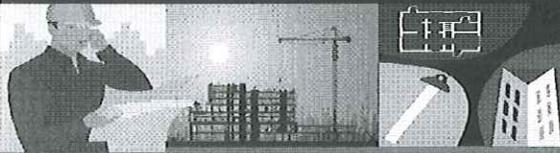


ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (Internal use only): _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 08/03/2020

Location Address: 1122 Adams Street, Hollywood, FL 33019

Lot(s): 19 + 20 Block(s): 33 Subdivision: Hollywood Lakes

Folio Number(s): 514214015530

Zoning Classification: RS-6 Land Use Classification: Single family

Existing Property Use: residential Sq Ft/Number of Units: 1969 a/c

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: two story addition to existing structure in Historic District

Number of units/rooms: 2 rooms Sq Ft: 1,200

Value of Improvement: 160,000 Estimated Date of Completion: 03/2021

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: David + Melissa Jeda

Address of Property Owner: 1122 Adams St. Hollywood, FL 33019

Telephone: 239-253-8347 Fax: _____ Email Address: david.jeda@gmail.com

Name of Consultant (Representative/Tenant (circle one)): Stewart Robin

Address: 2601 E. Oakland Pk Blvd #203 Ft. Lauderdale Telephone: 954-529-9000

Fax: _____ Email Address: stewart@nestplans.com

Date of Purchase: 05/27/16 Is there an option to purchase the Property? Yes () No (x)

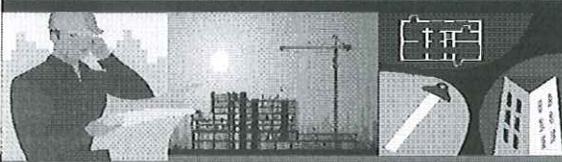
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (Internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] [Signature] Date: 08/03/2020

PRINT NAME: David Jeda Melissa Jeda Date: 08/03/2020

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

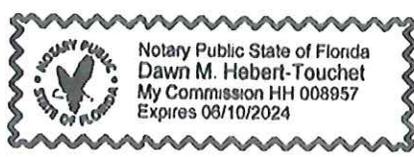
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for an addition to my property, which is hereby made by me or I am hereby authorizing Stewart Robin to be my legal representative before the Hollywood Historic (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 3rd day of August

[Signature]

Notary Public
State of Florida



[Signature]

Signature of Current Owner

David Jeda

Print Name

My Commission Expires: 6/10/24 (Check One) Personally known to me; OR Produced Identification _____



August 10, 2020 - Rev. August 19, 2020

City of Hollywood
Planning and Zoning Department
2600 Hollywood Blvd
Hollywood, Florida 33020

PROJECT NAME: Jeda Residence
PROJECT ADDRESS: 1122 Adams Street
Hollywood, Florida 33019

LEGAL DESCRIPTION: THE WEST 16.67 FEET OF LOT 19 AND ALL OF LOT 20, BLOCK 33, HOLLYWOOD LAKES SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA.

To the Members of the Historic Preservation Board,

David and Melissa Jeda, hired our firm to design the minor renovation and addition to their existing home, a 1950's ranch style three bedroom, two bathroom single family residence consisting of 1,469 square feet of permitted A/C area located at 1122 Adams Street in Hollywood, Florida. The Jeda's with their two young children moved into their home in 2016. At the time, the home was large enough but as their kids grew older, they recognized the space was a little tight. They had a choice to either move into a larger home and potentially lose the friends and neighbors plus the close proximity to their school and synagogue. Or they could add to the existing home giving them the much-needed extra space to grow.

They chose the latter and hired our firm to design the addition to existing home. Not only did they request that we be considerate to the existing home's architectural features but also the neighborhood in which it sits in. As there was no room in the rear of the property to add a two-story addition, it became clear the best location would be the north east corner of the residence. They expressed their desire for the project to be designed with green building practices in mind and to damage as little of the existing residence as possible. The scope of work included the following items: adding a new first floor living room while on the second floor, they requested a new master suite.

The new 1,202 square foot addition to their existing, 1,469 sq. ft. residence has been designed with the following LEED credited practices:

- Central Air Conditioner to be 18 SEER with Programmable Thermostat
- Low Energy efficient Windows and Doors
- Energy Star approved roofing material
- Tankless water heater with insulated hot water pipes
- Passive Solar Design for Window and Doors

We hereby present to the Historic Preservation Board, our Submittal Package for your consideration of approval for the addition to the existing residence for the existing single family residence located at 1122 Adams Street in Hollywood Florida.

Please let me know require any additional information.

Sincerely,

GERALD BELGRAVE AR 0015085
NEST PLANS INC.

NAME OF OWNER **San MILANESE & Son.**

ADDRESS OF CONSTRUCTION **1210 N. 11th St. Lakes.**

LEGAL DESCRIPTION

FL-9 #1868

#1110, -#16, 67' Lt 18. Lt 17. Bl 33. Lakes.

#1111, -#33, 33' Lt 18. Lt 33, 33' Lt 19. Bl 33.

Owner's Present Address

#1122, -#16, 67' Lt 19. Lt 20. Bl 33.

Description of Construction

#1126, -#16, 67 Lt 22. & Lt 21. Bl 33.

#1132, -#33, 33' Lt 22. Lt 33, 33' Lt 23. Bl 33.

#1138, -#16, 67' Lt 23. Lt 24. Bl 33.

Single Family, \$15,000.00

Permit Type

No.

Date Issued

To Whom

Particulars of Outside

Eng.

17297

9-28-51

Owner.

Blotched # 1126 10817

10-3-51

Owner

1-1-60

10830

1-20-51

Owner

1-2-60

Blotched # 1122 10805

10-20-51

Owner

9

10808

10-20-51

Owner

9-2-51

10808

10-20-51

Owner

9

FOUNDATION

Final Rough Ft.

Rough Marble

FIRE BRAM

Septic Tank

Temporary Final

ROOF

Grease Trap

Final Marble

GAS

Cert. of Occupancy

Exhibit Book

6-OK-2-11-51

NAME OF OWNER **Sun KILANESH & Son.**

ADDRESS OF CONSTRUCTION **1110 to 1128 CANE ST.**

LEGAL DESCRIPTION

1110, -116, 67' Lt 18. Lt 17. Bl 33. Lakes.

1111, -113, 33' Lt 18. Lt 33, 33' Lt 19. Bl 33.

Owner's Present Address

1122, -116, 67' Lt 19. Bl 20. Bl 33.

Description of Construction

1126, -116, 67 Lt 22. & Lt 21. Bl 33.

1132, -113, 33' Lt 22. Lt 33, 33' Lt 23. Bl 33.

4 - Single Family, \$15,000. To 1138, -116, 67' Lt 23. Lt 24. Bl 33.

Permit Type	No.	Date Issued	To Whom	Particulars & Outline
ECG	17297	9-28-51	Owner.	

Electrical	1126-10817	10-3-51	Kang	1-1-b-w
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Plumbing	10830	1-20-51	Kang	1-2-b-w
----------	-------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

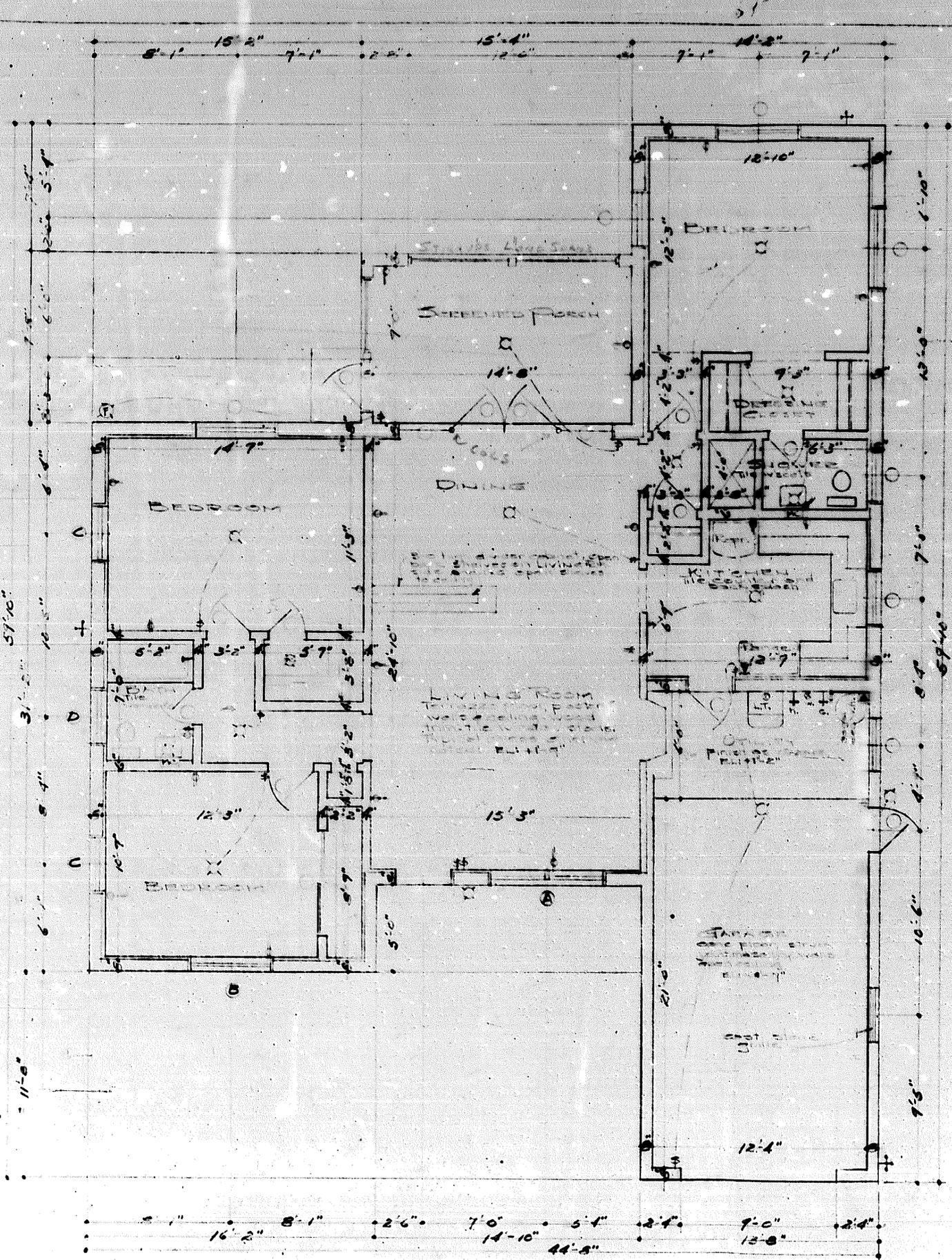
Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
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Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
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Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
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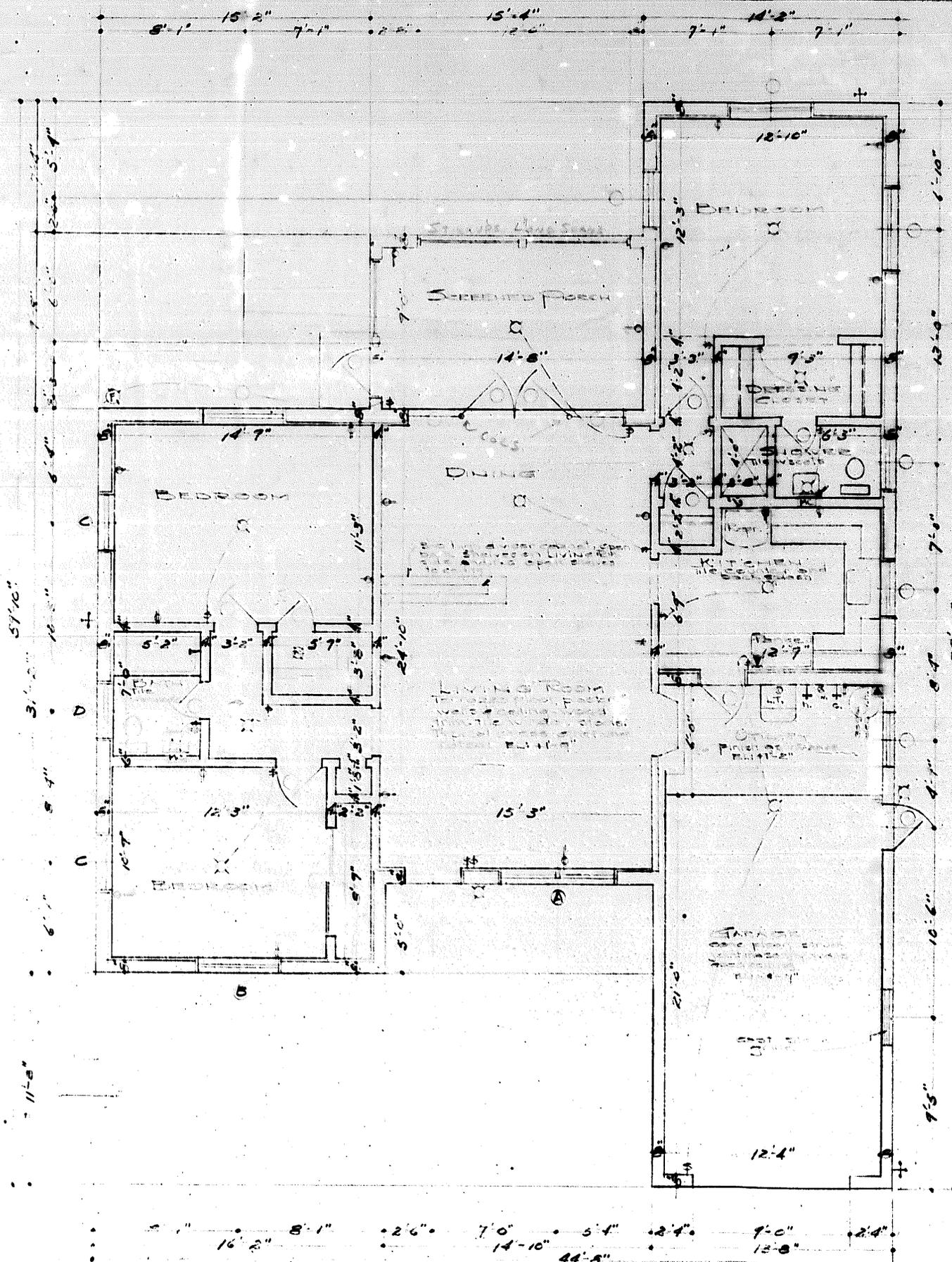
Plumbing	1126-10817	10-3-51	Kang	1-1-b-w
----------	------------	---------	------	---------

6-OK-7-25-51



FLOOR PLAN 1/8" = 1'-0"

RESIDENCE FOR		SHEET
MR. SAM MILANESE		
SEE PLOT PLAN FOR LEGAL		
HOLLYWOOD-FLORIDA		
CONSIDER	JAMES A. TOYNE	1 OF
21 SEPT '51	Architect	
Scale Notes		
DE: J.A.M.		

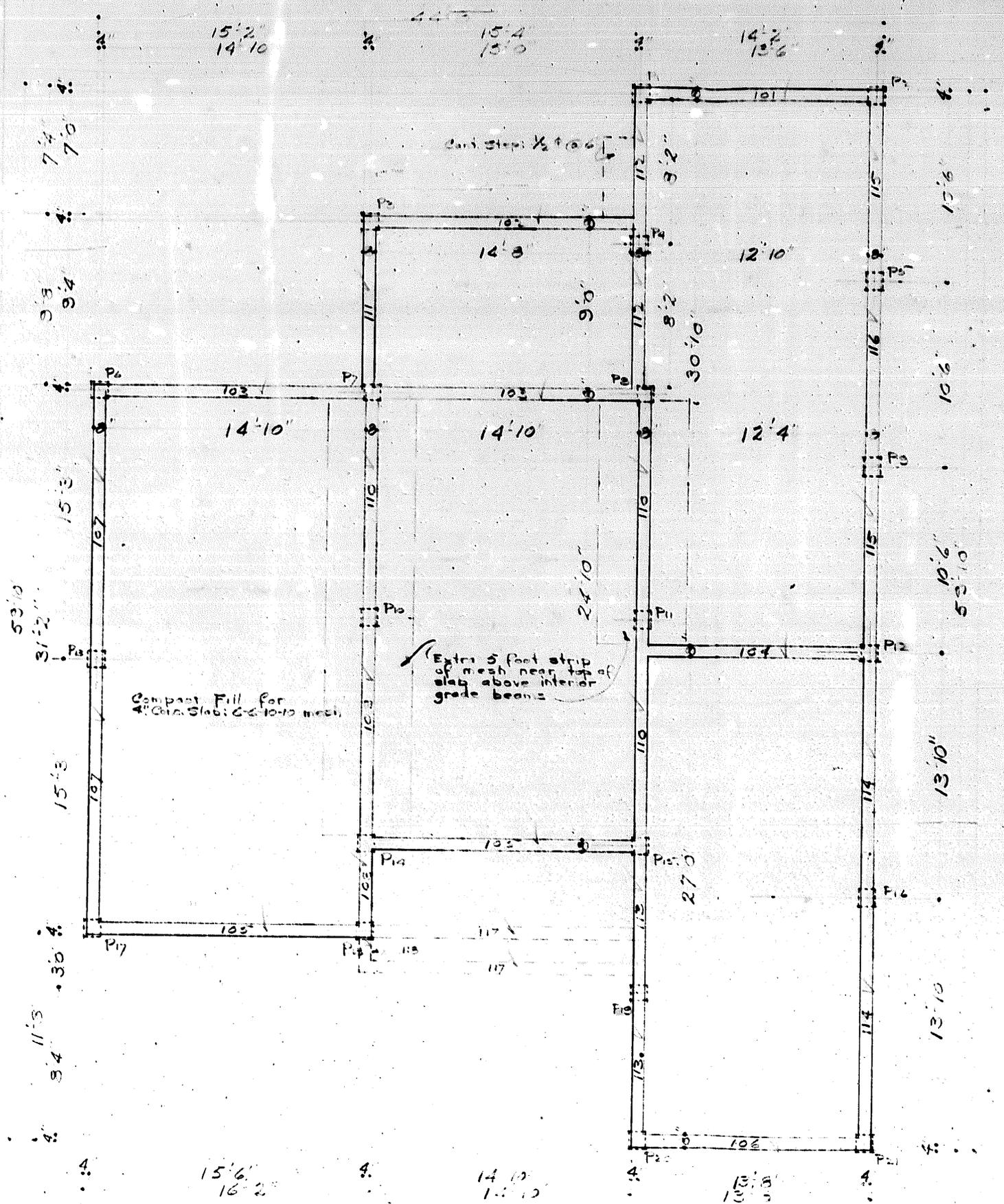


FLOOR PLAN 1" = 1'-0"

RESIDENCE FOR
 MR. SAM MILANESE
 SEE PLOT PLAN FOR LEGAL
 HOLLYWOOD-FLORIDA

CONSIDER
 21 OCT 51
 SCALE NOTED
 D. G. JAMES

SHEET
 1
 OF



PILING & GRADE BEAMS
 $\frac{1}{4} = 1'-0"$

PILE No	MARKING	PILE SIZE	GRADE BEAM		PILE BENT	PILE TOP	NO. OF STRIPS	STRIP SIZES	REMARKS
			STRAIGHT	BENT					
101	101	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
102	102	18	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9-12	Low	
103	103	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9-12	Low	
104	104	24	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
105	105	24	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9-12	Low	
106	106	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
107	107	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9-12	Low	
108	108	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
109	109	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
110	110	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
111	111	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
112	112	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
113	113	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
114	114	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
115	115	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
116	116	22	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	4-9-12	Low	
117	117	18	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9		
118	118 Cont	18	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1- $\frac{1}{2}$ "	1	3-6-9		

NOTE: Provide 6"x6" footing 1- $\frac{1}{2}$ " for all piling bents.

For Houses A, C, D, F only
 For Houses A, D only Refer to Plans 20

PLOT 1
Lot 17 plus the East 16.67
feet of Lot 18,

PLOT 2
West 33.33 ft. Lot 18
plus East 33.33 ft. Lot 19,

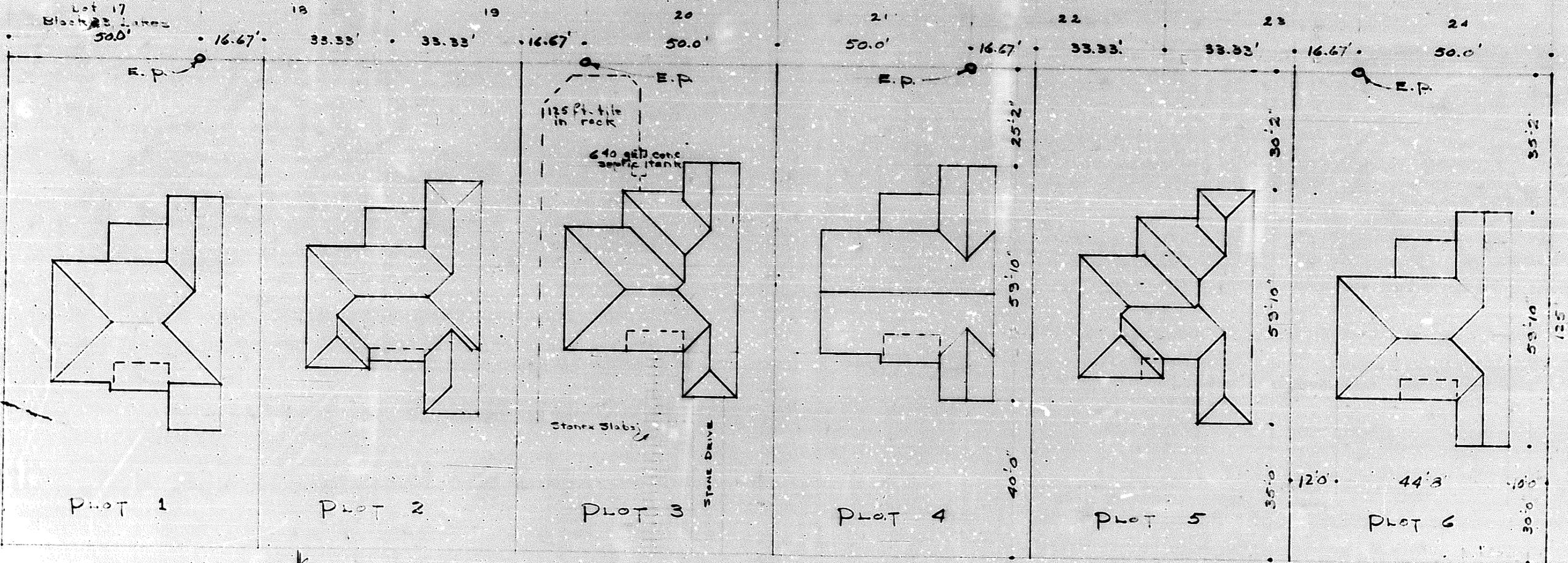
PLOT 3
West 16.67 feet Lot 19
plus all of Lot 20,

PLOT 4
Lot 21 plus the East 16.67
feet of Lot 22,

PLOT 5
West 33.33 ft. Lot 22
plus East 33.33 ft. Lot 23

PLOT 6
West 16.67 feet Lot 23
plus all of Lot 24

Block 33, Hollywood Lakes Section



ADAMS STREET

CONSOLIDATED PLOT PLAN

1" = 20'-0"

PLOT 3 is typical for layout of individual plot.

SHEET

PLOT 1
Lot 17 plus the East 16.67
feet of Lot 18,

PLOT 2
West 33.33 ft. Lot 18
plus East 33.33 ft. Lot 19,

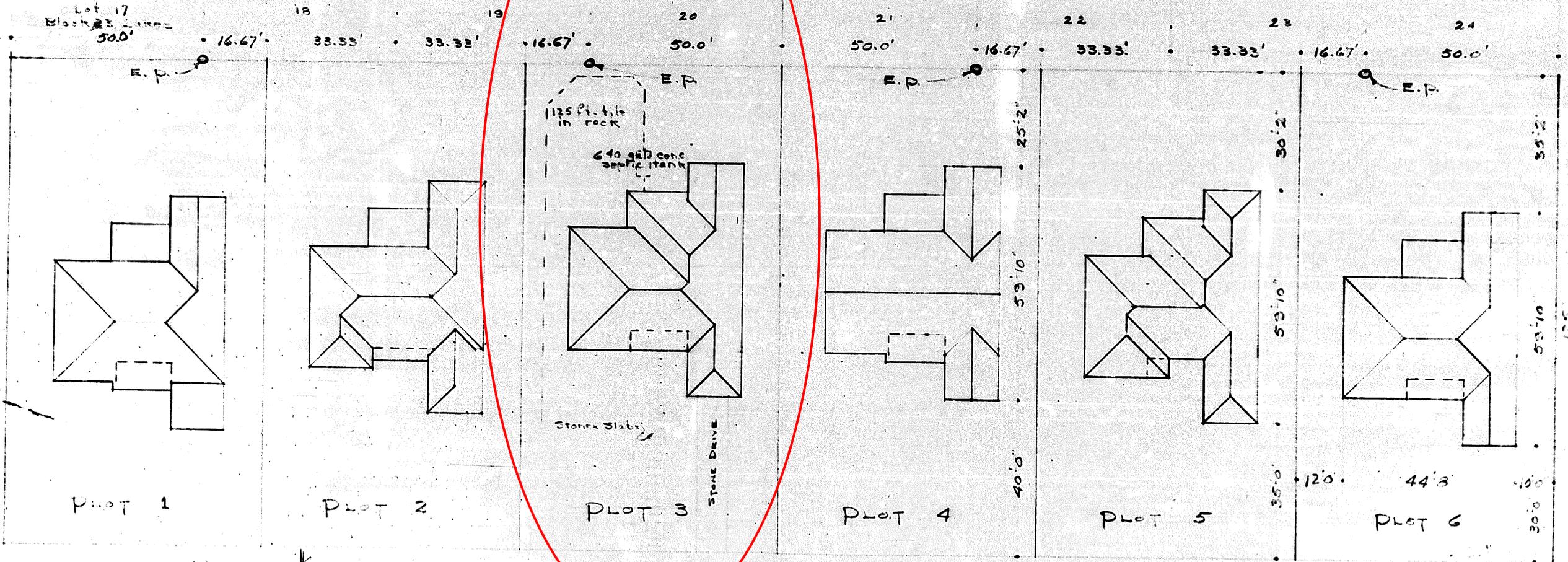
PLOT 3
West 16.67 feet Lot 19
plus all of Lot 20,

PLOT 4
Lot 21 plus the East 16.67
feet of Lot 22,

PLOT 5
West 33.33 ft. Lot 22
plus East 33.33 ft. Lot 23

PLOT 6
West 16.67 feet Lot 23
plus all of Lot 24.

Block 33, Hollywood Lakes Section



ADAMS STREET

CONSOLIDATED PLOT PLAN

1" = 20'-0"

Plot 3 is typical for layout of individual plot.

SHEET

Permit Search Results

[Search](#) > Properties located at/on/near '...1122...'

**14 permits were found for
1122 ADAMS ST**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B16-103816	REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	6/30/2016	7/22/2016
Details		B15-102915	ROOFING - NEW - FLAT	4/7/2016	4/7/2016
Details		B15-102779	GAZEBO	6/1/2015	4/7/2016
Details		B14-101808	DRIVEWAY	4/17/2014	10/6/2014
Details		B13-103074	WINDOW &/OR DOOR REPLACEMENT	7/1/2013	8/7/2013
Details		E12-101964	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	9/7/2012	12/20/2012
Details		E12-101614	SERVICE CHANGE	7/25/2012	7/30/2012
Details		P12-100916	SEWER CONNECTION	6/13/2012	6/13/2012
Details		P12-100679	POOL PIPING AND FILTER EQUIPMENT	6/5/2012	6/5/2012
Details		E12-100854	LOW VOLTAGE (POOL ALARM SYSTEM)	6/5/2012	6/5/2012
Details		E12-100853	ELECTRICAL WORK	6/5/2012	6/5/2012
Details		B12-102258	DECK - WITHOUT ROOF	6/5/2012	6/5/2012
Details		B12-101663	POOL - RESIDENTIAL	4/27/2012	6/4/2012
Details		B09-104637	FENCE-CHAIN LINK &/OR WOOD	12/4/2009	1/19/2010

Permit Details

Process #:	Permit #: B16-103816	Master Permit: B16-103816
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , W 16.67 OF LOT 19 & ALL OF LOT	Value: \$15,700.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE - REROOF TILE	Application Date: 6/30/2016
Job Name: JEDA,DAVID	Permit Date: 7/22/2016
Film Number:	CO/CC Date: N/A
	Total Fees: \$516.13
	Recorded Payments: \$516.13
	Balance: \$0.00

Applicant / Contact Information
Name: CURTIS SMITH CONSTRUCTION LLC
Address: 10141 SANDY RUN RD JUPITER, FL

Property Owner Information
Name: JEDA,DAVID & MELISSA
Address: 1122 ADAMS ST HOLLYWOOD FL 33019

Contractor Information
Name: CURTIS SMITH CONSTRUCTION LLC (Permits + Details)
Address: 10141 SANDY RUN RD JUPITER, FL

Permit Details

Process #:	Permit #: B15-102915	Master Permit: B15-102779
Status: CLOSED		
<u>Show Master Permit</u>		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$220.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: ROOFING - NEW - FLAT	Application Date: 4/7/2016
Job Name:	Permit Date: 4/7/2016
Film Number:	CO/CC Date: N/A
	Total Fees: \$105.00
	Recorded Payments: \$105.00
	Balance: \$0.00

Applicant / Contact Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Contractor Information
Name:
Address:

Permit Details

Process #:	Permit #: B15-102779	Master Permit: B15-102779
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1122 ADAMS ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 19 W 16 FT 8 IN,20 BLK 33 Lot: Block:	Folio#: 514214015530 Value: \$2,500.00 Sq Ft: 0

Permit Information	
Application Type: GAZEBO - GAZEBO Job Name: GARRIN MICHAEL Film Number:	Application Date: 6/1/2015 Permit Date: 4/7/2016 CO/CC Date: N/A Total Fees: \$321.77 Recorded Payments: \$321.77 Balance: \$0.00

Applicant / Contact Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C Address: 1122 ADAMS ST HOLLYWOOD, FL 33019

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C Address: 1122 ADAMS ST HOLLYWOOD, FL 33019

Contractor Information
Name: Address:

Permit Details

Process #:	Permit #: E12-101964	Master Permit: E12-101964
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1122 ADAMS ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 19 W 16 FT 8 IN,20 BLK 33	Folio#: 514214015530 Value: \$99.00 Sq Ft: 0
Lot:	Block:

Permit Information	
Application Type: ALARM - RESIDENTIAL - BURGLAR/ROBBERY Job Name: Film Number:	Application Date: 9/7/2012 Permit Date: 12/20/2012 CO/CC Date: N/A Total Fees: \$116.00 Recorded Payments: \$116.00 Balance: \$0.00

Applicant / Contact Information
Name: PROTECT YOUR HOME Address: 3750 PRIORITY WAY SOUTH DRIVE #200 INDIANAPOLIS, IN

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C Address: 1122 ADAMS ST HOLLYWOOD, FL 33019

Contractor Information
Name: PROTECT YOUR HOME (Permits + Details) Address: 3750 PRIORITY WAY SOUTH DRIVE #200 INDIANAPOLIS, IN

Permit Details

Process #:	Permit #: E12-101614	Master Permit: E12-101614
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1122 ADAMS ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 19 W 16 FT 8 IN,20 BLK 33 Lot:	Folio#: 514214015530 Value: \$400.00 Sq Ft: 0
Block:	

Permit Information	
Application Type: SERVICE CHANGE Job Name: Film Number:	Application Date: 7/25/2012 Permit Date: 7/30/2012 CO/CC Date: N/A Total Fees: \$109.35 Recorded Payments: \$109.35 Balance: \$0.00

Applicant / Contact Information
Name: ACRES ELECTRIC Address: 4052 S W 7TH STREET PLANTATION, FL

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C Address: 1122 ADAMS ST HOLLYWOOD, FL 33019

Contractor Information
Name: ACRES ELECTRIC (Permits + Details) Address: 4052 S W 7TH STREET PLANTATION, FL

Permit Details

Process #:	Permit #: P12-100916	Master Permit: B12-101663
Status: CLOSED		
Show Master Permit		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$750.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: SEWER CONNECTION	Application Date: 6/13/2012
Job Name:	Permit Date: 6/13/2012
Film Number:	CO/CC Date: N/A
	Total Fees: \$49.60
	Recorded Payments: \$49.60
	Balance: \$0.00

Applicant / Contact Information
Name: H & H PLUMBING OF SOUTH FLORIDA INC
Address: 98 NW SPANISH RIVER BLVD BOCA RATON, FL

Property Owner Information
Name: ROSE, GARRIN MICHAEL H/E DITTO, KELLEY C
Address:

Contractor Information
Name: H & H PLUMBING OF SOUTH FLORIDA INC (Permits + Details)
Address: 98 NW SPANISH RIVER BLVD BOCA RATON, FL

Permit Details

Process #:	Permit #: P12-100679	Master Permit: B12-101663
Status: CLOSED		
Show Master Permit		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$900.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: POOL PIPING AND FILTER EQUIPMENT	Application Date: 6/5/2012
Job Name:	Permit Date: 6/5/2012
Film Number:	CO/CC Date: N/A
	Total Fees: \$73.70
	Recorded Payments: \$73.70
	Balance: \$0.00

Applicant / Contact Information
Name: PARKWOOD POOLS INC
Address: 6761 W SUNRISE BLVD #16 PLANTATION, FL

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Contractor Information
Name: PARKWOOD POOLS INC (Permits + Details)
Address: 6761 W SUNRISE BLVD #16 PLANTATION, FL

Permit Details

Process #:	Permit #: E12-100854	Master Permit: B12-101663
Status: CLOSED		
Show Master Permit		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$200.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: LOW VOLTAGE (POOL ALARM SYSTEM)	Application Date: 6/5/2012
Job Name:	Permit Date: 6/5/2012
Film Number:	CO/CC Date: N/A
	Total Fees: \$49.60
	Recorded Payments: \$49.60
	Balance: \$0.00

Applicant / Contact Information
Name: NEW ENERGY INC
Address: 3065 NE 14 AVE FORT LAUDERDALE, FL

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Contractor Information
Name: NEW ENERGY INC (Permits + Details)
Address: 3065 NE 14 AVE FORT LAUDERDALE, FL

Permit Details

Process #:	Permit #: E12-100853	Master Permit: B12-101663
Status: CLOSED		
Show Master Permit		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$900.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: ELECTRICAL WORK	Application Date: 6/5/2012
Job Name:	Permit Date: 6/5/2012
Film Number:	CO/CC Date: N/A
	Total Fees: \$66.20
	Recorded Payments: \$66.20
	Balance: \$0.00

Applicant / Contact Information
Name: NEW ENERGY INC
Address: 3065 NE 14 AVE FORT LAUDERDALE, FL

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Contractor Information
Name: NEW ENERGY INC (Permits + Details)
Address: 3065 NE 14 AVE FORT LAUDERDALE, FL

Permit Details

Process #:	Permit #: B12-102258	Master Permit: B12-101663
Status: CLOSED		
Show Master Permit		

Site Information	
Address: 1122 ADAMS ST	Folio#: 514214015530
Sub-division:	Value: \$2,000.00
Lot:	Sq Ft: 0
Block:	

Permit Information	
Application Type: DECK - WITHOUT ROOF	Application Date: 6/5/2012
Job Name:	Permit Date: 6/5/2012
Film Number:	CO/CC Date: N/A
	Total Fees: \$70.20
	Recorded Payments: \$70.20
	Balance: \$0.00

Applicant / Contact Information
Name: PARKWOOD POOLS INC
Address: 6761 W SUNRISE BLVD #16 PLANTATION, FL

Property Owner Information
Name: ROSE,GARRIN MICHAEL H/E DITTO,KELLEY C
Address:

Contractor Information
Name: PARKWOOD POOLS INC (Permits + Details)
Address: 6761 W SUNRISE BLVD #16 PLANTATION, FL

Permit Details

Process #:	Permit #: B09-104637	Master Permit: B09-104637
Status: CLOSED		
List All Subpermits		

Site Information	
Address: 1122 ADAMS ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 19 W 16 FT 8 IN,20 BLK 33 Lot: Block:	Folio#: 514214015530 Value: \$1,525.00 Sq Ft: 0

Permit Information	
Application Type: FENCE-CHAIN LINK &/OR WOOD Job Name: Film Number:	Application Date: 12/4/2009 Permit Date: 1/19/2010 CO/CC Date: N/A Total Fees: \$126.70 Recorded Payments: \$126.70 Balance: \$0.00

Applicant / Contact Information
Name: ALL STAR FENCING LLC Address: 182 S W 52 AVE PLANTATION, FL

Property Owner Information
Name: DITTO,KELLEY C ROSE,GARRIN MICHAEL Address: 1122 ADAMS ST HOLLYWOOD FL33019

Contractor Information
Name: ALL STAR FENCING LLC (Permits + Details) Address: 182 S W 52 AVE PLANTATION, FL



August 10, 2020

City of Hollywood
Planning and Zoning Department
2600 Hollywood Blvd
Hollywood, Florida 33020

REFERENCE: CRITERIA OF APPROPRIATENESS FOR DESIGN

PROJECT NAME: Jeda Residence
PROJECT ADDRESS: 1122 Adams Street
Hollywood, Florida 33019
ARCHITECT NUMBER: NEST 2015

1. INTEGRITY OF LOCATION

ANALYSIS: The property is in the Southern half of the Hollywood's Historic Lakes District situated in a popular but quite neighborhood on the South side of Adams Street. The addition is calculated to be within the required east and front yard setbacks which are consistent with the surround properties.

2. DESIGN

ANALYSIS:

- Building Height - The residence is designed with a mix of one- and two-story components. The concept of bringing the two story portion to the front of the property while maintaining the rear allows for the reduction of shadow onto the neighbor's one story structure to the east while maintaining the front setbacks.
- Window Openings –The residence is designed with passive architecture techniques following LEED principals of large glazing on the southern and northern elevations with large overhangs on the norther front porch. This concept also reduces or removes glazing on the east and the western exposer to reduce the heat impact on those elevations or create large overhangs to help reduce it. The proposed design is compatible with the neighbors on both sides of the house
- Roof Form/Pitch – The residence currently has a new 3/12 pitch grey flat tile roof with comfortable two foot overhang. The design incorporates the same 3/12 pitch and roof material keeping the style and color scheme intact from the original.

3. SETTING

ANALYSIS: The current site is situated between to (2) one story residences and one-story residences across the street and two story residences within a short distance on and either side of Adams Street. The new addition will move the living room and master bedroom to the front of the residence closer to the street. We believe this will enhance the neighborhood pedestrian friendly while being compatible to the rest of the neighbors. The front door master bedroom door and living room windows on the north façade are well articulated and consistent with the pattern of fenestration of the rest of the neighborhood.

4. MATERIALS

ANALYSIS: The building is being designed with Concrete Masonry Unit construction, Wood Trusses both floors and roofs, white framed Impact Windows and doors, grey flat tile roof with white aluminum flashing/drip edge and smooth Stucco finish. All these materials are consistent and compatible with the surrounding residences built in the Mid-Century Modern fashion but with 21 Century Materials. They are planning on keeping the existing grey color paint with white trim and darker grey accents. The impact windows and sliding glass door will be white extruded aluminum to match existing impact windows and the roof and pavers will also match existing flat tile grey roof and grey concrete pavers.



5. WORKMANSHIP

ANALYSIS: The Jeda's are planning on using materials and colors that represent and coordinate with the rest of the single-family residences in the neighborhood. As this is their permanent residence and the purpose of the addition is to keep the family in the home for the foreseeable future. The workmanship and quality of construction will meet or exceed the standard in the area from licensed construction professionals.

6. ASSOCIATION

ANALYSIS: Like many of the 1950's style architecture throughout the city, our design includes many of the same elements as expressed on page 73 of the Design Guidelines for Historic Properties and Districts. The design elements we included in our design are the wide eave overhangs, oversized and unusual windows and glass doors, low pitched roofs and large patio overhang that embraces. To embrace the street scape, we designed the addition to the existing residence to have an exciting procession from the street, pass the new living room with windows on three sides to create this inviting glass house experience to the new front door with a much expanded front porch for outdoor living.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gerald Belgrave". The signature is fluid and cursive, with a large initial "G" and "B".

GERALD BELGRAVE AR 0015085
NEST PLANS INC.

GENERAL NOTES

DIVISION 1 - GENERAL REQUIREMENTS

- CONTRACTORS AND SUB-CONTRACTORS SHALL CONSTRUCT THE BUILDING IN ACCORDANCE WITH ALL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION AND SHALL BE RESPONSIBLE FOR THE SAME. CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE WORK AS NECESSARY FOR PROPER COMPLETION OF PROJECT.
- ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. IF CONTRACTOR AND/OR SUB-CONTRACTOR ELECTS NOT TO VERIFY DIMENSIONS OR NOT TO NOTIFY THE ARCHITECT AND OWNER, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL BEAR THE EXPENSE OF THE CORRECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OR ANY PRODUCT APPROVAL DATA SUBMISSION AND APPROVALS BY BUILDING DEPARTMENT.
- CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN AND PREPARE AN "AS-BUILT" REDLINE SET OF DRAWINGS. UPON COMPLETION OF PROJECT SUCH DRAWINGS SHALL BE ISSUED TO OWNER.

DIVISION 2 - SITE WORK

- CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO PERMITTING AND SHALL SUBMIT REPORT TO ARCHITECT AND OWNER. CONTRACTOR SHALL PROVIDE COMPACTION FOR WALKWAYS, FLATWORK AND DRIVEWAYS AS REQUIRED.
- THE CONTRACTOR AND ALL HIS SUB-CONTRACTORS SHALL BE HELD TO HAVE VISITED THE SITE OF THE WORK AND TO HAVE EXAMINED THE EXISTING CONDITIONS OF THE SAME AND THE SITUATIONS UNDER WHICH THEY ARE TO WORK AND TO HAVE ACCOUNTED FOR SAME IN THEIR BIDS.
- ALL "EXISTING" INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ARCHITECT FROM THE OWNER SUCH "EXISTING" INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SIZE, LOCATION AND MATERIAL.
- ALL AREAS ADJACENT TO WORK WHICH HAVE BEEN ALTERED AND/OR DAMAGED SHALL BE REPAIRED TO MATCH EXISTING AND/OR FINISH OF NEW WORK.
- ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, PLANNING MATERIALS, ETC., SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL GOVERNING AUTHORITIES.

DIVISION 3 - CONCRETE

- CONCRETE FINISH SHALL BE LEVEL AND/OR PITCHED PROPERLY. FINISH OF ALL EXTERIOR SURFACE CONCRETE SHALL BE BROOM FINISH.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE FLOOR SYSTEM TO THE ARCHITECT AND ENGINEER PRIOR TO START OF CONSTRUCTION FOR THEIR REVIEW AND COORDINATION. IF SUCH SHOP DRAWINGS ARE NOT SUBMITTED TO THE ARCHITECT AND ENGINEER PRIOR TO THE START OF CONSTRUCTION, THE RESPONSIBILITY OF THE COORDINATION AND / OR ANY CORRECTIONS WHICH MAY OCCUR ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF THE APPROVED TRUSS DRAWINGS, AND THE TRUSS ENGINEERING SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, HAS BEEN COMPLETED PRIOR TO THE START OF CONSTRUCTION.

DIVISION 6 - WOOD AND PLASTICS

- TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, WHICH SHALL INCLUDE TRUSS PROFILES, FRAMING PLAN AND CERTIFICATION BY A FLORIDA REGISTERED ENGINEER, TO THE ARCHITECT AND OWNER. TRUSS MANUFACTURER SHALL NOT START FABRICATION UNTIL REVIEW OF SUCH SHOP DRAWINGS BY THE ARCHITECT AND OWNER IS ISSUED. TRUSS MANUFACTURER IS RESPONSIBLE FOR SUPPLYING THE TRUSS ENGINEERING INDICATING GRAVITY LOADS AND UP-LIFT LOADS AND ENGINEERED TRUSS HARDWARE AND ANCHORAGE REQUIREMENTS FOR TRUSS TO TRUSS CONNECTIONS.
- THE TRUSS LAYOUT SHOWN IS SCHEMATIC IN NATURE HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL COMPLY WITH THE FINAL TRUSS DESIGNERS LAYOUT.
- THE FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.I. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

DIVISION 8 - DOORS AND WINDOWS

- ALL EXTERIOR WINDOWS AND SLIDING GLASS DOORS WILL HAVE AN APPROVED HURRICANE SHUTTER PROTECTION, OR BE APPROVED HURRICANE WINDOWS AND DOORS.
- EVERY BATHROOM DOOR LOCK SHALL BE IN COMPLIANCE WITH NFPA 101-21-2.4.4 AND CLOSET DOOR LATCH PER NFPA 101-21-2.4.3.
- NO DOUBLE TWO SIDED LOCKS ON ENTRANCE DOORS.
- WINDOW AND DOOR BUCKS ARE CONSIDERED AS FILLERS AND THE WINDOW AND/OR DOOR SHALL BE SECURED TO THE STRUCTURE THROUGH THE BUCKS IN ACCORDANCE WITH THE MANUFACTURERS PRODUCT APPROVAL AND SPECIFICATIONS.
- GLASS IN DOORS AND/OR ADJACENT TO DOORS SHALL BE TEMPERED.
- CONTRACTOR SHALL PROVIDE FOR PERMIT ALL CODE REQUIRED PRODUCT APPROVALS FOR ALL EXTERIOR WINDOWS AND DOORS.
- FRONT DOOR (AS MARKED IN FIRST FLOOR PLANS) AND GARAGE DOORS SHALL MEET WIND PRESSURES, IMPACT TEST, WIND CYCLE TESTS, ETC. AS REQUIRED BY GOVERNING BUILDING CODE. THE FRONT DOOR SHALL BE DESIGNATED ON THE FIRST FLOOR PLANS AS THE EMERGENCY EXIT.
- ALL EXTERIOR DOORS AND DOOR INTO GARAGE SHALL HAVE WEATHER STRIPPING AND METAL THRESHOLD.
- THE SECOND MEANS OF EGRESS SHALL COMPLY WITH NFPA 101-22-2.1.2 AND SHALL HAVE A CLEAR MINIMUM OPENING OF NOT LESS THAN 5.7 SQ. FT. (MIN. 20" W/24" H). THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. IF WINDOW SILL AT UPPER FLOORS IS LESS THAN 36" ABOVE ADJACENT FLOOR, PROVIDE SAFE GUARD AT 42" ABOVE FLOOR.

DIVISION 9 - FINISHES

- FINISHES SHALL BE CLASS A, B OR C.
- FLOOR AND BASE IN BATHROOMS SHALL BE OF IMPERVIOUS MATERIALS.
- ALL STEEL COLUMNS, PLATES AND STEEL ANGLES SHALL BE FACTORY PRIMED. ALL EXPOSED STEEL SHALL BE PAINTED PRIOR TO COVERING UP.

DIVISION 12 - FURNISHINGS

- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR SAMPLES FOR OWNERS REVIEW FOR ALL OR ANY CABINERY, BUILT-INS, TRIM, DOORS, WINDOWS, MATERIALS, CUSTOM FEATURES, ETC. THAT ARE SHOWN ON DRAWINGS. ALL INTERIOR WINDOWS, DOORS AND OPENINGS SHALL BE CASED WITH TRIM.
- GLASS OR MIRROR IMMEDIATELY SURROUNDING A BATH TUB OR SHOWER SHALL BE SAFETY GLAZING THAT ARE LESS THAN 40" ABOVE THE FLOOR OR THE SUB-OR SHOWER.

DIVISION 15 - MECHANICAL

- PLUMBING AND HVAC CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- HVAC CONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTATION AND PRODUCT SPECIFICATIONS TO OBTAIN A BUILDING PERMIT AND COMPLETE SUCH WORK AS REQUIRED BY F.B.C. 2014 AND THE SPECIFICATIONS.
- PLUMBING CONTRACTOR SHALL VERIFY CENTER LINE DIMENSIONS OF ALL FIXTURES THAT HAVE BEEN SPECIFIED BY OWNER AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME, MAINTAIN MINIMUM F.B.C. 2017 CLEARANCES BETWEEN TOILET FIXTURES AND ADJACENT WALL, CABINETRY AND / OR PLUMBING FIXTURE.
- PLUMBING CONTRACTOR SHALL COORDINATE ALL VERTICAL STACKS TO BE DIVERTED TO THE REAR OF ROOF RIDGE. SUCH VERTICAL STACKS SHALL BE PAINTED TO MATCH ROOFING COLOR.
- PROVIDE SHUT-OFF VALVES AT ALL BATHROOMS AS REQUIRED BY F.B.C. 2017
- PROVIDE AIR CHAMBERS AT ALL FIXTURE BRANCHES.
- WATER CONSUMPTION IN PLUMBING FIXTURES SHALL COMPLY WITH TABLES 46-R1 AND 46-R2 OF THE F.B.C. 2017
- ALL SHOWERS AND TUB/SOWER COMBINATIONS SHALL BE PROTECTED WITH ANTI-SCALD CONTROL VALVE.

DIVISION 16 - ELECTRICAL

- ELECTRICAL CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- ALL WIRE SIZES BASED ON COPPER.
- ALL BATHROOMS, GARAGE, UTILITY ROOM, KITCHEN COUNTER AND EXTERIOR W.P. RECEPTACLES SHALL HAVE G.F.I. CIRCUITS.
- ALL SERVICE WIRING SHALL BE COPPER.
- ALL FEEDER WIRING SHALL BE COPPER.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER PUMPS, POOL PUMPS AND ALL EXTERIOR EQUIPMENT.
- WIRE AND BREAKER SIZING FOR ALL APPLIANCES AND EQUIPMENT SHALL BE AS MANUFACTURERS NAME PLATE REQUIREMENTS AND THE RESPONSIBILITY OF THE SUB-CONTRACTOR TO VERIFY SUCH INFORMATION PRIOR TO INSTALLATION OF ELECTRICAL ROUGH. IF SUCH REQUIREMENTS DIFFER FROM THE PROPOSED ELECTRICAL SCHEDULE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER OF THE DISCREPANCY PRIOR TO ELECTRICAL ROUGH.
- ALL LIGHTING ABOVE TUB AND SHOWER SHALL BE WATERPROOF AND VAPOR PROOF. PROVIDE G.F.I.C. IF WITH IN 6" RADIUS OF TOP OF TUB.
- CLOSET LIGHTS SHALL COMPLY WITH N.E.C. ARTICLE 410-8.
- MINIMUM 22,000 ACI RATING FOR ALL SERVICE EQUIPMENT.
- CIRCUIT FOR SMOKE DETECTOR SHALL BE ON THE LIGHTING CIRCUIT OF KITCHEN OR BATH.
- BRANCH CIRCUITS THAT SUPPLY 15-20amp RECEPTACLES INSTALLED IN BEDROOMS MUST BE PROTECTED BY AN AFC BREAKER.

ADDITIONAL NOTES

1.01 ARCHITECT'S STATUS:

- A- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- B- AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.

1.02 GENERAL CONTRACTOR AND SUBCONTRACTORS:

- A- CONTRACTORS SHALL CARRY LIABILITY INSURANCE, TERMS AND LIMITS AS DIRECTED BY THE OWNER, AND SHALL FURNISH THE CERTIFICATES OF INSURANCE UPON BID ACCEPTANCE
- B- BY ACCEPTING THIS WORK, THE CONTRACTORS AGREE THAT THE OWNER, ARCHITECT, AND ENGINEERS SHALL BE HELD HARMLESS AND NOT LIABLE FOR ANY INJURIES OR PROPERTY DAMAGE RESULTING FROM ANY OF THE CONTRACTORS' OPERATIONS.

- C- EACH TRADE, MANUFACTURER AND/OR SUPPLIER SHOULD UNDERSTAND ITS SCOPE OF WORK WITHIN THIS SET OF PLANS COMPLETELY PRIOR TO COMMENCING ANY WORK. ANY QUESTIONABLE OR UNCLEAR CONDITIONS ARE TO BE BROUGHT TO ARCHITECT'S ATTENTION FOR CLARIFICATION. THE ULTIMATE RESPONSIBILITY OF ALL TRADES, MANUFACTURERS AND / OR SUPPLIERS IS THEIRS IF THE INFORMATION IN QUESTION IS SHOWN CLEARLY OR HAS BEEN ADDRESSED AS REQUIRED PRIOR TO COMMENCING THE WORK.

1.03 CODES:

- A- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING F.B.C. 2014 AND ALL APPLICABLE STATE, CITY AND COUNTY BUILDING ZONING, ELECTRICAL, MECHANICAL AND PLUMBING ADDENDUM, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

1.04 PERMITS:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS.

1.05 JOB CONDITIONS:

- A- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.

- B- DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.

- C- IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THESE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUB-CONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED, WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

- D- TAKE FIELD MEASUREMENTS FOR ALL OFF SITE MANUFACTURED ITEMS SUCH AS DOORS, WINDOWS, MILLWORK, SKYLIGHTS, GRILLES, RAILINGS, ETC.

1.06 CLEAN UP:

- A- THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC., ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

1.07 REPAIR / REPLACEMENT:

- A- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING ITEMS DAMAGE BY THE PROCESS OF NEW CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH EXISTING ADJACENT AREAS AND SURFACES.

1.08 SHOP DRAWINGS:

- A- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECTS REVIEW PRIOR TO FABRICATION AND COMMENCEMENT WITH THE WORK.
- B- THE APPLICATION, INSTALLATION AND USE OF ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST PUBLISHED INSTRUCTIONS.

1.09 CHANGE ORDERS:

- A- ALL CHANGES TO THE DRAWINGS MUST BE APPROVED IN WRITING BY THE ARCHITECT.
- B- THE CONTRACTOR SHALL NOT MAKE ANY MATERIAL SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	FOF	FACE OF FINISH	PTN	PARTITION
ADF	ACCESSIBLE DRINKING FOUNTAIN	FOM	FACE OF MASONRY	PLAS	PLATE
		FOS	FACE OF STUD	PL	PLASTIC
ALUM	ALUMINUM	FIN	FINISH	PLWD	PLYWOOD
<	ANGLE	FE	FIRE EXTINGUISHER	PT	PRESSURE TREATED
APPROX	APPROXIMATE	FR	FIRE RATED	R	RADIUS
ARCH	ARCHITECT	FRT	FINISH FLOOR ELEVATION	RL	RAIN LEADER
@	AT	FLR	FLOOR	REINF	REINFORCING
BRG	BEARING	FD	FLOOR DRAIN	RA	RETURN AIR
BLK	BLOCK	FDN	FOUNDATION	RD	ROOF DRAIN
BLKG	BLOCKING	FV	FIELD VERIFY	RS	ROOF SCUPPER
BD	BOARD	GALV	GALVANIZED	RTU	ROOF TOP UNIT
BLDG	BUILDING	GA	GAUGE	RM	ROOM
CLG	CEILING	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
CH	CEILING HEIGHT	GB	GYPSPUM BOARD	SCHED	SCHEDULE
CL	CENTER LINE	HC	HANDICAPPED	SECT	SECTION
	CHANNEL	HWC	HANDICAPPED WATER CLOSET	SHT	SHEET
CLR	CLEAR	HDW	HARDWARE	SIM	SIMILAR
CO	CLEAR OPENING	HT	HEIGHT	SCW	SOLID CORE WOOD
CR	COLD ROLLED	HM	HOLLOW METAL	SPEC	SPECIFICATIONS
COL	COLUMN	HORIZ	HORIZONTAL	SQ FT	SQUARE FOOT
CONC	CONCRETE	HR	HOUR	SS	STAINLESS STEEL
CD	CONDENSATE DRAIN	INSUL	INSULATION	STL	STEEL
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	STRUCT	STRUCTURAL
CONN	CONNECT / CONNECTION	JT	JOINT	SUSP	SUSPENDED
CONT	CONTINUOUS	LAM	LAMINATED	T	TEMPERED
CONTR	CONTRACTOR	LAV	LAVATORY	TEMP	TEMPORARY
CJ	CONTROL JOINT	LP	LIGHT POLE	THK	THICKNESS
DECOR.	DECORATOR	MH	MANHOLE	TH	THRESHOLD
DTL	DETAIL	MFR	MANUFACTURER	TOW	TOP OF MASONRY
DIAG	DIAGONAL	MFR	MANUFACTURER	TOS	TOP OF STEEL
DIA.	DIAMETER	MFR	MANUFACTURER	TOW	TOP OF WALL
DWG(S)	DRAWING / DRAWINGS	MBSRY	MASONRY BLOCKOUT	TS	TUBE STEEL
EA	EACH	MO	MASONRY OPENING	TYP	TYPICAL
EW	EACH WAY	MAT	MATERIAL	U.O.N.	UNLESS OTHERWISE NOTED
EWC	ELECTRICAL WATER COOLER	MAX	MAXIMUM	URN	URNAL
ELV	ELEVATION	MTL	METAL	VTR	VENT THROUGH ROOF
ERD	EMERGENCY ROOF DRAIN	MIN	MINIMUM	VERT	VERTICAL
EQ	EQUAL	MR	MOISTURE RESISTANT	WH	WATER HEATER
EQUIP	EQUIPMENT	MTD	MOUNTED	WWF	WELDED WIRE FABRIC
EF	EXHAUST FAN	NIC	NOT IN CONTRACT	W/	WITH
EXIST	EXISTING	NTS	NOT TO SCALE	WD	WOOD
EJ	EXPANSION JOINT	NO	NUMBER		
EXT	EXTERIOR	OC	ON CENTER		
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	OPP	OPPOSITE		
		OD	OUTSIDE DIAMETER		

PROJECT DESCRIPTION

LEGAL DESCRIPTION

THE WEST 16.67 OF LOT 19 & ALL OF LOT 20, BLOCK 33, HOLLYWOOD LAKES SECTION ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA.

SCOPE OF WORK:
TWO STORY CONCRETE MASONRY UNIT (CMU) ADDITION TO EXISTING SINGLE FAMILY RESIDENCE CONSISTING OF APPROXIMATELY 1,202 SQ. FT. (UNDER ROOF)

APPLICABLE CODES:
2017 FLORIDA BUILDING CODE (FBC): BUILDING
2017 FBC - MECHANICAL
2017 FBC - PLUMBING
2014 NATIONAL ELECTRICAL CODE
2017 FLORIDA ENERGY EFFICIENCY CODE (CHAPTER 13 FBC)

PROJECT CLASSIFICATION:

CLASSIFICATION OF WORK FOR THIS PROJECT WILL BE THAT OF A "ADDITION" PER THE FLORIDA BUILDING CODE RESIDENTIAL 2017.

CONSTRUCTION AND OCCUPANCY TYPE:

TYPE OF CONSTRUCTION: _____ VB (UNPROTECTED)
OCCUPANCY TYPE: _____ RESIDENTIAL GROUP R-3
ALTERATIONS LEVEL: _____ ADDITION

PROJECT TEAM

ARCHITECTURE

NEST PLANS INC.

4823 NW 66TH AVENUE
FORT LAUDERDALE, FL 33319
PHONE (954) 298-2540
ARCHITECT OF RECORD: GERALD BELGRAVE AR0015085

STRUCTURAL:

STRUCTURES INTERNATIONAL, INC.

7501 WILES ROAD, SUITE 106-B
CORAL SPRINGS, FL 33067
PHONE (954)227-1512
ENGINEER OF RECORD: MONZER I. FARAWAMI C.A. # 9446

MEP:

BACH DESIGN ENGINEERS

5130 N. FEDERAL HIGHWAY SUITE 1
FORT LAUDERDALE, FL 33308
PHONE (954)461-4314
ENGINEER OF RECORD: VIET BACH NGUYEN P.E. # 69753

LANDSCAPE:

THOMAS WHITE - ASLA-ISA

2600 NE 27 TH STREET
FORT LAUDERDALE, FL 33306
PHONE (954)253-2265
ENGINEER OF RECORD: THOMAS WHITE - LA-0001100

HISTORIC PRESERVATION BOARD

JEDA RESIDENCE ADDITION

1122 ADAMS STREET



NORTH EAST STREET VIEW

SHEET INDEX

SHEET TITLE	SHEET NUMBER	ORIGINAL ISSUE DATE	LATEST REVISION DATE
ARCHITECTURAL			
COVER SHEET / GENERAL NOTES	CS	08.18.2020	
SURVEY			
SITE PLAN	SP-1	08.18.2020	
LANDSCAPE PLANS	L-1	08.15.2020	
PROPOSED RETENTION PLAN	SP-2	08.18.2020	
FIRST FLOOR PLAN	A-1	08.18.2020	
SECOND FLOOR PLAN	A-2	08.18.2020	
ROOF PLAN	A-3	08.18.2020	
SOUTH AND EAST EXTERIOR ELEVATIONS	A-4	08.18.2020	
NORTH AND WEST EXTERIOR ELEVATIONS	A-5	08.18.2020	
STREET PROFILE WITH EXTERIOR ELEVATIONS	A-6	08.18.2020	
COLORLED SITE PLAN WITH LANDSCAPING	SPC-1	08.18.2020	
COLORLED RENDERINGS	A-7	08.18.2020	
COLORLED RENDERNGS	A-8	08.18.2020	
AREA PHOTOS OF SITE	A-9	08.18.2020	

GERALD BELGRAVE
AR0015085

nest PLANS

ARCHITECTURE & INTERIOR DESIGN

2601 E Oakland Park Blvd, Ste 203
Fort Lauderdale, Florida 33306
954.529.9000 nestplans.com

ADDITION AND REMODEL
JEDA RESIDENCE
1122 ADAMS STREET
HOLLYWOOD, FLORIDA 33019

REVISIONS

Job No:	NEST - 2015
Date:	8/18/2020
Drawn by:	SAR
Checked by:	GB

HISTORIC PRESERVATION

Drawing No.
CS

BOUNDARY SURVEY

Property Address:

1122 ADAMS STREET, HOLLYWOOD, FLORIDA, 33019
Folio # 5142-14-01-5530

LEGAL DESCRIPTION:

The **West 16.67 feet** of Lot **19** and all of Lot **20**, in Block **33**, of "**HOLLYWOOD LAKES SECTION**", according to the Plat thereof, as recorded in Plat Book **1**, at Page **32**, of the Public Records of Broward County, Florida.

SURVEYOR'S NOTES:

- 1) The Legal Description was provided by the Client from most recent County Records available.
- 2) This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances.
ABSTRACT NOT REVIEWED.
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County, Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting this property.
- 4) No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences except as shown hereon.
- 5) Underground utilities are **not** depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- 6) Contact the appropriate authority prior to any design work on the herein-described parcel for Building and Zoning information.
- 7) The surveyor does not determine fence and/or wall ownership.
- 8) **Accuracy:**
The **Horizontal** positional accuracy of well-defined improvement on this survey is +/-0.2'.
The **Vertical** accuracy of elevations of well-defined improvement on this survey is +/-0.1'
- 9) All measurements shown hereon are made in accordance with the United States Standard Feet.
- 10) Type of Survey: **BOUNDARY SURVEY.**
- 11) North arrow direction as shown on the aforementioned Plat.
- 12) Elevations shown hereon are relative to **North American Vertical Datum 1988**
- 13) **Benchmark Used:** Broward County Benchmark #1915. Elev. = +3.267' (NGVD)
- 14) **Flood Zone Data:**
FEMA/Panel # **125113/0569/H** Dated: **08/18/2014** Flood Zone: "**AE**" **Base** Flood Elevation = **+7'**
- 15) This SURVEY has been prepared for the exclusive use of the entities named hereon.
The Certificate does not extend to any **unnamed party:**

A.) DAVID & MELISSA JEDA
B.)

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY:

That this survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

Field Book: Electronic Files

Field Date: **July 14, 2020**

Job Number: **RP20-0787**

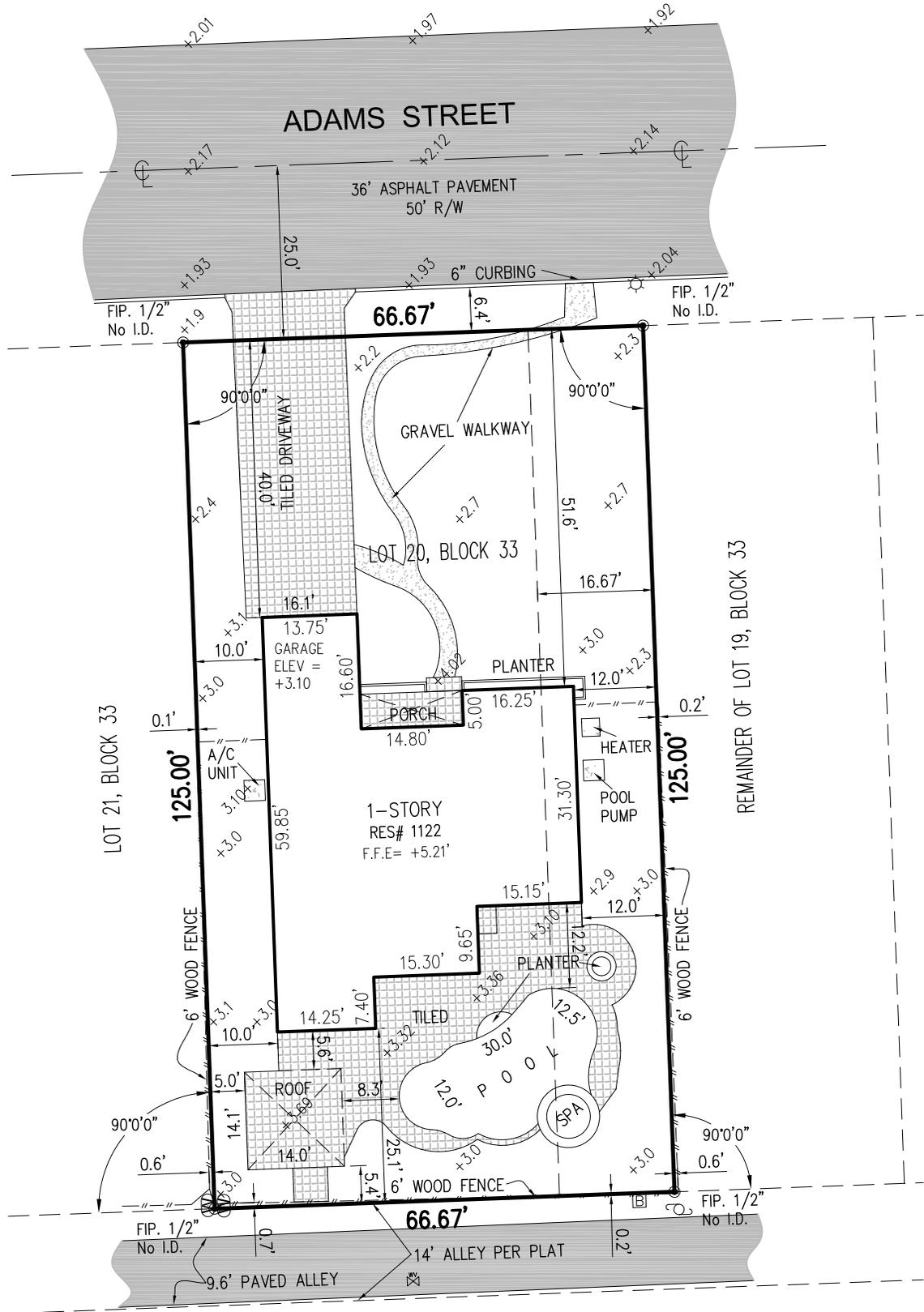
FOR THE FIRM: ROYAL POINT LAND SURVEYORS, INC. LB# 7282

- JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA.
- PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5880 STATE OF FLORIDA.

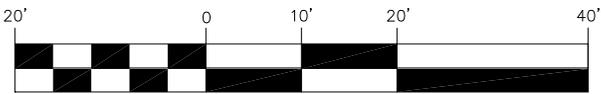


6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FLORIDA 33014
Phone: 305-822-6062 * Fax: 305-827-9669 * Email: info@royalpointLS.com

BOUNDARY SURVEY



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LEGEND

- OH — Overhead Wire Line
- // — Wood Fence
- x — Chain Link Fence
- □ — Iron Fence
- M — Monument Line
- C — Centerline
- P — Property Line
- ▨ C.B.S.

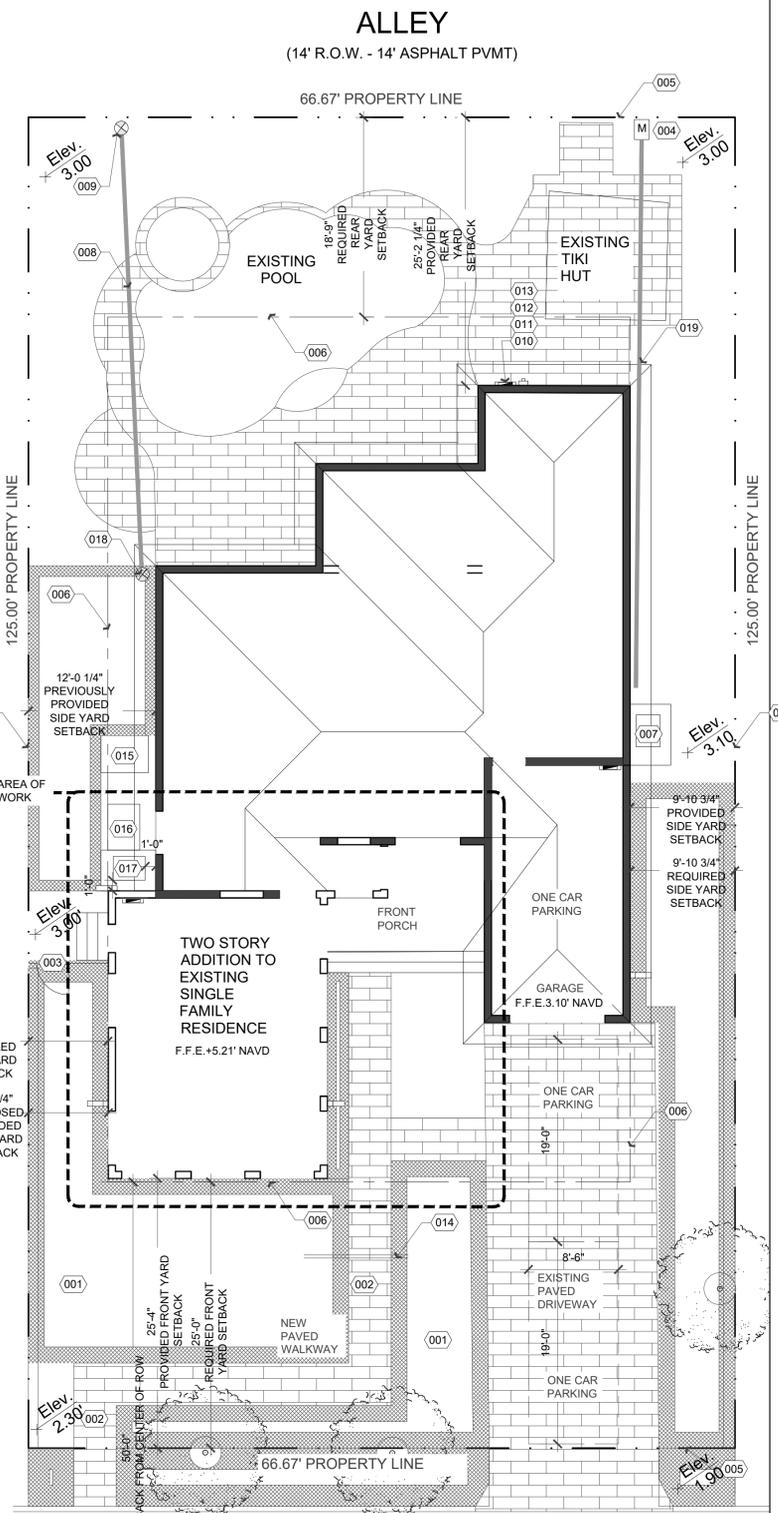
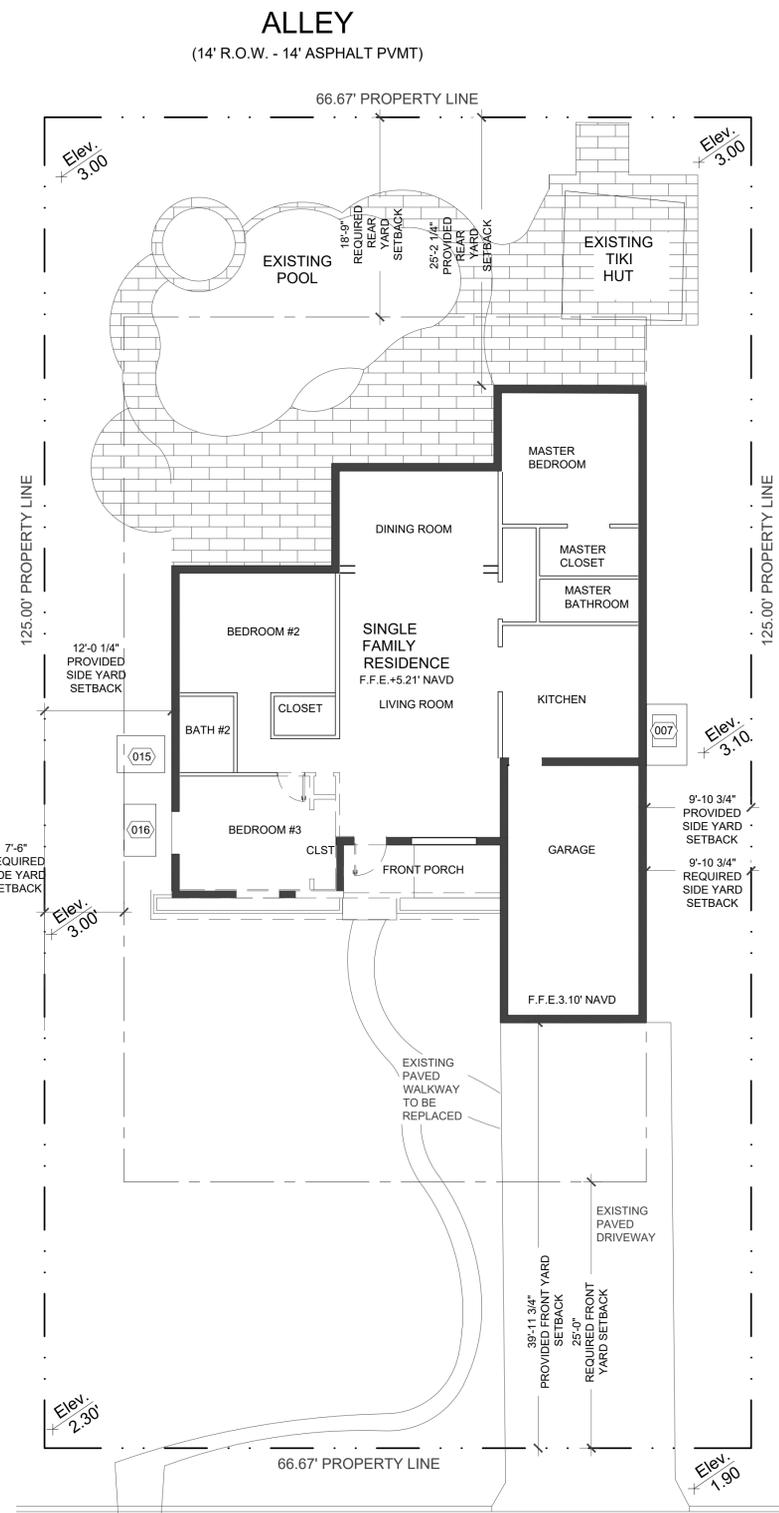
- + 0.00' = Existing Elevations
- ☒ = Catch Basin
- ⊕ = Water Meter
- ⊕ = Electric Box
- ⊕ = Sanitary Manhole
- ⊕ = Sprinkler Pump
- ⊕ = Wood Pole
- ⊕ = Conc. Pole
- ⊕ = Light Pole
- ⊕ = Fire Hydrant
- ⊕ = Water Valve
- ⊕ = Inlet
- FPL = Florida Power Light Transformer
- ⊕ = Cable Tv Box
- EM = Electric Meter Box

- A/C = Air Conditioner
- Conc. = Concrete
- C.B.S. = Concrete Block & Stucco
- D.E. = Drainage Easement
- D.M.E. = Drainage Maintenance Easement
- F.F.E. = Finish Floor Elevation
- F.I.P. = Found Iron Pipe/Pin
- F.I.R. = Found Iron Rebar
- F.N. = Found Nail
- F.N.&D = Found Nail & Disc
- L.M.E. = Lake Maintenance Easement
- (M) = Measured
- (P) = Platted
- (R) = Record
- Res. = Residence
- SIP/R = Set Iron Pin/Rebar
- U.E. = Utility Easement

- A = Arc
- BRG = Bearing
- CH = Chord
- Δ = Delta
- L = Length
- R = Radius
- T = Tangent

ROYAL POINT
LAND SURVEYORS, INC.

LB # 7282
PHONE: 305-822-6062 * FAX: 305-827-9669
6175 NW 153rd ST. SUITE 321, MIAMI LAKES FL 33014
Job # RP20-0787



SITE PLAN KEY NOTES

- 001 SOD / LANDSCAPE IN THIS AREA. SEE LANDSCAPE PLAN, SHEET LP-1, FOR SPECIFICATIONS
- 002 WALKWAY PAVERS - CONTRACTOR TO COORDINATE SELECTION W/ OWNER
- 003 DENOTES NEW WOOD FENCE. REFER TO SHOP DRAWINGS AND WOOD FENCE SUBMITTAL
- 004 EXIST. 1" WATER METER LOCATION - REFER TO DETAIL 1/SP2 FOR MORE INFORMATION
- 005 DENOTES PROPERTY LINE - SEE SITE PLAN LEGEND
- 006 DENOTES REQUIRED SETBACK LINE - SEE SITE PLAN LEGEND
- 007 DENOTES EXIST A/C CONDENSING UNIT LOCATION - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 008 EXIST. 4" SANITARY LINE TO MAIN. CONTRACTOR TO VERIFY LOCATION IN FIELD. REFER TO SHEET SP-2 FOR NEW LATERAL ON EXISTING WASTE WATER DETAIL.
- 009 EXISTING 6" CLEAN OUT LOCATION. SEE TYPICAL CLEAN-OUT INSTALLATION DETAIL 6/SP-2 FOR MORE INFORMATION
- 010 DENOTES EXIST ELECTRICAL METER LOCATION - REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 011 ELECTRICAL SERVICE ENTRANCE
- 012 CABLE TV SERVICE ENTRANCE
- 013 TELEPHONE SERVICE ENTRANCE
- 014 UNDERGROUND SLEEVE FOR IRRIGATION LINE. 1" DEEP. CONTRACTOR TO COORDINATE WITH SPRINKLER DRAWINGS. REFER TO LP-1
- 015 POOL PUMP
- 016 POOL HEATER
- 017 NEW A/C CONDENSING UNIT LOCATION ON 4" CONC. PAD - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 018 EXISTING 4" CLEAN OUT LOCATION EVERY 75 FEET. SEE TYPICAL CLEAN-OUT INSTALLATION DETAIL 6/SP-2 FOR MORE INFORMATION
- 019 LOCATION OF EXIST UNDERGROUND WATER LINE

SITE INFORMATION

PROPERTY ADDRESS
 1122 ADAMS STREET, HOLLYWOOD FLORIDA 33019

LEGAL DESCRIPTION
 THE WEST 16.67 OF LOT 19 & ALL OF LOT 20, BLOCK 33, HOLLYWOOD LAKES SECTION ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA.

ZONING AND PROPERTY INFORMATION
 LAND USE DESIGNATION: RESIDENTIAL SINGLE FAMILY DISTRICT RS-6
 ZONING DESIGNATION: 8,333.75 SQ.FT. / 0191 ACRES
 NET SITE AREA: 8,333.75 SQ.FT. / 0191 ACRES
 FEMA FLOOD ZONE: AE
 BROWARD COUNTY 100 YR FLOOD ELEVATION: 7 FT
 NOTE: PROJECT NOT REQUIRED TO CHANGE EXISTING ELEVATION AS CONSTRUCTION NOT MORE THAN 50% OF THE VALUE OF EXISTING BUILDING

UTILITIES AND SERVICES
 WATER PROVIDER: CITY OF HOLLYWOOD
 WASTE WATER PROVIDER: CITY OF HOLLYWOOD
 SOLID WASTE PROVIDER: CITY OF HOLLYWOOD
 RECYCLING PROVIDER: CITY OF HOLLYWOOD

SET BACK REQUIREMENTS

DESCRIPTION	REQUIRED	PROVIDED
FRONT (NORTH)	25'-0"	25'-4"
WEST SIDE	9'-10 3/4"	9'-10 3/4"
REAR (SOUTH)	18'-9"	25'-2 1/4"
EAST SIDE	7'-6"	7'-6 3/4"
HEIGHT	30'-0" NOT TO EXCEED 2 STORY	24'-6"

NOTE: SUM OF SIDE YARD SETBACK TO BE AT LEAST 2M5% OF LOT WIDTH BUT NOT LESS THAN 7'-6". LOT WIDTH 66.67' X 25% = 16.67' WEST SIDE - 9.90' LEAVES EAST 6.77' -OR 7.5'

LOT COVERAGE REQUIREMENTS:

MINIMUM LOT AREA:	6,000 SQ. FT.
MINIMUM LOT WIDTH:	60 FT.
MINIMUM FLOOR:	1,000 SQ. FT. / UNIT
MAXIMUM BUILDING HEIGHT:	30 FEET NOT TO EXCEED 2 STORIES

SITE AND BUILDING DATA:

NET LAND AREA:	8,333.75 SQ.FT.	100%
LOT COVERAGE - BUILDING FOOTPRINT (UNDER ROOF):	2,448 SQ.FT.	29.4%
FLOOR AREA RATIO:	3,118 SQ.FT.	37.4%

SITE PERVIOUS DATA:

NET LAND:	8,333.75 SQ. FT.	100%
FOOT PRINT:	2,448.00 SQ. FT.	
FRONT PORCHES AND REAR PATIO:	608.00 SQ. FT.	
TIKI HUT:	130.00 SQ. FT.	
POOL:	444.00 SQ. FT.	
DRIVEWAY AND WALKWAYS:	1,188.00 SQ. FT.	
TOTAL IMPERVIOUS:	4,818.00 SQ. FT.	57.8%
TOTAL PERVIOUS:	3,515.75 SQ. FT.	42.2%

LANDSCAPE REQUIREMENT DATA:

NET FRONT YARD AREA:	1,666.67 SQ.FT.	100%
REQUIRED LANDSCAPE FRONT YARD AREA: (20%):	333.34 SQ.FT.	20%
PROVIDED LANDSCAPE FRONT YARD AREA:	898.67 SQ.FT.	54%

GRADES:
 3.00' + 3.00' + 3.10' + 3.00' + 1.90' + 2.30' = 16.30 /6 AVERAGE = 2.72' NAVD

PARKING REQUIREMENTS:

FIRST FLOOR EXISTING (AC):	1,469 SQ. FT.
FIRST FLOOR PROPOSED (A/C):	690 SQ. FT.
COVERED PORCHES:	112 SQ. FT.
SECOND FLOOR (AC):	512 SQ. FT.
COVERED PORCH SECOND FLR:	46 SQ. FT.
GARAGE:	289 SQ. FT.
PROPOSED TOTAL ARE (A/C):	2,671 SQ. FT.
TOTAL AREA (UNDER ROOF):	3,118 SQ. FT.

REQUIRED PARKING SPACES 8.5' X 19': 3
 PROVIDED PARKING SPACES (1 IN GARAGE AND 2 IN DRIVE): 3

SITE PLAN LEGEND

- PROPERTY LINE
- - - - - REQUIRED SET BACK LINE
- PROPOSED BUILDING FOOTPRINT LINE
- EXISTING GRADES
- DESIGNATES AREA OF INGRESS/EGRESS AND UTILITY EASEMENT

GERALD BELGRAVE
AR001 5085

nest PLANS

ARCHITECTURE & INTERIOR DESIGN

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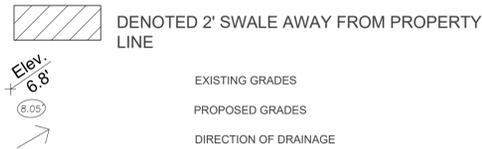
REVISIONS

NO.	DATE	DESCRIPTION
1	08.19.20	HPB COMMENT REV.

Job No: NEST - 2015
 Date: 8/18/2020
 Drawn by: SAR
 Checked by: GB

HISTORIC PRESERVATION
 Drawing No. **SP-1**

FLOOR PLAN LEGEND



NOTE: ALL STORM WATER RUNOFF MUST REMAIN ONSITE DURING CONSTRUCTION. THE NEW CONSTRUCTION SHALL HAVE NO DRAINAGE IMPACTS TO ADJACENT PROPERTIES, SURROUNDING RIGHT OF WAYS, STORM WATER FACILITIES AND NEIGHBORING WATER BODIES.

PROVIDE FILTER FABRIC OR OTHER METHOD OF SEDIMENT PROTECTION FOR EXISTING AND NEW CATCH BASINS

PROPERTY WILL BE SLOPED AWAY FROM PROPERTY LINE AT THE BEGINNING OF CONSTRUCTION TO MAINTAIN ALL DIRT AND DEBRIS ON SITE

SWALE

DRAINAGE CALCULATIONS

SITE SHALL RETAIN 1" RUNOFF OVER ENTIRE SITE OR 2 1/2" OVER IMPERVIOUS AREAS (WHICHEVER IS GREATER).

8,335 SQ.FT. X 0.0833 FT (1") = 694.31 CU. FT. (N/A)
 2,597 SQ.FT. X 0.2083 FT (2.5") = 649.25 CU. FT. (REQUIRED)
 SWALE A TOTAL = 103 cu. ft.
 SWALE B TOTAL = 152 cu. ft.
 SWALE C TOTAL = 98 cu. ft.
 SWALE D TOTAL = 233 cu. ft.
 SWALE E TOTAL = 102 cu. ft.
 SWALE F TOTAL = 6 cu. ft.
 SWALE TOTALS = 694 cu. ft. PROVIDED

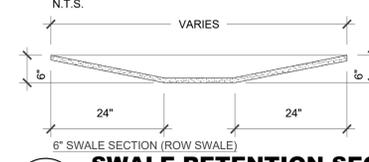
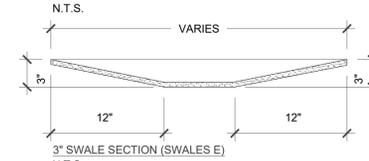
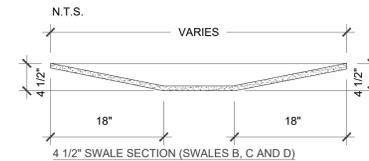
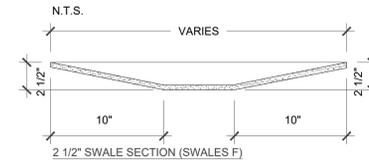
SWALE A
 1,236 sq. ft. X .0833 (1") = 130 cu. ft.
 SWALE A TOTAL = 130 cu. ft.
 SWALE B
 510 sq. ft. LESS 301 sq. ft. = 209 sq. ft. X .375 (4.5") = 78.375 cu. ft.
 X .5 = 39.1875 cu. ft. PLUS 301 sq. ft. X .375 (4.5") = 112.875 cu. ft.
 SWALE B TOTAL = 152 cu. ft.
 SWALE C
 349 sq. ft. LESS 173 sq. ft. = 176 sq. ft. X .375 (4.5") = 66 cu. ft.
 X .5 = 33 cu. ft. PLUS 173 sq. ft. X .375 (4.5") = 64.875 cu. ft.
 SWALE C TOTAL = 98 cu. ft.

SWALE D
 727 sq. ft. LESS 513 sq. ft. = 214 sq. ft. X .375 (4.5") = 80.25 cu. ft.
 X .5 = 40.125 cu. ft. PLUS 513 sq. ft. X .375 (4.5") = 192.375 cu. ft.
 SWALE D TOTAL = 233 cu. ft.

SWALE E
 367 sq. ft. LESS 268 sq. ft. = 99 sq. ft. X .25 (3") = 24.75 cu. ft.
 X .5 = 12.375 cu. ft. PLUS 367 sq. ft. X .25 (3") = 91.75 cu. ft.
 SWALE E TOTAL = 102 cu. ft.

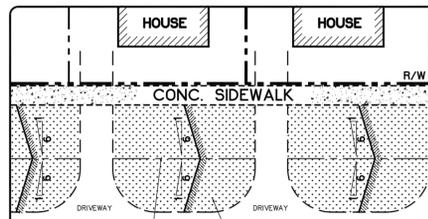
SWALE F
 39 sq. ft. LESS 6 sq. ft. = 33 sq. ft. X .208 (2.5") = 6.864 cu. ft.
 X .5 = 3.432 cu. ft. PLUS 6 sq. ft. X .208 (2.5") = 1.248 cu. ft.
 SWALE F TOTAL = 6 cu. ft.

NOTE: MATCH EXISTING GRADE ELEVATIONS OF ADJACENT PROPERTIES.



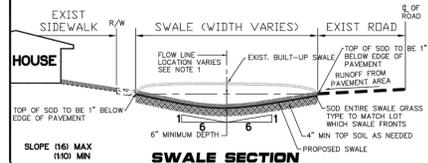
SWALE RETENTION SECTIONS

2 SP3 N.T.S.



PLAN SWALE

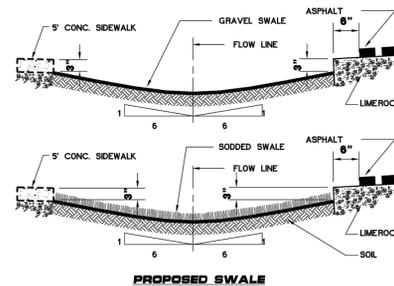
NOTES:
 1. HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND AN 8:1 SLOPE FROM EDGE OF PAVEMENT MEET.
 2. TOP OF SOD ELEVATION AS SHOWN ON BELOW.



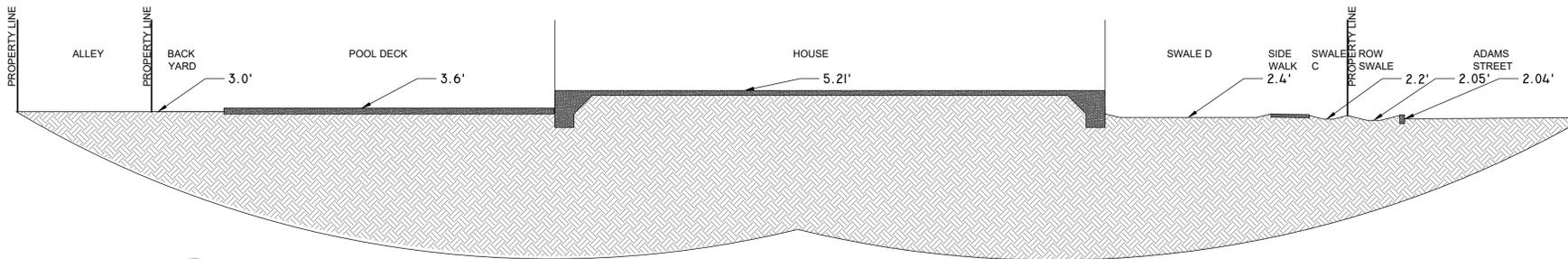
ENGINEERING SUPPORT SERVICES
 PUBLIC UTILITIES DEPARTMENT
 CITY OF HOLLYWOOD, FLORIDA

SWALE GRADING SPECIFICATIONS:

GRASS REPLACEMENT TO MATCH LOT WHICH SWALE FRONTS.
 SOIL AND GRASS TO BE HAULED OFF TO DUMP SITE.
 SPRINKLER SYSTEM TO BE REMOVED, LOWERED, AND RECONNECTED WHERE APPLICABLE.
 UNDERGROUND LOCATIONS AND ALL OTHER SAFETY FACTORS, ARE THE CONTRACTORS RESPONSIBILITIES.

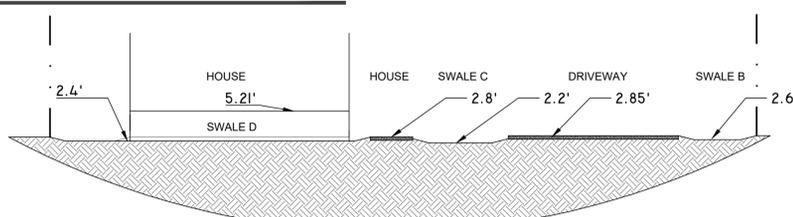


ENGINEERING SUPPORT SERVICES
 PUBLIC UTILITIES DEPARTMENT
 CITY OF HOLLYWOOD, FLORIDA



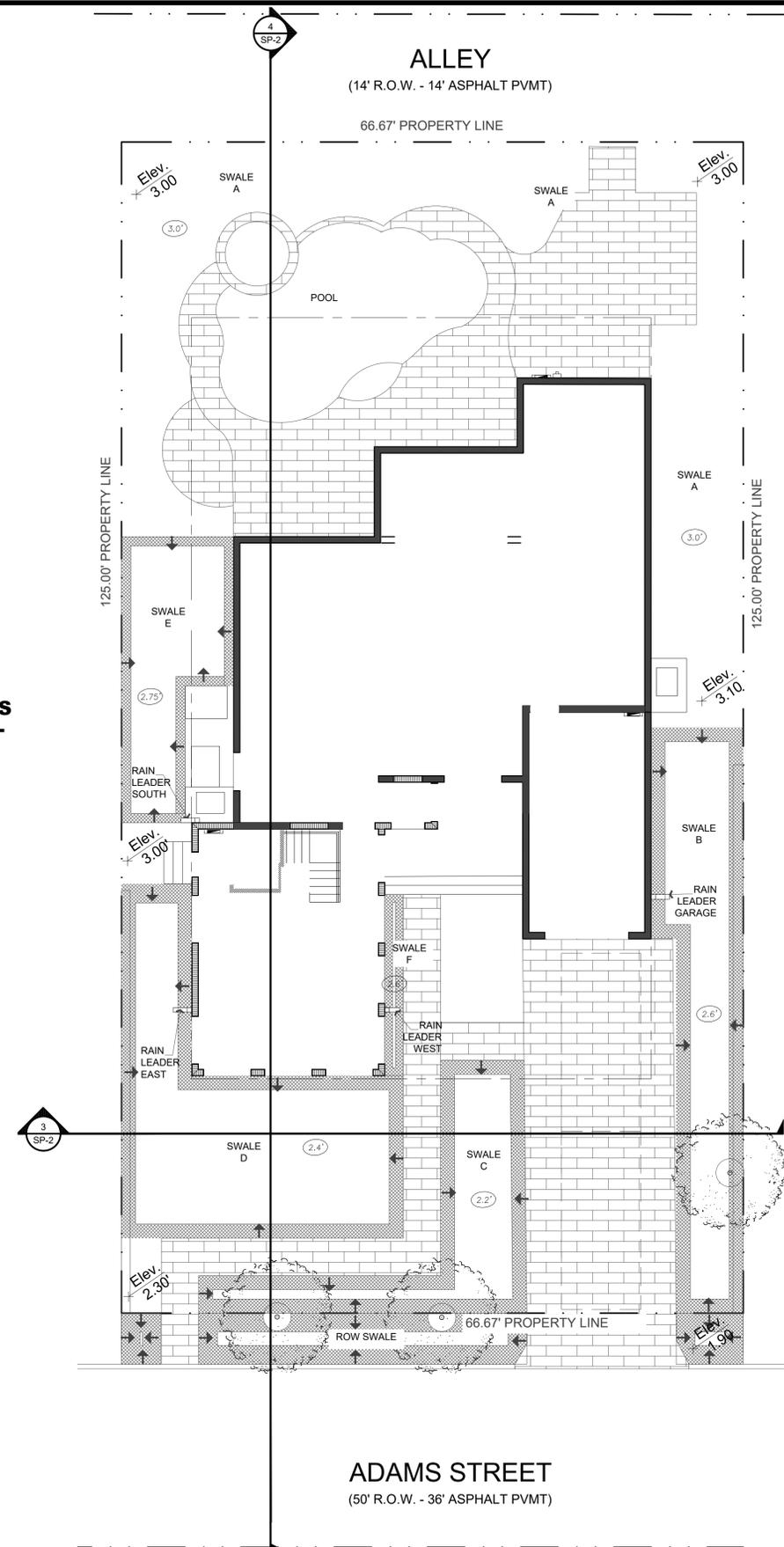
4 PROPOSED SITE SECTION NORTH SOUTH

scale: 1/8" = 1'-0"



3 PROPOSED SITE SECTION EAST WEST

scale: 1/8" = 1'-0"



1 PROPOSED RETENTION PLAN

scale: 1/8" = 1'-0"

GERALD BELGRAVE
 ARO015085

ALL REVISIONS, AMENDMENTS AND CHANGES INDICATED ON THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ASSUMED CONDITIONS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ASSUMED CONDITIONS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. BEFORE PROCEEDING WITH FABRICATION DETAILS SO NOTED.

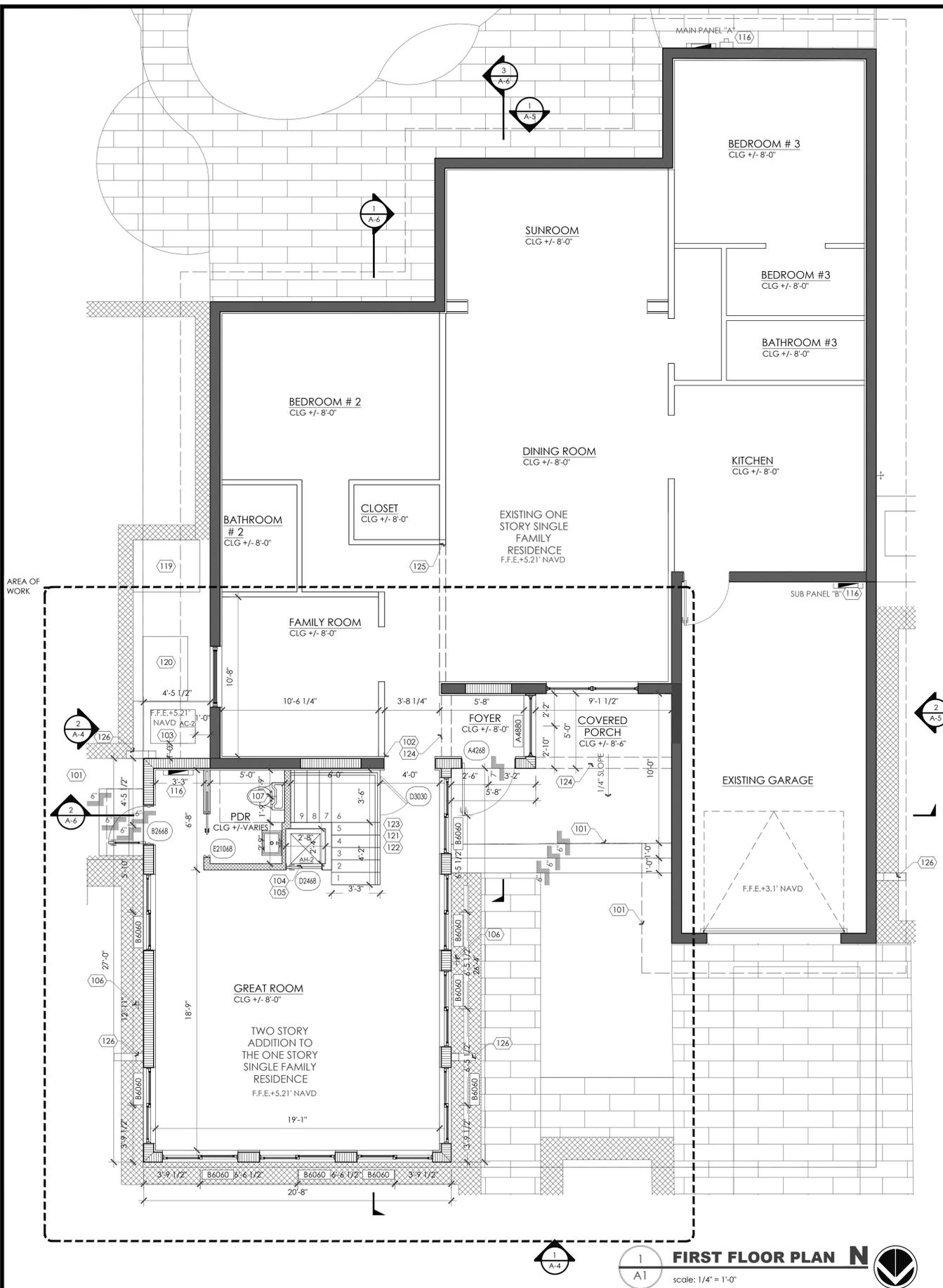
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**ADDITION AND REMODEL
 JEDA RESIDENCE**
 1122 ADAMS STREET
 HOLLYWOOD, FLORIDA 33019

REVISIONS

Job No: NEST-2015
 Date: 8/18/2020
 Drawn by: SAR
 Checked by: GB

HISTORIC PRESERVATION
 Drawing No. SP-2



FLOOR PLAN GENERAL NOTES

- ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
- ALL INTERIOR PARTITIONS TO BE 3-5/8" MITL STUDS @ 24" O.C. WITH 5/8" DRYWALL ON BOTH SIDES, U.O.N.
- DIMENSIONS SHALL BE FIGURED, DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
- DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
- CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
- STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED.
- DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
- STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
- ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
- EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.

FLOOR PLAN KEY NOTES

- (101) DASHED LINE OF OVERHANG ABOVE. SEE STRUCTURAL FRAMING PLAN
- (102) ALIGN WALL FRAMING WITH ICF WALL SYSTEM. GYPSUM WALL BOARD TO BE FINISH.
- (103) A/C COMPRESSOR ON 3-1/2" MIN. CONC. SLAB AND 2" ABOVE ADJACENT GRADE AS PER FBC 2010 - MECH 304.9 - SEE MECHANICAL DRAWINGS
- (104) A/C HANDLER UNIT TO HAVE MIN. 4" CLEARANCE ALL SIDES - SEE MECHANICAL DRAWINGS
- (105) ELECTRIC TANKLESS WATER HEATER - REFER TO MANUFACTURER'S SPECS FOR INSTALLATION
- (106) DENOTES PROPOSED HOSE BIBB LOCATION 1/2" WITH VACUUM BREAKER. SEE PLUMBING DRAWINGS FOR DETAIL (TYP. OF 3)
- (107) TOILET SHALL NOT BE CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL, PARTITION, VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" FROM ANOTHER TOILET OR FIXTURE.
- (108) NO SHOWER CURBING - SLOPE FLOOR TOWARD FLOOR DRAIN IN SHOWER FROM ENTRANCE TO SHOWER
- (109) SHOWER PARTITION - TEMPERED GLASS - FINISHED TO BE COORDINATED WITH OWNER
- (110) PROVIDE DUROROCK TILE BACKER BOARD, 1/2" THICK SECURE WITH 1 1/4" RUST - RESISTANCE SCREWS AT 8" O.C. AND/OR INSTALL PER MANUFACTURER SPECIFICATIONS. COORDINATE WITH OWNER FOR EXACT LOCATION AND STYLE SELECTION FOR MIRROR, MEDICAL CABINET IF APPLICABLE, TOWEL BAR OR TOWEL RINGS & TOILET PAPER HOLDER.
- (111) ROD / SHELF LAYOUTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER AND DESIGNER
- (112) COUNTER 36" HIGH A.F.F. WITH CABINETS BELOW. FINISH TO BE COORDINATED W/ OWNER
- (113) CABINETS ABOVE PROVIDE BACKER BOARD FOR MAXIMUM HEIGHT. COORDINATE WITH OWNER
- (114) PROVIDE BACKING PLYWOOD FOR FUTURE MOUNTING OF GRAB BARS, TV MOUNTS AND WALL HUNG CABINET MOUNTING
- (115) ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS
- (116) ELECTRICAL METER BOX LOCATION - SEE ELECTRICAL DRAWINGS
- (117) ATTIC ACCESS: 1'-10"x3'x13/32" A/C PLYWOOD PANEL WITH TRIM. SEE DETAIL SHEET A6 FOR MORE INFORMATION
- (118) POOL PUMP - REFER TO MANUFACTURES SPECIFICATIONS FOR INSTALLATION DETAILS
- (119) POOL HEATER - REFER TO MANUFACTURES SPECIFICATIONS FOR INSTALLATION DETAILS
- (120) HANDRAIL AND SAFEGUARD: HANDRAIL AT 34" HEIGHT, PICKETS SPACED TO RESIST A 4" SPHERE. SAFEGUARD AT 42" HIGH AT LANDINGS AND STAIRS WERE OPEN TO BELOW.
- (121) WOOD STAIRS: FIRST TO SECOND FLOOR RISE 7.29' - RUN 10'4 1/2" NOSE. 2x7.29x10=24.58 COMPLIES. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION
- (122) DOOR ACCESS TO BELOW STAIRS: HAND FRAME OPENING BELOW STAIRS FOR DOOR
- (123) EXISTING CONCRETE BEAM TO REMAIN - REFER TO STRUCTURAL DETAILS FOR MORE INFORMATION
- (124) EXISTING WOOD FRAME TO REMAIN - REFER TO STRUCTURAL DETAILS FOR MORE INFORMATION
- (125) LOCATION OF NEW DOWNSPOUT
- (126)
- (127)

AREAS

FIRST FLOOR EXISTING (A/C):	1,469 SQ. FT.
FIRST FLOOR PROPOSED (A/C):	690 SQ. FT.
COVERED PORCHES:	112 SQ. FT.
SECOND FLOOR (A/C):	512 SQ. FT.
COVERED PORCH SECOND FLR:	46 SQ. FT.
GARAGE:	289 SQ. FT.
PROPOSED TOTAL ARE (A/C):	2,671 SQ. FT.
TOTAL AREA (UNDER ROOF):	3,118 SQ. FT.

FLOOR PLAN LEGEND

ROOM NAME CLG +/- X'-X"	ROOM NAME & CEILING HEIGHT
SECTION No SHEET No	BUILDING SECTION
ELEV. No SHEET No	EXTERIOR ELEVATION LABEL
	INSULATED CONCRETE FORM (ICF) CONSTRUCTION
	4" / 6" PARTITION WALL TYP.
	4" / 6" PARTITION WALL TYP. INSULATED WITH BATTEN INSULATION
	WINDOW DESIGNATION. SEE WINDOW SCHEDULE
	DOOR DESIGNATION. SEE DOOR SCHEDULE
	MULLION DESIGNATION. SEE EXTERIOR ELEVATIONS & MULLION SCHEDULE

GERALD BELGRAVE
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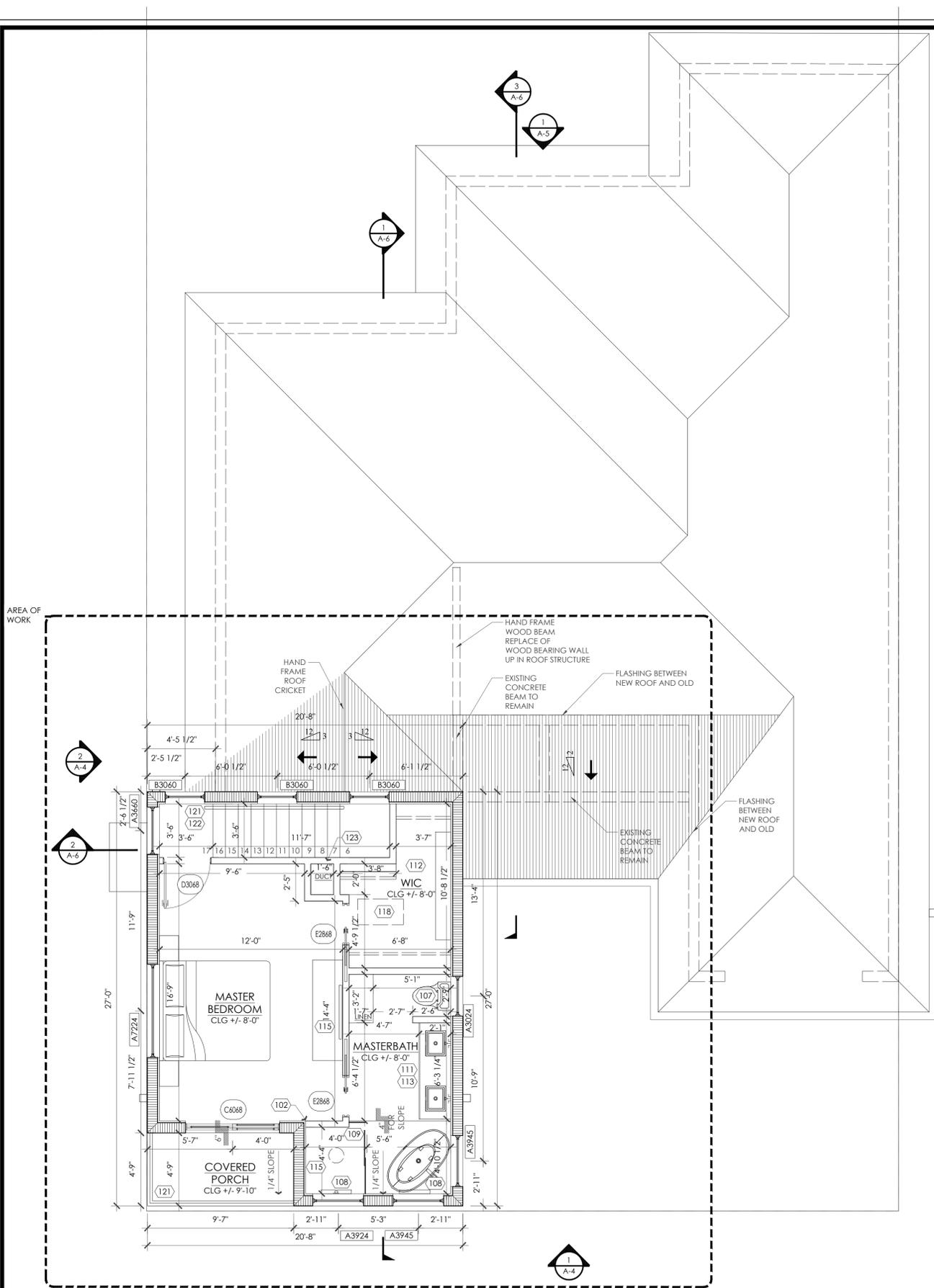
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REVISIONS									
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NO.	DESCRIPTION	DATE							
1	HPB COMMENT REV.	8.29.20							
HISTORIC PRESERVATION									
Drawing No. A-1									



2 SECOND FLOOR PLAN N
 A1 scale: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH. READY TO RECEIVE NEW FINISH.
2. ALL INTERIOR PARTITIONS TO BE 3-5/8" MIL STUDS @ 24" O.C. WITH 5/8" DRYWALL ON BOTH SIDES, U.O.N.
3. DIMENSIONS SHALL BE FIGURED. DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
4. DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
5. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
6. STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED.
7. DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
8. STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
9. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
10. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.

FLOOR PLAN KEY NOTES

- (101) DASHED LINE OF OVERHANG ABOVE. SEE STRUCTURAL FRAMING PLAN
- (102) ALIGN WALL FRAMING WITH ICF WALL SYSTEM. GYPSUM WALL BOARD TO BE FLUSH.
- (103) A/C COMPRESSOR ON 3-1/2" MIN. CONC. SLAB AND 2" ABOVE ADJACENT GRADE AS PER FBC 2010 - MECH 304.9 - SEE MECHANICAL DRAWINGS
- (104) A/C HANDLER UNIT TO HAVE MIN. 4" CLEARANCE ALL SIDES - SEE MECHANICAL DRAWINGS
- (105) GAS TANKLESS WATER HEATER - REFER TO MANUFACTURER'S SPECS FOR INSTALLATION. DENOTES PROPOSED HOSE BIBB LOCATION 1/2" WITH VACUUM BREAKER. SEE PLUMBING DRAWINGS FOR DETAIL. (TYP. OF 3)
- (106) TOILET SHALL NOT BE CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL, PARTITION, VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" FROM ANOTHER TOILET OR FIXTURE.
- (107) NO SHOWER CURBING - SLOPE FLOOR TOWARD FLOOR DRAIN IN SHOWER FROM ENTRANCE TO SHOWER
- (108) SHOWER PARTITION - TEMPERED GLASS - FINISHED TO BE COORDINATED WITH OWNER
- (109) PROVIDE DUROROCK TILE BACKER BOARD. 1/2" THICK SECURE WITH 1 1/4" RUST-RESISTANCE SCREWS AT 8" O.C. AND/OR INSTALL PER MANUFACTURER SPECIFICATIONS. COORDINATE WITH OWNER FOR EXACT LOCATION AND STYLE SELECTION FOR MIRROR, MEDICAL CABINET IF APPLICABLE, TOWEL BAR OR TOWEL RINGS & TOILET PAPER HOLDER.
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- (120) WOOD STAIRS: FIRST TO SECOND FLOOR RISE 7.29" - RUN 10'4 1/4" NOSE. 2x7.29+10=24.58 COMPLIES. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION
- (121) RETURN AIR ON SIDE OF STAIR WELL
- (122)
- (123)
- (124)
- (125)
- (126)
- (127)

FLOOR PLAN LEGEND

ROOM NAME CLG +/- X'-X"	ROOM NAME & CEILING HEIGHT
	SECTION No BUILDING SECTION
	ELEV. No EXTERIOR ELEVATION LABEL
	INSULATED CONCRETE FORM (ICF) CONSTRUCTION
	4" / 6" PARTITION WALL TYP.
	4" / 6" PARTITION WALL TYP. INSULATED WITH BATTEN INSULATION
	WINDOW DESIGNATION. SEE WINDOW SCHEDULE
	DOOR DESIGNATION. SEE DOOR SCHEDULE
	MULLION DESIGNATION. SEE EXTERIOR ELEVATIONS & MULLION SCHEDULE

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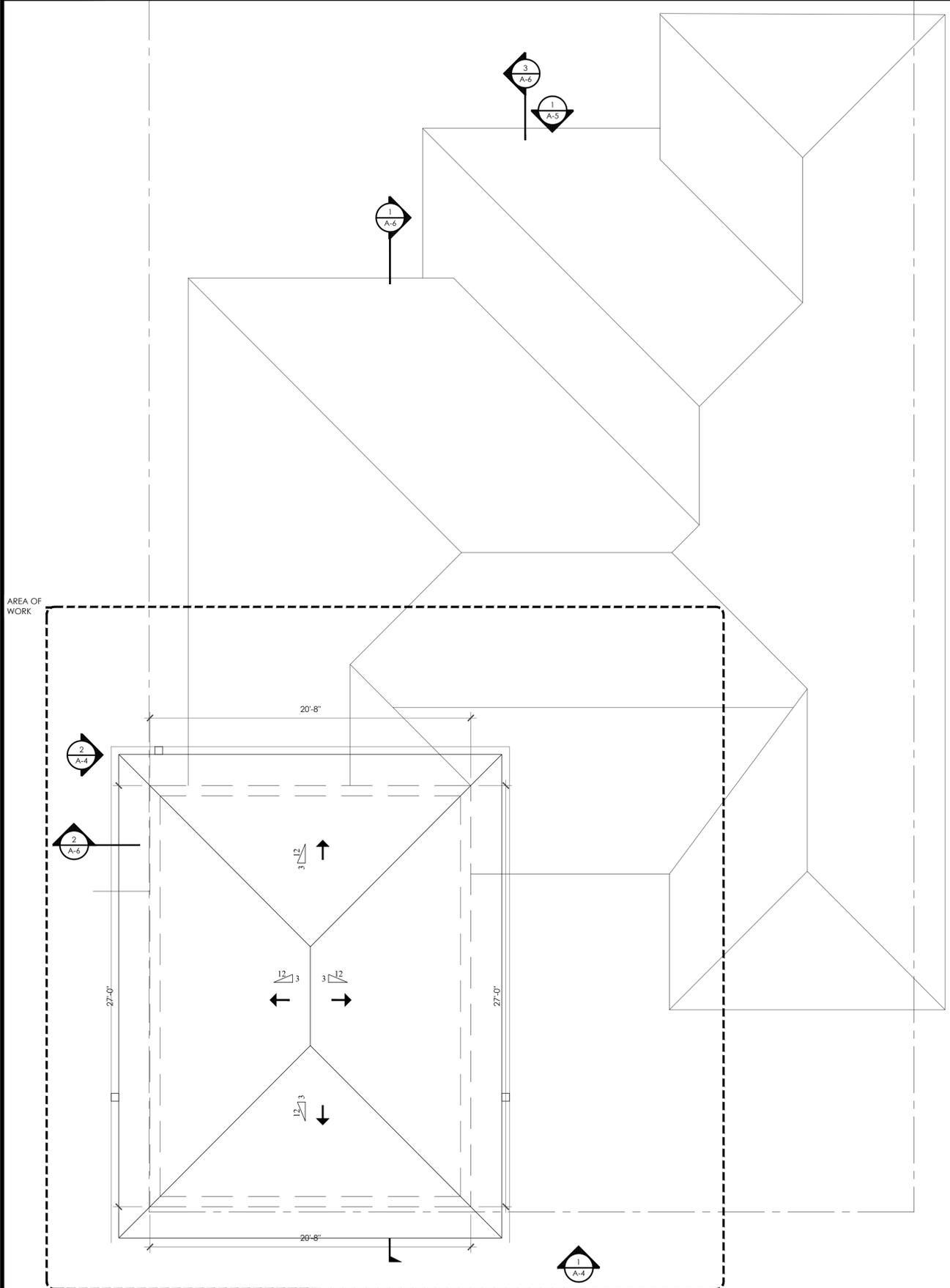
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HISTORIC PRESERVATION

Drawing No. **A-2**



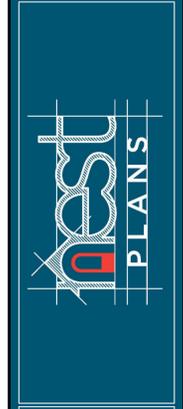
1 SECOND FLOOR PLAN N
 A3 scale: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

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9. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
10. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.

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FLOOR PLAN LEGEND

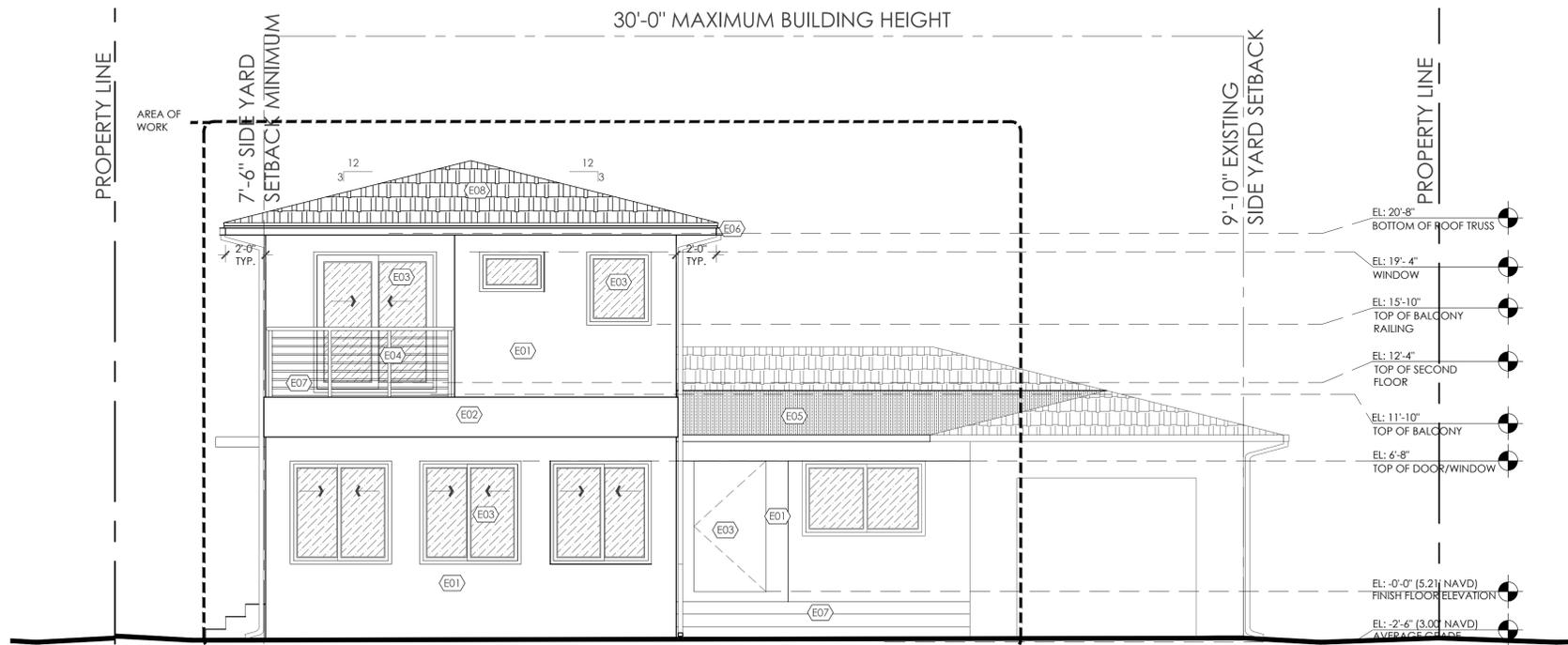
ROOM NAME CLG +/- X'-X"	ROOM NAME & CEILING HEIGHT
SECTION No A-4 SHEET No	BUILDING SECTION
ELEV. No A-4 SHEET No	EXTERIOR ELEVATION LABEL
	CONCRETE MASONRY UNIT (CMU) CONSTRUCTION
	4" / 6" PARTITION WALL TYP.
	4" / 6" PARTITION WALL TYP. INSULATED WITH BATTEN INSULATION
	WINDOW DESIGNATION. SEE WINDOW SCHEDULE
	DOOR DESIGNATION. SEE DOOR SCHEDULE
	MULLION DESIGNATION. SEE EXTERIOR ELEVATIONS & MULLION SCHEDULE

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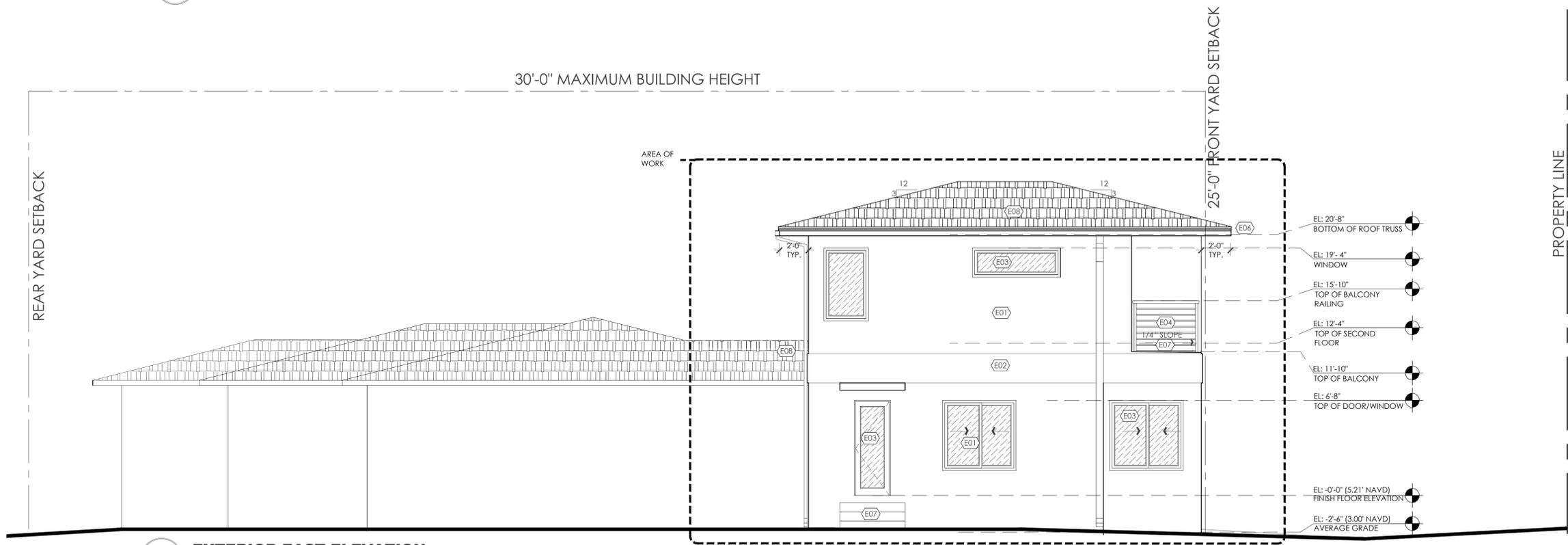
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HISTORIC PRESERVATION

Drawing No.
A-3



1 **EXTERIOR NORTH ELEVATION**
 A-4 scale: 1/4" = 1'-0"



2 **EXTERIOR EAST ELEVATION**
 A-4 scale: 1/4" = 1'-0"

- ### ELEVATIONS KEY NOTES
- (E01) PAINTED, SMOOTH TO LIGHT TEXTURE STUCCO FINISH. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
 - (E02) STUCCO BANDING 1" THICK - CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
 - (E03) WINDOW/ DOOR DESIGNATION - REFER WINDOW SCHEDULE FOR ADDITIONAL INFORMATION - REFER TO OWNER FOR COLOR SELECTION
 - (E04) ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - REFER TO OWNER FOR COLOR SELECTION
 - (E05) FLAT ROOF - CONTRACTOR TO COORDINATE SELECTION BY OWNER. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION
 - (E06) FACIA AND DRIP EDGE- CONTRACTOR TO COORDINATE SELECTION BY OWNER. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION
 - (E07) BALCONY AND PATIO FINISH- CONTRACTOR TO COORDINATE SELECTION BY OWNER. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION
 - (E08) CONCRETE ROOF TILE: INSTALL PER MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO RAS 118, RAS 119 AND RAS 120 USING SCREWS AND MORTAR/ADHESIVE OVER #90 MINERAL SURFACE OVER ASPHALT - HOT MOPPED OVER 1 1/2" R.S. NAILS 9" O.C. & 6" O.C. AT EDGES ATTACHING #30 ASTM BASE SHEET OVER 3/4" CDX PLYWOOD.

NOTE: STUCCO EXPANSION JOINTS TO BE DETERMINED BY OWNER AND PROVIDED BY CONTRACTOR

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HISTORIC PRESERVATION

Drawing No.
A-4



1126 ADAMS STREET

1122 ADAMS STREET

1114 ADAMS STREET

1
A-6 **STREET ELEVATION**
scale: 1/8" = 1'-0"

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HISTORIC PRESERVATION
Drawing No.
A-6



NORTH EAST STREET VIEW



NORTH WEST STREET VIEW



NORTH STREET VIEW

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A-7



NORTH EAST AERIAL VIEW



NORTH WEST AERIAL VIEW



NORTH AERIAL VIEW

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HISTORIC PRESERVATION

Drawing No.
A-8



C 1126 ADAMS STREET



B 1122 ADAMS STREET



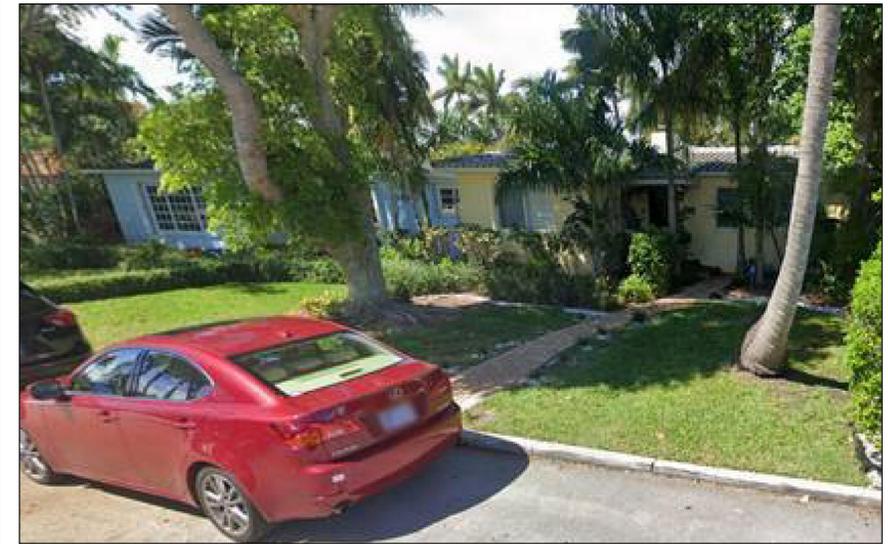
A 1114 ADAMS STREET



F 1131 ADAMS STREET



E 1127 ADAMS STREET



D 1117 ADAMS STREET



AREA MAP scale: NOT TO SCALE

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HISTORIC PRESERVATION

Drawing No.
A-9



1
EXTERIOR NORTH ELEVATION - MATERIALS - COLOR SELECTIONS
 A-10 scale: NTS



M01 SHERWIN WILLIAMS - SW 7006 EXTRA WHITE

M02 SHERWIN WILLIAMS - SW 6233 SAMOVAR SILVER

M03 SHERWIN WILLIAMS - SW 6235 FOGGY DAY

M04 SHERWIN WILLIAMS - SW 6237 DARK NIGHT



M05 FLAT ROOF TILE - LIGHT GREY - MATCH EXISTING



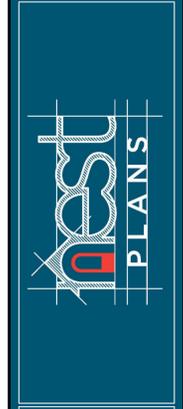
M06 CONCRETE PAVER - LIGHT GREY - EXISTING



M07 CUSTOM IMPACT WINDOWS - WHITE - MATCH EXISTING

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 Drawn by: SAR
 Checked by: GB

HISTORIC PRESERVATION

Drawing No.
A-10