

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 8-27-23

Location Address: 2328 JACKSON ST, HOLLYWOOD FL 33020
Lot(s): 13 Block(s): 4 Subdivision: HOLLYWOOD LITTLE RANCHES

Folio Number(s): 5142 16 01 2260

Zoning Classification: DH-2 (RAC) Land Use Classification: RESIDENTIAL

Existing Property Use: MULTIFAMILY Sq Ft/Number of Units: 3 UNITS

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: NEW CONSTRUCTION 33 UNIT RENTAL APARTMENT BUILDING

Number of units/rooms: 33 UNITS Sq Ft: 34,600 SQ. FT. FAR

Value of Improvement: \$4,500,000 Estimated Date of Completion: 2026

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: QUINTANA, ANGEL & VILLA, REYNALD

Address of Property Owner: 2328 JACKSON ST #3 HOLLYWOOD FL 33020

Telephone: 954-920-5746 Fax: _____ Email Address: joseph@kallerarchitects.com

Name of Consultant/Representative/Tenant (circle one): JOSEPH B KALLER, AIA, LEED BD+C

Address: 2417 HOLLYWOOD BLVD, HOLLYWOOD FL Telephone: 954-920-5746

Fax: _____ Email Address: JOSEPH@KALLERARCHITECTS.COM

Date of Purchase: 4-27-23 Is there an option to purchase the Property? Yes (X) No ()

If Yes, Attach Copy of the Contract. see attached.

List Anyone Else Who Should Receive Notice of the Hearing: MENACHEM TRIETEL AND

HEN VAKNIN

Address: _____

Email Address: menachem@capitalgroup.com

hen@bridgeasset-mgmt.com

PLANNING DIVISION



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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 9-1-23

PRINT NAME: Menachem Triefel / BTRAC

Date: _____

Signature of Consultant/Representative: _____

Date: 9-1-23

PRINT NAME: JOSEPH B. KALLER

Date: 9-1-23

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

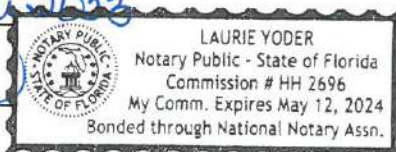
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Technical Advisory Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 1st day of September 2023

Notary Public
State of Florida



My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner

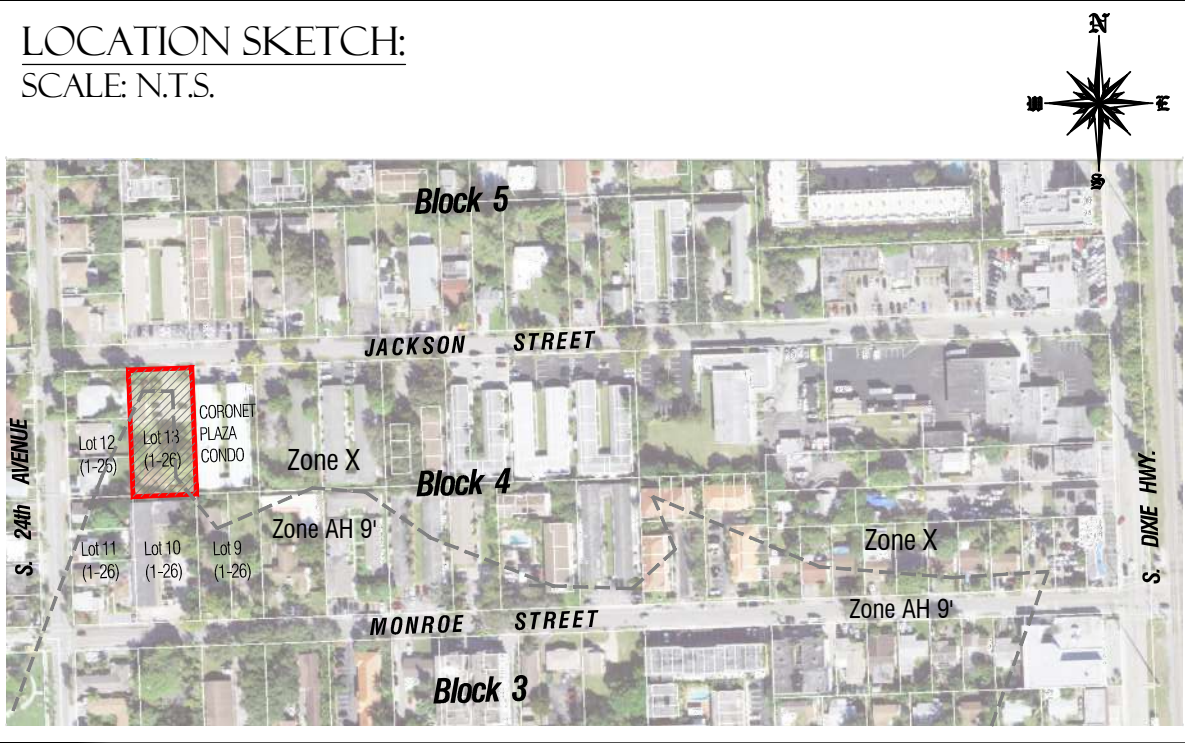
Print Name

ALTA / ACSM LAND TITLE SURVEY

LOTS 13 OF BLOCK 4 "HOLLYWOOD LITTLE RANCHES" (PLAT BOOK 1, PAGE 26)
A SUBDIVISION OF SECTION 16, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
BROWARD COUNTY FLORIDA.

LOCATION SKETCH:

SCALE: N.T.S.



PROPERTY INFORMATION

- Parcel Identification Number: 11216-01-22600
- Property address: 2328 Jackson Street, Hollywood Florida 33020
- C.F.N. 103972546
- O.R. BK. 37414 Pg. 1413 (1 pg) Recorded 05/07/2004 03:25 pm

TITLE COMMITMENT SCHEDULE A INFORMATION:

Old Republic National Title Insurance Company
Issuing Agent: Madison Title Agency, LLC
Issuing Office: 1125 Ocean Avenue, Lakewood, NJ 08701
Issuing Office File Number: MTAFL-188130
Commitment Date: May 01, 2023

TITLE COMMITMENT SCHEDULE A

LEGAL DESCRIPTION:

Lots 13, Block 4, Hollywood Little Ranches, according to the Plat thereof recorded at Plat Book 1, Page 26, in the Public Records of Broward County, Florida.

TITLE COMMITMENT SCHEDULE B SECTION II

EXCEPTIONS

The property depicted by this survey and described here is the same property designated in Old Republic National Title Insurance Company, Issuing Office File Number: MTAFL-188130, with effective commitment date of May 01, 2023.

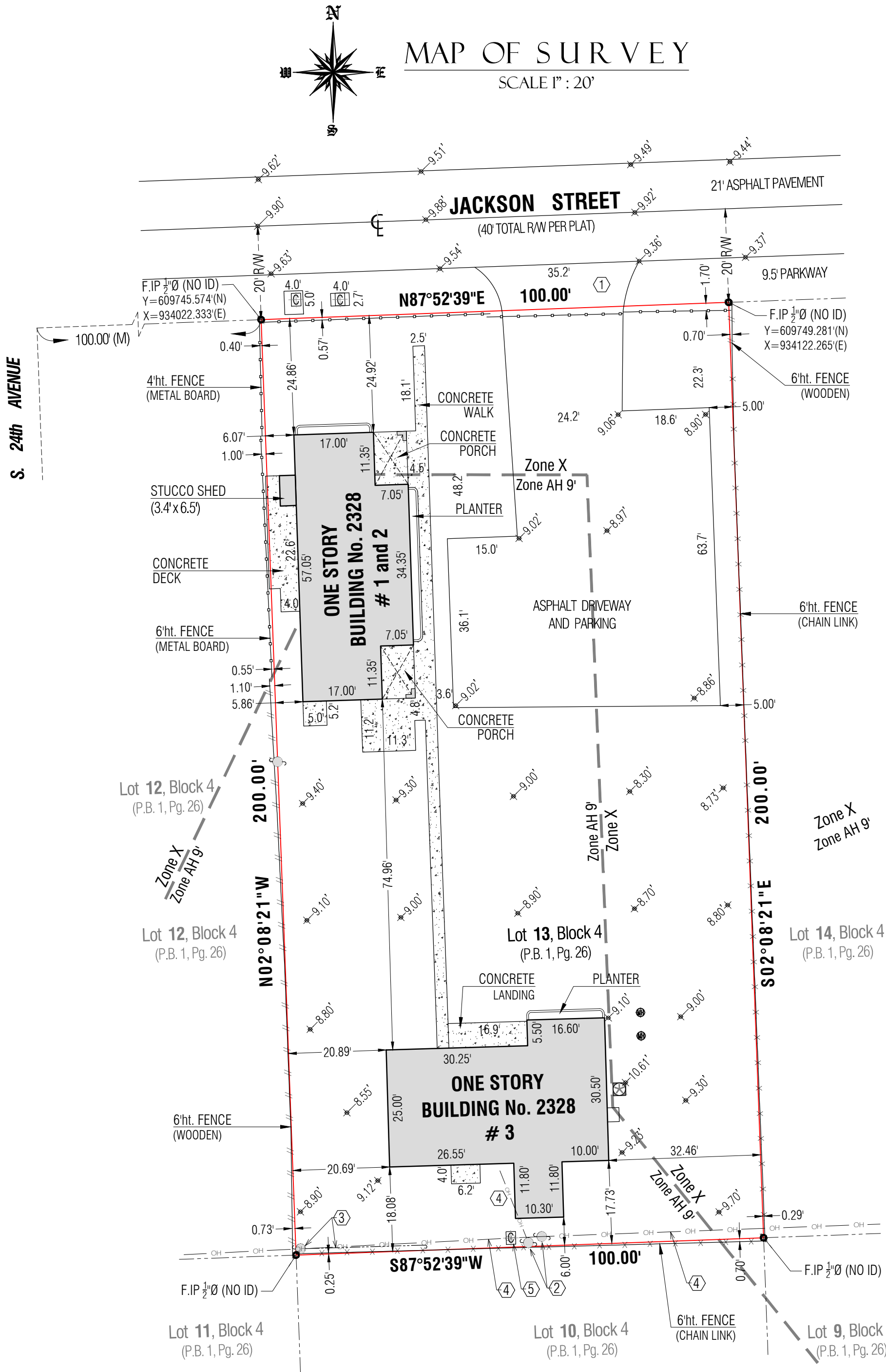
This commitment does not republish any covenant, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, condition, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

- Any Defects, liens, encumbrances, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met. *(not graphically plottable)*
- Rights or claims of parties other than Insured in actual possession of any or all of the property. *(not graphically plottable)*
- Any lien, mechanic's lien or materialman's lien or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records. *(not graphically plottable)*
- Public or private easements, or claims of easements, not shown by the public record. *(Does not affect the property)*
- Rights of tenants as tenants only under recorded leases. *(not graphically plottable)*
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. *(Affects the property and is shown hereon)*
-
-
- Any lien provided by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid charges for service by any water, sewer or gas system supplying the insured land. *(not graphically plottable)*
-
- Any claim that any portion of the insured land is sovereign lands of the State of Florida, including submerged, filled or artificially exposed lands accreted to such land. *(not graphically plottable)*

Note: In the event that the Commitment Jacket is not attached hereto, all of the terms, conditions and provisions contained in said Jacket are incorporated herein. The Commitment Jacket is available for inspection at any Company office.

Note: All recording references in this commitment/policy shall refer to the Public Records of Broward County, Florida, unless otherwise noted



LIST OF POSSIBLE ENCROACHMENTS:

The following list of encroachments is only the opinion of this surveyor and should not be interpreted as complete listing:

- Concrete approach encroaches into the parkway of Jackson Street;
- Wood power pole encroaches into the subject property.
- Wood power pole and anchor encroaches into the subject property.
- Overhead electric line encroaches into the premise.
- Communication box encroaches into the subject property.

FLOOD INFORMATION:

Said described property is located within an area having a Zone Designation "X and AH 9.0" by the Federal Emergency Management Agency (F.E.M.A.), on Flood Insurance Rate Map No. 12011C0569 H, with a date of identification of August 18 2014, for Community of City of Hollywood No. 125113, in Broward County, State of Florida, which is the current Flood Insurance Rate Map for the community in which said premises is situated.

ZONING INFORMATION

Zoning District: DH-2 (Dixie Highway Medium Intensity Multi-Family District Development)

Land Use: Residential Income (General \ Multi-family)

THE DISTRICT ZONE consists of the least regulated Building and accommodates commercial and industrial Uses of a scale and with a Street scape that facilitate vehicular access.

- Net lot area: 20,000 sq ft OR 0.46 Acres.
- Existing Square Footage of building(s):
 - Unit 1 and 2 = 1217 square feet
 - Unit 3 = 1384 square feet
 - TOTAL = 2601 square feet

- The regulations contained herein are general in nature and are subject to change as deemed necessary by the Board of County Commissioners. More restrictive regulations may apply to specific developments.

- Zoning Source: Hollywood Muni-code

GENERAL SURVEY NOTES:

- The North Arrow and Bearings as shown hereon are based of bearings value N87°52'39"E along the center line of Jackson Street, according to G.P.S. R.T.K., and conventional survey methods.
- Utility Note: The utilities shown have been located from field survey information. The surveyor has not physically located the underground utilities and no specific utility companies were contracted. **Notice** is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act", pursuant to Chapter 556.101-111 of the Florida Statutes.
- No excavation or determination was made as to how the Subject Property is served by utilities.
- No improvements were located, other than those shown.
- No underground foundations, improvements and/or utilities were located or shown hereon.
- This notice is required by the "2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- The property described hereon is the same as the property described in Old Republic National Title Insurance Company, The property depicted by this survey and described here is the same property designated in Old Republic National Title Insurance Company, Issuing Office File Number: MTAFL-188130, with effective commitment date of May 01, 2023, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- The Property has direct access to Jackson Street, dedicated public streets.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, according to Broward County. There is no observed evidence of recent street repairs.
- There is no observed evidence of site use as a solid waste dump, or hazardous materials.
- Bench Mark used: BCED BM 1944, STR 16-51-42, M 312 1970, Elevation (N.G.V.D. 29) = 15.039 feet
- Bench Mark used: BCED BM 1896, STR 15-51-42, P 239 1965, Elevation (N.G.V.D. 29) = 10.932 feet

ABBREVIATIONS AND LEGEND:

A =arc	HT =high (height)	PRM =permanent reference monument	+ X.XX' =elevation NGVD29
ADJ =adjacent	L.F.E. =lowest floor elevation	PT =point of tangency	+ (X.XX)' =elevation NAVD88
A.E. =anchor easement	LME =lake maintenance easement	R =radius	fire hydrant
BBO =barbecue	LS =land surveyor	R/R =railroad	FPL FPL box
BOB =basis of bearings	M =measured distance	RW =right-of-way	gas meter
BM =bench mark	NA =not applicable	Sec =section	GT propane gas tank
BC =block corner	N&D =nail & disc	S =south	manhole (unknown)
CME =canal maintenance easement	NAV=national american vertical datum	T =tangent	pool equipment
C =calculated	NGVD=national geodetic vertical datum	U.E. =utility easement	pool water heater
Ch =chord	N =north	W =west	concrete power pole
CBS =concrete block structure	NTS =not to scale		wood power pole
Ø =diameter	OH =overhang		light pole
D =central angle	O/S =offset		storm flow
DH =drill hole	ORB =official record book		electric register
DME =drainage maintenance easement	P =plat		electric meter
E =easement	P.B. =plat book		electric panel
F.I.P. =found iron pipe no id	P.C. =point of curvature		emergency generator
F.I.R. =found iron rebar no id	PC =page		
F.N&D =found nail and disc	PCP =permanent control point		
F.F.E. =finish floor elevation	POB =point of beginning		
	POC =point of commencement		

SURVEYOR'S CERTIFICATE:

BRIDGE ASSET MANAGEMENT;
OLD REPUBLIC NATIONAL TITLE, INSURANCE CO.;
ALTA SURVEY
GROVE BANK AND TRUST Successor and/ or Assigns ISAOA.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 9, and 11 of Schedule B-II hereof.

The field work was completed on May 15, 2023.

Date of Map September 02, 2023.

Michael Caray, S. No. 6594

Michael Caray, S. No. 6594

NOTICE:

Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps and Reports by other than the signing party are prohibited without the written consent of the signing party.

8801 NW 176th Street, Miami Lakes Fl. 33108
P. 305.362.7926 P. 305.305.4143
M. madelin @ surveyinflorida . com

Job No.22-11731F
Sheet No. 1 of 1
PRISMA LAND SURVEYORS LLC
SURVEYOR AND MAPPERS LB. 8036
north central and south florida



TECHNICAL ADVISORY COMMITTEE REPORT

September 18, 2023

Angel Quintana & Reynald Villa
2328 Jackson Street #3
Hollywood, FL 33020

FILE NUMBER: 23-DP-77

SUBJECT: Preliminary Site Plan and Design review for 33 Residential Units.

SITE DATA

Owner/Applicant:	Angel Quintana & Reynald Villa
Address/Location:	2328 Jackson Street, Hollywood, FL 33020
Net Size of Property:	20,003 sq. ft. (0.46 acres)
Land Use:	Regional Activity Center (RAC)
Zoning:	DH-2
Present Use of Land:	Residential Multi-Family
Year Built:	1950/1949 (Broward County Property Appraiser)

ADJACENT LAND USE

North:	Regional Activity Center (RAC)
South:	Regional Activity Center (RAC)
East:	Regional Activity Center (RAC)
West:	Regional Activity Center (RAC)

ADJACENT ZONING

North:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
South:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
East:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
West:	Dixie Highway Medium Intensity Multi-Family District (DH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

ARCHITECTURE RESPONSES IN RED
CIVIL AND LANDSCAPE RESPONSES IN GREEN

A. APPLICATION SUBMITTAL

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

2. Ownership & Encumbrance Report (O&E):

- a. Substantially compliant.

3. Alta Survey:

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
R:/ Provided.
 - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
R:/ There aren't easements recorded for this site.

4. Site Plan:

- a. Cover sheet is missing the page index.

Sheet A-00

R:/ Updated.

- b. Show the 3' required dimension at the columns.

Sheet A-01

R:/ 3' Shown on Site Plan

- c. Show the setback from the curb of the turnaround space to the rear property line. Shall be a minimum of 5'.

Sheet A-01

R:/ 5' Rear Landscape buffer shown.

- d. No roof plan provided. Will this be the location of mechanical equipment? Are there any rooftop amenities?

Sheet A-03

R:/ Roof plan added to set. Mechanical units will be stored at roof deck level with access from the lobby entrance staircase.

- e. On the elevation sheets, indicate the height of wall that screens the parking garage.

Sheet A-01

R:/ 4' HIGH CMU Wall screening vehicular parking. Annotation added to elevation and site plan.

Sheet A-04

Sheet A-05

- f. Indicate dimension of terrace encroachment into the front setback.

Sheet A-01

R:/ Dimension of a 3' terrace encroachment into front setback shown on elevations and plans.

Sheet A-04

Sheet A-05

- g. Provide FAR calculation table.

Sheet A-06

R:/ FAR calculation table provided on diagrams sheet.

5. Site Data:

- a. Substantially compliant.

6. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactAp>

[plication1.pdf](#)

R:/ Provided.

7. Indicate past, current, and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Sheet A-00

R:/ Provided on Cover Sheet

8. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association is located within 500 feet project site.

- a. Downtown Parkside Royal Poinciana (scpanther3@aol.com)
- b. Highland Gardens Civic Association (highlandgardens07@gmail.com)

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

9. Additional comments may be forthcoming.

B. ZONING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Substantially compliant.

C. ARCHITECTURE AND URBAN DESIGN

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide material legend elevations.

Sheet A-04 **R:/ Material shown on elevations with keynote legend.**

D. SIGNAGE

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Substantially compliant.

E. LIGHTING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Substantially compliant.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02).

Sheet A-01 **R:/ EV parking occurring at parking spaces #33 + #34**

2. Refer to Building for any required green building practices.

R:/ Noted.

G. ENGINEERING

Azita Behmardi, Deputy Director of Development Services (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. Provide plat determination letter from the Broward County Planning Council.

R:/ Provided.

2. Provide/show the 5' dedication as Right-of-Way Dedication on plans. Clearly label the current property line as existing and the property line after the dedication on plans. All features of the proposed development shall begin from the proposed property line after the right-of-way dedication.

Sheet A-01 R:/ Refer to site plan for dedications.

3. Please provide an overall site plan for the project with all features of City streets and alleys within full City right-of-way from property line to adjacent property lines (Swales, sidewalks, gutters along entire property frontage, edge of pavement and any adjacent features such as neighboring driveways etc. on both sides of the street or alley). Show existing elements, uses and properties adjacent to the site.

Sheet A-01 R:/ Provided. Refer to site plan.

4. On the survey, an easement is not shown along the south side of the property for the existing power lines and power poles. Work with utility company to establish an easement prior to approval of building permit.

R:/ No easements recorded for this site.

5. Provide a new 5 foot-wide concrete sidewalk along the frontage of the property with the public right-of-way. The sidewalk shall continuous and flush through the driveway.

Sheet A-01 R:/ Provided. Refer to site plan.

6. Please provide a detectable warning at the driveway, a spec/detail for the proposed FDOT detectable warnings is to be provided in the plans.

Sheet A-01 R:/ Provided. Refer to site plan.

7. Please identify the radii of the apron radius flares being shown on the plans.

Sheet A-01 R:/ Provided. Refer to site plan.

8. Provide dimension for the width of the building entry walkway connecting to the rights-of-way.

Sheet A-01 R:/ Provided. Refer to site plan.

9. Provide dimension, slope and details for the ramp to and from the Lobby to show that it is ADA compliant. The ramp must have handrails on both sides with a clear interior width of 36". The ramp must meet a slope ratio of 1:12 (1:16 is recommended). Please provide a detail of the ramp proposed to show the clear interior width railing to railing to ensure ADA compliance.

Sheet A-01 R:/ Provided. Refer to site plan.

10. Please show site triangles correctly. Provide sight visibility triangles at all driveway access locations as per Chapter 155.12. If the property line is less than 12 feet from the edge of pavement in the rights-of-way, provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet, provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address in plans and dimension.

Sheet A-01 R:/ Provided unobstructed 12' X 12' ST. Refer to site plan.

11. Sheet A-01, label the blue hidden line between Stalls 1 and 36.

Sheet A-01 **R:/ Provided 12' X 12' ST. Refer to site plan.**

12. Please dimension the width of Stalls 1 and 36 to provide for the minimum 12' wide for an ADA parking stall. The space between the parking stall and the wall / building column shall be dimensioned separate and pavement marked as non-vehicular area. The vehicular queuing at the entrance shall not encroached into the parking stalls

Sheet A-01 **R:/ Dimensions provided.**

13. Please show on plans if applicant is proposing a garage door/gate please identify how this gate is to operate and if a keypad/fob, or scanning system will be in place to allow entrance and exit from the parking garage. In addition, identify how the garage/gate will open (sliding, roll up etc.)

Sheet A-01 **R:/ Garage Door removed from scope. Please disregard.**

14. Annotated dimension for first parking space setback is incorrect. Please revise.

Sheet A-01 **R:/ Vehicular queuing space 18' from front property line until first parking space.**

15. On the site plan, provide building column dimensions and show building columns are setback a minimum of 3' from the entrance of all parking stall.

Sheet A-01 **R:/ Provided 3' column setback for all parking spaces.**

16. The ADA parking pavement marking for Stall 36 is at Stall 35.

Sheet A-01 **R:/ Revised.**

17. Sheet A-01, wheel stop for Stall 35 is staggered into the ADA accessible path.

Sheet A-01 **R:/ Revised.**

18. Provide wheel stop for Stalls 33, 34, and 36.

Sheet A-01 **R:/ Revised.**

19. Provide the vertical clearance of the garage on the site plan.

Sheet A-01 **R:/ Provided.**

20. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan. Provide a detail for the proposed ramps showing how they achieve ADA compliance.

Sheet A-01 **R:/ Note provided on site plan and cover sheet.**

21. Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall.

Sheet A-01 **R:/ All ADA signage to be wall mounted. Refer to site plan.**

22. Please provide the setback dimensions for the proposed bump out. Setback shall be measured from back of proposed curb to property line at the most critical points (corners) a minimum 3-foot-wide drivable area bump out with curb. This bump out may not be within any required setback areas.

Sheet A-01 **R:/ Dimensions provided.**

23. All non-vehicular areas shall be stripped and clearly identified. This stripping shall not be the same stripping as the ADA accessible aisle. Please show on plan. (i.e. bike rack areas.)

Sheet A-01 **R:/ Striping provided at non-vehicular**

24. Please provide a trash chute for the garbage room, label in plans.

Sheet A-01 **R:/ Provided.**

25. Please identify the type of door to be used for the dumpster enclosure.

Sheet A-01 **R:/ Overhead garage door.**

26. Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set. In this case, coordination will be required with the City CRA.

RESPONSE: Please see added civil plans

27. Add note on civil and site plans for full road width pavement mill and resurfacing will be required for all streets / roadway adjacent to the project site.

RESPONSE: Please see sheet C6.

28. Please provide a pavement marking and signage plan for all onsite and off-site pavement markings. All pavement marking and signage within City rights-of-way requires review and stamped approved plans by Broward County Traffic Engineering Division. BCTED approval required at the time of permitting.

RESPONSE: Please see pavement markings and signage sheet C5. There aren't any R.O.W. pavement markings being impacted by this project.

29. Please include all applicable Standard City of Hollywood details:
<https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>

RESPONSE: Please see sheets C4, C5 & C8.

30. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required.

RESPONSE: Acknowledged.

31. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

RESPONSE: Acknowledged.

32. MOT plans required at the time of City Building Permit review.

RESPONSE: Acknowledged.

33. All outside agency permits are required at the time of City building permit review.

RESPONSE: Acknowledged.

34. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

35. A 5-foot right-of-way dedication will need to be recorded with Broward County at time of permitting..

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3997

No landscape plan submitted on set.

1. Survey shows existing trees/palms.

RESPONSE: Acknowledged

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.

RESPONSE: Provided

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.

RESPONSE: Acknowledged

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)

RESPONSE: Provided

5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.

RESPONSE: Provided

6. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'.
Provide FPL approved trees for planting under powerlines.

RESPONSE: Provided

7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

RESPONSE: Provided

8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.

RESPONSE: Acknowledged.

9. All landscaping shall be warranted for 1 year after final inspection.

RESPONSE: Acknowledged.

10. Provide site requirements as per project zoning.

RESPONSE: Provided

11. Provide note indicating: 100% irrigation coverage shall be provided.

RESPONSE: Provided

I. UTILITIES

Alicia Verea-Feria, Utilities Permit Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, fire, sewer services and drainage for initial review.

RESPONSE: Acknowledged.

2. Show Water and Sewer demand calculations on proposed utilities plans.

RESPONSE: Acknowledged.

3. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>

RESPONSE: Please see detail sheets C7 & C8.

4. Survey shall specify elevations reference NAVD88.

5. This site resides currently within FEMA Flood Zone X and AH with Base Flood Elevation = 9' NAVD88. The proposed Finished Floor Elevations (FFE) shall comply with the **greatest** of the following three (3) conditions, as applicable.

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following

lin

k:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>
; OR

- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available

online via the link:
following
<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

RESPONSE: The FFE has been set at 11.50' NAVD88 to meet the County 100 Year Flood Map, which is the more stringent elevation in this case.

6. Indicate FFE (use NAVD88) for all enclosed areas on the ground floor.

RESPONSE: Please see civil and architectural plan sheets.

7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

RESPONSE: Please see sheet C2.

8. Ensure all stormwater is retained onsite.

RESPONSE: Please see drainage sheets C2 and C3, and preliminary drainage calculations.

9. Note how roof drainage will be collected and connected to the on-site drainage system.

RESPONSE: Please see sheet C2.

10. Provide preliminary drainage calculations.

RESPONSE: Please see ATTACHED DRAINAGE CALCULATIONS.

11. Submit Erosion Control Plan.

RESPONSE: Please see sheet C1.

12. Permit approval from outside agencies will be required.

RESPONSE: Acknowledged.

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

14. Additional comments may follow upon further review of requested items.

Additional comments may follow upon further review of requested items.

BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Substantially Compliant.

J. FIRE

Chris Clinton, Fire Marshal (clinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshal (mhofle@hollywoodfl.org) 954-967-4404

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

1. Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

2. Provide civil drawings for the underground fire main. --- Provide such including the location of the fire department connection, DDCV, and size and type of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire. --- Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections as required by NFPA 14 (2016 Ed.) Section 6.4.5.4 --- "Fire department connections shall be located not more than 100 ft (30.5 m) from the nearest fire hydrant connected to an approved water supply."

RESPONSE: Please see sheet C6.

3. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

RESPONSE: Please see note on sheet C6.

4. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans.

RESPONSE: Please see note on sheet C6.

5. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop

systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. --- Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. --- Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

K. PUBLIC WORKS

Joseph Kroll, Public Works Director (jkroll@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4526

1. No comments received.

L. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application required.

M. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Division Manager (rcoote@hollywoodfl.org) 954-921-2923

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

N. ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Substantially compliant.

O. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. Substantially compliant.

Note: Crime Prevention Recommendations: The following are the reviews and recommendations for the CPTED review of the blueprints for "2328 Jackson St - Hollywood, Florida" – Preliminary.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

External Lighting

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

Landscaping:

- Make sure all landscaping is trimmed and well maintained.
- Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.
- Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
- Plants/Shrubbery should not be more than 2ft in height.
- Tree canopies should not be lower than 6ft in height.

Building(s) Perimeter Doors

- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.
 - Lobby should be accessible to residents only.
 - Lobby should remain locked after hours
 - Electrical, Mechanical, Pump Room, Maintenance Rooms, should be kept locked when not in use.
 - Parking Garage should be accessible to residents only. Guests can be given access by residents.

Internal Circulation and Control

- There should not be recessed areas in corridors that could be used for hiding or loitering.
- Convex mirrors should be used in corners and in stairwells.
- Stairwells should have closed area at first level, to prevent someone from hiding beneath stairs.
- Glass elevator is recommended so residents can see out/in.
- Mail area should be well lit
- Trash room should be locked when not in use
- Storage should be locked when not in use
- Roof should remain locked when not in use.

Corridors

- Corridors should be well-lighted with no dark areas.
- Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.
- Terrace should be well lit.

General locations

- Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

CCTV

- CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are

some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Fencing

- (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Non-Pedestrian Building Entry Points

- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- Locations where gas and electric utilities enter buildings should be well lighted.

Signage

- Ensure proper signage is posted throughout property.

The purpose of the review is to provide security recommendations. This review is only advisory and is not intended to identify all security weaknesses or to warrant the adequacy of all present and future security measures whether or not recommended.

P. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

Christopher Crocitto, Project Manager (ccrocitto@hollywoodfl.org)

1. Not Applicable.

Q. PARKING

Jovan Douglas, Parking Operations Manager (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

R. ADDITIONAL COMMENTS

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Tasheema Lewis
Associate Planner

C: Joseph B. Kaller via email joseph@kallerarchitects.com
Menachem Trietel via email menachem@capitalgroup.com
Hen Vankin via email hen@bridgeassest-mgmt.com

OWNER

MENACHEM TRIETEL
CAPITALL GROUP

ARCHITECT

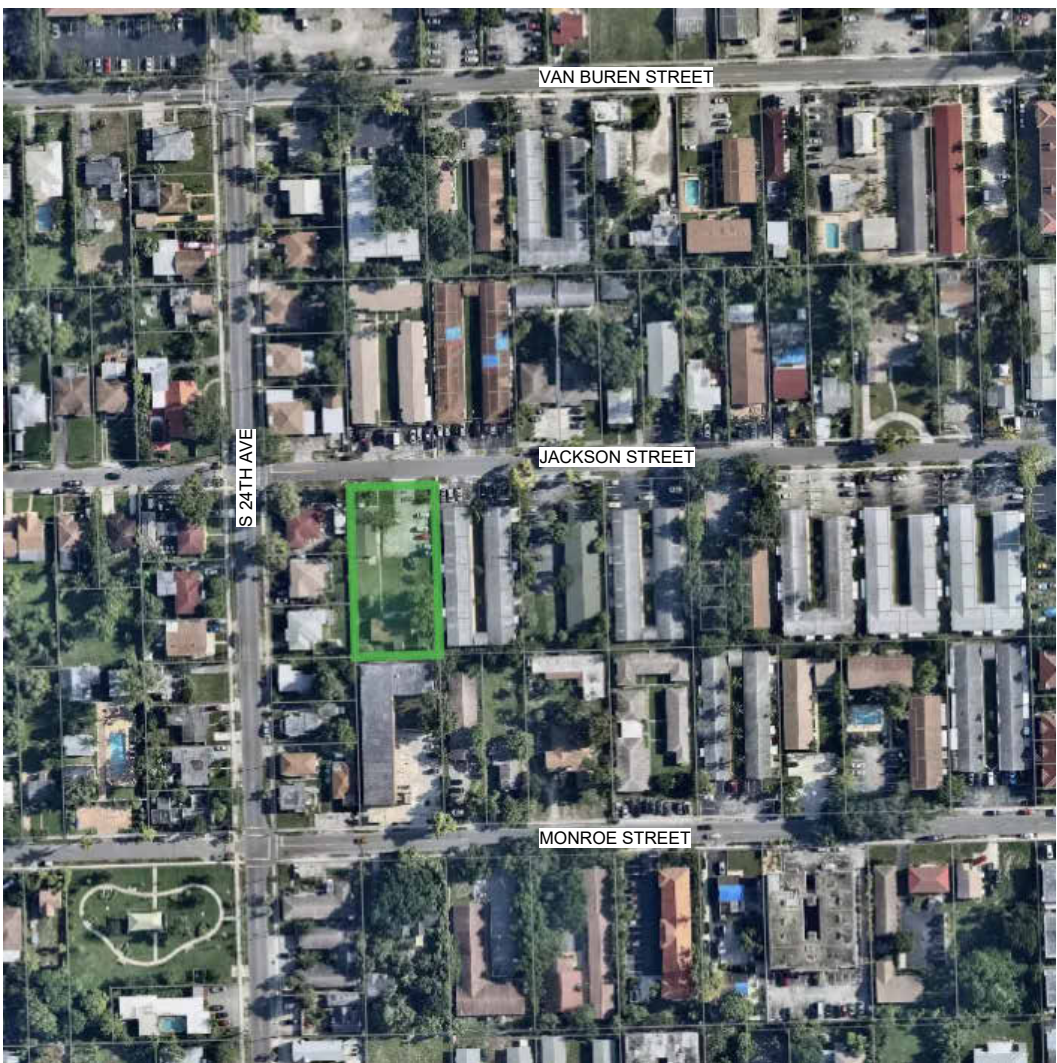
JOSEPH KALLER

AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

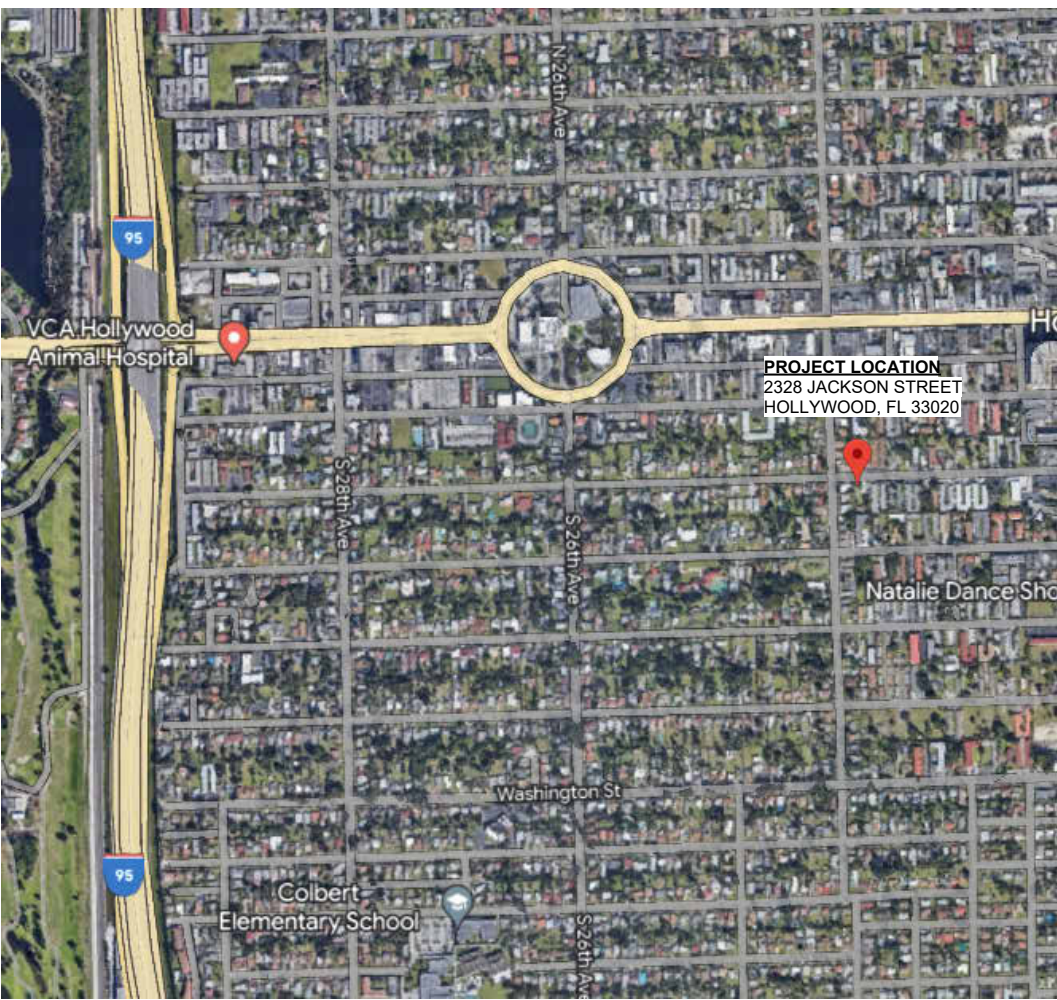
MULTI-FAMILY APARTMENTS
2328 JACKSON ST. HOLLYWOOD, FL 33020



SITE MAP



VICINITY MAP



2328 JACKSON STREET
HOLLYWOOD, FL. 33020

Parcel ID: 514216012260
Lot Area - Public Records: 20,005 SF
Legal Description: HOLLYWOOD LITTLE RANCHES 1-26 B LOT 13 BLK 4

BASIC ZONING

Municipal Future Land Use: Regional Activity Center (RAC)
Zone: DH-2
Existing Building Use: Single Family Residential
Existing Land Use: Residential
County Future Land Use: Regional Activity Center

ADDITIONAL ZONES

Opportunity Zone: No
FEMA Flood Zone: AH
Future Conditions 100-Year
Flood Elevation (Feet NAVD88) 10'

BUILDING INTENSITY

	ALLOWED	PROPOSED
Maximum Building Height:	45 ft	45 ft
Maximum Height - Stories:	4	4
Floor Area Ratio:	1.75 (35,005)	30,670.15 SF
Minimum Open Space:	20%	26% ?/??

SHEET INDEX

ARCHITECTURAL

A-00 COVER SHEET + PROJECT INFORMATION
A-01 SITE PLAN
A-02 TYPICAL FLOOR PLAN
A-03 ROOF PLAN
A-04 NORTH + SOUTH ELEVATION
A-05 EAST + WEST ELEVATION
A-06 DIAGRAMS

CIVIL

C-1 EROSION & SEDIMENT CONTROL PLAN
C-2 PAVING GRADING & DRAINAGE PLAN
C-3 CIVIL DETAILS 1
C-4 CIVIL DETAILS 2
C-5 PAVEMENT MARKINGS & SIGNAGE PLAN
C-6 WATER & SEWER PLAN AND DETAILS
C-7 UTILITIES DETAILS 1
C-8 UTILITIES DETAILS 2
C-9 UTILITIES DETAILS 3

LANDSCAPE

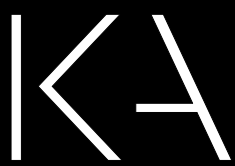
DT-1 LANDSCAPE REMOVAL PLAN + MITIGATION SCHEDULE
LP-1 LANDSCAPE PLAN & CODE CHART
LP-2 LANDSCAPING SCHEDULE & NOTES
LP-3 COLORED LANDSCAPE PLAN & DETAILS

CITY OF HOLLYWOOD MEETING DATES

TECHNICAL ADVISORY COMMITTEE (TAC) SEPTEMBER 18TH, 2023

NOTE:

- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- ANY LIP 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
- ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS



Kaller Architecture
2417 Hollywood Blvd.
Hollywood Florida 33020

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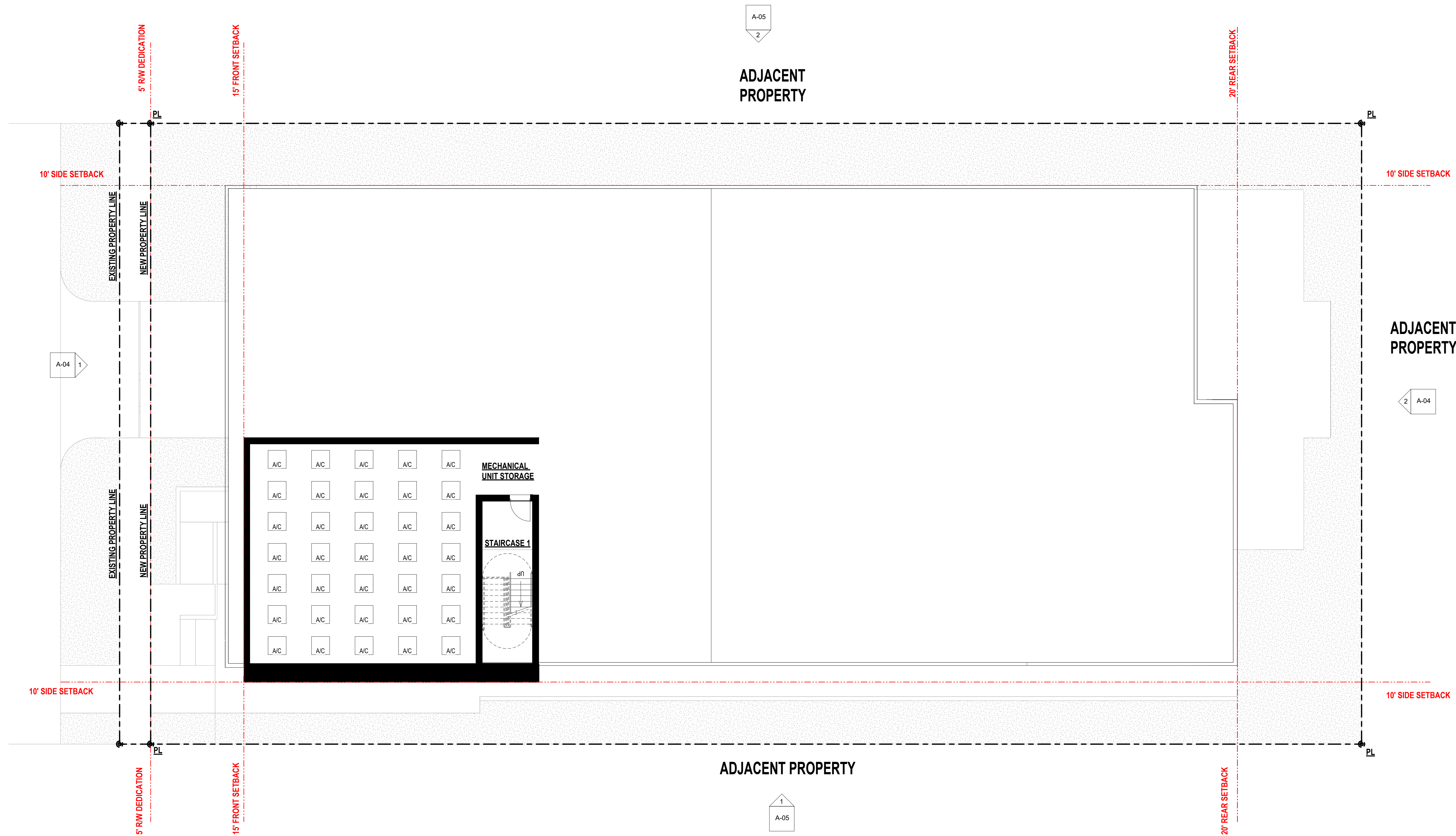
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PROJECT No.: 23-056
DATE: 12/2/22
DRAWN BY: MF
CHECKED BY: JBK

EET

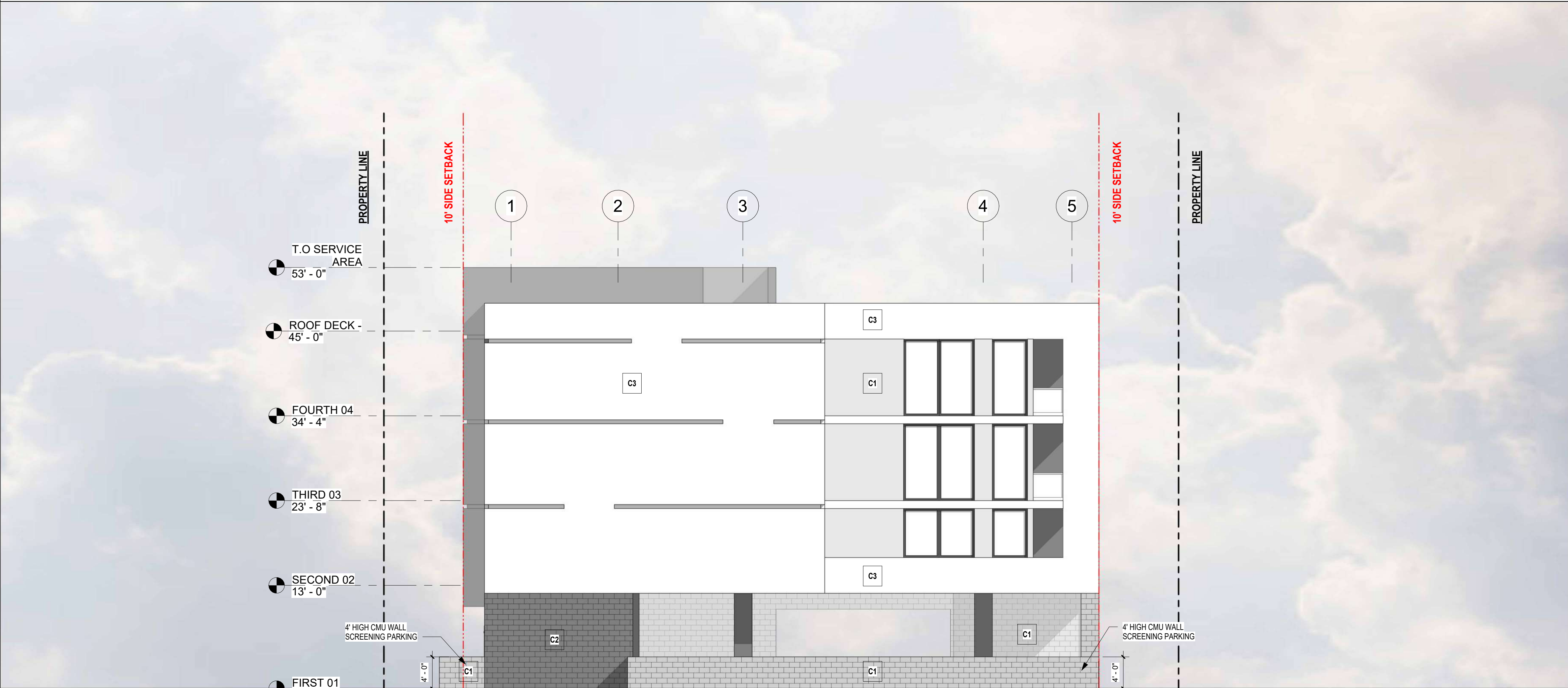
A-03



1 ROOF DECK -
1/8" = 1'-0"








1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

COLOR + MATERIAL PALLETE

KEY NOTE #	COLOR/MATERIAL
C1	 SMOOTH STUCCO - GREY CLOUDS SW-7658
C2	 SMOOTH STUCCO - IRON ORE SW-7069
C3	 SMOOTH STUCCO - PURE WHITE SW-7005
C4	 VEGETATION WALL - FAUX
C5	 COMPOSITE WOOD SIDING - SMOOTH BROWN FINISH



Kaller Architecture
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. #0009239

PROJECT TITLE
**MULTI-FAMILY
APARTMENTS**
2328 JACKSON ST. HOLLYWOOD, FL 33020

SHEET TITLE
**NORTH + SOUTH
ELEVATION**

REVISIONS

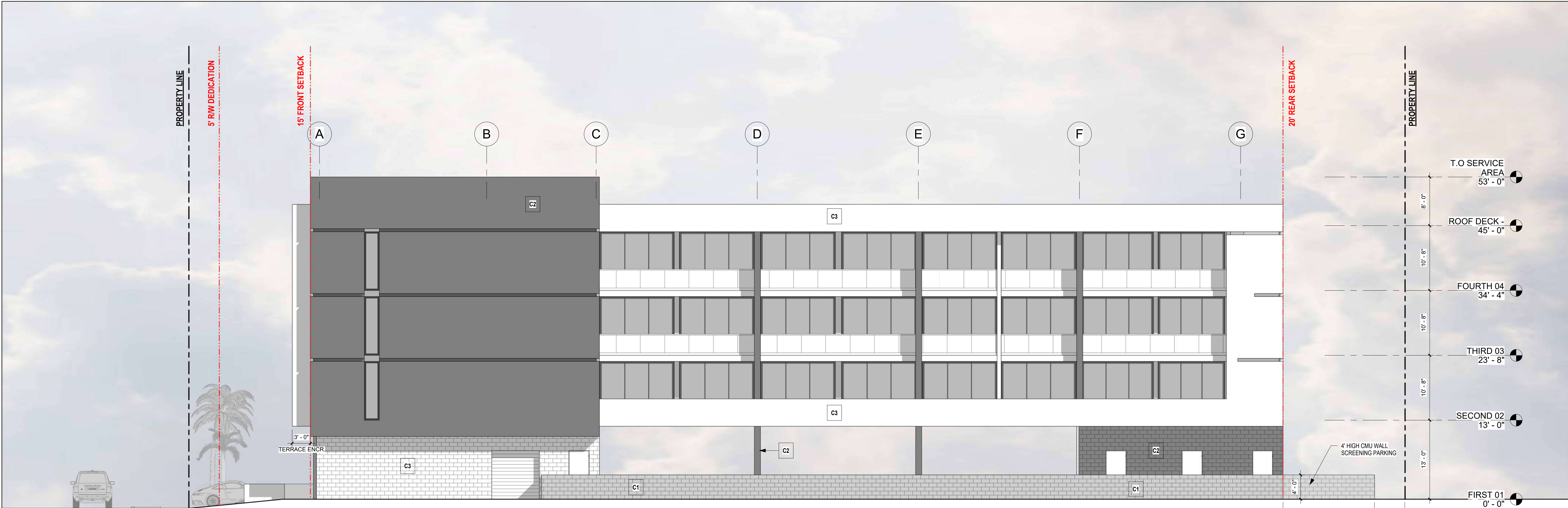
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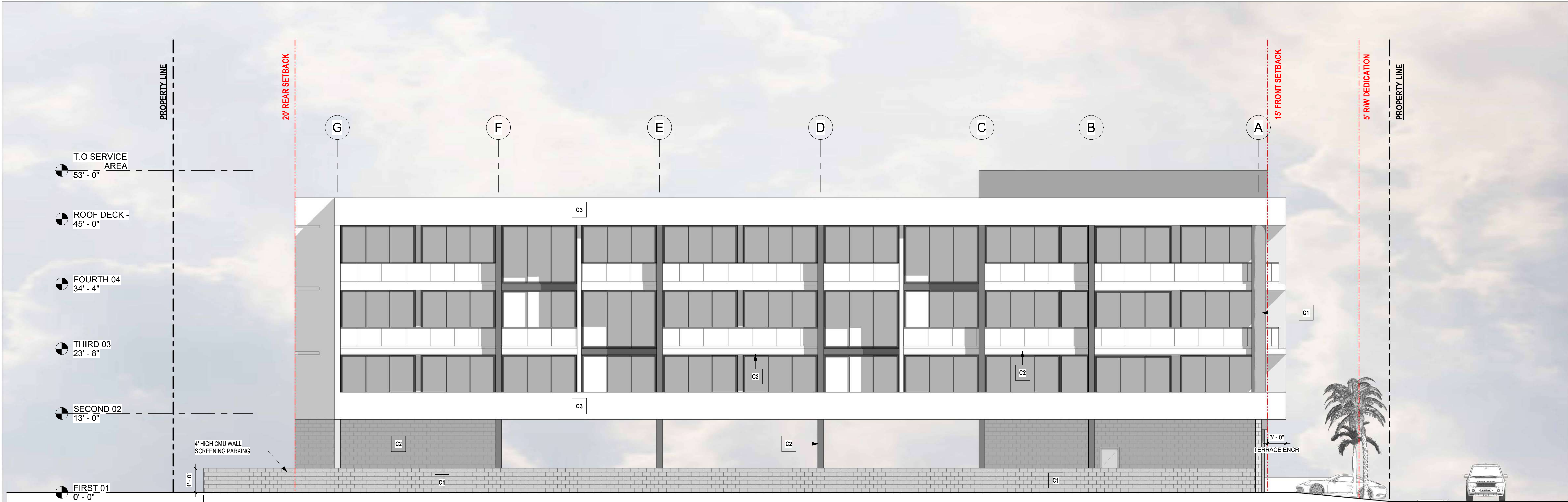
PROJECT No.: 23-056
DATE: 12/2/22
DRAWN BY: MF
CHECKED BY: JBK

SHEET

A-04



1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

NOTE: REFER TO SHEET A-04 FOR MATERIALS



Kaller Architecture
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. #0009239

MULTI-FAMILY
APARTMENTS
2328 JACKSON ST. HOLLYWOOD, FL 33020

PROJECT TITLE

SHEET TITLE

EAST + WEST
ELEVATIONS

REVISIONS

No.	Description	Date

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PROJECT No.: 23-056
DATE: 12/2/22
DRAWN BY: MF
CHECKED BY: JBK

SHEET

A-05

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

LEGEND

- PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED GRADE
EXISTING ELEVATION
PROPOSED CATCH BASIN
EXISTING CATCH BASIN
PROPOSED WATER METER
EXISTING WATER METER
EXISTING WATER VALVE
PROPOSED BFP DEVICE
EXISTING SAN. SEWER MH
EXISTING FIRE HYDRANT

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

ZE

MULTI-FAMILY APARTMENTS

2328 JACKSON STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 9/28/23

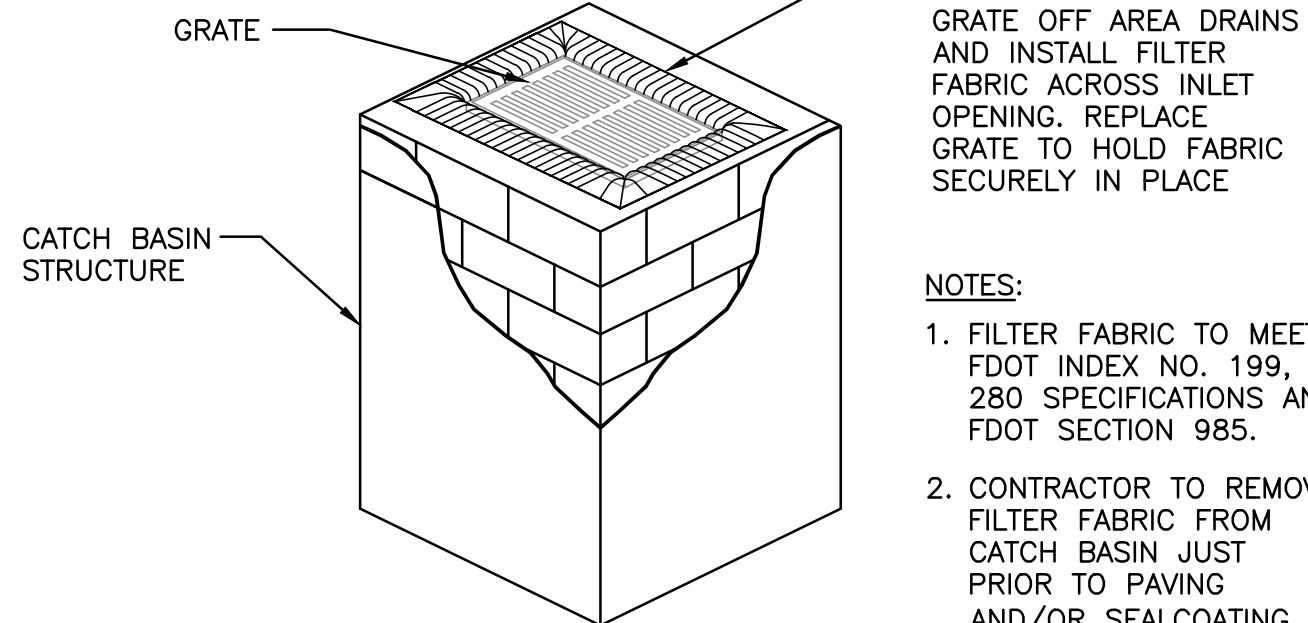
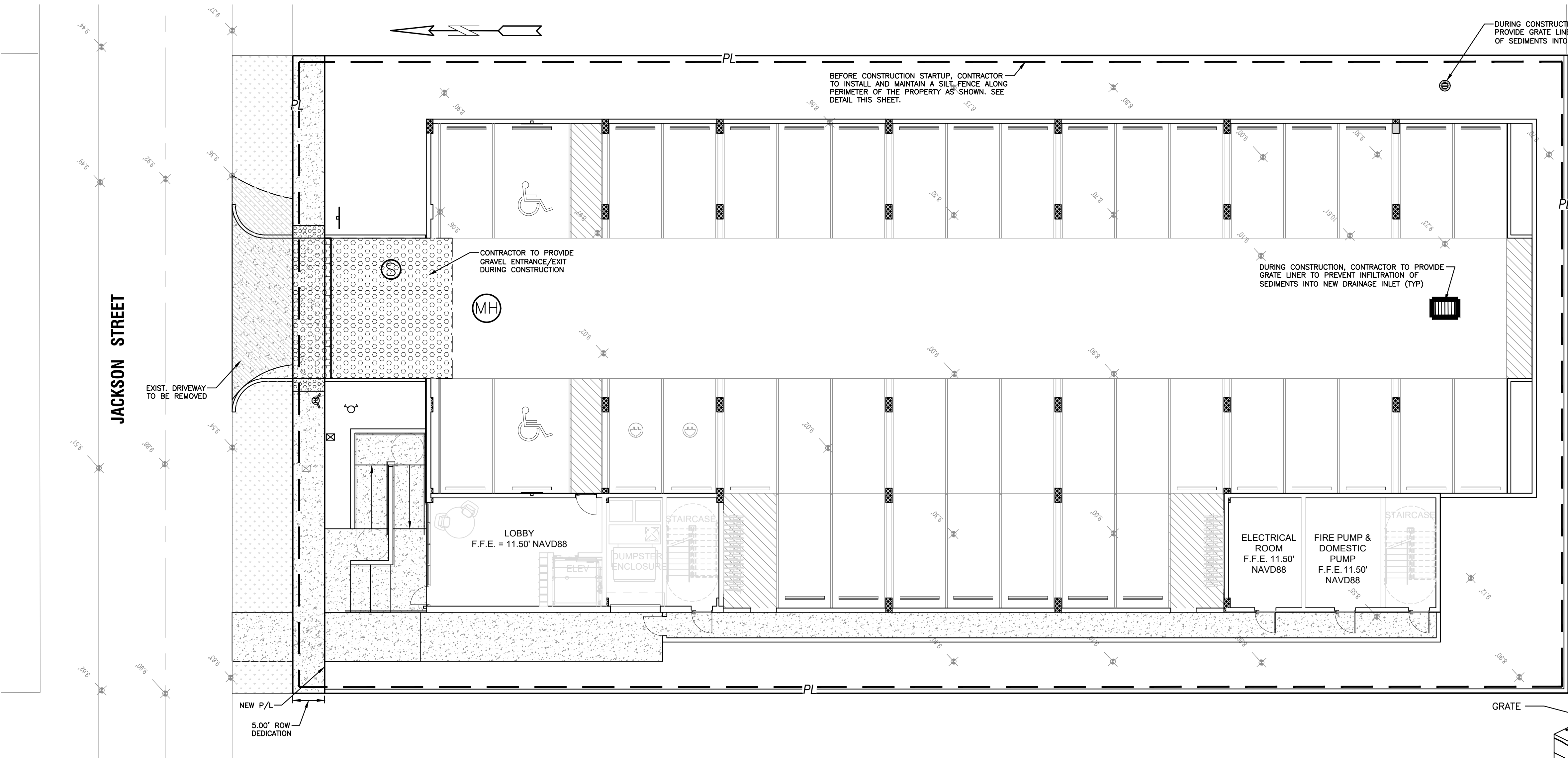
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SHEET NO.:

C1

1 OF 9

PROJECT NO.: 23-45

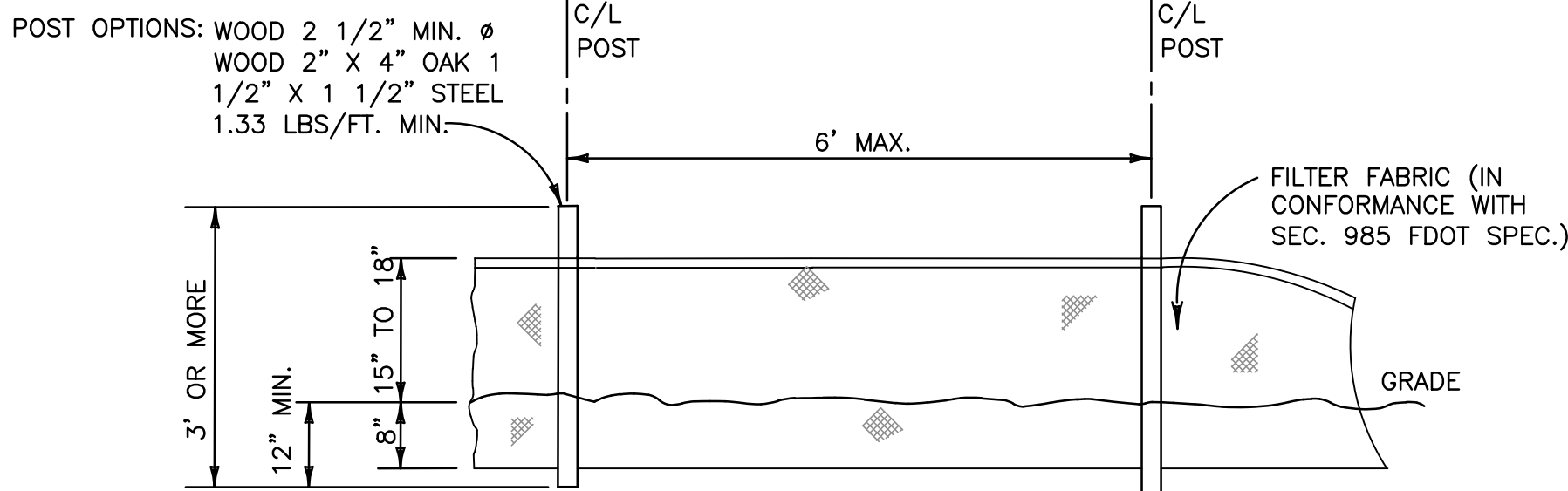


NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.



TYPE III SILT FENCE

NTS



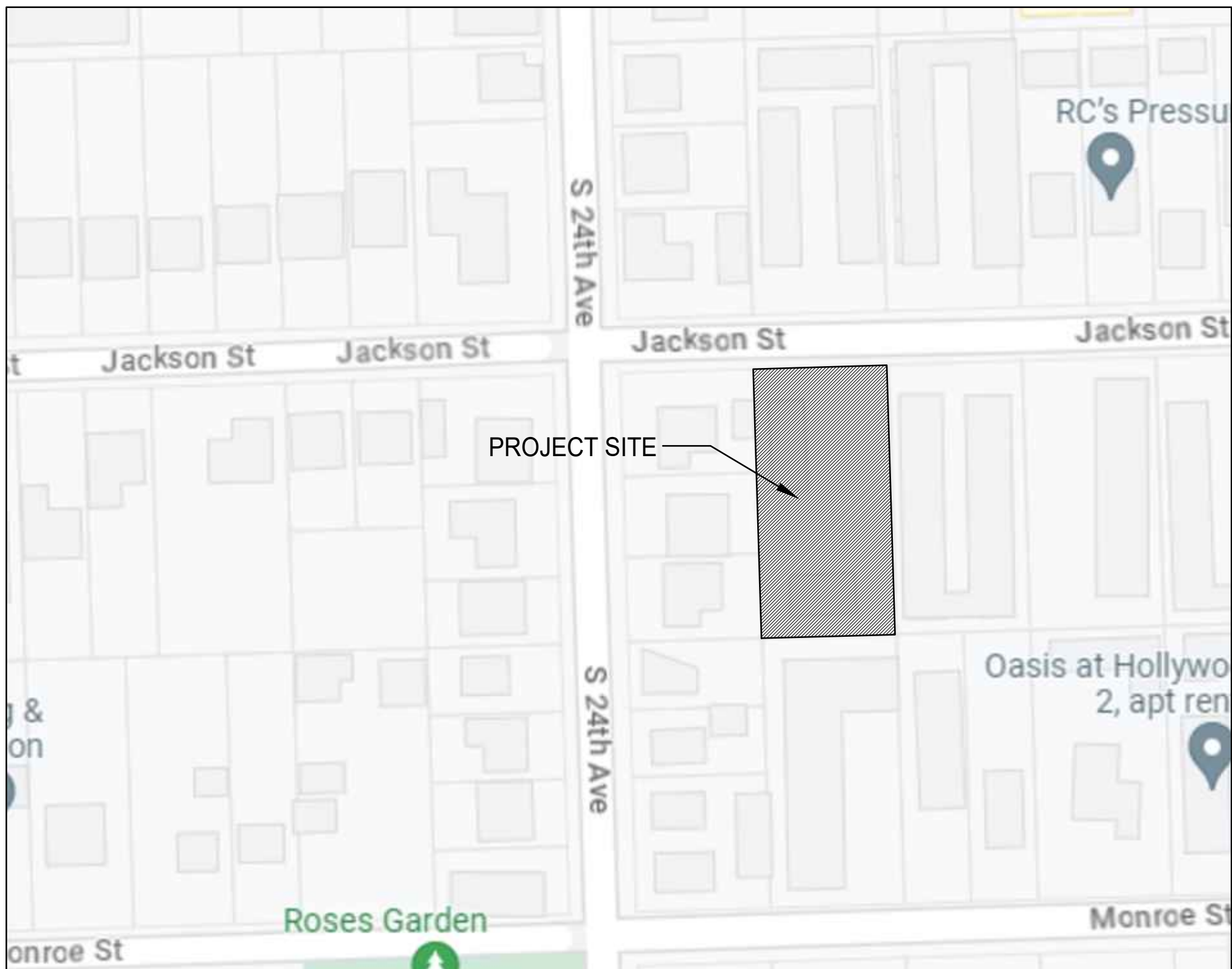
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

10-12-23

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



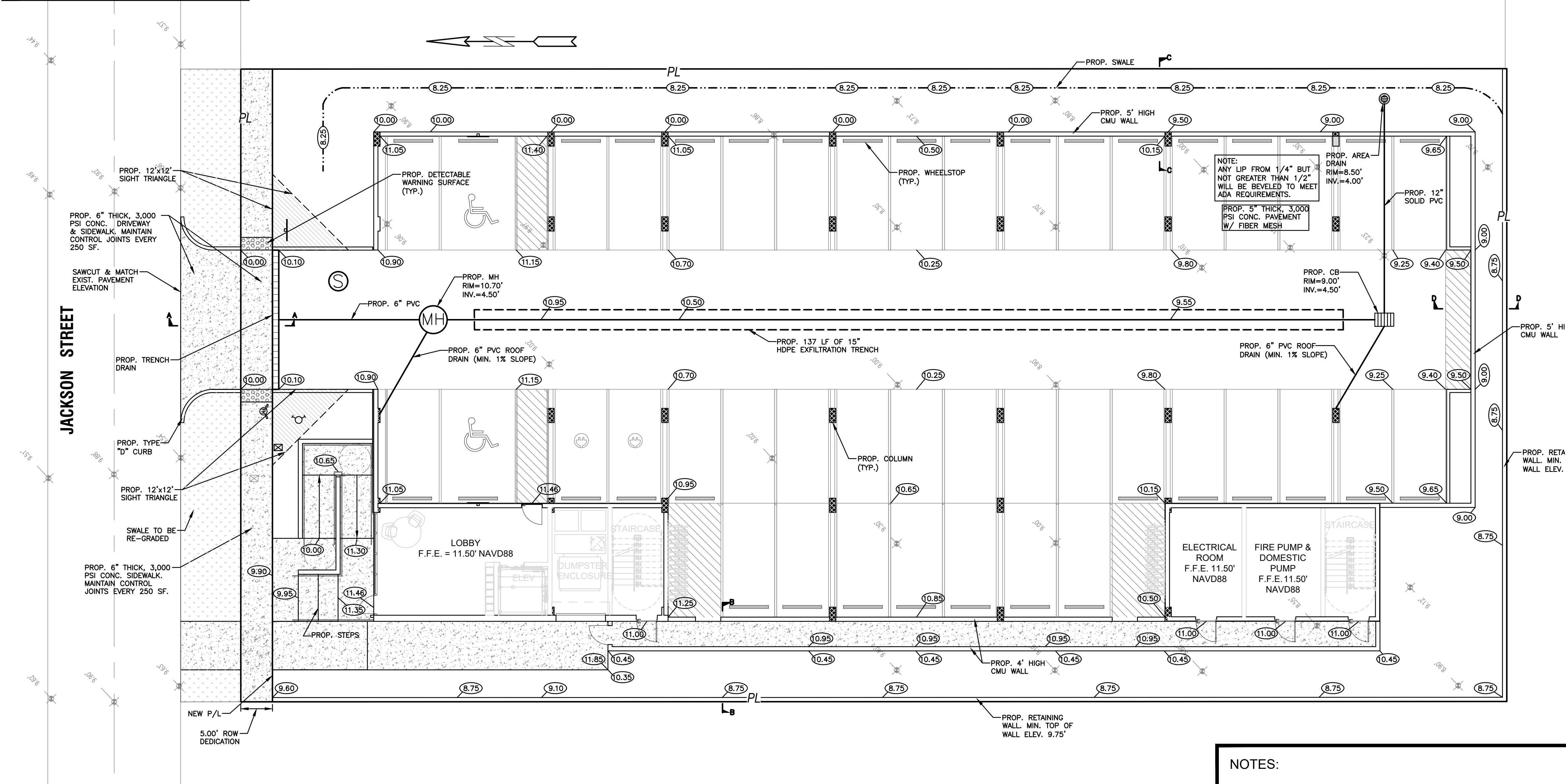
LOCATION MAP

NOT TO SCALE

EROSION & SEDIMENT CONTROL PLAN













SCALE: 1"=10'

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



WATER TABLE ELEVATION=1.5' NAVD88 (PER
BROWARD COUNTY FUTURE WATER TABLE MAP)


LEGEND

	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED WATER METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	PROPOSED BFP DEVICE
	EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT

REVISIONS	DESCRIPTION
-----------	-------------

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158



MULTI-FAMILY APARTMENTS
2328 JACKSON STREET

P.E.#:76036

DATE: 9/28/23

SCALE: 1"=10'

SHEET NO.:

C2

PROJECT NO.: 23-45

NOTES:

- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

SECTION A-A
N.T.S.

N.T.S.

SECTION B-B

N.T.S.

SECTION C-C

N.T.S.

SECTION D-D

N.T.S.



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PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10'

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

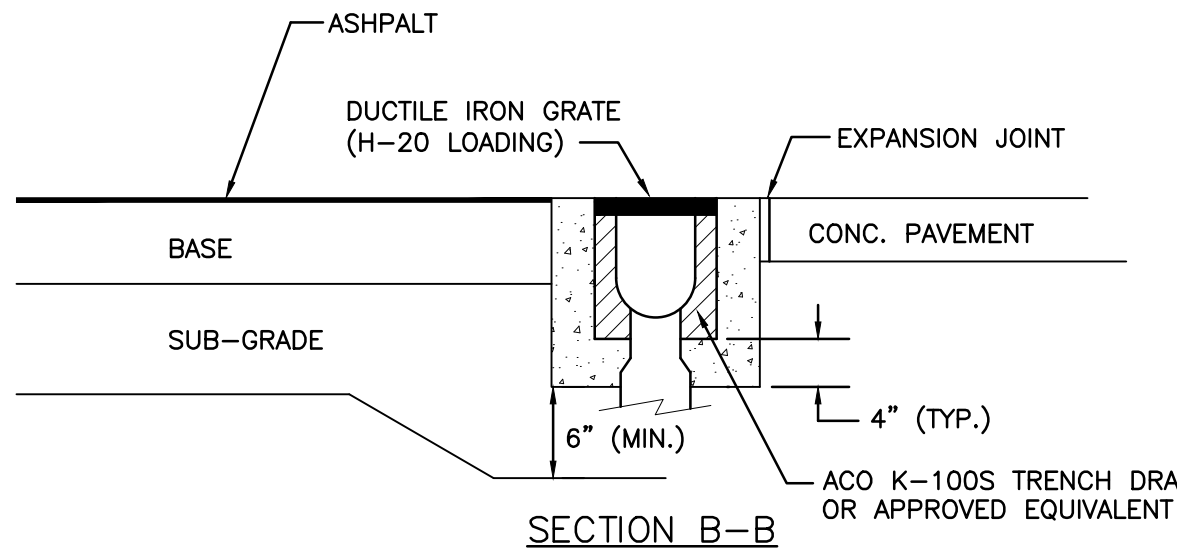
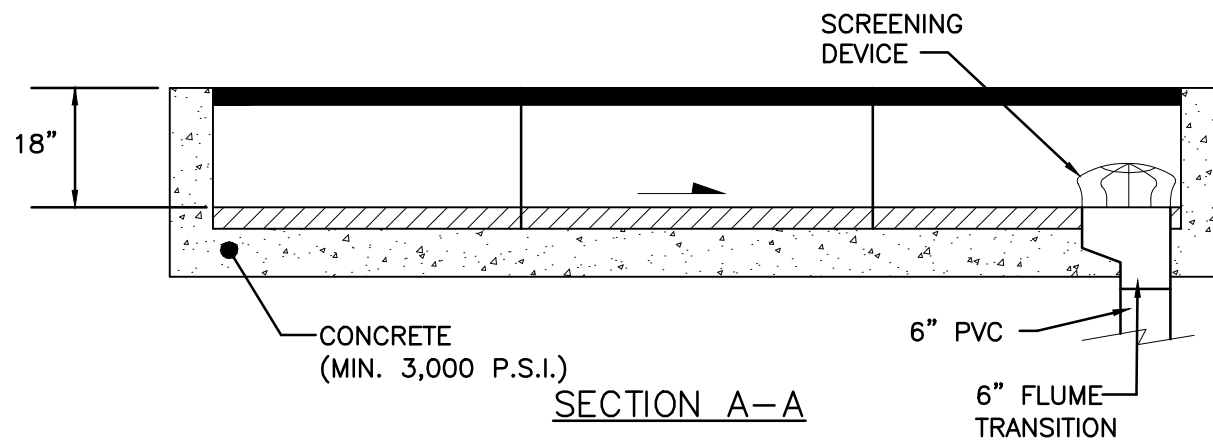
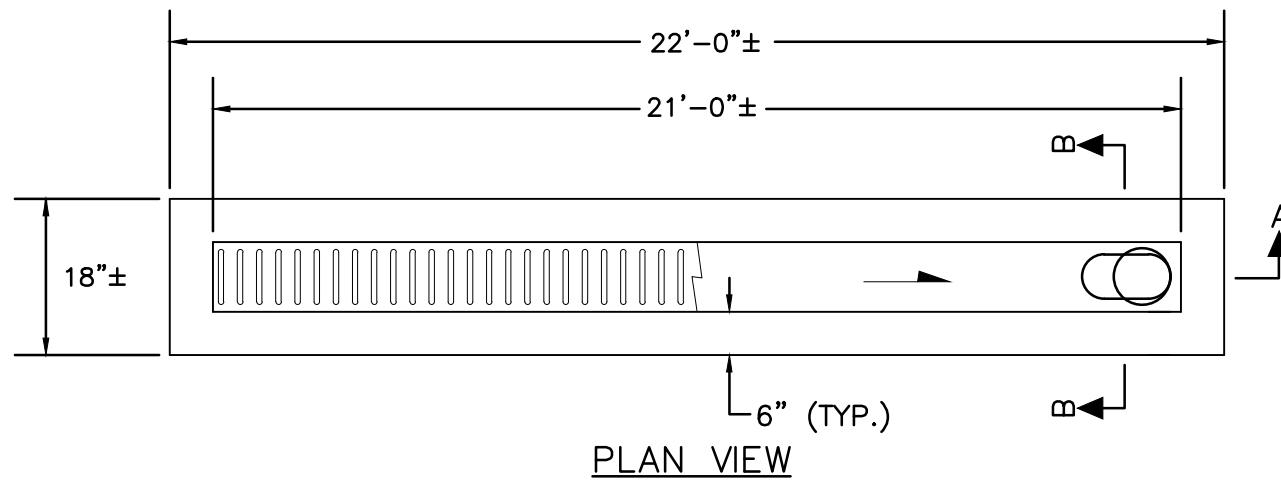
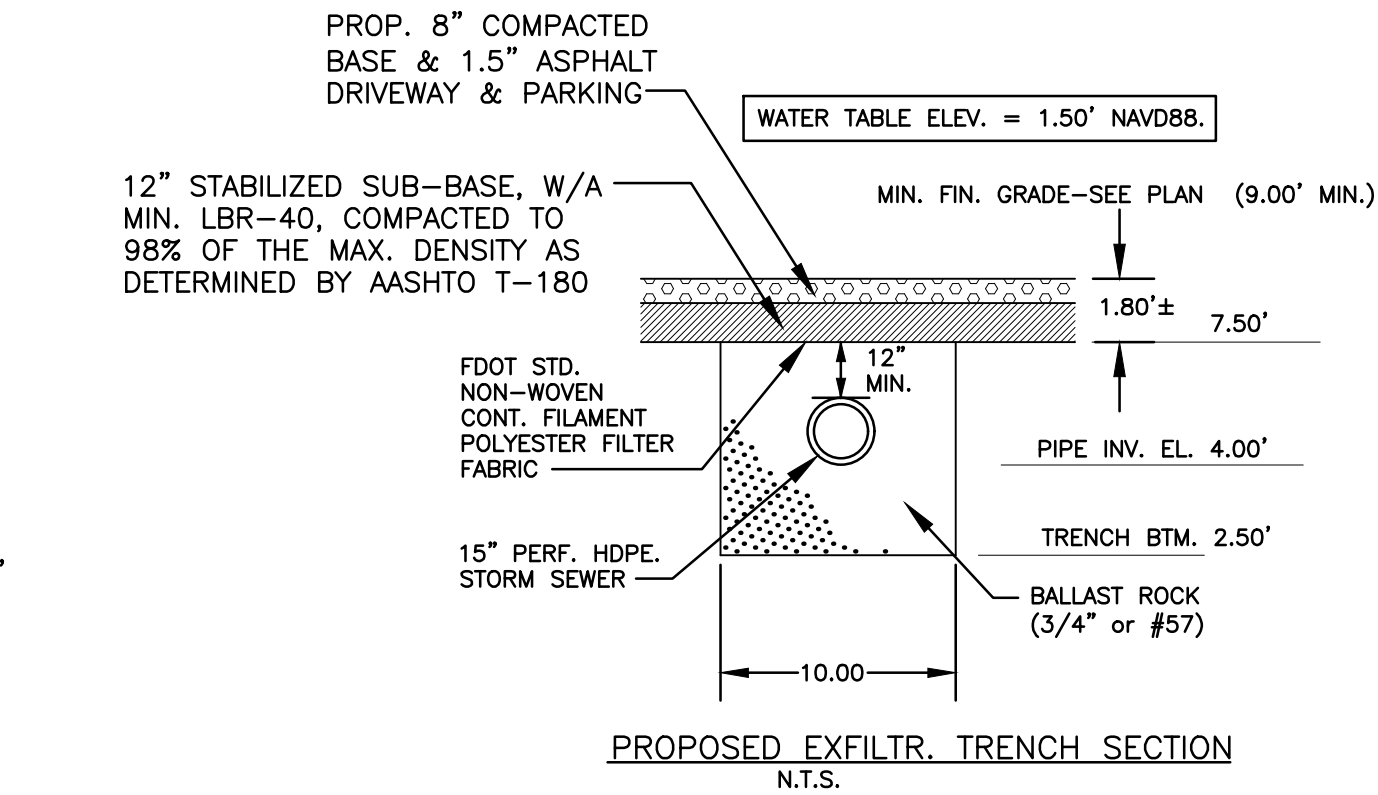
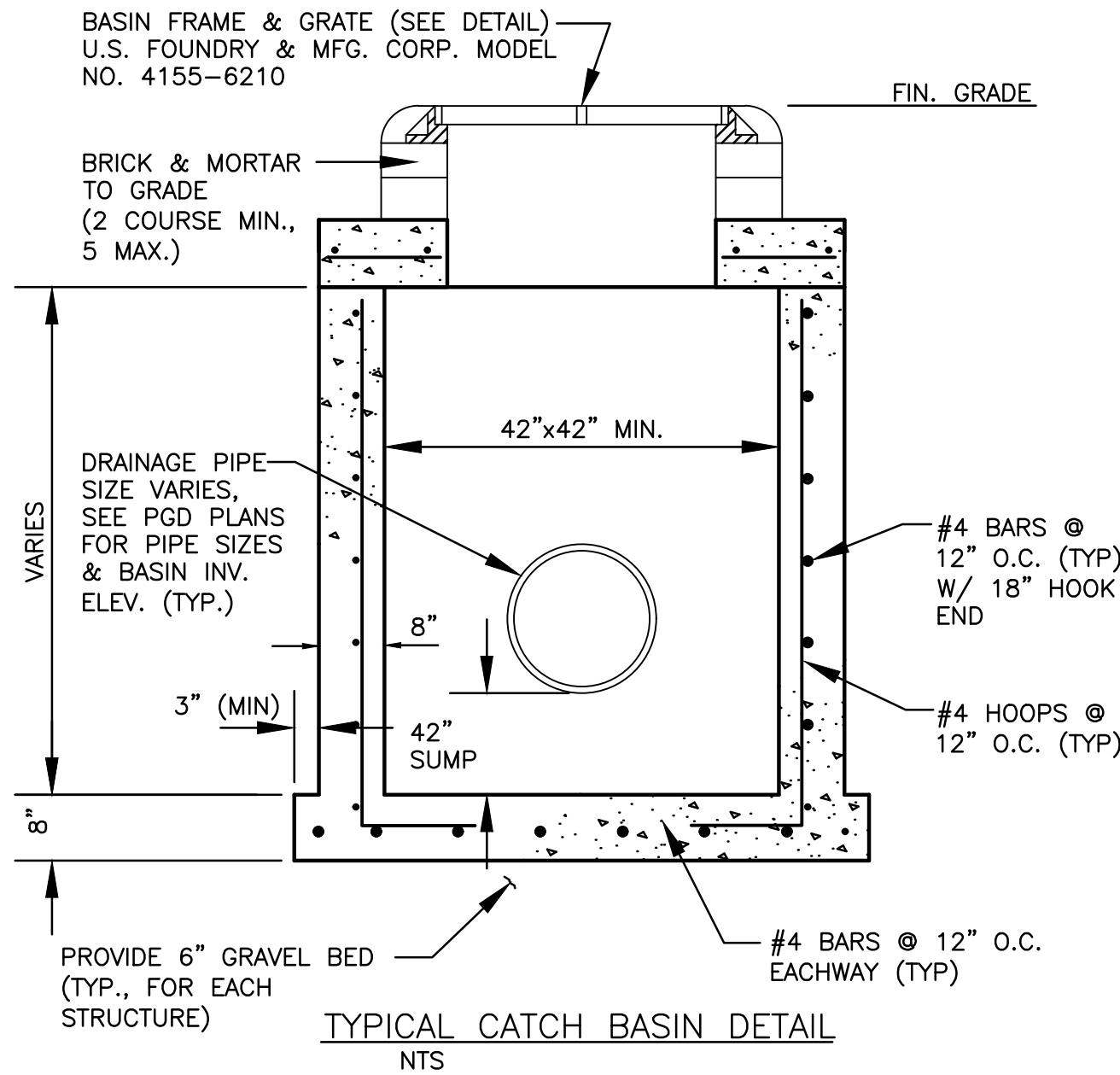
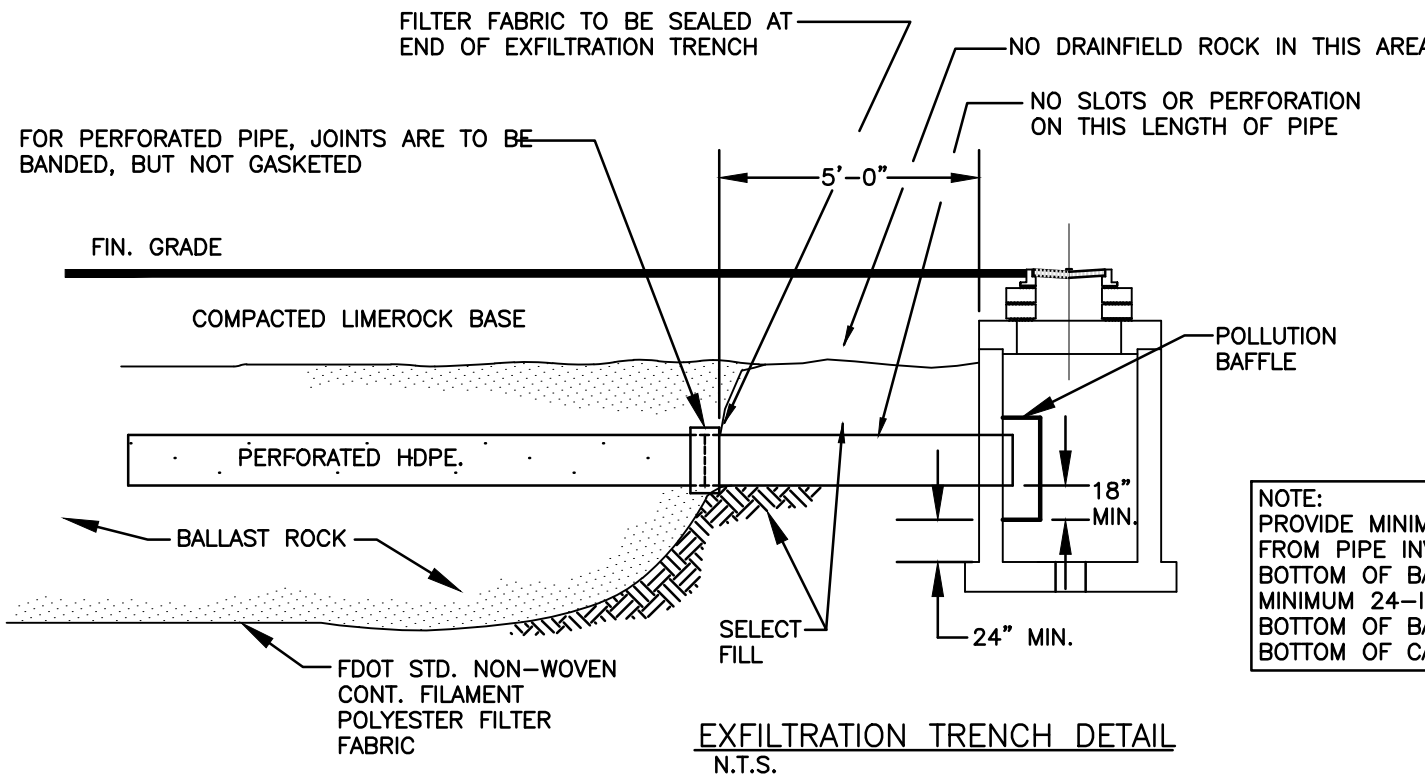
1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
POMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.
15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



- NOTES:
1. SUBGRADE SHALL BE COMPACTED TO 95% MOD. PROCTOR DENSITY (AASHTO T-180)
 2. CONNECT TRENCH DRAIN TO OUTFALL PIPE IN ACCORDANCE WITH:
ALTERNATIVE-A: FOR A TERMINAL CONNECTION USE ONE (1) 90° ELBOW.
ALTERNATIVE-B: FOR AN IN-LINE CONNECTION USE ONE (1) 45° ELBOW AND ONE (1) WYE.

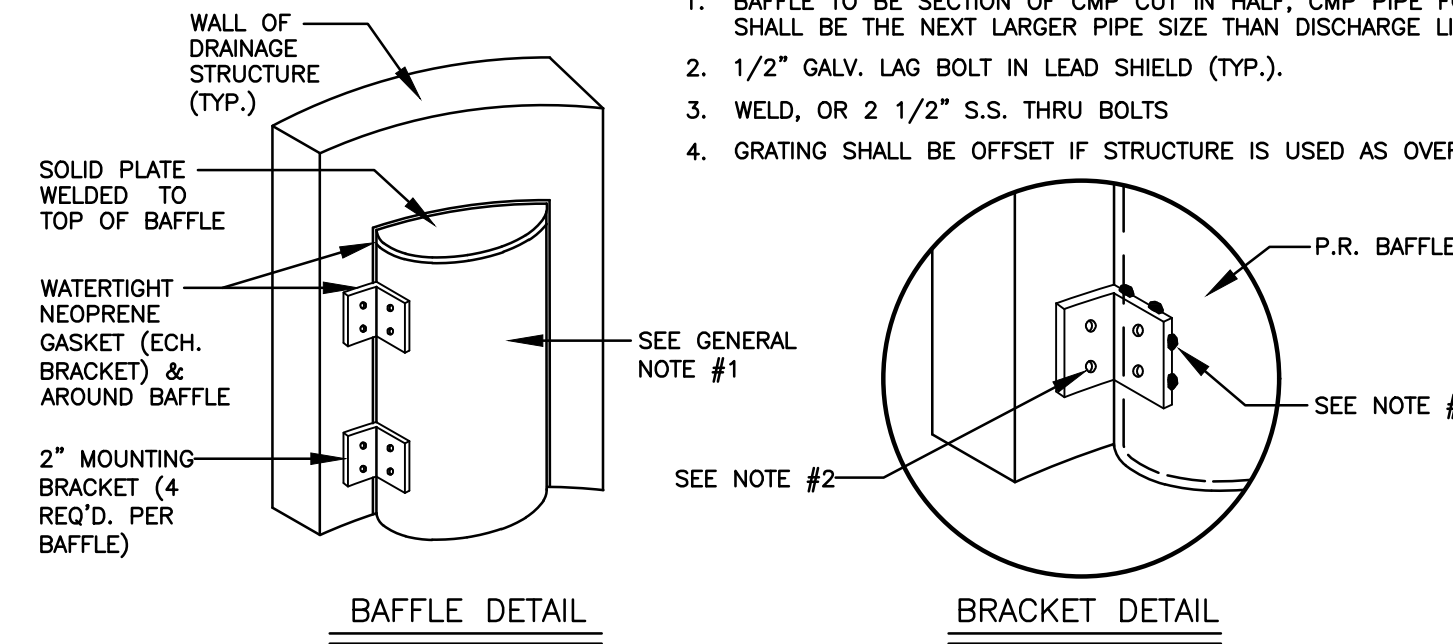
TRENCH DRAIN DETAIL
NTS

CIVIL DETAILS I

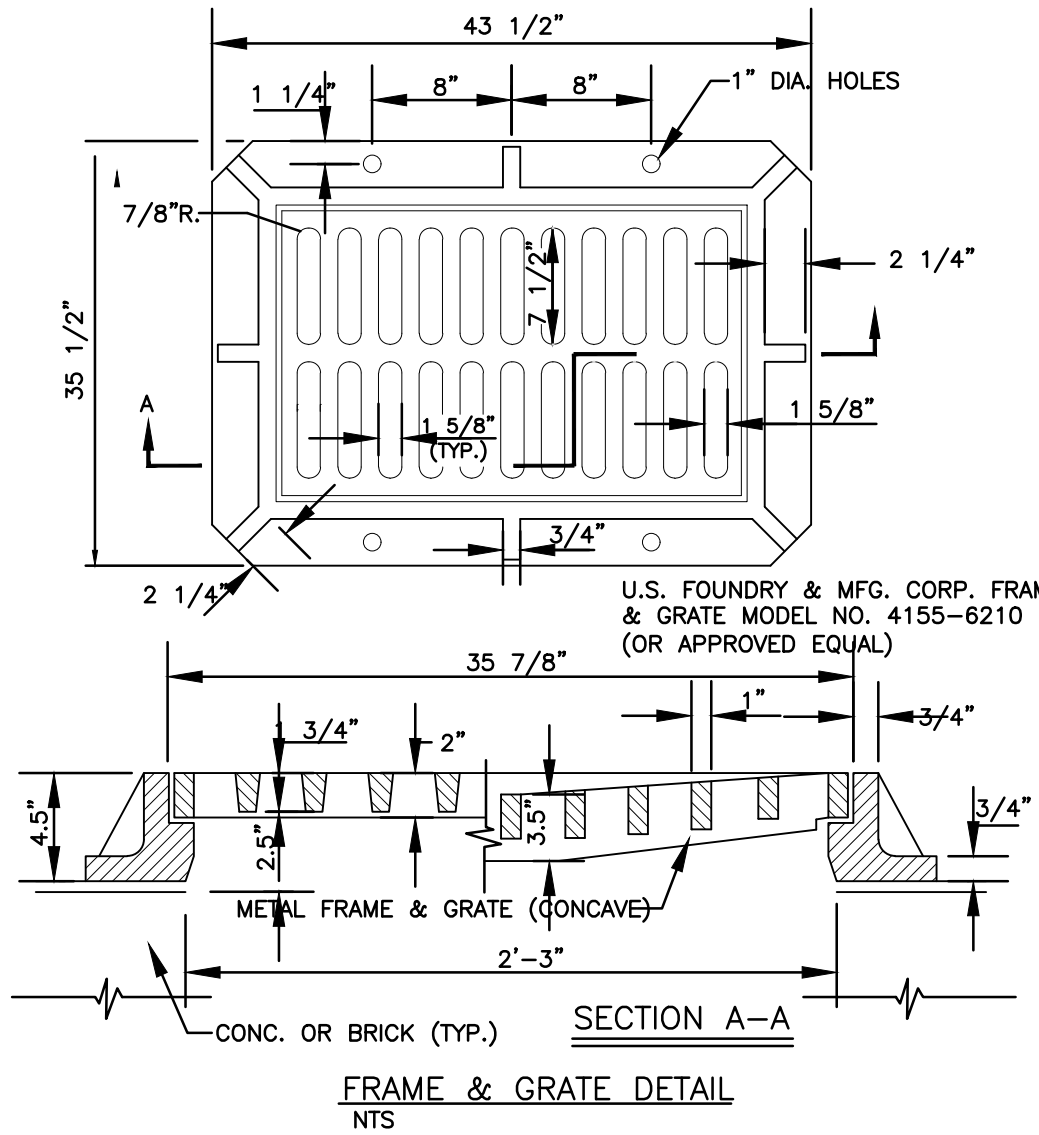
SCALE: N.T.S.

GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



POLLUTION RETARDANT BAFFLE DETAIL
NTS



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REVISIONS	
NO.	DESCRIPTION

ZEPHYR ENGINEERING

ZE

MULTI-FAMILY APARTMENTS

2328 JACKSON STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 9/28/23

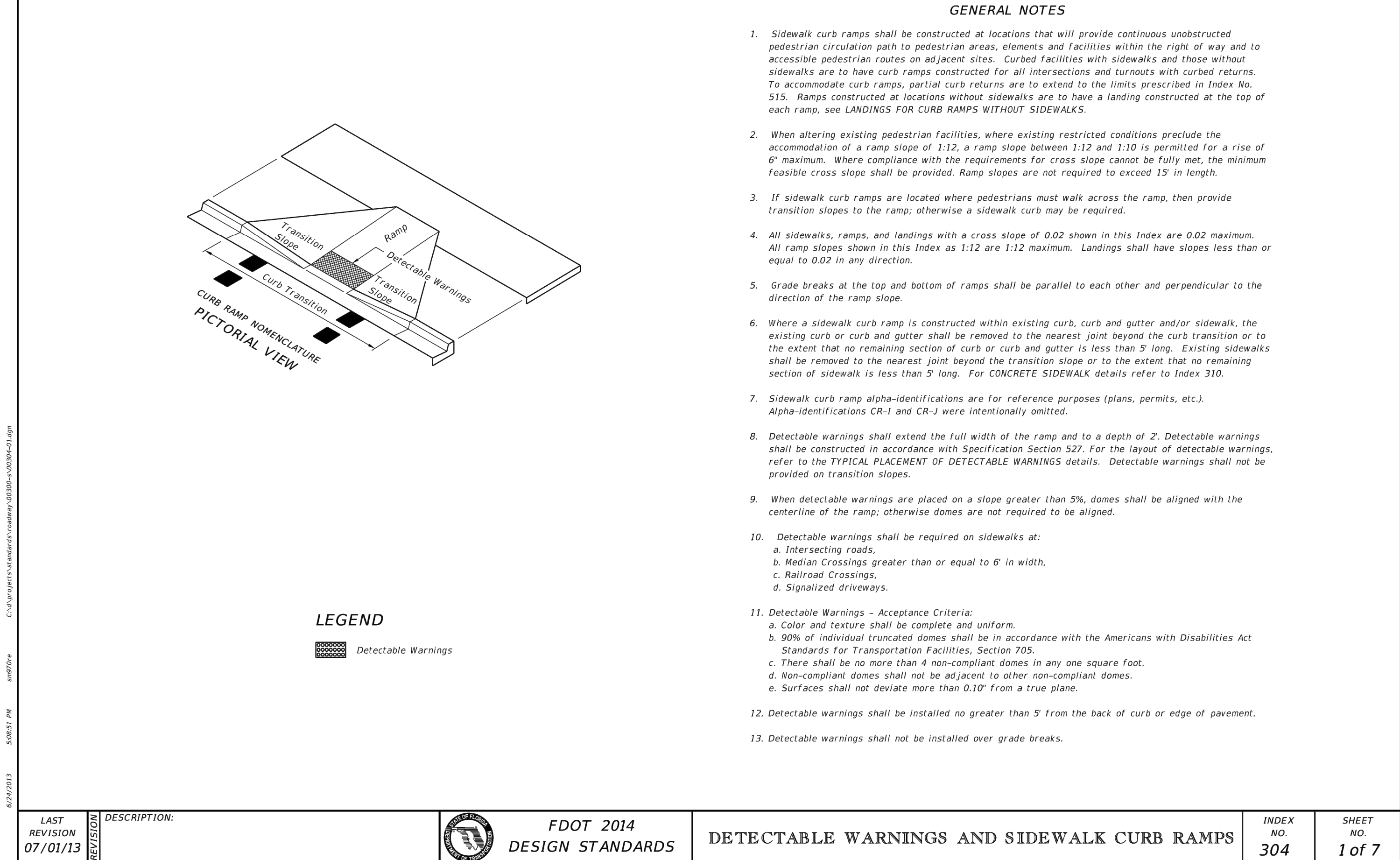
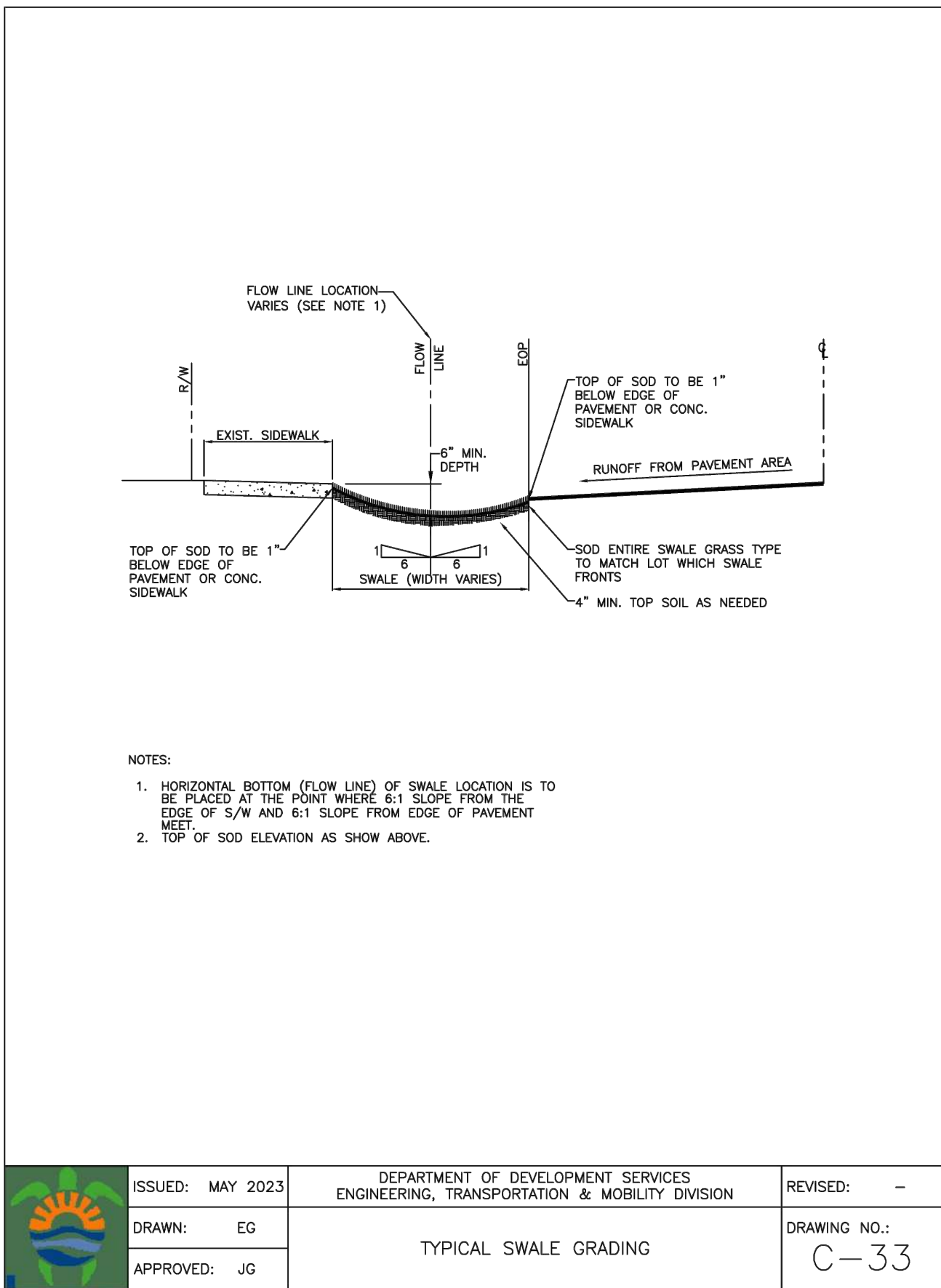
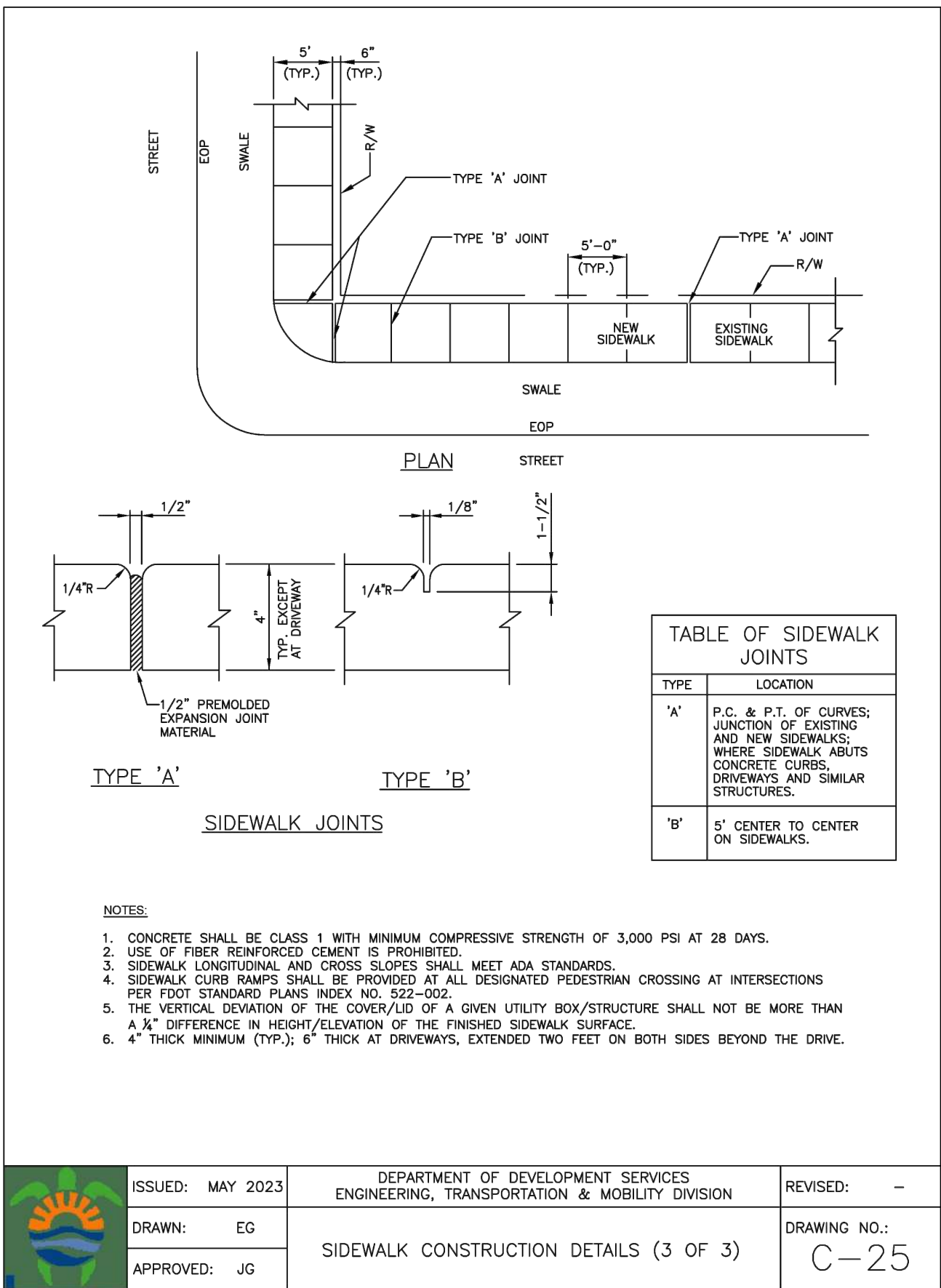
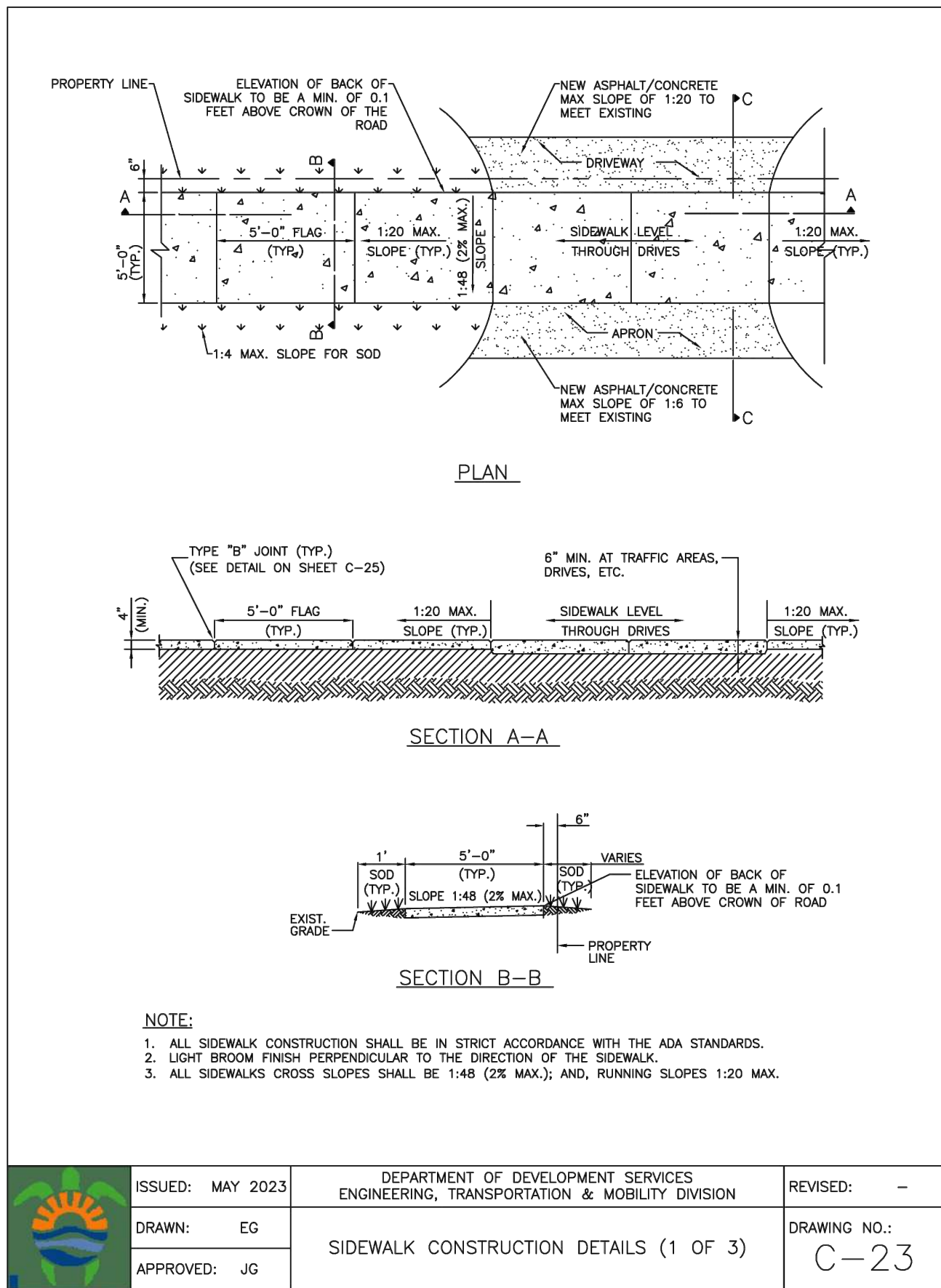
SCALE: N.T.S.

SHEET NO.:

C3

3 OF 9

PROJECT NO.: 23-45



CIVIL DETAILS II

SCALE: N.T.S.

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REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

ZE

MULTI-FAMILY APARTMENTS

2328 JACKSON STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 9/28/23

SCALE: N.T.S.

SHEET NO.: C4

4 OF 9

PROJECT NO.: 23-45

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA# 31158

ZE

MULTI-FAMILY APARTMENTS
2328 JACKSON STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 9/28/23

SCALE: 1"=10'

SHEET NO.:

C5

5 OF 9

PROJECT NO.: 23-45

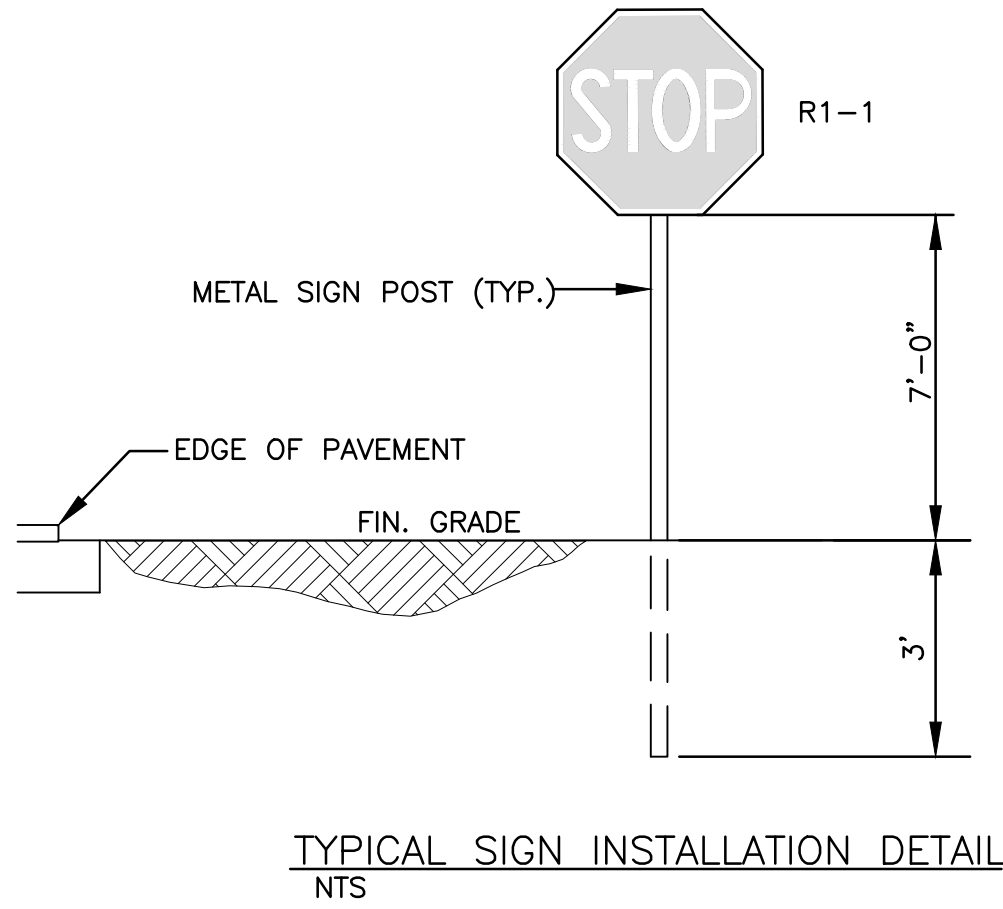
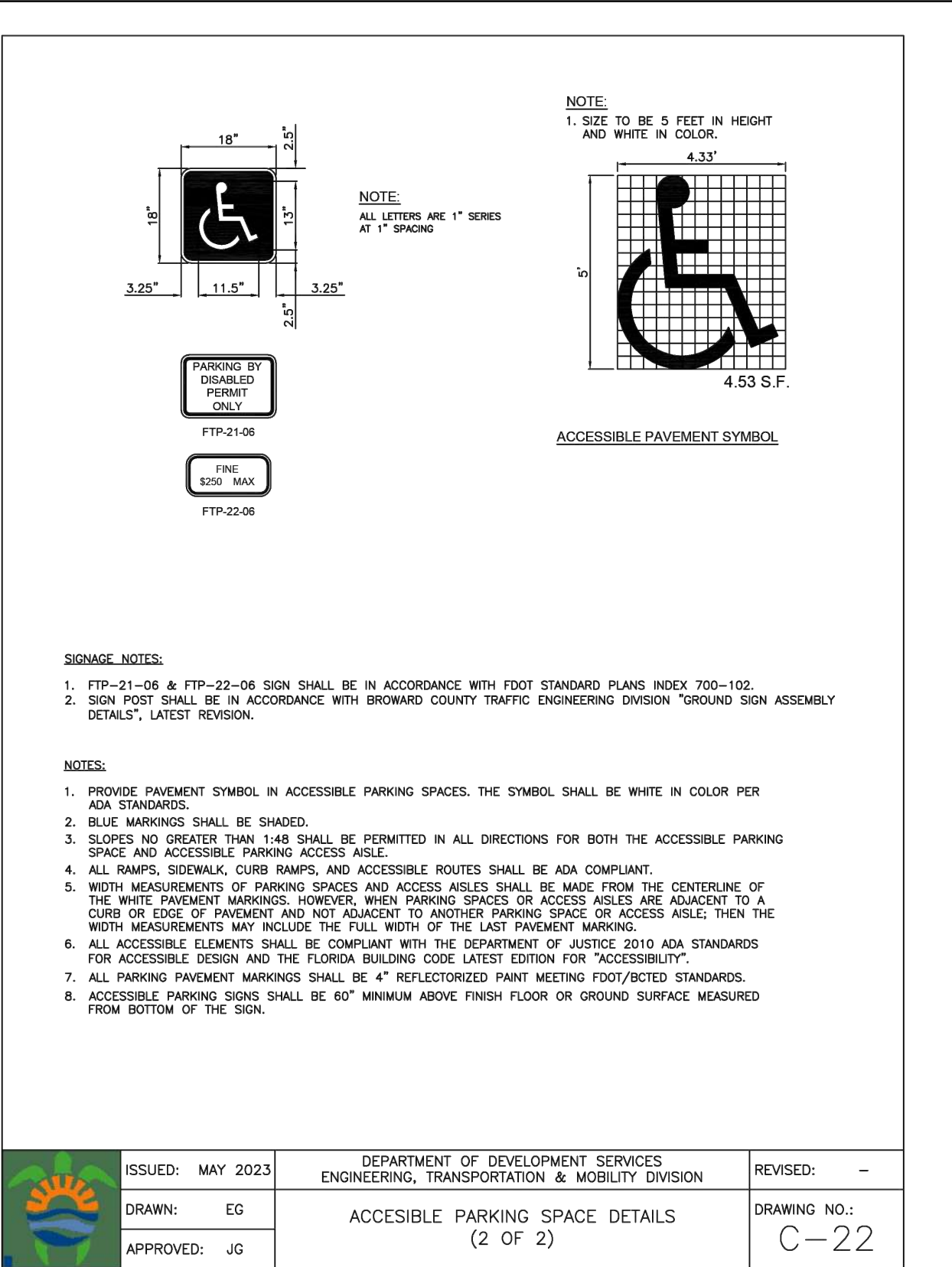
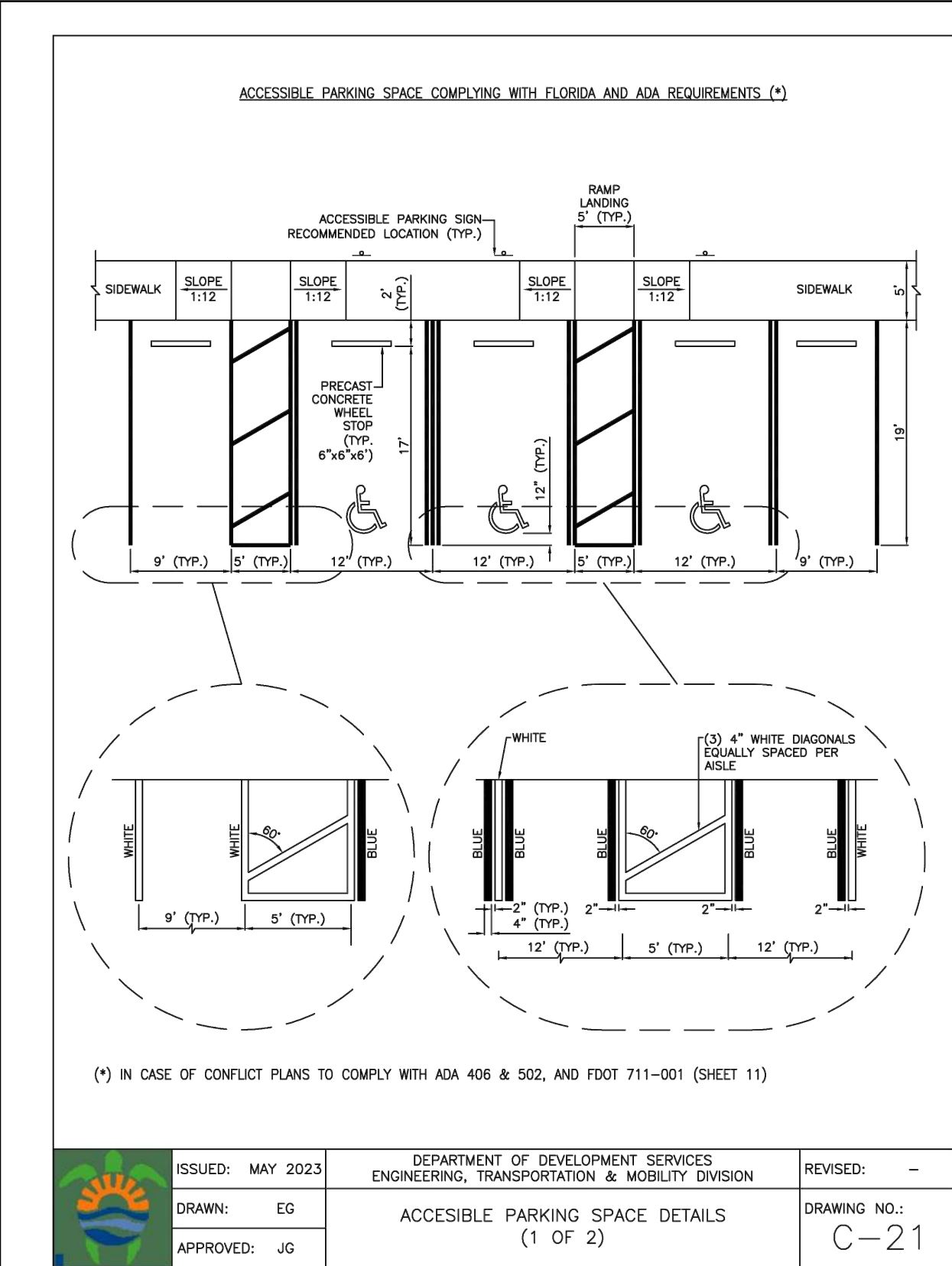
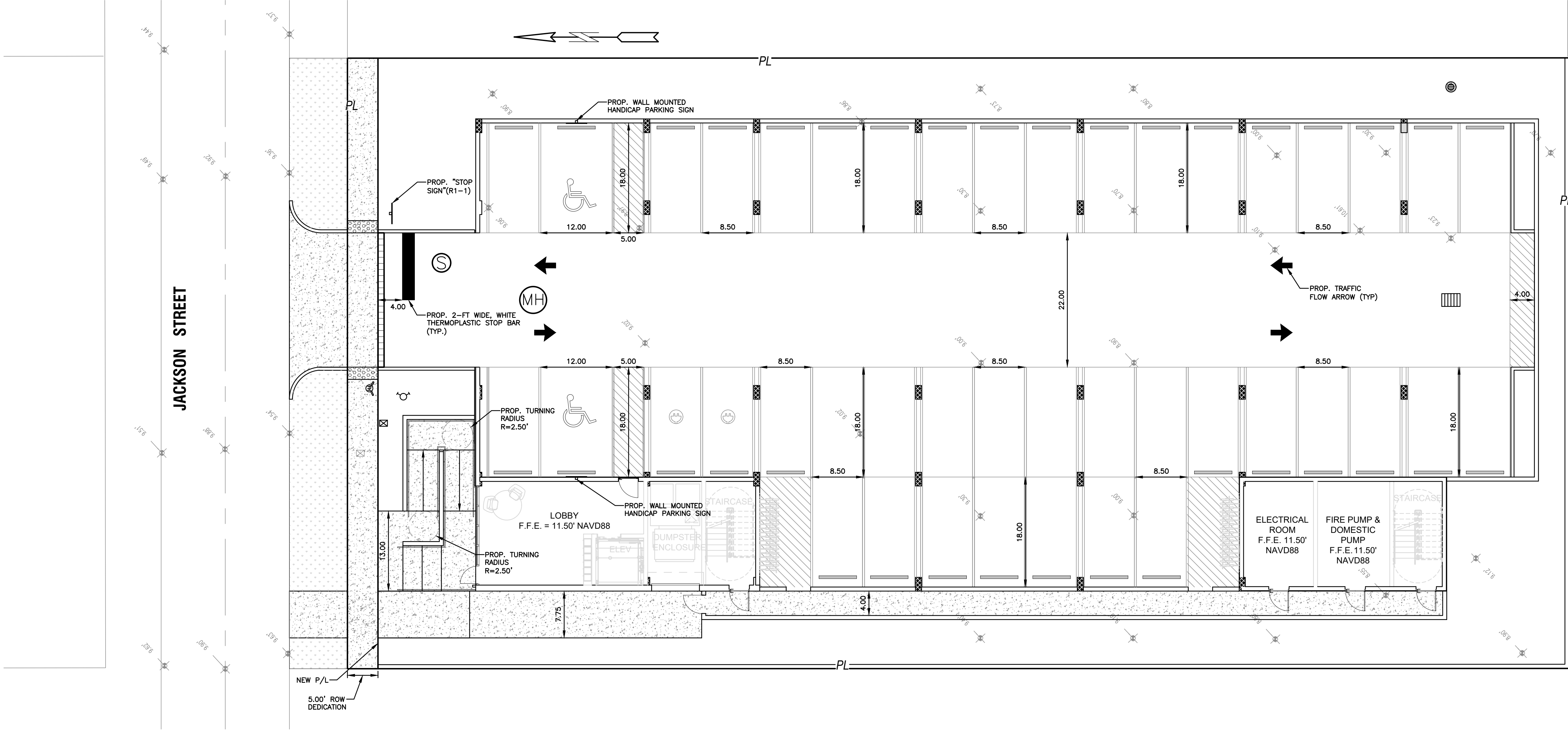


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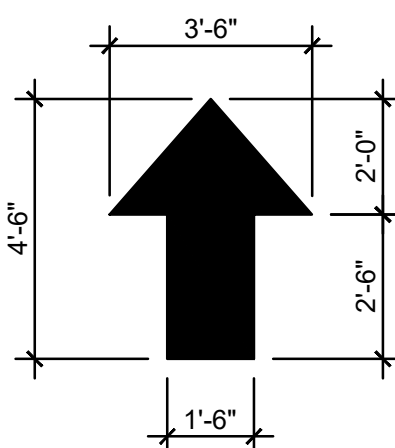
PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'



TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

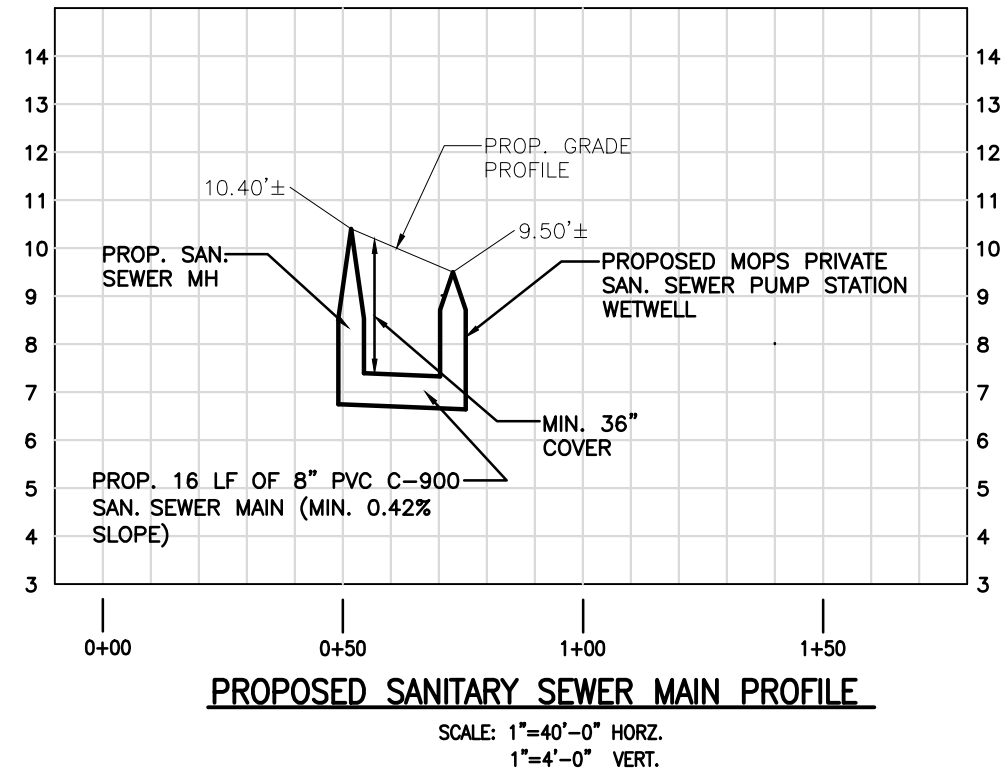
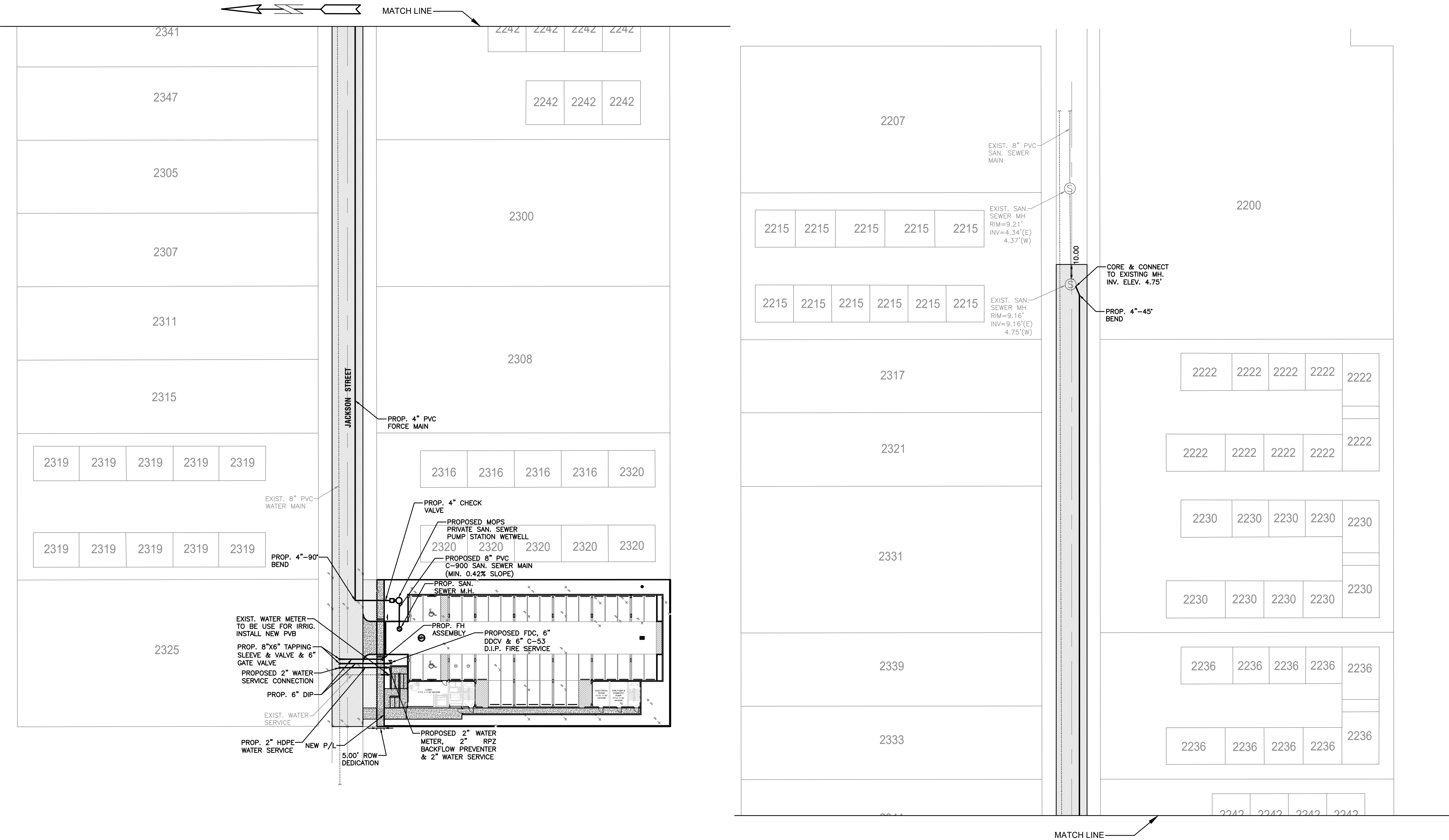
PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.



TRAFFIC CONTROL ARROWS DETAILS

NTS

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

NOTE:
ALL SURFACES TO BE RESTORED
TO EQUAL OR BETTER CONDITION.

MIN. PIPE COVER NOTE:
30" MINIMUM COVER FOR DIP WATER & SEWER MAINS.
36" MINIMUM COVER FOR PVC WATER & SEWER MAINS

NOTE:
FULL ROAD WIDTH PAVEMENT MILL AND
RESURFACING WILL BE REQUIRED FOR
ALL STREETS/ROADWAY ADJACENT TO
THE PROJECT SITE

WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:
• 33 RESIDENTIAL UNITS
WATER DEMAND
(33 RESIDENTIAL UNITS)X(141 GPD/UNIT)=4,653 GPD
WASTEWATER DEMAND
(33 RESIDENTIAL UNITS)X(100 GPD/UNIT)=3,300 GPD
(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)

FIRE DEPT. NOTES:

1. UNDERGROUND FIRE MAIN WORK WILL BE
COMPLETED BY A CONTRACTOR HOLDING A CLASS I,II,
OR V LICENSE AS DEFINED BY FLORIDA STATUTE
633.102.
2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE
IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE
MATERIALS PER NFPA 1 (2018 Ed.) SECTION 16.4.3.1.1.



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WATER & SEWER PLAN & DETAILS

SCALE: 1"=10'

REVISIONS		DESCRIPTION	
NO.	DATE		

ZEPHYR ENGINEERING

ZE

MULTI-FAMILY APARTMENTS
2328 JACKSON STREET
HOLLYWOOD, FL 33020

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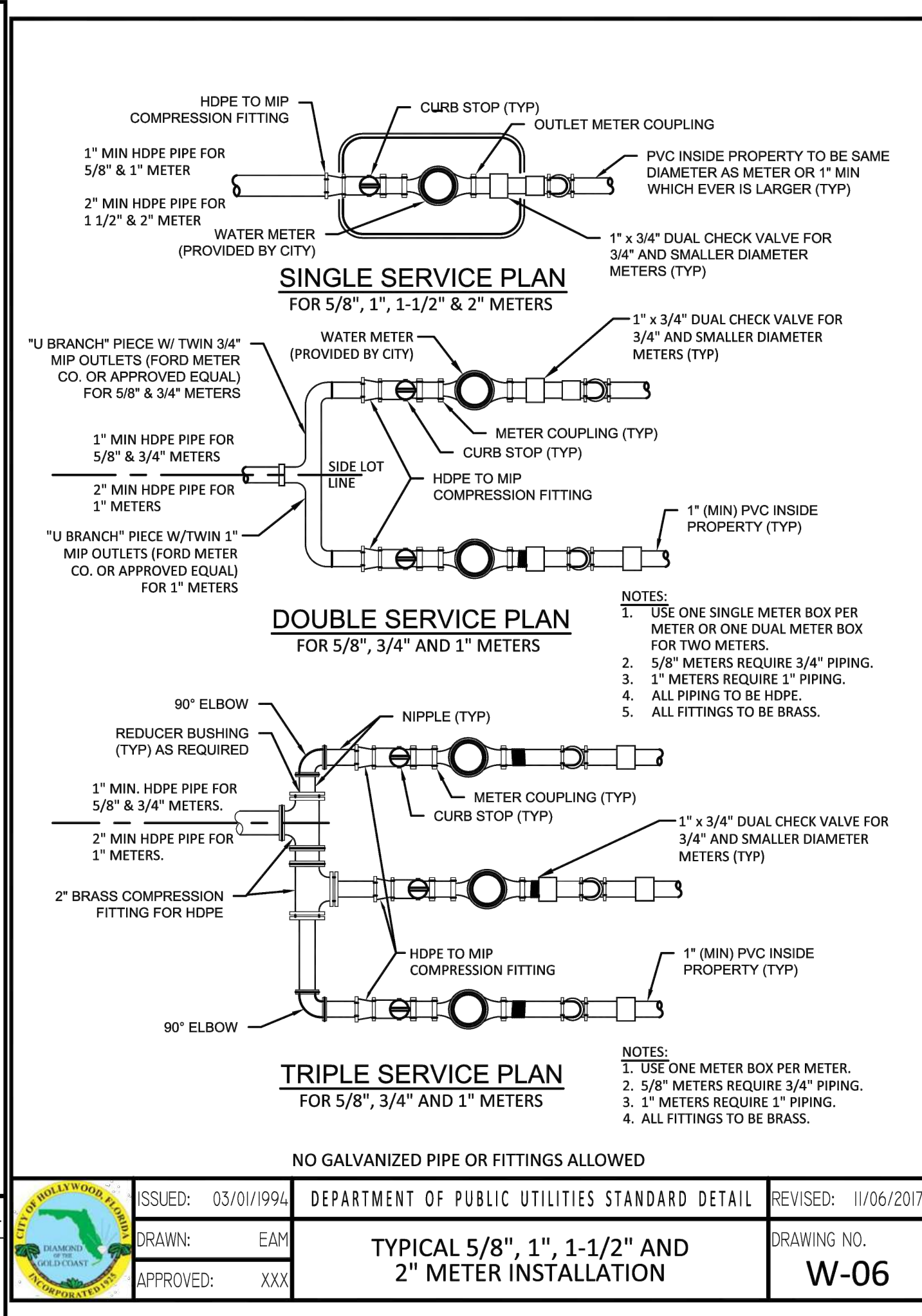
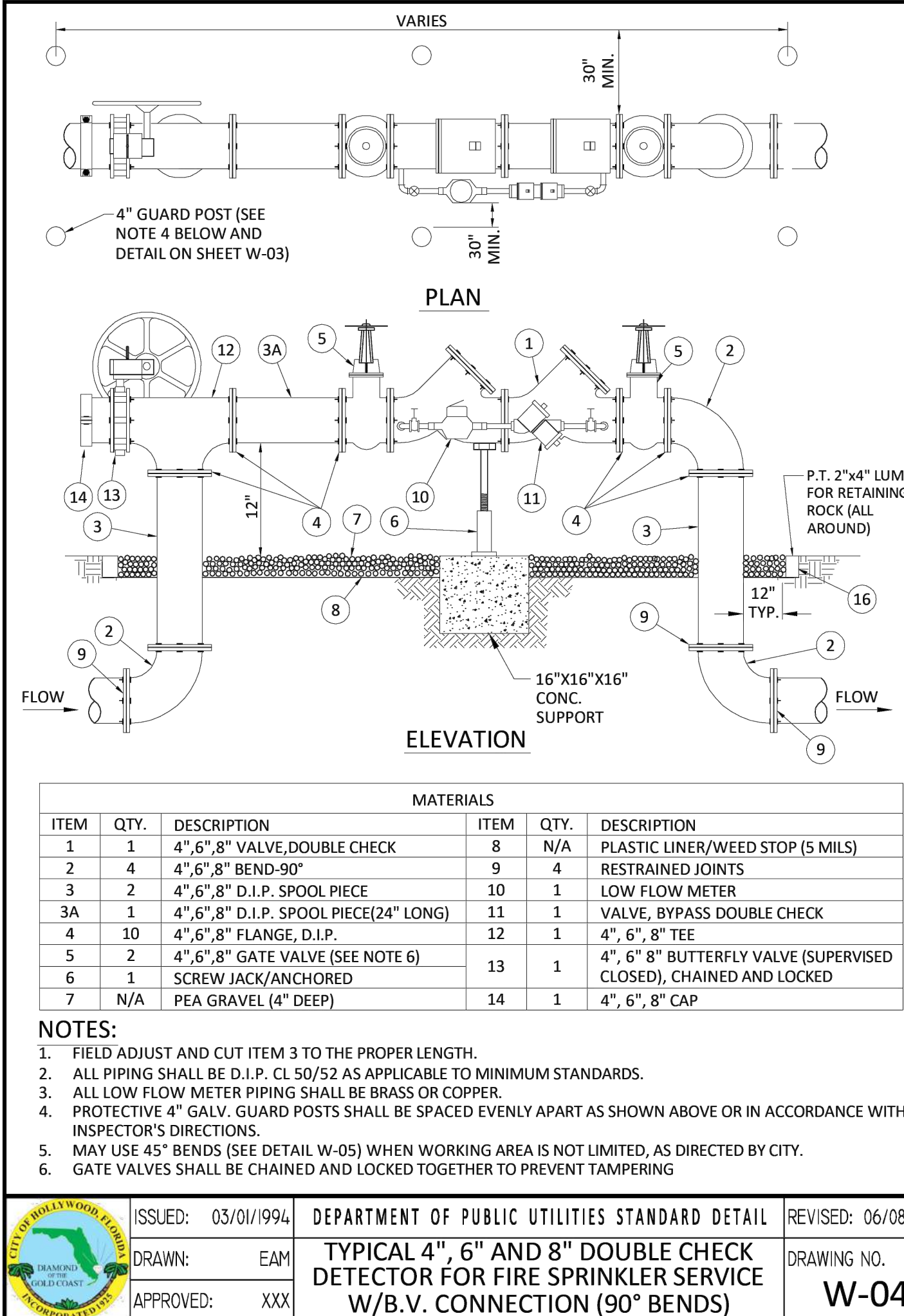
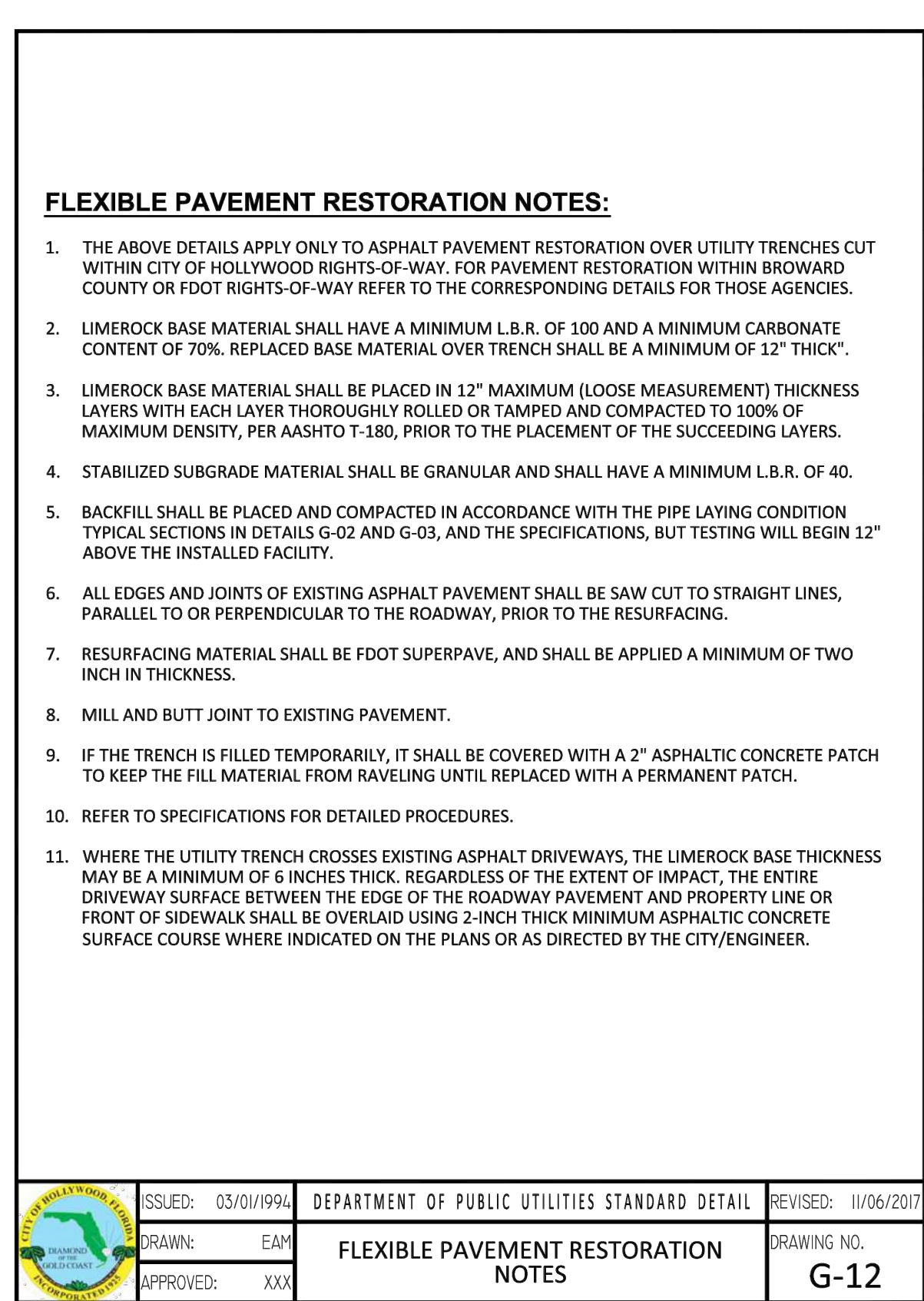
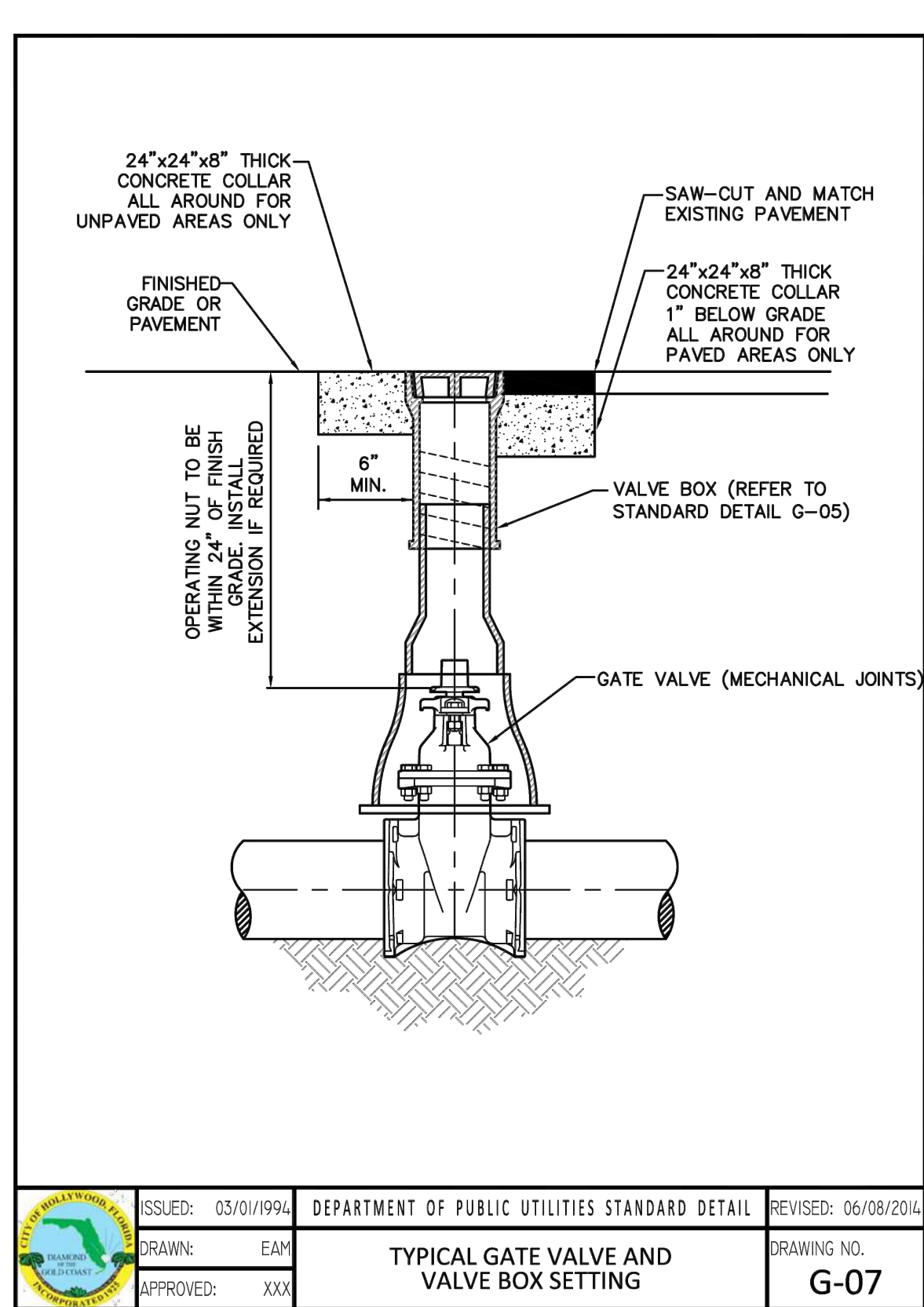
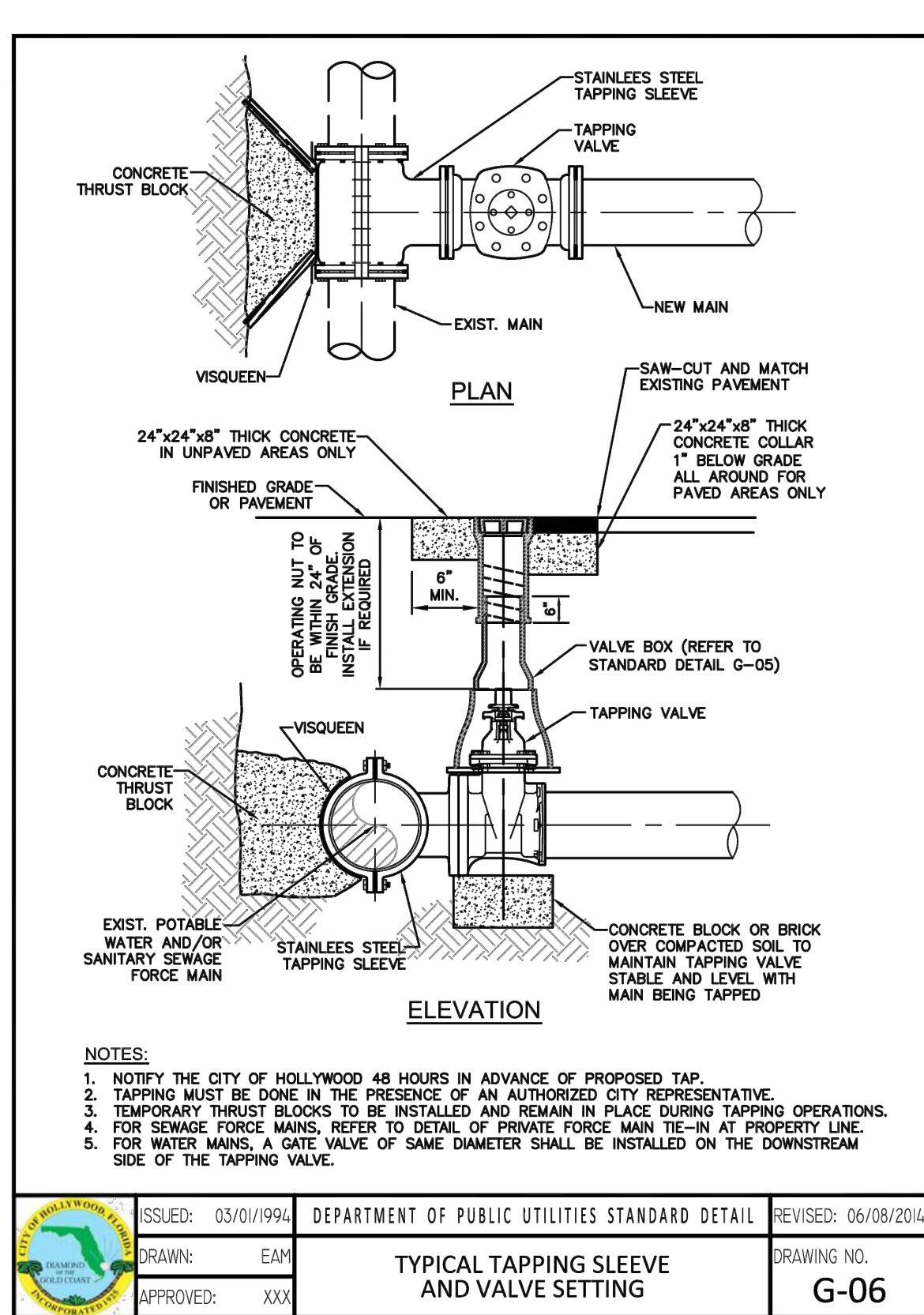
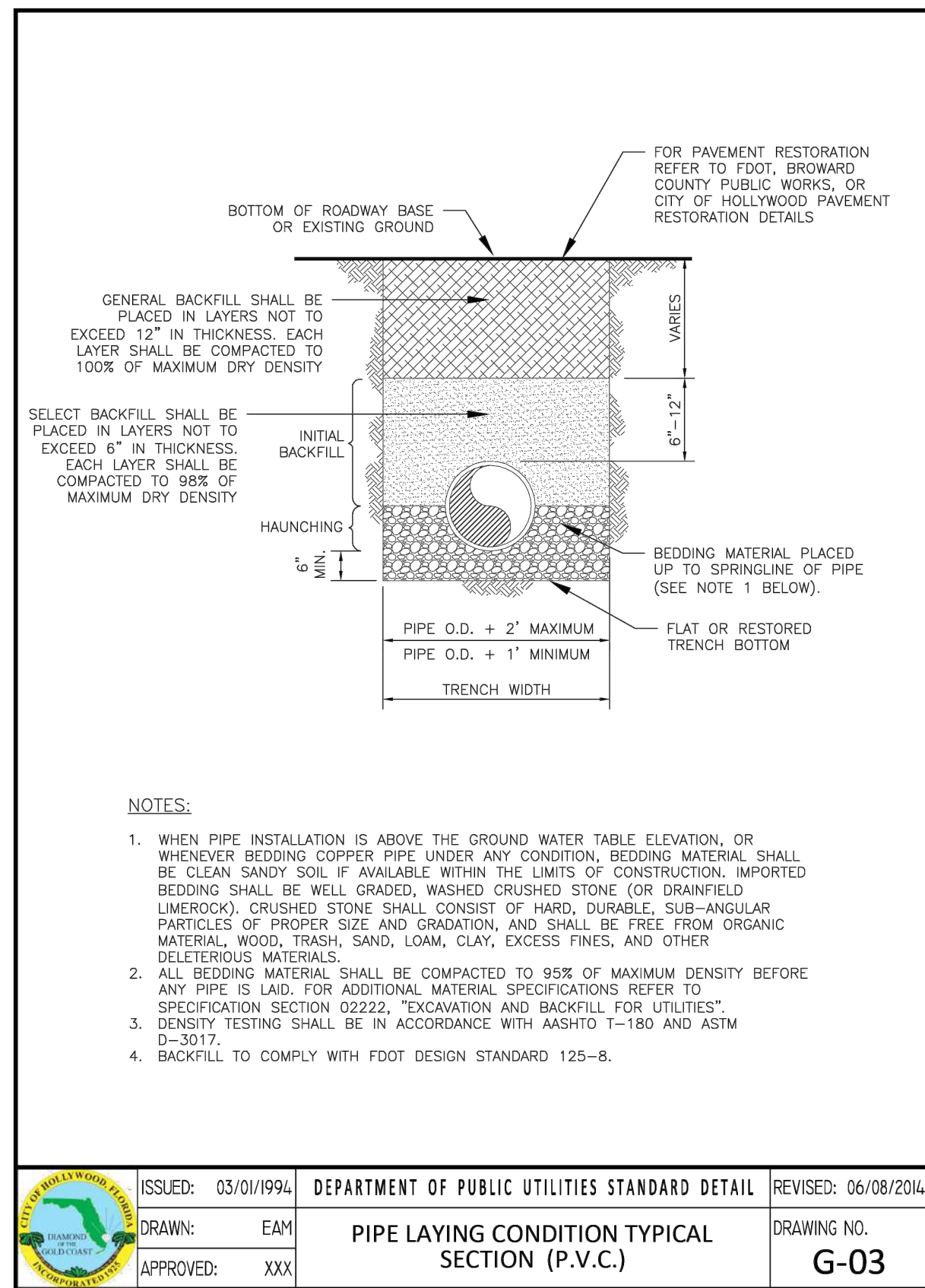
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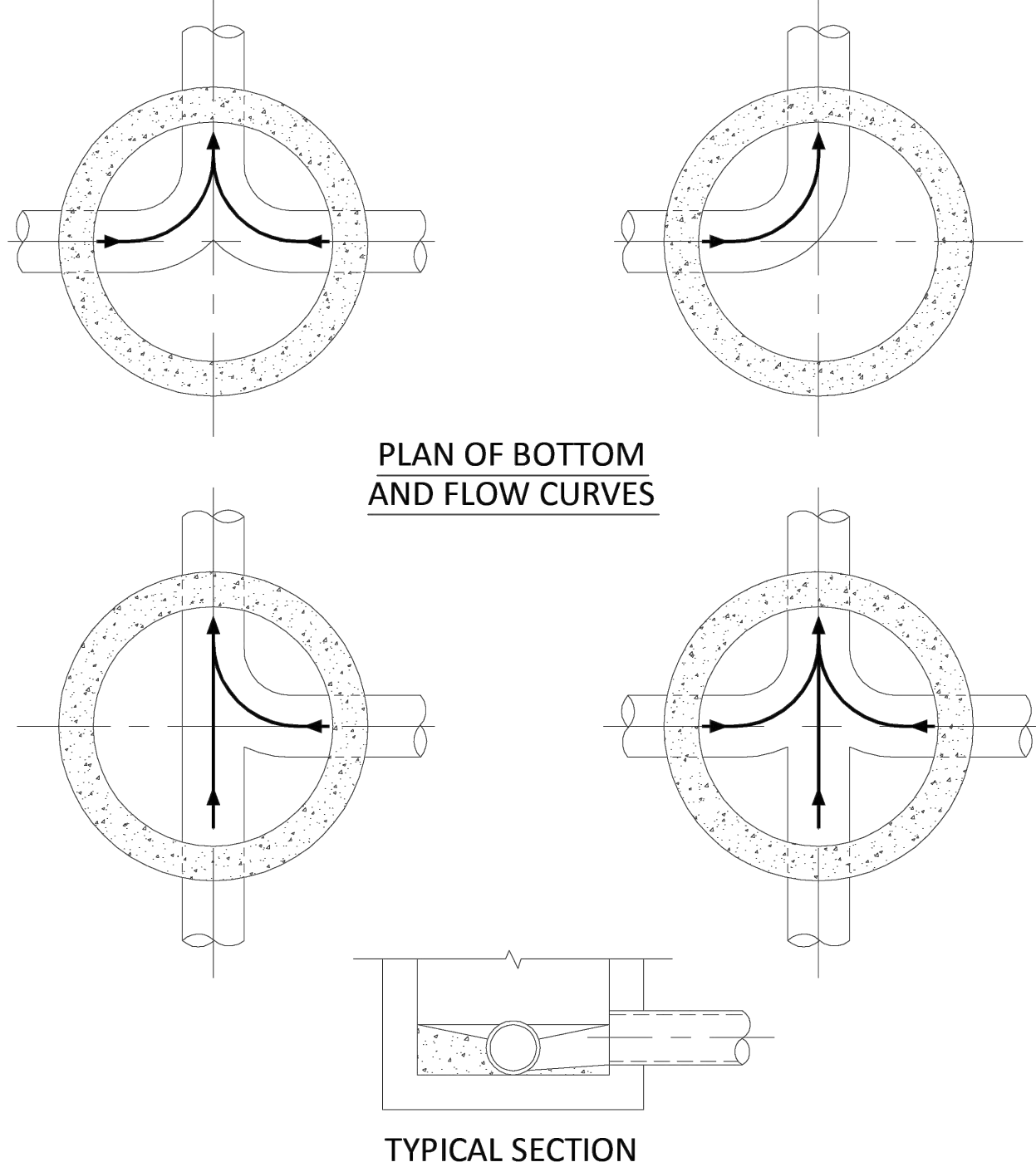
SHEET NO.:

C6

6 OF 9


PROJECT NO.: 23-45

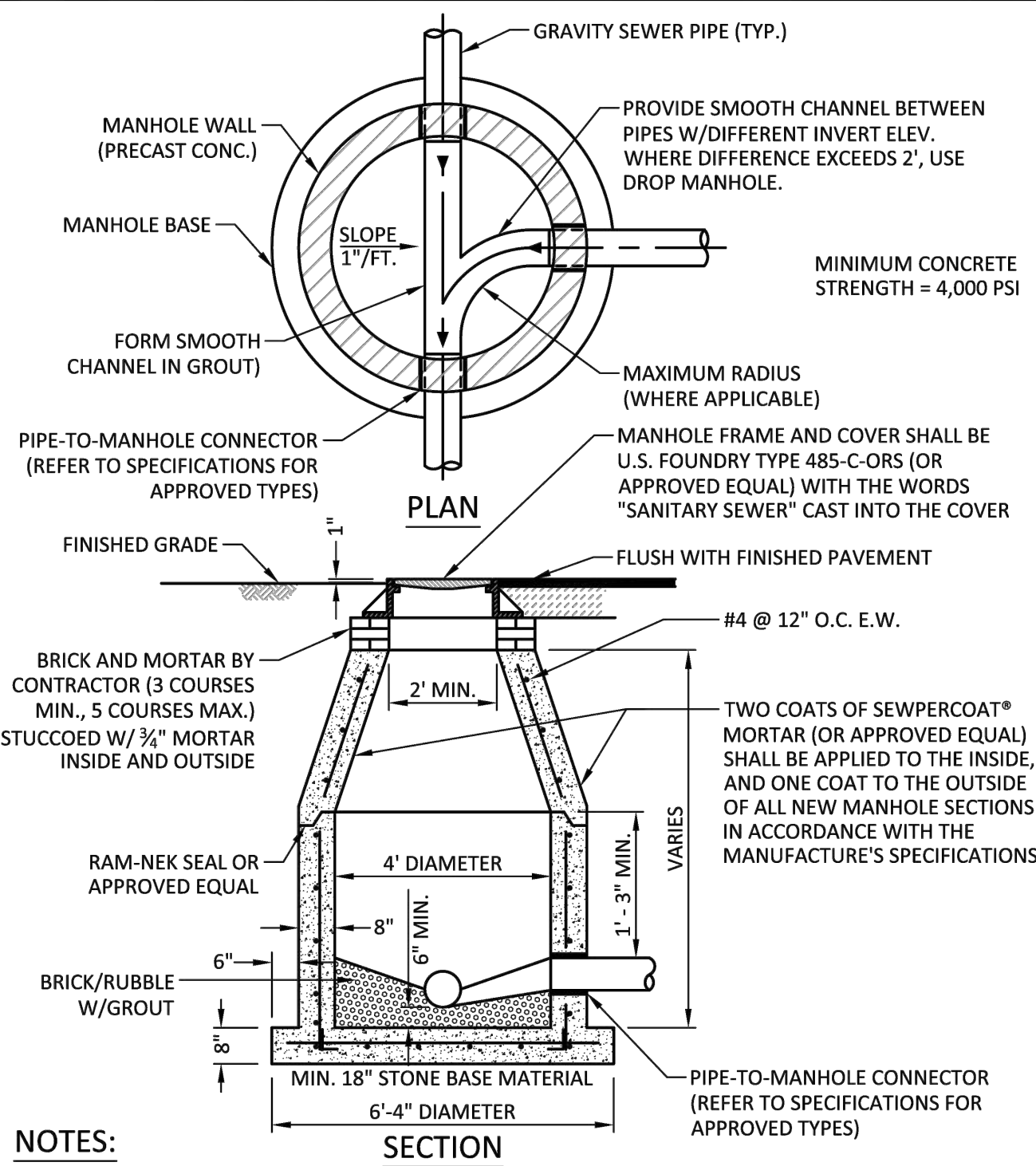




NOTES:


1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

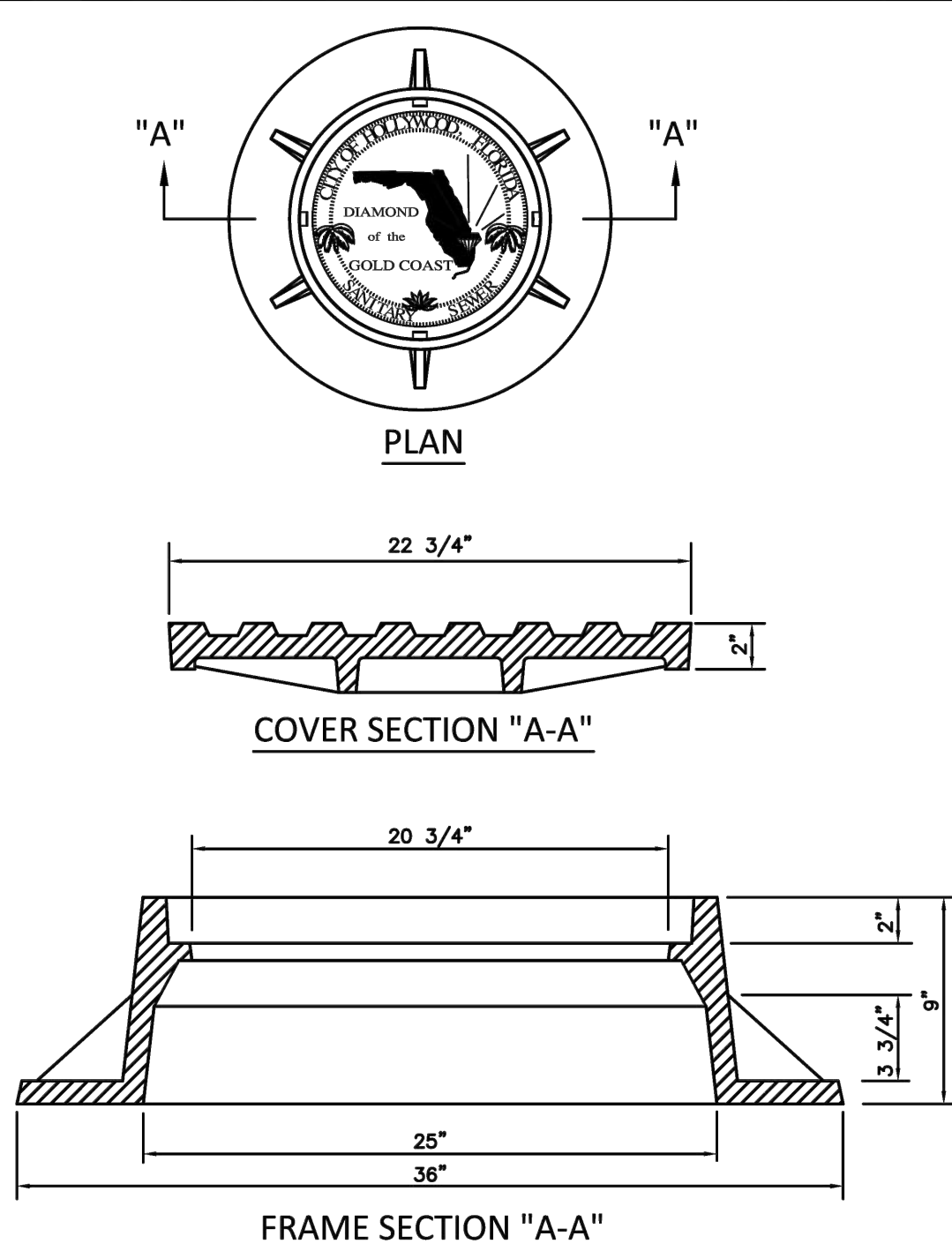
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM			DRAWING NO. S-02
APPROVED: XXX		MANHOLE FLOW PATTERNS	



NOTES:


1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

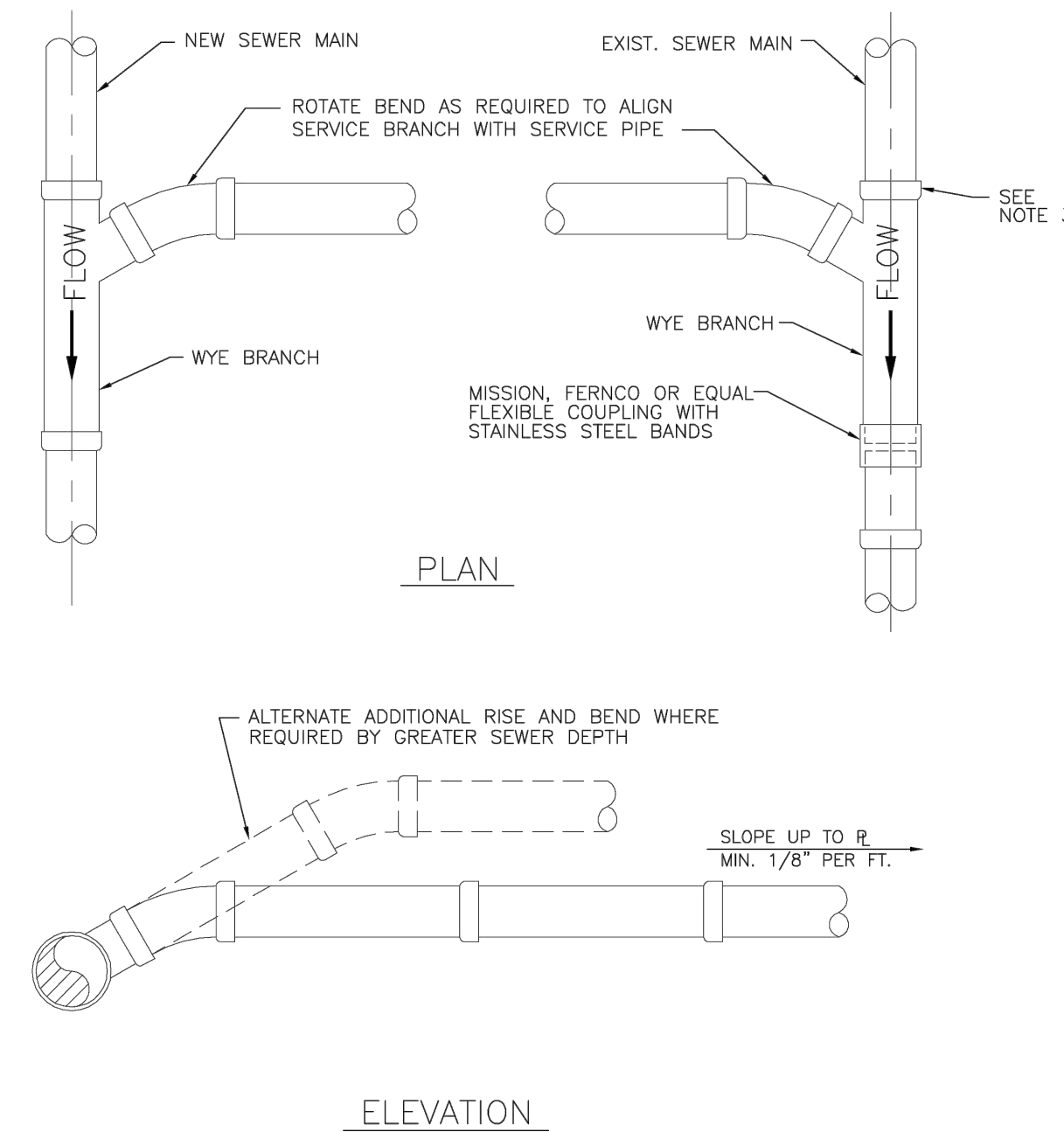
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DRAWN: EAM			DRAWING NO. S-03
APPROVED: XXX		STANDARD PRECAST MANHOLE	



NOTES:


1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

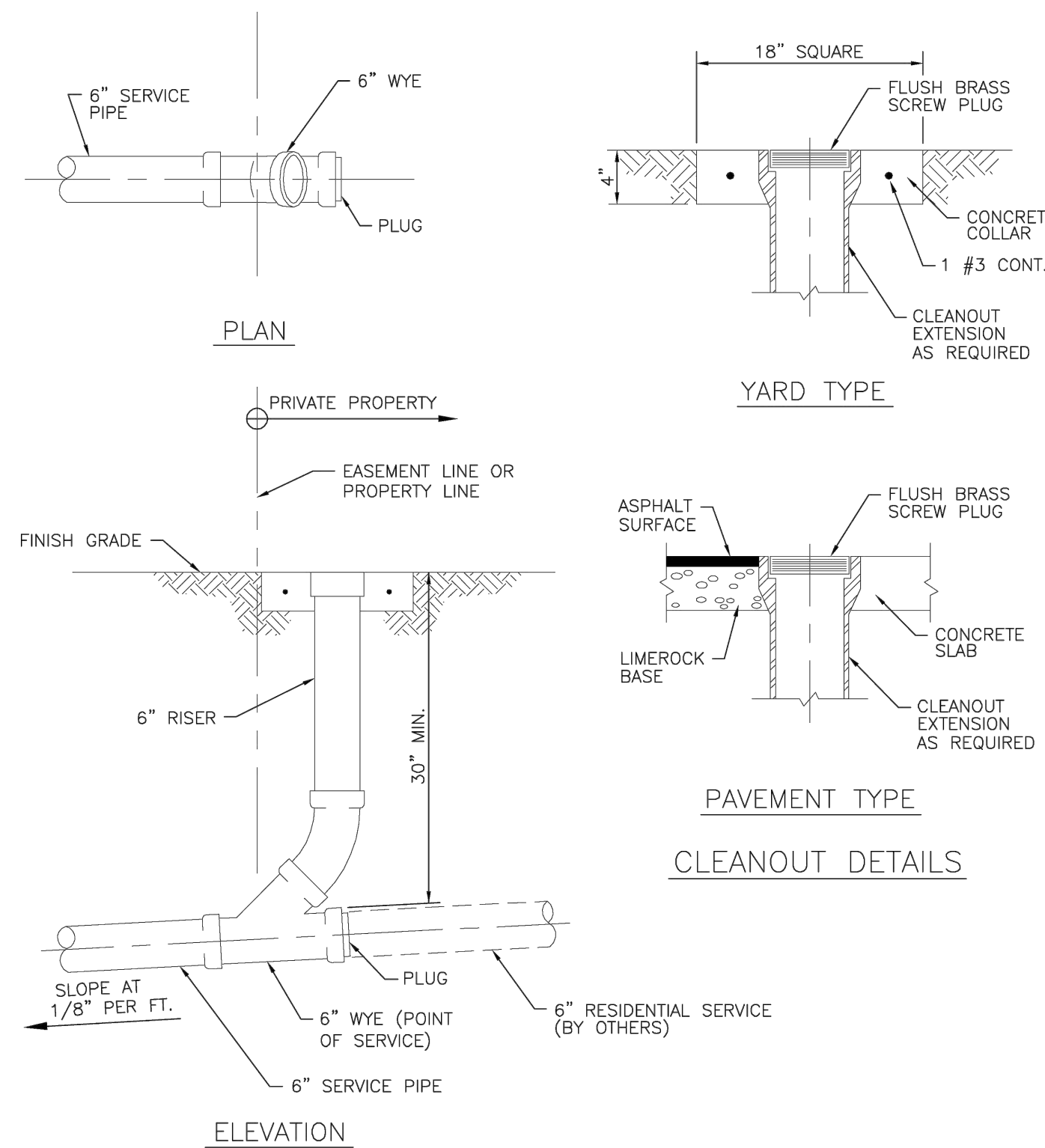
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DRAWN: EAM			DRAWING NO. S-06.1
APPROVED: XXX		MANHOLE FRAME AND COVER CITY OF HOLLYWOOD	




NOTES:

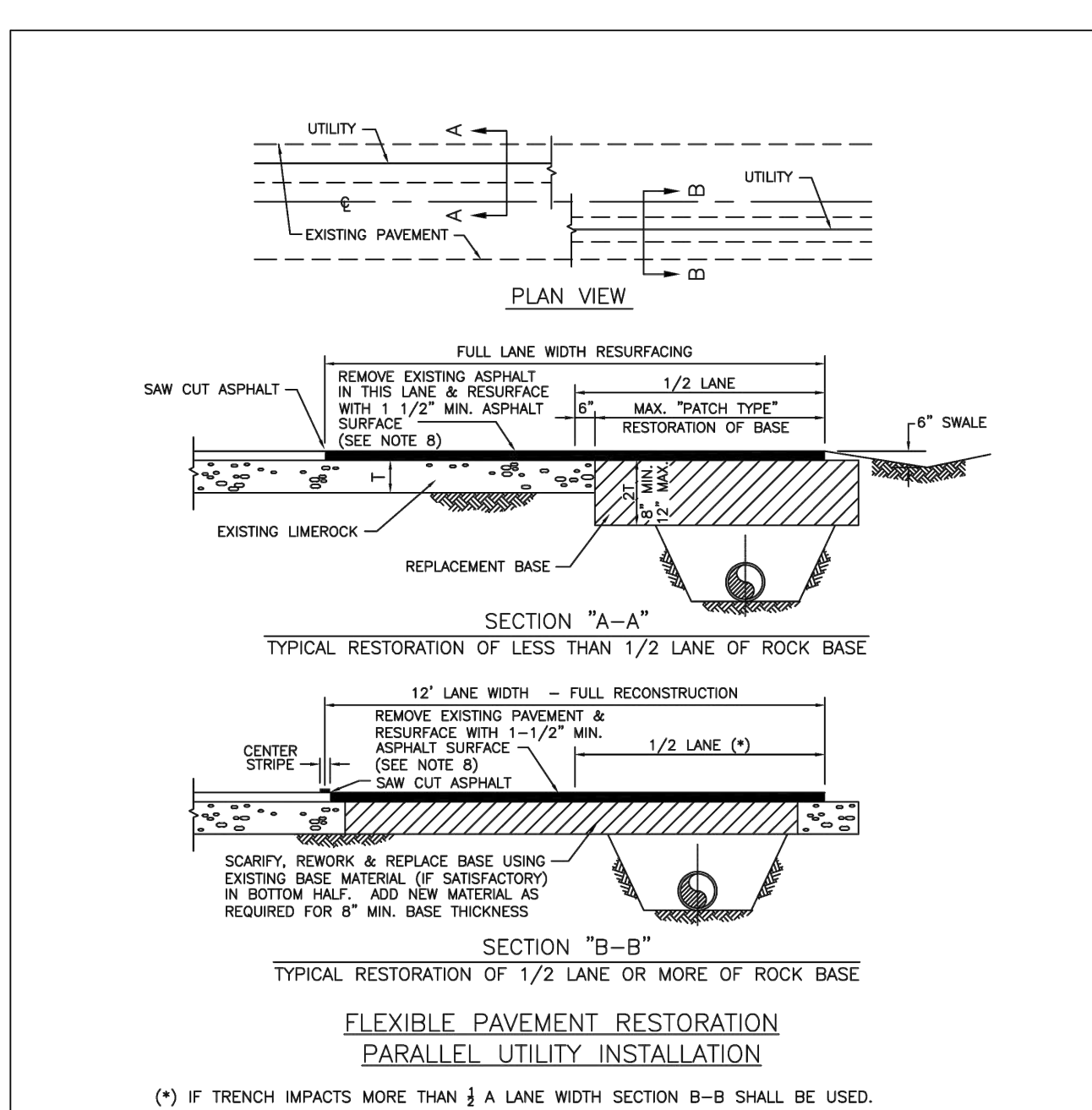
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM			DRAWING NO. S-09
APPROVED: XXX		WYE BRANCH CONNECTION	




SINGLE SERVICE CONNECTION

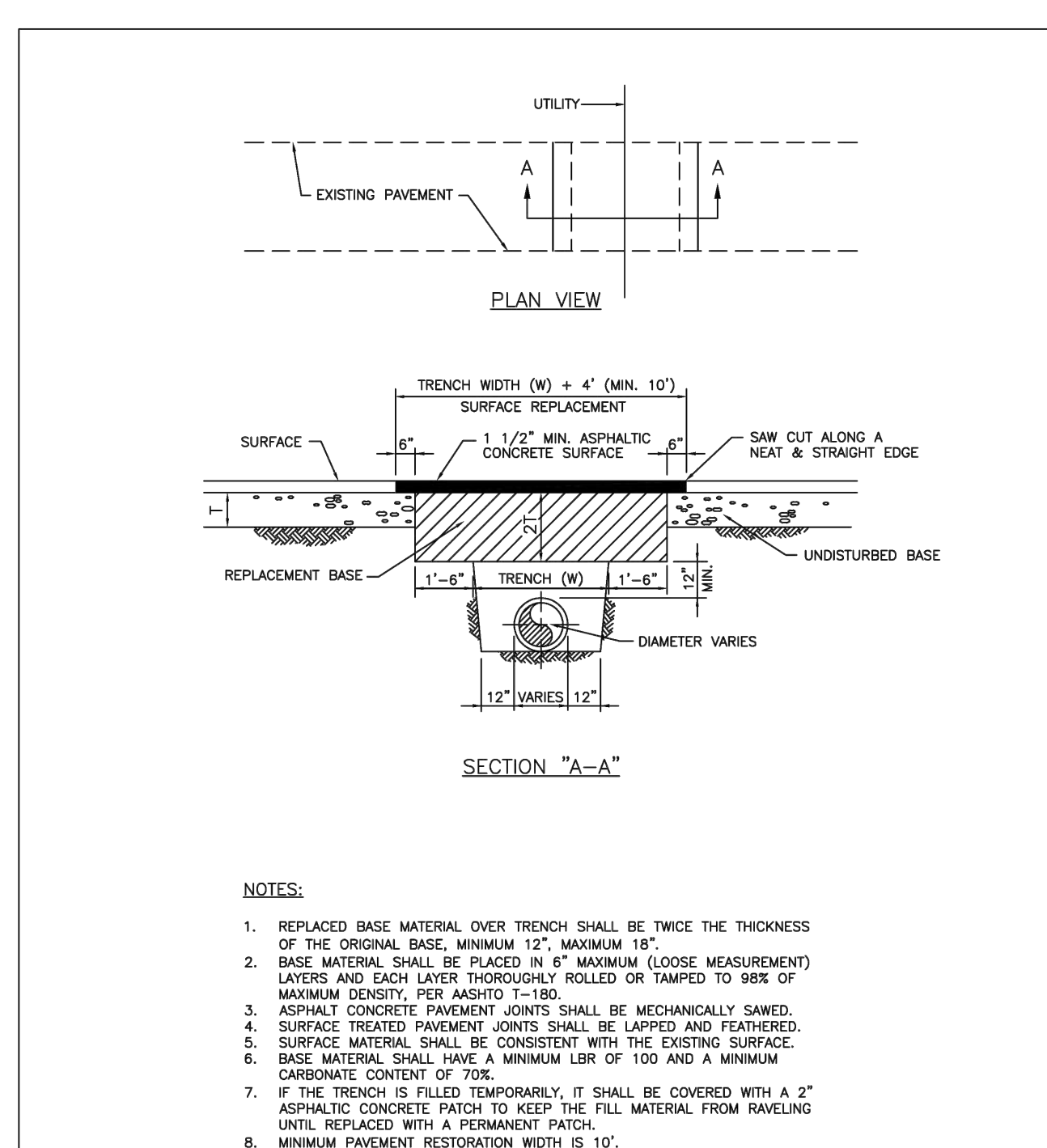
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM			DRAWING NO. S-12
APPROVED: XXX		SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	



NOTES:


1. BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
3. SUBGRADE MATERIAL SHALL BE CRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
4. BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LAYERS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
5. ALL EDGES OF EXISTING ASPHALT PAVEMENT WHERE RESURFACING WILL ABUT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
6. RESURFACING MATERIAL SHALL BE OF THE SAME MIX AS THE EXISTING SURFACE AND SHALL BE APPLIED A MINIMUM OF 1-1/2" IN THICKNESS.
7. FULL ROAD WIDTH RESURFACING MAY BE REQUIRED. SEE PLANS.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG			DRAWING NO.: C-30
APPROVED: JG		FLEXIBLE PAVEMENT RESTORATION PARALLEL UTILITY INSTALLATION	



NOTES:

1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-155.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPELLED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG			DRAWING NO.: C-31
APPROVED: JG		FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

UTILITIES DETAILS II

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

ZE

MULTI-FAMILY APARTMENTS

2328 JACKSON STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 9/28/23

SCALE: N.T.S.

SHEET NO.:


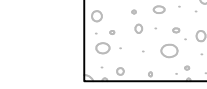
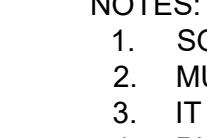
C8

8 OF 9

PROJECT NO.: 23-45

HORIZONTAL CLEARANCE TO UTILITIES, A MINIMUM 5 FT IS REQUIRED FOR SMALL TREES AND 10 FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS. IF CLEARANCE LESS THAN REQUIRED, INSTALL ROOT BARRIERS (BY DEEPROOT OR EQUIVALENT) MIN.12" FROM UTILITY AS PER CITY REQUIREMENTS AND MANUFACTURER INSTRUCTIONS

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Cd	10	Coccoloba diversifolia	Pigeon Plum	12' OA, 2"dbh, matched	AS SHOWN	YES	HIGH
	Cs	10	Conocarpus erectus f. sericeus	Silver Buttonwood	12' OA, 2"dbh, matched	AS SHOWN	YES	HIGH
	Lm	5	Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle	12' OA, min.5 stems, matched	AS SHOWN	NO	HIGH
	Lj	1	Ligustrum japonicum	Japanese Privet	12' OA, min.5 stems	AS SHOWN	NO	HIGH
	Pp	6	Polyalthia longifolia pendula	Indian Mast Tree	12' & 16' OA	AS SHOWN	NO	HIGH
	Re2	4	Roystonea elata	Florida Royal Palm	8' CT matched	AS SHOWN	YES	HIGH
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Ce	194	Conocarpus erectus	Buttonwood	3 gal, 24"OA, ftb	24"OC	YES	HIGH
	Fg2	3	Farfugium japonicum giganteum	Giant Leopard Plant	3 gal, full	AS SHOWN	NO	MODERATE
	Re	4	Rhapis excelsa	Lady Palm	4' OA, full	AS SHOWN	NO	MODERATE
	Sa	45	Schefflera arboricola	Green Schefflera	3 gal, min.24"OA, ftb, GREEN	24"OC	NO	HIGH
	Tc	11	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	7 gal trellis	AS SHOWN	NO	HIGH
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Fg	87	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	24"OC	NO	HIGH
	Lb	89	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal	18"OC	NO	HIGH
	Ms	316	Mimosa strigillosa	Sunshine Mimosa	1 gal	24"OC	YES	HIGH

- NOTES:
- SOD AS INDICATED.
 - MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998.
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDORGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3" MELALEUCAEUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- *ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

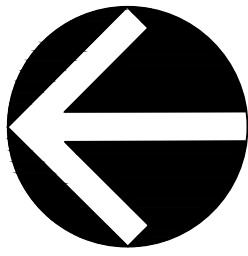
Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



The Mirror of Paradise

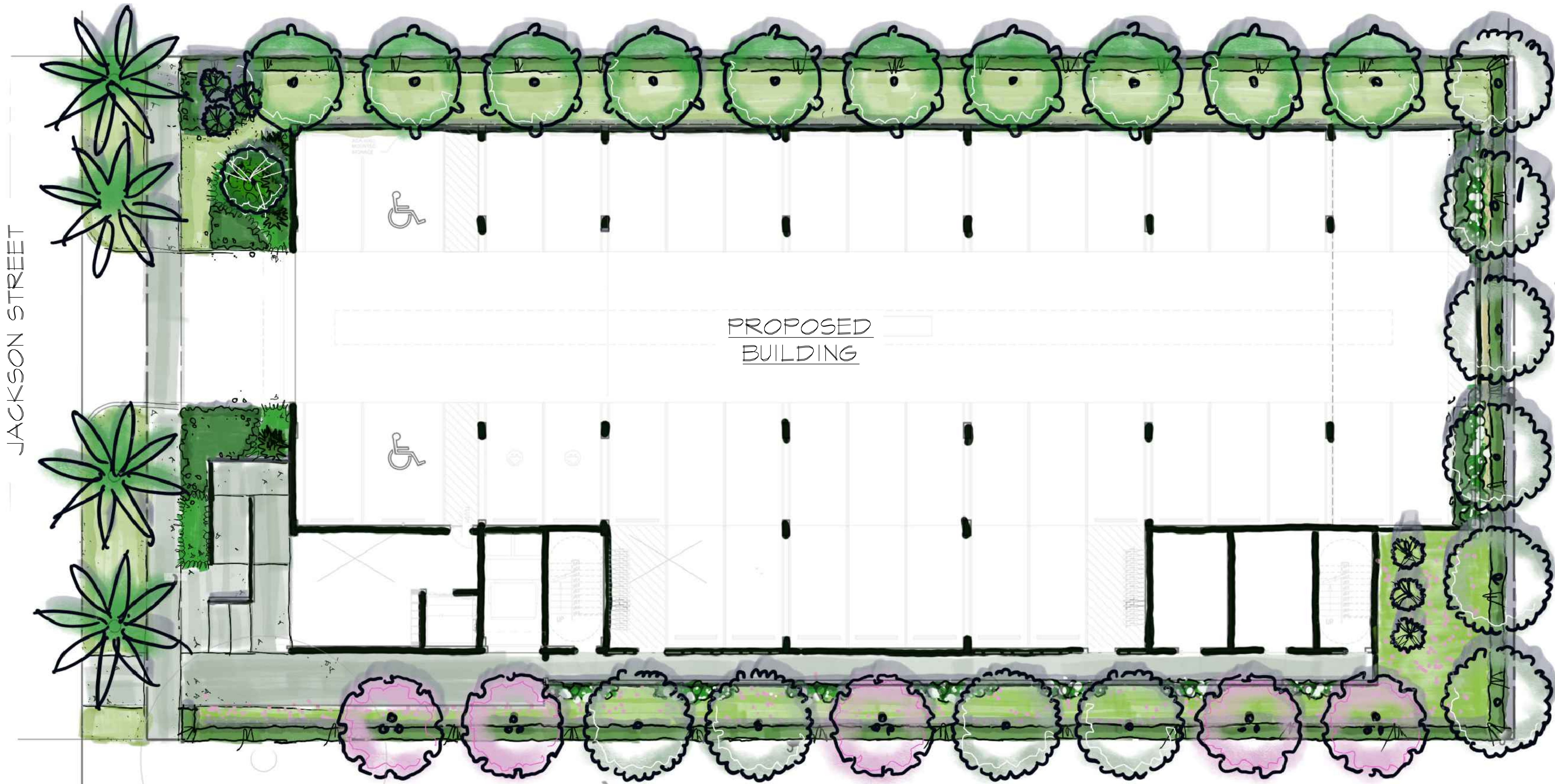
Gabriela Fojt
LA 6667277
LC 26000628

2700 E Oakland Park Blvd
Suite C
Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE	1/8"=1'-0"
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	10.12.2023
REVISIONS	

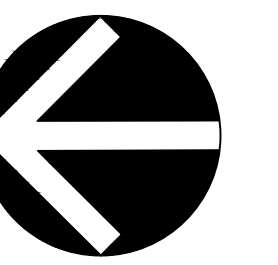
2328 Jackson St Hollywood Florida	LANDSCAPE SCHEDULE & NOTES
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The Mirror of Paradise

Gabriela Fojt
LA 6667277
LC 26000628

2700 E Oakland Park Blvd
Suite C
Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE	1/8"=1'-0"
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	10.12.2023
REVISIONS	

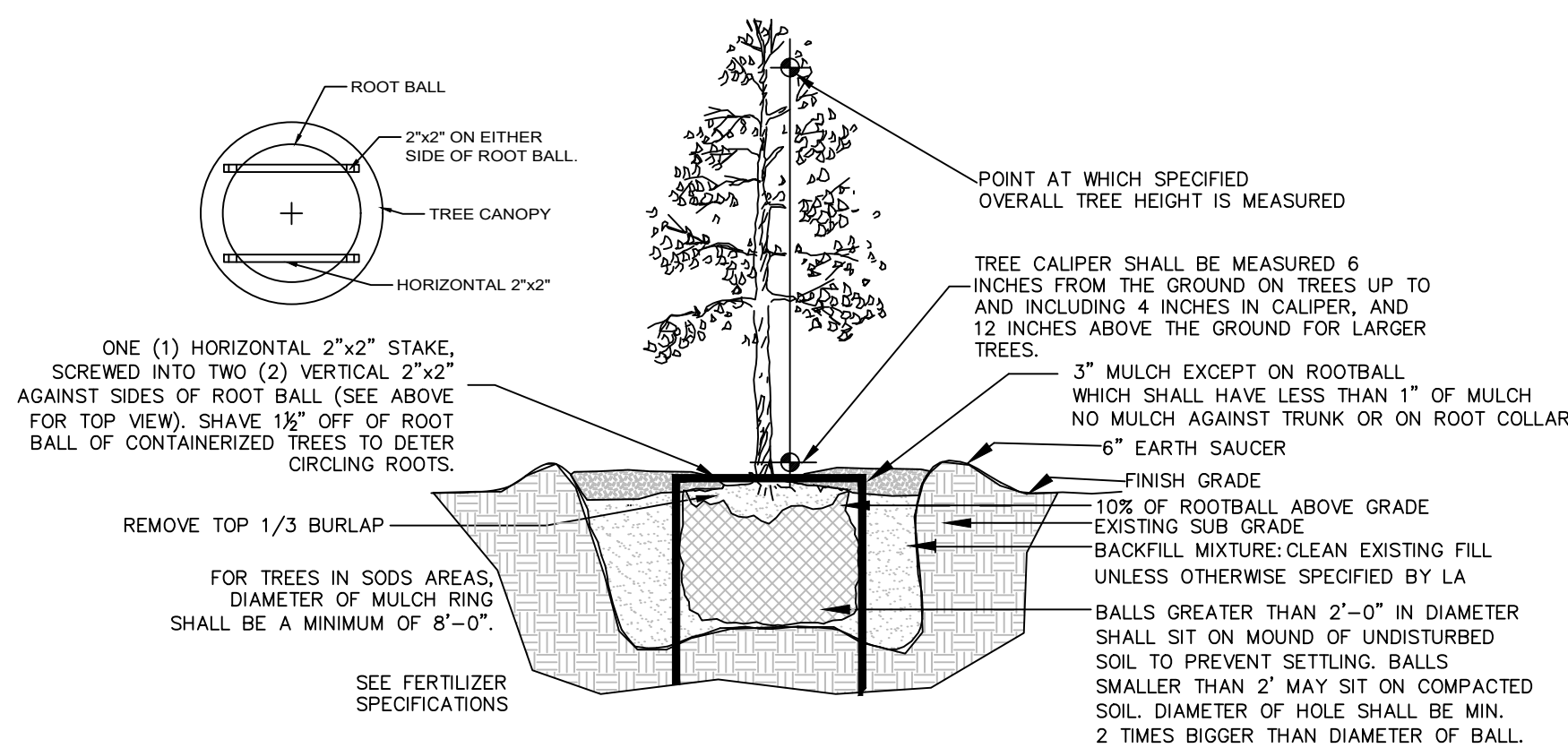
2328 Jackson St
Hollywood
Florida

COLORED LANDSCAPE PLAN, DETAILS

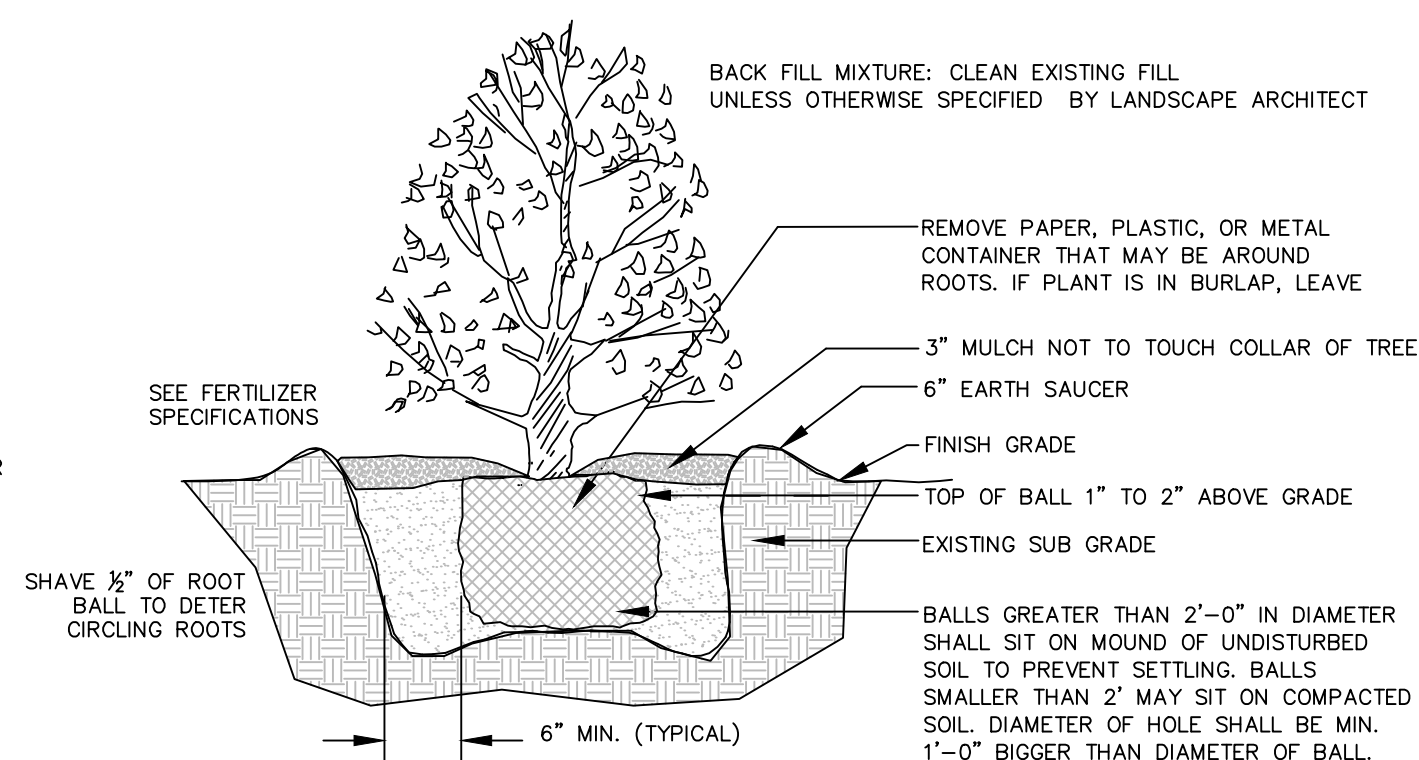
A GENERAL LAYOUT

scale 1/8"=1'-0"

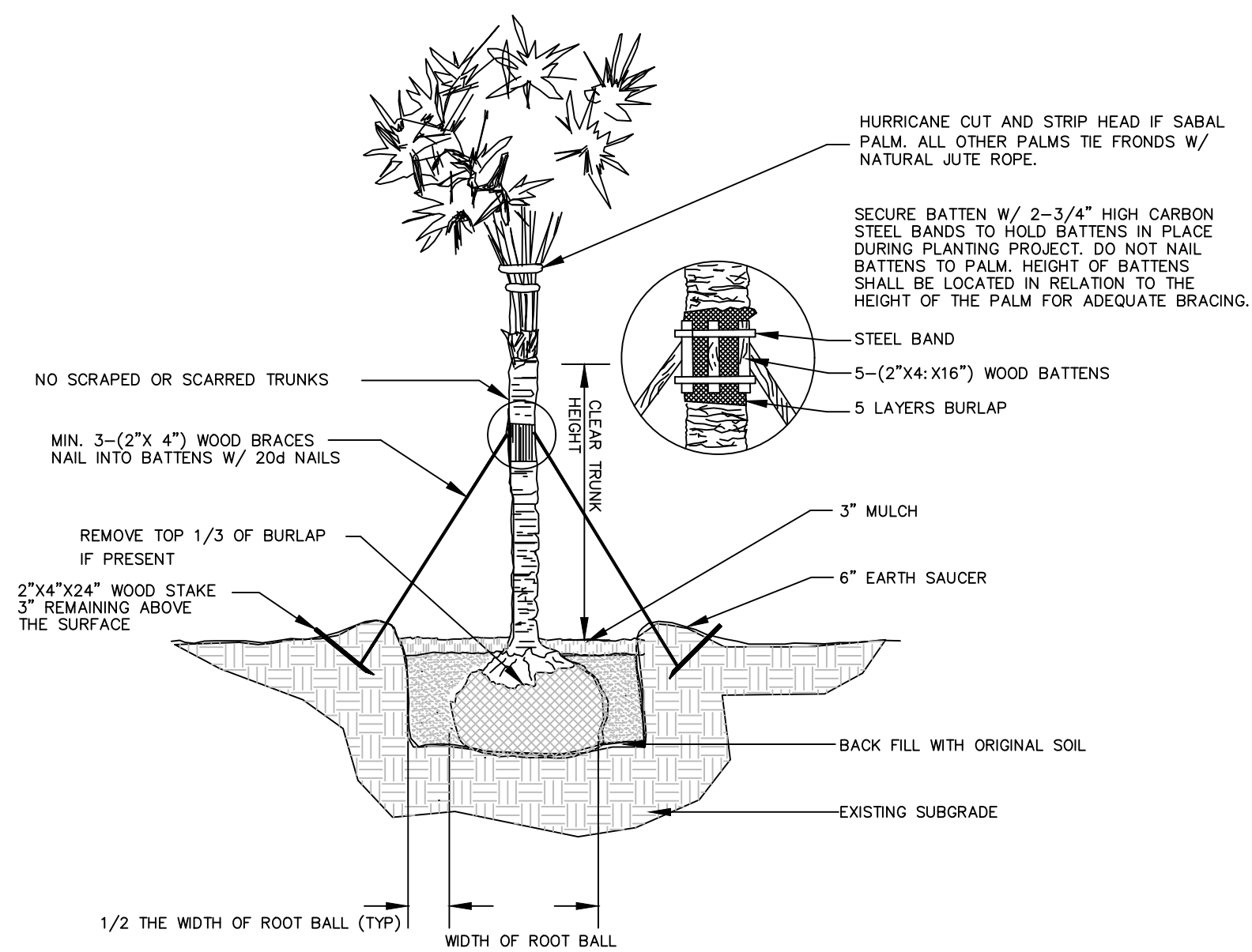
0 8 16 24 feet
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TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



PALM PLANTING DETAIL

Hydrant Flow Test Procedure



Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

K Architecture

Date:	9/26/23	Time:	10:00am	Static Pressure -		58psi
Residual/Static Hydrant		Address/Location		Residual Pressures		
P - Hydrant FH004026	402 S 24th Ave	F-1 Only		F-2 Only		
		55psi		58psi		
		F-1& F-2		 55psi		
Flow Hydrants		Address/Location		Flow Rate		
F-1 Hydrant (Individual) FH004033	330 S 24th Ave	GPM				
		1000				
F-2 Hydrant (Individual) FH004035	2315 Jackson St	GPM				
		1160				
F-1 Hydrant (Both Flowing)		GPM				
		1000				
F-2 Hydrant (Both Flowing)		GPM				
		1160				

**CITY OF HOLLYWOOD
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes ☒ No ☐

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name: Menachem Trietel
2. Project Name: 2328 Jackson Street Apartments
3. Project Address: 2328 Jackson Street
4. Contact person: Joseph B. Kauer
5. Contact number: 954-950-5746
6. Type of unit(s): Single Family ☐ Multi-Family ☒ Hotel/Motel ☐
7. Total number of residential and/or hotel/motel units: 33 units
8. Unit Fee per residential dwelling based on sq. ft.: 6 units @ 1401.00 = 8406.00
27 units @ 1132.00 = 30564.00
9. Unit Fee per hotel/motel room: \$1,355.00
10. Total Park Impact Fee: \$ 38970.00 Date: 10/16/23

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts
at 954.921.3404 or dvazquez@hollywoodfl.org with any inquiries.