DATES

FINAL TAC MEETING
NOVEMBER 05, 2018
PDB MEETING
TBD

SHEET INDEX

ARCHITECTURAL

	COVER SHEET
A1	SITE PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	PARKING LOT LIGHTING FIRE TRUCK PATH PLAN
A5	SIGN DETAIL, DUMPSTER ENCLOSURE SECTION 8'-WALL DETAIL
A6	BUILDING ELEVATIONS
A7	SURVEY
LE-1	EXISTING TREE DISPOSITION
LI-1	IRRIGATION PLAN
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE NOTES
1-14	ENGINEERING PLANS

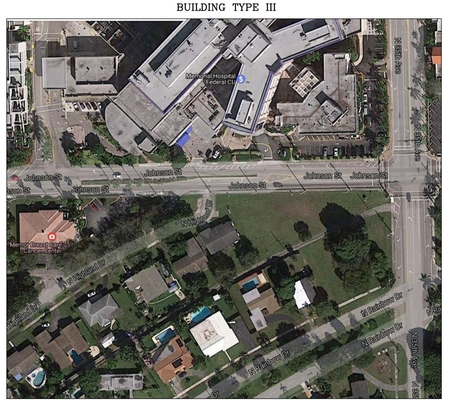
OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT,LLC
3000 SOUTH OCEAN DRIVE, NO. 1120
HOLLYWOOD, FLORIDA 33019

SITE LOCATION

839-831 N HIGHLAND DRIVE,-828 N 35 AVE.
HOLLYWOOD, FLORIDA 33332

PROPOSED LAND USE

18,673 SQUARE FOOT MEDICAL OFFICE BUILDING
NUMBER OF STORIES IN THE BUILDING IS 2
OCCUPANCY IS B
BUILDING TYPE III



LOCATION MAP

3500 BUILDING

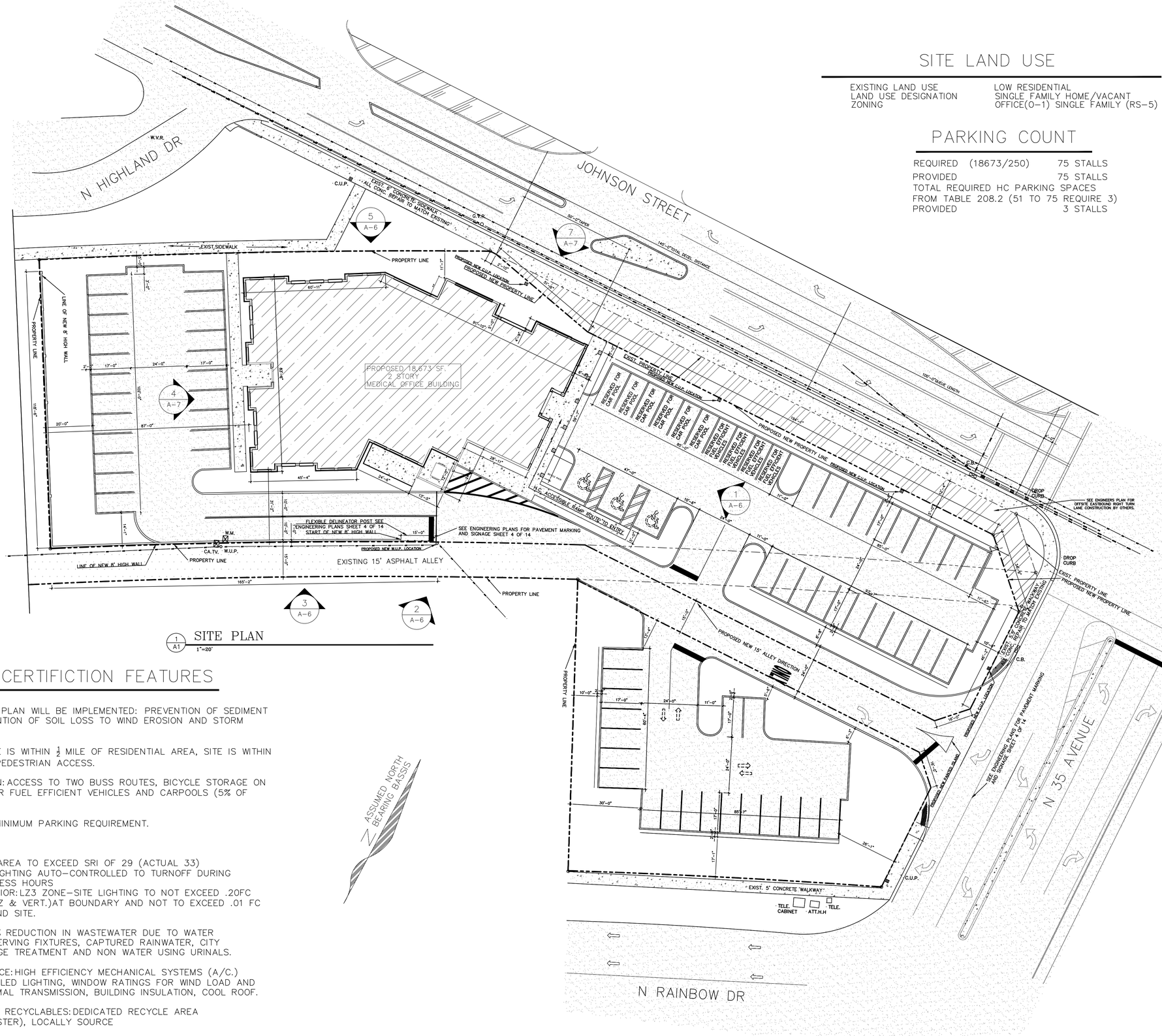
RODNEY NORTH GREEN ARCHITECT
AR591
8731 WAKEFIELD DRIVE
PALM BEACH GARDENS,FL. 33410
PHONE 9548188485
FAX 561-429-8380

COVER SHEET

SHEET OF DATE 07/10/2019

REVISION #1
REVISION #1

REVISION #1
REVISION #1



1 A1 SITE PLAN 1"=20'

SITE LAND USE

EXISTING LAND USE	LOW RESIDENTIAL
LAND USE DESIGNATION	SINGLE FAMILY HOME/VACANT
ZONING	OFFICE(O-1) SINGLE FAMILY (RS-5)

PARKING COUNT

REQUIRED (18673/250)	75 STALLS
PROVIDED	75 STALLS
TOTAL REQUIRED HC PARKING SPACES FROM TABLE 208.2 (51 TO 75 REQUIRE 3)	
PROVIDED	3 STALLS

CODE INFORMATION

1. APPLICABLE CODES:

2017 FLORIDA BUILDING CODE
2017 NATIONAL ELECTRIC CODE
2017 FLORIDA PLUMBING CODE
2017 MECHANICAL CODE
2017 EXISTING BUILDING CODE

SITE INFO

PROPOSED MEDICAL OFFICE
18,673 SQUARE FEET, TWO STORY
CONTEMPORARY TUSCAN BUILDING
30'-0" MAX ROOF HEIGHT.
FINISH FLOOR HEIGHT 11.50 NAVD

SETBACKS

REQUIRED	
FRONT	20'0"
BACK	20'0"
SIDES	20'0"
PROVIDED	
FRONT	5'0"
BACK	31'2"
WEST SIDES	87'0"
EAST SIDES	208'2"

SITE AREA

BUILDING	18,673 S.F. A/C
SITE AREA	60,522 S.F. (1.39 ACRES)

TOTAL SQUARE FEET 1ST. FLOOR	9,119'
TOTAL SQUARE FEET 2ND. FLOOR	9,554'
FRONT ENTRY	131'
BACK ENTRY	92'
FRONT STAIRWELL	121'
BACK STAIRWELL	132'
ELEVATOR SHAFT	64'
LOBBY	237'
COMMAND HALLWAY 1ST. FL.	713'
COMMAND HALLWAY 2ND FL.	720'
RESTROOMS 1ST FLOOR	297'
RESTROOMS 2ND FLOOR	297'

PROPOSED PARCEL;1 45116.97 SQ.FT.=1.03 ACRE
PROPOSED PARCEL;2 13539.66 SQ.FT.= .31 ACRE
TOTAL SQ.FT. =58656.63 SQ.FT.=1.34 ACRE

SURFACE LEGEND

- ASPHALT
- CONCRETE
- PROPOSED LAND DONATION
- PROPOSED BUILDING
- PROPOSED LANDSCAPE AREA

NOTE:

THE FLEXIBLE DELINEATOR POST TO BE MAINTAINED BY DEVELOPER

NOTE:

GREEN BUILDING CERTIFICATION SHALL BE ACHIEVED

NOTE:

MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE MAXIMUM 0.5

SPECIAL EXCEPTION

PROPOSED PARKING IN A SINGLE-FAMILY DISTRICT (RS-5) FOR USE BY AN ABUTTING COMMERCIAL USE

SPECIAL REQUEST

REQUEST FOR A 18500 SQ. FT OFFICE SPACE, IS BEING REQUESTED FOR COMMERCIAL FLEX IN A RESIDENTIAL FUTURE LAND USE DESIGNATION FOR FLEX ZONE 88

GREEN BUILDING CERTIFICTION FEATURES

SITE:
EROSION AND SEDIMENTATION PLAN WILL BE IMPLEMENTED: PREVENTION OF SEDIMENT FROM STORM SEWERS, PREVENTION OF SOIL LOSS TO WIND EROSION AND STORM WATER RUNOFF.

COMMUNITY CONNECTIVITY: SITE IS WITHIN ½ MILE OF RESIDENTIAL AREA, SITE IS WITHIN A ½ MILE OF SERVICES WITH PEDESTRIAN ACCESS.

ALTERNATIVE TRANSPORTATION: ACCESS TO TWO BUSS ROUTES, BICYCLE STORAGE ON SITE, PREFERRED PARKING FOR FUEL EFFICIENT VEHICLES AND CARPOOLS (5% OF TOTAL EACH CATEGORY)

PARKING DOES NOT EXCEED MINIMUM PARKING REQUIREMENT.

STRUCTURE
HEAT ISLAND: 100% OF ROOF AREA TO EXCEED SRI OF 29 (ACTUAL 33)
LIGHT POLLUTION: INTERIOR LIGHTING AUTO-CONTROLLED TO TURNOFF DURING BUSINESS HOURS
EXTERIOR: LZ3 ZONE-SITE LIGHTING TO NOT EXCEED .20FC (HORIZ & VERT.)AT BOUNDARY AND NOT TO EXCEED .01 FC BEYOND SITE.

WASTEWATER EFFICIENCY: 50% REDUCTION IN WASTEWATER DUE TO WATER CONSERVING FIXTURES, CAPTURED RAINWATER, CITY SEWAGE TREATMENT AND NON WATER USING URINALS.

OPTIMIZE ENERGY PERFORMANCE: HIGH EFFICIENCY MECHANICAL SYSTEMS (A/C.) HWH, LED LIGHTING, WINDOW RATINGS FOR WIND LOAD AND THERMAL TRANSMISSION, BUILDING INSULATION, COOL ROOF.

STORAGE AND COLLECTION OF RECYCLABLES: DEDICATED RECYCLE AREA (DUMPSTER), LOCALLY SOURCE

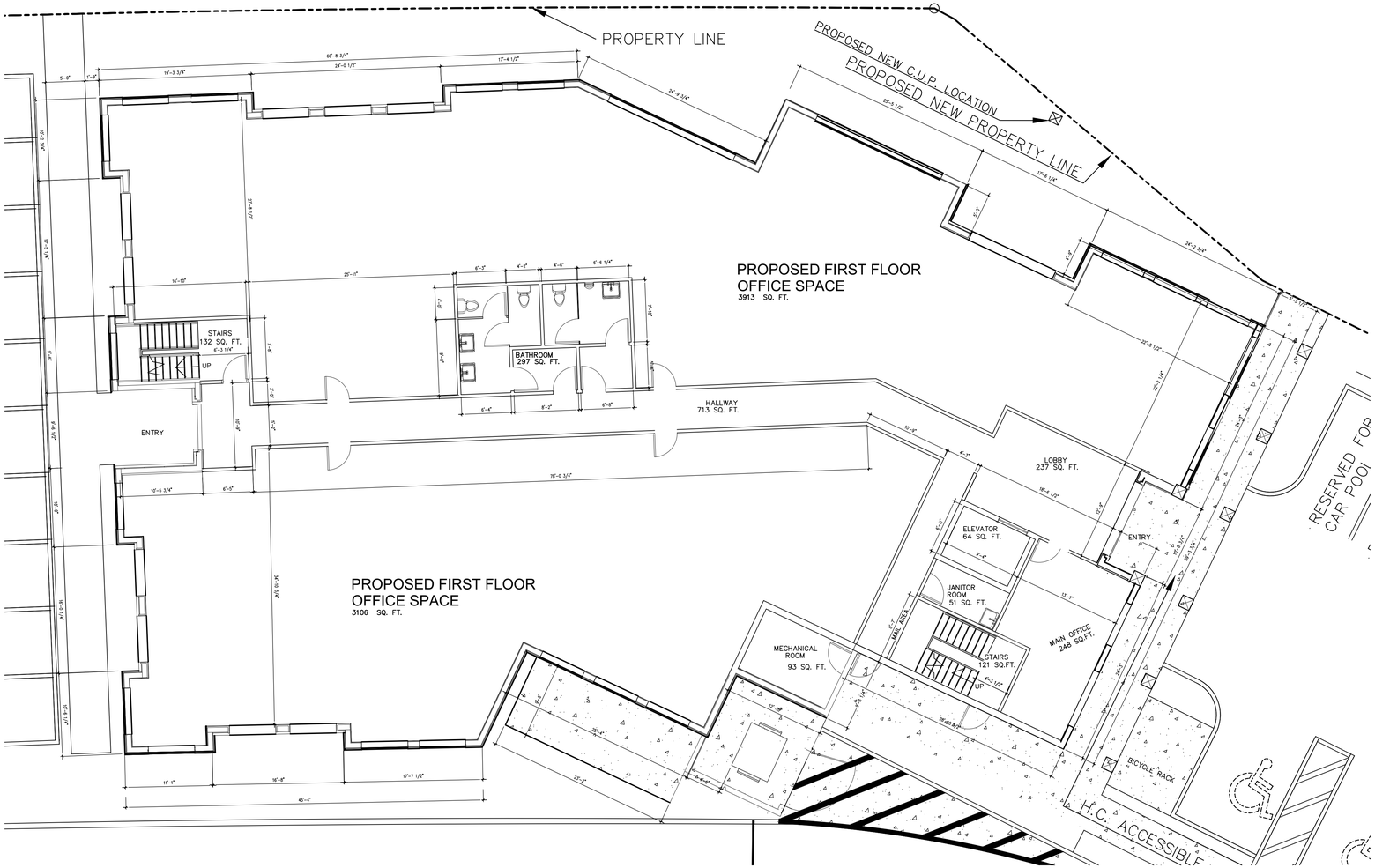
INDOOR AIR QUALITY: LOW EMITTING MATERIALS, ADHESIVES AND SEALANTS WILL BE SPECIFIED.
NO SMOKING EXCEPT IN DESIGNATED SMOKING AREA WITHIN THE BUILDING OR 25' FROM ENTRANCE OUTSIDE OF BUILDING.

SITE PLAN

REVISION #1
REVISION #1

REVISION #1
REVISION #1

3500 BUILDING
8731 WAKEFIELD DRIVE PHONE 9548188485
PALM BEACH GARDENS,FL. 33410 FAX 561-429-8380
RODNEY NORTH GREEN ARCHITECT AR5911
839-831 N HIGHLAND DRIVE, -828 N 35 AVE. HOLLWOOD FLA. 33332



1 / A2 FIRST FLOOR PLAN

1/8"=1'-0"

FIRST FLOOR PLAN

SHEET A-2 OF 7 DATE 07/10/2019

REVISION #1
REVISION #1

REVISION #1
REVISION #1

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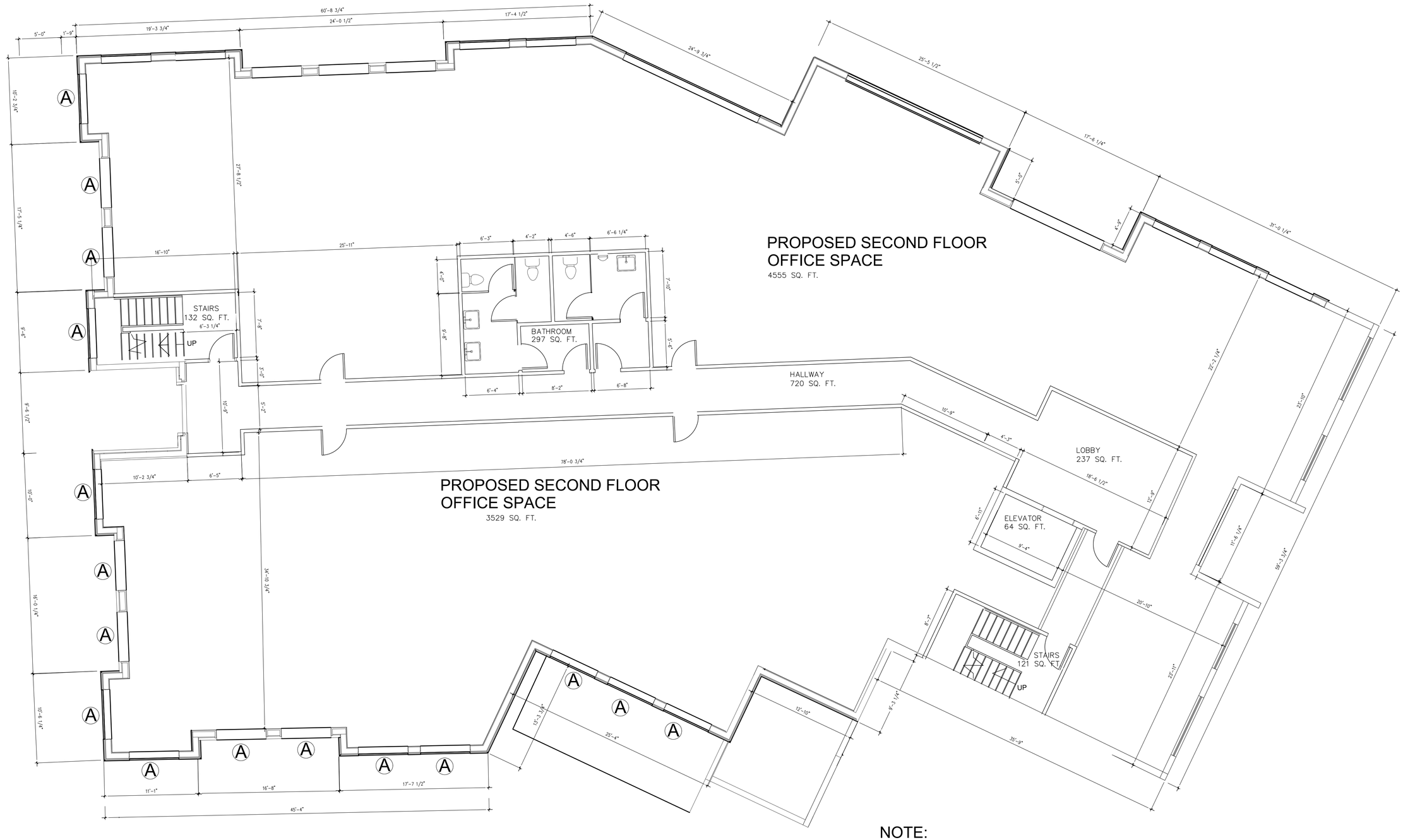
839-831 N HIGHLAND DRIVE, -828 N 35 AVE. HOLLWOOD FLA. 33332

RODNEY NORTH GREEN ARCHITECT
AR5971



NOTE:
(A) WINDOWS TO BE FROSTED FINISH

1/A3 SECOND FLOOR PLAN
1/8"=1'-0"

SECOND FLOOR PLAN

SHEET A-3 OF 7 DATE 07/10/2019

REVISION #1
REVISION #1

REVISION #1
REVISION #1

3500 BUILDING
8731 WAKEFIELD DRIVE PHONE 9548188485
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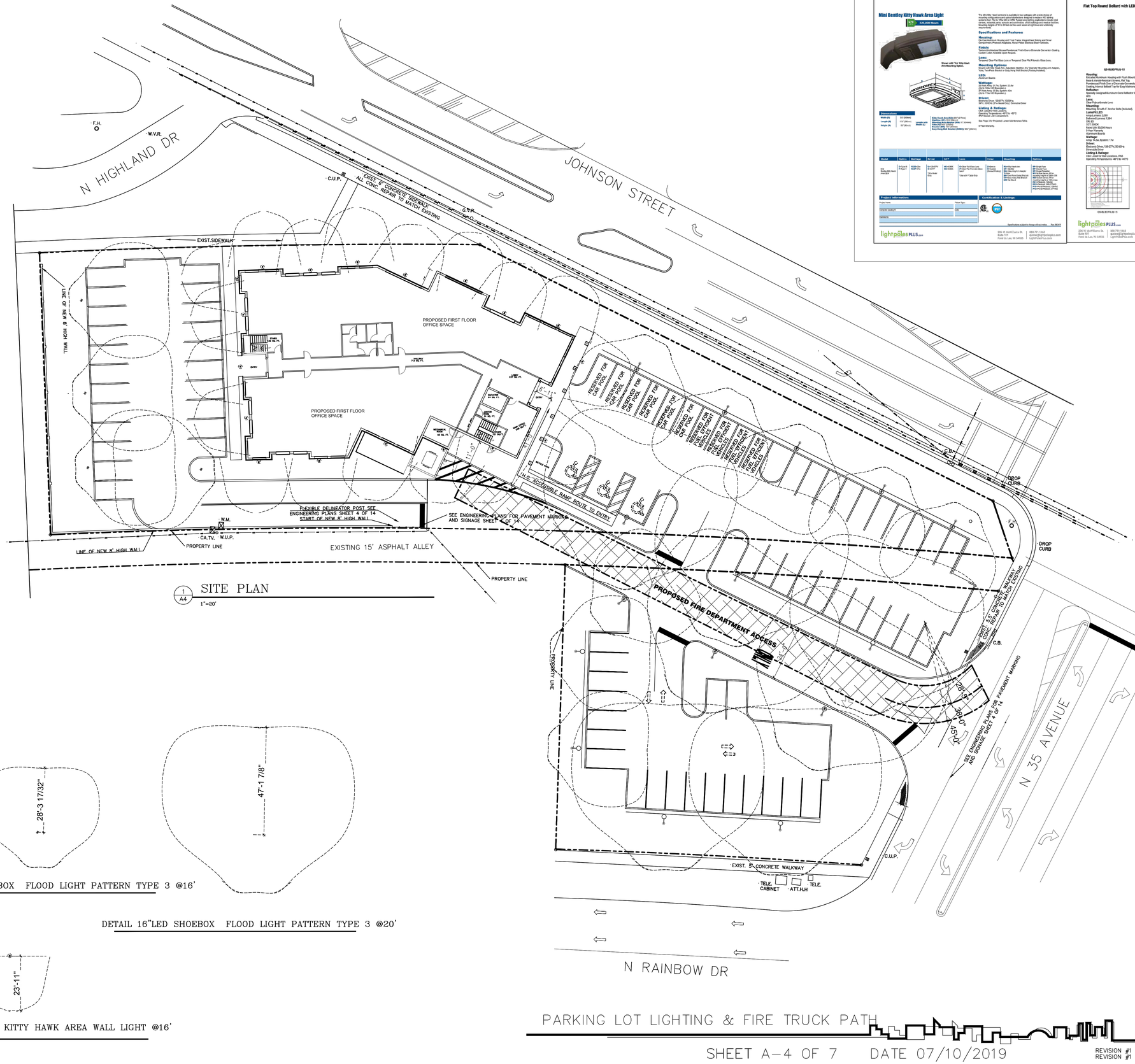
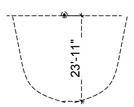
839-831 N HIGHLAND DRIVE, -828 N 35 AVE. HOLLWOOD FLA. 33332
RODNEY NORTH GREEN ARCHITECT
AR 91



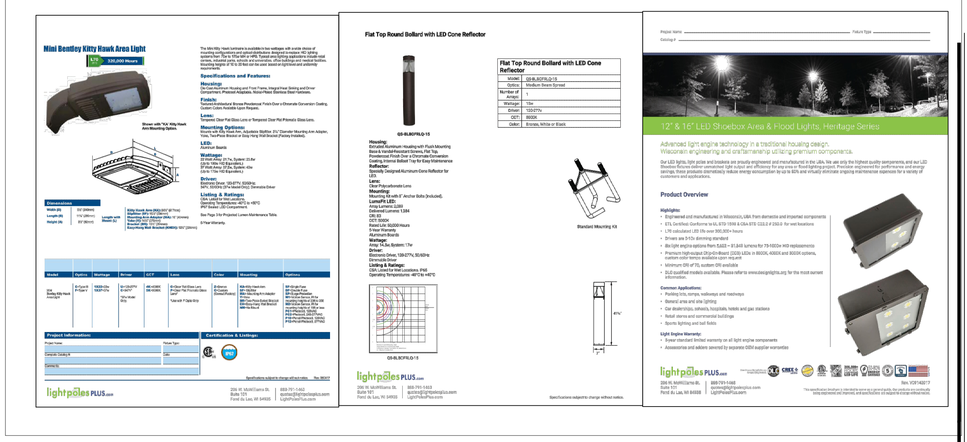
1 / A4 SITE PLAN
1"=20'

DETAIL 16"LED SHOEBOX FLOOD LIGHT PATTERN TYPE 3 @16'

DETAIL 16"LED SHOEBOX FLOOD LIGHT PATTERN TYPE 3 @20'



DETAIL MINI BENTLEY KITTY HAWK AREA WALL LIGHT @16'



NOTES:

BUILDING WILL COMPLY WITH NFPA 1.11.10 AND BBC AMENDMENT 118.2
BUILDING WILL HAVE A FIRE SPRINKLER SYSTEM

PARKING LOT LIGHTING & FIRE TRUCK PATH

SHEET A-4 OF 7 DATE 07/10/2019

REVISION #1
REVISION #1

REVISION #1
REVISION #1

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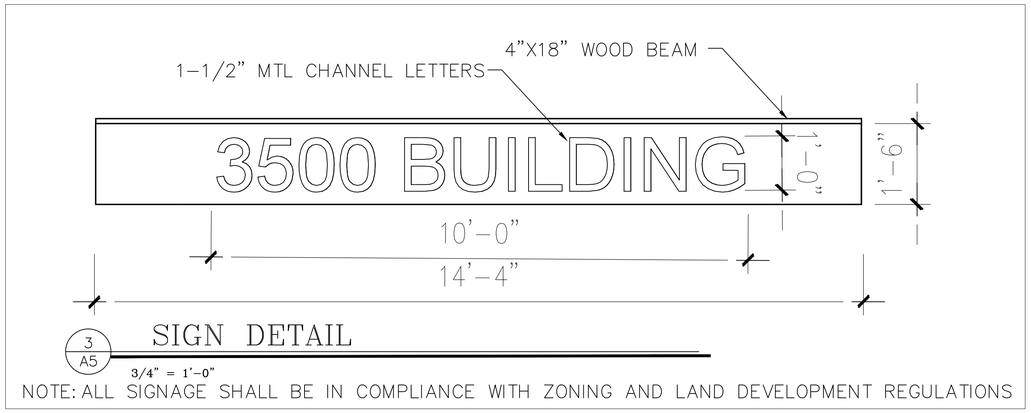
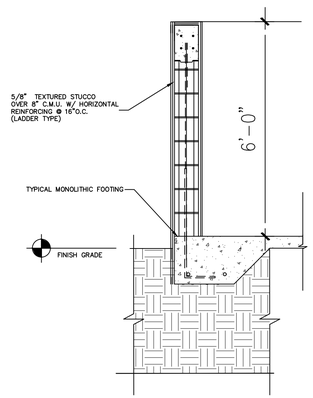
RODNEY NORTH GREEN ARCHITECT
AR591
839-831 N 35 AVE. HOLLWOOD FLA. 33332



3 / A5 SIGN DETAIL

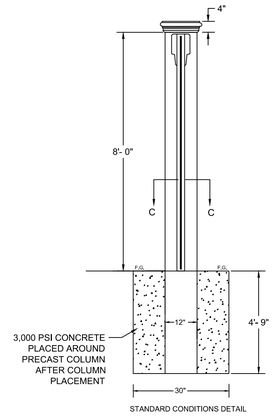
3/4" = 1'-0"

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS

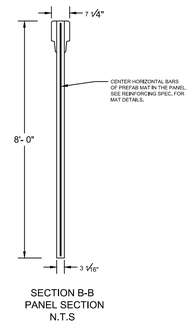


2 / A5 TYPICAL SECTION @DUMPSTER

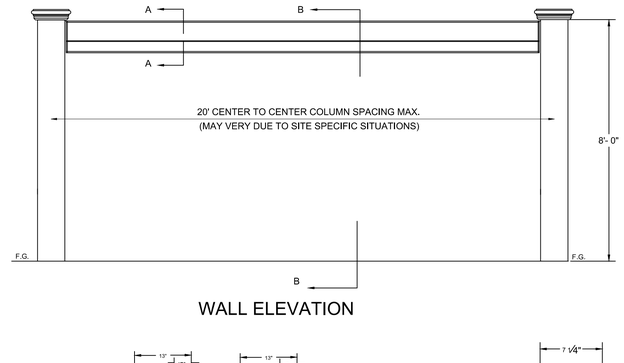
3/4" = 1'-0"



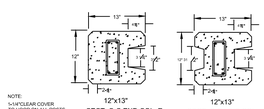
STANDARD CONDITIONS DETAIL



SECTION B-B
PANEL SECTION
N.T.S

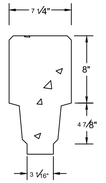


WALL ELEVATION

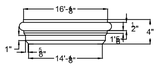


NOTE:
1=1/4"CLEAR COVER TO HOOP ON ALL POSTS

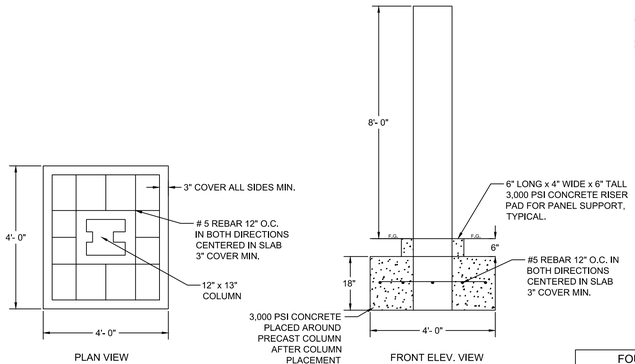
POST REINFORCEMENT REFER TO POST STEEL AND HOOP FOR SIZE



SECTION A-A
PANEL TOP DETAIL
N.T.S.



12" x 13" POST CAP



SPREAD FOOTING DETAILS IF NEEDED.

NOTES:

1. PANELS = 7,000 PSI CONCRETE
2. COLUMNS AND CAPS = 4,000 PSI CONCRETE
3. FOUNDATIONS = 3,000 PSI CONCRETE
4. REINFORCING STEEL FOR PANELS TO BE ASTM A615 DEFORMED BARS MIN. 70,000 PSI, ALL OTHER STEEL TO BE 60,000 PSI
5. WIND LOAD DESIGN CONFORMS TO F.B.C. 2017 AND ASCE 7-10, FOR WIND LOAD OF 170 M.P.H. 3 SECOND GUST, EXPOSURE 'C', ASD DESIGN FOR A SOLID FENCE

FOUNDATION DEPTH SCHEDULE
BASED ON 30" DIA FOOTING, AND
SOIL BEARING CAP. OF 2000 P.S.F.

WALL HEIGHT	SOLID ROCK	DRY, UNDISTURBED MEDIUM DENSITY, SAND	SATURATED, UNDISTURBED MEDIUM, DENSITY SAND
8'-0"		4'-9"	

ALTERNATE FOOTING DIMENSIONS

REINFORCING STEEL SPECIFICATIONS

	COLUMN - REINFORCEMENT DETAILS			PANEL - MESH REINFORCEMENT SYSTEM		
WALL HEIGHT	POST SIZE	REINF.	HOOPS	MAT SIZE	VERTICAL STEEL	HORIZONTAL STEEL
8'-0"	12"x13"	4 - # 6 RE-BARS	3" ABOVE FTG. THEN 4-1/2" O.C. TO 2'-0" ABOVE FTG. THEN BAL AT 18" O.C.	7'-8"x19'-0"	12" O.C. A.S. 0.110	4" O.C. A.S. 0.27

PROJECT;

PRECAST WALL SYSTEMS INC.
1888 NW 22 COURT
POMPANO BEACH
FLORIDA 33069
PH 954-973-8488

PRECAST WALL SYSTEMS, INC.
1888 NW 22ND COURT
POMPANO BEACH, FL 33069
954-973-8488

JAMES BUSHOUSE P.E.
PROFESSIONAL ENGINEER 20311
STATE OF FLORIDA
3300 NE 10TH TER.
POMPANO BEACH FLORIDA, 33064
954-956-2203

NOT VALID WITHOUT EMBOSSED SEAL

1 / A5 WALL DETAIL

1/8"=1'-0"

DETAILS

REVISION #1
REVISION #1

REVISION #1
REVISION #1

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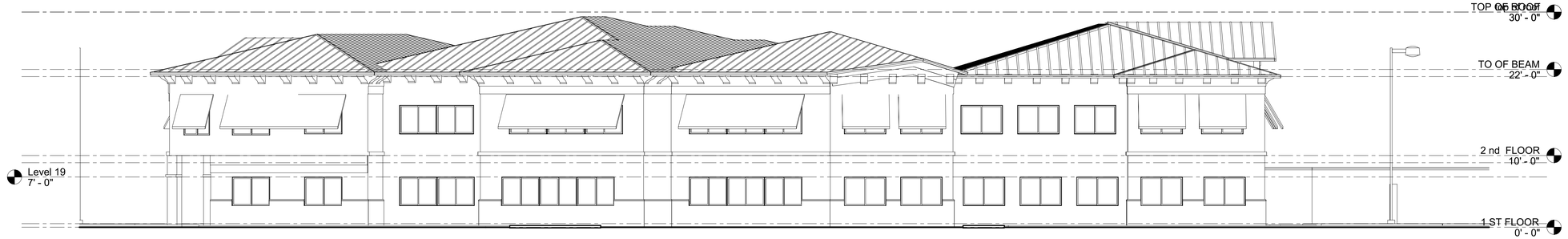
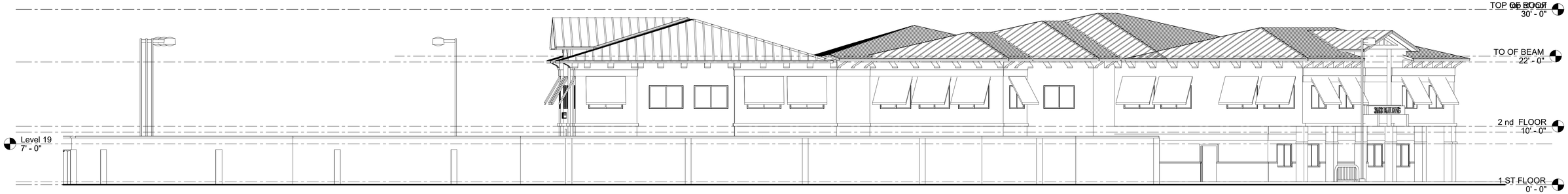
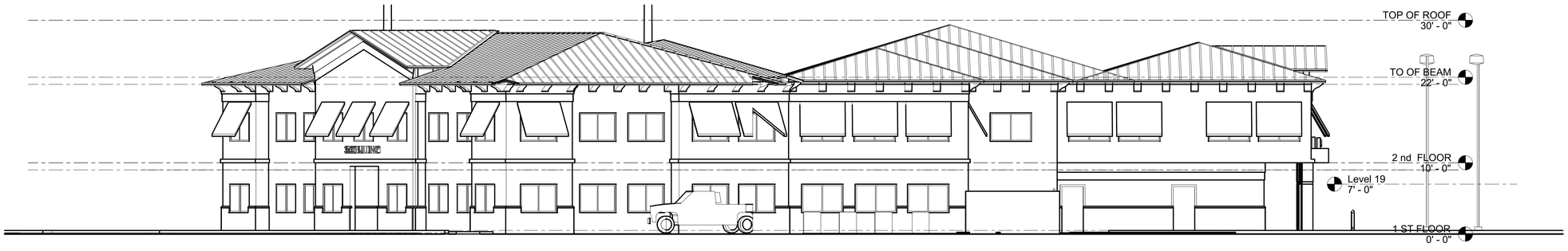
RODNEY NORTH GREEN ARCHITECT
AR5911







ELEVATIONS

SHEET A-6 OF 7 DATE 07/10/2019

REVISION #1
REVISION #1

REVISION #1
REVISION #1

3500 BUILDING
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RODNEY NORTH GREEN ARCHITECT
8731 WAKEFIELD DRIVE PHONE 9548188485
PALM BEACH GARDENS,FL. 33410 FAX 561-429-8380
AR591

SKETCH OF ALTA/NSPS SURVEY

DATES OF LAST FIELD WORK: 3/5/2017, 9/27/17, 10/17/18

PARCEL 1: 831 N HIGHLAND DRIVE
PARCEL 2: 839 N HIGHLAND DRIVE
PARCEL 3: VACANT LAND, JOHNSON STREET
PARCEL 4: VACANT LAND, 828 N 35 AVENUE
ALL IN HOLLYWOOD, FLORIDA 33332

CITY OF FORT HOLLYWOOD 125113
MAP/PANEL NUMBER 12011C0568H
INDEX DATE 8/18/14 PANEL EFFECTIVE DATE 8/18/14
FLOOD ZONE "AH" / "X" BASE FLOOD ELEVATION "10" / "NOT-APPLICABLE"
NOTE:
FLOOD ZONE LINE PLACED ON SKETCH BY SCALING FROM MAP LISTED ABOVE

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND REFERENCED FROM CITY OF HOLLYWOOD BENCH MARK 3 NAIL AND TAB LOCATED AT THE INTERSECTION OF 40th AVENUE AND ARTHUR STREET, ELEVATION = 9.15'(1929 DATUM)

SPOT ELEVATION = x#.##

SURVEY BASED ON THE FOLLOWING INFORMATION

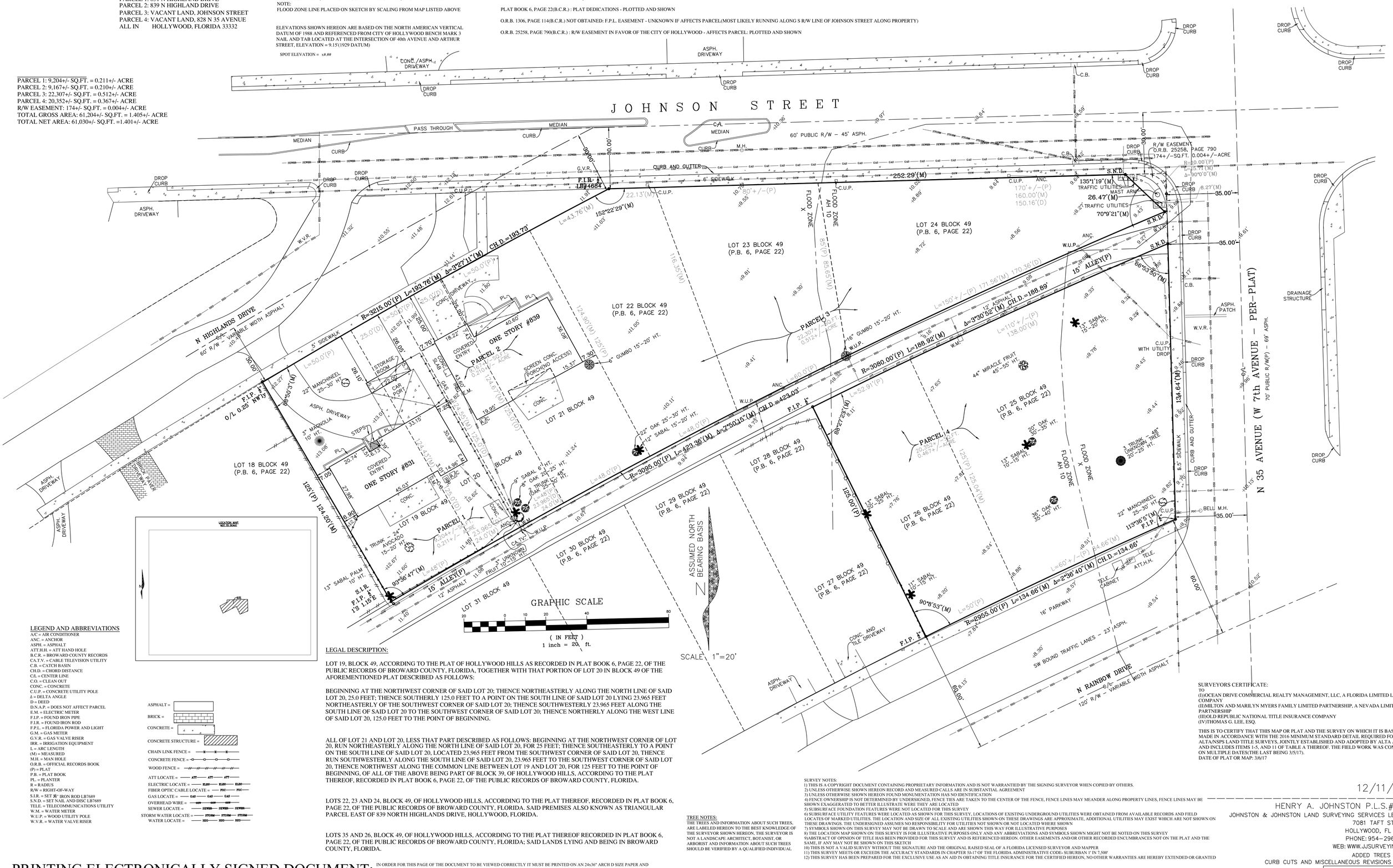
DATED: OCTOBER 11, 2018 11:00 PM
PROVIDED BY: THOMAS G. LEE, ESQ.

PLAT BOOK 6, PAGE 22(B.C.R.) : PLAT DEDICATIONS - PLOTTED AND SHOWN

O.R.B. 1306, PAGE 114(B.C.R.) NOT OBTAINED: F.P.L. EASEMENT - UNKNOWN IF AFFECTS PARCEL(MOST LIKELY RUNNING ALONG S R/W LINE OF JOHNSON STREET ALONG PROPERTY)

O.R.B. 25258, PAGE 790(B.C.R.) : R/W EASEMENT IN FAVOR OF THE CITY OF HOLLYWOOD - AFFECTS PARCEL: PLOTTED AND SHOWN

PARCEL 1: 9,204+/- SQ.FT. = 0.211+/- ACRE
PARCEL 2: 9,167+/- SQ.FT. = 0.210+/- ACRE
PARCEL 3: 22,307+/- SQ.FT. = 0.512+/- ACRE
PARCEL 4: 20,352+/- SQ.FT. = 0.467+/- ACRE
R/W EASEMENT: 174+/- SQ.FT. = 0.004+/- ACRE
TOTAL GROSS AREA: 61,204+/- SQ.FT. = 1.405+/- ACRE
TOTAL NET AREA: 61,030+/- SQ.FT. =1.401+/- ACRE



LOCATION MAP
NOT TO SCALE

LEGEND AND ABBREVIATIONS

A/C = AIR CONDITIONER
ANC. = ANCHOR
ASPH. = ASPHALT
ATT.H.H. = ATT HAND HOLE
B.C.R. = BROWARD COUNTY RECORDS
CA.T.V. = CABLE TELEVISION UTILITY
C.B. = CATCH BASIN
CHD. = CHORD DISTANCE
C/L = CENTER LINE
C.O. = CLEAN OUT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
Δ = DELTA ANGLE
D = DEED
D.N.A.P. = DOES NOT AFFECT PARCEL
E.M. = ELECTRIC METER
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.P.L. = FLORIDA POWER AND LIGHT
G.M. = GAS METER
G.V.R. = GAS VALVE RISER
IRR. = IRRIGATION EQUIPMENT
L = ARC LENGTH
(M) = MEASURED
M.H. = MAN HOLE
O.R.B. = OFFICIAL RECORDS BOOK
(P) = PLAT
P.B. = PLAT BOOK
PL = PLANTER
R = RADIUS
R/W = RIGHT-OF-WAY
S.I.R. = SET ⅝" IRON ROD LB7689
S.N.D. = SET NAIL AND DISC LB7689
TELE. = TELECOMMUNICATIONS UTILITY
W.M. = WATER METER
W.U.P. = WOOD UTILITY POLE
W.V.R. = WATER VALVE RISER

ASPHALT =
BRICK =
CONCRETE =
CONCRETE STRUCTURE =
CHAIN LINK FENCE = X X X
CONCRETE FENCE =
WOOD FENCE =
ATT LOCATE = ATT ATT ATT
ELECTRIC LOCATE = ELEC ELEC ELEC
FIBER OPTIC CABLE LOCATE = FOC FOC
GAS LOCATE = GAS GAS GAS
OVERHEAD WIRE = OHW OHW OHW
SEWER LOCATE = SEWER SEWER SEWER
STORM WATER LOCATE = STORM STORM STORM
WATER LOCATE = H2O H2O H2O

LEGAL DESCRIPTION:

LOT 19, BLOCK 49, ACCORDING TO THE PLAT OF HOLLYWOOD HILLS AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THAT PORTION OF LOT 20 IN BLOCK 49 OF THE AFOREMENTIONED PLAT DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 20; THENCE NORTHEASTERLY ALONG THE NORTH LINE OF SAID LOT 20, 25.0 FEET; THENCE SOUTHERLY 125.0 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 20 LYING 23.965 FEET NORTHEASTERLY OF THE SOUTHWEST CORNER OF SAID LOT 20; THENCE SOUTHWESTERLY 23.965 FEET ALONG THE SOUTH LINE OF SAID LOT 20 TO THE SOUTHWEST CORNER OF SAID LOT 20; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOT 20, 125.0 FEET TO THE POINT OF BEGINNING.

ALL OF LOT 21 AND LOT 20, LESS THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 20, RUN NORTHEASTERLY ALONG THE NORTH LINE OF SAID LOT 20, FOR 25 FEET; THENCE SOUTHEASTERLY TO A POINT ON THE SOUTH LINE OF SAID LOT 20, LOCATED 23.965 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 20, THENCE RUN SOUTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT 20, 23.965 FEET TO THE SOUTHWEST CORNER OF SAID LOT 20, THENCE NORTHWEST ALONG THE COMMON LINE BETWEEN LOT 19 AND LOT 20, FOR 125 FEET TO THE POINT OF BEGINNING, OF ALL OF THE ABOVE BEING PART OF BLOCK 39, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOTS 22, 23 AND 24, BLOCK 49, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PREMISES ALSO KNOWN AS TRIANGULAR PARCEL EAST OF 839 NORTH HIGHLANDS DRIVE, HOLLYWOOD, FLORIDA.

LOTS 35 AND 26, BLOCK 49, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TREE NOTES:
THE TREES AND INFORMATION ABOUT SUCH TREES, ARE LABELED HEREON TO THE BEST KNOWLEDGE OF THE SURVEYOR SHOWN HEREON. THE SURVEYOR IS NOT A LANDSCAPE ARCHITECT, BOTANIST, OR ARBORIST AND INFORMATION ABOUT SUCH TREES SHOULD BE VERIFIED BY A QUALIFIED INDIVIDUAL.

SURVEY NOTES:
1) THIS IS A COPYRIGHT DOCUMENT CONTAINING PROPRIETARY INFORMATION AND IS NOT WARRANTIED BY THE SIGNING SURVEYOR WHEN COPIED BY OTHERS.
2) UNLESS OTHERWISE SHOWN HEREON RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT
3) UNLESS OTHERWISE SHOWN HEREON FOUND MONUMENTATION HAS NO IDENTIFICATION
4) FENCE OWNERSHIP IS NOT DETERMINED BY UNDERSIGNED, FENCE TIES ARE TAKEN TO THE CENTER OF THE FENCE, FENCE LINES MAY MEANDER ALONG PROPERTY LINES, FENCE LINES MAY BE SHOWN EXAGGERATED TO BETTER ILLUSTRATE WERE THEY ARE LOCATED
5) SUBSURFACE FOUNDATION FEATURES WERE NOT LOCATED FOR THIS SURVEY
6) SUBSURFACE UTILITY FEATURES WERE LOCATED AS SHOWN FOR THIS SURVEY, LOCATIONS OF EXISTING UNDERGROUND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATES OF MARKED UTILITIES. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE, ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT LOCATED WHERE SHOWN
7) SYMBOLS SHOWN ON THIS SURVEY MAY NOT BE DRAWN TO SCALE AND ARE SHOWN THIS WAY FOR ILLUSTRATIVE PURPOSES
8) THE LOCATION MAP SHOWN ON THIS SURVEY IS FOR ILLUSTRATIVE PURPOSES ONLY AND ANY ABBREVIATIONS AND SYMBOLS SHOWN MIGHT NOT BE NOTED ON THIS SURVEY
9) ABSTRACT OF OPINION OF TITLE HAS BEEN PROVIDED FOR THIS SURVEY AND IS REFERENCED HEREON. OTHER EASEMENTS AND/OR OTHER RECORDED ENCUMBRANCES NOT ON THE PLAT AND THE SAME, IF ANY MAY NOT BE SHOWN ON THIS SKETCH
10) THIS IS NOT A VALID SURVEY WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
11) THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE- SUBURBAN 1' IN 7,500'
12) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE AS AN AID IN OBTAINING TITLE INSURANCE FOR THE CERTIFIED HEREON, NO OTHER WARRANTIES ARE HEREBY EXTENDED OR GRANTED

SURVEYORS CERTIFICATE:
TO
(I)OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY
(II)MILTON AND MARILYN MYERS FAMILY LIMITED PARTNERSHIP, A NEVADA LIMITED PARTNERSHIP
(III)OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
(IV)THOMAS G. LEE, ESQ.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIRED FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MULTIPLE DATES(THE LAST BEING 3/5/17).
DATE OF PLAT OR MAP: 3/6/17

12/11/18

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ADDED TREES 12/11/18
CURB CUTS AND MISCELLANEOUS REVISIONS 9/27/17

JOB#16-01-007ALTAr6

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