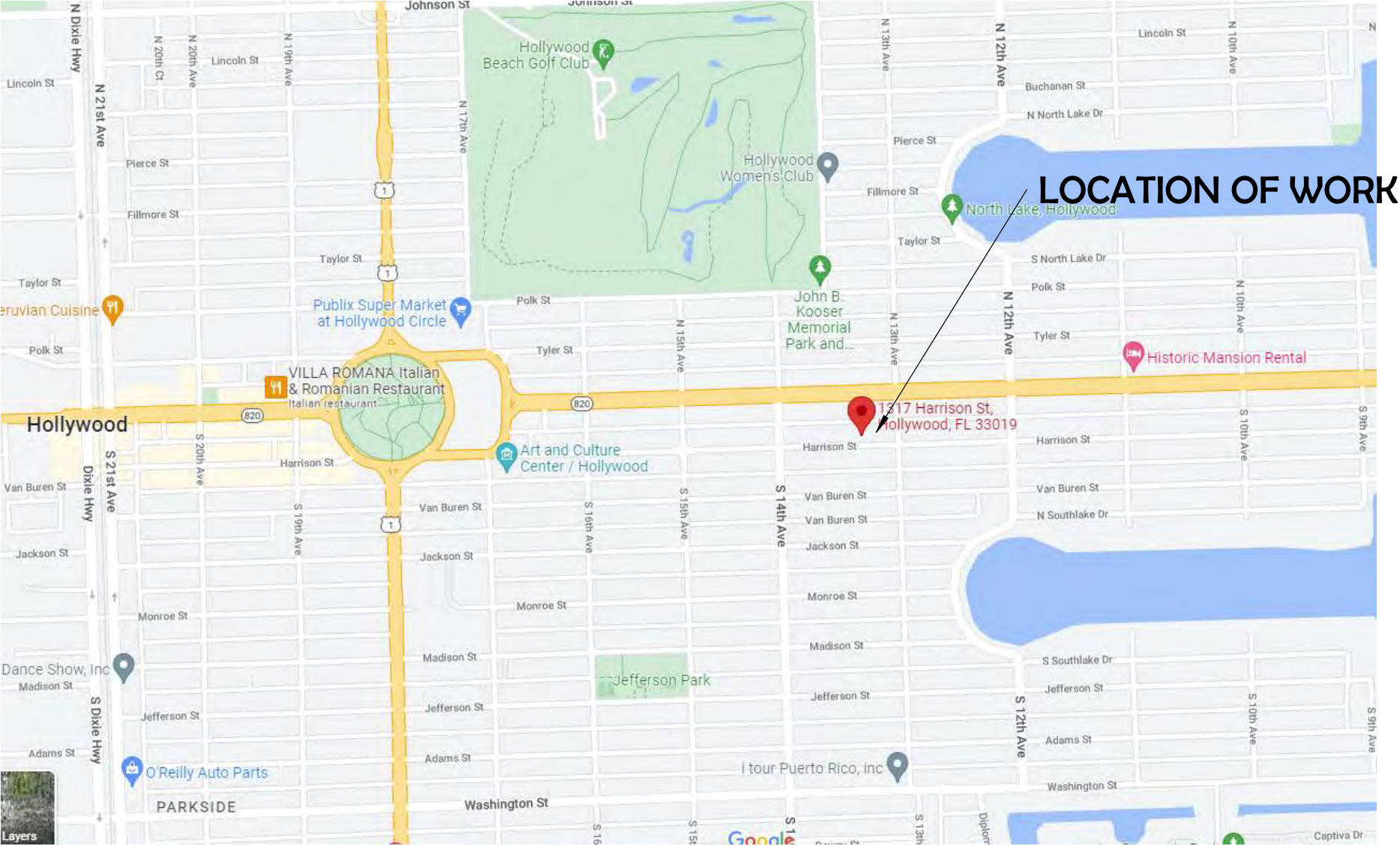
GENERAL	REQUIRED	PROPOSED
ZONING:	RS-6	
LAND USE:	LRES - RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE AE BFE 6' NAVD	7' NAVD
HEIGHT:	2 STORIES (30 FT)	2 STORIES + ROOFTOP 30'
LOT SIZE:	9,080 SF	
SQ FEET OF HOUSE:		6,031 SF
MIN. LOT WIDTH	60 FT	75 SF
MIN. UNIT SIZE	1,000 SF	3,964 SF
LANDSCAPE AREA	40%	51% = 4,717 SF
FRONT LANDSCAPE AREA	20%	56.48% = 1,059 SF
PERVIOUS AREA		4,326 SF
IMPERVIOUS AREA		4,717 SF
A/C AREA GROUND FLOOR		1,769 SF
A/C AREA SECOND FLOOR		2,195 SF
		3,964 SF
SETBACKS		
FRONT	25'-0"	25'-0"
SIDE	SUM OF SIDEYARDS 25% OF LOT WIDTH NO LESS THAN 7.5' LOT WIDTH 75' - 25% REQ SETBACK: 18.75'	WEST 9' - 0" + EAST 10' - 0" = 19'
REAR	15% OF LOT DEPTH 50' MAX. NO LESS THAN 15' 121' X 15% : 18 - 3"	18'-3"
PARKING		
	2 SPACES UP TO 2,000SF + 1 SPACE PER 500 SQ. FT ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT TOTAL A/C AREA : 3,964 SF : 5 SPACES REQUIRED	5 PARKING SPACES

## SCOPE OF WORK

NEW 2 STORY + ROOFTOP RESIDENCE

A/C AREA 3,964 SF

## LOCATION MAP



SCALE: N.T.S.



TIRAM RESIDENCE 2  
1317 HARRISON ST HOLLYWOOD FL.

ZONING DATA  
1/4" = 1'-0"

COVER

Project #22-018

Ao.o



SKLARArchitecture  
Commercial & Residential Architecture  
P : 954 925 9292  
www.sklararchitect.com







FLORIDA MASTER SITE FILE  
Site Inventory Form

EDAHM 802 = 1000 =

Site Name: Edwin R. Cross Residence 830 = Site No. 820 =  
Address of Site: 1317 Harrison Street, Hollywood, Florida 905 =  
Instruction for locating: on the N. side of Harrison St. between 13th and 14th Ave. 813 =  
Location: Hollywood Lakes Section 1-12 n 8 10, 11, 12 868 =  
County: Broward 908 =  
Owner of Site: Name: Marion T. Smith 942 =  
Address: 1317 Harrison Street 942 =  
Type of Ownership: Private 848 = Recording Date 942 =  
Name & Title: Marilyn Kemper, Director 942 =  
Address: Historic Broward County Preservation Office 882 =  
Condition of Site: Integrity of Site 882 = Original Use: Residential 850 =  
Check this: ☐ Existing 802 = ☐ Altered 802 = Present Use: Residential 850 =  
☐ Good 802 = ☐ Unimproved 802 = Date: beginning 01/25 844 =  
☐ Fair 802 = ☐ Original Site 802 = Culture: American 840 =  
☐ Deteriorated 802 = ☐ Restored 802 = Period: Twentieth Century 845 =  
NR Classification Category: Building 916 =  
Threats to Site: Check One or More  
☐ Zoning: Y 1878 = ☐ Transportation: X 1878 =  
☐ Development: Y 1878 = ☐ Fire: Y 1878 =  
☐ Deterioration: Y 1878 = ☐ Other: X 1878 =  
Area of Significance: Historical, Streetscape, Other 910 =  
Significance: HISTORICAL: 1925: As indicated on "Building Cards, Broward County Property Appraiser's Office."  
STREETSCAPE: One of a series of residences on Harrison St. between 13th and 14th Ave. Establishes a definite character, but the site is too dispersed to form a district. However, neighborhood conservation is recommended.  
OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.  
Additional Statement of Significance attached. 911 =

ARCHITECT: Unknown 872 =  
BUILDER: Unknown 874 =  
STYLE AND/OR PERIOD: Mediterranean Revival 954 =  
PLAN TYPE: Irregular; unknown 966 =  
EXTERIOR FABRIC(S): Stucco; unknown 854 =  
STRUCTURAL SYSTEM(S): Masonry; concrete block 958 =  
PORCHES: Unknown 942 =  
FOUNDATION: Plaster concrete block, unknown 942 =  
ROOF TYPE: Flat, built-up 942 =  
SECONDARY ROOF STRUCTURES: Gable 942 =  
CHIMNEY LOCATION: RA 942 =  
WINDOW TYPE: Jalousie, metal, paired 942 =  
CHIMNEY: 12 882 =  
ROOF SURFACING: Built-up 882 =  
ORNAMENT EXTERIOR: 882 =  
NO. OF CHIMNEYS: 952 = NO. OF STORIES: 1 950 =  
NO. OF DORMERS: 854 =  
Map Reference (incl. scale & date): 1800 Ft. Lauderdale South, Fla. 809 =  
Latitude and Longitude: 809 =  
Site Size (Approx. Acreage of Property): 0.1 833 =  
LOCATION SKETCH OR MAP: Township 17 Range 42 Section 14 812 =  
UTM Coordinates: 17 586800 2876980 890 =  
Photographic Records Numbers: B18/P25 890 =  
Contact Print: 811 =

Statement of Significance:

HOLLYWOOD, CITY OF  
1317 Harrison Street

HOLLYWOOD HERALD, April 1, 1932

"Coffee King Is Purchaser of a Hollywood Home"

Sales this week included a lot in the Lakes section and also the beautiful home of Spanish architecture at 1317 Harrison Street owned by Edwin R. Cross. This property was sold for cash to William T. Rich of Newton, Massachusetts who in former years was a guest at the Beach Hotel after introduction to Hollywood through his friendship with W. J. Cozens of W. J. Cozens Realty. He had prior to that wintered for several years at the Royal Palm Hotel in Miami.

Until recently, Mr. Rich was president of the Chase and Sanborn Coffee Company with headquarters in Boston and Chicago. He is well known throughout the eastern states as one of the outstanding laymen of the Methodist Episcopal Church.

Mr. Rich plans to make Hollywood his future permanent winter home and is having the Harrison Street property and adjacent lot landscaped and redecorated under the supervision of Cozens.



Page 1 HISTORICAL STRUCTURE FORM  
FLORIDA SITE FILE

Site Name: EDWIN R. CROSS RESIDENCE  
Recorder # 0  
Field Date: 1/1/95  
Form Date: 1/5/95  
Survey: No Original  
Multisite: Yes Update  
National Register Category: BUILDING  
Survey #: 88D00498

LOCATION AND IDENTIFICATION

Address (include N.S.E.W. of st. ave, etc.): 1317 HARRISON ST  
Cross Streets (nearest/between): 13 AND 14 AVE  
Nearest City/Town: HOLLYWOOD  
County: BROWARD  
Subdivision Name: HMD LAKES 1-32B  
Block: 8  
Lots: 10, 11, 12  
Name of Public Tract (e.g., park):  
Route To: N SIDE OF HARRISON ST

MAPPING

USGS Map Name: FT LAUD SOUTH 1982 PR 1989  
Township: 51 Range: 42 Sect: 14 1/4 SW 1/4 - 1/4 NW Irreg. Sect: 7 No  
UTM ZONE (18 OR 17): 17 Easting: 586800 Northing: 2876980  
Landmarks:  
Plot or Other Map (Map's name, location): HMD LAKES 1-32B

DESCRIPTION

Style: MISSION  
Structural Systems: MASONRY, CONCRETE BLOCK  
Foundation Types: PIERS  
Exterior Fabrics: STUCCO  
Roof Types: GA FLAT, SHED  
Secondary Stairs (dormers etc.): NONE  
Chimney: No. 1 Materials: STUCCO Locations: WEST, OFFSET, INTERIOR  
Windows: Types: AWNING 1", GLASS BLOCK Materials: ANODIZED ALUM  
Main Entrance (stylistic details): QUONED STUCCO ENTRYWAY  
Open Porches: 0 Closed: 0 Incised: 0 Locations: NONE  
Porch Roof Types:  
Exterior Ornament: TICI, STUC  
Interior Plan: UNKNOWN  
Surroundings: A-RESI  
Ancillary Features: GRGE-REAR, PBR, WALL, POOL  
Archaeological Remains at Site: NONE-NA  
NARRATIVE: (eg description of interior, landscape, architecture, etc. 280 character limit).  
SCULPTURE AND A ROW OF BARREL TILE ENHANCING THE FLAT ROOF LINE ADD TO THE INTEGRITY OF THIS MISSION STYLE HOUSE. ADD. FEATURES INCLUDE A RECESSED POOL WINDOW W/ A SEGMENTED ARCH; PORTE-COCHERE; DEC STONE SILL, TICI PARAPET, AND ELAB CHIMNEY.

Page 2 HISTORICAL STRUCTURE FORM  
HISTORY

Construction Date: 1925  
ARCHITECT (last name first): UNKNOWN  
BUILDER (last name first): UNKNOWN  
Moves: No. Date: Original Use (give dates):  
Alterations: Yes. Date: RESIDENCE From To  
Intermediate Uses (give dates): RESIDENCE From To  
Present Uses (give dates): RESIDENCE From To

OWNERSHIP HISTORY:

HMD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME." ACCORDING TO THIS PUBLICATION EDWIN GLOSS SOLD THIS PROPERTY TO WILLIAM RICH, PRES OF CHASE AND SANBORN COFFEE CO ON THIS DATE. STATEMENT ATTACHED.

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

No. Archaeological survey/testing: Yes. Tax records only: Yes. Library research: Yes. Subdivision maps: Yes.  
No. Exposures inspected, informal: No. Interior inspection: Yes. Library special collection: Yes. Sanborn maps: Yes.  
No. Controlled archaeological surf collect: Yes. FMSP survey search: Yes. Building permits: Yes. Paid maps: Yes.  
No. Archaeological form completed: Yes. FMSP site search: Yes. Denomination permits: No. Newspapers: No.  
No. Public Lands Survey: No. FL Archives (Gray BG): No. Commercial permits: No. Occupant interview: No.  
No. Tax records/property deeds: No. FL Photo Archives: No. Occupation permits: Yes. Neighbor interview: Yes.  
No other: (Specify)

SURVEYOR'S EVALUATION OF SITE

Potentially eligible for local designation? Yes  
Individually eligible for National Register? No Category: HPD-2  
Potential contributor to National Register district? No  
Historical Associations: ARCHITECTURE  
Explanation of Evaluation:  
BLDG DATES FROM EARLIEST CONSTRUCTION PERIOD IN HMD AND IS AN EXAMPLE OF MISSION STYLE WHICH FEATURES INCLUDE FLAT ROOFS W/STRAIGHT OR CURVED PARAPETS, EDGED WTILE OR RAISED MOLDING, AND USE OF SCULPTURE, STUCCO AND ARCHES.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use continuation Sheet, give FSP Manuscript # if relevant):  
C1925: AS INDICATED ON "BUILDING CARDS, BROWARD COUNTY PROPERTY APPRAISER'S OFFICE," HMD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HMD HOME." STATEMENT ATTACHED.

Location of negatives + negative numbers: 88D0498/FRAME 51  
NOTE: For complete entry on "Structure" please refer to the REPOSITORY section to input information on photographs.

RECORDER

Recorder Name: NPE, FRANCES  
Recorder Address: 2801 HMD BLVD, HMD, FL 33020-9455  
Recorder Phone: 954-925-1347  
Attention: COM PLAN DIV, CITY OF HMD

Page 3 HISTORICAL STRUCTURE FORM  
ADDITIONAL INFORMATION

OWNERSHIP HISTORY: HOLLYWOOD HERALD, APRIL 1, 1932, "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME." SALES THIS WEEK INCLUDED A LOT IN THE LAKES SECTION AND ALSO THE BEAUTIFUL HOME OF SPANISH ARCHITECTURE AT 1317 HARRISON STREET OWNED BY EDWIN GLOSS. THIS PROPERTY WAS SOLD FOR CASH TO WILLIAM T. RICH OF NEWTON, MASSACHUSETTS WHO IN FORMER YEARS WAS A GUEST AT THE BEACH HOTEL AFTER INTRODUCTION TO HOLLYWOOD THROUGH HIS FRIENDSHIP WITH W. J. COZENS OF W. J. COZENS REALTY. HE HAD PRIOR TO THAT WINTERED FOR SEVERAL YEARS AT THE ROYAL PALM HOTEL IN MIAMI. UNTIL RECENTLY, MR. RICH WAS PRESIDENT OF THE CHASE AND SANBORN COFFEE COMPANY WITH HEADQUARTERS IN BOSTON AND CHICAGO. HE IS WELL KNOWN THROUGHOUT THE EASTERN STATES AS ONE OF THE OUTSTANDING LAYMEN OF THE METHODIST EPISCOPAL CHURCH. MR. RICH PLANS TO MAKE HOLLYWOOD HIS FUTURE PERMANENT WINTER HOME AND IS HAVING THE HARRISON STREET PROPERTY AND ADJACENT LOT LANDSCAPED AND REDECORATED UNDER THE SUPERVISION OF COZENS.

BIBLIOGRAPHIC REFERENCES: "COFFEE KING IS PURCHASER OF A HOLLYWOOD HOME," HOLLYWOOD HERALD, APRIL 1, 1932.

#### Historic Properties: Harrison Street

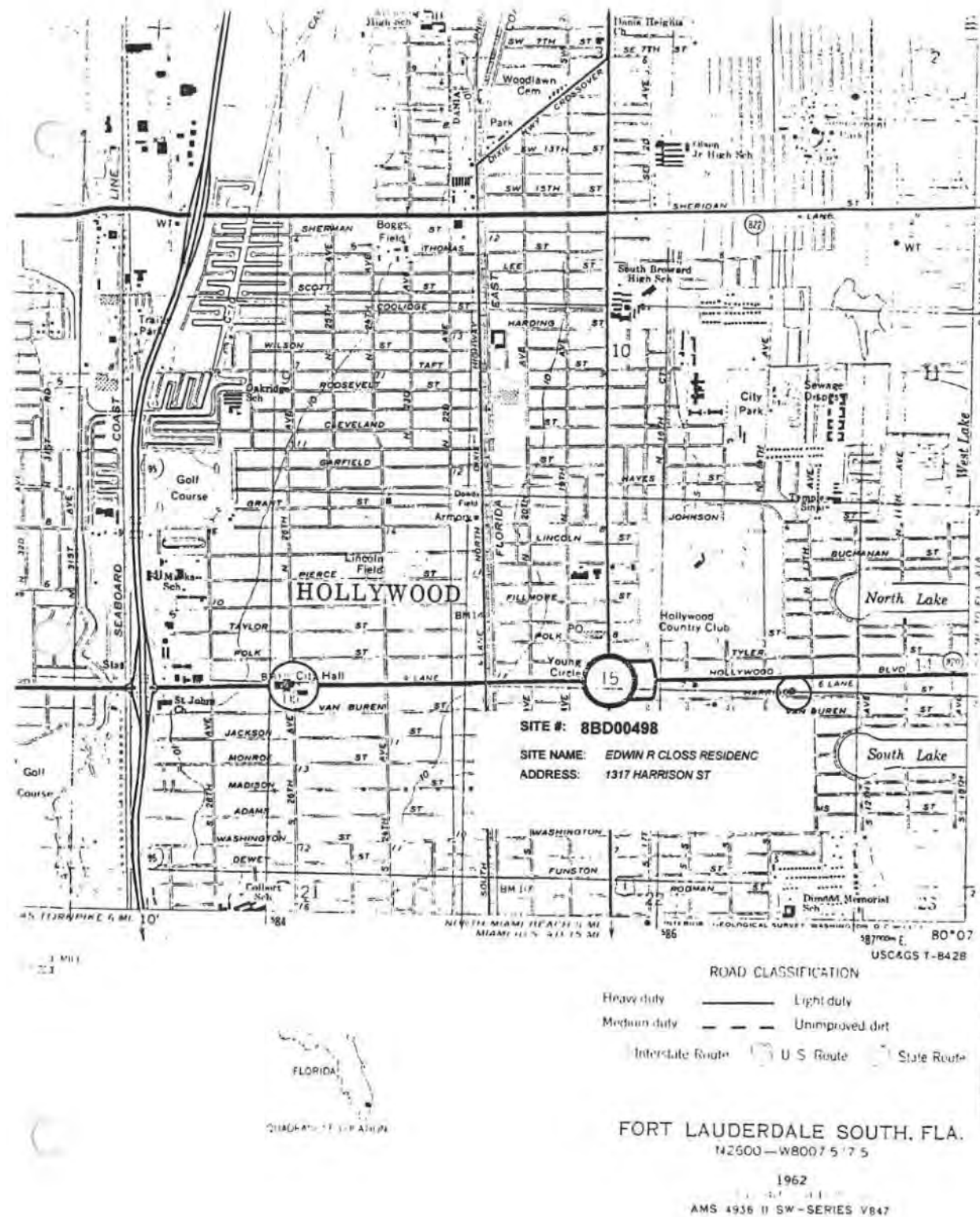


1317 Harrison Street Mission Style c. 1925  
A porte cochere adds integrity to this Mission Style house. The windows have been altered.

#### Historic Properties: Harrison Street



1317 Harrison Street Mission Style c. 1925  
A porte cochere adds integrity to this Mission Style house. The windows have been altered.







PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARArchitecture INC. ©



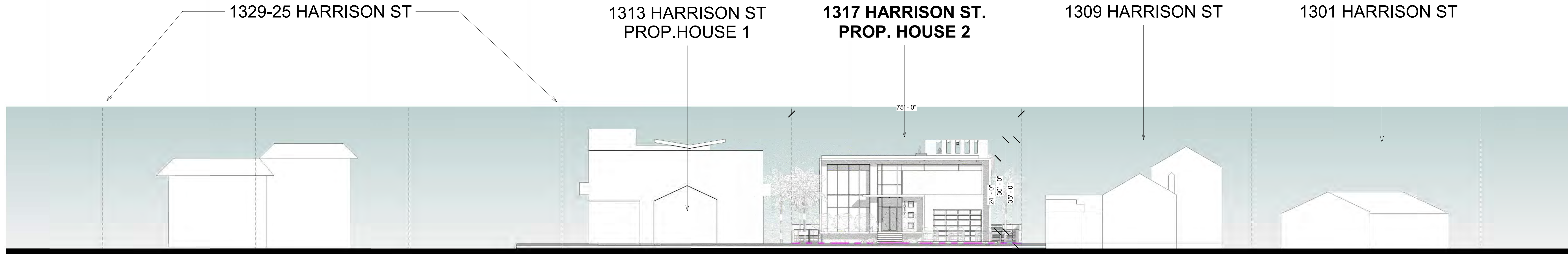


PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARArchitecture INC. ©





EXISTING HOUSE

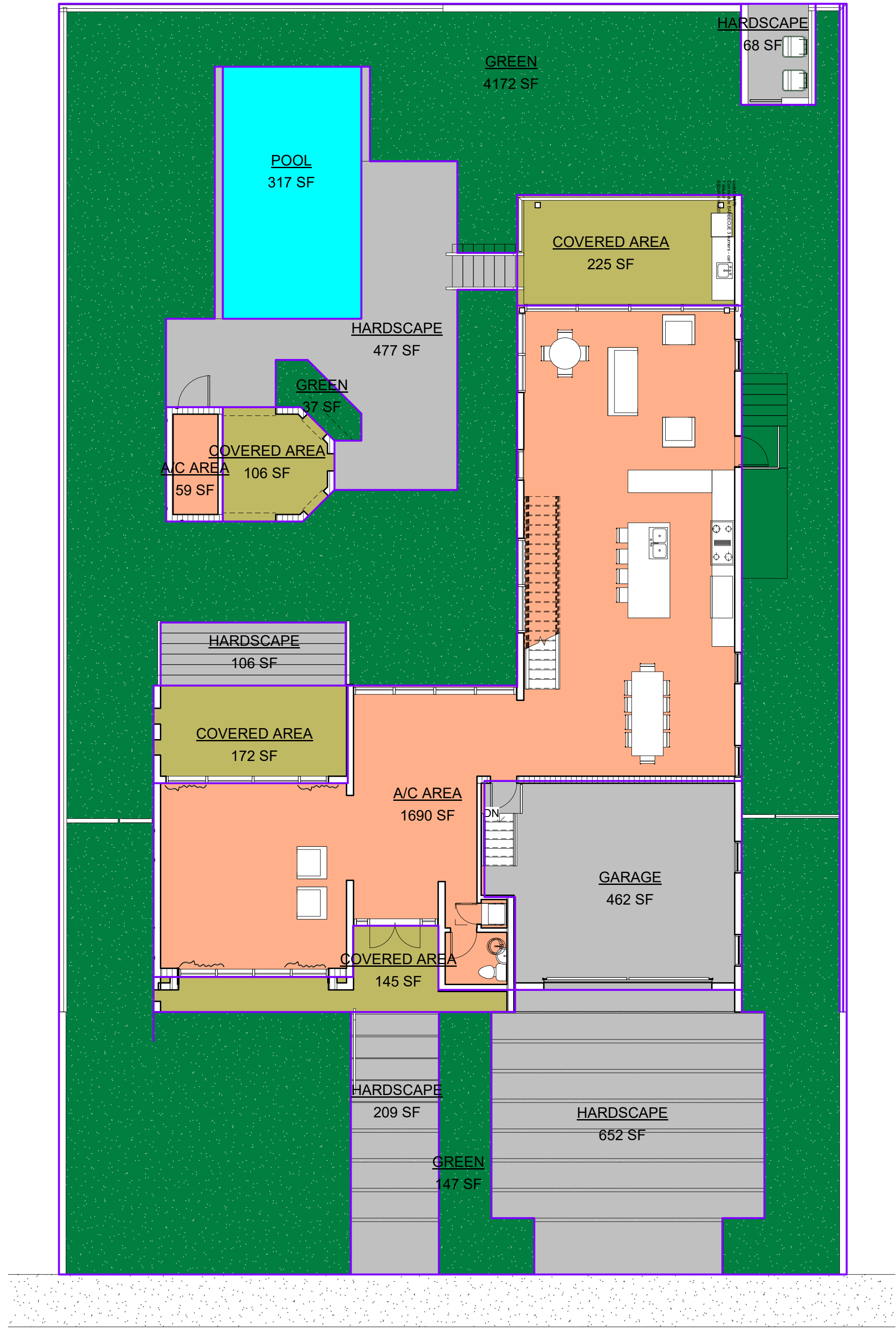


① STREET PROFILE  
1/16" = 1'-0"

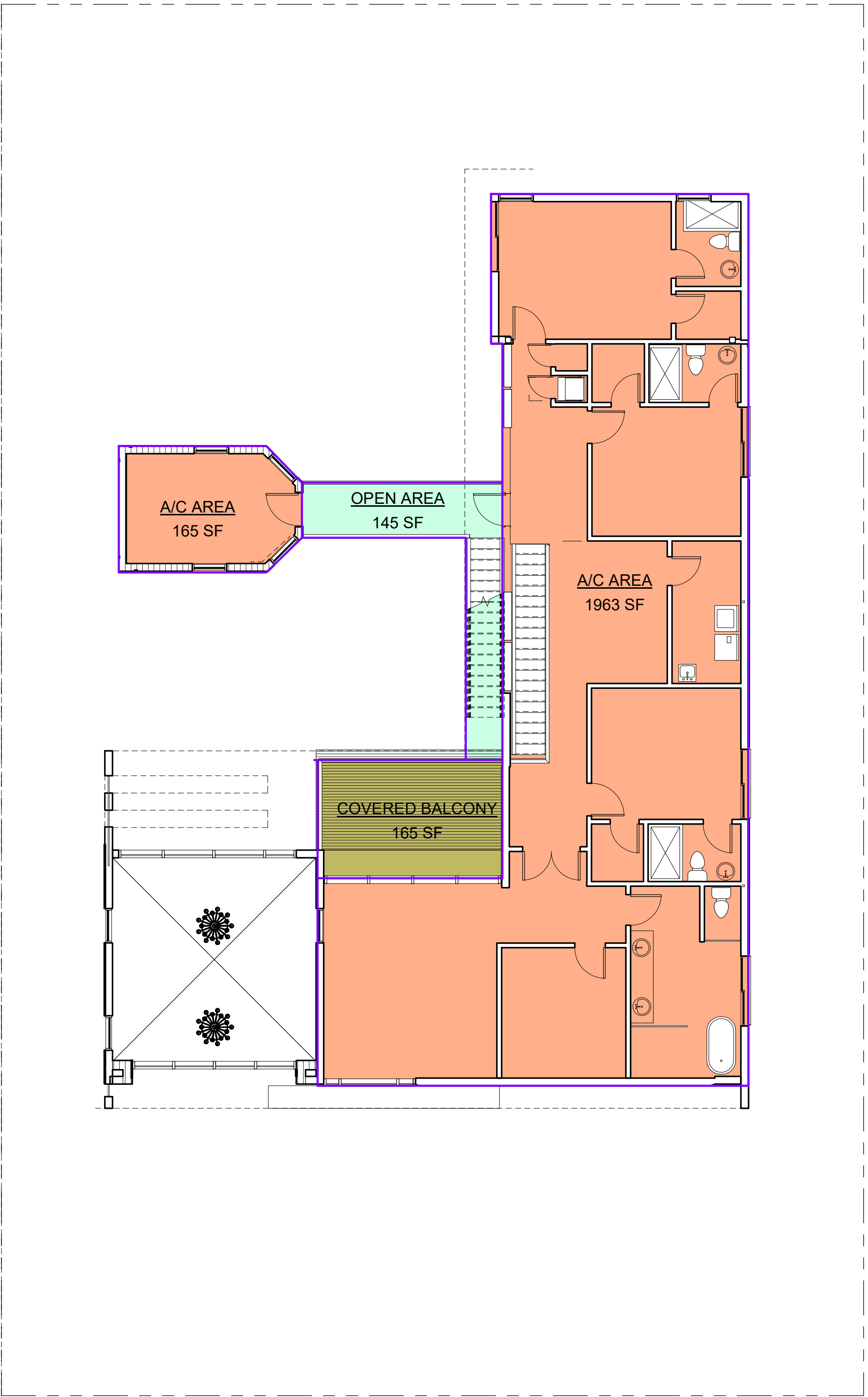


PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©

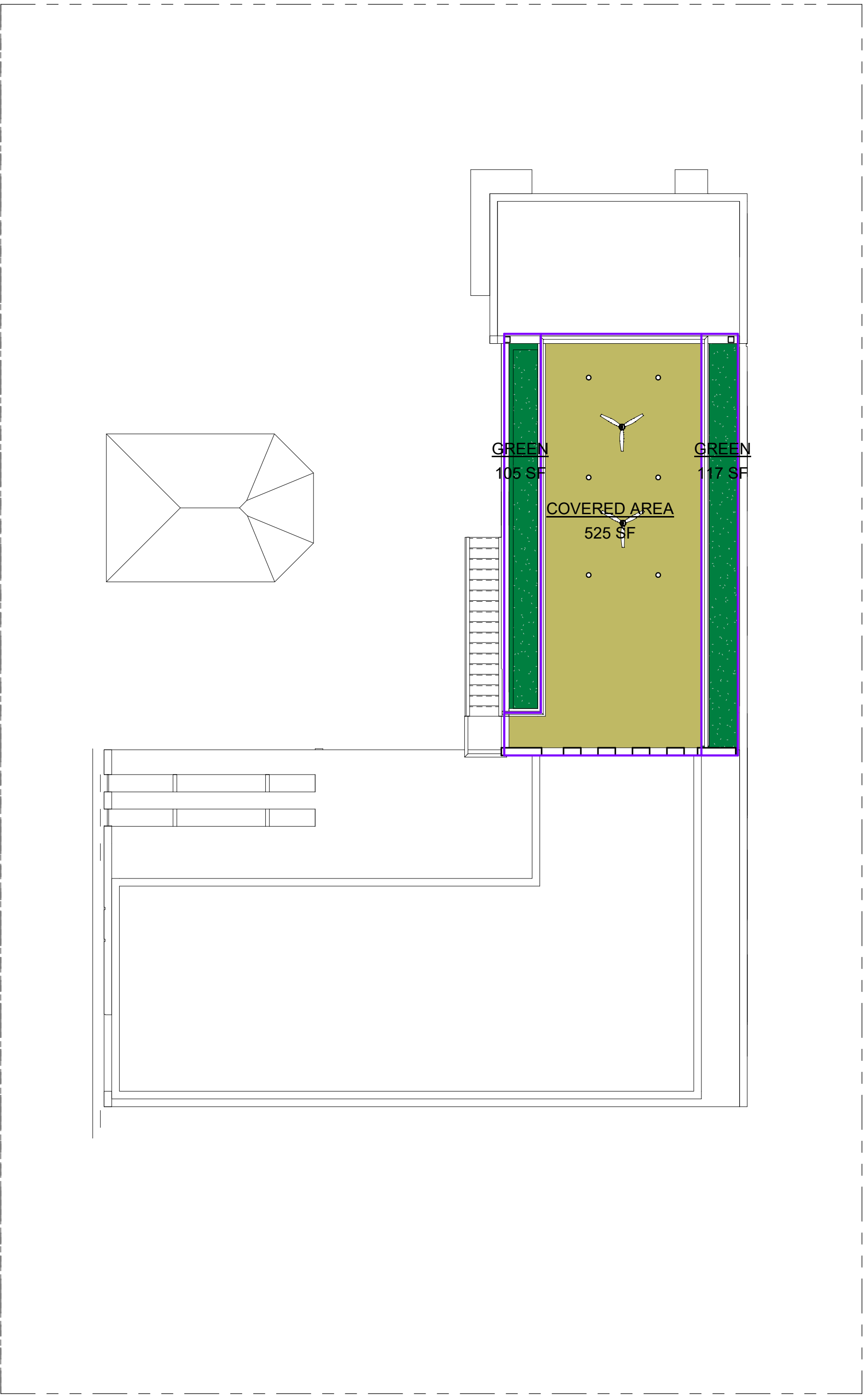




① GROUND FLOOR.  
1/8" = 1'-0"



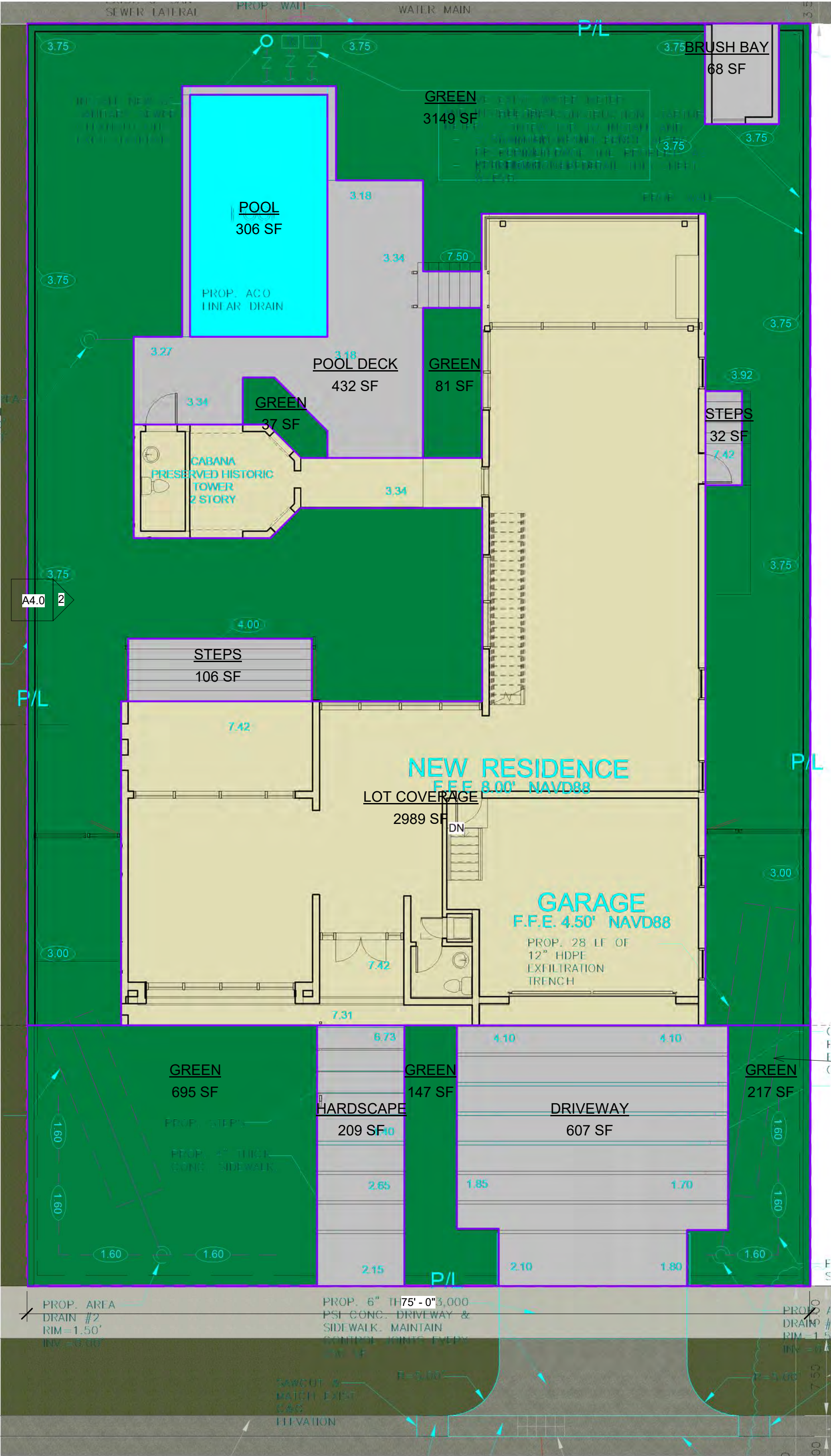
② 2ND FLOOR  
1/8" = 1'-0"



③ ROOFTOP  
1/8" = 1'-0"

PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





① GARAGE  
1/8" = 1'-0"

LOT COVERAGE AREA PLAN

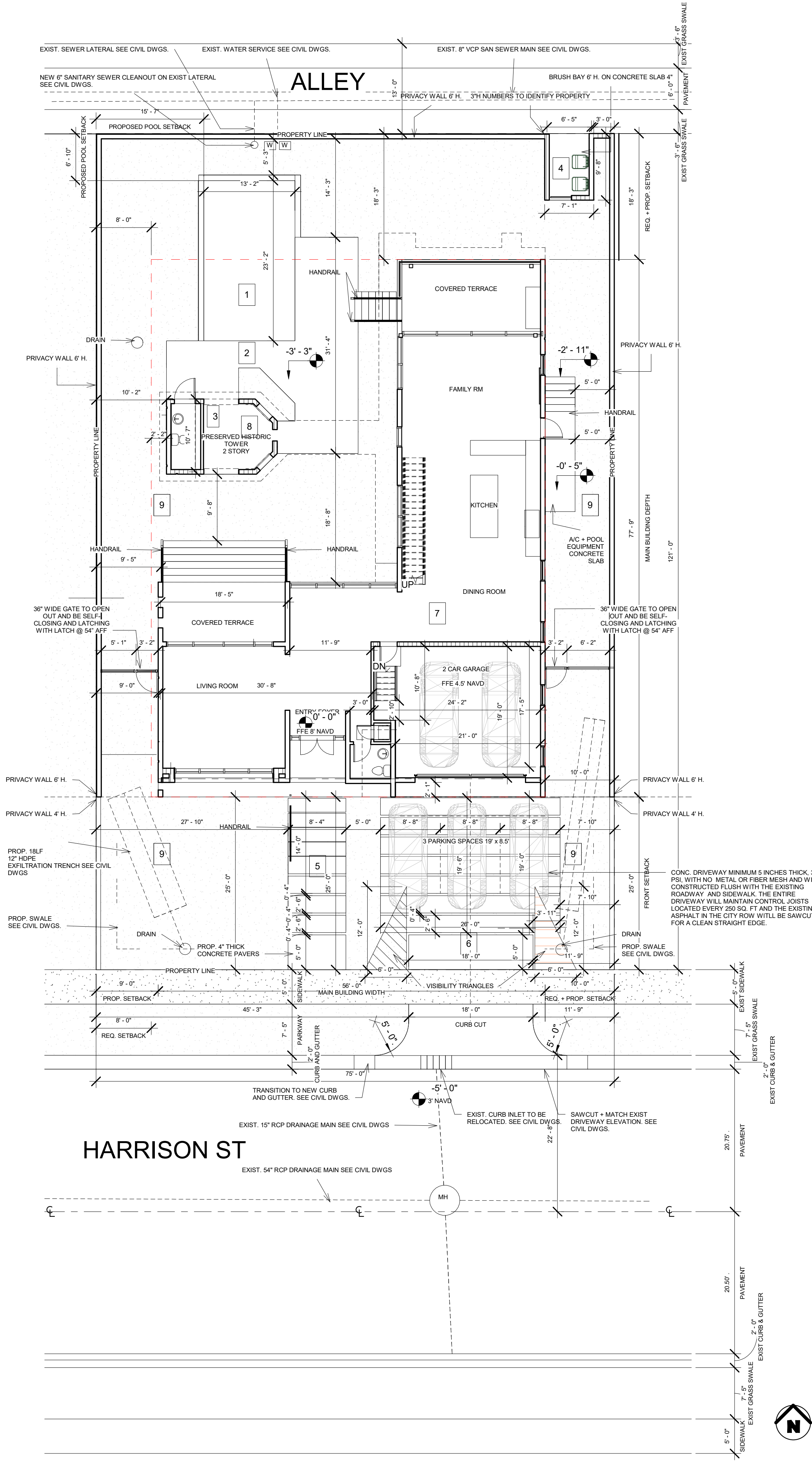
PERVIOUS AREA	4,326 SF
IMPERVIOUS AREA	4,717 SF
LOT COVERAGE	2,989 SF

FRONT YARD AREA =  
75' X 25' = 1,875 SF  
1,875 SF X 20% = 375  
SF LANDSCAPE AREA  
REQUIRED  
56.48% 1,059 SF  
LANDSCAPE  
PROPOSED







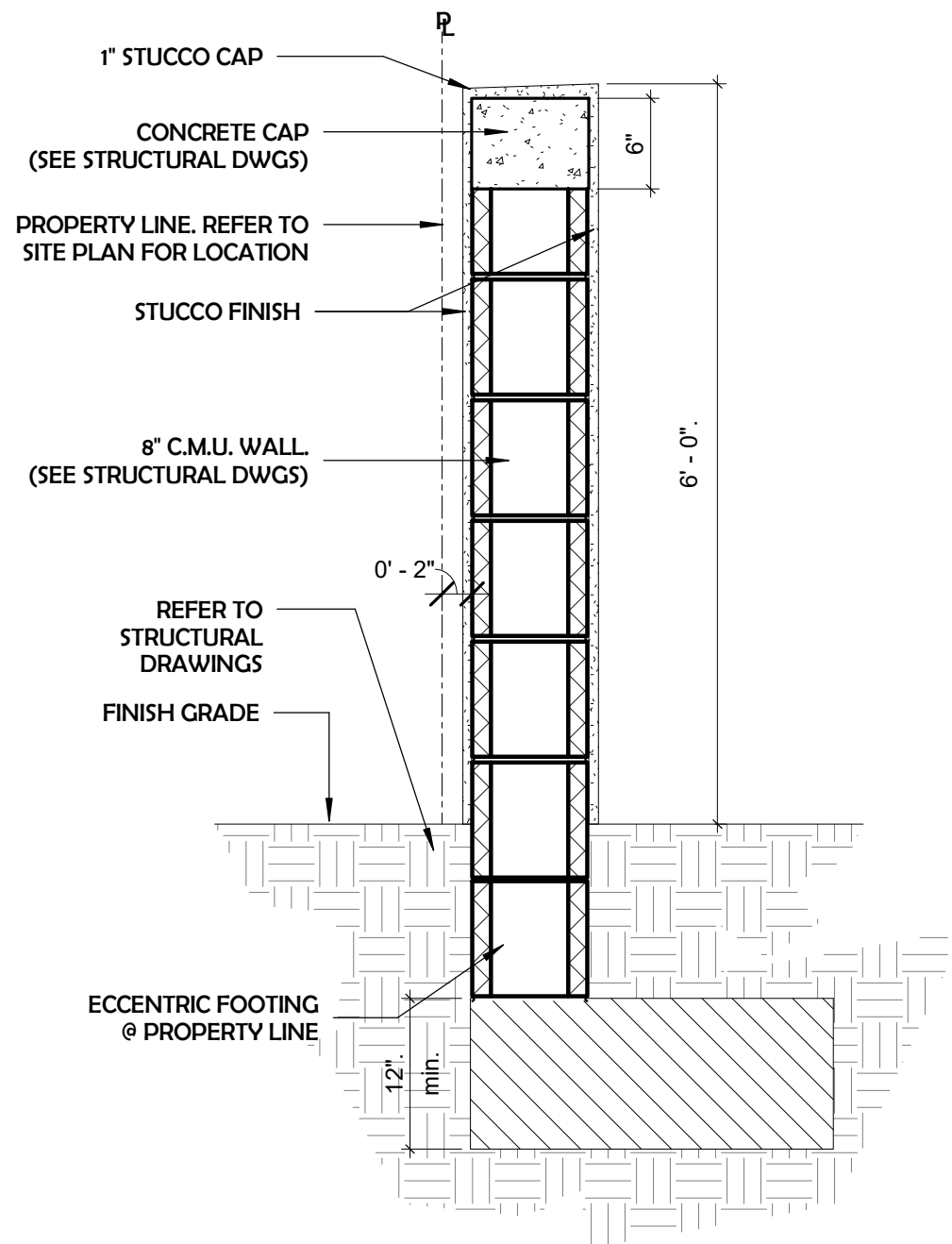


1 SITE PLAN B&W  
1" = 10'-0"

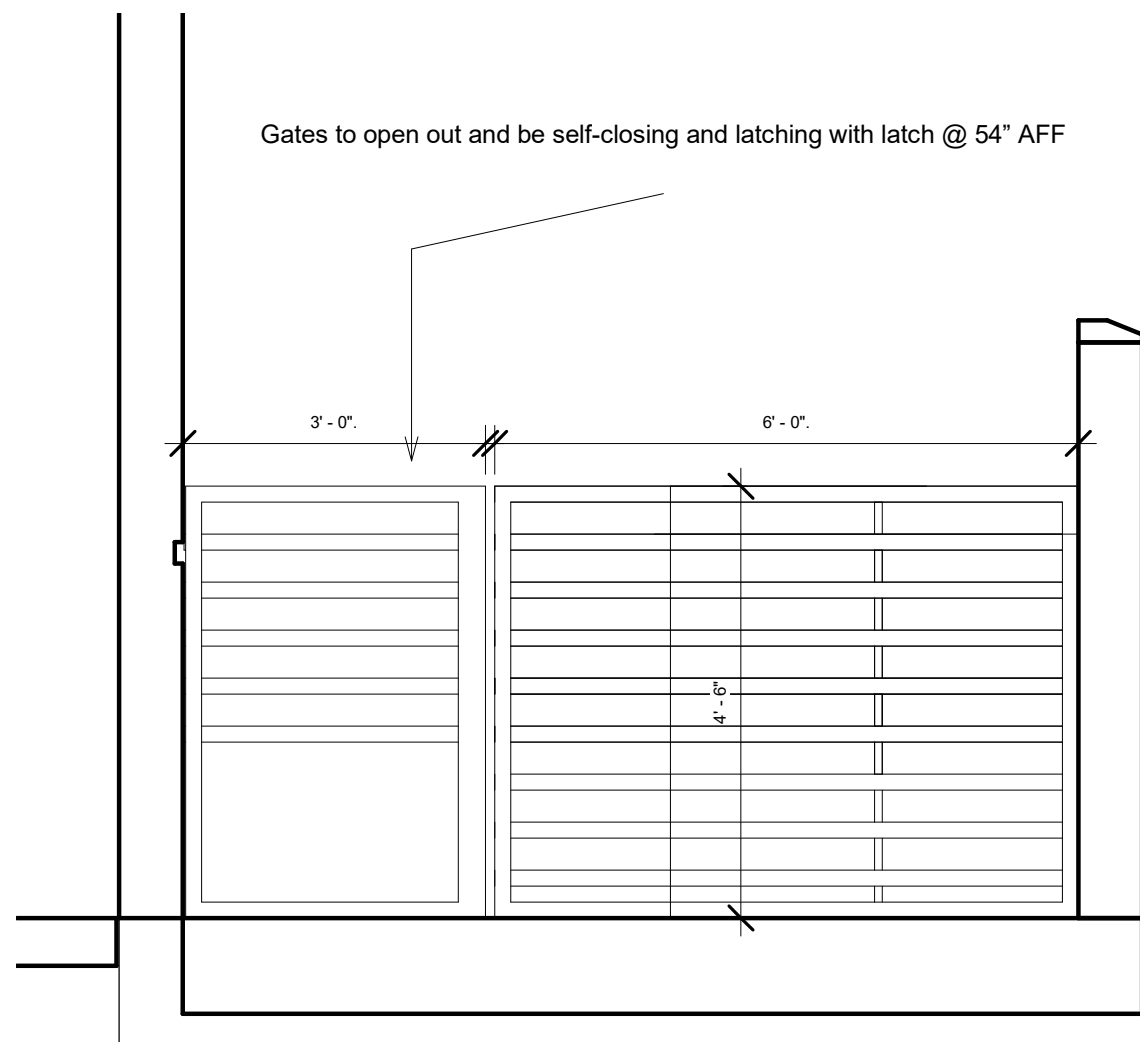
1	POOL
2	POOL DECK
3	CABANA
4	BRUSH BAY
5	WALKWAY
6	DRIVEWAY
7	A/C AREA
8	HISTORIC TOWER
9	LANDSCAPE SEE L PLANS

GENERAL	REQUIRED	PROPOSED
ZONING:	RS-6	
LAND USE:	LRES - RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE AE BFE 6' NAVD	7' NAVD
HEIGHT:	2 STORIES (30 FT)	2 STORIES + ROOFTOP 30'
LOT SIZE:	9,080 SF	
SQ FEET OF HOUSE:		6,031 SF
MIN. LOT WIDTH	60 FT	75 SF
MIN. UNIT SIZE	1,000 SF	3,964 SF
LANDSCAPE AREA	40%	51% = 4,717 SF
FRONT LANDSCAPE AREA	20%	56.48% = 1,059 SF
PERVIOUS AREA		4,326 SF
IMPERVIOUS AREA		4,717 SF
A/C AREA GROUND FLOOR		1,769 SF
A/C AREA SECOND FLOOR		2,195 SF
		3,964 SF
SETBACKS		
FRONT	25'-0"	25'-0"
SIDE	SUM OF SIDEYARDS 25% OF LOT WIDTH NO LESS THAN 7.5' LOT WIDTH 75' - 25% REQ SETBACK: 18.75'	WEST 9' - 0" + EAST 10' - 0" = 19'
REAR	15% OF LOT DEPTH 50' MAX. NO LESS THAN 15' 121' X 15% : 18 - 3"	18'-3"
PARKING		
2 SPACES UP TO 2,000SF + 1 SPACE PER 500 SQ. FT. ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT TOTAL A/C AREA : 3,964 SF : 5 SPACES REQUIRED		5 PARKING SPACES

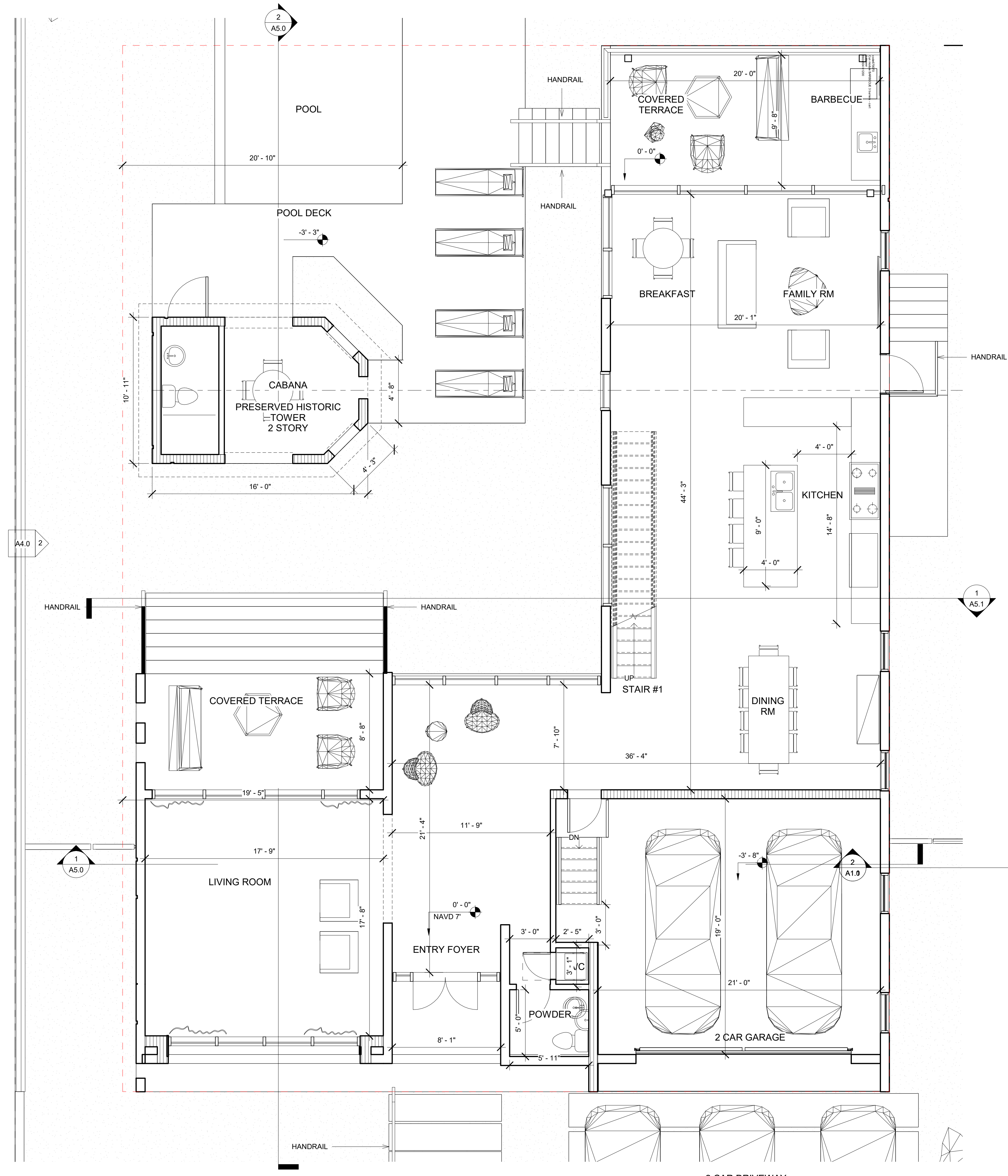
ZONING DATA  
1/4" = 1'-0"



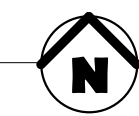
PROPERTY WALL DETAIL  
1" = 1'-0"



2 SIDE GATES DETAIL  
1/2" = 1'-0"



1 GROUND FLOOR.  
1/4" = 1'-0"



Project #22-018

A2.0

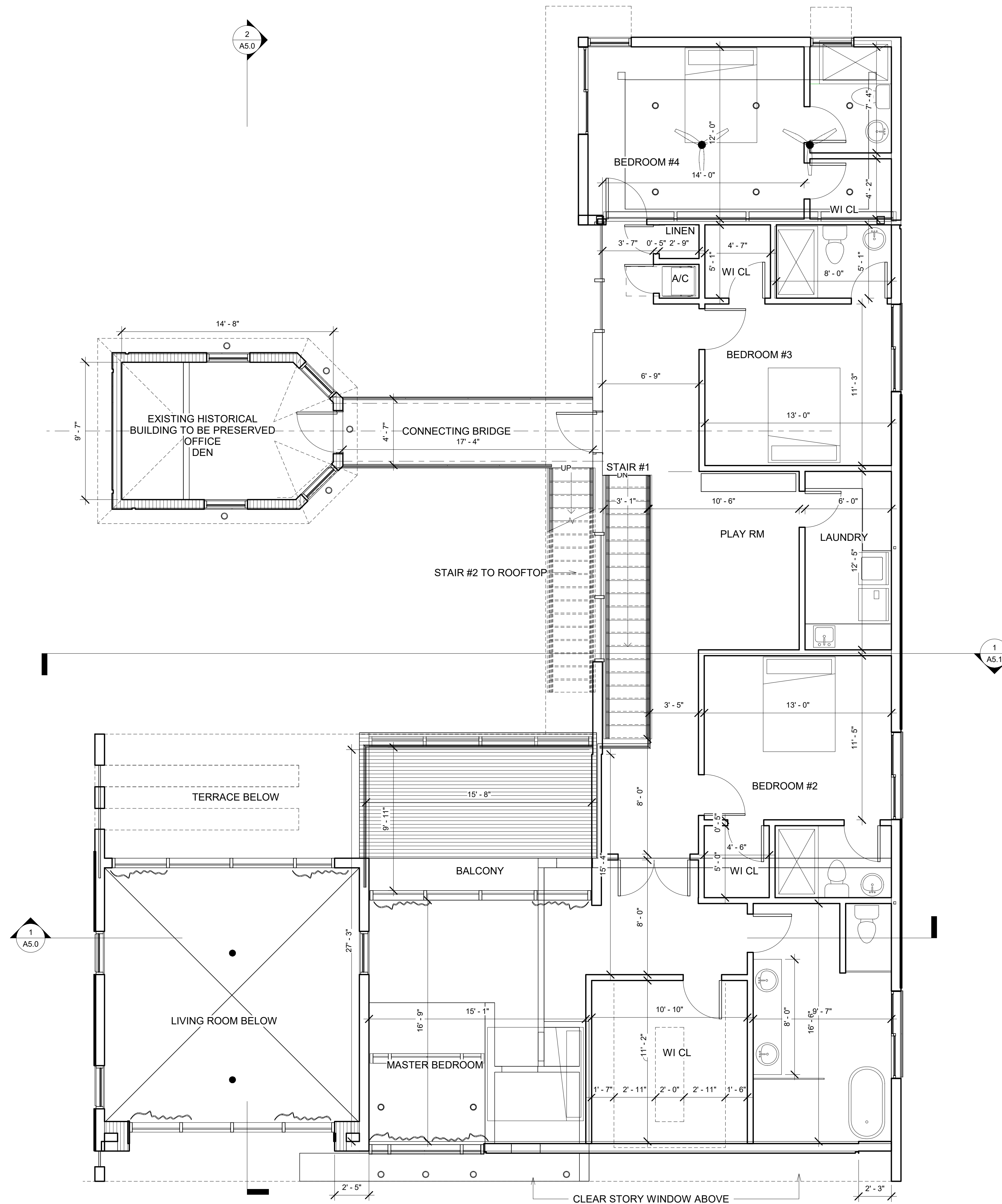
PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©



TIRAM RESIDENCE 2  
1317 HARRISON ST HOLLYWOOD FL.

GROUND FLOOR



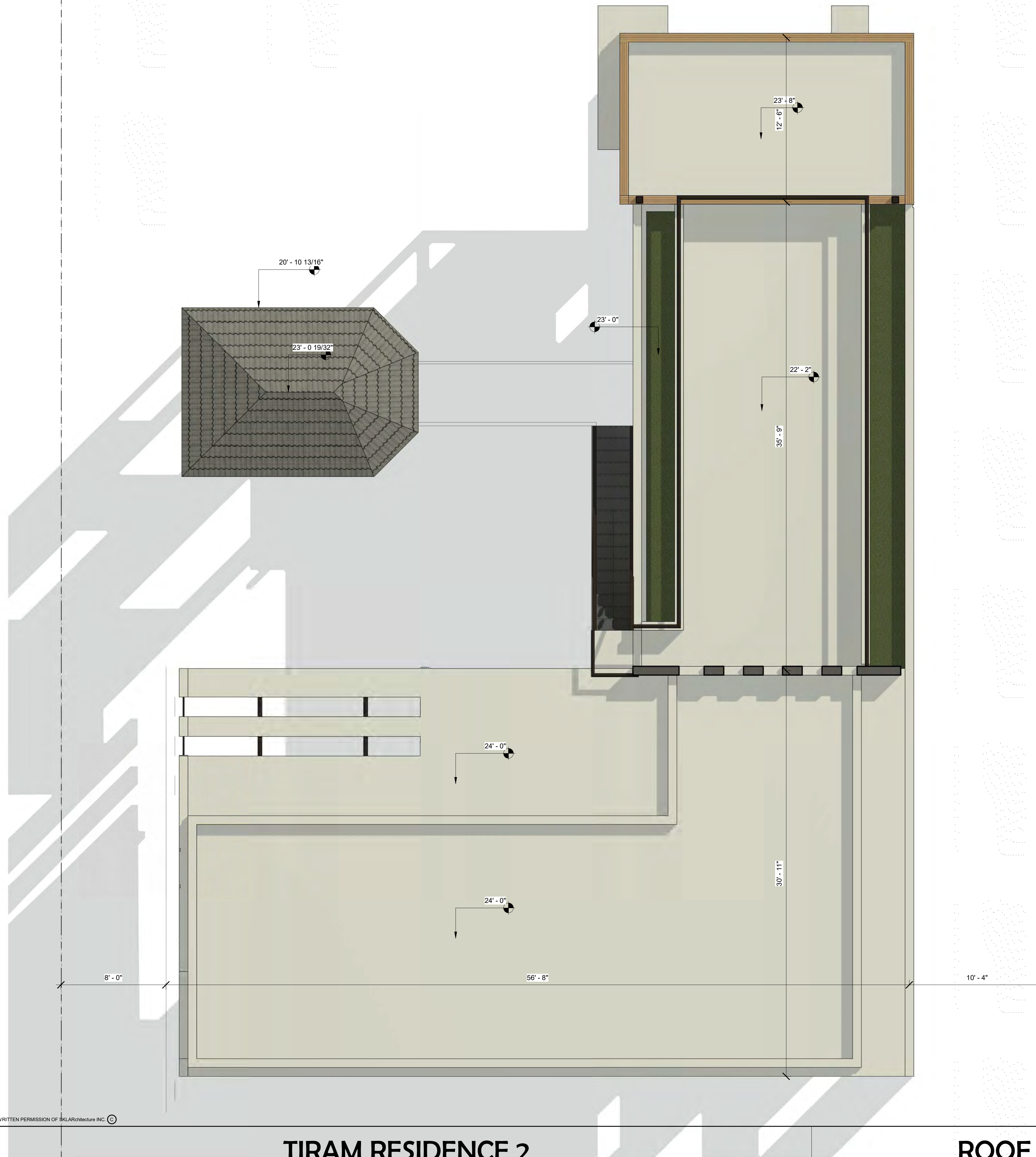


1 2ND FLOOR  
1/4" = 1'-0"



PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





① ROOFTOP  
1/4" = 1'-0"



Project #22-018

A2.3

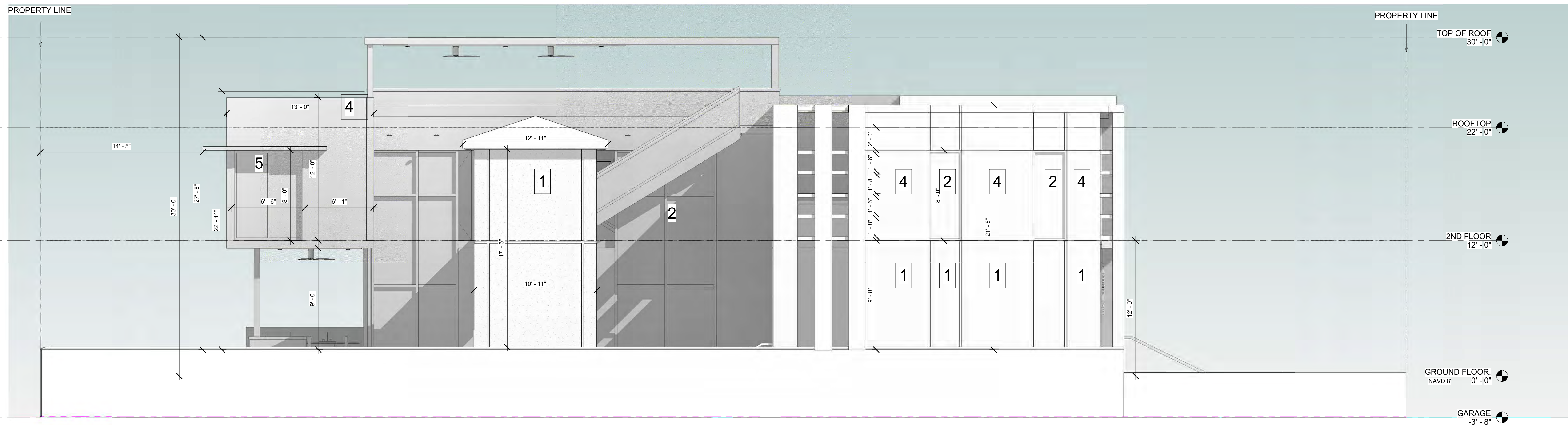
PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





① SOUTH ELEVATION  
1/4" = 1'-0"

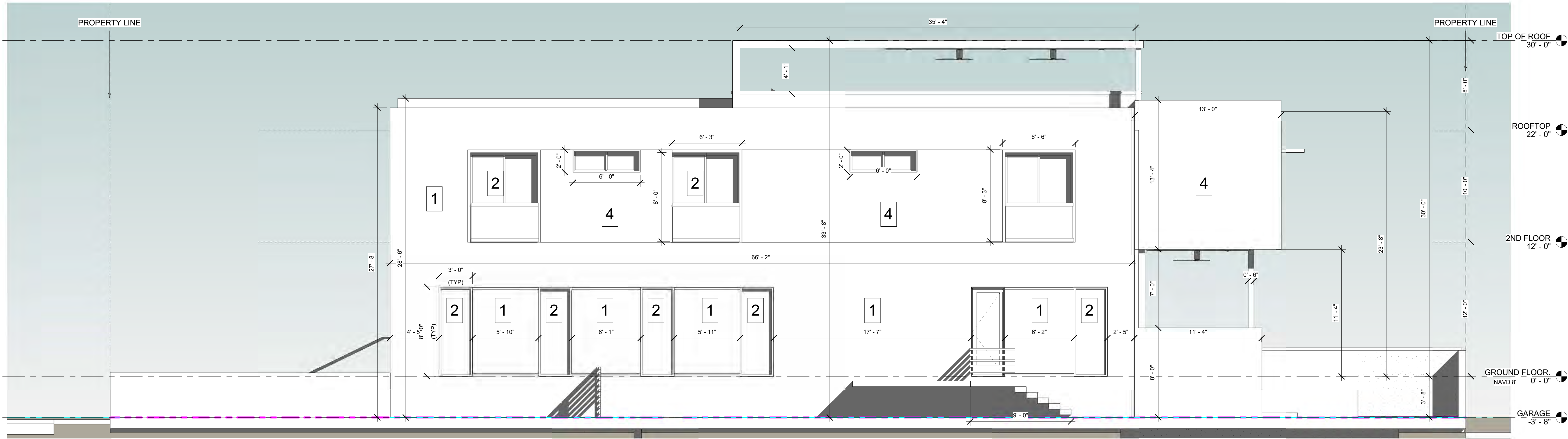
1	WHITE PAINT ON STUCCO OXFORD WHITE BENJAMIN MOORE 869	4	COMPOSITE WOOD CLADDING TARIMATEC ARIS CADENCE 2348 NATURE
2	GLASS PPG SOLARGRAY FLOAT GLASS	5	GLASS RAILINGS STAINLESS STEEL
3	METAL WINDOW FRAMING DARK BRONZE	6	GARAGE DOOR



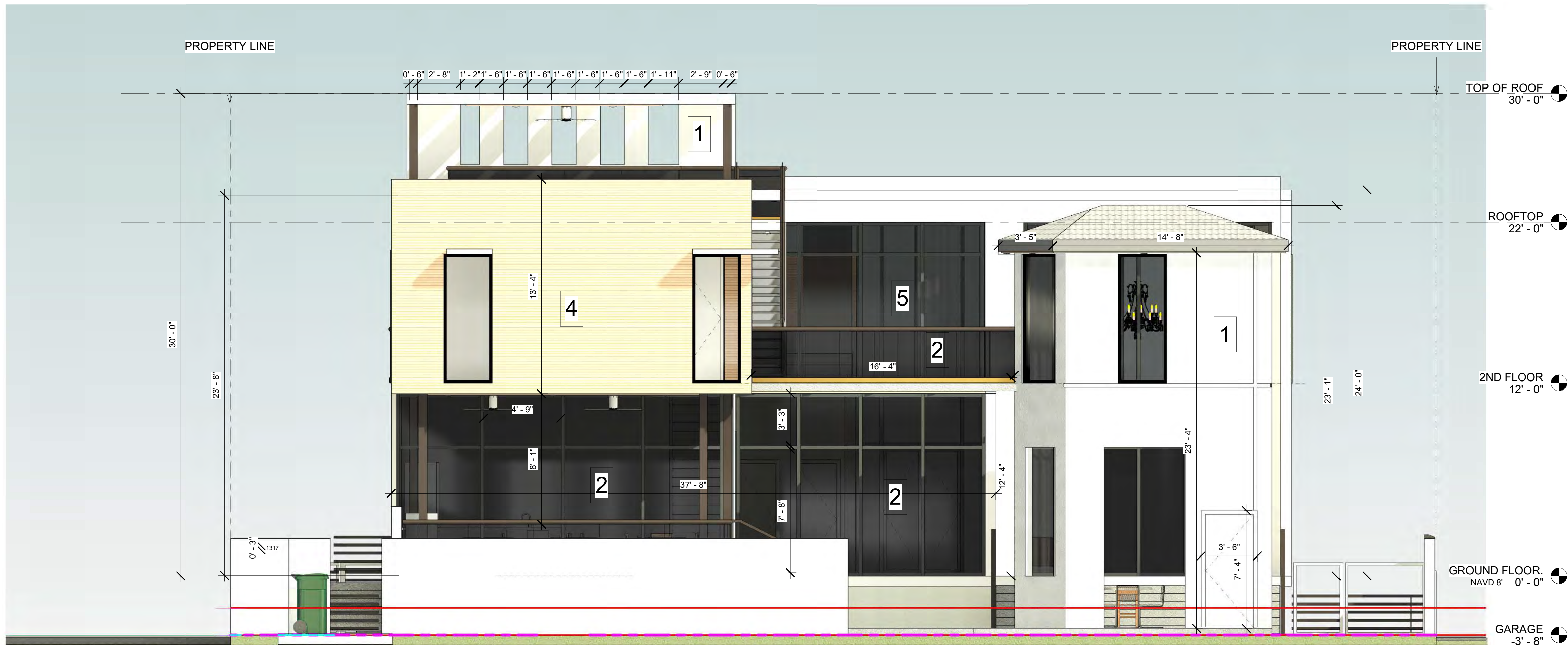
② WEST ELEVATION  
1/4" = 1'-0"

PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





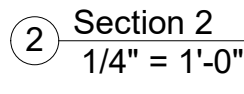
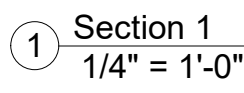
1 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

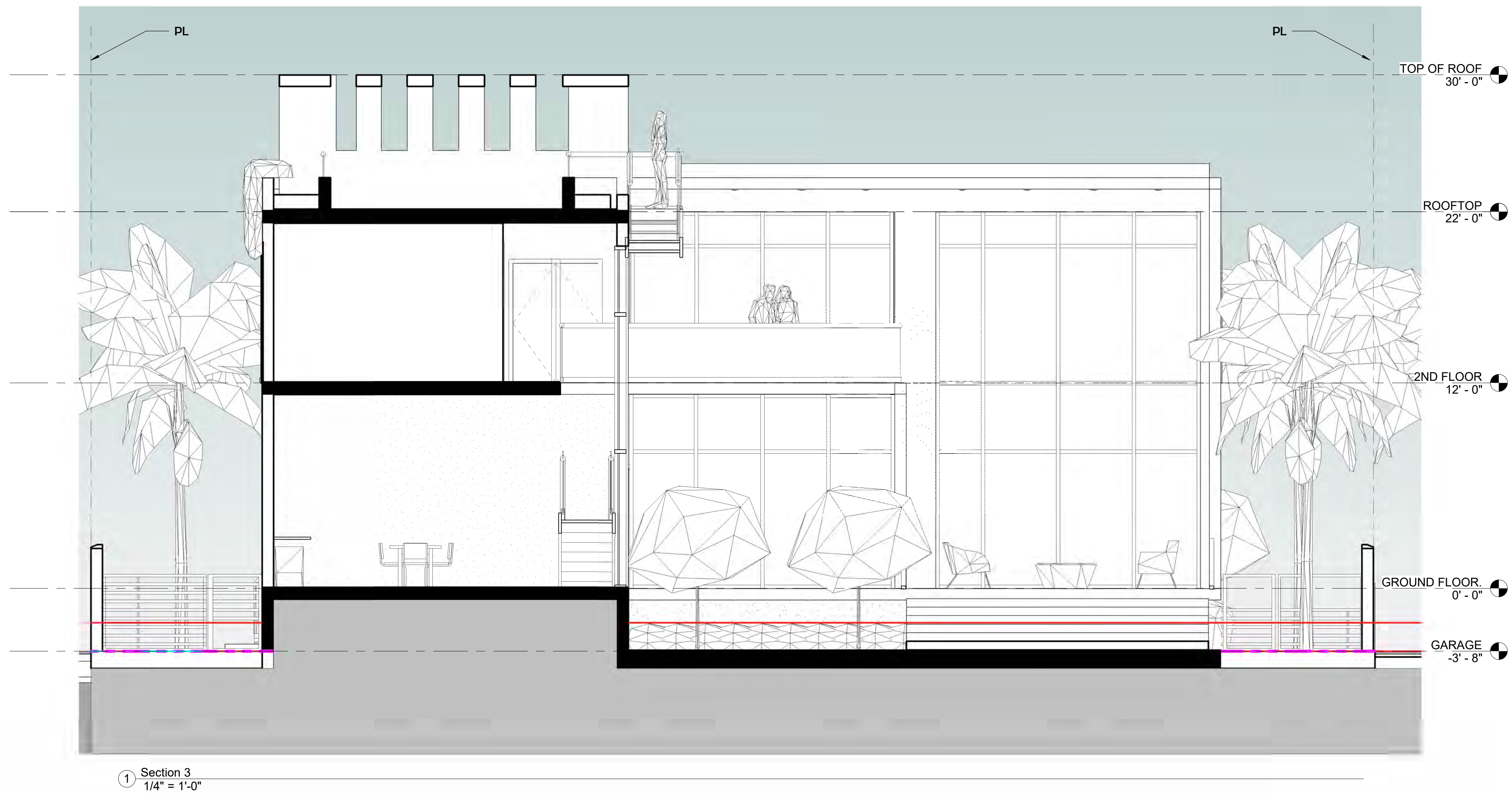
1 WHITE PAINT ON STUCCO OXFORD WHITE BENJAMIN MOORE 869	4 COMPOSITE WOOD CLADDING TARIMATEC ARIS CADENCE 2348 NATURE
2 GLASS PPG SOLARGRAY FLOAT GLASS	5 GLASS RAILINGS STAINLESS STEEL
3 METAL WINDOW FRAMING DARK BRONZE	6 GARAGE DOOR





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARArchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©





PROPRIETARY INFORMATION: THIS DOCUMENT IS SUBJECT TO COPYRIGHT LAWS. NEITHER THE DOCUMENT NOR ANY INFORMATION THEREON MAY BE RELEASED WITHOUT THE WRITTEN PERMISSION OF SKLARchitecture INC. ©



**SKLARchitecture**  
Commercial & Residential Architecture  
P : 954 925 9292  
www.sklarchitect.com

**TIRAM RESIDENCE 2**  
**1317 HARRISON ST HOLLYWOOD FL.**

**NORTH EAST RENDER**

**Project #22-018**

**A10.4**



- ① WINDOW GLASS/ RAILING  
PPG SOLARGRAY FLOAT GLASS



- ② METAL WINDOW FRAMING  
METAL COLUMNS  
DARK BRONZE



- ③ COMPOSITE WOOD CLADDING  
TARIMATEC ARIS CADENCE  
2348 NATURE



- ④ WHITE PAINT ON STUCCO  
OXFORD WHITE  
BENJAMIN MOORE 869



- ⑤ GLASS RAILINGS/  
STAINLESS STEEL



- ⑥ GARAGE DOOR

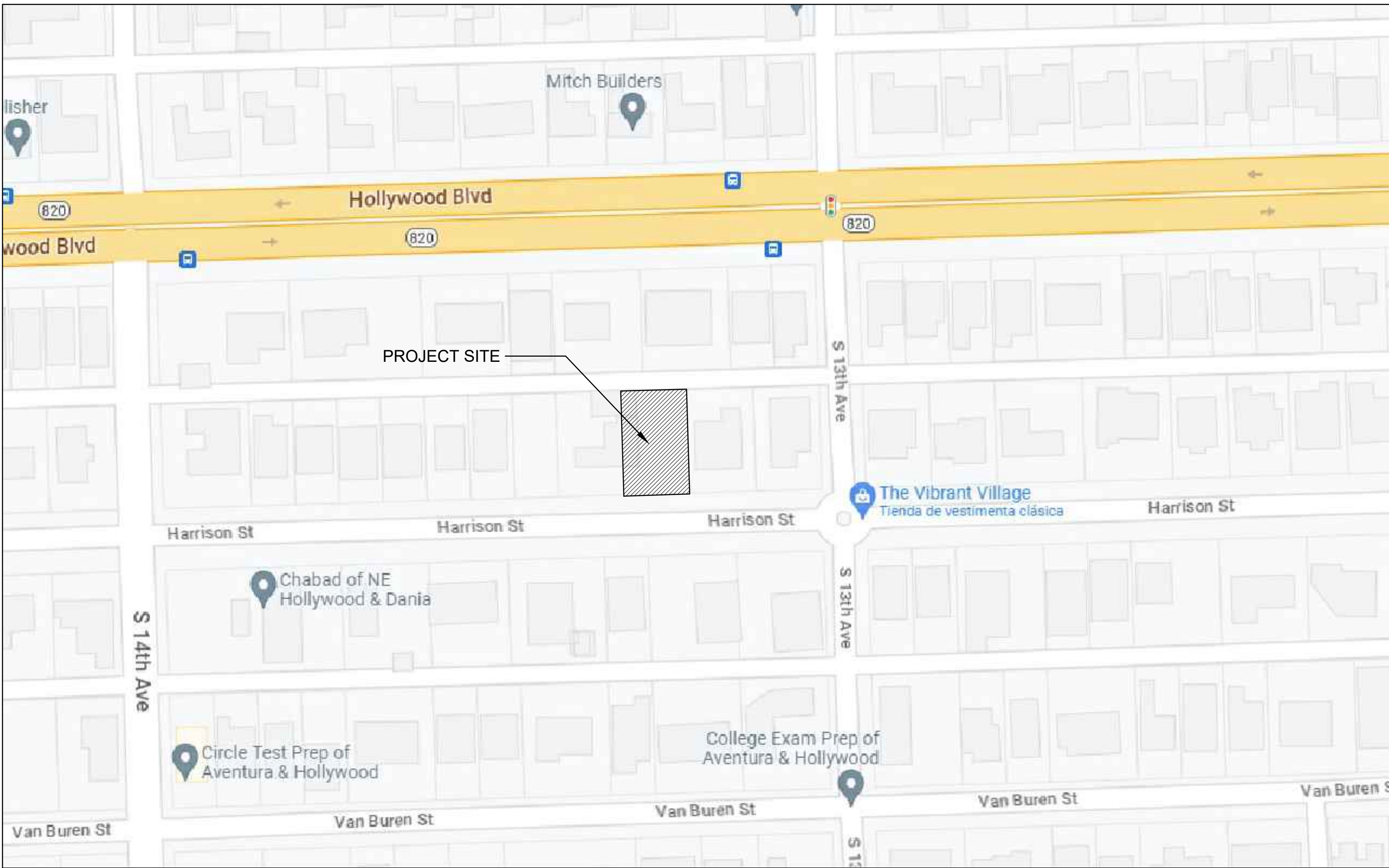
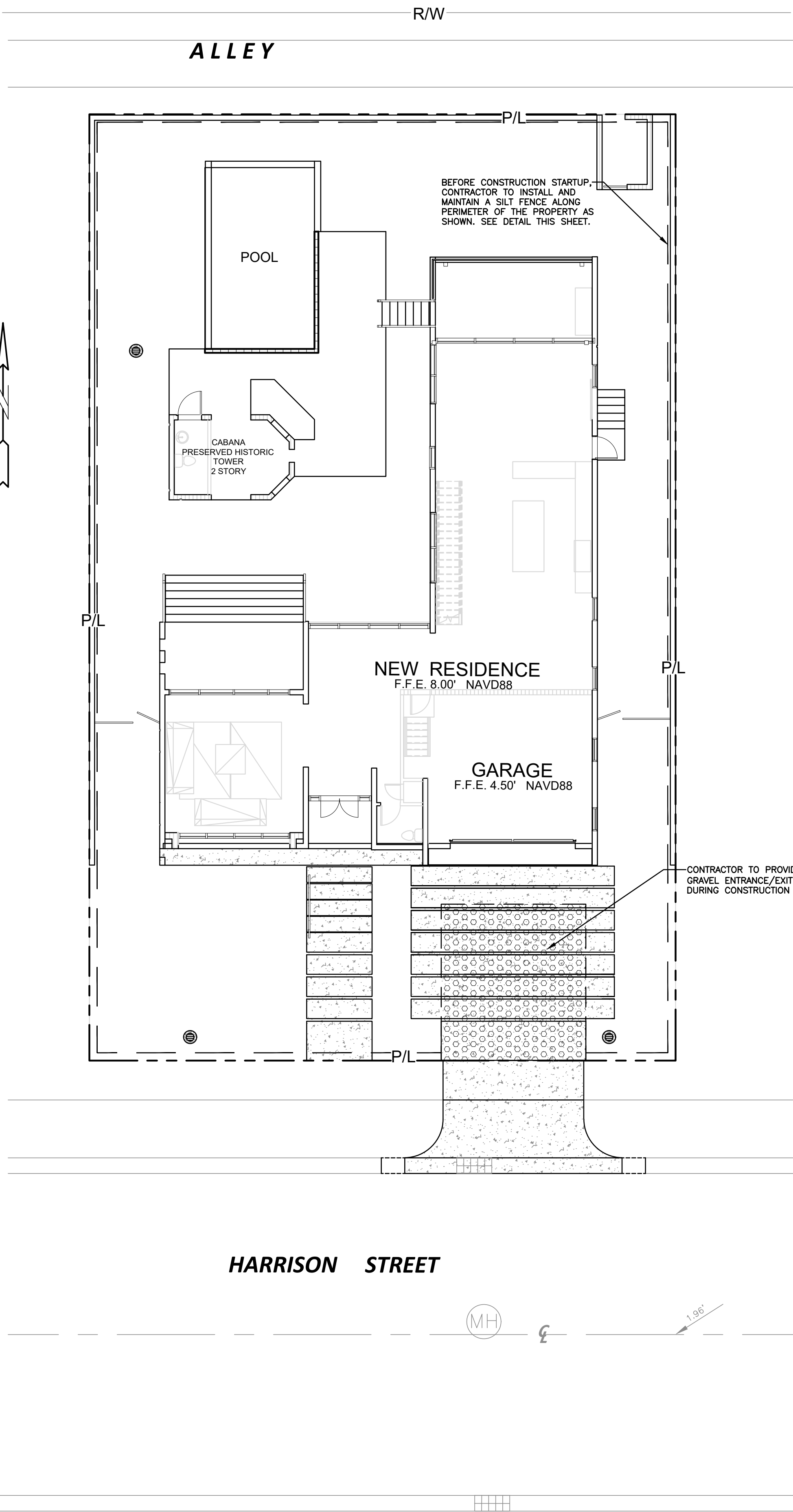


- ⑦ CONCRETE PAVERS

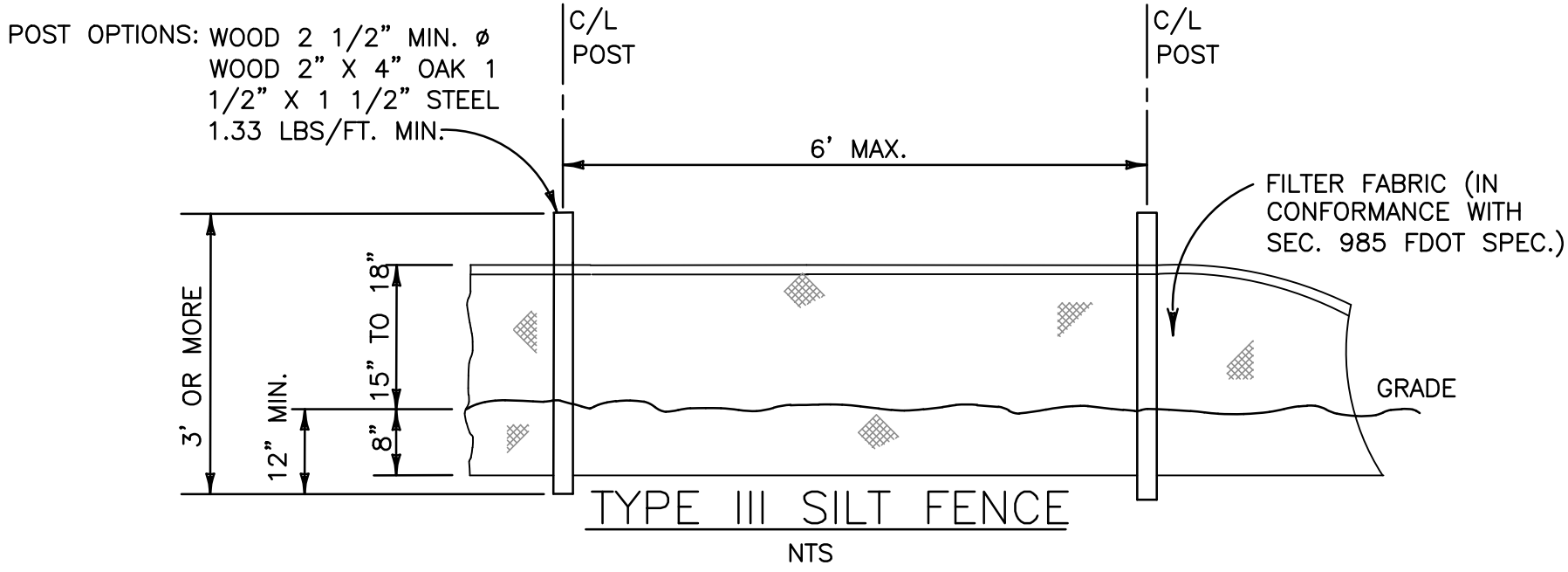




ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



LOCATION MAP  
NOT TO SCALE



- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

- LEGEND**
- PROPOSED CONCRETE
  - PROPOSED GRADE
  - EXISTING ELEVATION
  - PROPOSED WATER METER
  - PROPOSED BFP DEVICE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.



**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'

REVISIONS	
NO.	DATE

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158

**TIRAM RESIDENCE II**  
1317 HARRISON ST.  
HOLLYWOOD, FLORIDA

P.E.#: 76036

DATE: 5/4/23

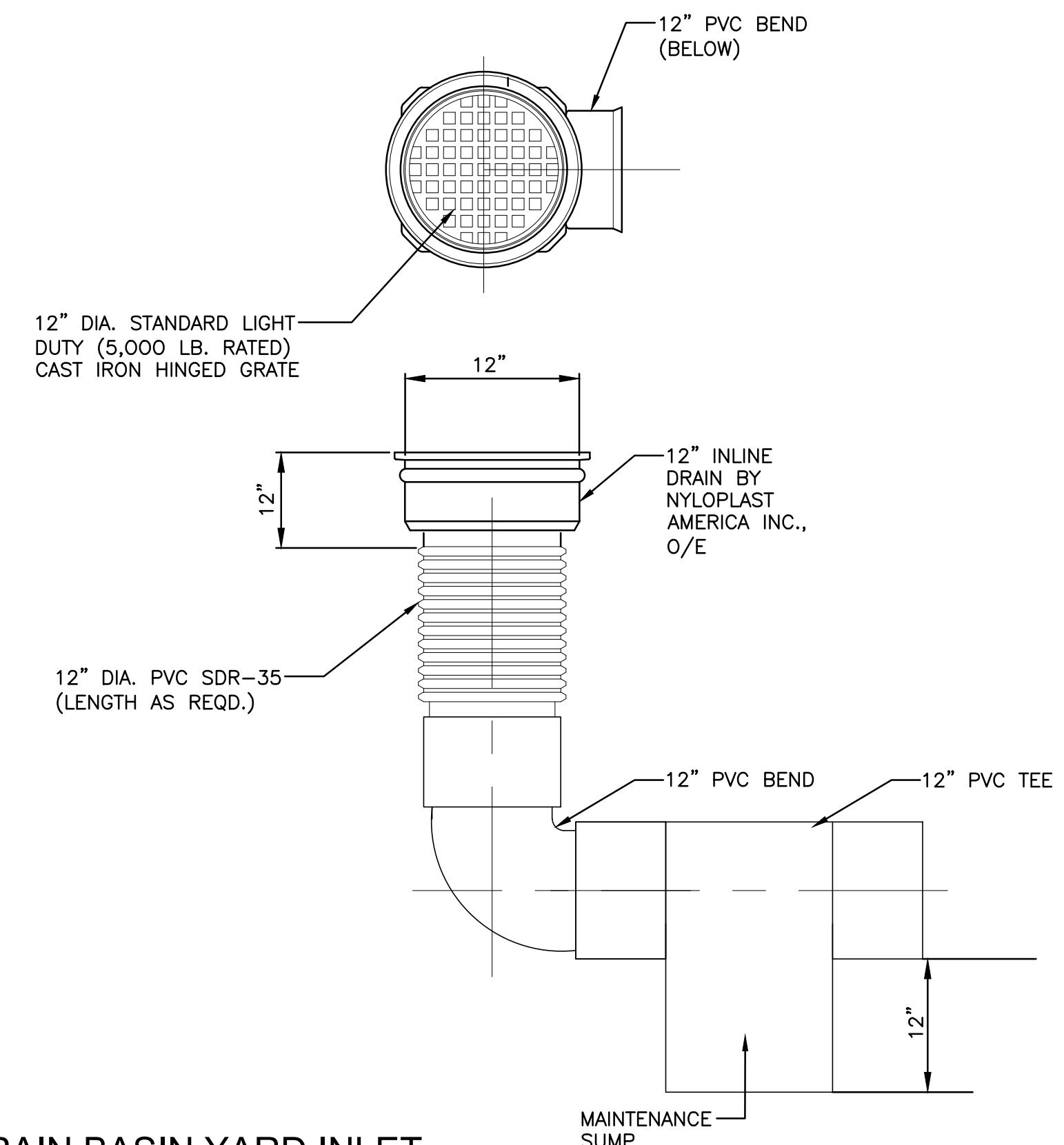
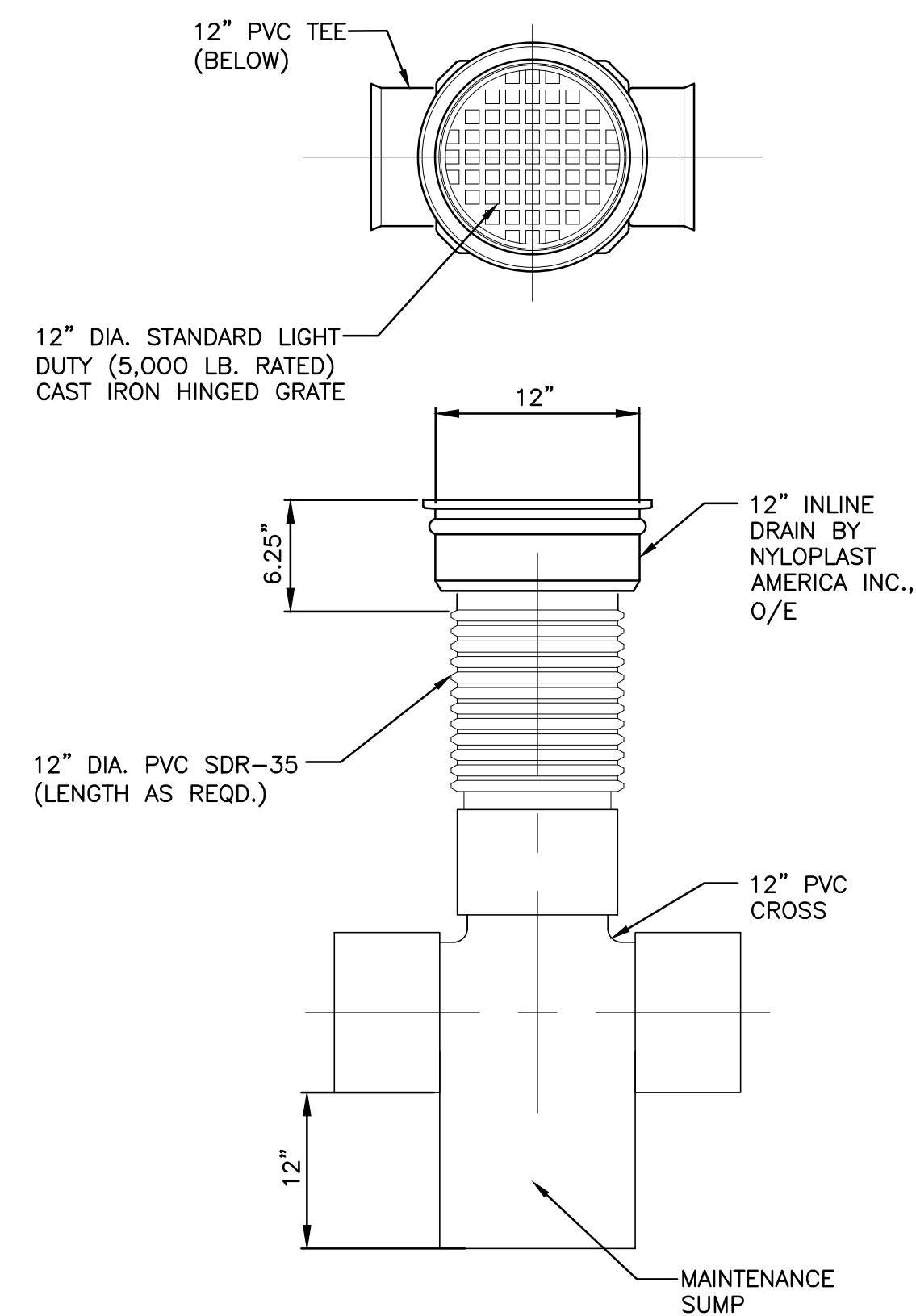
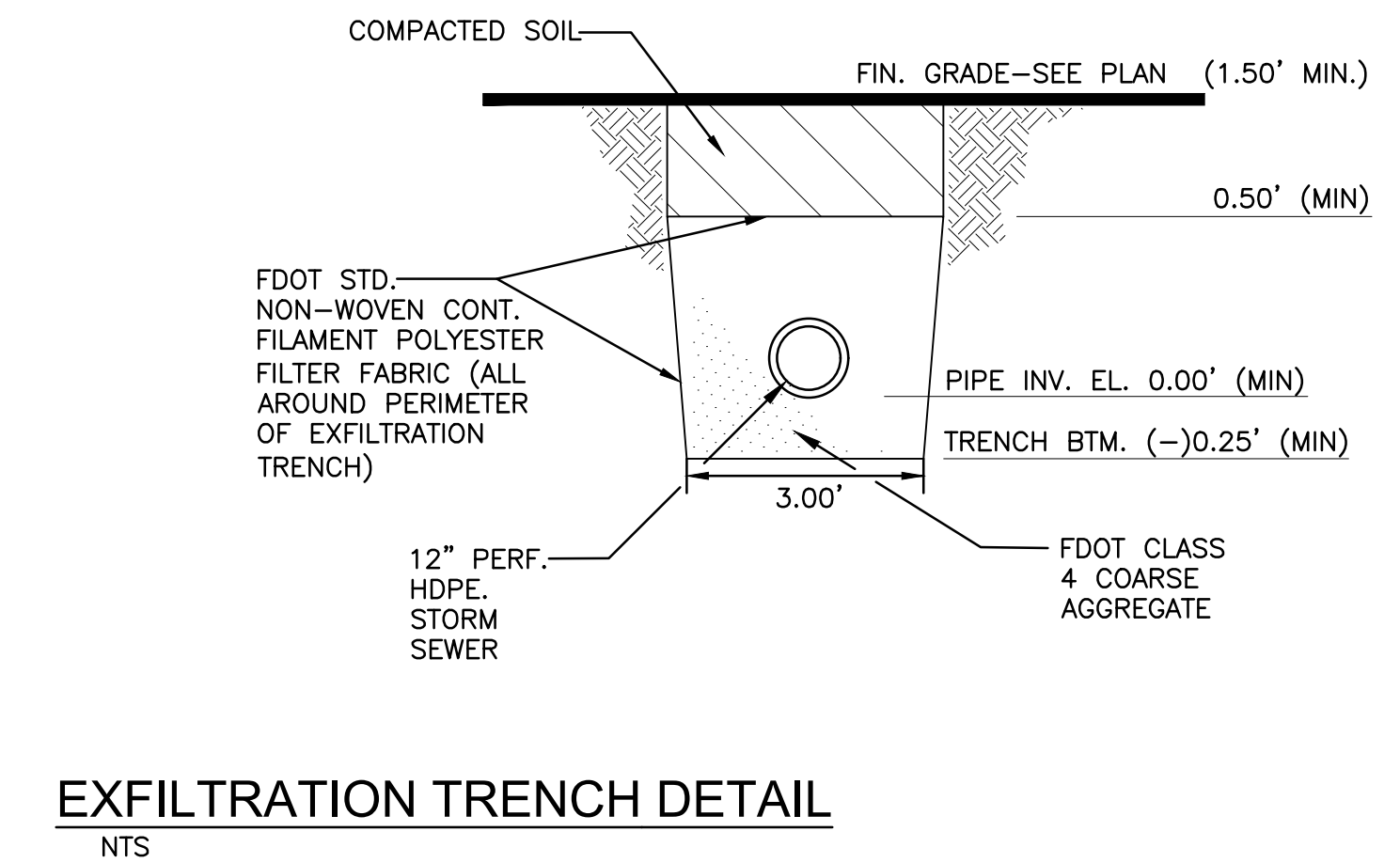
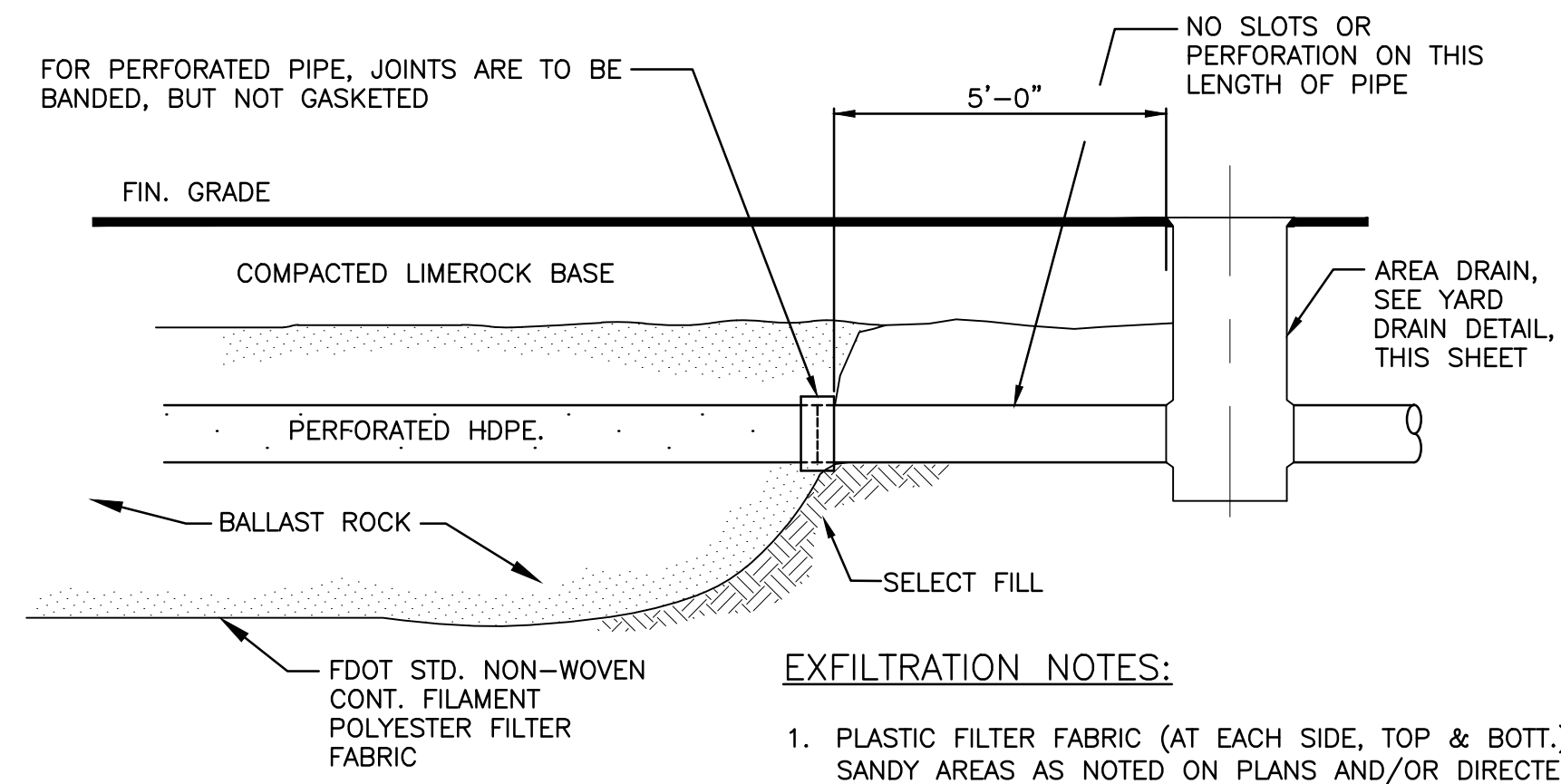
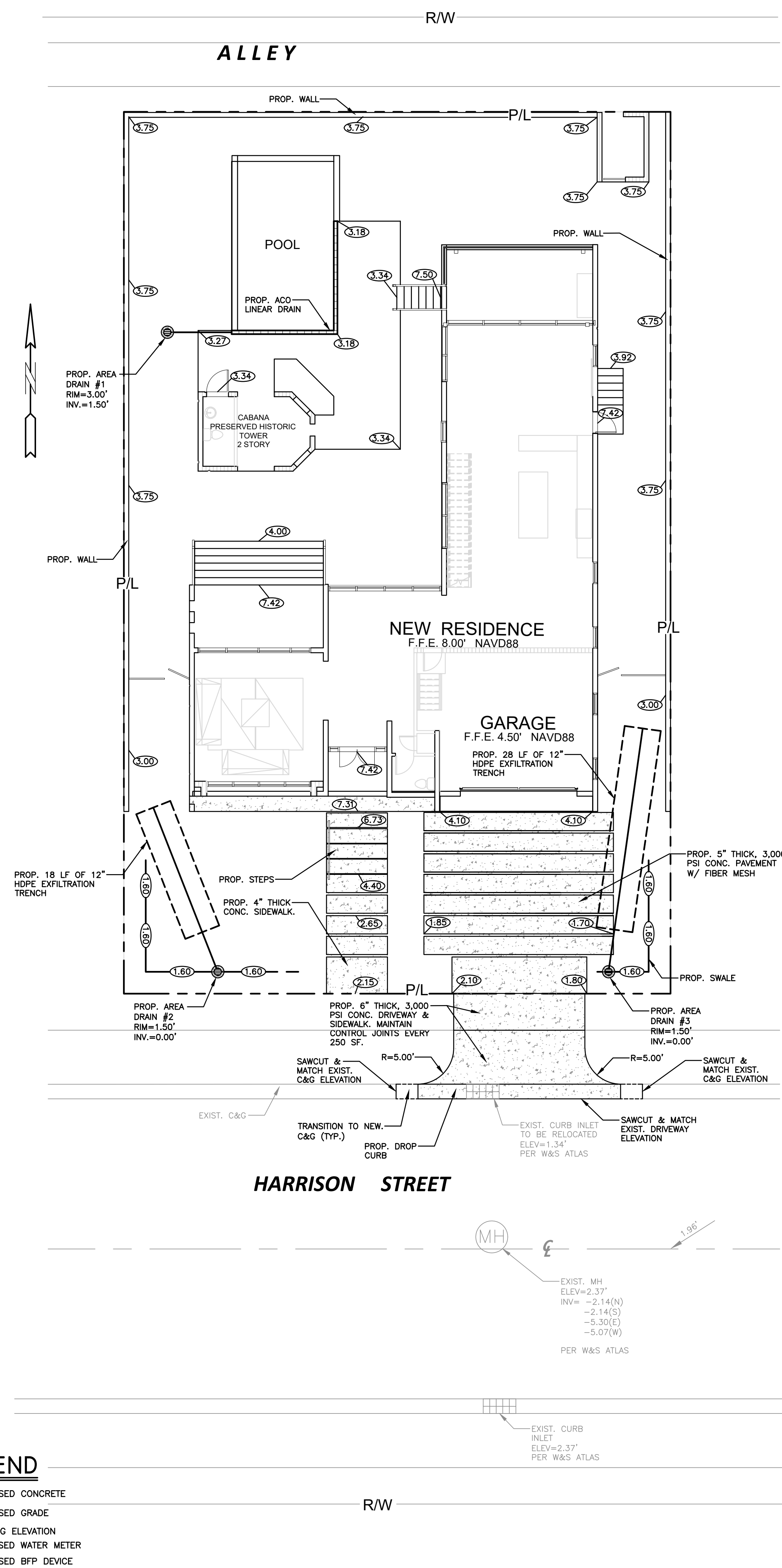
SCALE: 1"=10'

SHEET NO.: **C1**  
1 OF 5

PROJECT NO.: 23-14



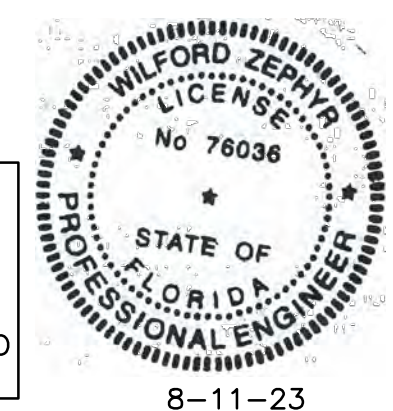
ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
  - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
  - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
  - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
  - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
  - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
  - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.



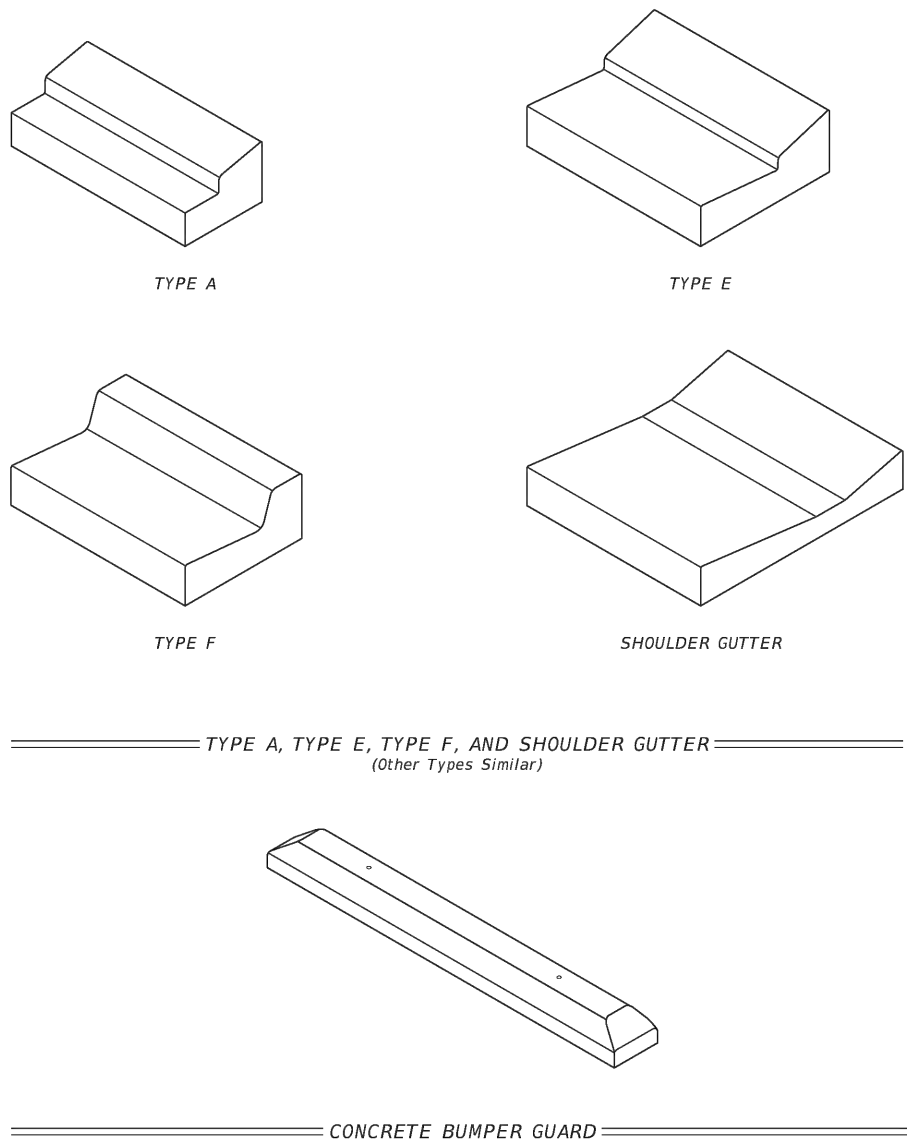
## PAVING, GRADING & DRAINAGE PLAN

TIRAM RESIDENCE II		ZEPHYR ENGINEERING	
1317 HARRISON ST.		WILFORD ZEPHYR, P.E.	
HOLLYWOOD, FLORIDA		HOLLYWOOD, FL	
		(786) 502-7693	
		wzephyr@eng@gmail.com	
		CA#: 31158	
P.E.#: 76036		NO.	
DATE: 5/4/23		DATE	
SCALE: 1"=10'		DESCRIPTION	
SHEET NO.: C2			
2 OF 5			
PROJECT NO.: 23-14			

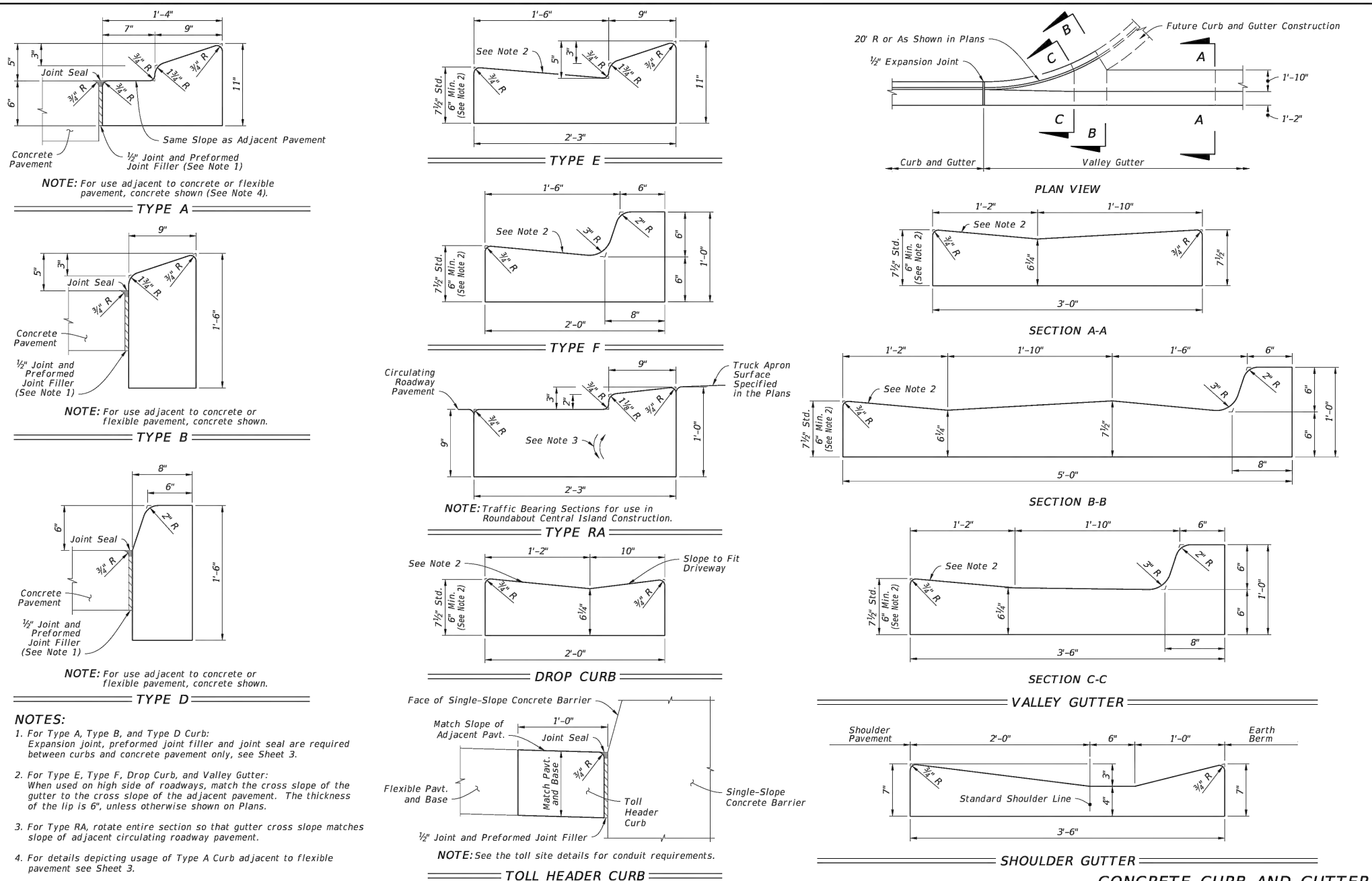


GENERAL NOTES:  
1. For curb, gutter and curb & gutter provide 1/4" - 1/2" contraction joints at 10' centers (max.). Contraction joints adjacent to concrete pavement on tangents and flat curves are to match the pavement joints, with intermediate joints not to exceed 10' centers.  
2. Locate expansion joints for curb, gutter and curb & gutter in accordance with Specification 520.

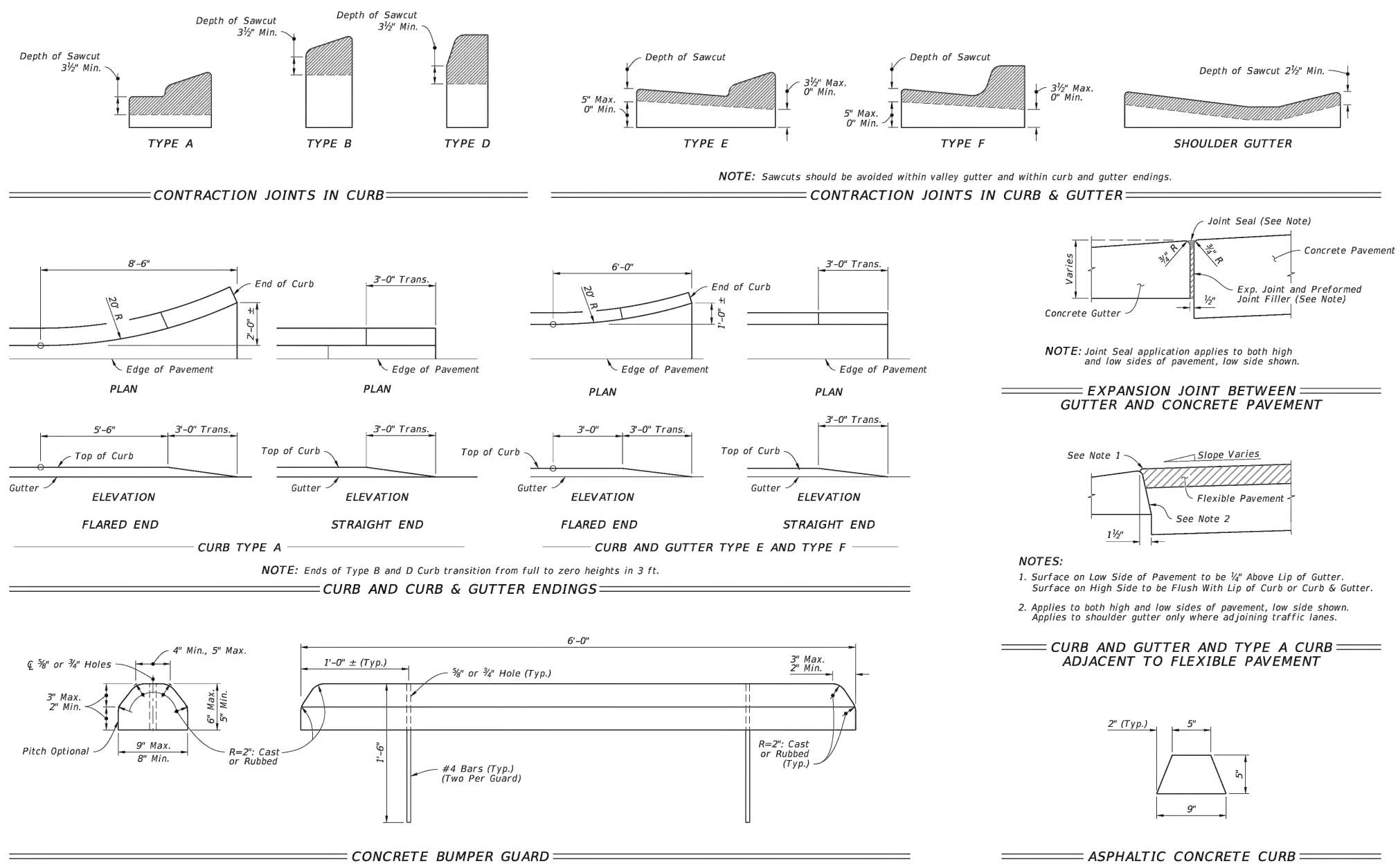
TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Concrete Curb and Gutter
3	Curb and Gutter Joints and Endings, Concrete Bumper Guard, and Asphaltic Concrete Curb



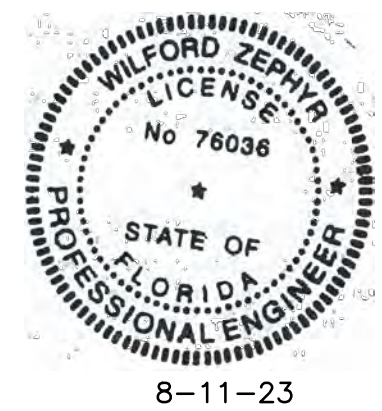
LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/21	11/01/21	520-001	1 of 3



LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/21	11/01/21	520-001	2 of 3



LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/21	11/01/21	520-001	3 of 3



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FDOT DETAILS  
SCALE: N.T.S.

NO.	DATE	REVISIONS	DESCRIPTION

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@gmail.com  
CA#: 31158

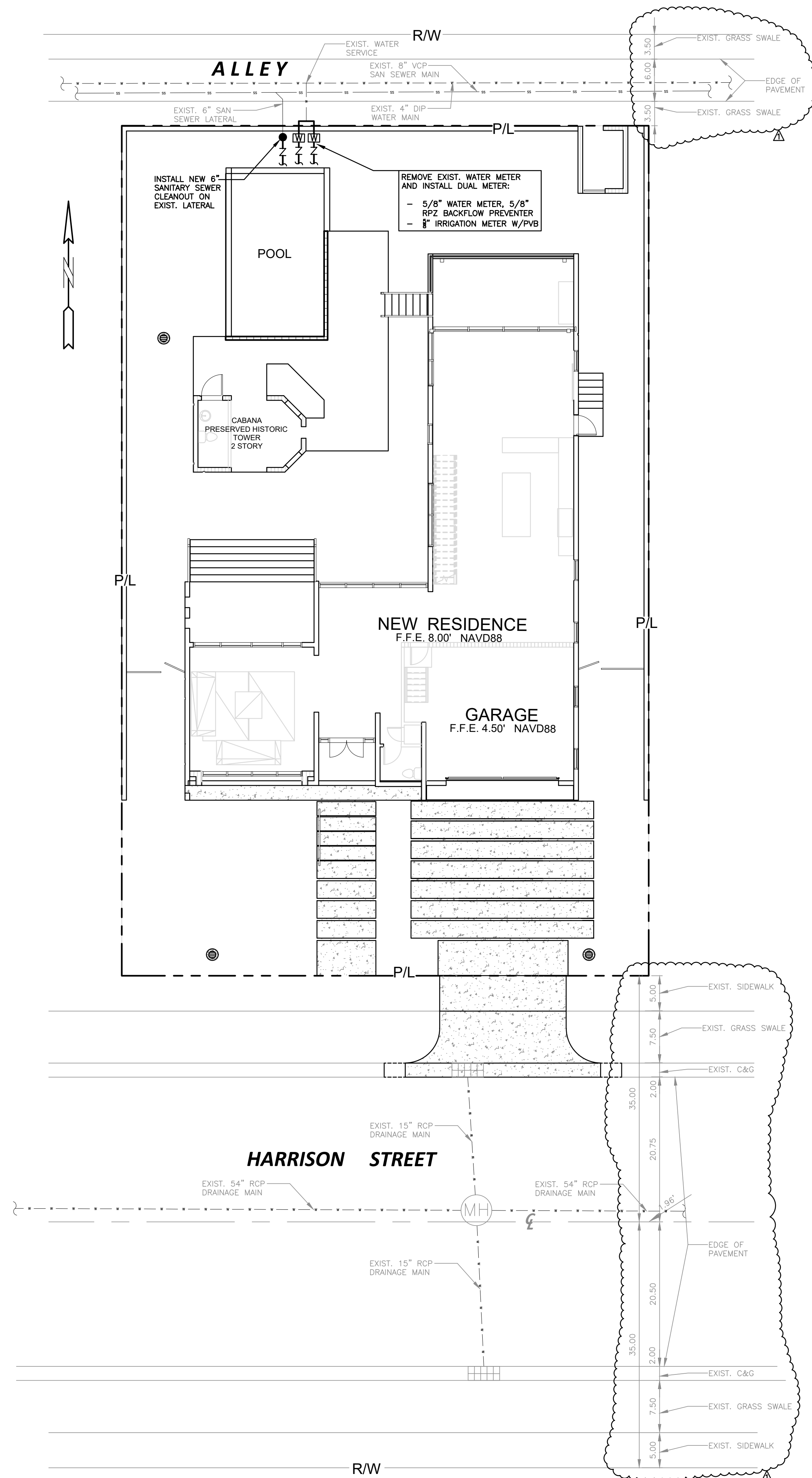
**ZE**

TIRAM RESIDENCE II  
1317 HARRISON ST.  
HOLLYWOOD, FLORIDA

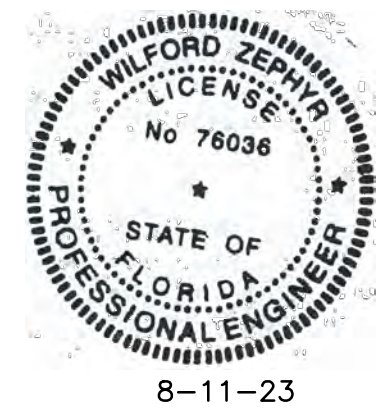
P.E.#: 76036  
DATE: 5/4/23  
SCALE: N.T.S.  
SHEET NO.: C3  
3 OF 5  
PROJECT NO.: 23-14



ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



- LEGEND**
- PROPOSED CONCRETE
  - PROPOSED GRADE
  - EXISTING ELEVATION
  - PROPOSED WATER METER
  - PROPOSED BFP DEVICE



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.

8-11-23

**WATER & SEWER PLAN & DETAILS**

SCALE: 1"=10'

**REVISIONS**

NO.	DATE	DESCRIPTION
1	8/11/23	CITY REVIEW COMMENTS

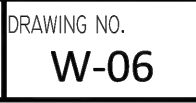
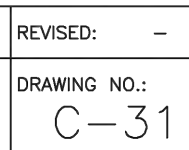
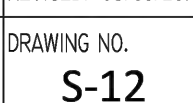
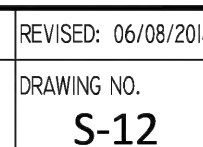
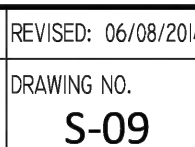
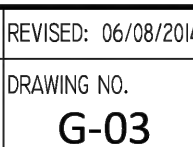
**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158

**ZE**

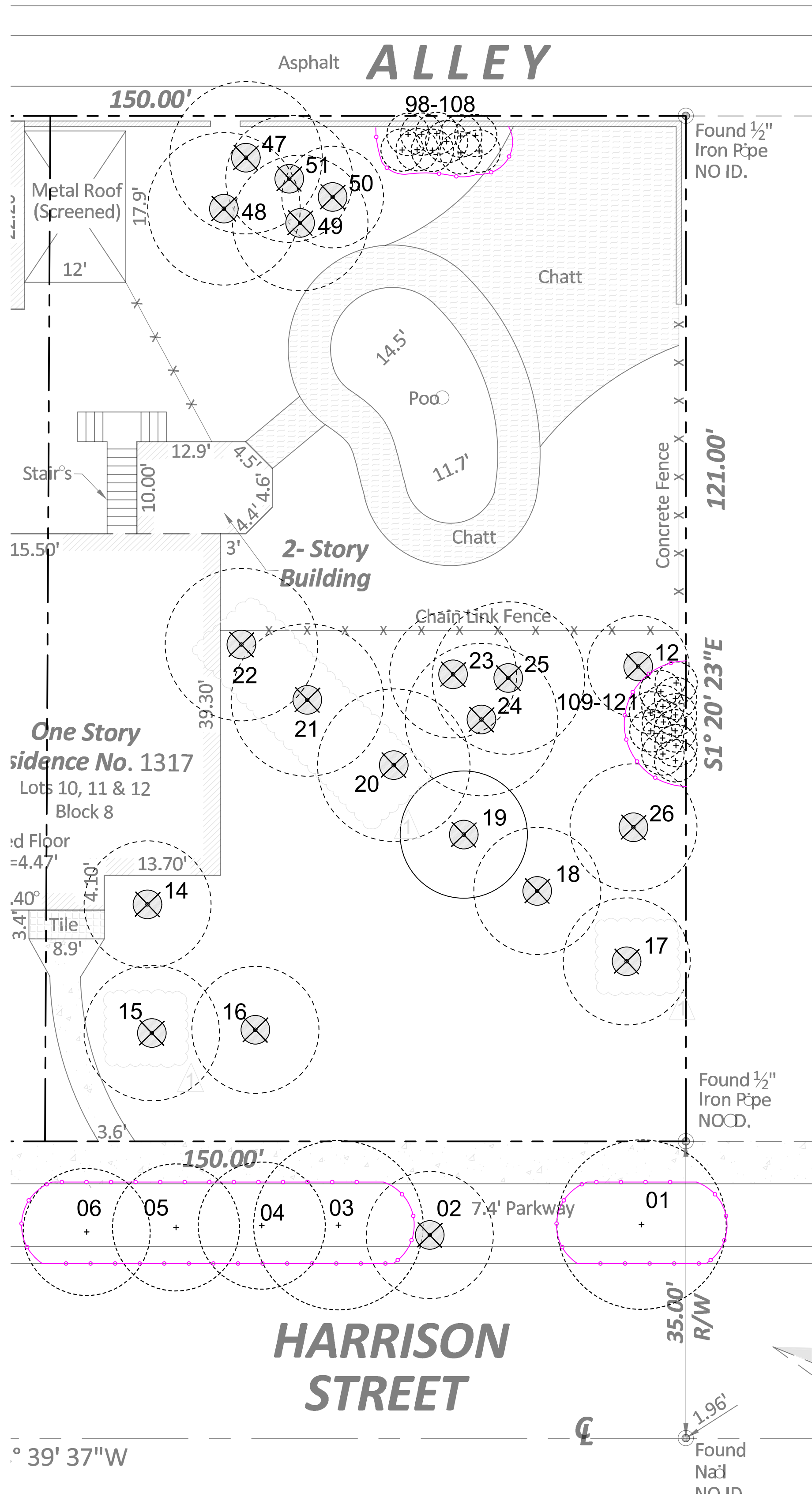
**TIRAM RESIDENCE II**  
1317 HARRISON ST.  
HOLLYWOOD, FLORIDA

P.E.#: 78036  
DATE: 5/4/23  
SCALE: 1"=10'  
SHEET NO.:  
C4  
4 OF 5  
PROJECT NO.: 23-14





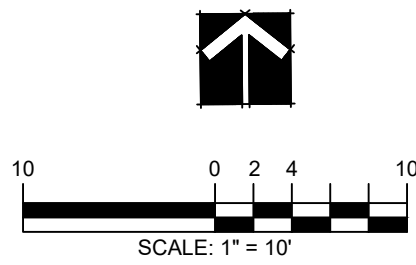
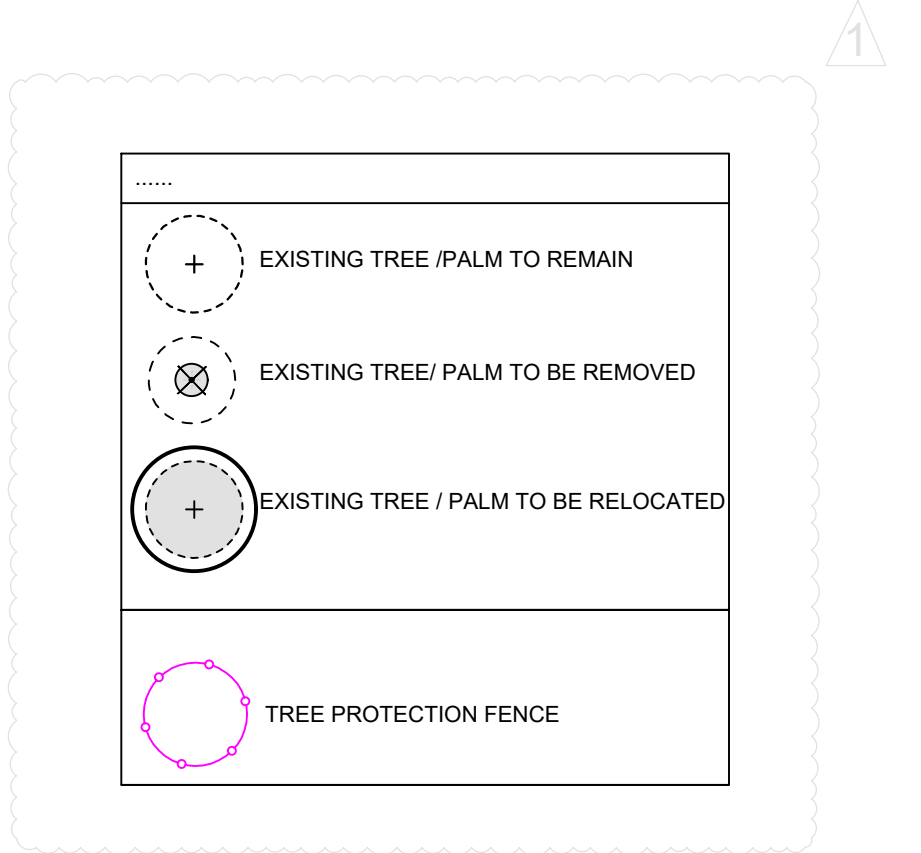
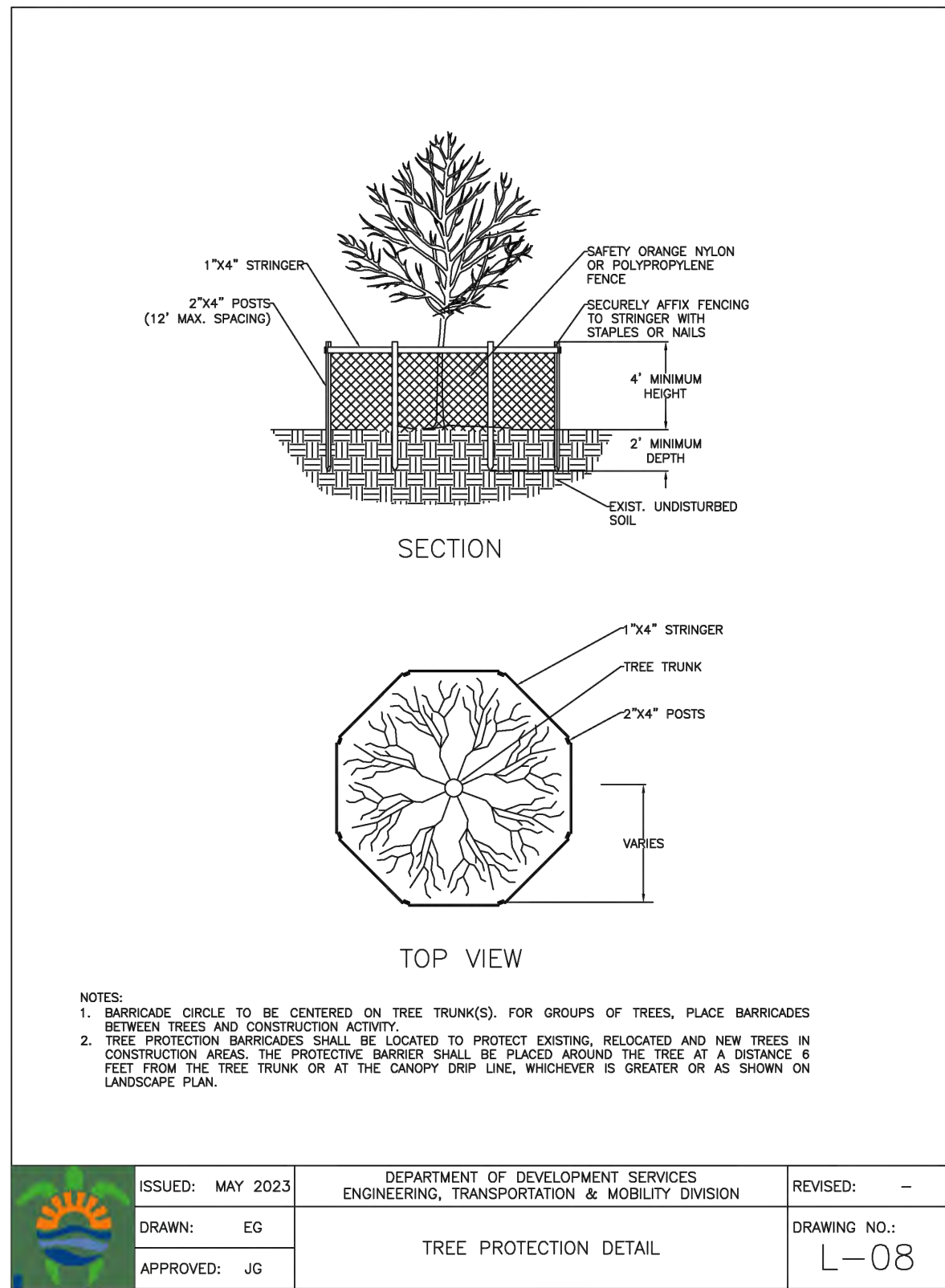




NUMBER	BOTANICAL NAME	COMMON NAME	DBH (inch)	HEIGHT (ft)	SPREAD (ft)	COMDITION	DSPOSITION
1	<i>Roystonea regia</i>	Royal Palm	14.5+15.2	50	20	Good	Remain
2	<i>Roystonea regia</i>	Royal Palm	20.3	50	15	Good	Remove
3	<i>Roystonea regia</i>	Royal Palm	15+20	55	20	Good	Remain
4	<i>Roystonea regia</i>	Royal Palm	18.7	55	15	Good	Remain
5	<i>Roystonea regia</i>	Royal Palm	19	55	15	Good	Remain
6	<i>Roystonea regia</i>	Royal Palm	16.2	50	15	Good	Remain
12	<i>Roystonea regia</i>	Royal Palm	21.2	50	12	Fair	Remove
14	<i>Roystonea regia</i>	Royal Palm	15.7	40	15	Good	Remove
15	<i>Phoenix sylvestris</i>	Silver Date Palm	12.6	35	16	Fair	Remove
16	<i>Roystonea regia</i>	Royal Palm	18.8	60	15	Fair	Remove
17	<i>Roystonea regia</i>	Royal Palm	22	60	15	Good	Remove
18	<i>Roystonea regia</i>	Royal Palm	15	60	15	Fair	Remove
19	<i>Roystonea regia</i>	Royal Palm	15.2	60	15	Fair	Remove
20	<i>Roystonea regia</i>	Royal Palm	20	55	18	Good	Remove
21	<i>Roystonea regia</i>	Royal Palm	16.7	55	18	Good	Remove
22	<i>Roystonea regia</i>	Royal Palm	16.3	50	16	Good	Remove
23	<i>Roystonea regia</i>	Royal Palm	11.1	25	15	Fair	Remove
24	<i>Roystonea regia</i>	Royal Palm	18.7	45	18	Good	Remove
25	<i>Roystonea regia</i>	Royal Palm	19.2	60	18	Good	Remove
26	<i>Roystonea regia</i>	Royal Palm	15.4	55	15	Moderate	Remove
47	<i>Roystonea regia</i>	Royal Palm	15.7	60	18	Good	Remove
48	<i>Roystonea regia</i>	Royal Palm	16.7	60	18	Good	Remove
49	<i>Roystonea regia</i>	Royal Palm	14.9	55	15	Good	Remove
50	<i>Roystonea regia</i>	Royal Palm	11	35	12	Fair	Remove
51	<i>Roystonea regia</i>	Royal Palm	21.4	60	15	Good	Remove
98-108	<i>Adonis merillii</i>	Christmas Palm	5-6 ea	28	5 ea	Good	Remain

EXISTING TREE SYMBOLS ARE SHOWN TO SCALE

TREE MITIGATION		
20 PALMS WILL BE REMOVED. TWO TREES AND 10 PALMS ARE PROPOSED TO COVER THE REQUIRED MITIGATION. PLEASE SEE BREAK DOWN OF REPLACEMENT AS FOLLOWS:		
2 JAPANESE BLUEBERRY TREE	4" EACH ( Palms 3=1)	6
7 SOLITARE PALMS		7
3 SABAL PALMS		3
1 SYLVESTER PALM		1
4 ROYAL PALMS		4
TOTAL PALMS MITIGATED		21



FOLIAGE EXPRESSIONS

8801 SW 192nd Terrace,  
Cuttler Bay, FL 33157



TIRAM RESIDENCE 2

1317 HARRISON STREET  
HOLLYWOOD, FLORIDA

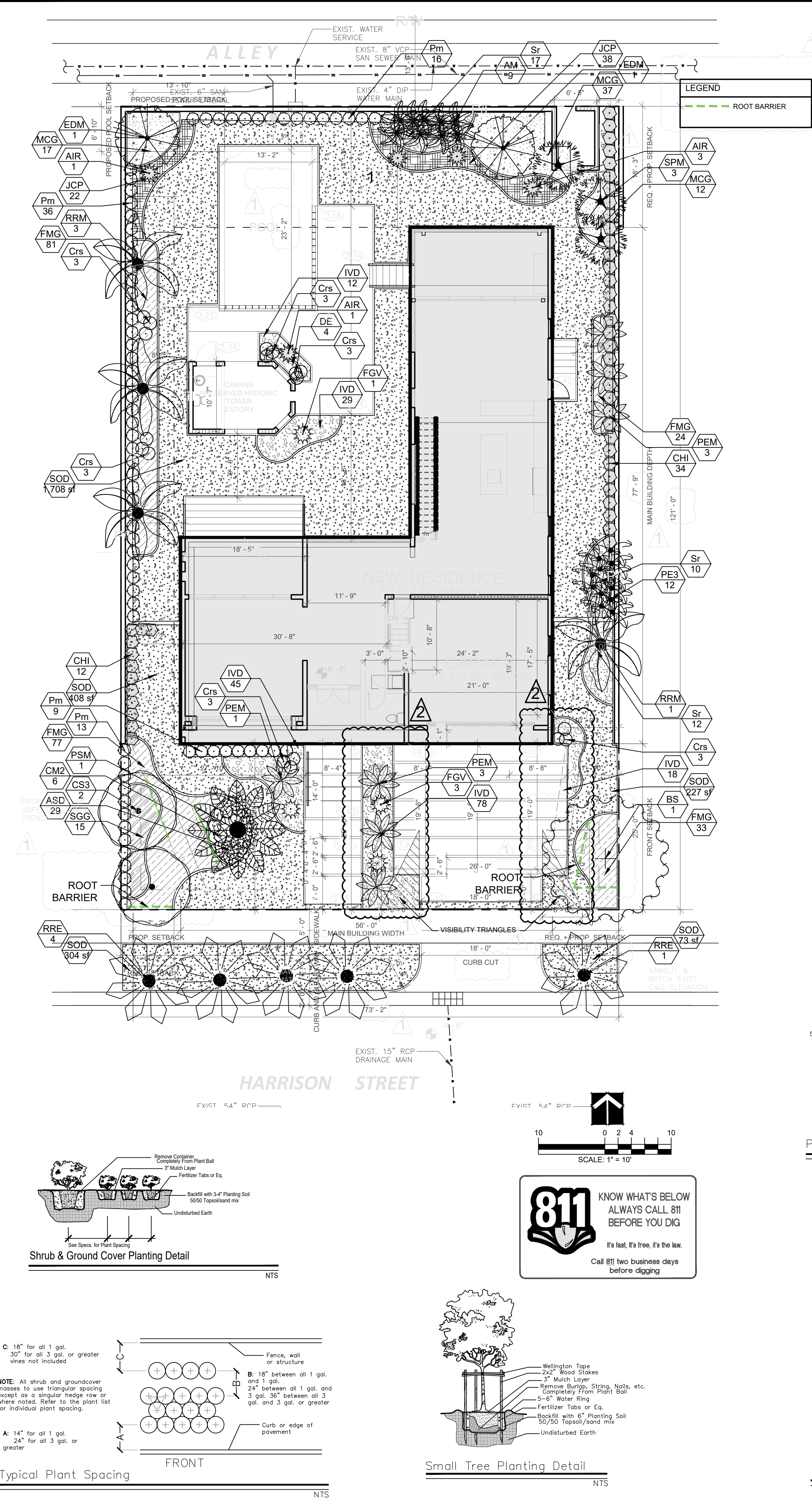
DISTRIBUTION:	DATE:
1 CITY COMMENTS	07-05-23
2 CITY COMMENTS	08-09-23

DRAWING NAME:  
TREE  
DISPOSITION  
PLAN

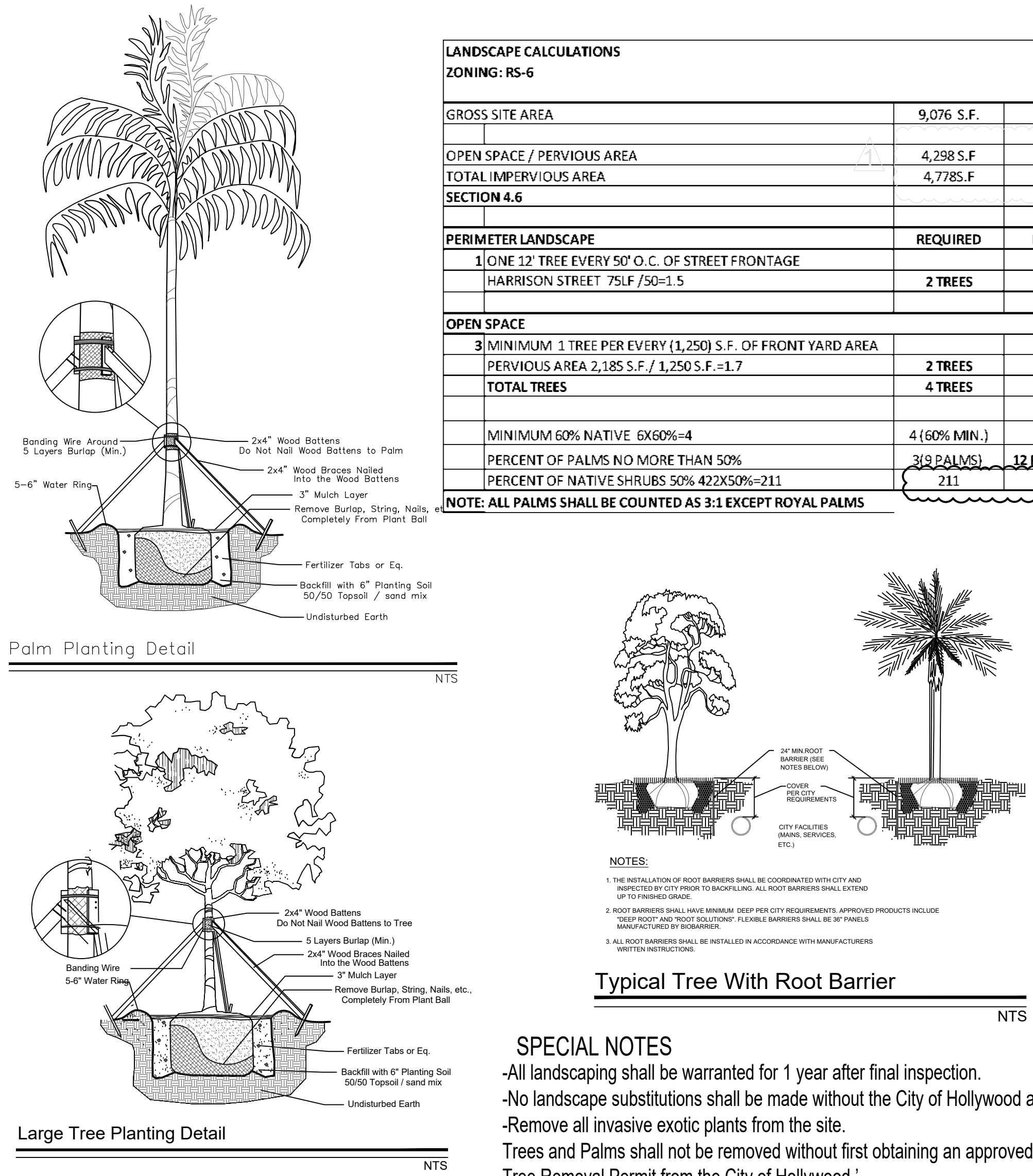
DRAWING NUMBER:

L-200





PLANT SCHEDULE LANDSCAPE 2										
TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS		
BS	1	Bursera simaruba / Gumbo Limbo	FG/B&B	3" DBH	Yes	High				
CS3	2	Conocarpus erectus sericeus / Silver Button Wood	FG/B&B	2" DBH	Yes	High				
EXISTING PALMS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS		
AM	9	Adonidia merrillii / Manila Palm	EXISTING		No	High				
PE3	12	Ptychosperma elegans / Alexander Palm	EXISTING		No	High				
RRE	5	Roystonea regia / Royal Palm	EXISTING		Yes	High				
MITIGATION PALMS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS		
PSM	1	Phoenix sylvestris / Wild Date Palm	FG/B&B	12 CT., NUT INC., FL FANCY	No	High				
PEM	7	Ptychosperma elegans / Alexander Palm	FG/B&B	12'-14" HT. X 6" SPR	No	High				
RRM	4	Roystonea regia / Royal Palm	FG/B&B	14" GW. FLORIDA #1	Yes	High				
SPM	3	Sabal palmetto / Cabbage Palmetto	FG/B&B	14'-20" OA, Vary Heights	Yes	High				
MITIGATION TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS		
EDM	2	Elaeocarpus decipiens / Japanese Blueberry Tree	FG/B&B	4" DBH	No	High				
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS	
AIR	5	Alcantarea imperialis 'Rubra' / Rubra Imperial Bromeliad	-		30-36" OA	No	High			
ASD	29	Asparagus densiflorus 'Myers' / Myers Asparagus	-		18"x18"	No	High			
CHI	46	Chrysobalanus icaco / Coco Plum	-		42" H. X 24" SPR.	Yes	High			
CM2	6	Codiaeum variegatum 'Mammy' / Mammy Croton	-		18"x18"	No	High			
Crs	18	Cordyline fruticosa 'Red Sister' / Red Sister Ti	-		24"H x18" SPREAD	No	Medium			
FGV	4	Furcraea gigantea 'Variegata' / False Agave	-		30" OA.	No	High			
Pm	74	Podocarpus macrophyllus / Yew Pine	-		30" HT. X 24" SPD	No	High			
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SIZE	NAITVE	DROUGHT TOLERANCE	SPACING	DETAIL	REMARKS
DE	4	Duranta erecta 'Gold Mound' / Gold Mound Duranta	-		18"HT x 18"SPR	Yes	High	18" o.c.		
IVD	182	Ilex vomitoria 'Stokes dwarf' / Dwarf Yaupon Holly	-		14" HT x 16" SPR	Yes	High	16" o.c.		
SGG	15	Schefflera arboricola 'Gold Capella' / Gold Capella Arboricola	-		24"HT x 24"SPR	No	High	24" o.c.		
Sr	39	Serenoa repens / Saw Palmetto	-		24"HT x 24"SPR	Yes	Medium	24" o.c.		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	DETAIL	REMARKS
FMG	215	Ficus microcarpa 'Green Island' / Green Island Ficus	-		14" HT x 16" SPR	No	High	18" o.c.		
JCP	60	Juniperus chinensis 'Parsonii' / Parsoni Juniper	---		12"H. X12" SPR.	NO	HIGH	18" o.c.		
SOD/SEED	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	DETAIL	REMARKS
SOD	2,720 sf	Stenotaphrum secundatum 'Floritam' / 'Floritam' St. Augustine Sod	sod			No	High			
TALL GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	DETAIL	REMARKS
MCG	66	Muhlenbergia capillaris / Pink Muhly Grass	-	Yes	24" HT. x 24" SPR.	Yes	Medium	22" o.c.		



**GENERAL PLANTING REQUIREMENTS**

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material (except SOD) as included herein shall be warranted by the landscape contractor for a minimum period of 12 months.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

The plan takes precedence over the plant list.

**SPECIAL NOTES**

- All landscaping shall be warranted for 1 year after final inspection.
- No landscape substitutions shall be made without the City of Hollywood approval.
- Remove all invasive exotic plants from the site.
- Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

**FOLIAGE EXPRESSIONS**

8801 SW 192nd Terrace,  
Cutler Bay, FL 33157



**TIRAM RESIDENCE 2**

PROJECT NAME & LOCATION:

1317 HARRISON STREET  
HOLLYWOOD, FLORIDA

DISTRIBUTION:	DATE:
1 CITY COMMENTS	07-05-23
2 CITY COMMENTS	08-09-23

DRAWING NAME:  
**LANDSCAPE PLAN AND DETAILS**

DRAWING NUMBER:  
**L-210**