

ATTACHMENT A
Application Package

APPLICATION DATE: _____

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 2700 Stirling Road
 Lot(s): _____ Block(s): _____ Subdivision: _____
 Folio Number(s): 5142-04-11-0020

Zoning Classification: PD (Oakwood Plaza) Land Use Classification: Commercial
 Existing Property Use: Taco Bell w/Drive-Thru Sq Ft/Number of Units: 2,834

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.
 Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Site Plan approval to demolish the existing 2,834 sq. ft. Taco Bell restaurant and construct a new 2,187 sq. ft. Taco Bell restaurant.

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="0"/> #Rooms <input type="text" value="0"/>
Proposed Non-Residential Uses	<input type="text" value="2,187"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="10"/> (Area: <input type="text" value="7,661 (26.2%)"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="15"/>)
Height (# of stories)	(# STORIES) <input type="text" value="1"/> (<input type="text" value="25"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="29,224"/> FT.)

Name of Current Property Owner: Oakwood Plaza LP

Address of Property Owner: 500 Broadway #201 Jericho, NY 11753

Telephone: Contact Applicant Email Address: Contact Applicant

Applicant Dwayne Dickerson/Miskel Backman, I Consultant Representative Tenant

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Email Address: ddickerson@miskelbackman.com

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Brandon Reynolds* Date: 5/16/2024

PRINT NAME: Brandon Reynolds Date: _____

Signature of Consultant/Representative: *Dwayne L. Dickerson* Date: 5/20/24

PRINT NAME: Dwayne L. Dickerson Date: _____

Signature of Tenant: *Kerry Endert* Date: 5-15-24

PRINT NAME: KERRY ENDERT Date: _____
ASSISTANT SECRETARY, TACOBELL of AMERICA, LLC.

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Dwayne Dickerson/Miskel Backman, LLP to be my legal representative before the TAC, P&D & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 16 day of May, 2024

[Signature]
Notary Public
State of Florida



Brandon Reynolds
Signature of Current Owner
Brandon Reynolds, Authorized Agent
Print Name

My Commission Expires: 10/4/27 (Check One) Personally known to me, OR Produced Identification _____



BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell of America, LLC
2700 Stirling Rd.
Site Plan Narrative**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood (“Property”). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser’s website and is an outparcel located in the Oakwood Plaza Shopping Center (“Shopping Center”). The Property contains a future land use designation of Commercial on the City’s Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines (“PD Guidelines”).

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility (“Project”). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.

SITE DEVELOPMENT DRAWINGS FOR: TACO BELL REDEVELOPMENT

PRELIMINARY TAC MEETING DATE: 6/3/2024
FINAL TAC MEETING DATE: 8/19/2024
2700 STIRLING ROAD, HOLLYWOOD, FL
SECTION 04, TOWNSHIP 51S, RANGE 42E
FOR
GPD GROUP

LEGAL DESCRIPTION

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

VICINITY \ AERIAL MAP



PROJECT TEAM

DEVELOPER:
TACO BELL CORP
1 GLEN BELL WAY
IRVINE, CA 92618
CLINT LANGLEY
(714) 263-7757

ARCHITECT:
GPD GROUP
1117 PERIMETER CENTER WEST, SUITE W006
ATLANTA, GA 30338
SARAH DOWLING
(678) 781-5074

LAND SURVEYOR:
FORTIN, LEAVY, SKILES, INC.
180 NE 188TH ST.
NORTH MIAMI BEACH, FL 33162
DANIEL C. FORTIN, JR.
(305) 653-4493

CIVIL ENGINEER:
THOMAS ENGINEERING GROUP
6300 NW 31 AVENUE
FORT LAUDERDALE, FL 33309
KRISTIN DIPERRO, P.E.
(954) 202-7000

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
2255 GLADES RD, SUITE 304A
BOCA RATON, FL 33431
MARY N. BATES
(800) 688-6630

PREPARED BY:



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
6300 NW 31 AVENUE FT. LAUDERDALE, FLORIDA 33309 PH: (954) 202-7000
www.ThomasEngineeringGroup.com

SHEET INDEX

SHEET NAME	SHEET NUMBER	REVISION		
		5/20/2024	7/16/2024	10/28/2024
PLANS BY THOMAS ENGINEERING GROUP:				
COVER SHEET	C-01	•	•	
GENERAL NOTES	C-02	•	•	
EROSION CONTROL PLAN	C-03	•	•	
DEMOLITION PLAN	C-04	•	•	
SITE PLAN	C-05	•	•	
SITE DETAILS	C-06	•	•	
CITY OF HOLLYWOOD DETAILS	C-07	•	•	
PAVEMENT MARKING & SIGNAGE PLAN	C-08	•	•	
PAVING, GRADING & DRAINAGE PLAN	C-09	•	•	
PAVING, GRADING & DRAINAGE DETAILS	C-10	•	•	
CROSS SECTIONS	C-11	•	•	
UTILITY PLAN	C-12	•	•	
UTILITY DETAILS	C-13	•	•	
CIRCULATION PLAN	C-14	•	•	
PLANS BY EVERGREEN DESIGN GROUP:				
TREE DISPOSITION PLAN	TD-1	•	•	
TREE DISPOSITION DETAILS & SPECS	TD-2	•	•	
LANDSCAPE PLANNING PLAN	LP-1	•	•	
LANDSCAPE DETAILS & SPECIFICATIONS	LP-2	•	•	
PLANS BY GPD GROUP:				
EQUIPMENT & SEATING PLAN	A2.0	•	•	
EXTERIOR ELEVATIONS	A4.0	•	•	
EXTERIOR ELEVATIONS	A4.1	•	•	
TRASH ENCLOSURE DETAILS	O2.0	•	•	
PLANS BY PULICE LAND SURVEYORS:				
ALTAIRNSPS LAND TITLE SURVEY	1 OF 1	•	•	

THOMAS ENGINEERING GROUP
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
12500 AMANTOWN RD.
FORT LAUDERDALE, FL 33498
P: (954) 202-7000
F: (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

REV.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CJM

Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

KRISTIN M. DIPERRO, STATE OF FLORIDA
PROFESSIONAL ENGINEER - LICENSE NO. 4800
THIS PLAN HAS BEEN DIGITALLY SIGNED AND
SEALED BY KRISTIN M. DIPERRO, P.E. ON 10/28/2024.
PROJECT CODE: 2700 STIRLING ROAD, HOLLYWOOD, FL
CONSIDERED SIGNED AND SEALED AND THE
DIGITAL SIGNATURE MAY BE VERIFIED ON ANY
ELECTRONIC COPY.

PROJECT No.: F230118
DRAWN BY: RVD
CHECKED BY: 10/28/2024
DATE: 10/28/2024
CAD ID: F230118-COVER

**TACO BELL
REDEVELOPMENT**

FOR
GPD GROUP

2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

SHEET TITLE
COVER SHEET

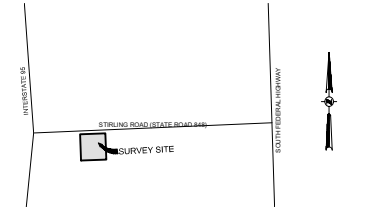
SHEET NUMBER
C-01

Project No. 24000, October 28, 2024, 1:23:28 PM by: krystal_diperro

NOTES:

1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #1798, ELEVATION: 11.286 FEET & BENCHMARK 11322, ELEVATION: 8.322 FEET.
3. FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #10211005686; COMMUNITY #125113; MAP DATE: 8/18/14.
4. THIS SITE LIES IN SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
5. GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, PL-E ZONE, WITH THE NORTH LINE OF LOT 1-B BEING N87°34'34"E.
6. REASONABLE EFFORTS WERE MADE REGARDING THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
8. THIS SITE CONTAINS 30 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (28 REGULAR & 2 DISABLED).
9. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
10. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 10973861, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 21, 2024 AT 8:00 AM, REVISED JUNE 27, 2024. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B, PART II OF SAID COMMITMENT:
ITEMS 1, 2, 3 & 4: STANDARD EXCEPTIONS, NOT ADDRESSED.
ITEM 5: ALL MATTERS IN PLAT BOOK 117, PAGE 36, AS AFFECTED BY AGREEMENT TO PLACE NOTATION ON PLAT IN O.R.B. 20295, PAGE 340 APPLY TO THIS SITE AS DEPICTED HEREON.
ITEM 6: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 4608, PAGE 618 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 7: MATTERS IN SURVEYOR'S AFFIDAVIT IN O.R.B. 7750, PAGE 761 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 8: GRANT OF EASEMENT IN O.R.B. 7840, PAGE 382 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 9: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 8829, PAGE 842 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 10: UTILITY EASEMENT IN O.R.B. 8999, PAGE 601 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 11: NON-EXCLUSIVE PERPETUAL EASEMENT IN O.R.B. 11183, PAGE 501 DOES NOT APPLY TO THIS SITE.
ITEM 12: TERMS AND CONDITIONS OF AGREEMENT IN O.R.B. 11183, PAGE 507; AS RE-RECORDED IN O.R.B. 11211, PAGE 287; AS AFFECTED BY LIMITED WAIVER IN O.R.B. 23254, PAGE 345 APPLY TO THIS SITE, BUT CANNOT BE PLOTTED.
ITEM 13: ORDINANCE NO. 90-25 IN O.R.B. 17737, PAGE 179 DOES NOT APPLY TO THIS SITE.
ITEM 14: TERMS AND CONDITIONS OF AGREEMENT IN O.R.B. 17782, PAGE 553; AS AFFECTED BY AMENDMENT TO AGREEMENT IN O.R.B. 20299, PAGE 724 IN O.R.B. 20099, PAGE 289 AND AMENDMENT TO SECOND CONCURRENCY AGREEMENT IN O.R.B. 20744, PAGE 757; AS AFFECTED BY THIRD TRAFFIC CONCURRENCY AGREEMENT IN O.R.B. 23193, PAGE 447; AS AFFECTED BY FOURTH TRAFFIC CONCURRENCY AGREEMENT IN O.R.B. 22683, PAGE 857; AS AMENDED BY O.R.B. 32378, PAGE 1537 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 15: NOTICE OF PRELIMINARY DEVELOPMENT AGREEMENT IN O.R.B. 19477, PAGE 917 DOES NOT APPLY TO THIS SITE.
ITEM 16: ORDINANCE 192-11 IN O.R.B. 19486, PAGE 962 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 17: NOTICE OF ADOPTION OF A DEVELOPMENT ORDER IN O.R.B. 19683, PAGE 124 AS AFFECTED BY AMENDMENT IN O.R.B. 21017, PAGE 944 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 18: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 20219, PAGE 778; AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 318 DO NOT APPLY TO THIS SITE.
ITEM 19: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN MEMORANDUM OF LEASE IN O.R.B. 20470, PAGE 165; AS AFFECTED BY SUBORDINATION, ATTORNMENET AND NON-DISTRIBUTION AGREEMENT IN O.R.B. 21906, PAGE 295 DO NOT APPLY TO THIS SITE.
ITEM 20: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 20795, PAGE 326; AS AFFECTED BY AGREEMENT IN O.R.B. 22017, PAGE 419; AND MEMORANDUM OF LEASE IN O.R.B. 21082, PAGE 295; AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE, RECIGNITION & ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 302 DO NOT APPLY TO THIS SITE.
ITEM 21: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 21018, PAGE 457; AS AFFECTED AS AFFECTED BY AMENDMENT TO LEASE AND MEMORANDUM OF LEASE IN O.R.B. 21253, PAGE 299 AND SUBORDINATION, NON-DISTURBANCE & ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 308 DO NOT APPLY TO THIS SITE.
ITEM 22: TERMS AND CONDITIONS OF AGREEMENT FOR EASEMENTS, COVENANTS AND RESTRICTIONS AFFECTING LAND IN O.R.B. 21877, PAGE 304 DO NOT APPLY TO THIS SITE.
ITEM 23: MORTGAGE AND SECURITY AGREEMENT IN O.R.B. 21906, PAGE 228; AS AFFECTED BY SPREADER AGREEMENT IN O.R.B. 21998, PAGE 314; AS ASSIGNED IN O.R.B. 25214, PAGE 366; AS AFFECTED BY ASSUMPTION AGREEMENT IN O.R.B. 25214, PAGE 384; CONSOLIDATED, AMENDED AND RESTATED IN O.R.B. 25214, PAGE 411; SECOND AMENDED AND RESTATED MORTGAGE, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FUTURE FILING AND NOTICE OF FUTURE ADVANCE IN O.R.B. 4603, PAGE 740; AS ASSIGNED INSTRUMENT #113439893; THIRD AMENDED AND RESTATED MORTGAGE, SECURITY AGREEMENT, FINANCING STATEMENT, FUTURE FILING AND ASSIGNMENT OF RENTS IN INSTRUMENT #113439894 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 24: ASSIGNMENT OF LEASES AND RENTS IN INSTRUMENT #113439895 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 25: UCC-1 FINANCING STATEMENT IN INSTRUMENT #113439896 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 26: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 313 DO NOT APPLY TO THIS SITE.
ITEM 27: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NO-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 325 DO NOT APPLY TO THIS SITE.
ITEM 28: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 332 DO NOT APPLY TO THIS SITE.
ITEM 29: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 339 DO NOT APPLY TO THIS SITE.
ITEM 30: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 345 DO NOT APPLY TO THIS SITE.
ITEM 31: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 351 DO NOT APPLY TO THIS SITE.
ITEM 32: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 359 DO NOT APPLY TO THIS SITE.
ITEM 33: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 369 DO NOT APPLY TO THIS SITE.
ITEM 34: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 376 DO NOT APPLY TO THIS SITE.
ITEM 35: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE & ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 381 DO NOT APPLY TO THIS SITE.
ITEM 36: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE & ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 386 DO NOT APPLY TO THIS SITE.
ITEM 37: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 391 DO NOT APPLY TO THIS SITE.
ITEM 38: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 401 DO NOT APPLY TO THIS SITE.
ITEM 39: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 20543, PAGE 908 AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21906, PAGE 407 AS FURTHER AFFECTED BY AMENDMENT IN INSTRUMENT #112915935 DO NOT APPLY TO THIS SITE.
ITEM 40: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21933, PAGE 287 DO NOT APPLY TO THIS SITE.
ITEM 41: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMENET AGREEMENT IN O.R.B. 21926, PAGE 310 DO NOT APPLY TO THIS SITE.
ITEM 42: DECLARATION OF EASEMENT IN O.R.B. 22874, PAGE 952 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 43: TERMS, COVENANTS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SHORT FORM LEASE IN O.R.B. 23370, PAGE 50; AS AFFECTED BY SUBORDINATION, ATTORNMENET AND NON-DISTURBANCE AGREEMENTS IN O.R.B. 23370, PAGE 55, O.R.B. 25312, PAGE 482, AND O.R.B. 29177, PAGE 1408; ASSIGNMENT OF LEASE IN O.R.B. 28869, PAGE 1920 APPLY TO THIS SITE, BUT CANNOT BE PLOTTED.
ITEM 44: DECLARATION OF RESTRICTIVE COVENANTS, O.R.B. 23370, PAGE 61 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 45: DECLARATION OF RESTRICTIONS IN O.R.B. 26400, PAGE 304 AND RE-RECORDED IN O.R.B. 29960, PAGE 1832 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 46: NOTICE OF ADOPTION OF DEVELOPMENT ORDER IN O.R.B. 23447, PAGE 317, AS AMENDED BY INSTRUMENT IN O.R.B. 25011, PAGE 312 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 47: CONVEYANCE AGREEMENT IN O.R.B. 25505, PAGE 667 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 48: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT IN O.R.B. 23465, PAGE 172 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 49: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT IN O.R.B. 23857, PAGE 771 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 50: DECLARATION OF EASEMENTS AND COVENANTS, CONDITIONS AND RESTRICTIONS AND NOTICE OF LIEN RIGHTS AND OPTION TO REPURCHASE IN O.R.B. 32715, PAGE 599 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 51: TRANSPORTATION CONCURRENCY AGREEMENT RELATING TO PLATS AND UN-PLATTED LAND IN O.R.B. 49303, PAGE 1500 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 52: NOT ADDRESSED.
ITEM 53: NOTICE IN O.R.B. 47023, PAGE 1132 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 54: NOT ADDRESSED.

11. ZONING REPORT NOT PROVIDED.



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 6: LOT 1-B, "HOLLYWOOD COMMERCIAL CENTER", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 117, PAGE 36, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 29,223 SQUARE FEET (0.671 ACRES), MORE OR LESS.

PARCEL 15: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR VEHICULAR AND PEDESTRIAN PURPOSES AS DISCLOSED IN GRANT OF EASEMENT DATED OCTOBER 26, 1978, RECORDED IN OFFICIAL RECORDS BOOK 7840, PAGE 382, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:

TO TACO BELL OF AMERICA, INC., A DELAWARE CORPORATION; GPD GROUP; CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 06/06/24.

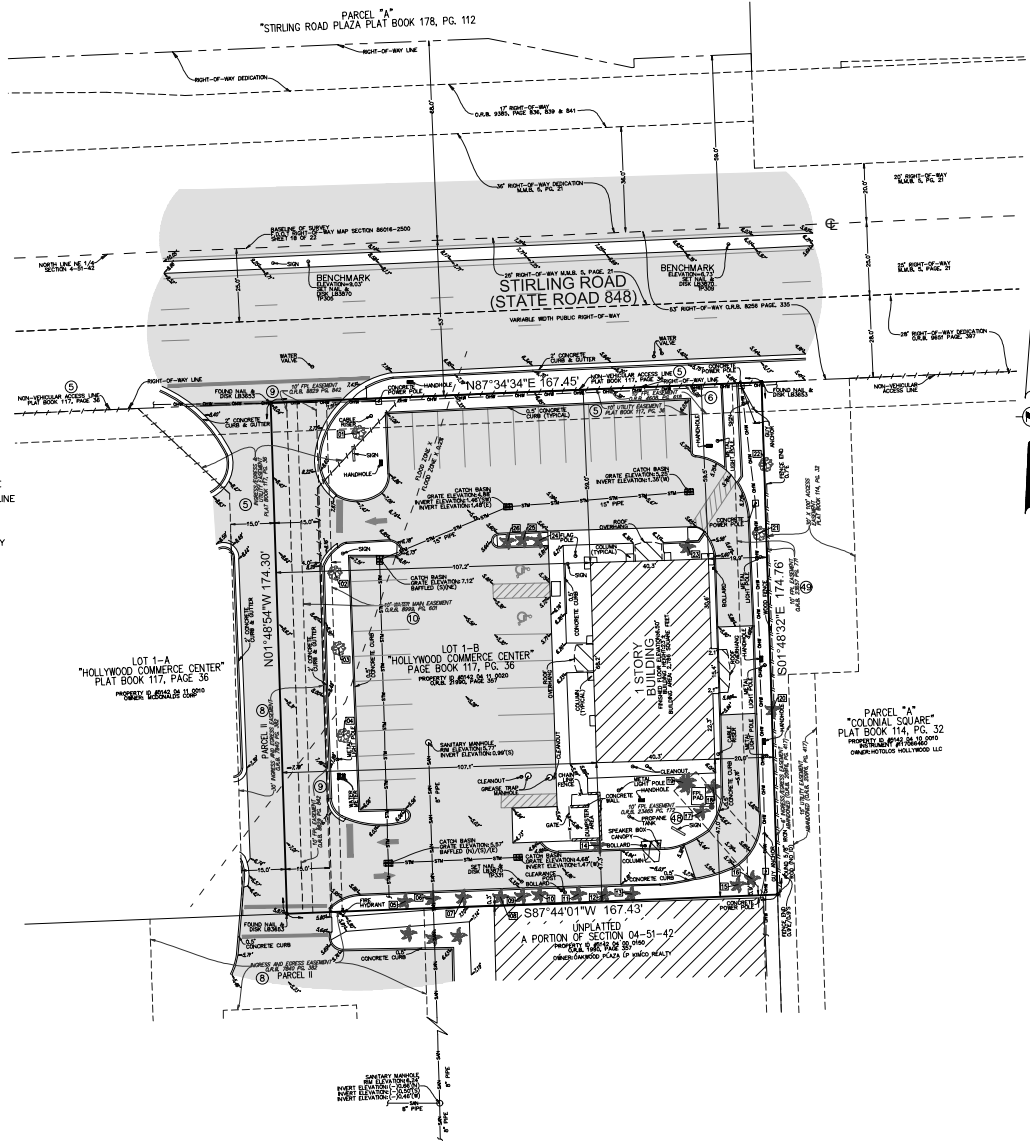
DATE OF PLAT OR MAP: 07/12/24

- JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
 - MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
- STATE OF FLORIDA

SHEET 1 OF 2
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

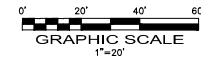
 TACO BELL SITE 2700 STIRLING ROAD HOLLYWOOD, FLORIDA 33020 (CITY OF HOLLYWOOD, BROWARD COUNTY)	BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY PULICE LAND SURVEYORS, INC. 5381 NORTH HILLCROAD SUNRISE, FLORIDA 33351 TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 E-MAIL: survey@puliceandsurveyors.com WEBSITE: www.puliceandsurveyors.com CERTIFICATE OF AUTHORIZATION LB#3870
DRAWN BY: J.S. CHECKED BY: J.F.P.	SCALE: 1" = 20' SURVEY DATE: 6/6/24 CLIENT: GPD GROUP ORDER NO.: 72860

- LEGEND & ABBREVIATIONS**
- ▭ CONCRETE
 - ▭ ASPHALT PAVEMENT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - NON-VEHICULAR ACCESS LINE
 - ⊙ CENTERLINE
 - FPL FLORIDA POWER & LIGHT COMPANY
 - LB LICENSED BUSINESS
 - O.R.B. OFFICIAL RECORDS BOOK
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - MMB MISCELLANEOUS MAP BOOK
 - PG. PAGE
 - ⊙ TREE
 - ⊙ PALM TREE
 - ⊙ COMMITMENT NUMBER



TREE TABLE

Tree Number	Common Name	Diameter (inches)	Canopy (feet)	Height (feet)
1	UNIDENTIFIED TREE	12"	20'	30'
2	OAK TREE	15"	20'	32'
3	OAK TREE	18"	20'	32'
4	OAK TREE	10"	20'	20'
5	PALM TREE	12"	12'	30'
6	PALM TREE	12"	12'	30'
7	PALM TREE	12"	12'	30'
8	PALM TREE	12"	12'	30'
9	PALM TREE	12"	12'	30'
10	PALM TREE	12"	12'	30'
11	PALM TREE	12"	12'	30'
12	PALM TREE	12"	12'	30'
13	PALM TREE	12"	12'	30'
14	PALM TREE	12"	8'	20'
15	PALM TREE	12"	12'	30'
16	PALM TREE	12"	12'	30'
17	PALM TREE	4"	8'	16'
18	PALM TREE	4"	8'	16'
19	PALM TREE (S)	4"	8'	16'
20	CABBAGE PALM	12"	12'	20'
21	GUINOA LIMBO	15"	15'	27'
22	OAK TREE	6"	12'	20'
23	PALM TREE	4"	8'	20'
24	PALM TREE	6"	5'	13'
25	PALM TREE	6"	5'	13'
26	PALM TREE	10"	10'	15'



THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

SHEET 2 OF 2

TACO BELL SITE
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA 33020
(CITY OF HOLLYWOOD, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: survey@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB33870

DRAWN BY: J.S.	SCALE: 1" = 20'	CLIENT: GPD GROUP
CHECKED BY: J.F.P.	SURVEY DATE: 6/5/24	ORDER NO.: 72860



- NOTES:**
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
 - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
 - ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 - ACCORDING TO 8.3.d SIGNS SHALL NOT EXTEND ABOVE OR BEYOND THE ROOF LINE OR PARAPET WALL.
 - MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
 - ANY LIP FROM 'F' BUT NOT GREATER THAN 'F' WILL BE VEVELED TO MEET ADA REQUIREMENTS.

DISTRICT REQUIREMENTS

THIS PLAN REFERENCE AN ALTA SURVEY BY:
PULJICE LAND SURVEYORS, INC.
 5381 HOB HILL ROAD
 SUWEE, FL 33501

SITE ADDRESS: 2700 STIRLING RD, HOLLYWOOD, FL
PCN: 142404-14-020
CURRENT FEMA FLOOD ZONE: ZONE X
PRELIMINARY FEMA FLOOD ZONE: ZONE AE (BASE E NAVID)

LAND USE INFORMATION:
 CURRENT USE: RESTAURANT W/ DRIVE-THRU
 PROPOSED USE: RESTAURANT W/ DRIVE-THRU
 FUTURE LAND USE DESIGNATION: COMMERCIAL
 ZONING DESIGNATION: PD (DANWOOD PLAZA)

DEVELOPMENT STANDARDS:	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.)	NONE	29,224 S.F.
FRONT - NORTH (FEET)	25'	44.44' (BUILDING)
SIDE - EAST (FEET)	0'	30.70' (CANOPY)
SIDE - WEST (FEET)	0'	16.27' (CANOPY)
REAR - SOUTH (FEET)	0'	50.89' (CANOPY)
MAX. HEIGHT (FEET)	300'	25.5'
MAX. IMPERVIOUS COVERAGE (%)	90%	73.8%

BUILDING HEIGHT:
 BUILDING TO ARCH: 300' 28.5'
 BUILDING TO PARAPET: 300' 22.0'

LANDSCAPE BUFFERS:

FRONT - NORTH:	REQUIRED	PROPOSED
FRONT - NORTH:	0'	VARIABLE 5'-14'
SIDE - EAST:	0'	VARIABLE 5' - 4.42'
SIDE - WEST:	0'	16.31'
REAR - SOUTH:	0'	VARIABLE 5' - 8.30'

LAND USE BREAKDOWN:

	EXISTING		PROPOSED	
	S.F.	%	S.F.	%
IMPERVIOUS	2,834	9.7%	2,187	7.5%
BUILDING	19,264	62.5%	16,192	55.4%
PERVIOUS CURB	2,240	7.7%	3,104	10.6%
TOTAL	23,338	78.9%	21,383	73.5%

PARKING DATA:

REQUIRED	USE	GFA	RATIO	AMOUNT
RESTAURANT - DRIVE THRU	2,187 SF	3.0 SPACES/1,000 SF		6 SPACES
STANDARD SPACES (8' X 19')				14
ACCESSIBLE SPACES (8' X 19')				1
TOTAL SPACES PROVIDED				15

DRIVE-THRU STAGING:
 REQUIRED:
 PER DRIVE-THRU DESIGN (3.0 SPACES/1,000 SF)
 VEHICLE STAGING SPACES SHALL MEASURE 8.5 FEET WIDE BY 18 FEET LONG AND SHALL BE PROVIDED IN A NUMBER SUFFICIENT FOR THE USE OF THE TENANT. A BYPASS LANE IS NOT REQUIRED.

PROVIDED:
 AFTER THE MENU BOARDS: 6 SPACES

LEGEND

R1-1	STOP SIGN (30" x 30")
RS-1	DO NOT ENTER (30" x 30")
RS-2	RIGHT TURN ONLY
ETP 21 06	ADA PARKING SIGN
D.Y.	DOUBLE YELLOW
W	WHITE
Y	YELLOW
*	THERMOPLASTIC

LEGAL DESCRIPTION:
 LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

HATCH LEGEND

[Hatch Pattern]	EXISTING CONCRETE
[Hatch Pattern]	PROPOSED CONCRETE

Sunshine 811
 Call 811 or visit sunshine11.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

PROJECT No. F230118
 DRAWN BY: RVD
 CHECKED BY: 10/28/2024
 CAD ID: F230118_SITE_PLANS

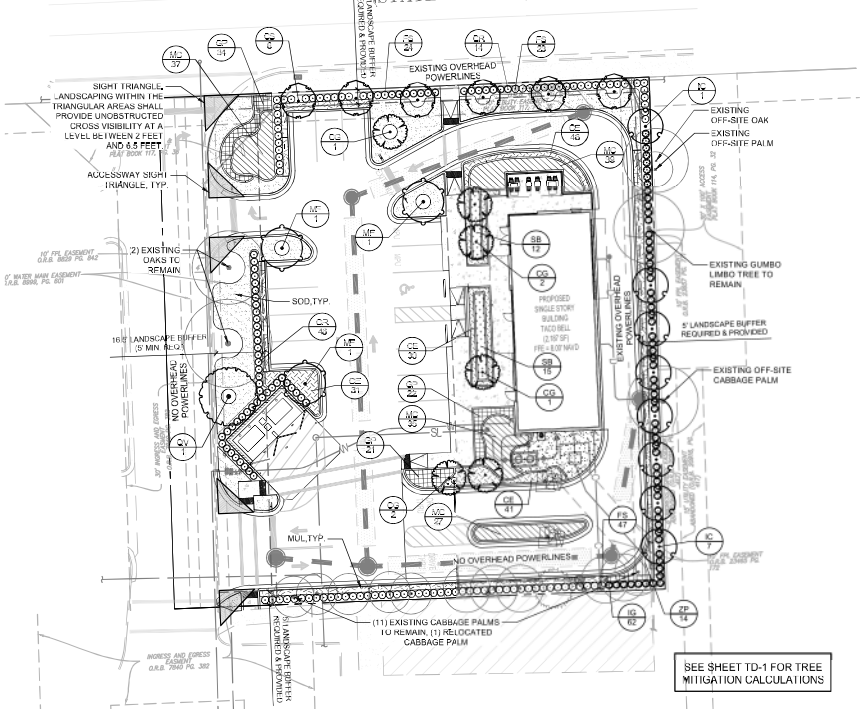
TACO BELL REDEVELOPMENT
 FOR
GPD GROUP
 2700 STIRLING ROAD
 HOLLYWOOD, FLORIDA

HOMAS ENGINEERING & SURVEYING
 8300 HWY 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.HomasEngineeringGroup.com



SITE PLAN
 SHEET NUMBER:
C-05

STIRLING ROAD
(STATE ROAD 848)



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALDBH	HEIGHT	SPREAD	NATIVE	XERIC
TREES										
CS	6	6	CONOCARPUS ERECTUS 'SERICEUS STD., FOR USE UNDER OVERHEAD POWER LINES	SILVER BUTTWOOD	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH
OG	6	6	CORDIA SEBESTENA STD., FOR USE UNDER OVERHEAD POWER LINES	ORANGE GEIGER TREE	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	MEDIUM
IC	8	8	ILEX CASPINE FOR USE UNDER OVERHEAD POWER LINES	DAHON HOLLY	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	MEDIUM
MF	3	3	MYRTANTHES FRAGRANS STD.	SIMPSON'S STOPPER	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH
CV	1	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT.	2" DBH MIN.	12' MIN.	FULL	YES	HIGH

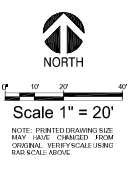
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
RELOCATED TREES										
SP-R	1	1	SABAL PALMETTO	CABBAGE PALM	-	-	-	-	YES	HIGH

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
SHRUBS										
CR	60	60	CHRYSOBALANUS ICAGO 'RED TIP'	RED TIP COCO PLUM	CONT.	30" OC	24" MIN.	FULL	YES	HIGH
FS	54	54	FORESTIA SELEGATA	FLORIDA PRIVET	CONT.	30" OC	24" MIN.	FULL	YES	HIGH
IG	62	62	ILEX GLABRA	INKBERRY HOLLY	CONT.	30" OC	24" MIN.	FULL	YES	MODERATE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
GROUND COVERS										
CE	148	148	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET NATAL PLUM	CONT.	24" OC	12" MIN.	FULL	NO	HIGH
GP	77	77	GAILLARDIA PULCHELLA	YELLOWTOP	CONT.	24" OC	FULL	FULL	YES	MODERATE
MC	138	138	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	CONT.	30" OC	FULL	FULL	YES	HIGH
SB	27	27	SPARTINA BAKERI	SAND CORNGRASS	CONT.	30" OC	12" MIN.	FULL	YES	HIGH
SP	14	14	ZAMIA PUMILA	COONTIE CYCAD	CONT.	30" OC	12" MIN.	FULL	YES	HIGH
MULCH										
MUL	732 SF	732 SF	SHREDDED MELALEUCA OR EUCALYPTUS MULCH (CYPRESS MULCH IS PROHIBITED)		3" DEPTH					
SODDED										
SOD	2,483 SF	2,483 SF	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIA GRASS	SOLID SOD					

LANDSCAPE CALCULATIONS

JURISDICTION: ZONING: CURRENT AND PROPOSED USE:	CITY OF HOLLYWOOD, FLORIDA PD (OAKWOOD PLAZA) COMMERCIAL RESTAURANT WITH DRIVE THRU	GENERAL TREE REQUIREMENT TOTAL PERVIOUS SITE AREA: TREES REQUIRED: TREES PROVIDED:	7,661 SF 3 TREES (1 TREE PER 1,000 SF OF PERVIOUS AREA) 8 TREES
INTERIOR LANDSCAPE FOR VEHICLE USE AREA TOTAL AREA: PLANTING AREA REQUIRED: PLANTING AREA PROVIDED: TREES REQUIRED: TREES PROVIDED:	16,192 SF 4,048 SF (20% OF VUA, % CALCULATION EXCLUDES H&U PERIMETER LANDSCAPED SETBACK AREA) 4,156 SF 5 TREES (1 TREE PER ISLAND) 5 TREES	NATIVE PLANT REQUIREMENT TOTAL TREES REQUIRED: NATIVE TREES REQUIRED: NATIVE TREES PROVIDED: TOTAL SHRUBS REQUIRED: NATIVE SHRUBS PROVIDED:	39 TREES 24 TREES (60%) 15 TREES (38%) 541 SHRUBS 271 SHRUBS (50%) 270 SHRUBS (100%)
PERIMETER LANDSCAPE NORTH LENGTH (STIRLING ROAD): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED:	152 LF, 6' WIDE MIN. 3 STREET TREES (1 STREET TREE PER 50 LF) 3 STREET TREES (OVERHEAD POWER LINES) PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM	TREE SPECIES REQUIREMENT TOTAL TREES REQUIRED: TREES SPECIES REQUIRED: TREES SPECIES PROVIDED:	39 TREES 4 SPECIES (4 MINIMUM SPECIES FOR 21-40 REQUIRED TREES) 6 SPECIES
EAST LENGTH (ADD. COMMERCIAL): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED:	175 LF, 6' WIDE MIN. 3 TREES (1 TREE PER 50 LF) 2 EXISTING SHRUBS (REMO) TREE & 6 PROPOSED TREES PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM	MAXIMUM ALLOWED PALM TREES TOTAL TREES REQUIRED: PALM TREES PROPOSED: IF MORE THAN 25% OF REQUIRED TREES ARE PALMS, ALL OTHER REQUIRED TREES MUST BE NATIVE SHADE TREES PROVIDED:	39 TREES 12 EXISTING CABBAGE PALMS TO REMAIN
SOUTH LENGTH (ADD. COMMERCIAL): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED:	152 LF, 6' WIDE MIN. 7 TREES (1 TREE PER 50 LF) 12 EXISTING CABBAGE PALMS PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM		
WEST LENGTH (ACCESS DRIVEWAY): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED:	132 LF, 6' WIDE MIN. 3 TREES (1 TREE PER 50 LF) 2 EXISTING OAK TREES (SIGN, DUMPSTER ENCLOSURE) PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM		



CITY OF HOLLYWOOD NOTES

- IRRIGATION PLANS WITH 100% COVERAGE TO BE SUBMITTED AT BUILDING PERMIT.
- CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT CULTIVATOR'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL, ARE PROHIBITED FOR USE IN LANDSCAPING. PRIOR TO FINAL INSPECTION APPROVAL, PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.
- NO CYPRESS MULCH IS TO BE USED ON SITE. PROVIDE EUCALYPTUS OR MELALEUCA MULCH IN A 3" CONSISTENT LAYER IN ALL PLANTING BEDS.
- NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.
- ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
- REPLACE AND FILL GAPS FOR ANY EXISTING SHRUBS AND GROUND COVER TO REMAIN. ALL SOD AREAS TO BE REPLACED AS NEEDED. PLANTING SOIL TO BE RAISED IN PLANTING AREAS TO REMAIN AS NEEDED.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE CENTURY OR "GREEN-ROOT" 24" DEEP PANELS OR EQUAL. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE 'GENERAL GRADING AND PLANTING NOTES' AND SPECIFICATIONS).

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER SOURCE AVAILABLE (RECLAIMED OR SHALLOW WELL) AND THE SYSTEM WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE WHERE REQUIRED BY THE JURISDICTIONAL AUTHORITY. POTABLE WATER SHALL NOT BE USED FOR LANDSCAPE IRRIGATION (PW UTILITY STANDARDS MANUAL 11.3.B.).
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER, BY USING THE FOLLOWING DEVICES AND SYSTEMS: WATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND WULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, FINISH GRADE REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +4.0" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSULT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST) PER SPECIFICATIONS, AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 7" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITIES AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE ALL PLANTS OFFERED TO THE SITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 - THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START UP OF THE MAINTENANCE PERIOD, AND FOR THE ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

HOMAS
ENGINEERING ARCHITECTS
LANDSCAPE ARCHITECTS
1020 W. FLETCHER AVE.
SUITE 100
TAMPA, FL 33606
P: (813) 274-1100
F: (813) 274-2500

REV.	DATE	REVISION	BY
1	7/12/2024	TAC COMMENTS	CLM

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Call 811 or visit sunshine811.com full business days before digging to locate buried facilities located and marked.
Check positive response codes before you dig!

GENERAL CONTRACTOR: JAMES M. ...
PROJECT NO.: 230115
DATE: 07/12/2024
DRAWN BY: TAC
CHECKED BY: TAC
DATE: 07/12/2024

TACO BELL REDEVELOPMENT
FOR
GPD GROUP
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

HOMAS
ENGINEERING ARCHITECTS
6200 NW 135TH AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 302-7000
FX: (954) 302-7070
www.HomasEngineeringGroup.com

SHEET TITLE
LANDSCAPE PLANTING PLAN
SHEET NUMBER
LP-1

HOMAS
ENGINEERING GROUP
12301 W. INDEPENDENT RD.
TAMPA, FL 33613
P: 813.374.1100
F: 813.374.1102



EROSION CONTROL NOTES:

- CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
- ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
- SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
- SEEDMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- ALL CRABBED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER OR RENOVEGATION PRIOR TO COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT, AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS SEEDING PERMANENT SOIL. A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT GRASS OR SOIL AT THE PROPER TIME OF YEAR.
- HILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
- THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SCHEDULE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED VERTICALLY PERMANENT STABILIZATION.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EXISTING OPERATIONS.
- CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNERS.
- LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
- THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCES AS SHOWN AT THE PERIMETER OF THE SITE AS AN PRIOR TO ANY GRADING AND CLEARING ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE INFLUX STORMWATER REQUIREMENTS, THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
- ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED IN-PAV ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL CRABBED AREAS IS COMPLETE.
- PRIOR TO CONSTRUCTION THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE, CLEANED AND MAINTAINED THROUGHOUT CONSTRUCTION. MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STREETS, CURBS, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

NO.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CLM

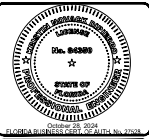
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WESTON N. SPRINGS, STATE OF FLORIDA
PROFESSIONAL ENGINEER LICENSE NO. 12345
THIS FIRM HAS BEEN OFFICIALLY ISSUED AND SEALED BY WESTON N. SPRINGS, PE ON 10/10/2024.
THIS SEAL IS VALID FOR THE STATE OF FLORIDA AND IS NOT TO BE REPRODUCED, COPIED, OR ALTERED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF WESTON N. SPRINGS, P.E.
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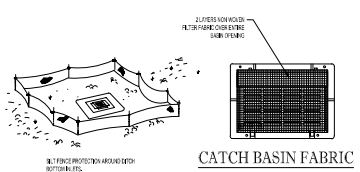
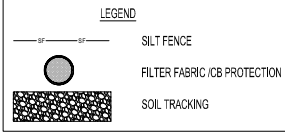
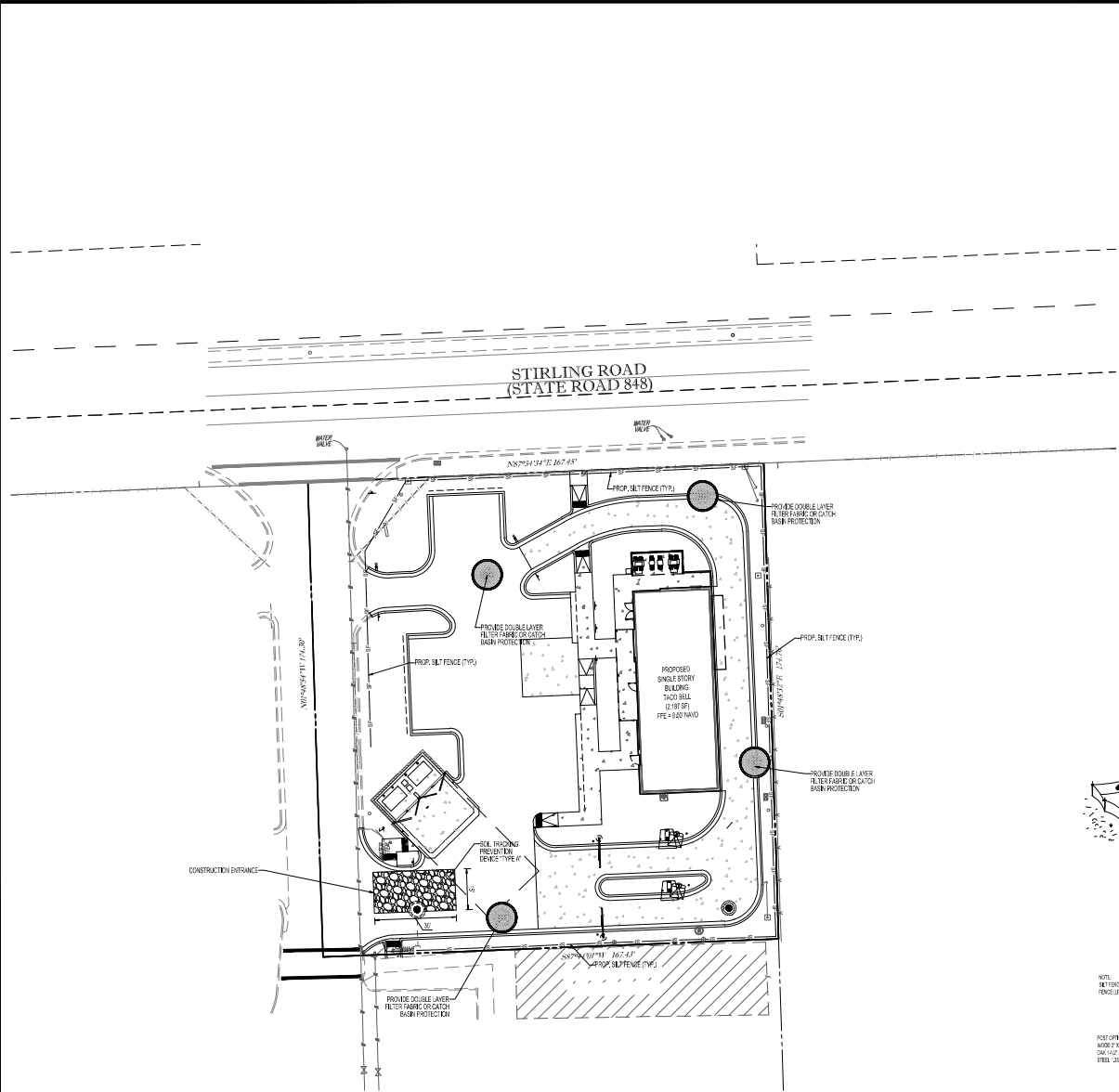
PROJECT No.: F230118
DRAWN BY: RYAN
CHECKED BY: RYAN
DATE: 10/10/2024
CAD ID: F230118_0001

TACO BELL REDEVELOPMENT
FOR
GPD GROUP
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

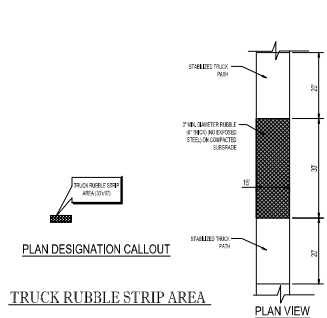
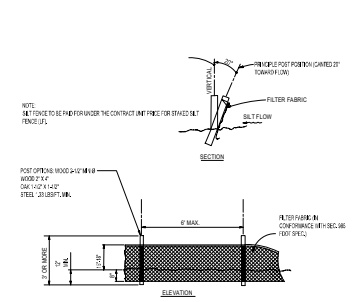
HOMAS
ENGINEERING GROUP
6300 HWY 301 AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7070
FX: (954) 202-7070
www.HomasEngineeringGroup.com



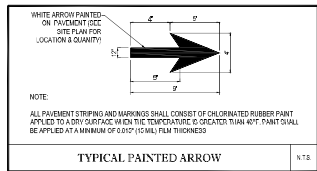
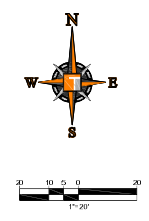
SHEET TITLE:
EROSION CONTROL PLAN
SHEET NUMBER:
C-03



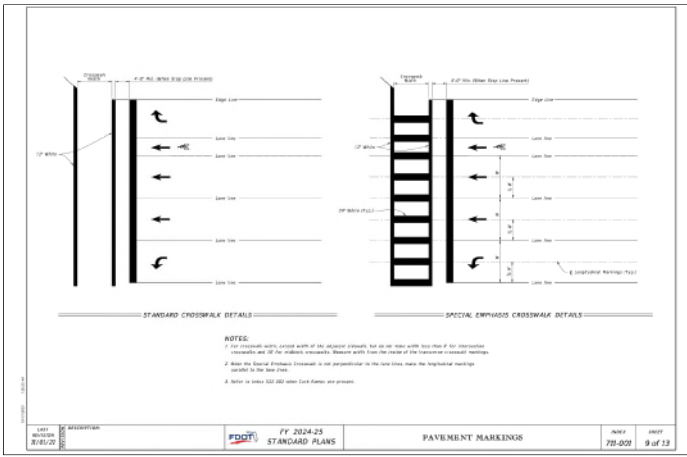
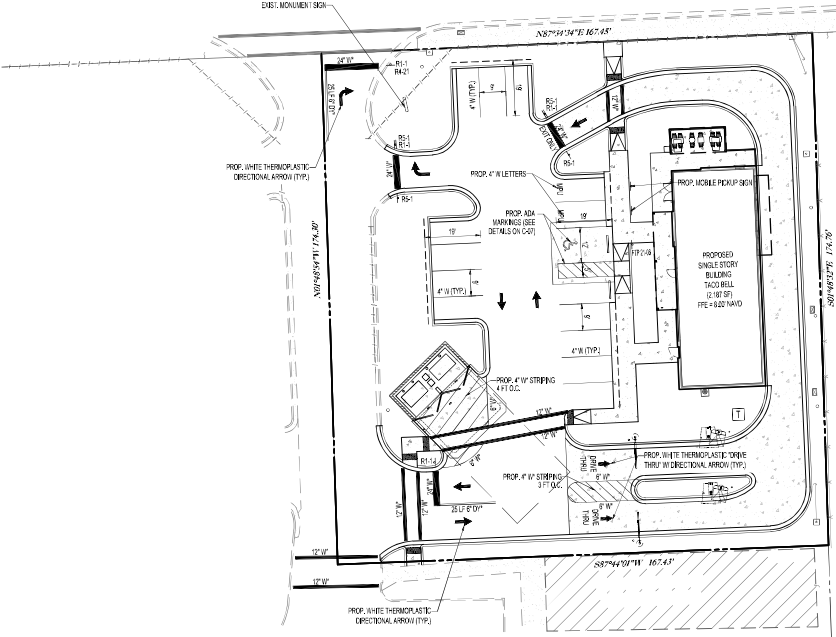
- NOTES:**
- SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREAS ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
 - CATCH BASIN FABRIC TO BE PLACED ON AREAS INLET SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
 - ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, SILT FENCE AND OTHER BVPS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.



Project No. 24000, October 28, 2024, 11:41 AM by: ryan@homas.com



LEGEND	
R1-1	STOP SIGN (30" x 30")
R2-1	DO NOT ENTER (30" x 30")
R4-21	RIGHT TURN ONLY
FP-21 06	ADA PARKING SIGN
D.Y.	DOUBLE YELLOW
W.Y.	WHITE
Y.Y.	YELLOW
THERMOPLASTIC	THERMOPLASTIC



- NOTES:**
1. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT, AND BCTED STANDARDS.
 2. ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND MIN. 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
 3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 4. BCTED APPROVAL WILL BE REQUIRED FOR ALL PAVEMENT MARKINGS WITHIN CITY RIGHTS-OF-WAY.
 5. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT STANDARDS, UNLESS OTHERWISE NOTED.

HOMAS
ENGINEERING & SURVEYING
P.L.L.C.

120 W. INDIAN TOWN RD.
SUITE 101, L3369
TAMPA, FL 33613
P: 813.379.4100
F: 813.379.4101

REV.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CJM

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PROJECT No. 2300119
DRAWN BY: JEV
CHECKED BY: 00000000
DATE: 02.28.2024

TACO BELL REDEVELOPMENT
FOR
GPD GROUP
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

HOMAS
ENGINEERING & SURVEYING P.L.L.C.

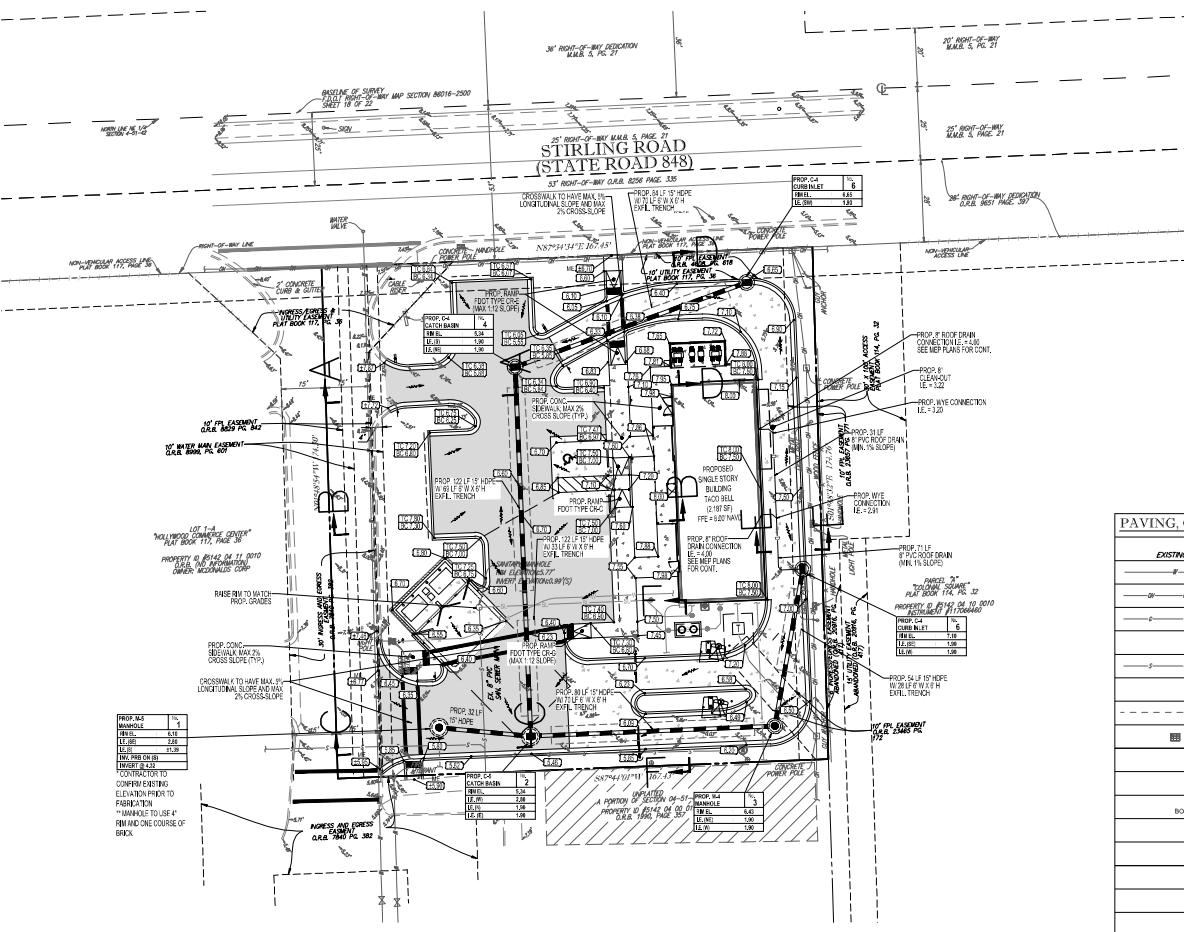
6300 HWY 3151 AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 200-7000
FX: (954) 200-7070
www.HomasEng.com/GpdGroup.com



SHEET TITLE
PAVEMENT MARKING & SIGNAGE PLAN
SHEET NUMBER
C-08

HOMAS
ENGINEERING CORPORATION

125 NW INDIAN TOWN DR.
TAMPA, FL 33613
P: 813.774.1100
F: 813.774.1101



CONSTRUCTION NOTES:

- CONTRACTOR TO SNAKE OUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITH-IN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOIL UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH ESTABLISHED WHENEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT AN ADDITIONAL COST TO THE OWNER.
- NOTIFY FLORIDA STATE ONE CALL (1-800-434-7770) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCRUCH ON PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND ALL SIDEWALKS SHALL NOT EXCEED A 5.0% RUNNING SLOPE.
- EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
- DAMAGED SIDEWALK AND/OR CURB AND GUTTER SHALL BE RESTORED WITH FULL FLASK 4" THICK USING GRANULAR MATERIAL, AND TACTILE FOR HANDICAP WALKS. (FOOT TRACK 304.119 AND SPEC 202)
- DAMAGE TO PAVEMENT IN THE FOOT WAY THAT IS LESS THAN 5 YEARS O.D.M.I. SHALL BE REPAIRED AND REPAVEMENT SHALL BE IN THE SAME DIRECTION FROM THE DAMAGED AREA. ASPHALT WILL BE MATCHED TO THE EXISTING ASPHALT TYPE USED IN THE PREVIOUS FOOT PRODUCT WITHIN 5'-12.5'-2.5' AND FC 963.1.
- NOTIFY DOT INSPECTOR MR. CURTIS DELIVERY AT (305) 840-2000, (888) 512-0136, CURTIS.DELIVERY@DOT.STATE.FL.US 48 HOURS PRIOR TO STARTING WORK.
- SEWERAGE, RAINWATER AND/OR CURB AND GUTTER WORK WITHIN FOOT ROW SHOULD BE PER FOOT 202-23 STANDARD PLANS INDEX NO. SD-001, SD-001, SD-001, SD-001, SD-001 AND FOOT STANDARD SPECIFICATION 522.
- PERMIT APPROVAL IN-NO-WAY CONSTITUTES THAT THE PERMITTED HAS AN APPROVED LANE CLOSURE. THE APPLICANT MUST HAVE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR OF THE AREA.
- ALL DAMAGED SIDEWALKS SHALL BE REPLACED. REPLACE COMPLETE CONCRETE FLASK FROM JOINT TO JOINT. NO PATCHING IS PERMITTED. SIDEWALKS TO BE INSTALLED IN COMPLIANCE WITH ADA AND FLORIDA GERMINDOC.
- ALL FULL BOXES, MANHOLES, AND OTHER APPURTENANCES LOCATED BY PROPOSED SIDEWALK AREAS SHALL HAVE LOS PLUS WITH THE FINISHED GRADE AND ADA COMPLIANT.
- ALL CURB AND GUTTER SEGMENTS REQUIRING REPLACEMENT SHALL BE REPLACED FROM JOINT TO JOINT.

PAVING, GRADING & DRAINAGE LEGEND

EXISTING	TYPICAL NOTE TEXT	PROPOSED
	UNDERGROUND WATER LINE	
	OVERHEAD ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	ROOF DRAIN	
	SANITARY SEWER	
	SANITARY SEWER LATERAL	
	DRAINAGE LINE	
	CATCH BASIN	
	CLEAN OUT	
	GRADE SPOT (SPT)	
	TOP OF CURB (TO CURB) (LIMITED)	
	BOTTOM OF CURB (BO CURB) (LIMITED)	
	HATCH EXISTING	
	FLOW ARROW	
	BACKFLOW PREVENTER	
	WATER METER	
	FIRE HYDRANT	
	SANITARY MANHOLE	

HATCH LEGEND

	EXISTING CONCRETE		PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT		PROPOSED PAVERS

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KAREN N. JARVIS, STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER NO. 12021
I HAVE REVIEWED THESE PLANS AND BELIEVE THEM TO BE ACCURATE AND COMPLETE. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY. I AM NOT RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE USER OF THESE PLANS. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE USE OF THESE PLANS FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE DESIGNED.

PROJECT NO. F23018
DRAWN BY: JY
CHECKED BY: JY
DATE: 10/20/2024
SCALE: 230118.000

TACO BELL REDEVELOPMENT

FOR
GPD GROUP

2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

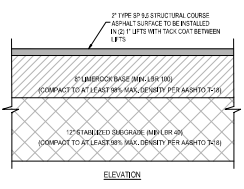
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8300 HWY 191ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7070
FX: (954) 202-7070
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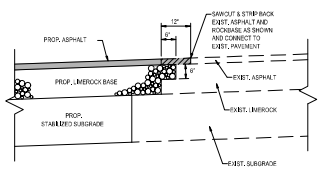
Professional Engineer Seal for Karen N. Jarvis, State of Florida, License No. 12021, Exp. 12/31/2026.

SHEET TITLE
PAVING, GRADING & DRAINAGE PLAN

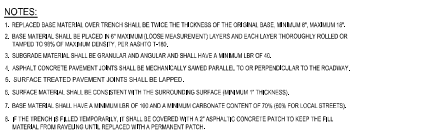
SHEET NUMBER
C-09



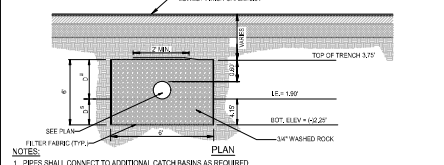
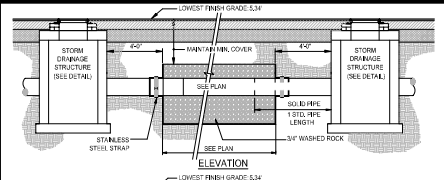
ELEVATION



ELEVATION



PLAN



PLAN

NOTE: PAVEMENT SECTION ASSUMES THE COMPLETE REMOVAL OF ALL ORGANIC MATERIAL.

NOTES:
 1. REPLACE BASE MATERIAL OVER TRENCH SHALL BE THICKER THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 1" THICKNESS.
 2. BASE MATERIAL SHALL BE PLACED IN 4" MAXIMUM LAYER (S) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER ASTM D 1557.
 3. SURFACE MATERIAL SHALL BE FINISHED TO A MINIMUM 1/4" OF 40.
 4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWS PARALLEL TO OR PERPENDICULAR TO THE ROADWAY.
 5. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED.
 6. SURFACE MATERIAL SHALL BE COMPACTED TO THE SURROUNDING SURFACE (MINIMUM 1" THICKNESS).
 7. ROAD MATERIAL SHALL HAVE A MINIMUM OF 100 LBS PER SQUARE YARD CONTAINING 1% OF LOCAL STREET'S.
 8. IF THE TRENCH IS FILLED WITH GRANULAR MATERIAL, IT SHALL BE COVERED BY A 4" ASPHALT CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM MOVING UNTIL REPLACED WITH A PERMANENT PATCH.

NOTES:
 1. PIPES SHALL CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
 2. BALLAST ROCK SHALL CONSIST OF 3/4" WASHED ROCK AND BE FROM FRESH WATER WASHED FREE OF OLETFIBRIOUS MATERIAL.
 3. TRENCH TO BE LINED WITH AMCCO PROPEX 4545 OR APPROVED EQUIVALENT TYPE FILTER FABRIC. OVERLAP TRENCH LINED MATERIAL A MINIMUM OF 2" AT TOP OF TRENCH. CLOSE ENDS AND STRAP AROUND PIPE.
 4. IN AREAS OVER TRENCH WHERE THE FULL ROADWAY SECTION CANNOT BE CONSTRUCTED, THE AREA ABOVE THE TRENCH SHALL CONSIST ENTIRELY OF INTERLOCK BASE (18T105).

1 ASPHALTIC CONCRETE PAVEMENT DETAIL
SCALE: NONE

2 CONNECTION TO EXISTING PAVEMENT DETAIL
SCALE: NONE

3 PAVEMENT RESTORATION DETAIL
SCALE: NONE

4 EXFILTRATION TRENCH
SCALE: NONE

SECTION A-A

TYPE	1'	12"	18"	24"	30"	
C4	4'0" Ø	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 12" C.C.E.W.	8'4" Ø
C5	5'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 12" C.C.E.W.	7'4" Ø
C6	6'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C7	7'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C8	8'0" Ø	10"	10"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	10'4" Ø

SECTION A-A

TYPE	1'	12"	18"	24"	30"	
C4	4'0" Ø	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 8" C.C.E.W.	8'4" Ø
C5	5'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C6	6'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C7	7'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C8	8'0" Ø	10"	10"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	10'4" Ø

CONSTRUCTION JOINT

SAW JOINT

CONCRETE PAVING

EXPANSION JOINT

REVISIONS

NO.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CLM

PROJECT: TACO BELL REDEVELOPMENT FOR GPD GROUP

2700 STIRLING ROAD, HOLLYWOOD, FLORIDA

PROJECT NO. F23018
 DRAWN BY: AND
 CHECKED BY: 10/20/2024
 CAD ID: F23018-0102-02-01

PROJECT: TACO BELL REDEVELOPMENT FOR GPD GROUP

2700 STIRLING ROAD, HOLLYWOOD, FLORIDA

PROJECT NO. F23018
 DRAWN BY: AND
 CHECKED BY: 10/20/2024
 CAD ID: F23018-0102-02-01

PROJECT: TACO BELL REDEVELOPMENT FOR GPD GROUP

2700 STIRLING ROAD, HOLLYWOOD, FLORIDA

PROJECT NO. F23018
 DRAWN BY: AND
 CHECKED BY: 10/20/2024
 CAD ID: F23018-0102-02-01

5 PRECAST CIRCULAR CATCH BASIN
SCALE: NONE

6 PRECAST CONCRETE-TOP SLAB
SCALE: NONE

7 CONCRETE PAVEMENT JOINT
SCALE: NONE

SECTION A-A

TYPE	1'	12"	18"	24"	30"	
C4	4'0" Ø	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 12" C.C.E.W.	8'4" Ø
C5	5'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 12" C.C.E.W.	7'4" Ø
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C8	8'0" Ø	10"	10"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	10'4" Ø

SECTION A-A

TYPE	1'	12"	18"	24"	30"	
C4	4'0" Ø	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 8" C.C.E.W.	8'4" Ø
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C7	7'0" Ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	8'4" Ø
C8	8'0" Ø	10"	10"	#5 @ 12" C.C.E.W.	#5 @ 8" C.C.E.W.	10'4" Ø

CONSTRUCTION JOINT

SAW JOINT

CONCRETE PAVING

EXPANSION JOINT

8 PRECAST CIRCULAR CURB INLET
SCALE: NONE

9 PRECAST CONCRETE-TOP SLAB
SCALE: NONE

HOMAS ENGINEERING GROUP, INC.

125 N. INDIAN TOWN RD.
 SUITE 100
 TAMPA, FL 33612
 P: 813.774.1100
 F: 813.774.1100

REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12500
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 LICENSE NO. 12500

REVISIONS

NO.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CLM

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PROJECT NO. F23018
 DRAWN BY: AND
 CHECKED BY: 10/20/2024
 CAD ID: F23018-0102-02-01

PROJECT: TACO BELL REDEVELOPMENT FOR GPD GROUP

2700 STIRLING ROAD, HOLLYWOOD, FLORIDA

HOMAS ENGINEERING GROUP, INC.

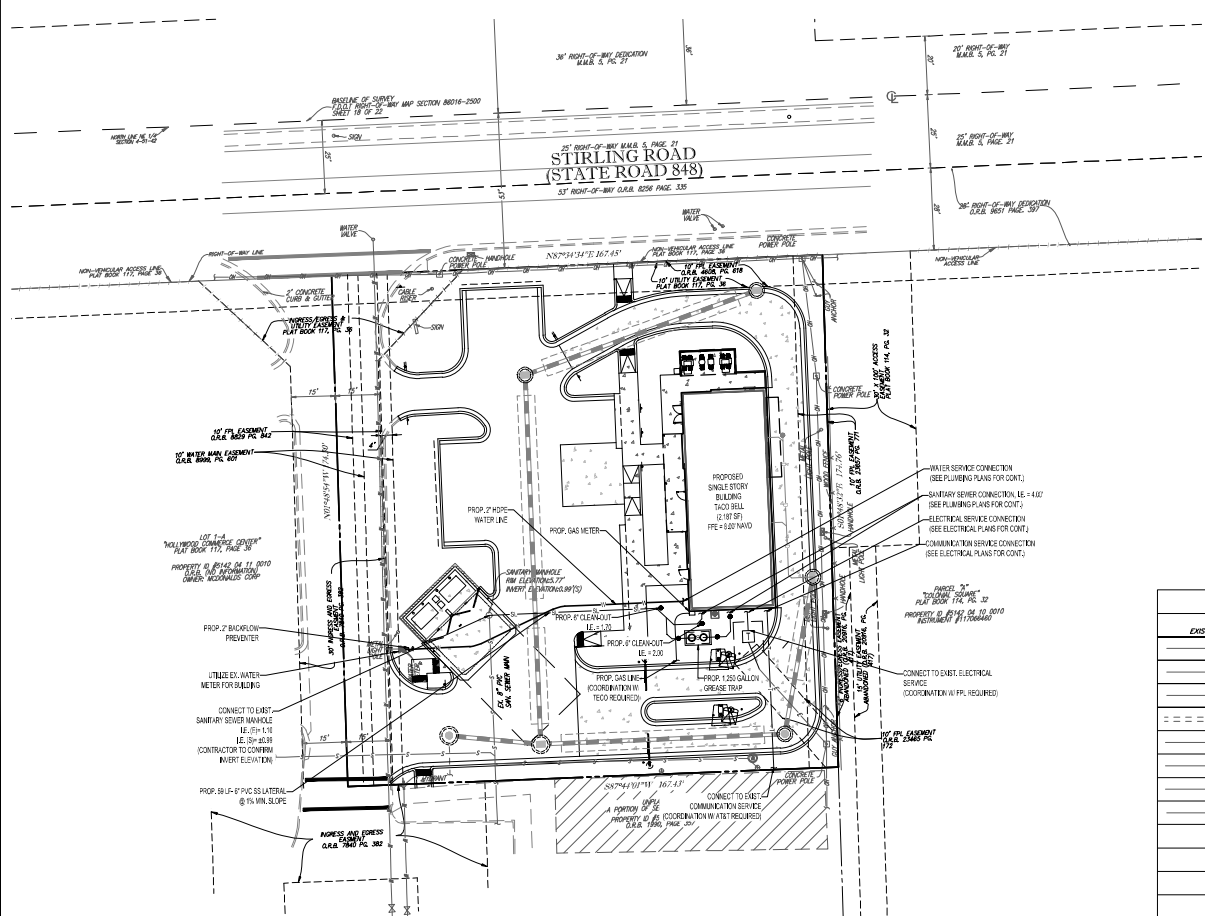
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REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12500
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 LICENSE NO. 12500

SHEET TITLE: PAVING, GRADING & DRAINAGE DETAILS

SHEET NUMBER: C-10

Project: C:\Users\johndoe\OneDrive\Documents\2024\11442.dwg by John Doe 10/20/2024



- NOTES:**
1. THE BOTTOM ELEVATION OF THE EXTERIOR ELECTRICAL AND/OR MECHANICAL EQUIPMENTS SHALL BE ELEVATED TO MATCH THE PROPOSED FFE.
 2. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS III, OR V LICENSE PER FS 633.102

NOTE:
CONTRACTOR TO FIELD VERIFY, PRIOR TO CONSTRUCTION, INVERTS, PIPE SIZES, AND MATERIAL FOR ALL EXISTING UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY TO THE ENGINEER OF RECORD ABOUT ANY DISCREPANCIES FOUND.

WATER & SEWER DEMAND:
Water:
FAST FOOD RESTAURANT
2,187 SF @ (473 GPD/1000 SF) = 1,038 GPD
Sewer:
FAST FOOD RESTAURANT
2,187 SF @ (383 GPD/1000 SF) = 842 GPD
THIS CALCULATION WAS BASED ON BROWARD COUNTY WATER & WASTEWATER ENGINEERING DESIGN GUIDELINES. CONSULT ENGINEERING TO PROVIDE TOLERABLE WATER AND WASTEWATER SERVICE.

FIRE FLOW REQUIREMENT:
BASED ON TYPE III(100) CONSTRUCTION
AS PER NFPA 1 (2018 ED), SECTION 184.4.2—"THE FIRE FLOW AREA OF ASSEMBLY CONSTRUCTION OR TYPE III(100) CONSTRUCTION SHALL BE THE AREA OF THE THREE LARGEST SUCCESSIVE FLOORS." THE TOTAL AREA OF THE THREE LARGEST SUCCESSIVE FLOORS IS 2,367 SQUARE FEET AND AS PER NFPA 1 (2018 ED), TABLE 184.5.1, THE FIRE FLOW REQUIRED IS 1,000 GPM FOR A DURATION OF 2 HOURS.

UTILITY NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-IN CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
6. CONTRACTOR SHALL COORDINATE WITH BUILDING PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTINGS OF POWER AND TELEPHONE SERVICE TO BUILDING.
7. SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
9. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
10. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
11. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
12. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
13. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR PAID TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS.
14. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATION SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-IN CONNECTIONS TO THEIR FACILITIES.
16. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
17. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
18. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
19. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
20. PROVIDE MINIMUM 18" VERTICAL AND 2' HORIZONTAL CLEARANCE OF ELECTRIC CONDUITS TO ANY OTHER UTILITY LINE.

UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
—	UNDERGROUND WATER LINE	—
—	UNDERGROUND ELECTRIC LINE	—
—	UNDERGROUND TELEPHONE LINE	—
—	STORM SEWER	—
—	SANITARY SEWER MAIN	—
—	SANITARY SEWER LATERAL	—
—	GAS SERVICE	—
—	OVERHEAD WIRE	—
+	HYDRANT	+
○	SANITARY MANHOLE	○
○	STORM MANHOLE	○
■	CATCH BASIN	■
■	WATER METER	■
■	BACKFLOW PREVENTER	■
○	CLEAN OUT	○

HOMAS
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REFERENCE

REV.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CLM

Sunshine
Call 811 or visit sunshine11.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

TACO BELL REDEVELOPMENT
FOR
GPD GROUP
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

HOMAS
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SHEET TITLE
UTILITY PLAN
SHEET NUMBER
C-12

WATER SYSTEM NOTES:

1. NEW OR RELOCATED SANITARIUMS MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
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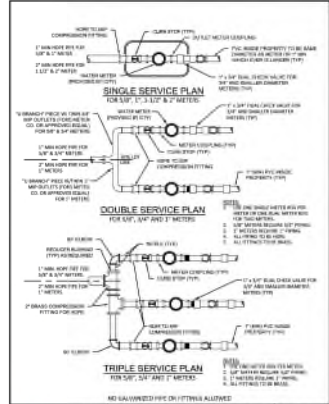
DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WATER MAIN NOTES
 SHEET NO. W-01

WATER SYSTEM NOTES (CONTINUED):

11. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
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DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WATER MAIN NOTES
 SHEET NO. W-02



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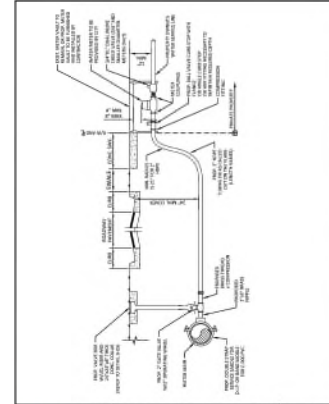
DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WATER MAIN NOTES
 SHEET NO. W-06

WATER METER SERVICE NOTES:

1. SUCCESSFUL TAP WITH THE WATER MAIN SHALL BE MADE NOT LESS THAN 2' FROM CENTER.
2. TAP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AMERICAN STANDARD CODE FOR IRON PIPE AND FITTINGS (ASTM A 213) THROUGH 3/4\"/>
- 3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1/2\"/>
- 4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1/2\"/>
- 5. FOR METERS EXCEEDING 1/2\"/>
- 6. APPROVED EXISTING TAPING MAY BE USED AT THE TAP LOCATION.
- 7. FOR NEW METERS INSTALLATIONS, ALL METERS, VALVES, FITTINGS, AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL METERS, VALVES, FITTINGS, AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
- 8. FOR EXISTING METERS, THE METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL METERS, VALVES, FITTINGS, AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
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DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WATER METER SERVICE NOTES FOR 5/8\"/>
 SHEET NO. W-07



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 DRAWN BY: [Name]
 APPROVED BY: [Name]

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 TYPICAL 2-INCH HWP WATER SERVICE FOR SINGLE 1/2\"/>
 SHEET NO. W-09

WATER MAIN TESTING AND DISINFECTION NOTES:

1. NO CONNECTIONS TO THE EXISTING MAIN SHALL BE MADE UNTIL THE PRESSURE AND SANITARIUM TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAIN AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE HAWAIIAN COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR A MINIMUM OF 2 HOURS AT A PRESSURE OF 150 PSI IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED IN LENGTHS NOT TO EXCEED 1000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AMERICAN STANDARD CODE FOR IRON PIPE AND FITTINGS (ASTM A 213) THROUGH 3/4\"/>
- 5. SANITARIUM TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
- 6. THE GENERAL CONTRACTOR SHALL OBTAIN A TEST REPORT FROM THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
- 7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE COMPLETED UNTIL ALL TESTS HAVE BEEN PASSED.

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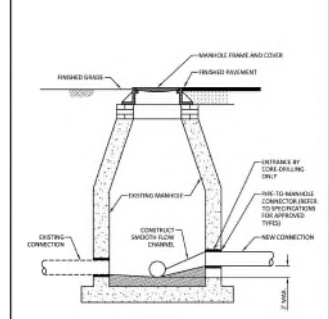
DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WATER MAIN TESTING AND DISINFECTION NOTES
 SHEET NO. W-14

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER SHALL BE 4' UNLESS OTHERWISE SPECIFIED IN THE STANDARD DETAIL.
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
3. EXISTING MAINS SHALL BE TESTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD'S WATER MAIN STANDARD DETAIL.
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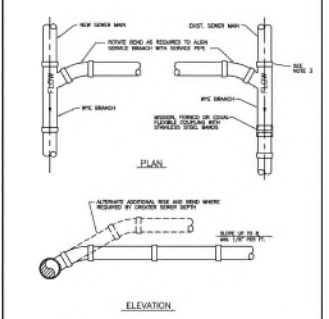
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DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 SANITARIUM TESTS AND DISINFECTION NOTES
 SHEET NO. S-01



ISSUED: 05/01/19
 DRAWN BY: [Name]
 APPROVED BY: [Name]

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 NEW CONNECTION TO EXISTING MANHOLE
 SHEET NO. S-07



ISSUED: 05/01/19
 DRAWN BY: [Name]
 APPROVED BY: [Name]

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
 WYE BRANCH CONNECTION
 SHEET NO. S-09

HOMAS ENGINEERING
 CIVIL ENGINEERS - PROJECT MANAGERS - LANDSCAPE ARCHITECTS
 425 W. INDIAN LANE
 SUITE 100
 HOLLYWOOD, FL 33024
 PHONE: 954-962-7500
 FAX: 954-962-7501
 WWW.HOMAS-ENGINEERING.COM

REV.	DATE	DESCRIPTION	BY
1	7/12/2024	TAC COMMENTS	CJM

Sunshine 811
 Call 811 or visit sunshine811.com two full business days before digging to locate buried facilities located and marked.
 Check positive response codes before you dig!
 KERNAN OPERATIONS, STATE OF FLORIDA
 PROJECT NO. 1730019
 SHEET NO. S-01
 DATE: 10/09/2024
 CADD: 12/01/19 HWS/DE/TALS

TACO BELL REDEVELOPMENT
 FOR
GPD GROUP
 2700 STIRLING ROAD
 HOLLYWOOD, FLORIDA

HOMAS ENGINEERING
 3200 NW 151ST AVENUE
 FORT LAUDERDALE, FL 33349
 PH: (954) 200-3700
 FX: (954) 200-7070
 WWW.HOMAS-ENGINEERING.COM

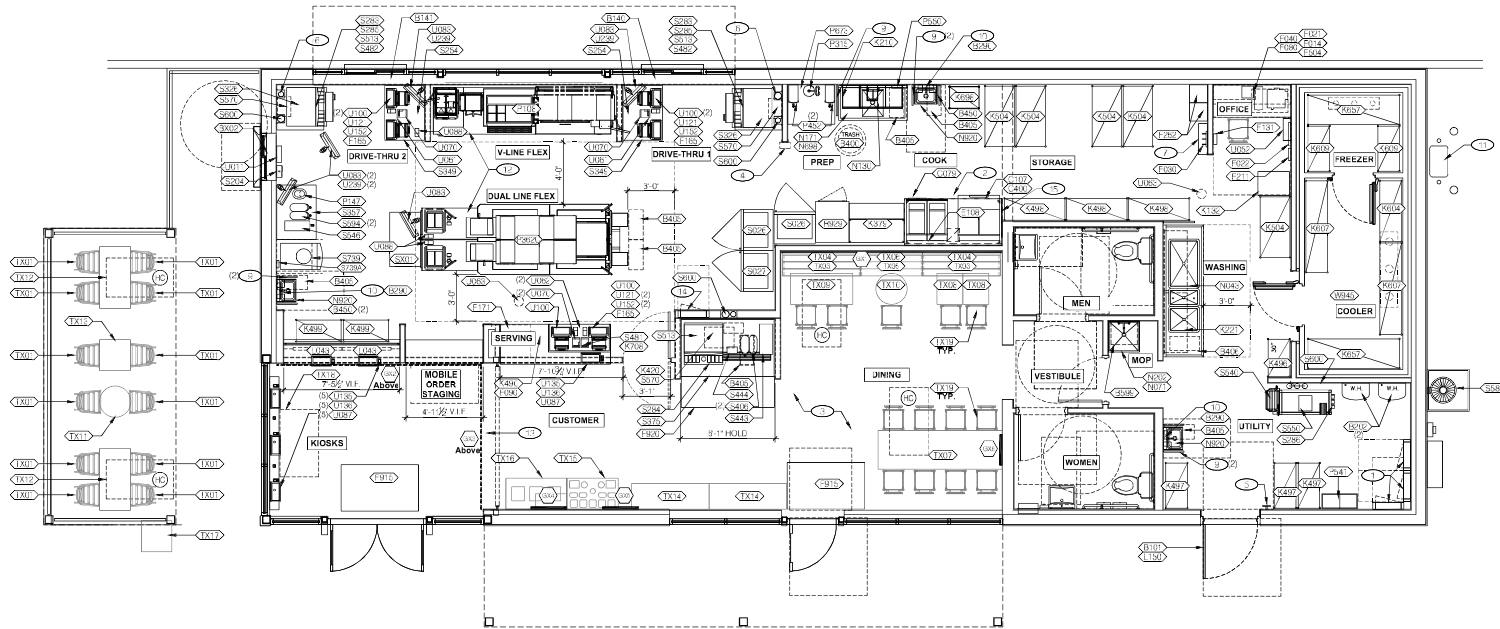
Professional Engineer Seal for [Name], State of Florida, License No. 12345, Exp. 12/31/2024.

SHEET TITLE
UTILITY DETAILS
 SHEET NUMBER
C-13

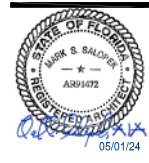
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Mark S. Salopek, LLC

101 W. LINDBERG AVE. #210
CHICAGO, IL 60611
PHONE 312.371.1110



EQUIPMENT AND SEATING PLAN 1/4"=1'-0" **A**



PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24
BLDG TYPE: KITCHEN-X MED20
WM UPLOAD DATE:
BRAND DESIGNER: TS
SITE NUMBER: 298861
STORE NUMBER: 461022
P/MPM: Dowling
DRAWN BY: RS
JOB NO.: 2023088.52

TAG	QTY	ITEM DESCRIPTION
TX01	2	PATIO CHAIR - 22 X 20 - EXTERIOR
TX03	2	BENCH BACK REST - 48"
TX04	2	BENCH SEAT - 48"
TX05	1	BENCH BACK REST - 60"
TX06	1	BENCH SEAT - 60"
TX07	1	HUB TABLE - 96" - (NOT HIGH TOP)
TX08	2	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
TX09	1	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
TX10	1	SS TABLE - 24 DIA X 30 - 2 TOP
TX11	1	PATIO TABLE - 24 DIA X 30 - 2 TOP - EXTERIOR
TX12	2	PATIO TABLE ADA - 24 X 48 X 30 - 4 TOP - EXTERIOR
TX13	1	PATIO TABLE - 24 X 20 X 30 - 2 TOP - EXTERIOR
TX14	2	COUNTER TOP - 60" X 20" X 30"
TX15	1	CONDIMENT COUNTER - RECTANGLE
TX16	1	WASTE ENCLOSURE - 3 STREAM
TX17	1	WASTE ENCLOSURE - SINGLE - EXTERIOR
TX18	1	KIOSK TABLE W/ (2) CORE DRILLED SUPPORTS, (3) GROMMETS

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N. **E**

TAG	QTY	ITEM DESCRIPTION
TX19	14	CHAIR - LAMINATE SEAT

QTY	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
1	TBD			H 7'-0" x W 15'-0"	SEE A8.0
1	TBD			H 7'-0" x W 15'-0"	SEE A8.0
1	TBD			H 13'-0" x W 14'-0"	SEE A8.0
1	TBD			28x40	SEE A8.0
1	TBD			28x40	SEE A8.0
1	TBD			30"	SEE A8.0

ARTWORK PROVIDED IS FPO (for placement only) REFER TO ARTWORK CATALOG ON TACOBELLPLANS.COM FOR 3 OTHER OPTIONS
ALL DIMENSIONS ON WALLS TO RECEIVE MURALS SHALL BE FIELD VERIFY PRIOR TO ORDERING AND LARGER THEN ACTUAL WALL FOR EDGE TO EDGE COVERAGE.

ARTWORK SCHEDULE **D**

- LEGEND**
- REFER TO SC SHEETS FOR SCOPE OF WORK FOR RESPONSIBILITIES.
 - Ⓜ SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	05
COLD STORAGE	22
FROZEN STORAGE	12

SHELVING QUANTITIES **C**

- GENERAL NOTES** **C1**
- Ⓜ ELECTRICAL PANELS.
 - Ⓜ HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
 - Ⓜ MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 36" AT DOORWAYS AND GATED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).
 - Ⓜ ALERT LIGHT BOX FOR 30AMP POWER SOAK.
 - Ⓜ PULL STATION @ 3'-8" A.F.F.
 - Ⓜ REFRIGERANT LINES RUN IN SS CHASE COATED TO WALL.
 - Ⓜ TBCCB ENERGY MANAGEMENT BOX ABOVE CANT RACK F030.
 - Ⓜ NOT USED.
 - Ⓜ SPLASH GUARD.
 - Ⓜ AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
 - Ⓜ GAS METER.
 - Ⓜ FOR DUAL-FLEX LINE AND I-LINE FLEX SUB-EQUIPMENT SEE SHEETS A8.2 & A8.3.
 - Ⓜ ROLL-UP GRILLE.
 - Ⓜ LOCATION OF V-LINE ELECTRIC PANEL.
 - Ⓜ HOOD END PANEL.

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KEY NOTES **B**

KITCHEN-X MED20

2700 Sterling Rd.
Hollywood, FL 33020



EQUIPMENT AND SEATING PLAN

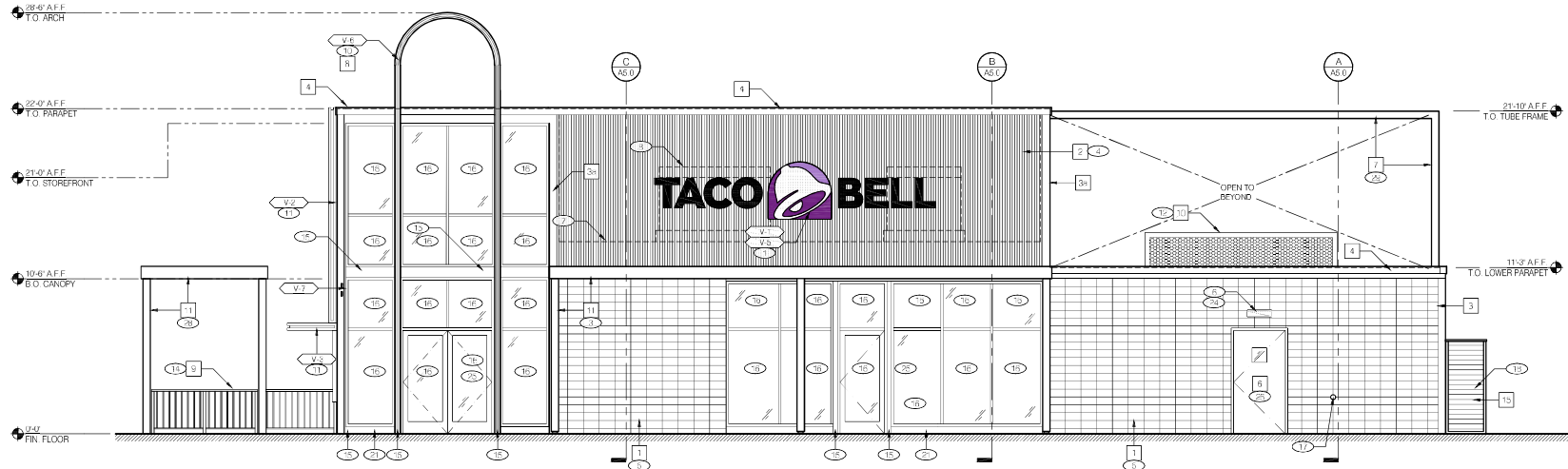
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PLOT DATE:

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Mark S. Salopek, LLC

101 W. LAKESHORE BLVD. #200
CORAL GABLES, FL 33134
PHONE 305.722.1110



ILLUMINATION NOTE
EGRESS LIGHTING REQUIRED AT ALL DOORS. REFER TO ELECTRICAL LIGHTING PLAN FOR EXTERIOR LIGHTING LOCATIONS.



PLAN SET ISSUE / REVISION HISTORY

WALK-UP ELEVATION 1/4"=1'-0" A

SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
CLADDING						
1	SIDING, LOWER HALF OF BUILDING	X	CMU STACK BOND	GRAY	X	X
2	SIDING, UPPER HALF OF BUILDING	PAC CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	SLATE GRAY	1 3/8" DEEP PANELS	X
TRIM						
3a	WALL TRIM: VERTICAL	-	BRAKEMETAL OVER FRIT 2X8	MATCH STOREFRONT		X
3c	WALL TRIM: HORIZONTAL	-	BRAKEMETAL OVER FRIT 2X8	MATCH STOREFRONT	X	X
METAL						
4	PARAPET CAP	X		SW7674 PEPPERCORN	X	X
5	OVERFLOW SCUPPERS	X		SW7674 PEPPERCORN	X	X
6	SERVICE DOOR AND FRAME	X		SW7674 PEPPERCORN	X	X
7	METAL TUBE FRAME - REAR OF BUILDING (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW7674 PEPPERCORN (PREFERRED POWDER COATED)	SEE DETAIL 14/A6.2	X
10	EQUIPMENT SCREEN	LAWRENCE METAL STRUCTURES	ARCHITECTURAL PERFORATED METAL SCREEN SET IN FRAME		CUSTOM 1/2" X 1/4" 3-SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE SHOP DRAWINGS. APPROVAL REQUIRED BY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.	X
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLLARS (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW7674 PEPPERCORN	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X
PAINT						
13	CO2 ENCLOSURE	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINISHED TO MATCH)	SW7674 (PEPPERCORN)	X	X

COORDINATION NOTE
CONTACT YOUR ALIGNED BRAND DESIGNER FOR ALTERNATIVE FINISHES

EXTERIOR FINISH SCHEDULE E

MISCELLANEOUS

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS. SEE SHEETS 14/E/1.0 TO 14/E/1.5.

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SPILL SEALANT INTO WINDOWS.

THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES C

ITEM	QTY	ITEM DESCRIPTION	ELEC
V-1	2	20" WHITE CHANNEL LETTERS VERTICAL	YES
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	YES
V-2	1	13'-0" X 53" WALK-UP WINDOW ARCH ELEMENT	NO
V-3	1	60"W X 36"D X 6"H WALK-UP WINDOW CANOPY	YES
V-4	1	TB CORNER WRAP ELEMENT WITH BELL LOGO	YES
V-5	2	90" X 90" SWINGING BELL LOGO WITH FINISHES	YES
V-6	1	ENTRY ARCH ELEMENT	YES
V-7	1	DIRECTIONAL BLADE SIGN	NO

NOTE: REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION

EXTERIOR SIGNAGE D

- 1. BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 2. DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3. METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 4. ARCHITECTURAL METAL PANELS.
- 5. HORIZONTAL WALL PLANKS.
- 6. WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.
- 7. INDICATES TOP OF ROOF DECK.
- 8. ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.
- 9. BOLLARDS PER CIVIL.
- 10. ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.
- 11. WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.
- 12. CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.
- 13. ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.
- 14. EXTERIOR RAILINGS AT SEATING / WALK-UP WINDOW. SEE DETAIL 14/A6.2. SEE SITE PLAN FOR LOCATION.
- 15. METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK).
- 16. ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 17. HOSE BIB. REFER TO PLUMBING DRAWINGS AND DETAIL 12/A6.1.
- 18. CO2 ENCLOSURE, FILLER VALVE BEYOND.
- 19. NOT USED.
- 20. SWITCHGEAR IF ALLOWED BY JURISDICTION, PAINT TO MATCH WALL SURFACE.
- 21. CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.
- 22. OVERFLOW SCUPPER.
- 23. GAS METER. DO NOT PAINT METER.
- 24. EMERGENCY LIGHTS. SEE ELECTRICAL SHEETS.
- 25. HANDICAP SIGNAGE. MOUNT AT 5'-0" A.F.F.
- 26. SECURITY DOOR. OWNER SUPPLIED / GC INSTALL.
- 27. WALK-UP WINDOW.
- 28. PATIO CANOPY BY VENDOR.
- 29. PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BY VENDOR.
- 30. NOT USED.
- 31. ASSUME DIT LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.

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NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES B

CONTRACT DATE: 04/30/24

BLOG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 298861

STORE NUMBER: 461022

P/PM: Dawling

DRAWN BY: RS

JOB NO.: 2023088.52

KITCHEN-X MED20

2700 Sterling Rd.
Hollywood, FL 33060



EXTERIOR ELEVATIONS

A4.0

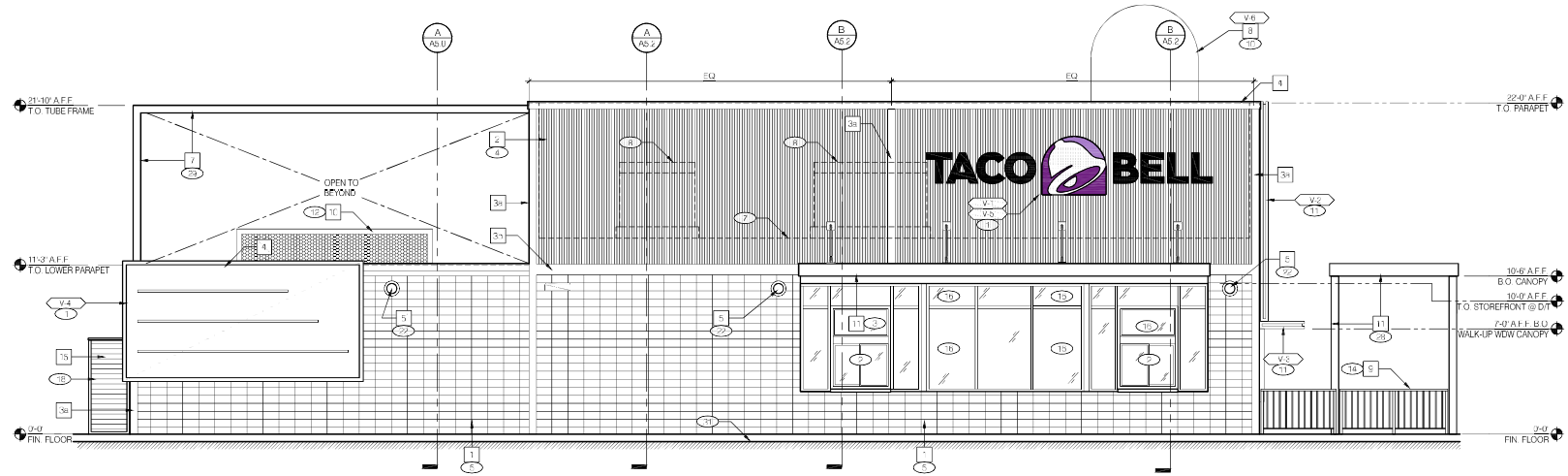
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CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

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CORAL GABLES, FL 33134
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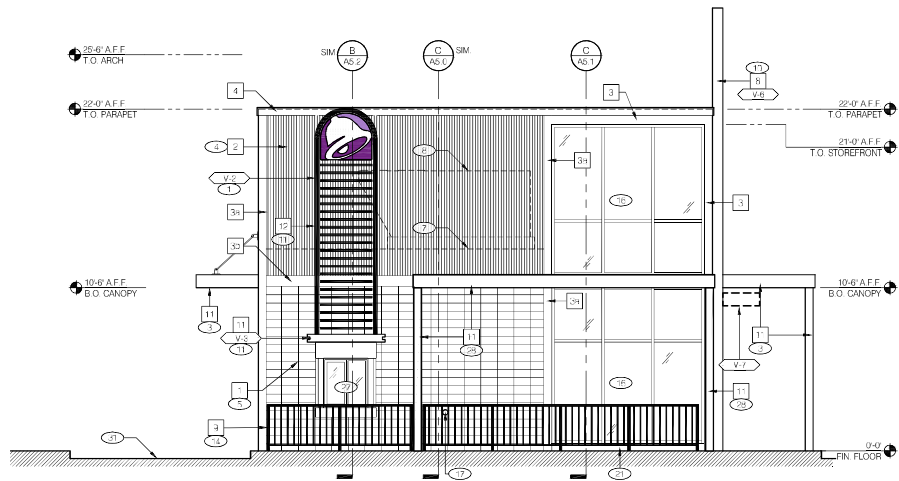


SEE SHEET A4.0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

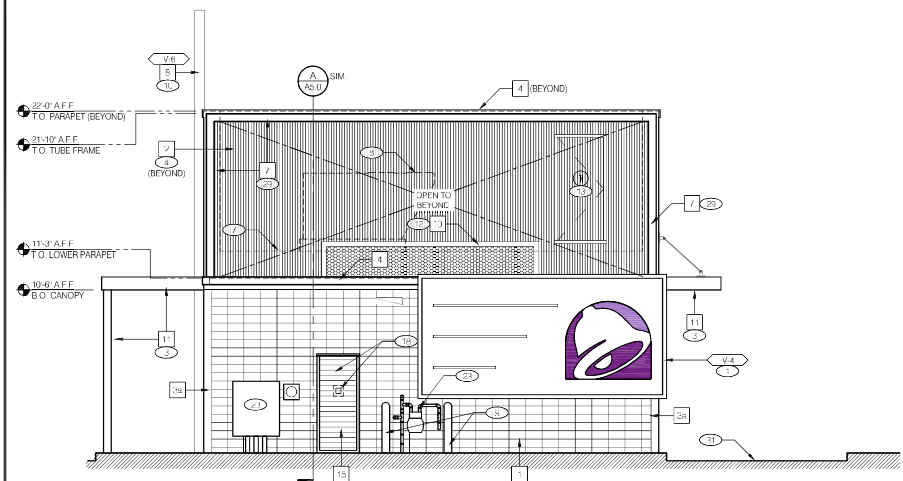
DRIVE-THRU ELEVATION 1/4"=1'-0" B



08/28/24
PLAN SET ISSUE / REVISION HISTORY



FRONT ELEVATION 1/4"=1'-0" D



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REAR ELEVATION 1/4"=1'-0" C

CONTRACT DATE: 04/30/24

BLDG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 298861

STORE NUMBER: 461022

P&P/M: Dowling

DRAWN BY: RS

JOB NO.: 2023088.52

KITCHEN-X MED20

2700 Sterling Rd.
Hollywood, FL 33060



**EXTERIOR
ELEVATIONS**

A4.1

PLOT DATE:

Mark S. Salopek, LLC

10/14/2024
10/29/24



10/29/24
10/29/24

04/20/24
KITCHEN-X MED20

TS
298861
461022
Dawling
RS
20230852

KITCHEN-X MED20

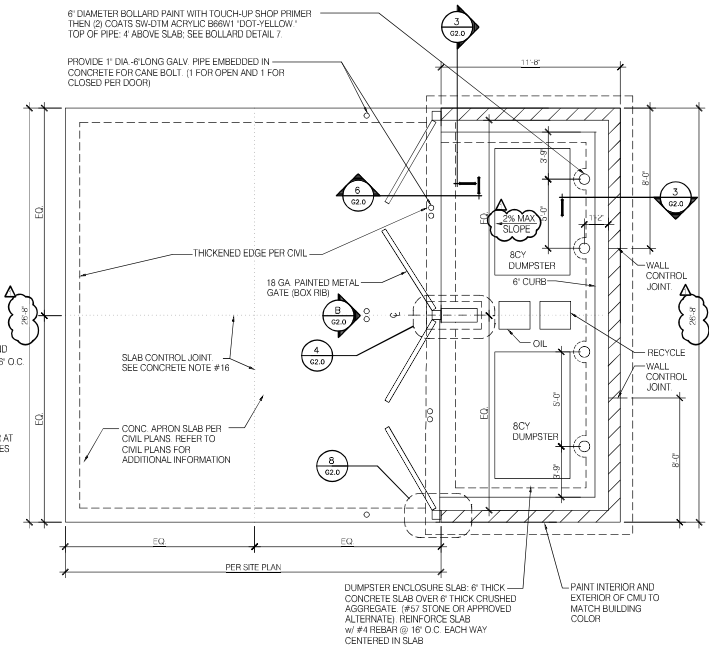
2700 Sterling Rd.
Hollywood, FL 33020



TRASH ENCLOSURE DETAILS

G2.0

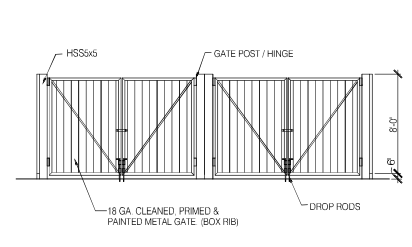
10/29/24



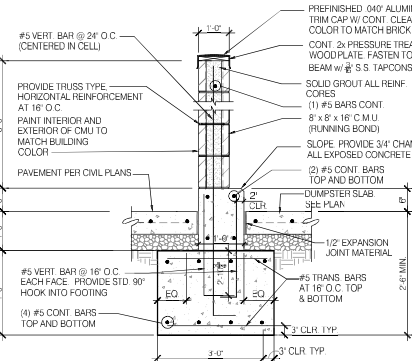
A DUMPSTER ENCLOSURE PLAN
N.T.S.

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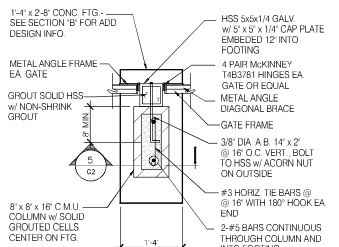
- GENERAL NOTES:**
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE (7TH EDITION), MATERIALS AND SERVICES PROVIDED BY THE CONTRACTOR SHALL CONFORM TO THE ABOVE MENTIONED CODES AND THE CONTRACT SPECIFICATIONS.
 - THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE JOB CONDITIONS AND RESTRICTIONS.
 - IMPLEMENTATION OF JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - LOCATION SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.
 - AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.
 - GATES SHALL BE CORRUGATED METAL DOORS AND MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
 - GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- FOUNDATION NOTES:**
- ALL SOLS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. ALL FOUNDATIONS SHALL BE ON ENGINEERED FILL AT OR EXCEEDING DEPTHS SHOWN ON THE DRAWINGS. INCREASE DEPTH AS RECD BY GEOTECHNICAL ENGINEER. ALL FOOTING EXCAVATIONS SHALL BE AS NEAT AS PRACTICAL. OVER-EXCAVATIONS IN DEPTH SHALL BE FILLED WITH CONCRETE AND IN WIDTH MAY BE FILLED WITH LEAN CONCRETE OR COMPACTED APPROVED BACKFILL. ALL LOOSE SOLS SHALL BE REMOVED FROM EXCAVATIONS PRIOR TO PLACEMENT OF REINFORCING OR CONCRETE.
 - THE FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2500 PSF ON APPROVED NATURAL SOILS OR PROPERLY PLACED, COMPACTED, AND TESTED ENGINEERED FILL.
 - FOOTINGS SHALL EXTEND 2'-6" MINIMUM BELOW FINISH GRADE AND SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.
 - FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY PSI INC DATED DECEMBER 17, 2021. PROJECT NO. 075/2735.
- GATE HARDWARE:**
- ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
- GATE STOP:**
- MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
- GATE NOTES:**
- EQUAL WIDE & 8'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING 22GA W/ 1.5 S X 5 X 16 1/8 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT COLOR TO MATCH.
- CONCRETE NOTES:**
- REINFORCED CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14) COMPLY WITH ASTM C94; ACI 301. SPECIFICATION FOR STRUCTURAL CONCRETE; ACI 117. SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS; AND CRISP MANUAL OF STANDARD PRACTICE.
 - CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 4000 PSI 28 DAY COMPRESSIVE STRENGTH (C).
 - DESIGN MIXES: SUBMIT PROOFS FOR EACH CONCRETE MIX FOR THE PROJECT PER CHAPTER 5 OF ACI 318-14.
 - CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (145 PCF) WITH CEMENT CONFORMING TO ASTM C150, TYPE I.
 - AGGREGATE SHALL CONFORM TO ASTM C33 FOR NORMAL WEIGHT CONCRETE PRIOR TO CONCRETE PLACEMENT. THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN PREPARED IN ACCORDANCE WITH THE SPECIFICATIONS TO THE ARCHITECT FOR REVIEW.
 - CONCRETE PRACTICES SHALL BE FOLLOWED FOR COLD WEATHER/HOT WEATHER CONSTRUCTION IN ACCORDANCE WITH ACI 305 & 306.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
 - PROVIDE CORNER BARS AT ALL LOCATIONS WHERE REINFORCEMENT CHANGES DIRECTION. PROVIDE STRAIGHT AND DIAGONAL BARS AT EDGES OF ALL OPENINGS.
 - REINFORCEMENT SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL NO. SP-98. SUBMIT STEEL REINFORCEMENT SHOP DRAWINGS INCLUDING DETAILS OF FABRICATION, BENDING AND ANCHORING. PREPARED ACCORDING TO ACI 315, DETAILS AND DETAILED OF CONCRETE REINFORCEMENT.
 - REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS, STIRRUPS OR CHAIRS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR BARS.
 - REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER: CAST AGAINST EARTH: 1" EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER); 1 1/2" EXPOSED TO EARTH OR WEATHER (#6 OR LARGER); CONCRETE NOT EXPOSED TO WEATHER: 3/4" LEVELING GROUT SHALL BE NON-SHRINK, NONMETALLIC TYPE, FACTORY PREMIXED GROUT IN ACCORDANCE WITH ASTM C109, WITH F.C OF NOT LESS THAN 5000 PSI.
 - ANCHOR RODS SHALL BE ASTM F1554 GRADE 36 (GALVANIZED).
 - PROVIDE SAW-CUT CONTROL JOINTS IN THE CONCRETE SLAB AS SHOWN ON THE DRAWINGS. IF NOT SPECIFIED ON THE DRAWINGS, PROVIDE 18" WIDE x 1' DEEP SAW-CUT JOINTS WITH THE FOLLOWING PROVISIONS: JOINTS SHALL BE LOCATED AT EACH BUILDING COLUMN AND SLAB DISCONTINUITY AND SHALL BE FULLY SPACED IN BOTH DIRECTIONS WITH A MINIMUM SPACING OF 10'-0" AND A MAXIMUM JOINT SPACING OF 12'-0".
 - SLAB FINISHES: COMPLY WITH ACI 302.1R FOR SCREEDING, RESTRAIGHTENING AND FINISHING OPERATIONS FOR CONCRETE SURFACES. DO NOT WET CONCRETE SURFACES. PROVIDE THE FOLLOWING FINISHES: 16.1 SMOOTH-FORMED FINISH FOR CONCRETE EXPOSED TO VIEW, COATED OR COVERED BY WATERPROOFING OR OTHER DIRECT-APPLIED MATERIAL. ROUGH-FORMED FINISH ELSEWHERE.
- STEEL NOTES:**
- STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE A.I.S.C. SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (FOURTH EDITION) AND THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES EXCEPT SECTION 4.2 OF THE CODE WHICH SHALL NOT BE APPLICABLE TO THIS PROJECT.
 - STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING: 2.1 CHANNELS, ANGLES, PLATES AND MISCELLANEOUS CONNECTION MATERIAL: ASTM A36 WITH A MINIMUM YIELD STRENGTH OF 36,000 PSI. UNO. 2.2 STEEL TUBING: ASTM A600, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46,000 PSI.
 - NUTS SHALL CONFORM TO ASTM A563 HEAVY HEX CARBON STEEL.
 - WASHERS SHALL CONFORM TO ASTM F436 HARDENED CARBON STEEL.
 - BOLTS, NUTS & WASHERS SHALL BE FURNISHED WITH ZINC COATING IN ACCORDANCE WITH ASTM A153.
 - WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE (ANSI/A5.1) FABRICATION WELDING SOCIETY. USE E70XX ELECTRODES.
 - STEEL EXPOSED TO THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A123.
 - DO NOT PAINT STEEL WHERE ENCASED WITH CONCRETE, OR AT FIELD WELD AREAS.
 - NONMETALLIC SHRINKAGE-RESISTANT GROUT: PRE-MIXED, NONCORROSIVE, NONSTAINING PRODUCT CONTAINING SELECTED SILICA SANDS, PORTLAND CEMENT, SHRINKAGE COMPENSATING AGENTS, PLASTICIZING AND WATER REDUCING AGENTS, COMPLYING WITH CE-CHD C621.
 - THE STRUCTURAL STEEL FABRICATOR AND/OR GENERAL CONTRACTOR SHALL PROVIDE EXISTING DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCY FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PREPARATION OF SHOP DRAWINGS. DRAWINGS SHALL INCLUDE FIELD MEASUREMENTS AND CONDITIONS.
- SPECIAL INSPECTIONS:**
- SPECIAL INSPECTIONS ARE TO BE PROVIDED IN ACCORDANCE WITH SECTION 1704. SPECIAL INSPECTIONS SHALL BE IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE DEPARTMENT OF BUILDING SAFETY AND SHALL NOT BE CONSIDERED TO BE THE OWNER OR HIS AUTHORIZED AGENT FROM REQUESTING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY THE BUILDING CODE. SPECIAL INSPECTION SHALL BE PAID BY THE OWNER.
- REQUIRES SPECIAL INSPECTIONS:**
- IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH THE BUILDING CODE:
- SOLS COMPACTING PRIOR TO FOUNDATION INSPECTION (COMPACTING FILL, SPECIAL GRADING)
 - STRUCTURAL CONCRETE OVER 2,500 PSI
 - MASONRY
- SPECIAL INSPECTOR SHALL MEET THE QUALIFICATIONS AS STATED IN THE BUILDING CODE AND SHALL PERFORM THE DUTIES AND RESPONSIBILITIES AS OUTLINED IN THE BUILDING CODE. THE SPECIAL INSPECTOR SHALL PROVIDE INSPECTION REPORTS TO THE CODE OFFICIAL, ENGINEER AND OWNER.



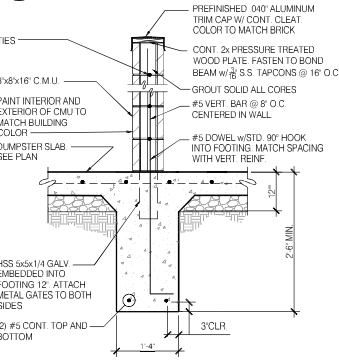
B ELEVATION
N.T.S.



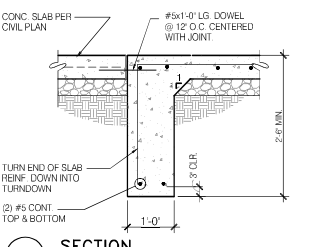
3 SECTION
3/4"=1'-0"



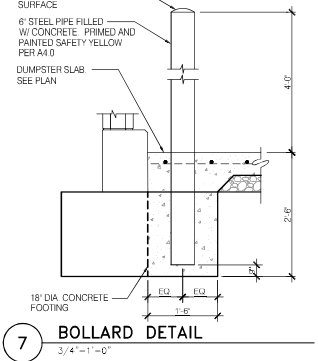
4 JAMB DETAIL
3/4"=1'-0"



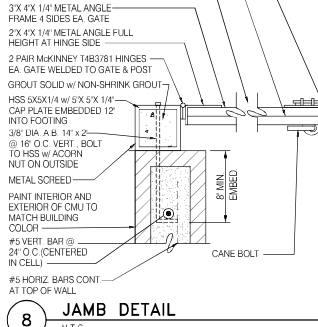
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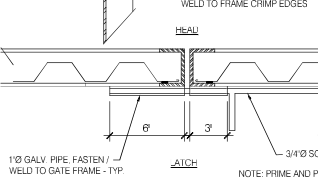
6 SECTION
3/4"=1'-0"



7 BOLLARD DETAIL
3/4"=1'-0"



8 JAMB DETAIL
N.T.S.

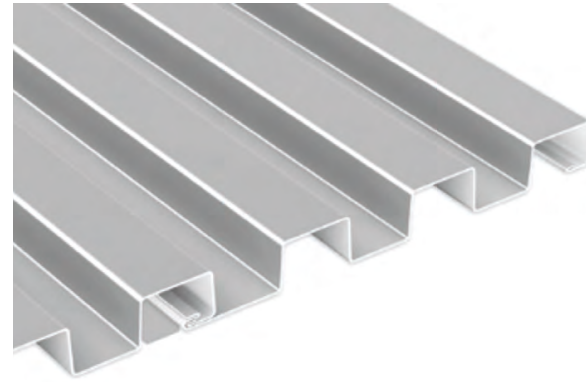


9 GATE DETAIL
N.T.S.

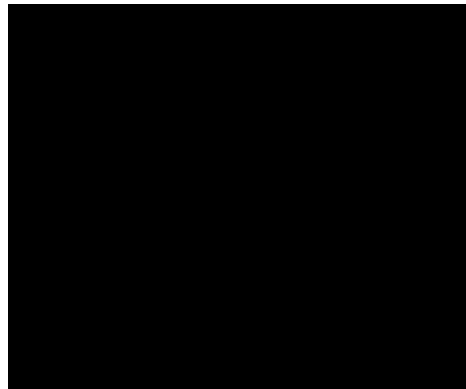
This item has been digitally signed and sealed by **M. Salopek** on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



SW7674 Peppercorn



PAC-CLAD Box Rib 1
Slate Gray



CMU Stack Bond
Gray



TACO BELL
Hollywood, FL



2023088.52

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Existing Site Photos

Taco Bell- 2700 Stirling Rd.

From Stirling Rd. looking South:



From Stirling Rd. looking Southwest:



From Western drive aisle looking Southeast:



From Western drive aisle looking Northeast:





BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell of America, LLC
2700 Stirling Rd.
Site Plan Narrative**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood (“Property”). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser’s website and is an outparcel located in the Oakwood Plaza Shopping Center (“Shopping Center”). The Property contains a future land use designation of Commercial on the City’s Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines (“PD Guidelines”).

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility (“Project”). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.



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**Taco Bell
2700 Stirling Road
Design Criteria Responses**

Per Section 5.3.1.4 of the City Code, the Applicant must demonstrate compliance with the following design criteria:

4. *Design criteria.* The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.

a. *General criteria.* All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

(1) *Architectural and design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The proposed Taco Bell building will be aesthetically pleasing with a mixture of materials in a light gray color. The building will be accented with large windows along the front and side entries that will provide sunlight into the building. The proposed Taco Bell provides pedestrian access to the front and sides of the building. There is a sidewalk that connects the building to Stirling Road. A covered patio along the front of the building is provided for pedestrian use.

(2) *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

The buildings located along this stretch of Stirling Road are soft neutral colors. The Taco Bell colors are proposed to be light gray to blend with the rest of the retail buildings in the area.

(3) *Scale/massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings.

The proposed Taco Bell building is proportionate in scale with the neighboring retail commercial buildings. The proposed building height is 22 feet with the accent arch 6.5 feet taller. The proposed building location is very similar to the existing Taco Bell orientation. The building area is a small percentage of the site with the lot coverage being 7.5%.

(4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

The majority of the existing mature trees on the site will remain and are natives. All of the trees, and the majority of the shrubs and groundcovers, proposed on the site are native. There is a variety of trees, palms, and plants specified with a reasonably even distribution of species quantity in each plant category. In addition, species selected have moderate to high drought tolerance.