

From: Margaret Kooser <ekooser@aol.com>

Sent: Wednesday, May 22, 2024 2:16 PM

To: Mayor-Commissioners <Mayor-Commissioners@hollywoodfl.org>; Josh Levy <JLEVY@hollywoodfl.org>; Andria Wingett <AWingett@hollywoodfl.org>; George R. Keller JR CPPT <GKELLER@hollywoodfl.org>; iquintana@hoolywoodfl.ore; Kevin Biederman <KBIEDERMAN@hollywoodfl.org>; Caryl Shuham <CSHUHAM@hollywoodfl.org>; Traci Callari <TCALLARI@hollywoodfl.org>; Linda Hill Anderson <LANDERSON@hollywoodfl.org>; Douglas Gonzales <DGONZALES@hollywoodfl.org>; Gus Zambrano <GZAMBRANO@hollywoodfl.org>; Adam Gruber <AGRUBER@hollywoodfl.org>; Anand Balram <ABALRAM@hollywoodfl.org>

Cc: Patricia Cerny <PCERNY@hollywoodfl.org>; ekooser <ekooser@aol.com>

Subject: [EXT]Please include these supplemental attachments to hearing of June 5, 2024. 24-CRR-30. 23-DP-20. 1920 Pierce ST.

Supplemental Attachments for Petition 24-CRR-30
File 23-DP-20. 1920 Pierce Street

I am Margaret Elaine Kooser, intervening on my own behalf as my homestead at 1924 Pierce Street shares a property line with the referenced project.

I am opposed to the application as submitted and approved by the Planning and Development Board on Mar. 12, 2024.

This review is to determine:

1. Whether or not the project has met the required technical requirements.
2. Whether or not the project conforms to the characteristics of the location.
3. Whether or not the site plan was reviewed in accordance with the Development review process Section of the Land Development Regulations prior to approval by the Planning and Development Board on March 12, 2024
4. Whether or not the requirements of approval by the Planning and Development Board have been satisfied.

Development Review Process

Supplemental Attachments 1-6

A Timeline of the Review of the referenced project.

This project did not follow the submission requirements or the public participation requirements of the Development Code. Furthermore, this project did not receive the required Technical

Advisory Committee approvals prior to being forwarded to the Planning and Development Board for approval.

SA 1. **Technical Advisory Report For the March 20, 2023 TAC meeting**, Staff prepared a 10 page report of findings and concerns for a 32 unit residential building.

SA 2. **Summary of the Minutes of March 20, 2023 Meeting**

The minutes of the meeting for March 20, 2023 reflect that the applicant agreed to amend the site plan and resubmit the plan for a final TAC.

SA 3. **Summary of the Minutes of the July 17, 2023 TAC Meeting**, The applicant prepared a substantially different site plan. I could not find a Staff Report of the findings and concerns from this July 17, 2023 TAC meeting for this site plan on line. I have requested the Report by emails to the staff and was advised to make a Public Records Request. The TAC report is pending a response to my PRR on May 17 and May 20, 2024. The summary of Minutes for the July 17, 2023, TAC meeting reflect that **"The applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC."**

AS of yet there is no Report of the TAC's findings and concerns (pending response to my PRP), and there is no record of a final site plan or a Final TAC meeting.

SA 4. **Cover Letter Dated Jan 26, 2024 and Invitation to the Public of the ZOOM meeting dated August 7, 2023 for the** August 30, 2023 ZOOM Public Participation Meeting. The plan attached to the ZOOM notice and discussed at the ZOOM meeting was for March 20, 2023 site plan, not the plan amended and submitted to the TAC on July 17, 2023, and **not the plan further amended without a TAC report or a Final TAC before being submitted for approval by the P&D Board on Mar. 12, 2024.**

SA 5. **3/12/2024 Plans to Planning & Development Board**

Note page 11, 12 & 13

SA 6. **Summary of Minutes of Planning and Development Board March 12, 2024**

P&D Board Meeting has many assertions that do not describe this project.

1. **Final** site plan page 16 - General Zoning Requirements,

P&D Approval was given with the provision that the decorative screening does not encroach into required setback and that parking spaces must be located entirely under the building.

The eastern facing side of the garage encroaches 5 feet into the setback to accommodate the extended wall necessary to enclose the stacked parking. The western side of the garage extends at least 3 feet into the setback to accommodate the curb. The architectural screening will encroach into required setback abutting my property.

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: February 27, 2023

Location Address: 1914-1920 Pierce Street

Lot(s): LOT 19,20 E1/2 Block(s): BLK 20 Subdivision: HOLLYWOOD 1-21 B

Folio Number(s): 5142 15 01 3490

Zoning Classification: ND2 Land Use Classification: Residential

Existing Property Use: multi family Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO 23-DP-20

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: request for site plan approval

Number of units/rooms: 32 Sq Ft: 31,238

Value of Improvement: _____ Estimated Date of Completion: 2024

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: AIR ABODES LLC

Address of Property Owner: 8201 PETERS RD #1000 FORT LAUDERDALE FL 33324

Telephone: 786-252-9459 Fax: _____ Email Address: sindig@barmiholdings.com

Name of Consultant/Representative/Tenant (circle one): Alexis Bogomolni (under contract)

Address: 2980 NE 207 Street SUITE 603 Telephone: (786) 252-9459

Fax: _____ Email Address: alexisbogo@abhre.com

Date of Purchase: 01/06/2022 Is there an option to purchase the Property? Yes (X) No ()

If Yes, Attach Copy of the Contract. Pierce St, LLC currently under contract to purchase from Air Abodes, LLC

List Anyone Else Who Should Receive Notice of the Hearing: Alexis Bogomolni

alexisbogo@abhre.com (786) 252-9459

Address: 2980 NE 207 Street SUITE 603

Pamela Butler (954) 471-6177

Email Address: choicepermitting@hotmail.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan and design approval _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the TAC & Planning & Development Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 28th day of February, 2023

[Signature]
Notary Public
State of Florida



[Signature]
Signature of Current Owner

Sam Schwartz
Print Name

My Commission Expires: 4/10/26 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



TECHNICAL ADVISORY COMMITTEE REPORT

March 20, 2023

Air Abodes LLC/Alexis Bogomolni
2980 NE 207 Street, Suite 603
Aventura, FL 33180

FILE NUMBER: 23-DP-20

SUBJECT: Preliminary Site Plan and Design review for 32 Residential Units.

SITE DATA

Owner/Applicant:	Air Abodes LLC
Address/Location:	1914-1920 Pierce Street, Hollywood, FL 33020
Net Size of Property:	16,360 sq. ft. (0.375 acres)
Land Use:	Regional Activity Center (RAC)
Zoning:	ND-2
Present Use of Land:	Multifamily
Year Built:	1924/1944 (Broward County Property Appraiser)

ADJACENT LAND USE

North:	Regional Activity Center (RAC)
South:	Regional Activity Center (RAC)
East:	Regional Activity Center (RAC)
West:	Regional Activity Center (RAC)

ADJACENT ZONING

North:	North Downtown Medium Intensity Multi-Family District (ND-2)
South:	North Downtown Medium Intensity Multi-Family District (ND-2)
East:	North Downtown Medium Intensity Multi-Family District (ND-2)
West:	North Downtown Medium Intensity Multi-Family District (ND-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

A. APPLICATION SUBMITTAL

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
Please see included in this submission Plat Determination issued from Broward County Planning Council.
2. Ownership & Encumbrance Report (O&E):
 - a. Substantially compliant.
3. Alta Survey:
 - a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
Please see updated survey based on O&E and stated such on sheet 1 of 2 on April 14, 2023.
 - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
Please see updated survey reflecting any existing encumbrance.
4. Site Plan:
 - a. Provide cover sheet with location map.
Response: Cover Sheet and Location Map provided in Cover Sheet A000
 - b. Side setback should be measured at the exterior most portion of the building.
Response: Refer to Revised Drawings for setbacks location.
 - c. Clearly show dimensions for both curb cuts that is labeled 24'. It appears the dimensions exceed the width indicated and 30% curb cut requirement.
Response: Refer to Revised Site Plan A100
 - d. Show dimensions for parallel spaces.
Response: Refer to Revised Site Plan A100
 - e. Provide bicycle racks or storage shall. 1 per 20 spaces required.
Response: Refer to Revised Site Plan A100
 - f. No column shall be within 3 ft. of the entrance to a parking space. Show length dimension of driveways. Indicate on site plan.
Response: Refer to Revised Site Plan A100
 - g. Consider inverting the orientation of the trash room and stair 2 for more efficient trash removal from the alley.
Response: Considered but does not work.
 - h. Provide dimensions for handicap parking space.
Response: Refer to Revised Site Plan A100
 - i. Identify the space east of the lobby.
Response: Refer to Revised Site Plan A100
 - j. Provide color material legend on elevation sheet.
Response: See Revised Elevations for material color.
 - k. Identify the door leading to the lobby. Is this a fence gate?
Response: Door was a fence and is removed. Refer to Revised Site Plan A100
 - l. Indicate propose fencing on the site plan.
Response: Refer to Revised Site Plan A100
 - m. Work with engineering to ensure property has the correct amount of required handicap spaces.
Response: Refer to Revised Site Plan A100. 2 ADA spaces required and provided.
 - n. Provide dimensions of the aluminum gazebo and pool.

Response: Refer to Revised Site Plan A104

- o. Provide table indicating unit type/size.

Response: Refer to Revised A101 for requested table.

- p. Parking garage shall be screened with both architectural and landscape treatment.

Response: Refer to Revised Site Plan A100, A201, A202 and Landscaping Plans. Architectural screen provided on north and south side and landscaping provided on the east and west sides as per landscaping drawings.

- q. Elevator bulkhead exceeds the maximum 25% encroachment.

Response: Elevator bulkhead was revised to 71'-0" as per revised A201 and A202.

- r. Show property lines and setbacks on elevation sheets.

Response: Refer to Revised Elevations A201 and A202

- s. Dimension any balcony encroachment.

Response: Refer to Revised Drawings for balcony encroachment dimensions.

- t. Provide note on site plan that "any changes to design, including material changes, may require Planning and Development Board approval prior to construction.

Response: Note added to Revised Site Plan A100

5. Site Data:

- a. Substantially compliant.

6. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Submitted to Tammy Sartin at Broward County School Board and pending review. Will provide update prior to Board Hearing.

7. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Refer to New Cover Sheet A000

8. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association are located within 500 feet project site.

- a. Downtown Parkside Royal Poinciana

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Noted and scheduled for July 2023...awaiting date confirmation from Civil Association. Will provide update at TAC meeting.

9. Additional comments may be forthcoming.

Response: Understood

10. Provide written responses to all comments with next submittal.

Response: Written Response Provided

B. ZONING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Indicate car lift specifications in notes on site plan.
Response: Refer to Revised A104 FOR Car Lift Notes and details.
2. Indicate curbing type in the parking area.
Response: Refer to Revised Site Plan A100 for curbing identification.

C. ARCHITECTURE AND URBAN DESIGN

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. No comments at this time. Need to provide renderings and material legend with Final TAC submission.
Renderings to be provided prior to Final TAC sign off

D. SIGNAGE

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided.
No signage being proposed. Should any sign be installed at a later date it will meet the LDR requirements.

E. LIGHTING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Indicate 0.5 foot candle lighting.
Response: Note added to Revised Site Plan A100

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02).
Response: Refer to Revised Site Plan A100 for future installation of electric vehicle charging equipment.
2. Work with Building Department to ensure compliance with Green Building Ordinance. Need at least 10. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.
Response: Refer to Revised Site Plan A100 for Green Building Certification to be achieved.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. Unity of Title or similar will be required.
Noted and will be provided prior to the issuance of a building permit.
2. Please sign and seal survey.

See submitted signed and sealed survey.

3. Provide plat determination letter from the Broward County Planning Council.

Please see included in this submission Plat Determination issued from Broward County Planning Council.

4. On overall site plan and all applicable plans, please provide items such as:

- a. Existing right-of-way width dimension and show limits of the rights-of-way on of all street / alleys adjacent to the site.

Response: Refer to Revised Site Plan A100

- b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.

Response: Refer to Revised Site Plan A100

- c. Provide sight triangle as per Chapter 155.12 of the City code, be sure to provide dimension for distance between edge of pavement and the property line.

Response: Refer to Revised Site Plan A100

- d. Setback dimensions for all features (slabs and walkways) adjacent to the site's property lines.

Response: Refer o Revised Site Plan A100

- e. Label property line around all sides of site.

Response: Refer to Revised Site Plan A100

- f. Provide dimensions of all parking stalls, width and length. Stalls adjacent to obstruction on one side shall be minimum 9.5' wide and 10.5' wide for stalls with obstruction on both sides.

Response: Refer to Revised Site Plan A100

- g. Provide dimension of drive aisle width adjacent to parallel Stalls 11-13 and indicate direction of vehicular traffic.

Response: Refer to Revised Site Plan A100

- h. Building column setback from the entrance of the parking stalls, minimum 3' is required.

Response: Refer to Revised Site Plan A100

- i. Provide dimension for curb cuts at the property line and for all walkways connecting to the public sidewalk or alley. Curb cuts shall meet Chapter 155.08 of the City code.

Response: Refer to Revised Site Plan A100

5. Provide width dimension for the parallel parking, minimum is 8.5'.

Response: Refer to Revised Site Plan A100

6. On Sheet A100, please clearly show where the building walls end adjacent to Stall 1 and Stall 16 and how the building accesses connect to the driveways. Also, please indicate material of the driveways and driveway aprons.

Response: Refer to Revised Site Plan A100

7. On Sheet A100, in the General Zoning Requirements Table, include the ADA stall in the parking calculations.

Response: Refer to Revised Site Plan A100

8. On Sheet A100, show the direction of vehicular traffic circulation on plan.

Response: Refer to Revised Site Plan A100

9. Proposed gates are shown at the driveway openings on plans at the property line. Please label on plans. Vehicular queueing spaces and any additional space required for gate operation will be required, please show on plans. Minimum of one vehicular queueing space at the Entrance to the parking within private property is required. There shall be no parking adjacent to the vehicular queueing space. Please indicate the area on plan, minimum queueing space dimension is 8.5'x19'. Also, include information such as type of gate and access control (i.e. remote, sensor, etc.).

Response: Refer to Revised Site Plan A100

10. Label wall or fence at the front and back of the property along the property, identify its material and height. Detail with section will be required to show its footing to not encroach into adjacent right-of-way or property.

Response: Refer to Revised Site Plan A100

11. Label what appears to be an elevator on plans.

Response: Refer to Revised Site Plan A100

12. Indicate location for mailboxes / mail services on plans.

Response: Refer to Revised Site Plan A100

13. Sheet A100, label all material types (i.e. parking area, gray hatch) and indicate location where there is a change in elevation and where it is flush.

Response: Refer to Revised Site Plan A100

14. Indication location and type of curbing used on plans.

Response: Refer to Revised Site Plan A100

15. Sheet A100, what is the double line running through parking Stall 1-10?

Response: Refer to Revised Site Plan A100

16. Indicate on plans for existing sidewalk along Pierce Street to be replaced. Provide ADA detectable warning at driveway openings, include details.

Response: Refer to Revised Site Plan A100

17. On Sheet A101, Elevations, please identify the vehicular Entrance and Exit to the parking area and provide Response: the vertical clearance.

Response: Refer to Revised Site Plan A100, A201 and A202

18. Provide dimension for the ADA accessible route, minimum width is 5' and identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

Response: Refer to Revised Site Plan A100 Provide trash chute.

19. Indicate on plans for existing curb cuts and swales in the rights-of-way to be properly closed off and restored.

Response: Refer to Revised Site Plan A100 and Civil Drawings

20. Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

Noted...please see included civil plan sheets with this submission.

21. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Rights-of-way improvements are to be determined and will be required. Continued coordination will be necessary.

Noted...please provide specific code requirements so plans can be updated and modified prior to submitting for building permits.

22. MOT plans required at the time of City Building Permit review.

Noted

23. All outside agency permits must be obtained prior to issuance of City building permit.

Noted

24. Impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022, to be paid prior to building permit issuance.

Noted

More comments may follow upon review of the requested information.

Response: Understood

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3997

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. Tree disposition sheet is not taking into account the removal of tree #16. Revise mitigation chart/requirements and compensation.

RESPONSE: TREE DISPOSITION UPDATED PER COMMENT.

Revise legend with requirements to show the RAC zoning requirements: 1 street tree per 30 lf, 1 tree per 20 lf for landscape buffer within required setbacks, 1 tree per 20 lf when abutting an alley, 1 tree per parking island, 1 tree per 1,000 sf of pervious area of property.

Response: LANDSCAPE LEGEND UPDATED PER COMMENT.

2. No gravel allowed in open space areas. All landscape areas shall be covered by living plant material as required by code.

Response: ALL GRAVEL REMOVED PER COMMENT.

3. Trees #14 & #15 are proposed to remain. Building construction will impact $\frac{3}{4}$ of the critical root zone. Provide redesign or mitigation.

Response: TREES #14 AND #15 ARE NOW PROPOSED TO BE REMOVED PER COMMENT.

4. Existing sabal palms are noted in good condition. Recommend relocation on site.

Response: SABAL PALMS TO BE RELOCATED PER COMMENT.

5. Furnish a RESPONSE SHEET with written responses to all plan review comments on 8-1/2" x 11" design professional office letter head; include date, project name, permit application number, contact information (phone and email). Include reference to clouded updates on plans (if applicable). Provide clouded and numbered revisions to any revised sheet.

Response: UNDERSTOOD.

I. UTILITIES

Alicia Vereas-Feria, Engineer (avereas-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed drainage, water and sewer service for initial review.

Response: See Civil Plans.

2. Show Water and Sewer demand calculations on proposed utilities plans.

Response: See Civil Plans.

3. Clarify how the fire line will be serviced for this property, as applicable.

Response: 4" Fire line comes into the property.

4. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

Response: Hollywood Details included in Civil Plans.

5. This site resides currently within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) requirements shall comply with the **greatest** of the following three (3) conditions, as applicable.

Response: Acknowledged.

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR

- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacd a62575e817380>
6. Indicate FFE for all enclosed areas on the ground floor.
Response: FFE of 9.00 indicated.
7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.
Response: Cross-section on Civil Sheets
8. Ensure all stormwater is retained onsite.
Response: All stormwater is retained onsite.
9. Indicate how roof drainage will be collected and connected to the on-site drainage system.
Response: Roof drains to be tied into stormwater piping.
10. Provide preliminary drainage calculations.
Response: See attached.
11. Submit Erosion Control Plan and details.
Response: Erosion Plans Included in Civil Set.
12. Permit approval from outside agencies will be required.
Response: Acknowledged.
13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.
Response: Acknowledged.
14. Additional comments may follow upon further review of requested items.
Response: Understood

BUILDING

*Russell Long, Assistant Building Official (rlong@hollywoodfl.org) 954-921-3490
Daniel Quintana, Electrical Plans Examiner/Inspector (dquintana@hollywoodfl.org) 954-921-3335*

1. Substantially Compliant.

J. FIRE

Chris Clinton, Deputy Fire Marshal / Assistant Division Chief (cclinton@hollywoodfl.org) 954-967-4404

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: Understood

1. At time of submittal, water supply must meet NFPA 1 (2018 Ed.) Section 18.4.5.3. --- In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., underground@hollywoodfl.org. --- After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.
Response: Calculations on Civil Sheet.
2. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1.
Response: Acknowledged.
3. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. --- Architectural plans will be required to show this information moving forward for buildings three stories or greater in

height. Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

Response: Note added to Revised A100

4. Be advised that NFPA 1 (2018 edition) Section 11.10.1 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.

Response: Understood

5. Plan pages A100 and A101 show two numbers per parking space (see 19-42). Do these double numbers represent proposed car stackers? If so, be advised that the currently adopted NFPA 13 edition calls for this hazard classification to be protected as Extra Hazard Group II.

Response: Numbers indicate car stackers. Hazard Classification Understood

6. NFPA 13 (2016 Ed.) Section 5.4.2 (Extra Hazard (Group 2) --- Extra hazard (Group 2) occupancies shall be defined as occupancies or portions of other occupancies with moderate to substantial amounts of flammable or combustible liquids or occupancies where shielding of combustibles is extensive.

Response: Understood

7. NFPA 13 (2016 Ed.) Section A.5.4.2 (9) --- Car stackers and car lift systems with 2 cars stacked vertically.

Response: Understood

K. PUBLIC WORKS

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4526

No comments received.

L. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application required.

Please see included Park Impact Fee Application

M. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

N. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. What is the estimated value of the project? It was left blank on the application.

. **6 million**

O. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. Substantially compliant.

P. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Elevations lack details and information on proposed finishes and materials.
Noted...please see updated elevations reflecting material and finish legend
2. The lobby area appears to be very small. Please work on improving the architectural details and delineation of the lobby area to make it more inviting to pedestrians.

Response: Understood

3. CRA would like to suggest reducing the width of the proposed single lane driveways to 11'.

Response: Refer to Revised A100. Driveway reduced to 12'-0".

Q. PARKING

Jovan Douglas, Parking Operations Manager (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

R. ADDITIONAL COMMENTS

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

Response: Understood

The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Tasheema Lewis
Associate Planner

C: 1914-1920 Pierce Street via email sindig@barmiholdings.com
Alexis Bogomolni via email choicepermitting@hotmail.com

NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
3. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
4. UNDERGROUND IMPROVEMENTS NOT SHOWN.
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
6. BENCHMARK REFERENCE : CITY OF HOLLYWOOD BENCHMARK: SQUARE CUT AT NW CORNER OF 24TH AVENUE AND POLK STREET. ELEVATION=10.50' (NAVD88)
7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
8. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN OWNERSHIP AND ENCUMBRANCE REPORT SEARCH NO.: 22-991-1-UPDATE 1, CERTIFIED FROM DATE OF PLAT (MAY 14, 1925) THROUGH THE 1ST DAY OF JANUARY 2023, AT 11:00 O'CLOCK P.M. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

ENCUMBRANCES:

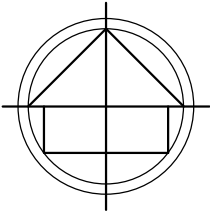
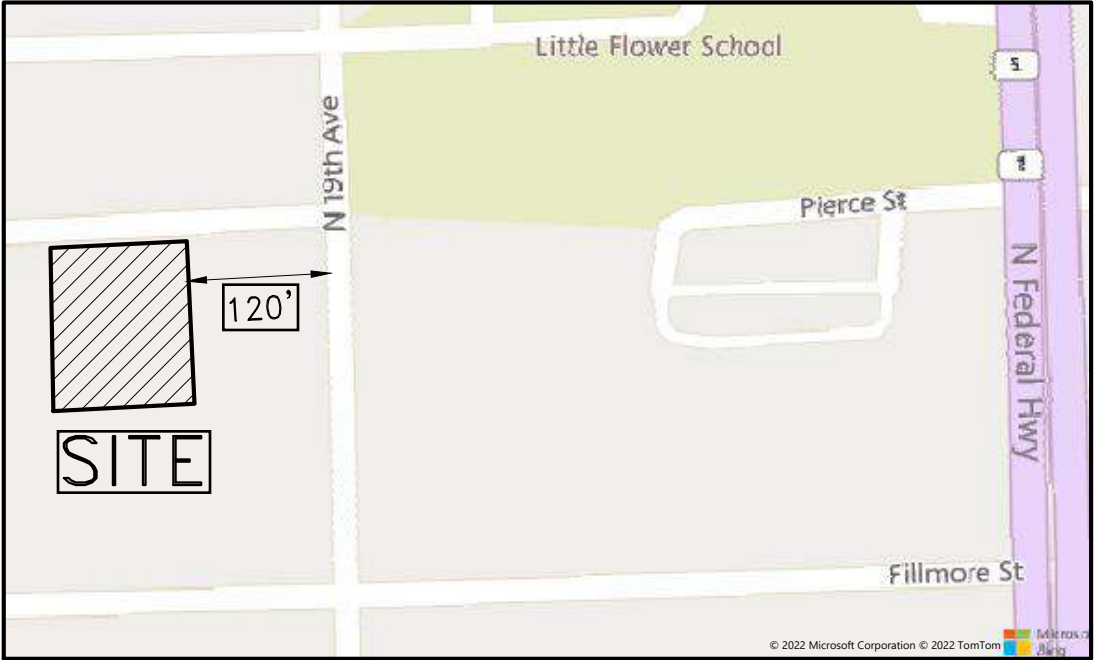
- ITEM 1. EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH ON PLAT OF HOLLYWOOD, PLAT BOOK 1, PAGE 21, PUBLIC RECORDS BROWARD COUNTY, FLORIDA.

(AFFECTS/PLOTTED)
- ITEM 2. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571343.

(AFFECTS/NOT PLOTTABLE)
- ITEM 3. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571359.

(AFFECTS/NOT PLOTTABLE)
9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
11. THE PROPERTY HAS DIRECT ACCESS TO PIERCE STREET, DEDICATED PUBLIC STREETS AS SHOWN ON PLAT BOOK 1, PAGE 21, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
12. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
17. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8"IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
BFP	BACK FLOW PREVENTER
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CPP	CONCRETE POWER POLE
0.00	ELEVATIONS
UNK	UNKNOWN TREE TYPE
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

LAND DESCRIPTION:

LOTS 19, 20 AND 21, BLOCK 20 OF "HOLLYWOOD", ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:

1920 PIERCE LLC, A FLORIDA LIMITED LIABILITY COMPANY
ALEX D. SIRULNIK, P.A.
FIDELITY NATIONAL TITLE INSURANCE COMPANY

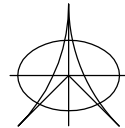
SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 17 AND 19 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON FEBRUARY 04, 2023.

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER: 9818-22

CLIENT :

MG3 GROUP

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	06/28/22	SKETCH	AM	REC
UPDATE SURVEY	02/04/23	SKETCH	JD	REC
REVISED PER O&E	04/19/23	SKETCH	AM	REC

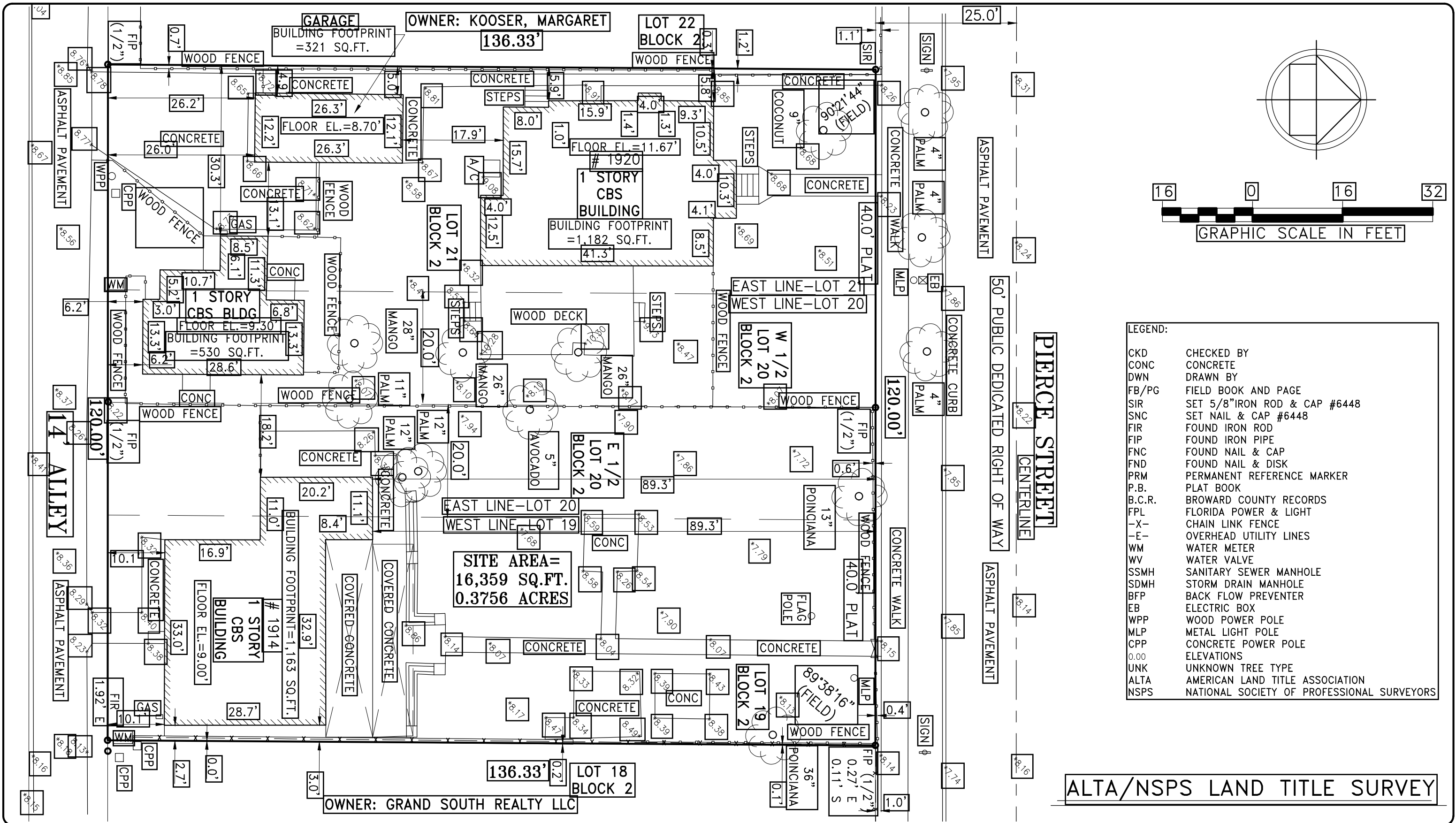
FLOOD ZONE INFORMATION
COMMUNITY NUMBER 125113
PANEL NUMBER 0569H
ZONE X
BASE FLOOD ELEV N/A
EFFECTIVE DATE 08/18/14

PROPERTY ADDRESS :

1914 & 1920 PIERCE STREET

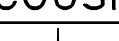
SCALE: N/A

SHEET 1 OF 2

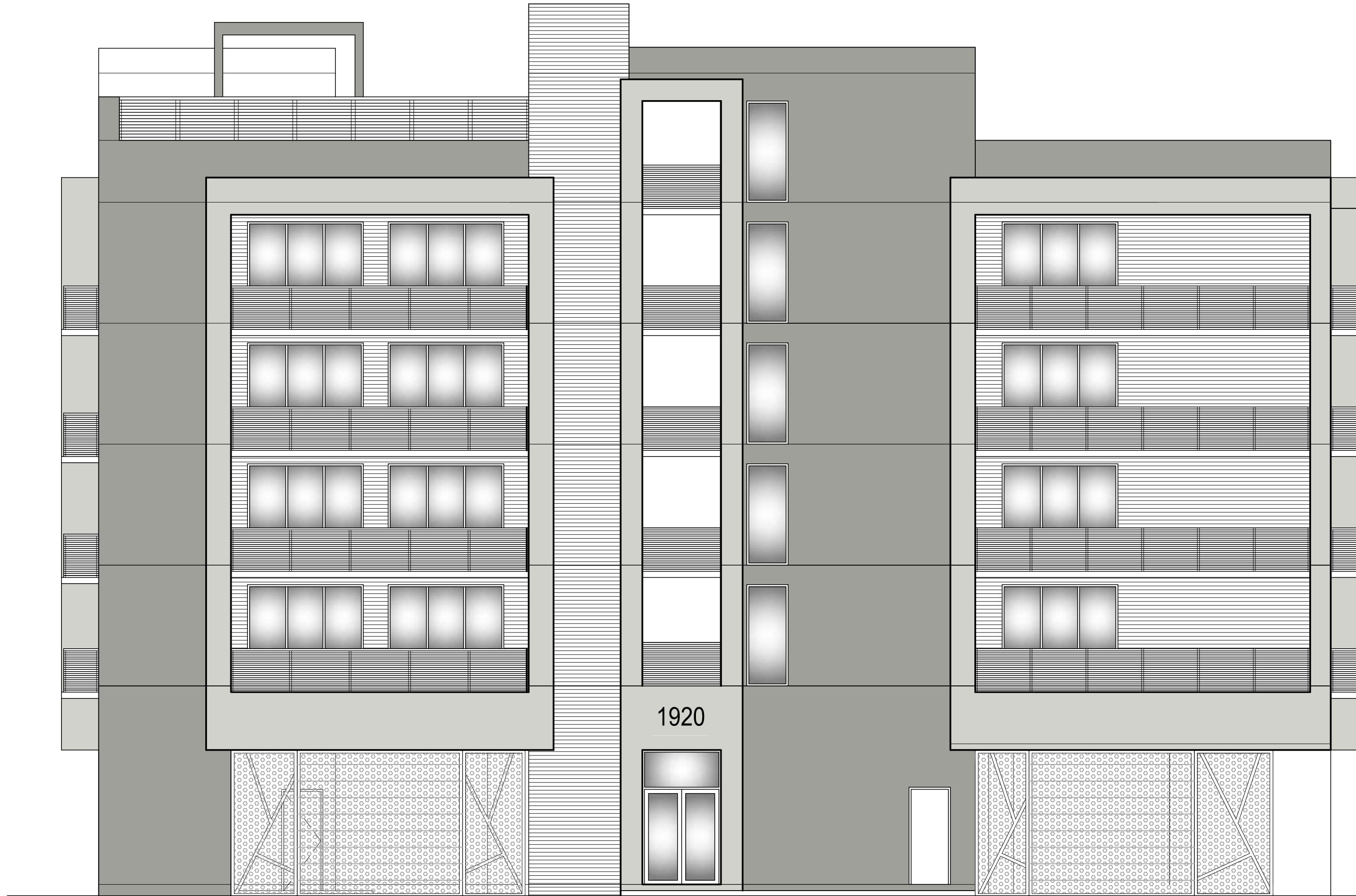


LEGEND:	
CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8"IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
BFP	BACK FLOW PREVENTER
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CPP	CONCRETE POWER POLE
0.00	ELEVATIONS
UNK	UNKNOWN TREE TYPE
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

ALTA/NSPS LAND TITLE SURVEY

COUSINS SURVEYORS & ASSOCIATES, INC.					PROJECT NUMBER: 9818-22		REVISIONS					DATE	FB/PG	DWN	CKD	FLOOD ZONE INFORMATION					PROPERTY ADDRESS :	
 3921 SW 47TH AVENUE, SUITE 1011 DAVIE, FLORIDA 33314 CERTIFICATE OF AUTHORIZATION : LB # 6448 PHONE (954)689-7766 FAX (954)689-7799					CLIENT :		ALTA/NSPS LAND TITLE SURVEY					06/28/22	SKETCH	AM	REC	COMMUNITY NUMBER 125113					1914 & 1920 PIERCE STREET	
							UPDATE SURVEY					02/04/23	SKETCH	JD	REC	PANEL NUMBER 0569H					SCALE: 1"= 16'	
							REVISED PER O&E					04/19/23	SKETCH	AM	REC	ZONE X					SHEET 2 OF 2	
																BASE FLOOD ELEV N/A						
																EFFECTIVE DATE 08/18/14						
					MG3 GROUP																	

NEW 32 UNITS DEVELOPMENT AT
DOWNTOWN HOLLYWOOD
 1914 - 1920 PIERCE STREET HOLLYWOOD, FLORIDA 33020
 (RESPONSE TO TAC COMMENTS DATED MARCH 20, 2023)



INDEX OF DRAWINGS








ARCHITECTURAL:

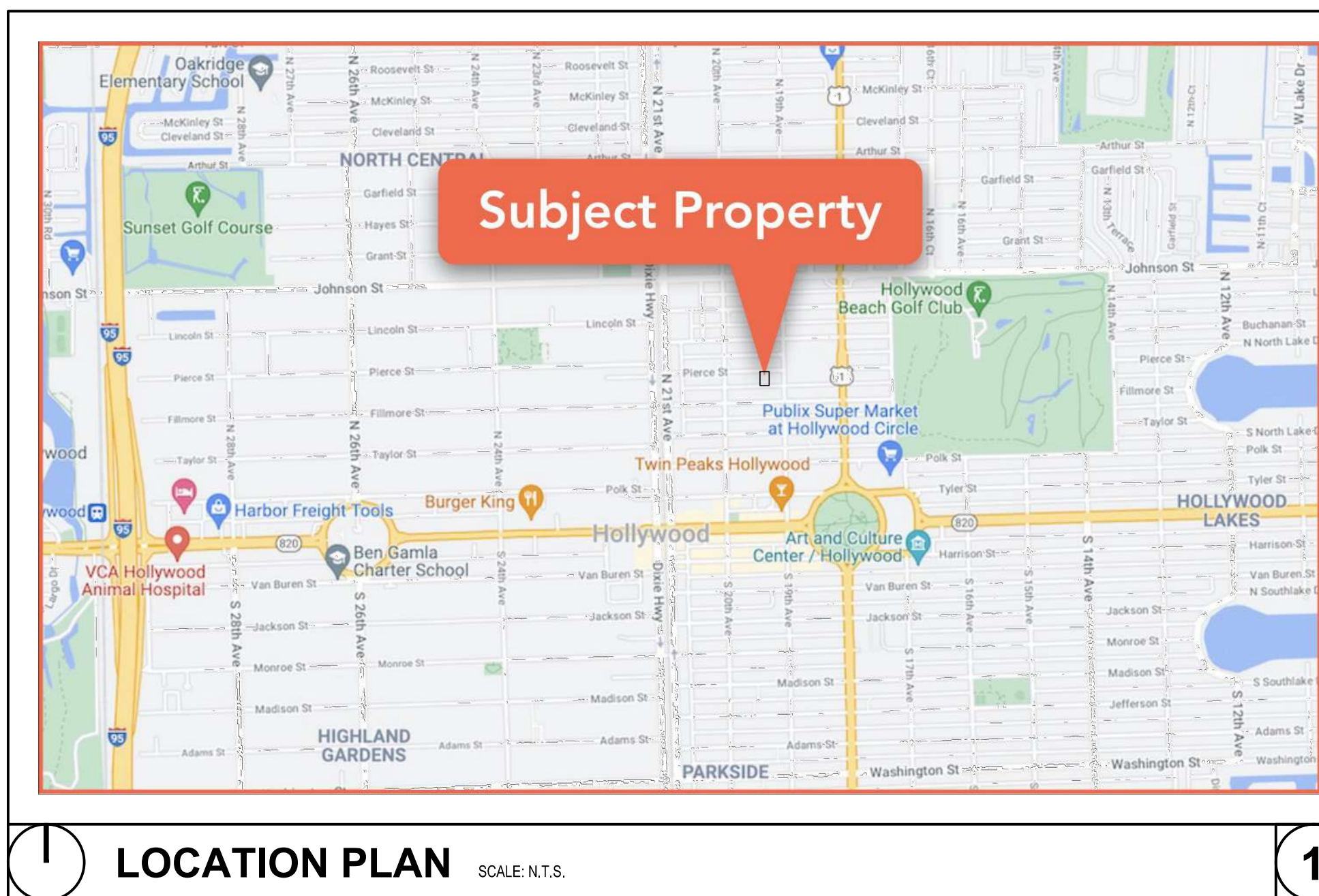
<u>REV.</u>	<u>DATE</u>	<u>SHEET</u>	<u>TITLE</u>
▲	03.28.23	A000	COVER SHEET
▲	03.28.23	A100	PROPOSED GROUND FLOOR / SITE PLAN AND NOTES
▲	03.28.23	A101	FAR AND OPEN AREAS SQUARE FEET PLANS
▲	03.28.23	A102	PROPOSED SECOND AND THIRD FLOOR PLANS
▲	03.28.23	A103	PROPOSED FOURTH AND FIFTH FLOOR PLANS
▲	03.28.23	A104	PROPOSED ROOF PLAN AND PARKLIFT DETAILS
▲	03.28.23	A201	PROPOSED SOUTH AND WEST EXTERIOR ELEVATIONS
▲	03.28.23	A202	PROPOSED NORTH AND EAST EXTERIOR ELEVATIONS

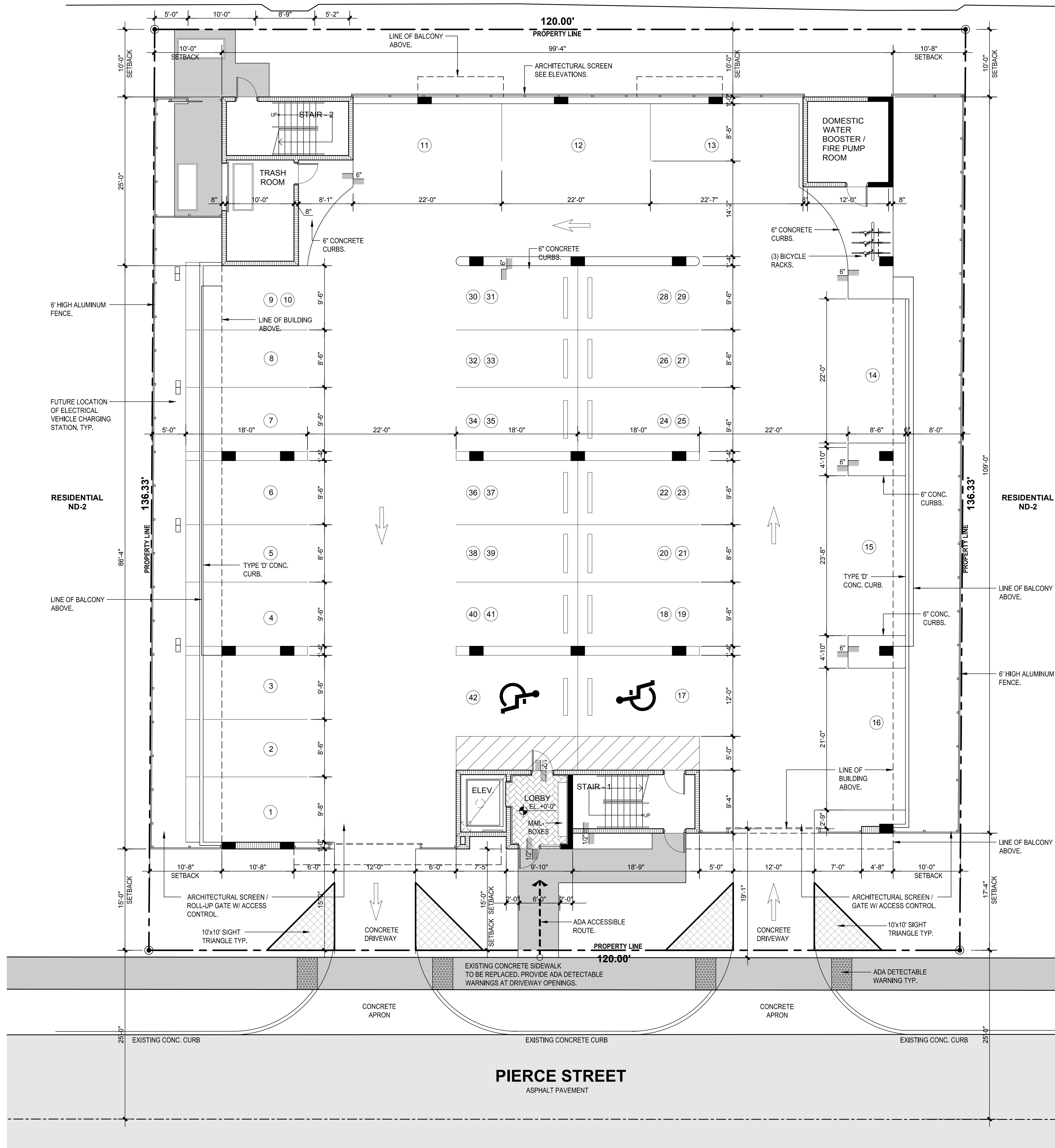
CIVIL:

<u>REV.</u>	<u>DATE</u>	<u>SHEET</u>	<u>TITLE</u>
1	06.15.23	C-1	SITE PAVING, GRADING, AND DRAINAGE PLAN
1	06.15.23	C-2	SITE PAVING, GRADING, AND DRAINAGE DETAILS
1	06.15.23	C-3	WATER AND SEWER PLAN
1	06.15.23	C-4	WATER AND SEWER DETAILS
1	06.15.23	C-5	WATER AND SEWER DETAILS
1	06.15.23	C-6	PAVEMENT MARKINGS AND SIGNAGE PLAN
1	06.15.23	C-7	GENERAL NOTES
1	06.15.23	C-8	STORMWATER POLLUTION PREVENTION PLANS

LANDSCAPE:

<u>REV.</u>	<u>DATE</u>	<u>SHEET</u>	<u>TITLE</u>
	03.28.23	TD-1	TREE DISPOSITION PLAN
	03.28.23	TD-2	TREE DISPOSITION DETAILS, SPECIFICATIONS
	03.28.23	L-1	SITE LANDSCAPE PLAN
	03.28.23	L-2	LANDSCAPE DETAILS, SPECIFICATIONS, ETC.
	03.28.23	L-3	SECOND LEVEL COURTYARD LANDSCAPE PLAN
	03.28.23	L-4	ROOF-POOL LEVEL LANDSCAPE PLAN
	03.28.23	IRR-1	SITE IRRIGATION PLAN
	03.28.23	IRR-2	IRRIGATION DETAILS, SPECIFICATIONS, ETC.
	03.28.23	IRR-3	SECOND LEVEL COURTYARD IRRIGATION PLAN
	03.28.23	IRR-4	ROOF-POOL LEVEL IRRIGATION PLAN





GENERAL ZONING REQUIREMENTS

BUILDING ADDRESS:
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

BUILDING ZONING:
EXISTING ZONING DESIGNATION: ND-2

LAND AREAS:
LAND AREA NET SF. 16,360 SF.
LAND AREA NET ACRES 0.3755

BUILDING FAR:
ALLOWED: 2 16,360 X 2 = 32,720 SF.
PROVIDED: 1.99 32,525SF.

LOT COVERAGE:
PROPOSED LOT COVERAGE: 11,533 SF. / **70.49%**

PAVED AREA:
PROPOSED PAVED AREA 688 SF. / **4.20%**

LANDSCAPE AREAS:
PROPOSED LANDSCAPED AREA 4,136 SF. / **25.31%**

SETBACKS:
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

BUILDING HEIGHT LIMITATIONS:
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"
ROOF TOP AMENITIES PERMITTED TO EXCEED 15'-0" = 70'-0"
POOL DECK PROVIDED 65'-0"
TOP OF STAIR / ELEVATOR PROVIDED 69'-6"

PARKING REQUIREMENTS FOR 32 APARTMENTS
REQUIRED 1 PER 1 BEDROOM (20) 1 BEDROOM = 20 SPACES
REQUIRED 1.5 PER 2 BEDROOMS (12) 2 BEDROOMS = 18 SPACES
REQUIRED FOR GUEST 1 PER 10 = 4 (4) SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED 42 SPACES
TOTAL PARKING SPACES PROVIDED 42 SPACES

ADA PARKING **REQUIRED** (2 SPACES)
ADA PARKING **PROVIDED** (2 SPACES)

NOTE

- ANY CHANGES TO DESIGN, INCLUDING MATERIAL CHANGES, MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.
- PROVIDE 0.5 FOOT CANDLE LIGHTING.
- BUILDING SHALL COMPLY WITH THE REQUIREMENT OF NFPA1 (2018 ED.) SECTION 12.3.2

GREEN BUILDING CERTIFICATION TO BE ACHIEVED.

- ELECTRIC VEHICLE PROVISIONS (INFRASTRUCTURE ONLY).
- HVAC 18 SEER OR HIGHER.
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY / VACANCY SENSORS (NOT SURE IF THIS ONE CAN BE USED ONLY IN COMMON AREAS).
- MERV AIR FILTERS AT LEAST 8
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- DUAL FLUSH TOILETS (1/1.6 FLUSH)
- ENERGY STAR APPROVED ROOFING MATERIALS.
- ENERGY EFFICIENT (LOW-E) WINDOWS.
- ENERGY EFFICIENT DOORS.

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

NEW 32 UNITS
DEVELOPMENT AT:
**DOWNTOWN
HOLLYWOOD**

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

03.28.23 TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:
PROPOSED GROUND FLOOR /
SITE PLAN.

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A100**
2 of 8

**SUMMARY OF THE MINUTES
TECHNICAL ADVISORY COMMITTEE MEETING**

**CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020**

A. ADMINISTRATIONS

The regular meeting of the Technical Advisory Committee (TAC) convened at 1:35 p.m. on March 20, 2023 at City Hall located at 2600 Hollywood Boulevard, Room 215, and via Cisco WebEx, with the following members present:

Andria Wingett	Development Services – Deputy Director / Planning Manager
Clarissa Ip	Development Services – Engineering
Rick Mitinger	Development Services – Engineering
Daniel Quintana	Development Services - Building
Marina Melo	Communications, Marketing, and Economic Development
Francisco Diaz-Mendez	Communications, Marketing Community Redevelopment Agency
Favio Perez	Landscape Inspector / Plans Examiner
Liliana Beltran	Housing Inspector
Marcy Hofle	Fire Rescue and Beach Safety

The following members from the Department of Development Services – Division of Planning and Urban Design were also present:

Carmen Diaz	Planning Administrator
Mawusi Watson	Planning Administrator
Laura Gomez	Associate Planner
Tasheema Lewis	Associate Planner

B. APPROVAL OF MINUTES

Motion for approval of the March 6th, 2023 Meeting Minutes was made by Rick Mitinger and seconded by Daniel Quintana.
Approved.

C. PRELIMINARY SITE PLAN REVIEW

1. **FILE NO.:** 23-DP-26
APPLICANT: Aviva & Sam, LLC.
LOCATION: 2420 Lincoln Street
REQUEST: Site Plan Review for a 9-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, Patricia Antrican and Geraldine Rosner commented. Andria Wingett closed the public comment portion.

2. **FILE NO.:** 23-DP-25
APPLICANT: Ghasem Jafarmadar & Tida Saniei
LOCATION: 1837-1855 Johnson Street
REQUEST: Site Plan Review for a 14-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no public comments were made. Andria Wingett closed the public comment portion.

3. **FILE NO.:** 23-DP-20
APPLICANT: Air Abodes, LLC.
LOCATION: 1914-1920 Pierce Street
REQUEST: Site Plan Review for a 32-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no public comments were made. Andria Wingett closed the public comment portion.

D. FINAL SITE PLAN REVIEW

- 4. FILE NO.:** 23-DP-10
APPLICANT: G&T Enterprises FL, LLC.
LOCATION: 1919 Johnson Street
REQUEST: Site Plan Review for a 10-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, Jack Jafarmadar commented. Andria Wingett closed the public comment portion.

- 5. FILE NO.:** 23-DP-02
APPLICANT: 2026 Fletcher, LLC.
LOCATION: 2022-2026 Fletcher Street
REQUEST: Site Plan Review for a 42-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Public comment was opened and no public comments were made. Andria Wingett closed the public comment portion.

- 6. FILE NO.:** 23-DP-08
APPLICANT: Van Buren Flats, LLC.
LOCATION: 2202-2204 Van Buren Street
REQUEST: Site Plan Review for a 42-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Public comment was opened, Helen Chervin commented. Andria Wingett closed the public comment portion.

- 7. FILE NO.:** 22-DP-42
APPLICANT: MMVJ Land, LLC.
LOCATION: 2005-2007, 2011 Jackson Street
REQUEST: Site Plan Review for a 49-unit residential development (2005-2007-2011 Jackson)

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Public comment was opened and no public comments were made. Andria Wingett closed the public comment portion.

- 8. FILE NO.:** 23-DP-09
APPLICANT: 1735-1739 Jackson Street, LLC.
LOCATION: 1735-1739 Jackson Street
REQUEST: Site Plan Review for a 78-unit residential development

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Public comment was opened and no public comments were made. Andria Wingett closed the public comment portion.

- 9. FILE NO.:** 23-DP-15
APPLICANT: 6015 Washington, LLC.
LOCATION: 6015 Washington Street
REQUEST: Site Plan Review for a Mixed-use development with 115 residential units and approximately 800 sq. ft. retail space (Residencies at Beverly Park)

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Public comment was opened and no public comments were made. Andria Wingett closed the public comment portion.

E. OLD BUSINESS

-Andria Wingett Deputy Director / Planning Manager, provided a brief update on prioritizing projects.

F. NEW BUSINESS

G. ADJOURNMENT

The meeting adjourned at approximately **3:44 p.m.**

**SUMMARY OF THE MINUTES
TECHNICAL ADVISORY COMMITTEE MEETING**

**CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020**

A. ADMINISTRATIONS

The regular meeting of the Technical Advisory Committee (TAC) convened at 1:32 p.m. on July 17, 2023 at City Hall located at 2600 Hollywood Boulevard, Room 215, and via Cisco WebEx, with the following members present:

Raelin Storey	Assistant City Manager
Andria Wingett	Development Services – Interim Director
Anand Balram	Planning Division – Planning Manager
Cameron Palmer	Planning Division – Principal Planner
Clarissa Ip	Engineering Division – City Engineer
Rick Mitinger	Engineering Division – Transportation Engineer
Daniel Quintana	Building Division – Assistant Building Official
Alicia Vereas-Feria	Public Utilities
Herbert Conde-Parlato	Communications, Marketing, and Economic Development
Marina Melo	Economic Development Representative
Favio Perez	Landscape Inspector / Plans Examiner
Susan Goldberg	CRA – Deputy Director
Francisco Diaz	CRA – Project Manager
Chris Clinton	Fire Rescue and Beach Safety – Fire Marshall
Linda D’Arpino-Vazquez	Office of Communications, Marketing and Economic Development
	Administrative Assistant II

The following members from the Department of Development Services – Division of Planning and Urban Design were also present:

Mawusi Watson	Planning Administrator
Carmen Diaz	Planning Administrator
Isaiah Valcin	Development Review Coordinator
Tasheema Lewis	Associate Planner
Daniela “Solange” Baquero-Meza	Administrative Assistant I
Shira Ridley Risk	Administrative Specialist II

B. APPROVAL OF MINUTES

Motion for approval of the July 3, 2023 Meeting Minutes was made by Rick Mitinger and seconded by Daniel Quintana (Approved).

C. PRELIMINARY SITE PLAN REVIEW

- 1. FILE NO.:** 23-DP-61
APPLICANT: 2543 Polk Street LLC
LOCATION: 2543 Polk Street
REQUEST: Site Plan Approval for a 30-unit Residential Development (2543 Polk Street Apartments).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no comments were submitted and/or made. Andria Wingett closed public comment portion.

- 2. FILE NO.:** 23-DP-62
APPLICANT: Hollywood Pointe III LLC
LOCATION: 2320 Polk Street
REQUEST: Site Plan Review for a 30-unit Residential Development (2320 Polk Street Apartments).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no comments were submitted and/or made. Andria Wingett closed public comment portion.

- 3. FILE NO.:** 23-DP-60
APPLICANT: Bardi VP LLC
LOCATION: 2100 N Federal Highway
REQUEST: Site Plan Review for a Mixed-use development with 202 Residential units and approximately 11,000 sq. ft. of commercial space (21 Hollywood).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee

prior to submitting for Final TAC. Public comment was opened, Ken Crawford made comments regarding the project. No additional comments were submitted and/or made. Andria Wingett closed public comment portion.

D. FINAL SITE PLAN REVIEW

- 4. FILE NO.:** 23-DP-34
APPLICANT: Super Seven LLC
LOCATION: 2351 Thomas Street
REQUEST: Site Plan Review for an 18-unit Residential Development (Super Seven LLC).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no comments were submitted and/or made. Andria Wingett closed public comment portion.

- 5. FILE NO.:** 23-DP-20
APPLICANT: Air Abodes LLC
LOCATION: 1914-1920 Pierce Street
REQUEST: Site Plan Review for a 32-unit Residential Development (Pierce Street Apartments).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened. Elaine Kooser and Lynn Smith made comments regarding appropriateness of the project. No additional comments were submitted and/or made. Andria Wingett closed public comment portion.

- 6. FILE NO.:** 23-DP-45
APPLICANT: DTD 190 LLC
LOCATION: 2231 Fillmore Street & 2224 Pierce Street
REQUEST: Site Plan Review for a 63-unit Residential Development (2231 Fillmore Street – 2224 Pierce Street Apartments).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to

submitting for Final TAC. Public comment was opened, and no comments were submitted and/or made. Andria Wingett closed public comment portion.

7. **FILE NO.:** 23-P-58
APPLICANT: Federation Plaza LB/Lake Deray Investors LP
LOCATION: 3081 Taft Street
REQUEST: Site Plan Review to modify the number of parking spaces from 128 to 155 (Federation Plaza).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened, and no comments were submitted and/or made. Andria Wingett closed public comment portion.

8. **FILE NO.:** 22-DP-62
APPLICANT: 1817 Taylor Development LLC
LOCATION: 410 N Federal Highway
REQUEST: Site Plan Review for a Mixed-use Development including 248 residential units and approximately 8,500 sq. ft. of commercial and office space (Star Tower Hollywood).

Andria Wingett asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for Final TAC. Public comment was opened. Ken Crawford made comments regarding this project. No additional comments were submitted and/or made. Andria Wingett closed public comment portion.

E. OLD BUSINESS

Nothing was discussed

F. NEW BUSINESS

Routing TAC Signoffs:

Daniel Quintana discussed signoff information regarding the following projects:

1. 2135 Lincoln Street (19-DP-72) - Carmen
2. 2012 Adams Street (21-DP-55) - Carmen

3. 1926 Johnson Street (21-DP-59) - Carmen
4. 807 N 24th Avenue (22-DP-52) – Carmen
5. 2438-2442 Johnson Street (22-DPV-50) – Carmen
6. 1739-1743 Washington Street (22-DPV-03) – Carmen
7. 1911 Roadman Street (22-DP-32) – Carmen

Andria discussed that TAC will be in recess during the month of August. There are approximately ten items trying to make the next TAC meeting for 9/5/23.

The meeting was adjourned at 3:51 p.m.

G. PRE-APPLICATION CONCEPTUAL OVERVIEW (PACO)

PACO items were discussed.

The meeting adjourned at approximately 5:42 p.m.

ATTACHMENT C

Public Participation Outreach

January 26, 2024

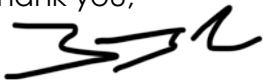
RE: COMMUNITY OUTREACH

Dear Ms. Tasheema Lewis;

Please allow this letter to service as notice that 1920 Pierce, LLC hosted a virtual meeting on Wednesday August 30, 2023 at 6:30 p.m. to present the proposed multifamily condo project to the community.

During this virtual meeting the ABH Developer Group team consisting of the architect, landscape architect and civil engineer answered questions and listened to input from neighbors in support of the project and some with concerns. ABH Developer Group took the primary concerns into account by "softening" some design elements and reducing the overall density.

Thank you,



Mr. Alexis Bogomolni – ABH Developer Group
1920 Pierce, LLC
(786) 252-9459

August 07, 2023

**RE: INVITATION TO UPCOMING ZOOM MEETING
DISCUSSION ON PROPOSED DEVELOPMENT AT 1914-1920 PIERCE STREET**

Dear Neighbors;

ABH Developer Group would like to invite you to join us via Zoom on **Wednesday August 30, 2023 at 6:30 PM.** For Zoom link details please email pbutler@mg3group.com or call (786) 634-4509.

We'll talk about the proposed five story building with 32 units; to be located at 1914 – 1920 Pierce. We look forward to seeing you in the Zoom.



Thank you,

Pamela Butler
Sr. Development Coordinator
pbutler@mg3developer.com

ZOOM COMMUNITY OUTREACH AUGUST 30, 2023 6:30 PM

Cat Uden	theoceanismyfavorite@gmail.com
Celia Roberts	plumes2@yahoo.com
John Robinson	jwrobinso@yahoo.com
Mark Io	mi.77mark@gmail.com
Coleen Ross	crossdreamhomes@gmail.com
Alexander Herrin	alexherrin@gmail.com
Parkside Civic Association	parksideken@aol.com
Aaron A. Karger	aaron@aak-law.com
Emilia Shinas	emilia@eastcoastrealtyusa.com
Jacob Eljaua	ejacob@allstate.com
Roy Sampat	royksampat@gmail.com
Peter Pazer	rcky45@aol.com
Elaine Kooser	ekooser@aol.com
Patricia Antrican	ann2can@bellsouth.net
Christine Corbo	ccorbo920@aol.com
Julie Greenfield	julie.greenfield@me.com

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**NEW 32 UNITS
DEVELOPMENT AT:
DOWNTOWN
HOLLYWOOD**

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:

PROPOSED GROUND FLOOR /
SITE PLAN.

DELIVERY DATE:

02.13.23

DRAWN BY:

J.B.

CHECKED BY:

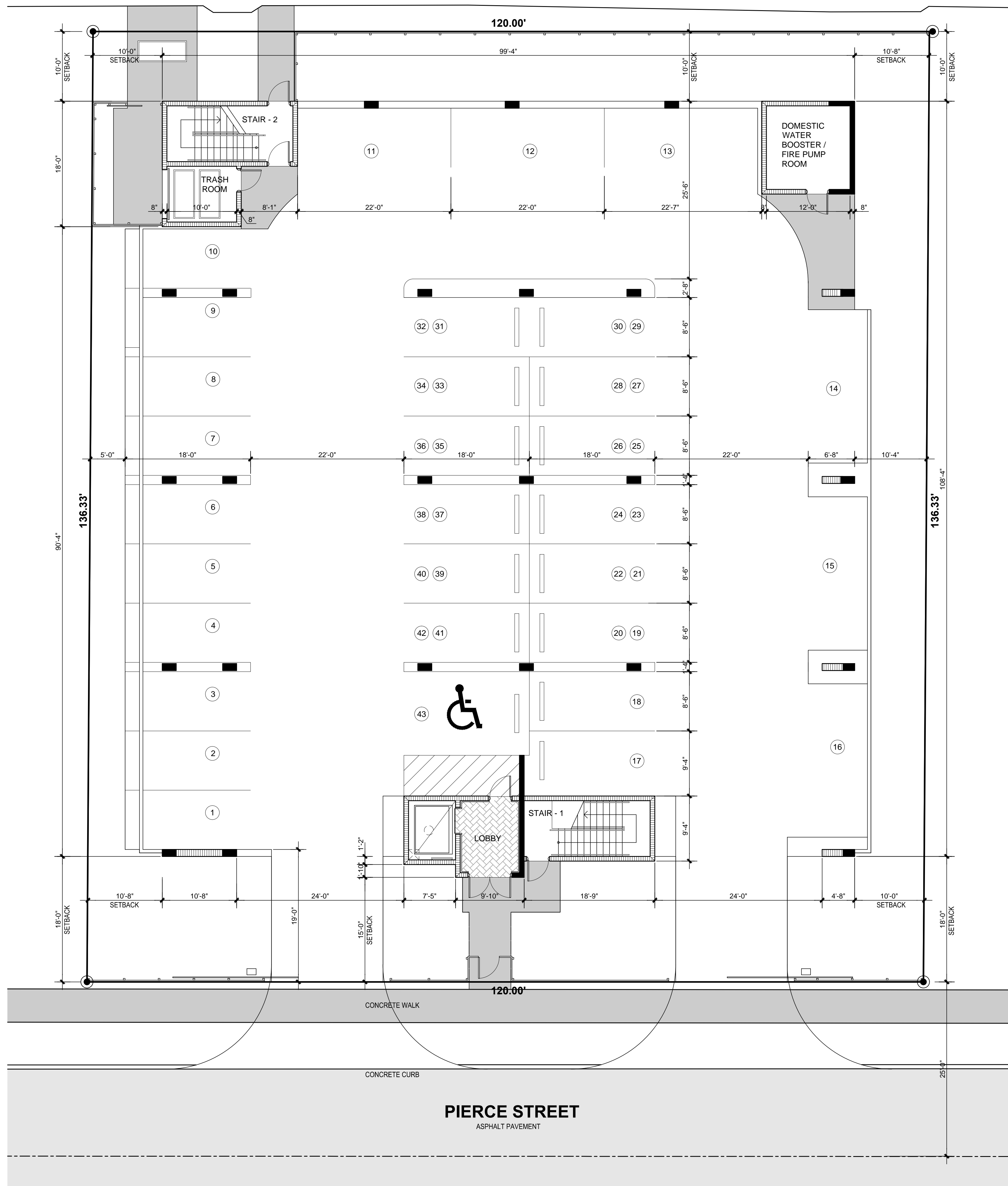
A.L.L.

REF NUMBER:

SHEET NO.

A100

1 OF 6



GENERAL ZONING REQUIREMENTS

BUILDING ADDRESS:
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

BUILDING ZONING:
EXISTING ZONING DESIGNATION: ND-2

LAND AREAS:
LAND AREA NET SF. 16,360 SF.
LAND AREA NET ACRES 0.3755

BUILDING FAR:
ALLOWED: 2 16,360 X 2 = 32,720 SF.
PROVIDED: 1.91 31,238 SF.

LOT COVERAGE:
PROPOSED LOT COVERAGE: 11,533 SF. / **70.49%**

PAVED AREA:
PROPOSED PAVED AREA 688 SF. / **4.20%**

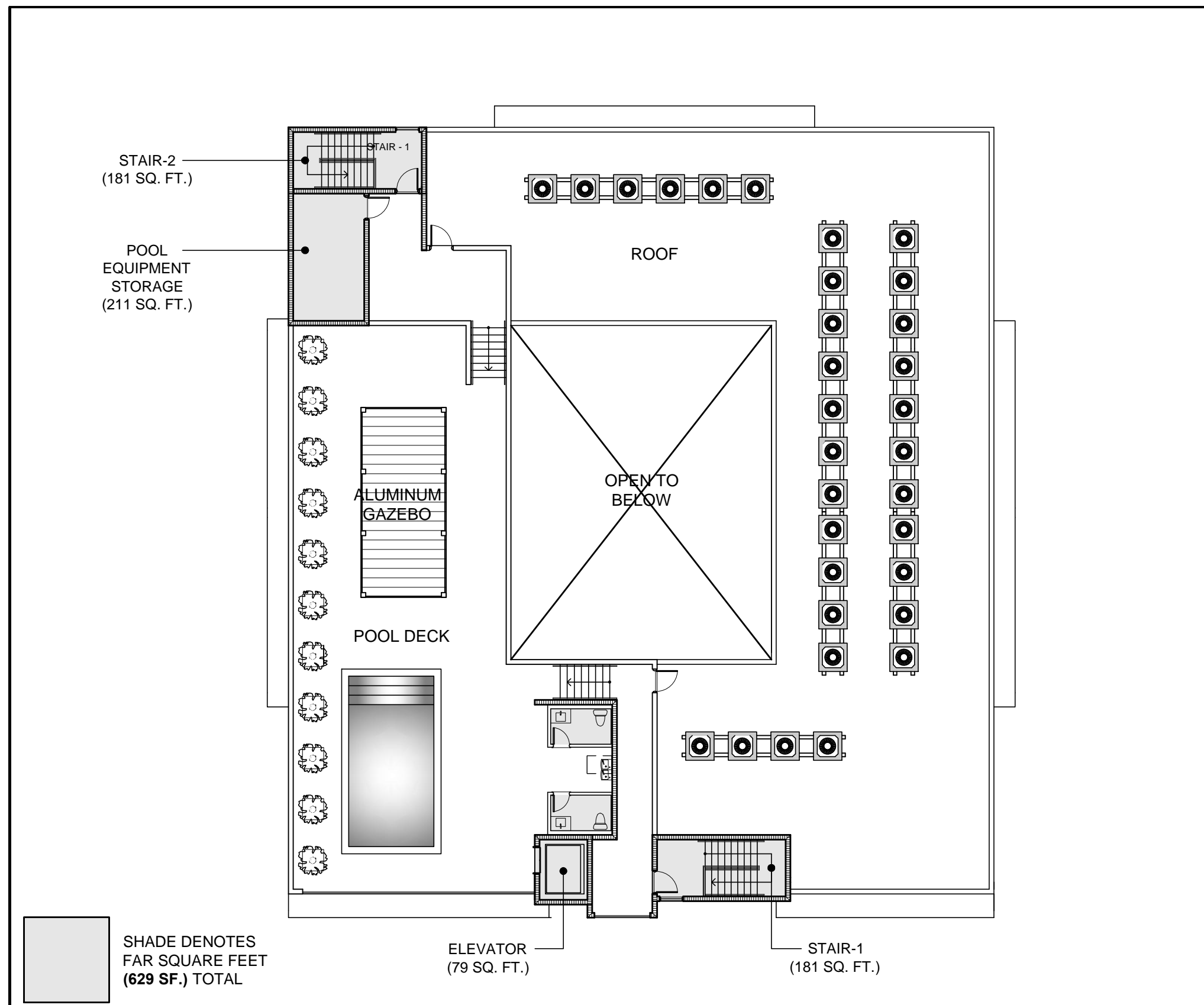
LANDSCAPE AREAS:
PROPOSED LANDSCAPED AREA 4,136 SF. / **25.31%**

SETBACKS:
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

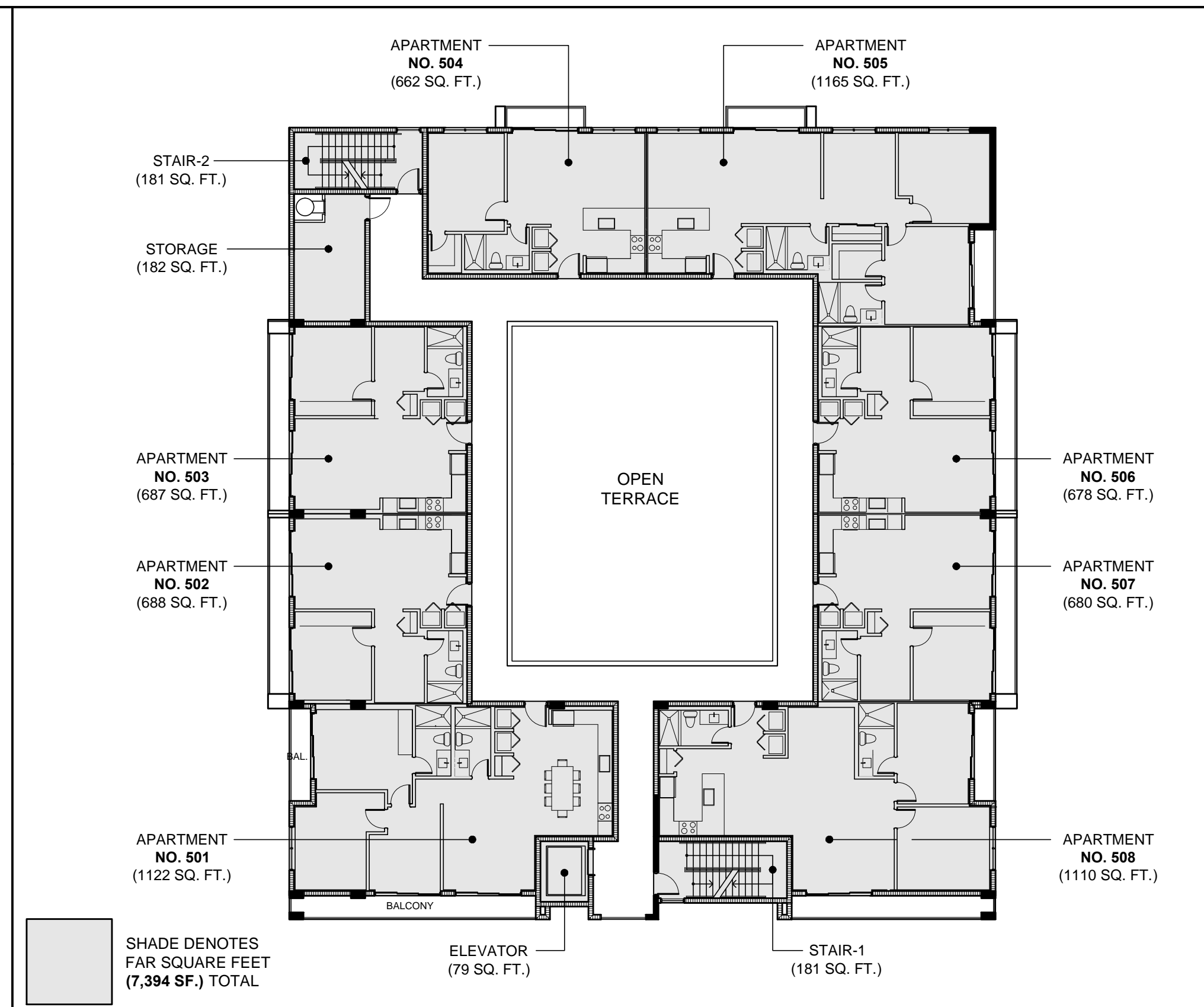
BUILDING HEIGHT LIMITATIONS:
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"
ROOF TOP AMENITIES PERMITTED TO EXCEED 15'-0" = 70'-0"
POOL DECK PROVIDED 65'-0"
TOP OF STAIR / ELEVATOR PROVIDED 69'-6"

PARKING REQUIREMENTS FOR 32 APARTMENTS
REQUIRED 1 PER 1 BEDROOM (20) 1 BEDROOM = 20 SPACES
REQUIRED 1.5 PER 2 BEDROOMS (12) 2 BEDROOMS = 18 SPACES
REQUIRED FOR GUEST 1 PER 10 = 4 (4) SPACES REQUIRED

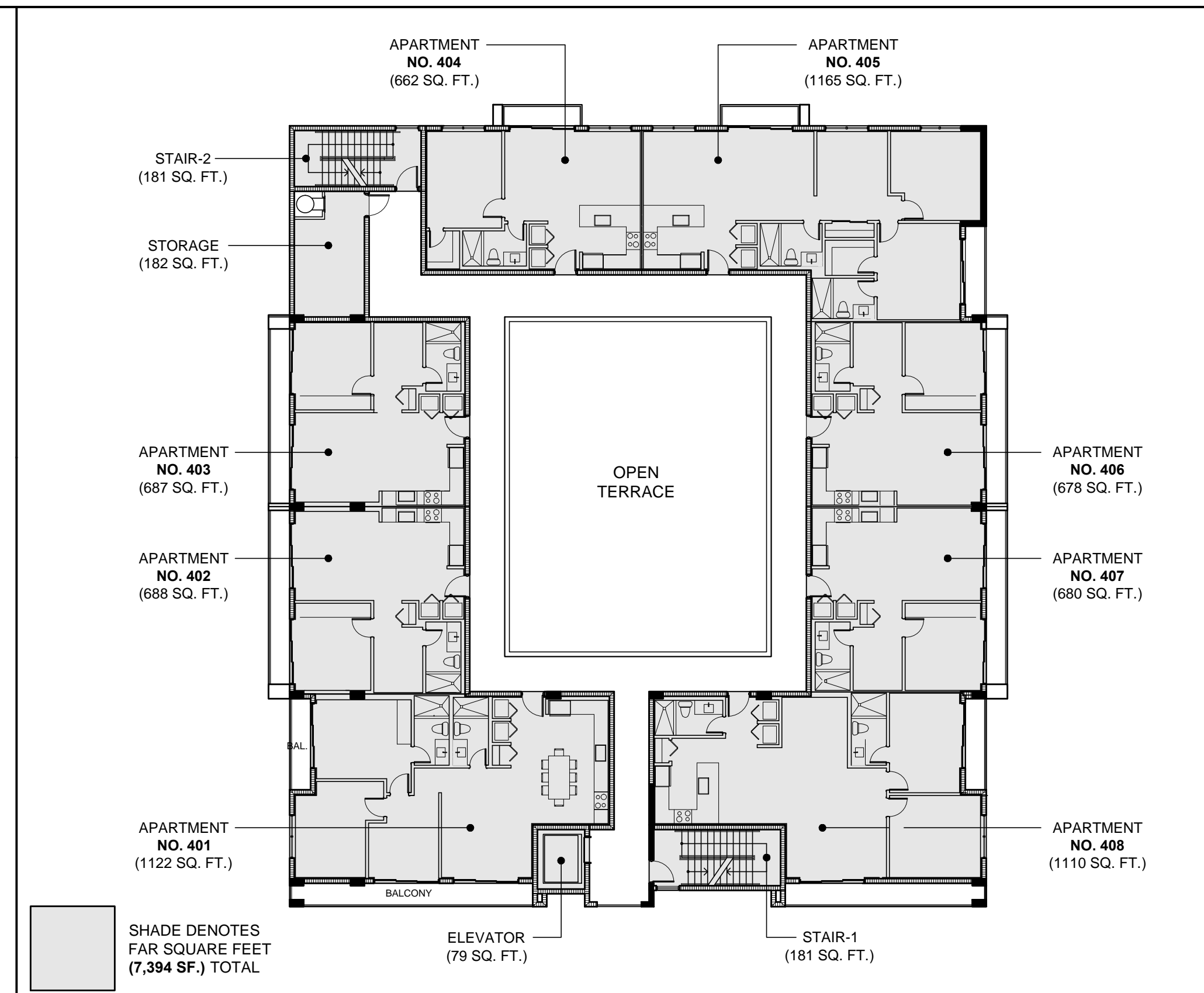
TOTAL PARKING SPACES REQUIRED 42 SPACES
TOTAL PARKING SPACES PROVIDED 43 SPACES



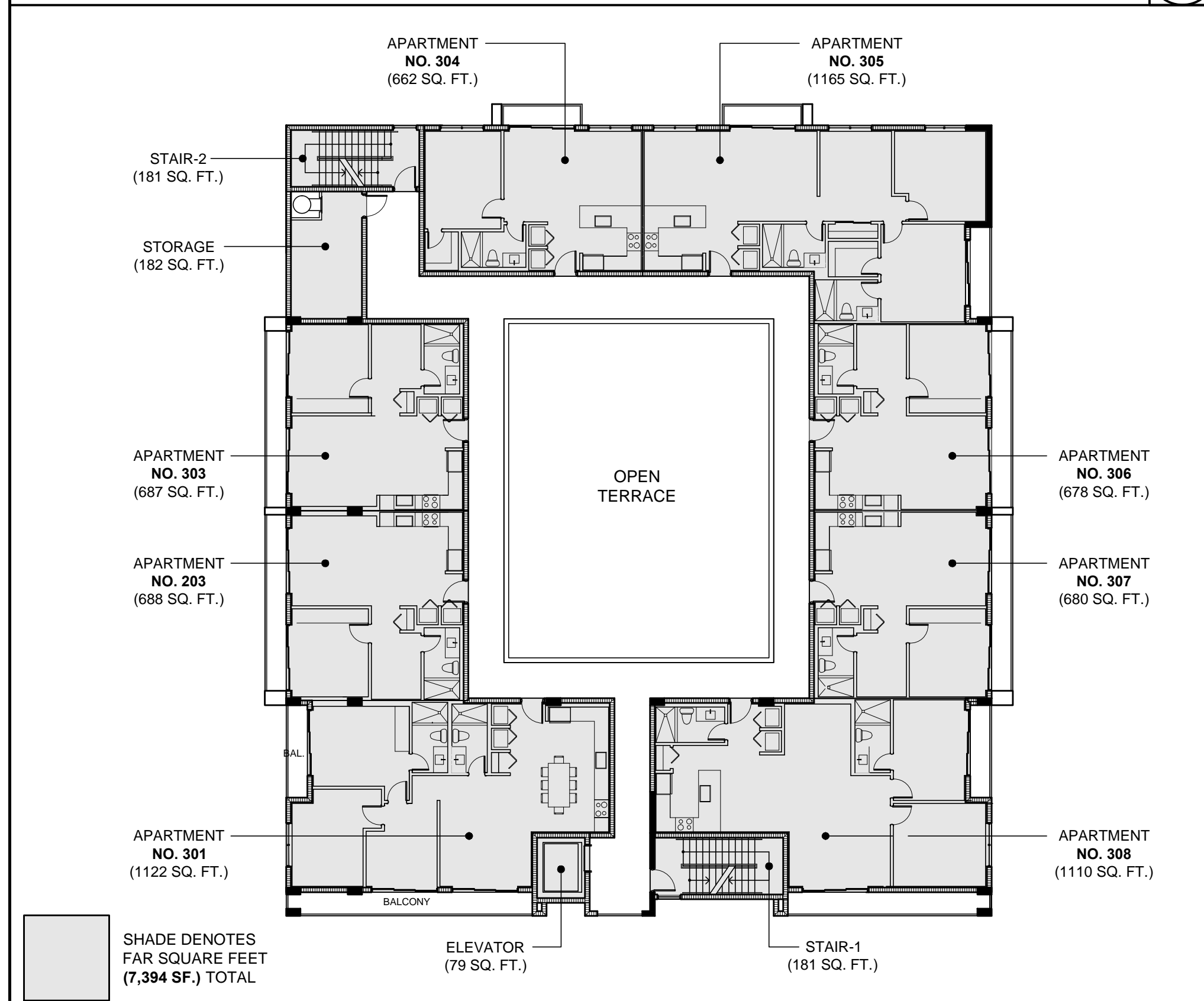
POOL / POOL DECK (FAR) PLAN SCALE: 1/16" = 1'-0"



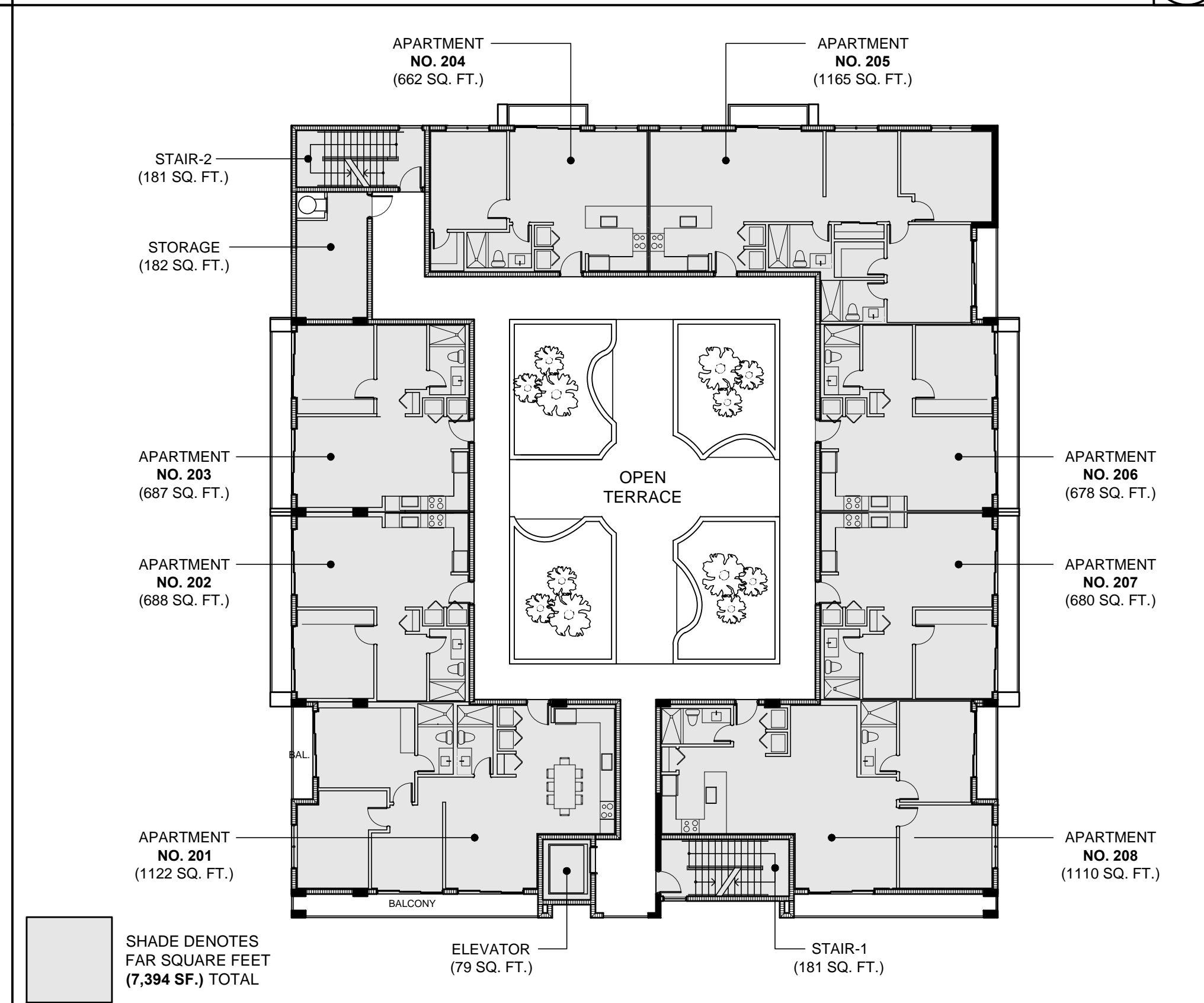
FIFTH (FAR) PLAN SCALE: 1/16" = 1'-0"



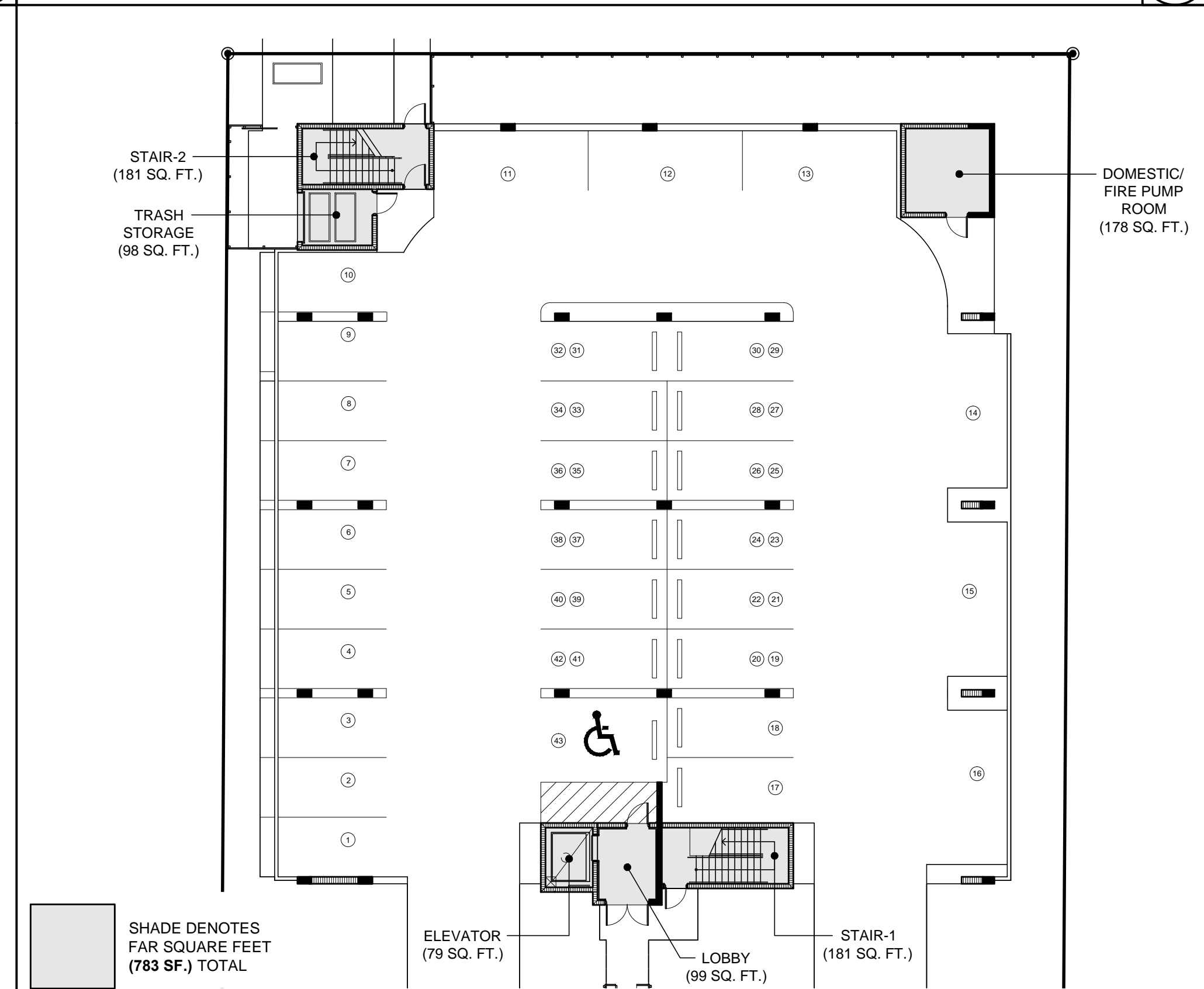
FOURTH (FAR) PLAN SCALE: 1/16" = 1'-0"



THIRD (FAR) PLAN SCALE: 1/16" = 1'-0"



SECOND (FAR) PLAN SCALE: 1/16" = 1'-0"



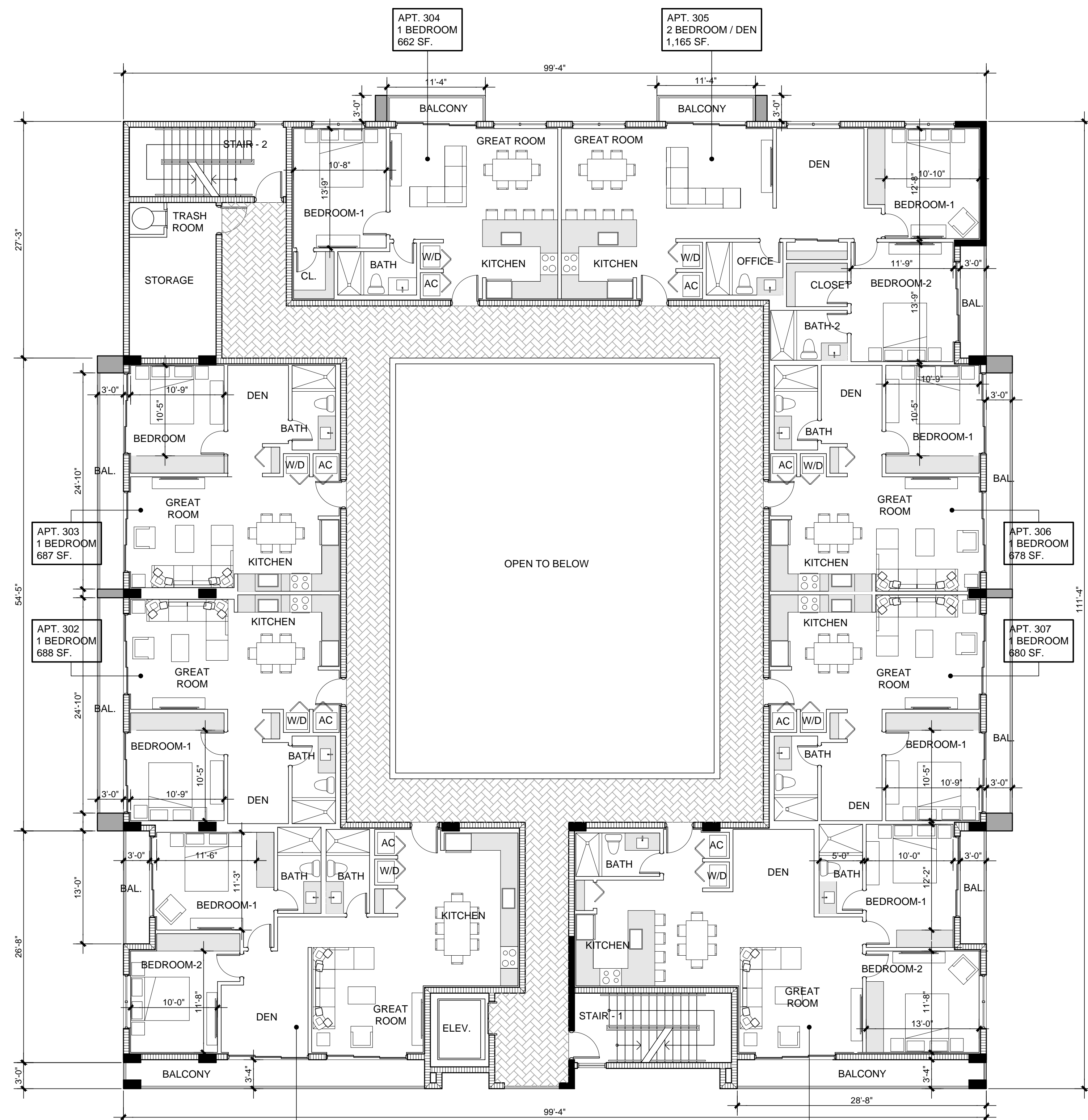
FIRST (FAR) PLAN SCALE: 1/16" = 1'-0"

FLOOR AREA RATIO CALCULATIONS (FAR)							
BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
LOBBY	99 SF.						99 SF.
ELEVATOR	80 SF.	80 SF.	80 SF.	80 SF.	80 SF.	80 SF.	480 SF.
STAIR NO. 1	181 SF.	181 SF.	181 SF.	181 SF.	181 SF.	181 SF.	1,086 SF.
STAIR NO. 2	181 SF.	181 SF.	181 SF.	181 SF.	181 SF.	181 SF.	1,086 SF.
TRASH STORAGE	90 SF.	182 SF.	182 SF.	182 SF.	182 SF.		728 SF.
DOMESTIC / FIRE PUMP ROOM	178 SF.						178 SF.
APARTMENT NO. 01		1,122 SF.	1,122 SF.	1,122 SF.	1,122 SF.		4,488 SF.
APARTMENT NO. 02		689 SF.	689 SF.	689 SF.	689 SF.		2,756 SF.
APARTMENT NO. 03		697 SF.	697 SF.	697 SF.	697 SF.		2,748 SF.
APARTMENT NO. 04		662 SF.	662 SF.	662 SF.	662 SF.		2,648 SF.
APARTMENT NO. 05		1,165 SF.	1,165 SF.	1,165 SF.	1,165 SF.		4,660 SF.
APARTMENT NO. 06		678 SF.	678 SF.	678 SF.	678 SF.		2,712 SF.
APARTMENT NO. 07		680 SF.	680 SF.	680 SF.	680 SF.		2,720 SF.
APARTMENT NO. 08		1,110 SF.	1,110 SF.	1,110 SF.	1,110 SF.		4,440 SF.
EQUIPMENT						194 SF.	194 SF.
POOL TOILETS						85 SF.	
FAR TOTALS	809 SF.	7,416 SF.	7,416 SF.	7,416 SF.	7,416 SF.	721 SF.	31,194 SF.

OPEN AREAS							
BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
SECOND FLOOR OPEN TERRACE AND WALKWAYS		3,352 SF.					3,352 SF.
OPEN WALKWAY			1,550 SF.	1,550 SF.	1,550 SF.		4,650 SF.
APARTMENT NO. 01 BALCONY		153 SF.	153 SF.	153 SF.	153 SF.		612 SF.
APARTMENT NO. 02 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 03 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 04 BALCONY		38 SF.	38 SF.	38 SF.	38 SF.		152 SF.
APARTMENT NO. 05 BALCONY		76 SF.	76 SF.	76 SF.	76 SF.		304 SF.
APARTMENT NO. 06 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 07 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 08 BALCONY		134 SF.	134 SF.	134 SF.	134 SF.		536 SF.
POOL AND POOL DECK						3,400 SF.	3,400 SF.
OPEN AREAS TOTALS		4,077 SF.	2,275 SF.	2,275 SF.	2,275 SF.	3,400 SF.	14,302 SF.
POOL							
BUILDING FAR AND OPEN AREAS							
FAR TOTALS	809 SF.	7,476 SF.	7,427 SF.	7,427 SF.	7,427 SF.	721 SF.	31,238 SF.
OPEN AREAS TOTALS		4,077 SF.	2,275 SF.	2,275 SF.	2,275 SF.	3,400 SF.	14,302 SF.
TOTAL	809 SF.	11,553 SF.	9,702 SF.	9,702 SF.	9,702 SF.	4,121 SF.	45,540 SF.



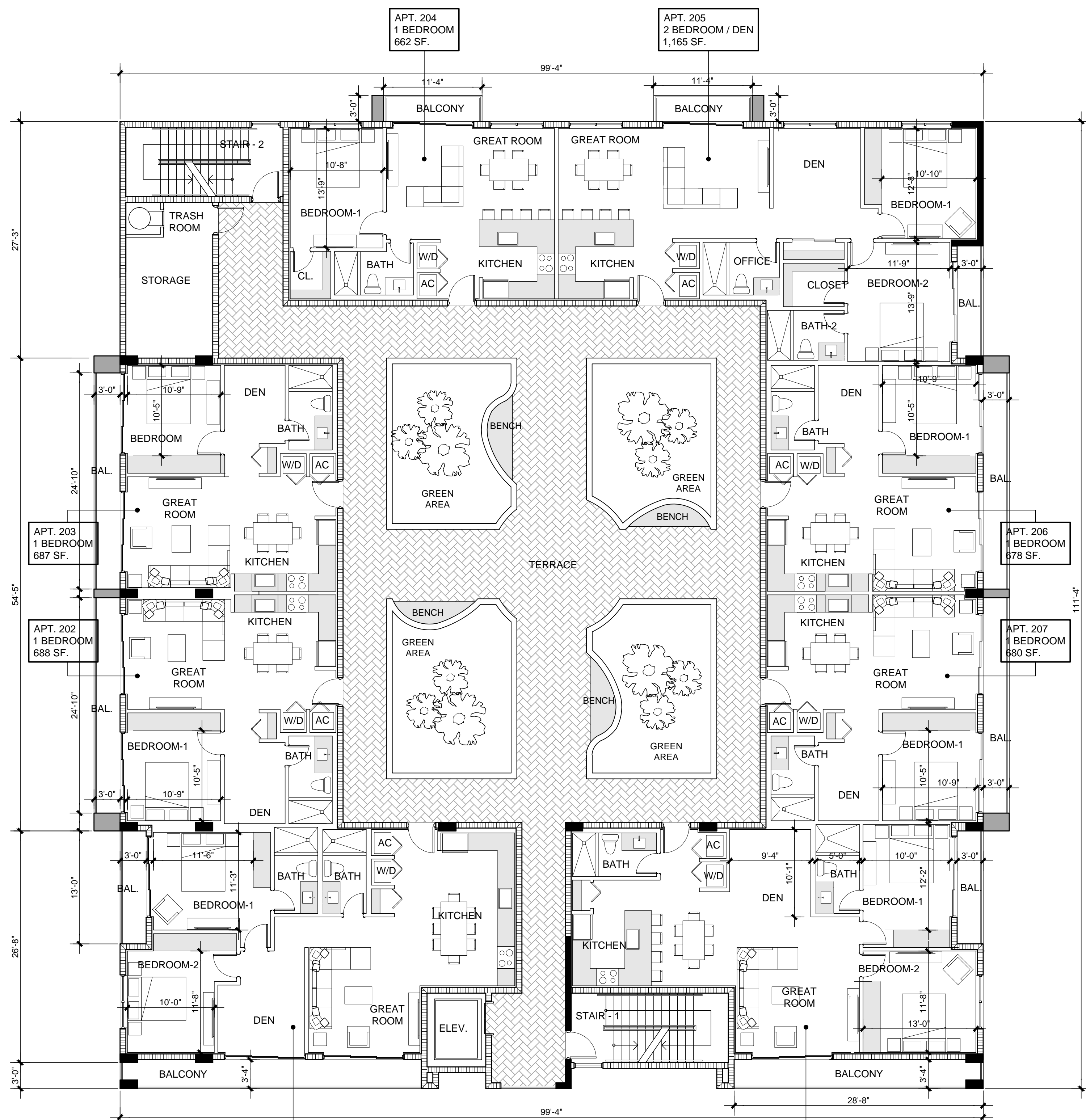




APT. 301
2 BEDROOM / DEN
1,122 SF.

APT. 308
2 BEDROOM / DEN
1,110 SF.

PROPOSED THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"

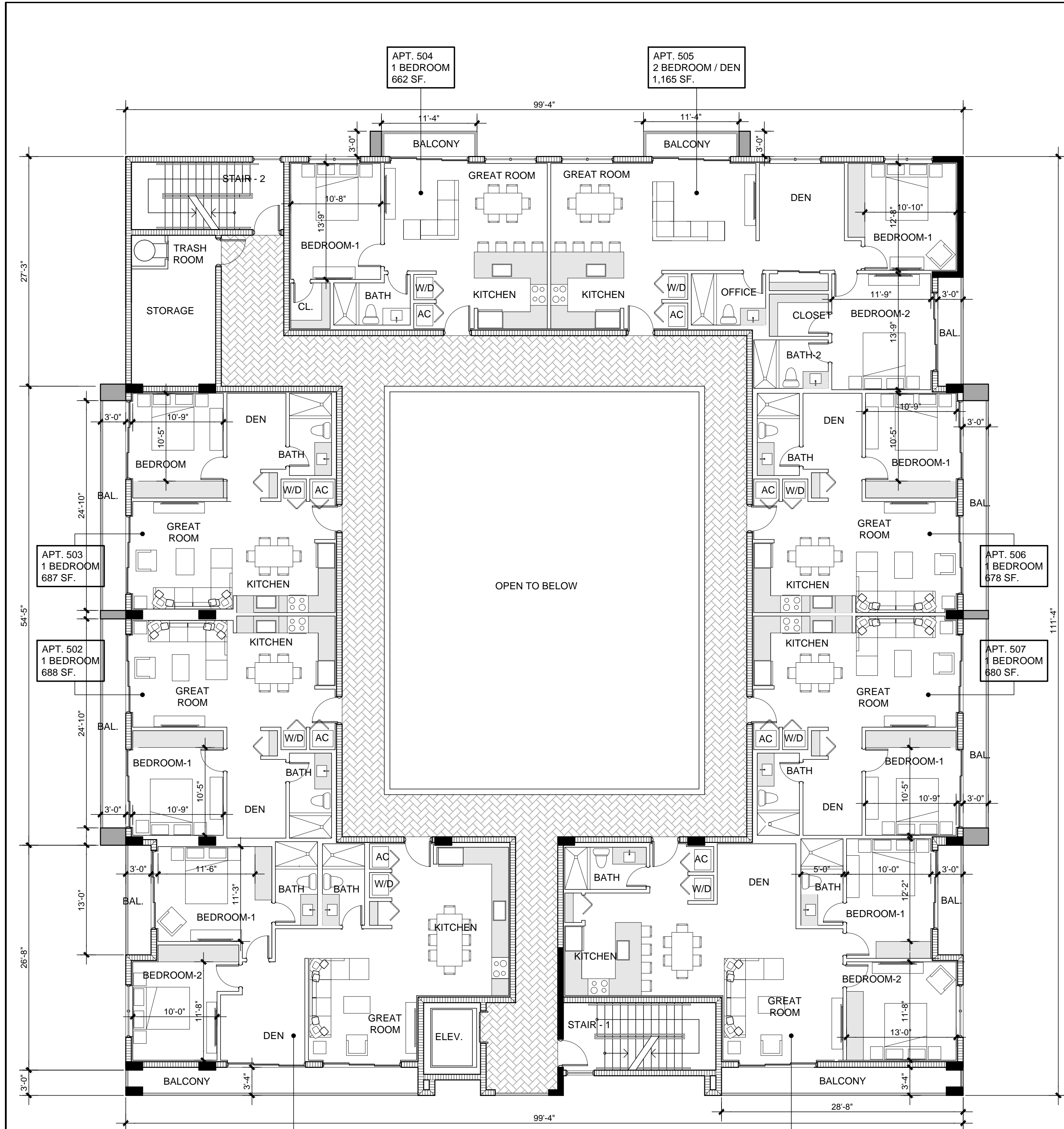


APT. 201
2 BEDROOM / DEN
1,122 SF.

APT. 208
2 BEDROOM / DEN
1,110 SF.

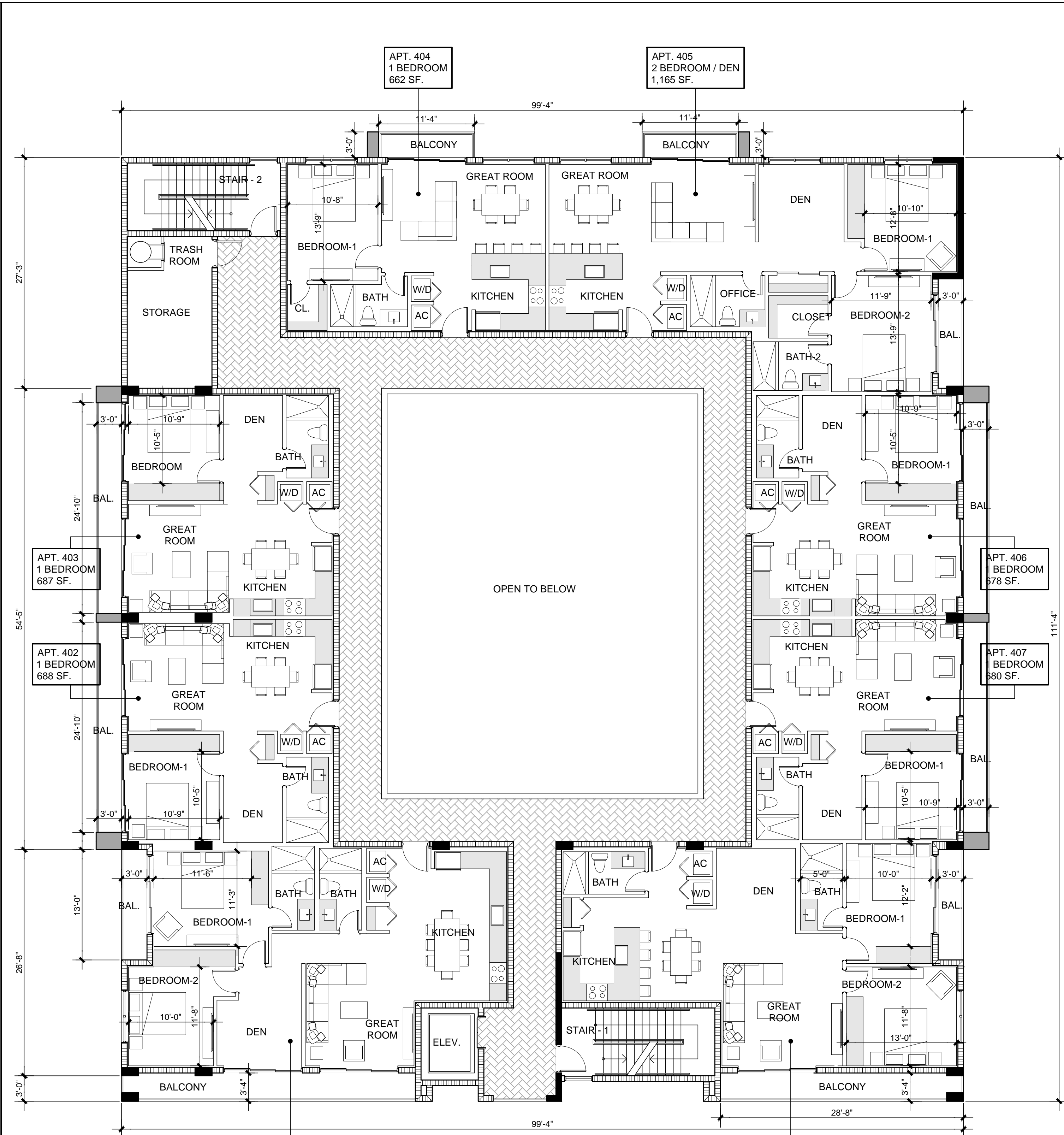
PROPOSED SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"





APT. 501
2 BEDROOM / DEN
1,122 SF.

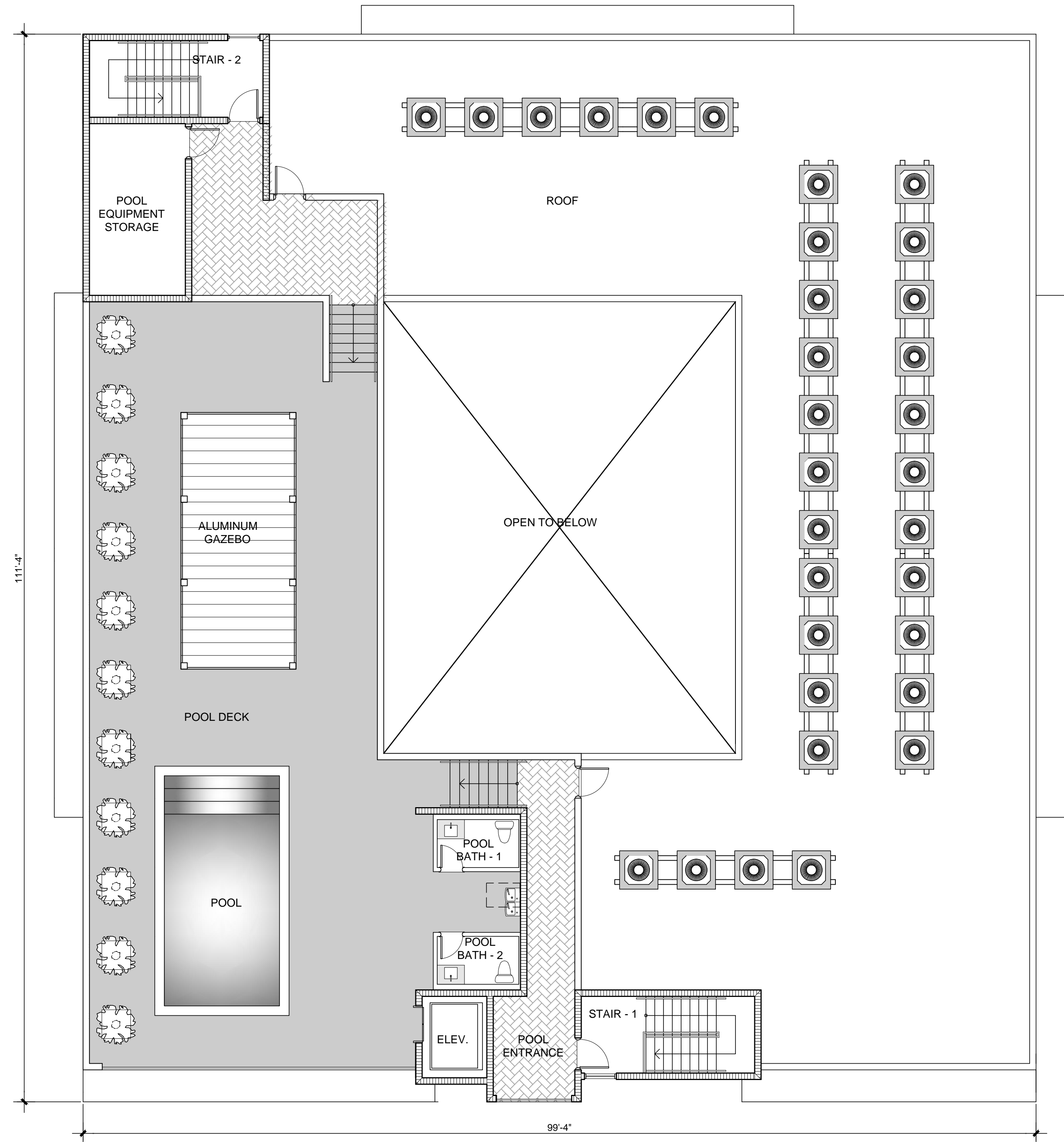
APT. 508
2 BEDROOM / DEN
1,110 SF.

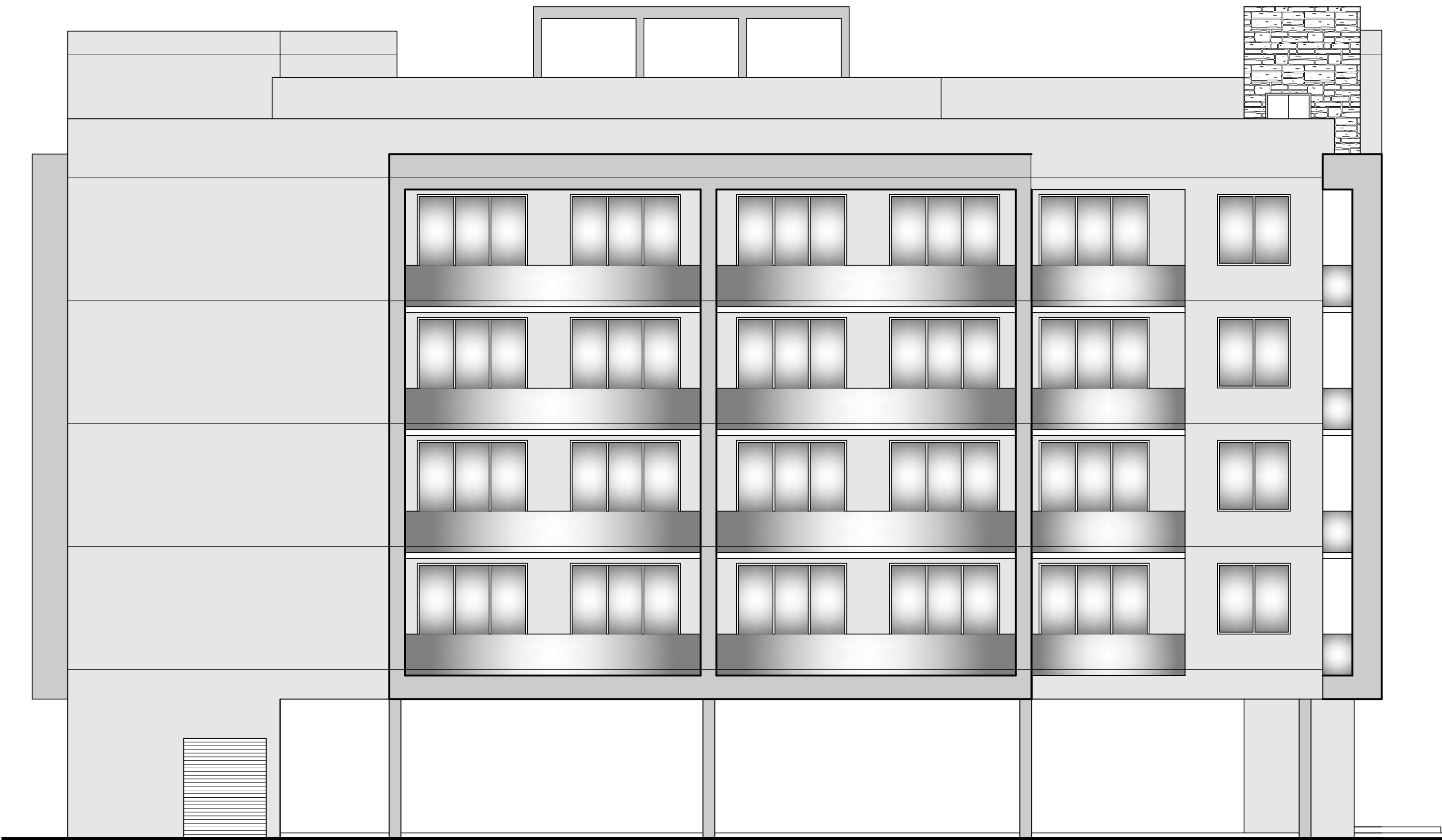


APT. 401
2 BEDROOM / DEN
1,122 SF.

APT. 408
2 BEDROOM / DEN
1,110 SF.



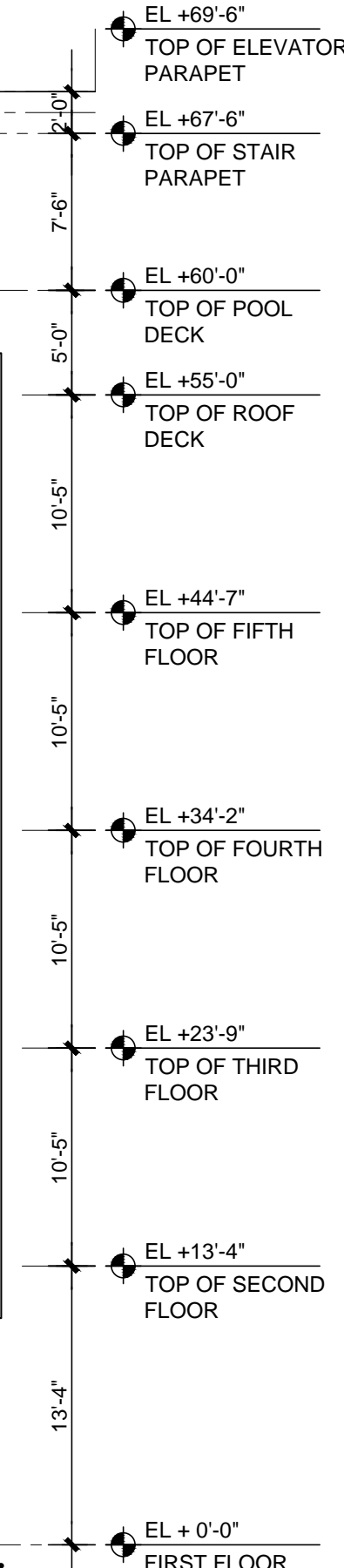




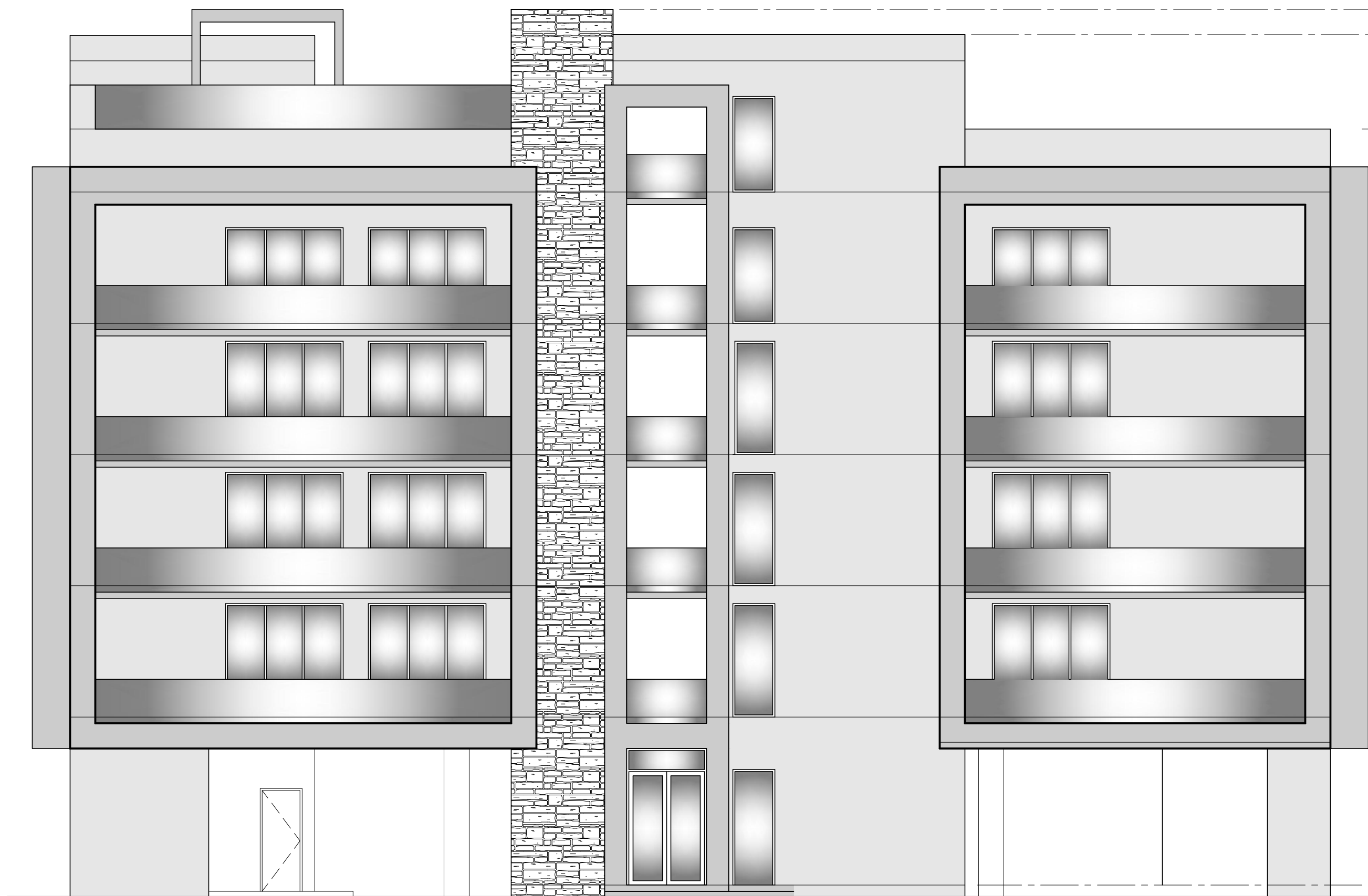
EAST ELEVATION



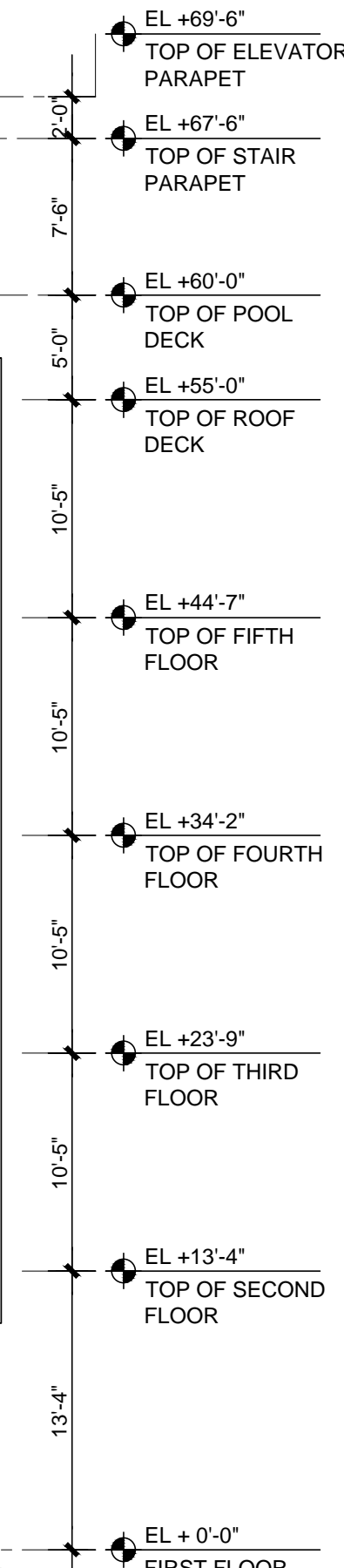
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: January 25, 2024

Location Address: 1914-1920 Pierce Street

Lot(s): LOT 19,20 E1/2 Block(s): BLK 20 Subdivision: HOLLYWOOD 1-21 B

Folio Number(s): 5142 15 01 3490

Zoning Classification: ND2 Land Use Classification: Residential

Existing Property Use: multi family Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO & 23-DP-20 Preliminary TAC

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: request for site plan approval

Number of units/rooms: 29 Sq Ft: 32,351 sq ft

Value of Improvement: \$6.5 MIL Estimated Date of Completion: Winter 2025

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 1920 PIERCE LLC

Address of Property Owner: 2199 PONCE DE LEON BLVD STE 301 CORAL GABLES FL 33134

Telephone: 786-252-9459 Fax: _____ Email Address: alexisbogo@abhre.com

Name of Consultant/Representative/Tenant (circle one): Alexis Bogomolni

Address: 2980 NE 207 Street SUITE 603 Telephone: (786) 252-9459

Fax: _____ Email Address: alexisbogo@abhre.com

Date of Purchase: 05-30-2023 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Alexis Bogomolni

alexisbogo@abhre.com (786) 252-9459

Address: 2980 NE 207 Street SUITE 603

Pamela Butler (954) 471-6177

Email Address: pbutler@mg3developer.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 01/25/2024

PRINT NAME: Alexis Bogomolni _____ Date: 01/25/2024

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

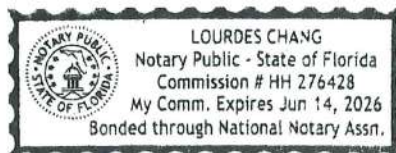
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Alberto Llorente, architect of record to be my legal representative before the Planning & Development Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 26 day of January, 2024

Notary Public
State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Alexis Eial Bogomolni

Print Name



1920 PIERCE



1920 PIERCE

NEW 29 UNITS DEVELOPMENT AT

DOWNTOWN HOLLYWOOD

1914 - 1920 PIERCE STREET HOLLYWOOD, FLORIDA 33020

(RESPONSE TO TAC SIGN OFF NO. 2 COMMENTS DATED FEBRUARY 03, 2024)



INDEX OF DRAWINGS

ARCHITECTURAL:

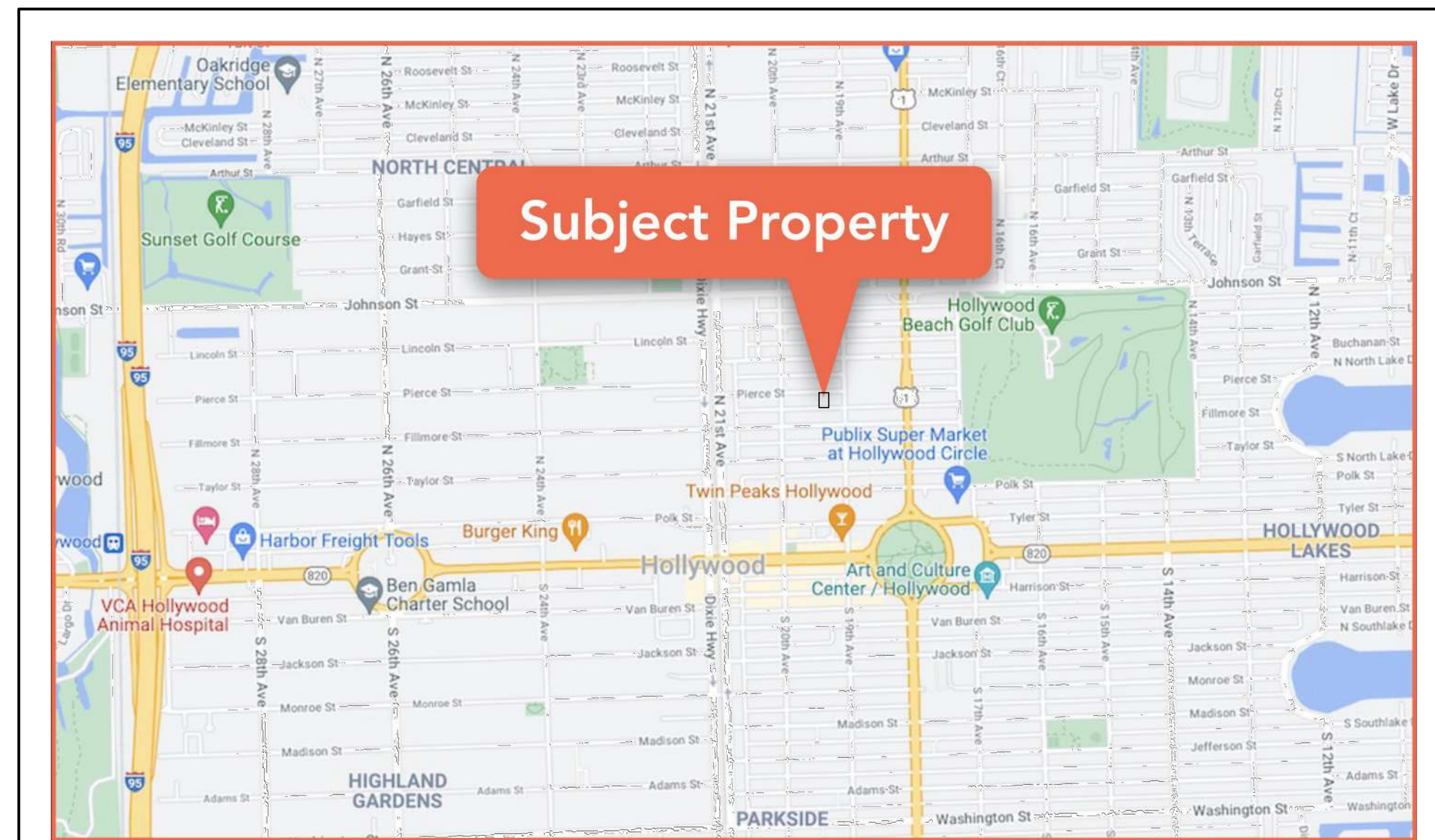
REV.	DATE	SHEET	TITLE
△	01.11.24	A000	COVER SHEET
△	01.11.24	A100	PROPOSED GROUND FLOOR / SITE PLAN AND NOTES
△	01.11.24	A101	FAR AND OPEN AREAS SQUARE FEET PLANS
△	01.11.24	A102	PROPOSED SECOND AND THIRD FLOOR PLANS
△	01.11.24	A103	PROPOSED FOURTH AND FIFTH FLOOR PLANS
△	01.11.24	A104	PROPOSED ROOF PLAN AND PARKLIFT DETAILS
△	01.11.24	A201	PROPOSED NORTH AND WEST EXTERIOR ELEVATIONS
△	01.11.24	A202	PROPOSED SOUTH AND EAST EXTERIOR ELEVATIONS

CIVIL:

REV.	DATE	SHEET	TITLE
△	06.15.23	C-1	SITE PAVING, GRADING, AND DRAINAGE PLAN
△	06.15.23	C-2	SITE PAVING, GRADING, AND DRAINAGE DETAILS
△	06.15.23	C-3	WATER AND SEWER PLAN
△	06.15.23	C-4	WATER AND SEWER DETAILS
△	06.15.23	C-5	WATER AND SEWER DETAILS
△	06.15.23	C-6	PAVEMENT MARKINGS AND SIGNAGE PLAN
△	06.15.23	C-7	GENERAL NOTES
△	06.15.23	C-8	STORMWATER POLLUTION PREVENTION PLANS

LANDSCAPE:

REV.	DATE	SHEET	TITLE
△	03.28.23	TD-1	TREE DISPOSITION PLAN
△	03.28.23	TD-2	TREE DISPOSITION DETAILS, SPECIFICATIONS
△	03.28.23	L-1	SITE LANDSCAPE PLAN
△	03.28.23	L-2	LANDSCAPE DETAILS, SPECIFICATIONS, ETC.
△	03.28.23	L-3	SECOND LEVEL COURTYARD LANDSCAPE PLAN
△	03.28.23	L-4	ROOF-POOL LEVEL LANDSCAPE PLAN
△	03.28.23	IRR-1	SITE IRRIGATION PLAN
△	03.28.23	IRR-2	IRRIGATION DETAILS, SPECIFICATIONS, ETC.
△	03.28.23	IRR-3	SECOND LEVEL COURTYARD IRRIGATION PLAN
△	03.28.23	IRR-4	ROOF-POOL LEVEL IRRIGATION PLAN



LOCATION PLAN

SCALE: N.T.S.



13421 SOUTHWEST 23 STREET
MIAMI, FL. 33175 . (305) 525-2370
AA-26002273

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

NEW 29 UNITS
DEVELOPMENT AT:
**DOWNTOWN
HOLLYWOOD**

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

△	03.28.23	TAC COMMENTS
△	01.11.24	TAC COMMENTS
△	02.05.24	SIGN OFF

DRAWING INFORMATION:

SHEET TITLE:
COVER

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO.
A000

1 of 8

GENERAL ZONING REQUIREMENTS

BUILDING ADDRESS:
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

BUILDING ZONING:
EXISTING ZONING DESIGNATION: ND-2

LAND AREAS:
LAND AREA NET SF. 16,360 SF.
LAND AREA NET ACRES 0.3755

BUILDING FAR:
ALLOWED: 2 16,360 X 2 = 32,720 SF.
PROVIDED: 1.98 32,351 SF.

LOT COVERAGE:
PROPOSED LOT COVERAGE: 11,533 SF. / **70.49%**

PAVED AREA:
PROPOSED PAVED AREA 688 SF. / **4.20%**

LANDSCAPE AREAS:
PROPOSED LANDSCAPED AREA 4,136 SF. / **25.31%**

SETBACKS:
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

BUILDING HEIGHT LIMITATIONS:
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"
ROOF TOP AMENITIES PERMITTED (25% OF 55'-0") = 68'-9"
POOL DECK PROVIDED 60'-0"
TOP OF STAIR / ELEVATOR PROVIDED 68'-9"

PARKING REQUIREMENTS FOR 29 CONDOS

REQUIRED 1 PER 1 BEDROOM	(14) 1 BEDROOM	14 SPACES REQUIRED
REQUIRED 1.5 PER 2 BEDROOMS	(12) 2 BEDROOMS	18 SPACES REQUIRED
REQUIRED 1.5 PER 3 BEDROOMS	(3) 3 BEDROOMS	5 SPACES REQUIRED
REQUIRED FOR GUEST 1 PER 10 UNITS	(29 UNITS / 10)	3 SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED
40 SPACES REQUIRED

ADA PARKING **REQUIRED** (2 SPACES)

PARKING PROVIDED FOR 29 CONDOS

PROVIDED 1 PER 1 BEDROOM	(14) 1 BEDROOM	14 SPACES PROVIDED
PROVIDED 2 PER 2 BEDROOMS	(12) 2 BEDROOMS	24 SPACES PROVIDED (DOUBLE STACK / LIFT)
PROVIDED 2 PER 3 BEDROOMS	(3) 3 BEDROOMS	6 SPACES PROVIDED (DOUBLE STACK / LIFT)
PROVIDED FOR GUEST 1 PER 10 UNITS		3 SPACES PROVIDED (IN LIEU OFF)

TOTAL PARKING SPACES PROVIDED
44 SPACES PROVIDED

ADA PARKING **PROVIDED** (2 SPACES)
3 SPACES PROVIDED (IN LIEU OFF)

NOTE

- ANY CHANGES TO DESIGN, INCLUDING MATERIAL CHANGES, MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.
- PROVIDE 0.5 FOOT CANDLE LIGHTING.
- BUILDING SHALL COMPLY WITH THE REQUIREMENT OF NFPA1 (2018 ED.) SECTION 12.3.2

GREEN BUILDING CERTIFICATION TO BE ACHIEVED.

- ELECTRIC VEHICLE PROVISIONS (INFRASTRUCTURE ONLY).
- HVAC 18 SEER OR HIGHER.
- PROGRAMMABLE THERMOSTATS.
- OCCUPANCY / VACANCY SENSORS (NOT SURE IF THIS ONE CAN BE USED ONLY IN COMMON AREAS).
- MERV AIR FILTERS AT LEAST 8
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- DUAL FLUSH TOILETS (1/1.6 FLUSH)
- ENERGY STAR APPROVED ROOFING MATERIALS.
- ENERGY EFFICIENT (LOW-E) WINDOWS.
- ENERGY EFFICIENT DOORS.

- ADA NOTE:** ANY LIP FROM 1/4" NOT GREATER THEN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**NEW 29 UNITS
DEVELOPMENT AT:
DOWNTOWN
HOLLYWOOD**

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

03.28.23	TAC COMMENTS
01.11.24	TAC COMMENTS
02.05.24	SIGN OFF

DRAWING INFORMATION:

SHEET TITLE:
PROPOSED GROUND FLOOR /
SITE PLAN.

DELIVERY DATE: 03.28.2023

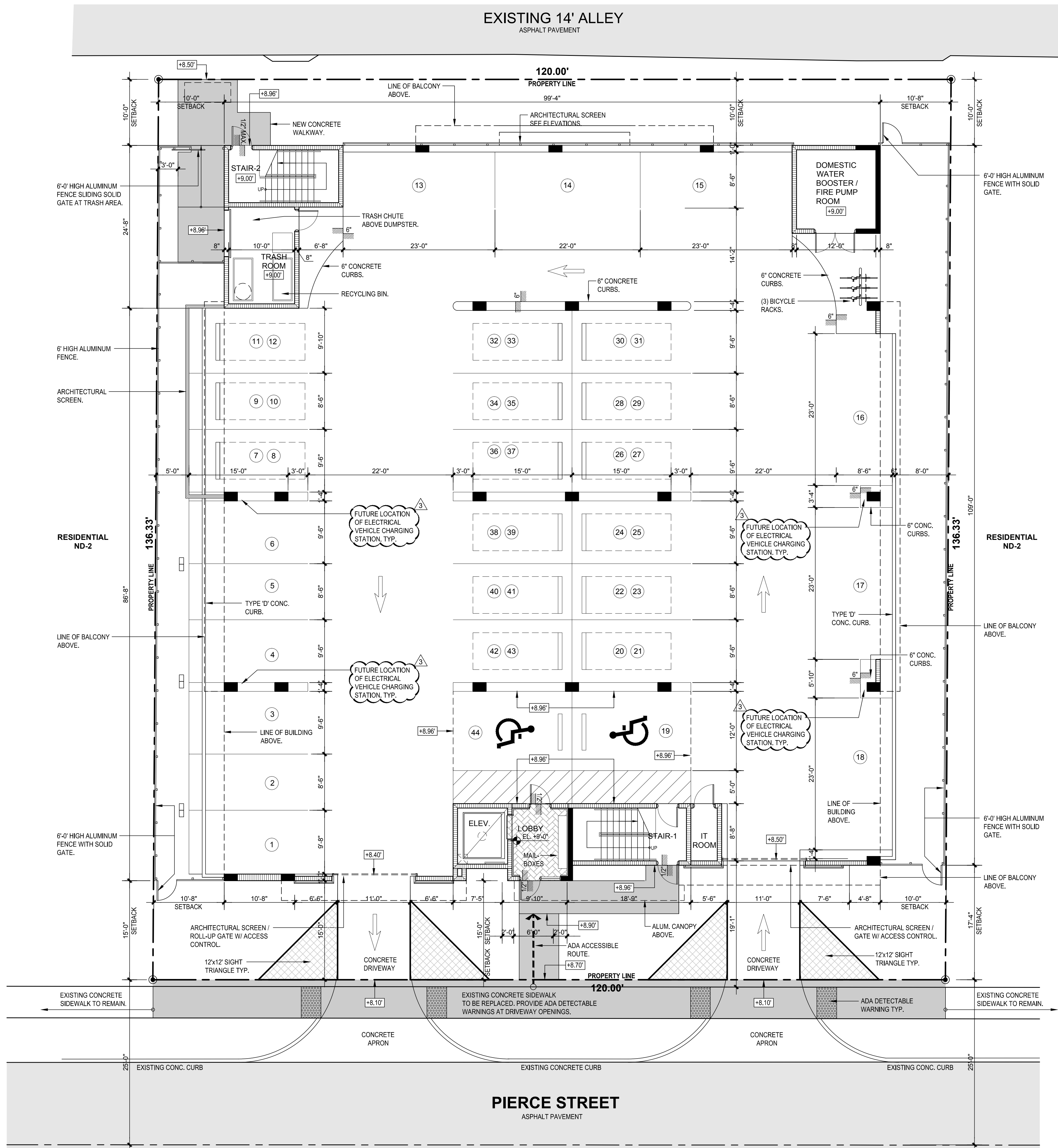
DRAWN BY: J.B.

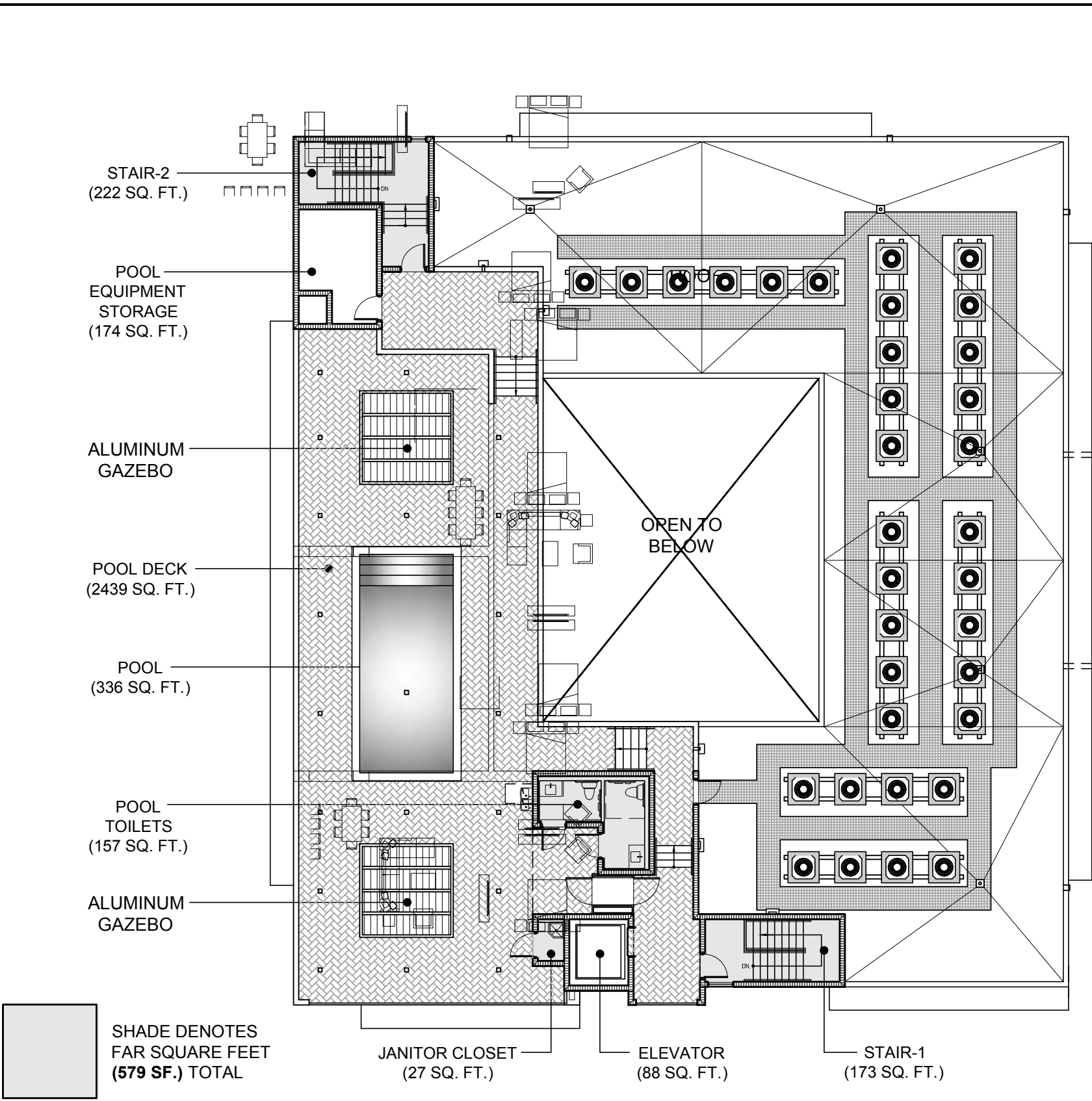
CHECKED BY: A.L.L.

REF NUMBER:

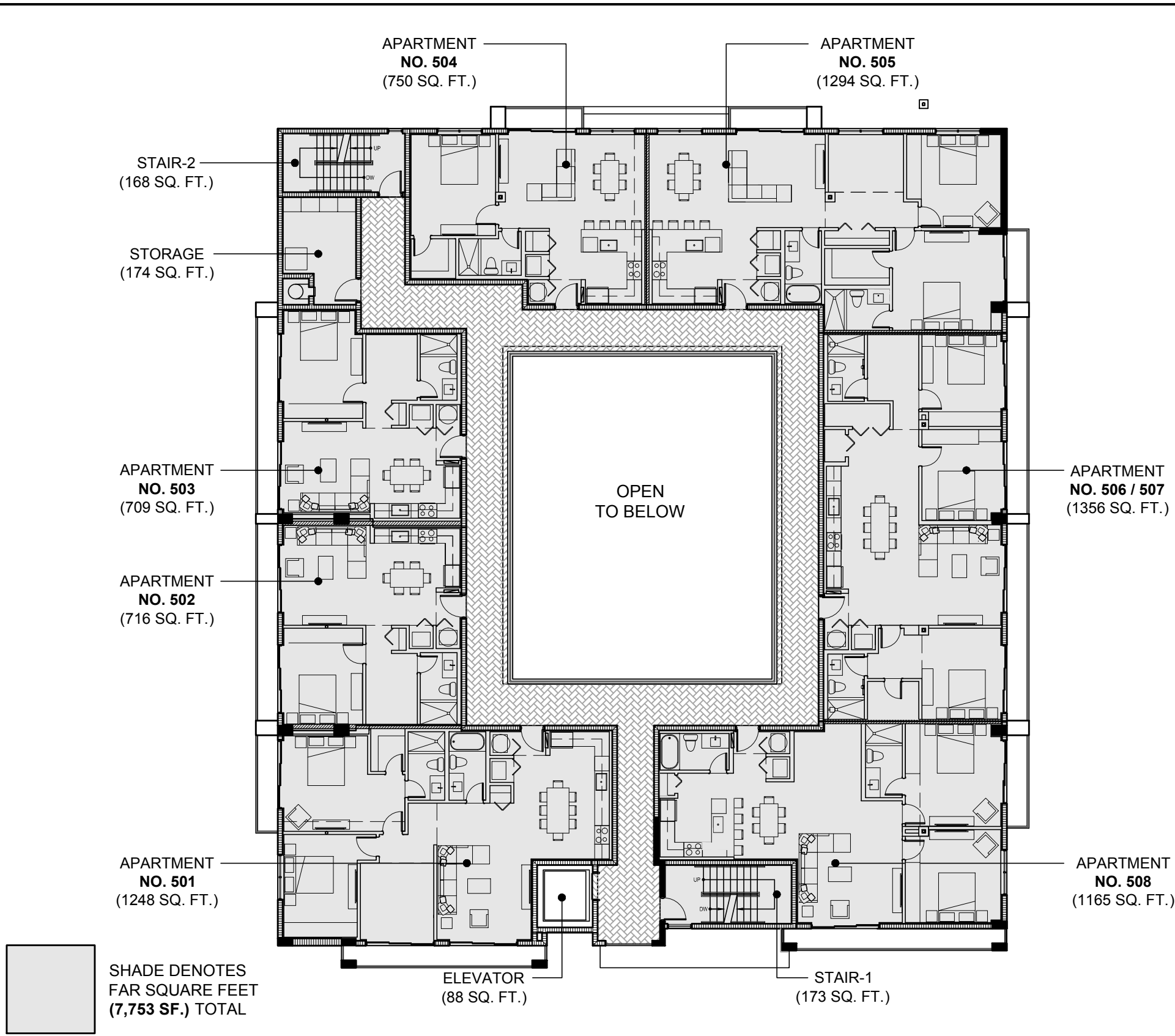
SHEET NO:

A100
2 of 8

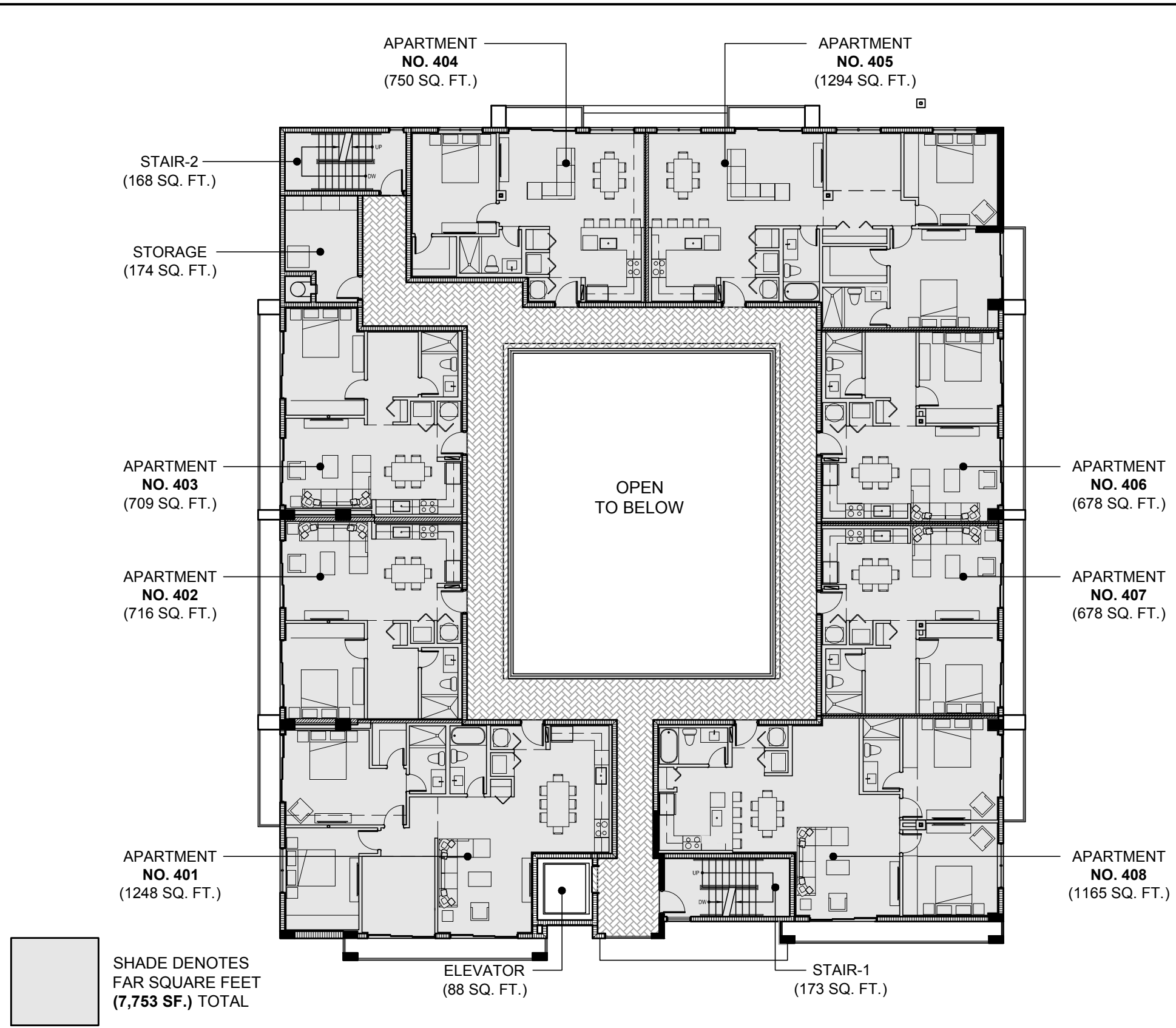




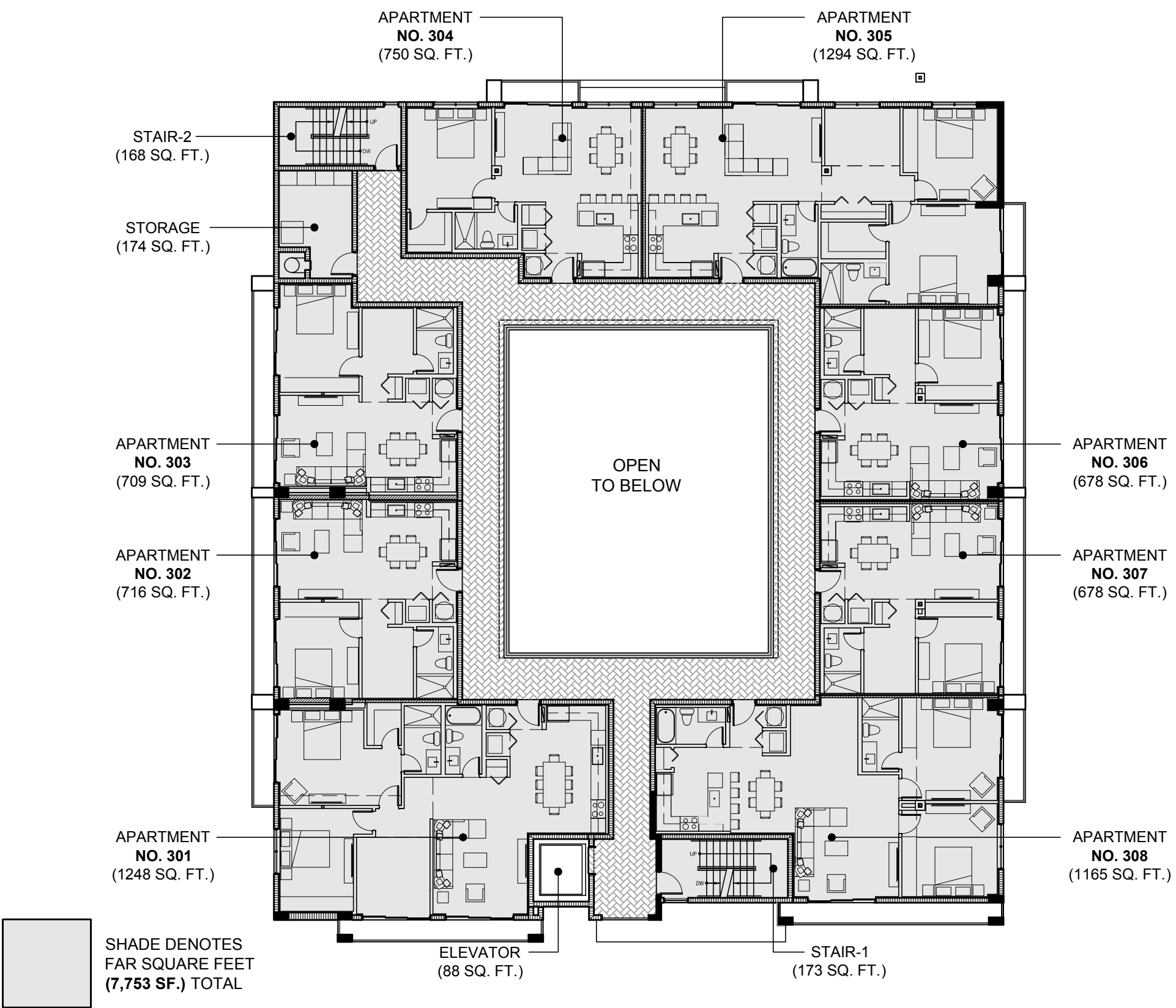
POOL / POOL DECK (FAR) PLAN SCALE: 1/16" = 1'-0"



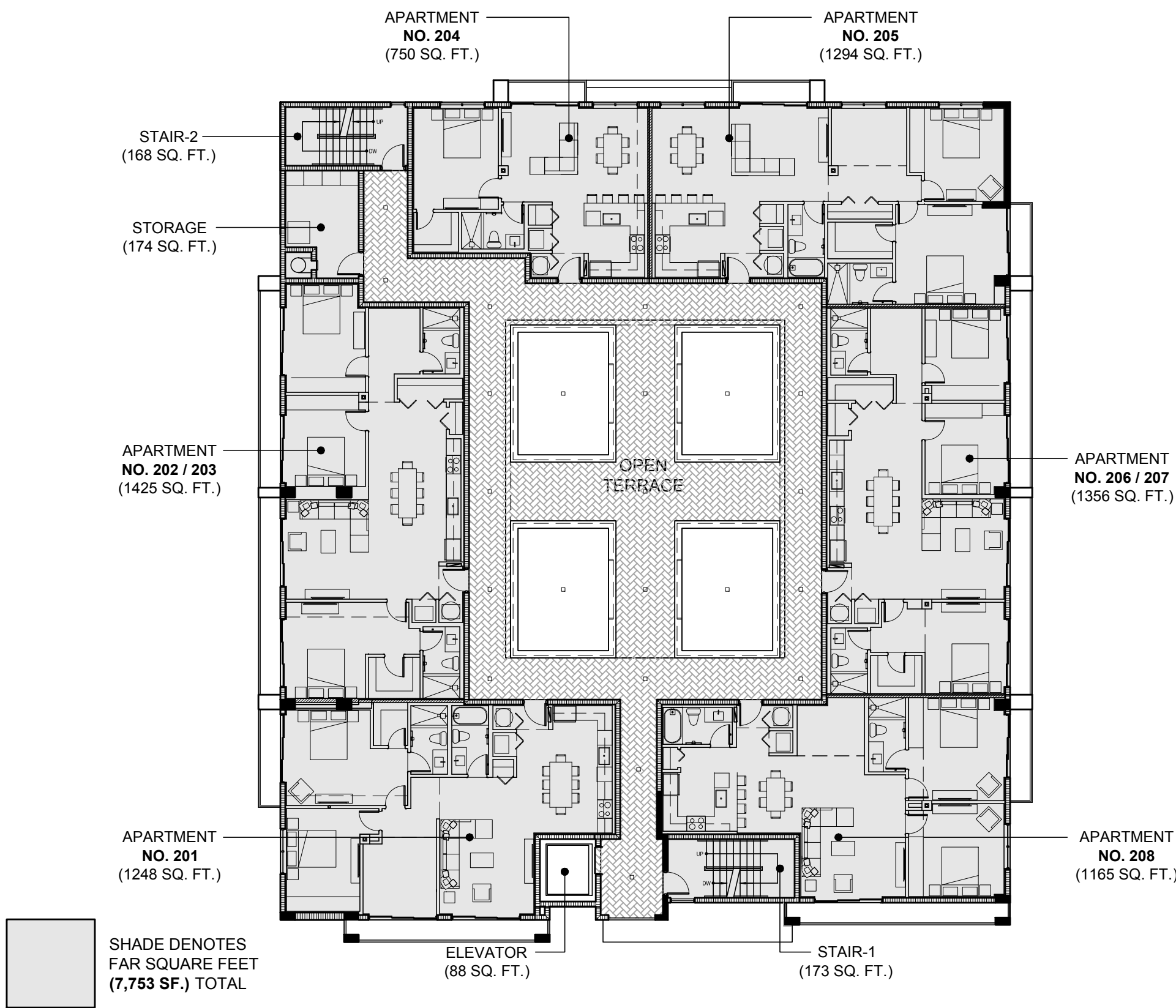
6 FIFTH (FAR) PLAN SCALE: 1/16" = 1'-0"



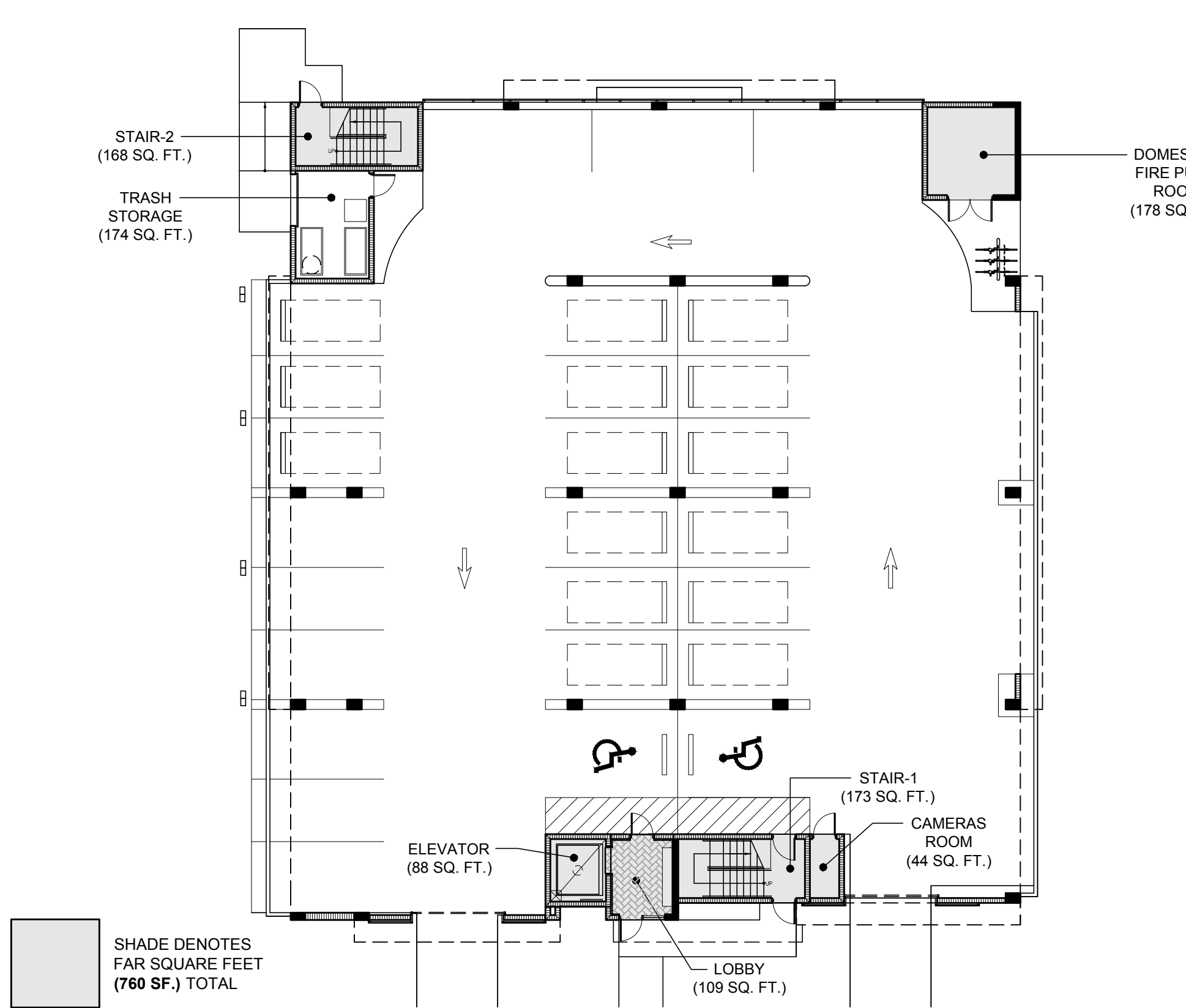
5 FOURTH (FAR) PLAN SCALE: 1/16" = 1'-0"



THIRD (FAR) PLAN SCALE: 1/16" = 1'-0"



3 SECOND (FAR) PLAN SCALE: 1/16" = 1'-0"



2 FIRST (FAR) PLAN SCALE: 1/16" = 1'-0"

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

NEW 32 UNITS
DEVELOPMENT AT:
DOWNTOWN HOLLYWOOD

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

03.28.23 TAC COMMENTS
01.11.24 TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:
FAR AND OPEN AREAS
SQUARE FEET PLANS.

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A101**

FLOOR AREA RATIO CALCULATIONS (FAR)

BUILDING FAR	NUMBER OF BEDROOMS	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
LOBBY	N/A	109 SF.						109 SF.
ELEVATOR	N/A	88 SF.						88 SF.
STAIR NO. 1	N/A	173 SF.	173 SF.	173 SF.	173 SF.	173 SF.	173 SF.	1,038 SF.
STAIR NO. 2	N/A	168 SF.	168 SF.	168 SF.	168 SF.	168 SF.	222 SF.	1,062 SF.
TRASH STORAGE	N/A	168 SF.	174 SF.	174 SF.	174 SF.			696 SF.
DOMESTIC / FIRE PUMP ROOM	N/A	178 SF.						178 SF.
IT ROOM	N/A	44 SF.						44 SF.
APARTMENT NO. 01	2 BEDROOMS		1,248 SF.	1,248 SF.	1,248 SF.	1,248 SF.		4,992 SF.
APARTMENT NO. 02	1 BEDROOM		716 SF.	716 SF.	716 SF.	716 SF.		2,864 SF.
APARTMENT NO. 03	1 BEDROOM		709 SF.	709 SF.	709 SF.	709 SF.		2,826 SF.
APARTMENT NO. 02 / 03	3 BEDROOMS		1,425 SF.					1,425 SF.
APARTMENT NO. 04	1 BEDROOM		750 SF.	750 SF.	750 SF.	750 SF.		3,000 SF.
APARTMENT NO. 05	2 BEDROOMS		1,294 SF.	1,294 SF.	1,294 SF.	1,294 SF.		5,176 SF.
APARTMENT NO. 06	1 BEDROOM		678 SF.	678 SF.	678 SF.	678 SF.		2,712 SF.
APARTMENT NO. 07	1 BEDROOM		678 SF.	678 SF.	678 SF.	678 SF.		2,712 SF.
APARTMENT NO. 06 / 07	3 BEDROOM		1,356 SF.					1,356 SF.
APARTMENT NO. 08	2 BEDROOMS		1,165 SF.	1,165 SF.	1,165 SF.	1,165 SF.		4,660 SF.
POOL EQUIPMENT	N/A						157 SF.	157 SF.
POOL TOILETS	N/A						27 SF.	27 SF.
JANITOR CLOSET	N/A							
FAR TOTALS		760 SF.	7,753 SF.	7,753 SF.	7,753 SF.	7,753 SF.	579 SF.	32,351 SF.

OPEN AREAS

BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
SECOND FLOOR OPEN TERRACE AND WALKWAYS		3,087 SF.					3,087 SF.
OPEN WALKWAY		88 SF.					88 SF.
APARTMENT NO. 01 BALCONY	120 SF.	120 SF.	120 SF.	120 SF.	120 SF.		600 SF.
APARTMENT NO. 02 BALCONY	80 SF.	80 SF.	80 SF.	80 SF.	80 SF.		400 SF.
APARTMENT NO. 03 BALCONY	81 SF.	81 SF.	81 SF.	81 SF.	81 SF.		405 SF.
APARTMENT NO. 04 BALCONY	32 SF.	32 SF.	32 SF.	32 SF.	32 SF.		160 SF.
APARTMENT NO. 05 BALCONY	62 SF.	62 SF.	62 SF.	62 SF.	62 SF.		312 SF.
APARTMENT NO. 06 BALCONY	81 SF.	81 SF.	81 SF.	81 SF.	81 SF.		405 SF.
APARTMENT NO. 07 BALCONY	77 SF.	77 SF.	77 SF.	77 SF.	77 SF.		385 SF.
APARTMENT NO. 08 BALCONY	126 SF.	126 SF.	126 SF.	126 SF.	126 SF.		630 SF.
POOL DECK						2,439 SF.	2,439 SF.
POOL						336 SF.	336 SF.
OPEN AREAS TOTALS		3,746 SF.	1,998 SF.	1,998 SF.	1,998 SF.	2,775 SF.	12,515 SF.

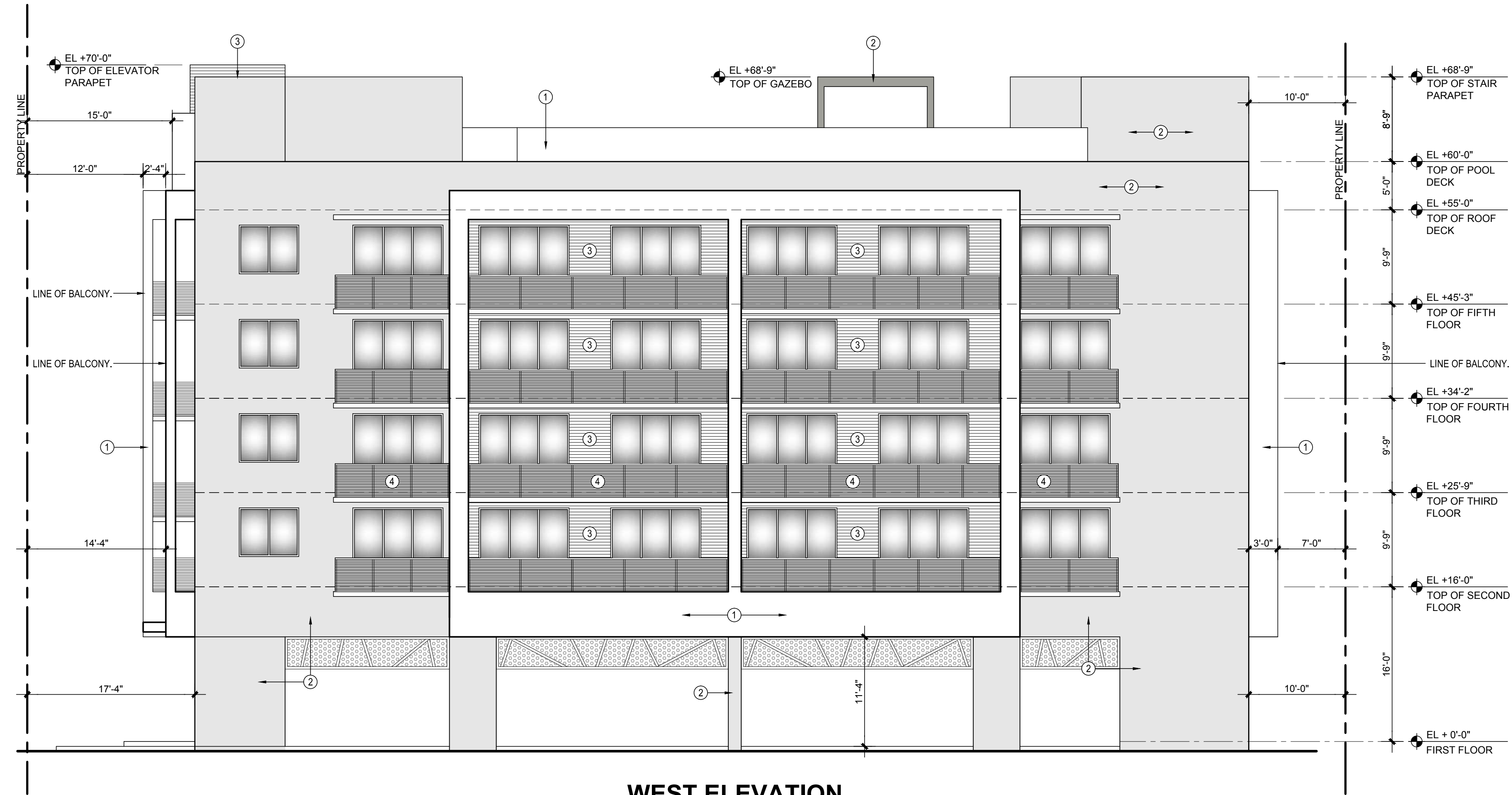
BUILDING FAR AND OPEN AREAS

FAR TOTALS	760 SF.	7,753 SF.	7,753 SF.	7,753 SF.	7,753 SF.	579 SF.	32,351 SF.
OPEN AREAS TOTALS		3,746 SF.	1,998 SF.	1,998 SF.	1,998 SF.	2,775 SF.	12,515 SF.
TOTAL	760 SF.	11,509 SF.	9,751 SF.	9,751 SF.	9,751 SF.	3,354 SF.	44,876 SF.

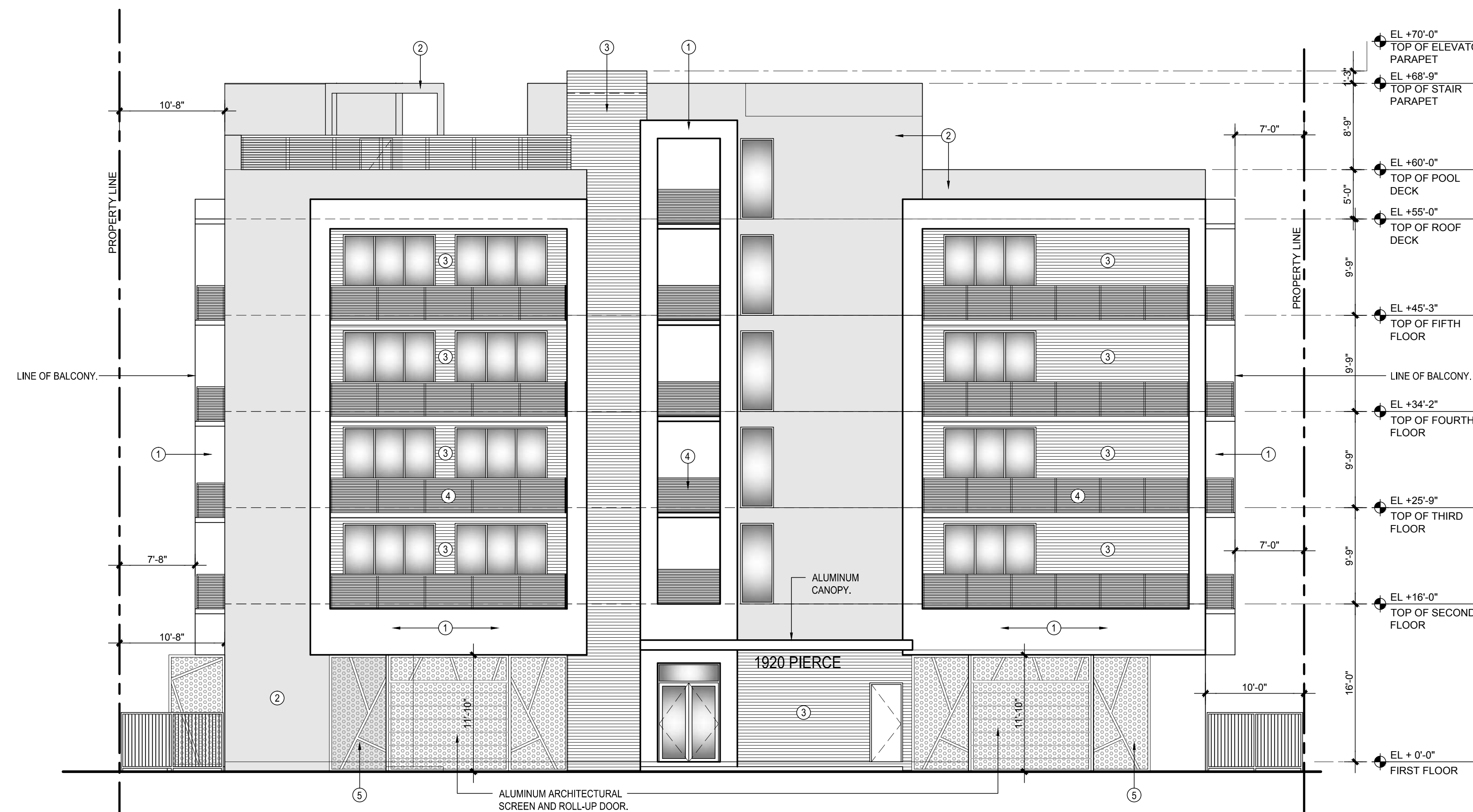


MATERIAL COLOR SELECTION

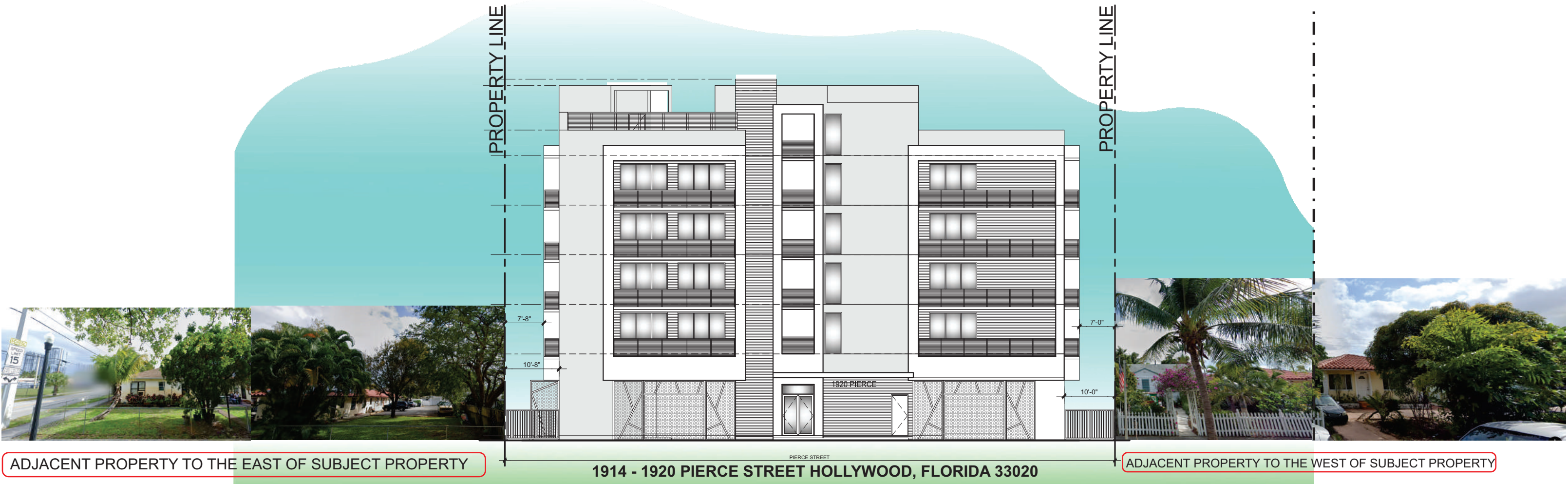
- ① COLOR 1 SHERWIN WILLIAMS
SW7653 SILVERPOINTE
- ② COLOR 2 SHERWIN WILLIAMS
SW7655 STAMPED CONCRETE
- ③ WOOD TILE USA TILE TRAVEL 6"x48" GOLD
- ④ BLACK ALUMINUM RAILING.
- ⑤ ANODIZED ALUMINUM ARCHITECTURE
SCREEN / ROLL-UP DOOR.
- ⑥ BRONZE ALUMINUM WINDOW / DOOR FRAME
W/ GREY TINTED GLASS.



WEST ELEVATION



NORTH ELEVATION



SUMMARY OF THE MINUTES PLANNING AND DEVELOPMENT BOARD

CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020

A. ADMINISTRATIONS

1. Pledge of Allegiance
2. Roll Call

The meeting of the Planning and Development Board was called to order by Diana Pittarelli on Tuesday, **March 12, 2024, at 6:00 P.M.** in Room 219, 2600 Hollywood Blvd., Hollywood, Florida, with the following members present:

Diana Pittarelli
Kenneth Crawford
Joseph Stadlen
Steven Morales

Richard Blattner
Robert Vargas
Andrew Yanowitz
Tara Jafarmadar

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett
Anand Balram
Cameron Palmer
Carmen Diaz
Reginald White

Director of Development Services
Planning Manager
Principal Planner
Planning Administrator
Planning Administrator

Also Present:

Deena Gray
Azita Behmardi
Margaret Smart
Solange Baquero-Meza

Assistant City Attorney
Deputy Director of Development Services
Administrative Assistant I
Development Review Coordinator

3. Approval of the Meeting Minutes.
February 13, 2024 - approved.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE FEBRUARY 13, 2024, MEETING MINUTES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

4. Additions, Deletions, Withdrawals, and Continuances.
None.
5. City Attorney Announcements
Deena Gray informed the Board that items 1-4 are ruled by Quasi-Legislative Proceedings.

B. APPLICATIONS

ITEMS #1-4 BELOW MAY BE CONSIDERED QUASI-JUDICIAL AND MAY BE SUBJECT TO THE CRR REGULATION

- 1. FILE NO.:** 23-DPV-25
APPLICANT: Ghasem Jafarmadar & Tida Saniei/Tara Jafarmadar
LOCATION: 1837-1855 Johnson Street
REQUEST: Variance, Design and Site Plan review for a 14-unit residential townhouse development (The Habitat)

This item was heard second on the agenda.

Diana Pittarelli read the Application.

Tara Jafarmadar stated her conflict of interest regarding this project, provided the signed Form 8B to the Board Clerk, and exited the room.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings.

Quasi-Judicial Proceedings were waived.

Anand Balram, Planning Manager, presented the item and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. Patricia Antrican made comments. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE VARIANCE TO REDUCE THE REQUIRED FRONT SETBACK. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE VARIANCE TO REDUCE THE REQUIRED SIDE STREET SETBACK. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE SITE PLAN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

2. **FILE NO.:** 23-DP-23
APPLICANT: Varghese P. Ponmattam as Trustee of the Ponmattam Family Real Estate Trust.
LOCATION: 2215 Fillmore Street
REQUEST: Design and Site Plan Review for a 27-unit residential development.

This item was heard third on the agenda.

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings.

Quasi-Judicial Proceedings were waived.

Reginald White, Planning Administrator, presented the item and answered questions from the Board.

Joseph Kaller, Applicant's Architect was present and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. Patricia Antrican, member of the public and Lynn Smith, member of the public made comments on the application. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY KENNETH CRAWFORD TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY KENNETH CRAWFORD TO APPROVE THE SITE PLAN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

3. **FILE NO.:** 23-DP-20
APPLICANT: 1920 Pierce LLC/Alexis Bogomolni
LOCATION: 1914-1920 Pierce Street
REQUEST: Design and Site Plan Review for a 29-unit residential development (Downtown Hollywood)

This item was heard fourth on the agenda.

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings.

Quasi-Judicial Proceedings were not waived.

Anand Balram, Planning Manager was qualified as a witness on behalf of staff.

Revised Reports were provided and entered into records. Anand Balram, Planning Manager, presented the item and answered questions from the Board.

Keith Poliakoff, the Applicant's Attorney was present and presented evidence and provided testimony in support of the application. Mr. Poliakoff, proceeded to cross examine staff, and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. The following members of the public provided comment on the proposal: Delores Wilson, Susan Gilhooly, Lynn Smith, Margaret Elaine Kooser and Jack Jafarmadar. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY ROBERT VARGAS TO APPROVE THE SITE PLAN WITH THE FOLLOWING CONDITIONS 1. THE ENTIRE GARAGE BE SCREENED WITH ARCHITECTURAL FEATURES. 2. PAYMENT FOR PARKING IN LIEU IS MADE AT TIME OF PERMITTING. 3. PARKING LIFTS SHALL BE LOCATED ENTIRELY UNDER THE BUILDING AND SCREENING SHALL NOT ENCROACH INTO THE REQUIRED SETBACK. 4. PRIOR TO THE ISSUANCE OF PERMITS, A COVENANT RUNNING WITH THE LAND THAT HOLDS THE CITY HARMLESS AGAINST ANY CLAIMS ARISING FROM ACCIDENTS AS A RESULT OF THE USE OF MECHANICAL PARKING LIFTS, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, SHALL BE SUBMITTED AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY BY THE CITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

- 4. FILE NO.:** 23-DPV-13
APPLICANT: Downtown Hollywood Community Redevelopment Agency.
LOCATION: 810 South Dixie Highway and 2110-2114 Adams Street
REQUEST: Variance, Design and Site plan Review for mixed-use development consisting of 90 residential units and 4,820 commercial spaces.

This item was heard first on the agenda.

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings.

Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planning Administrator, presented the item and answered questions from the Board.

Barbara Hall, the Applicant's Attorney was present and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. Jorge Camejo, Executive Director of the CRA, Helen Chervin, member of the public, and Andre Brown, member of the public, made comments. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY RICHARD BLATTNER TO APPROVE THE VARIANCE TO INCREASE THE MAXIMUM ALLOWED CURB CUT. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY TARA JAFARMADAR TO APPROVE THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY ROBERT VARGAS TO APPROVE THE SITE PLAN WITH THE CONDITION THAT A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY OF HOLLYWOOD, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (C/O) AND/OR CERTIFICATE OF COMPLETION (C/C). MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

5. **FILE NO.:** 24-T-04
APPLICANT: City of Hollywood.
LOCATION: City-Wide
REQUEST: Text Amendment to Articles 2 and 4 of the Zoning and Land Development Regulations to provide a definition and establish performance standards for K-12 Schools.

This item was heard fifth on the agenda.

Diana Pittarelli read the Application.

Anand Balram, Planning Manager, presented the item and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No public comments were made. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KENNETH CRAWFORD AND SECONDED BY JOSEPH STADLEN TO FORWARD A RECOMMENDATION FOR APPROVAL TO THE CITY COMMISSION, AND THAT STAFF CONSIDER THE APPLICABILITY OF THE ORDINANCE TO DAY CARES, NURSERIES AND RELIGIOUS SCHOOLS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

None.

D. NEW BUSINESS

Andria Wingett, Director of Development Services, provided Commission updates.

Anand Balram, Planning Manager, provided updates on the items that were discussed before the Technical Advisory Committee.

Anand Balram also reminded the Board Members that April 12th is the deadline to submit applications to be considered as Board Members or renew the terms, if applicable.

E. ADJOURNMENT

The meeting was adjourned at **8:45 P.M.**