



2100 FEDERAL NORTH HIGHWAY HOLLYWOOD, FLORIDA

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Kobi Karp
Lic. # AR0012578

RENDERING
POOL VIEW

Date	07/03/2023	Sheet No.
Scale		A1.03
Project	2302	

1 RENDERING
SCALE: N/A



TOTAL
F.A.R. AREA = 192,840 S.F.

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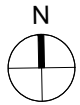
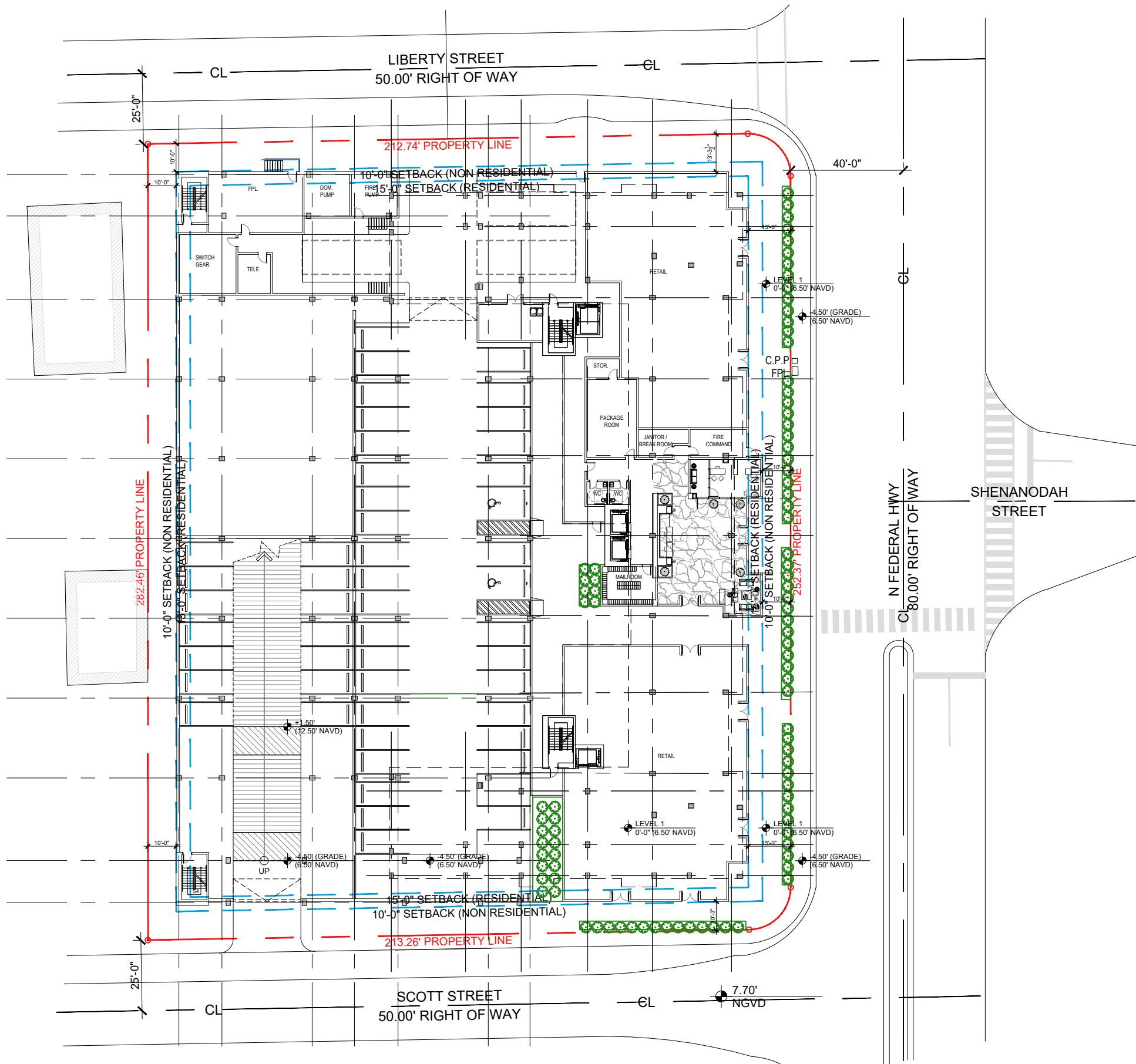
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FAR DIAGRAMS

Date	07/03/2023	Sheet No.
Scale	N.T.S.	A1.20
Project	2302	



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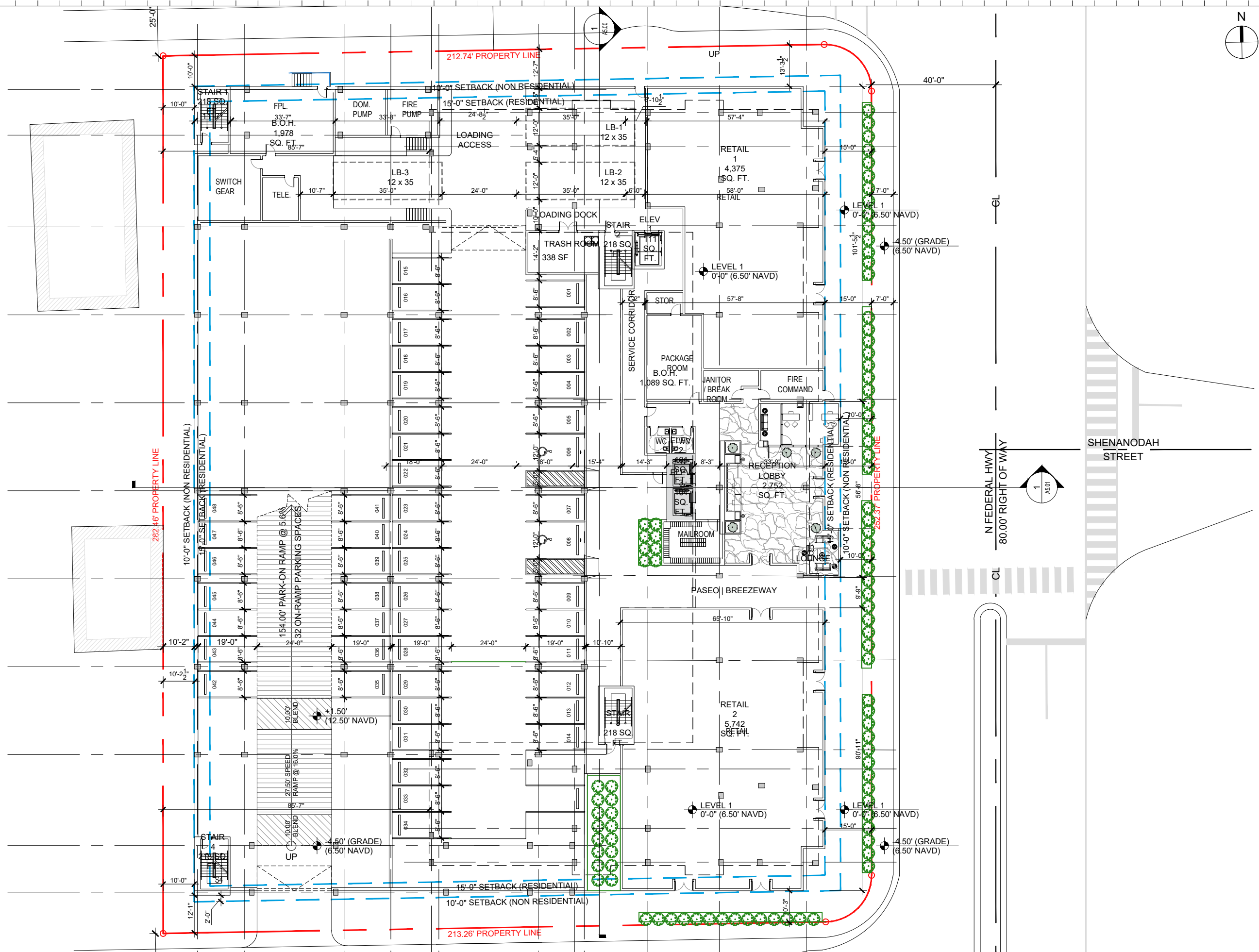


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SITE PLAN

Date	07/03/2023	Sheet No.
Scale	1" = 30'-0"	A2.00
Project	2302	

1 PROPOSED SITE PLAN
SCALE 1" = 30'-0"



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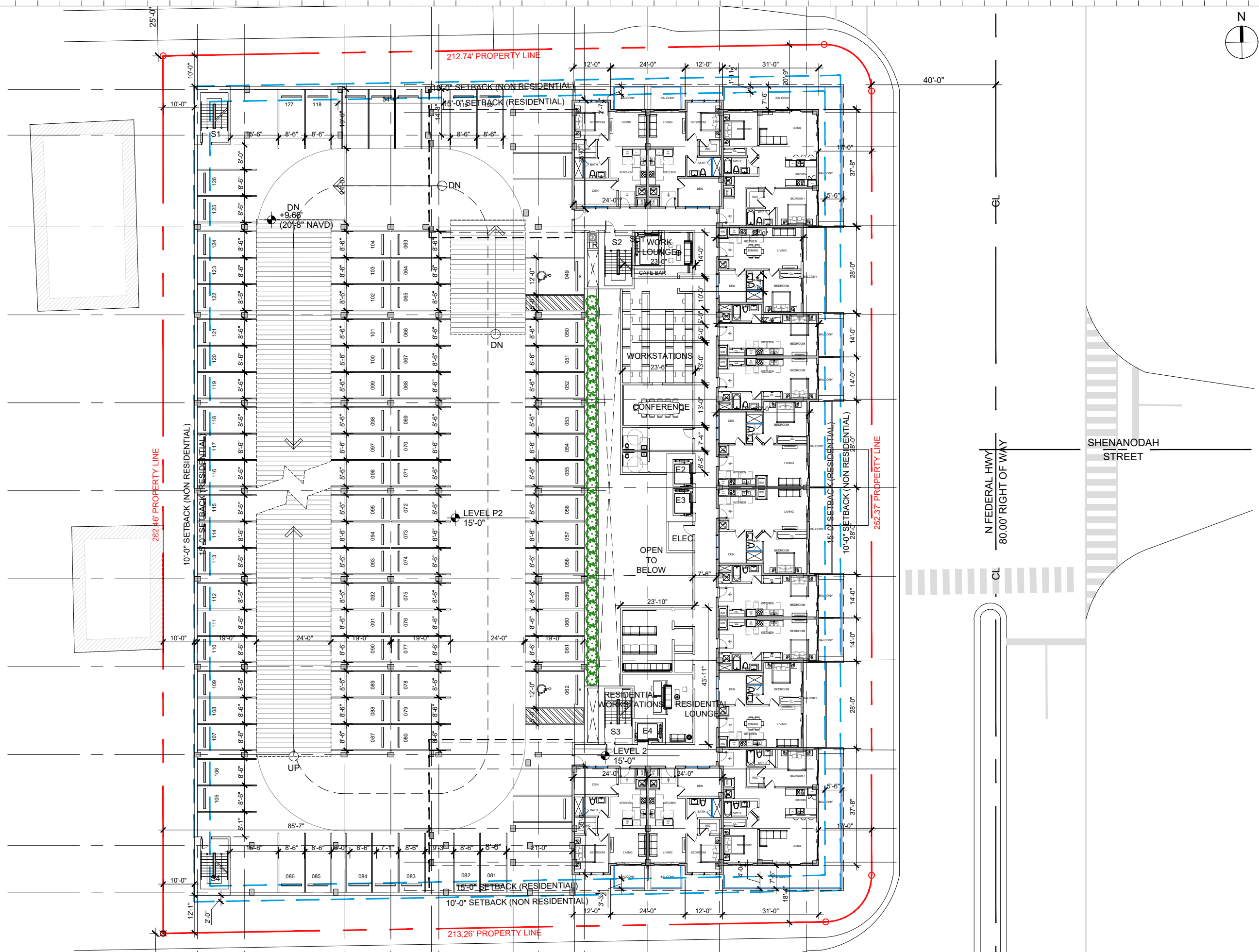


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GROUND LEVEL FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.00
Project	2302	

1 PROPOSED LEVEL 1
SCALE 1" = 30'-0"



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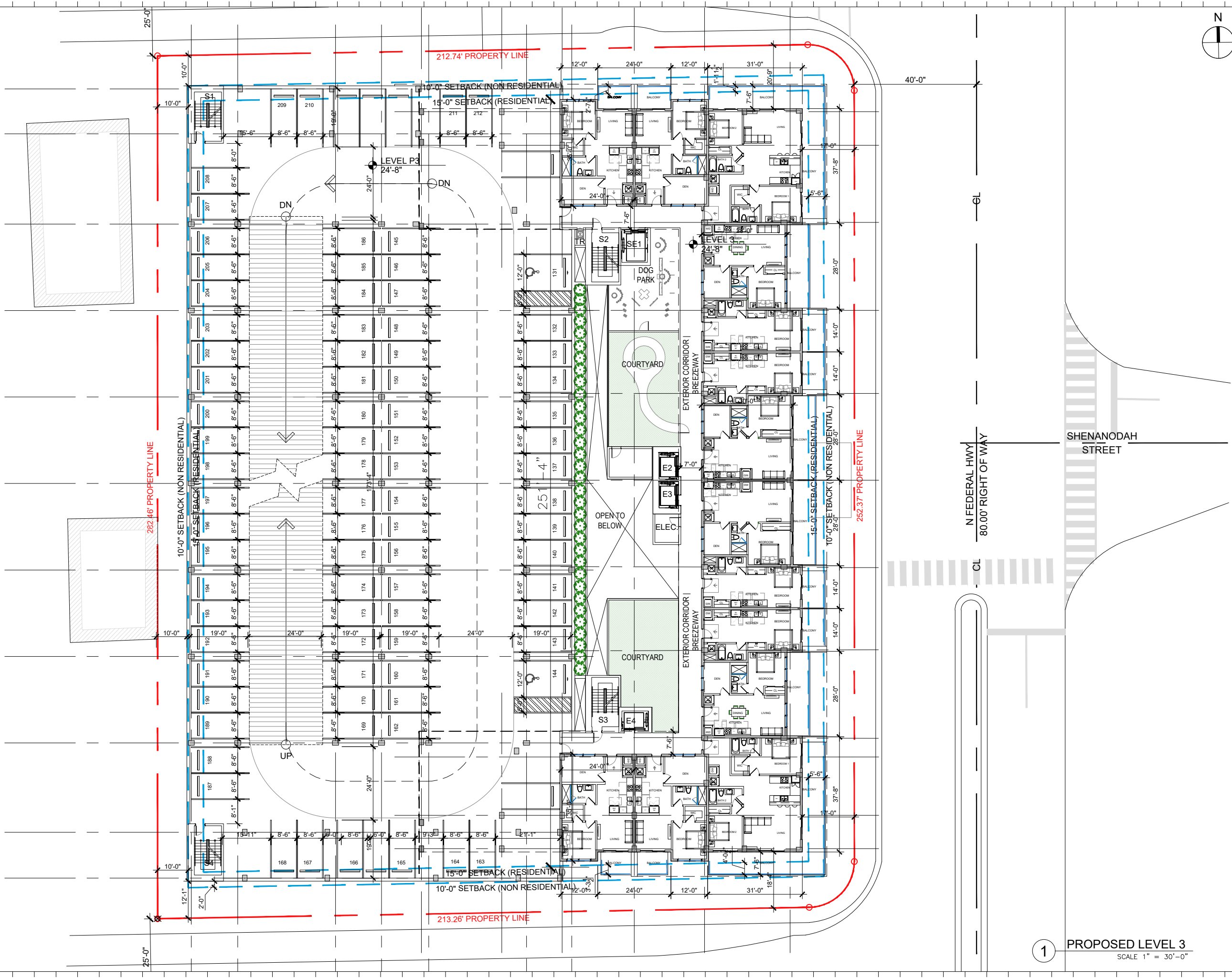
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LEVEL 02 FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1/8"= 1'-0"	A3.01
Project	2302	

1 PROPOSED LEVEL 2
SCALE 1" = 30'-0"



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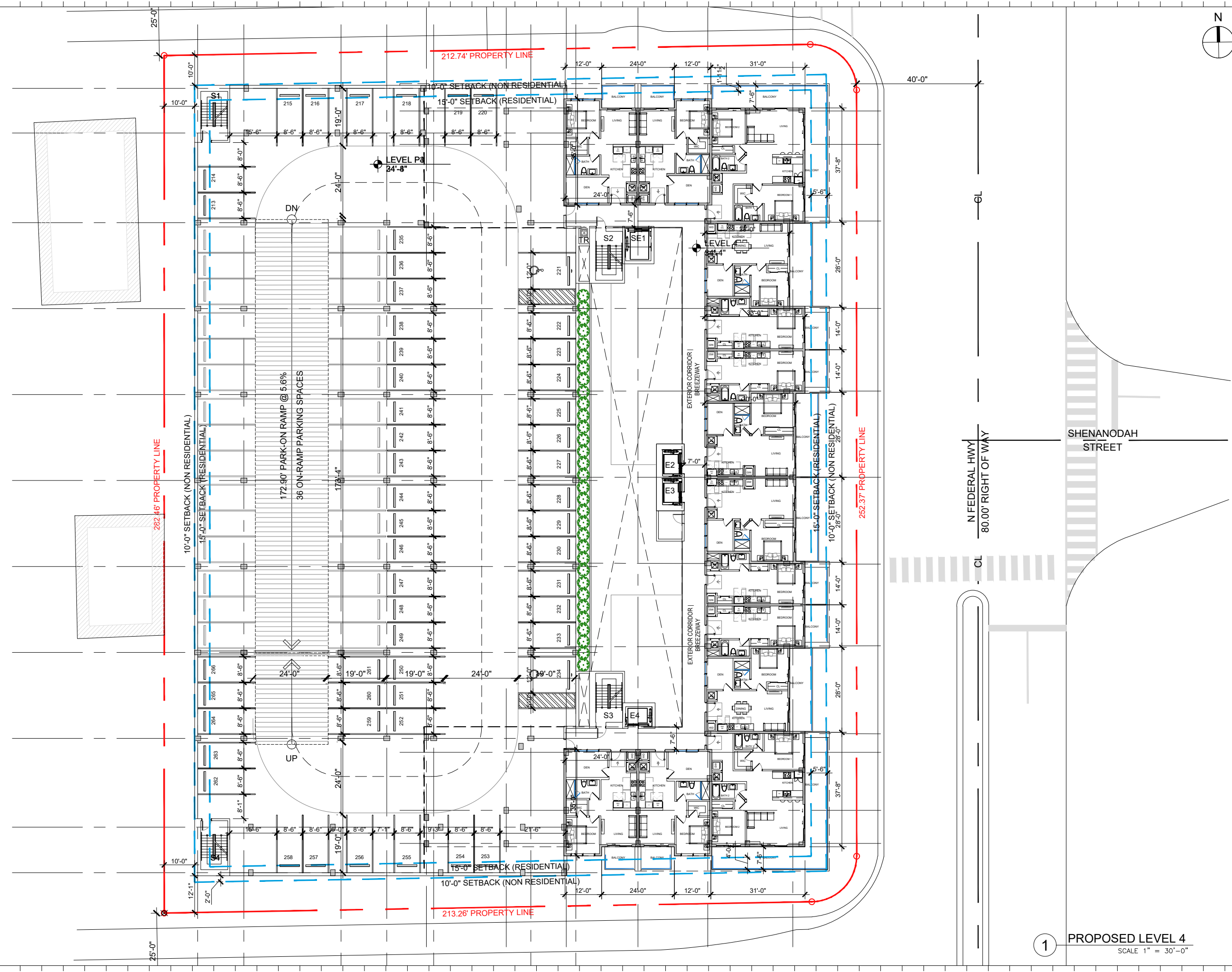
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LEVEL 03 FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.02
Project	2302	

1 PROPOSED LEVEL 3
SCALE 1" = 30'-0"



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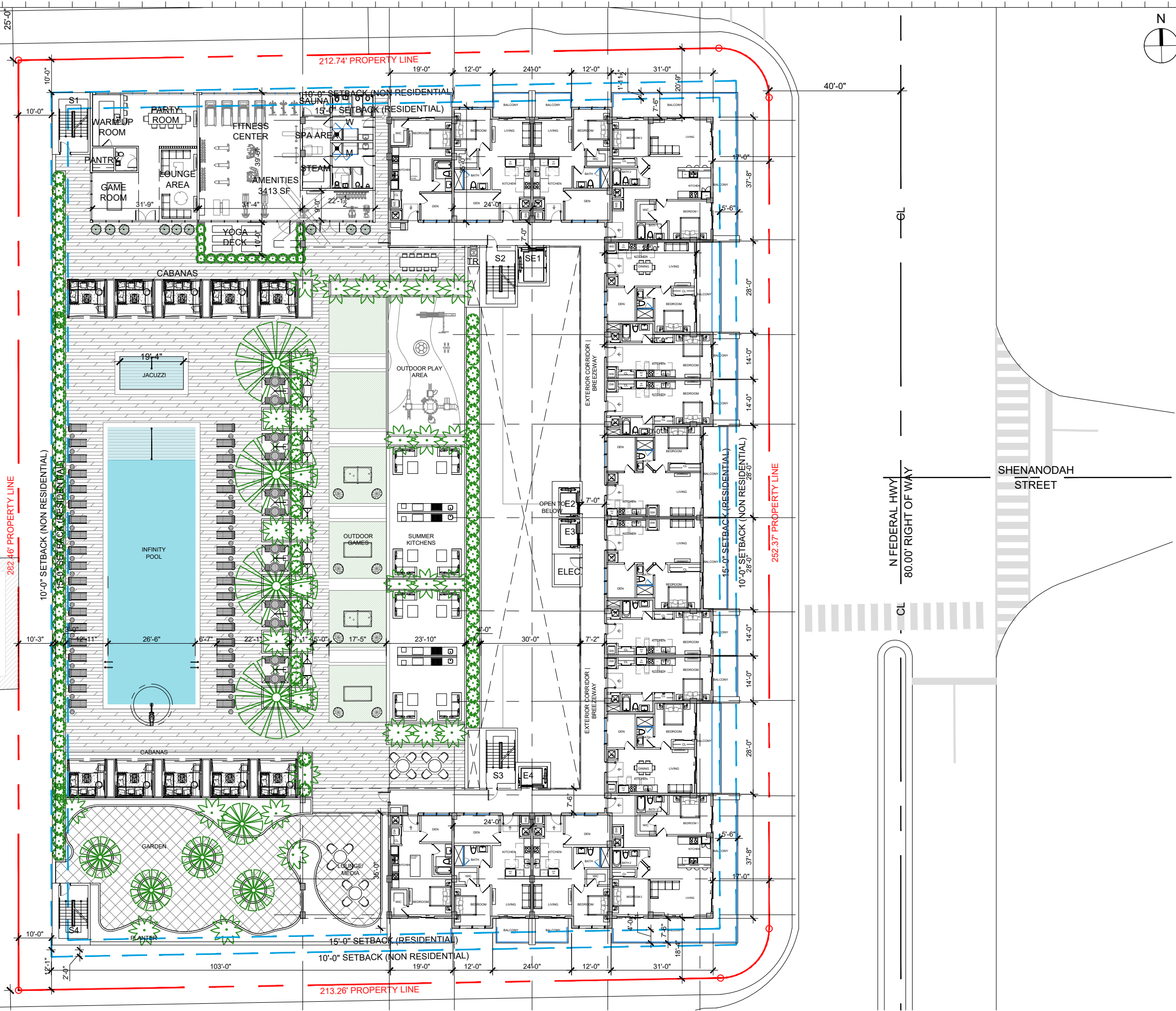
LEVEL 04

FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.03
Project	2302	

1 PROPOSED LEVEL 4

SCALE 1" = 30'-0"



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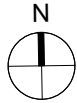
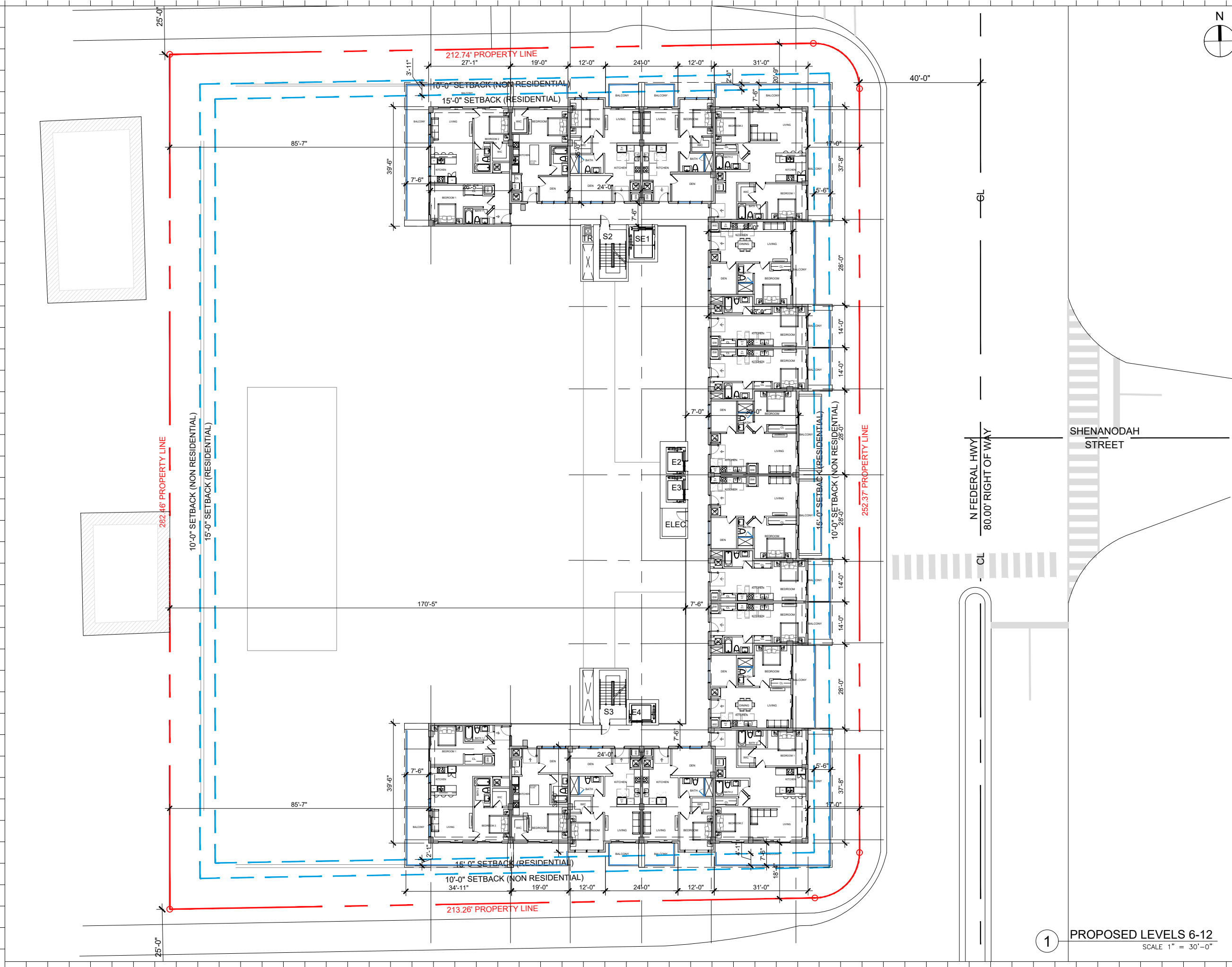
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LEVEL 05
FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.04
Project	2302	

1 PROPOSED LEVEL 5
SCALE 1/8" = 1'-0"



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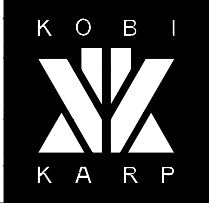
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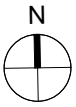
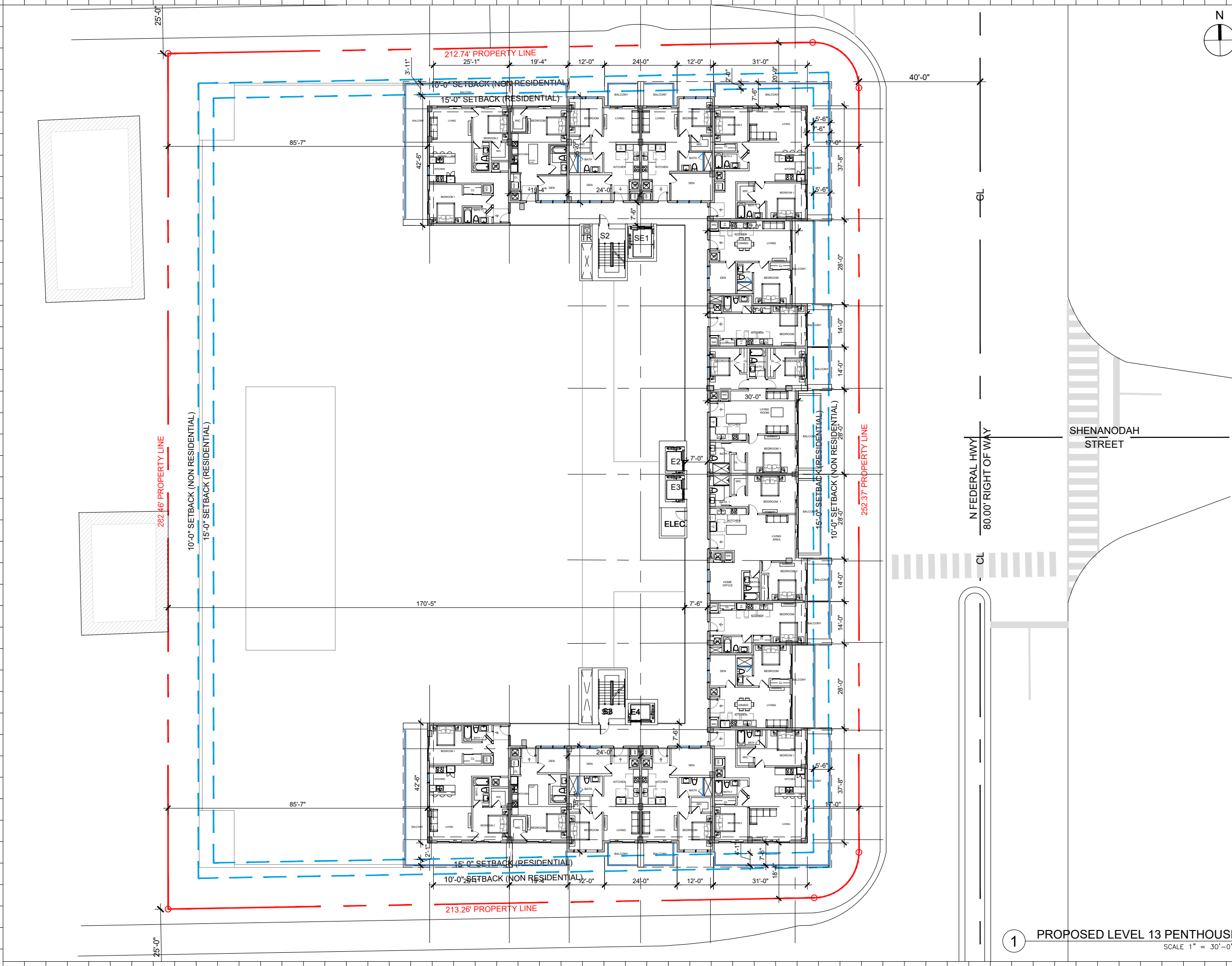


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LEVEL 06-12
FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.05
Project	2302	

1 PROPOSED LEVELS 6-12
SCALE 1" = 30'-0"



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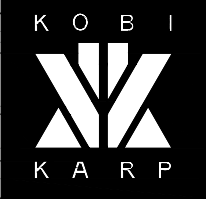
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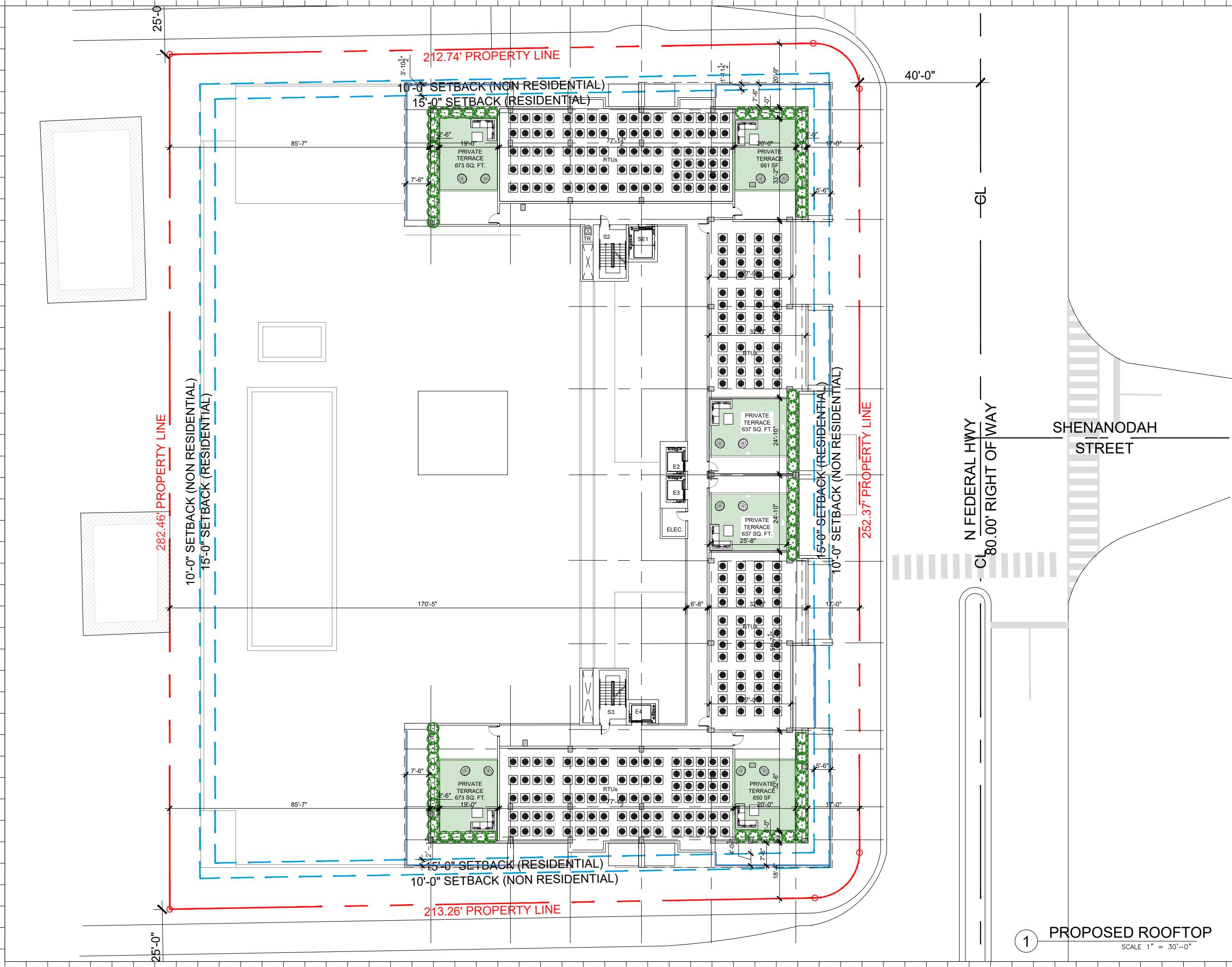
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LEVEL 13
FLOOR PLAN

Date	07/03/2023	Sheet No.
Scale	1"= 30'-0"	A3.06
Project	2302	



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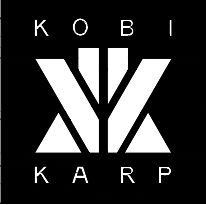
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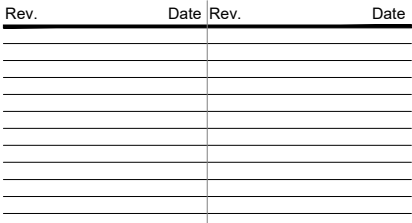


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FLOOR PLAN
ROOF LEVEL

Date	07/03/2023	Sheet No.
Scale	1" = 30'-0"	A3.07
Project	2302	

1 PROPOSED ROOFTOP
SCALE 1" = 30'-0"



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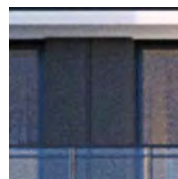
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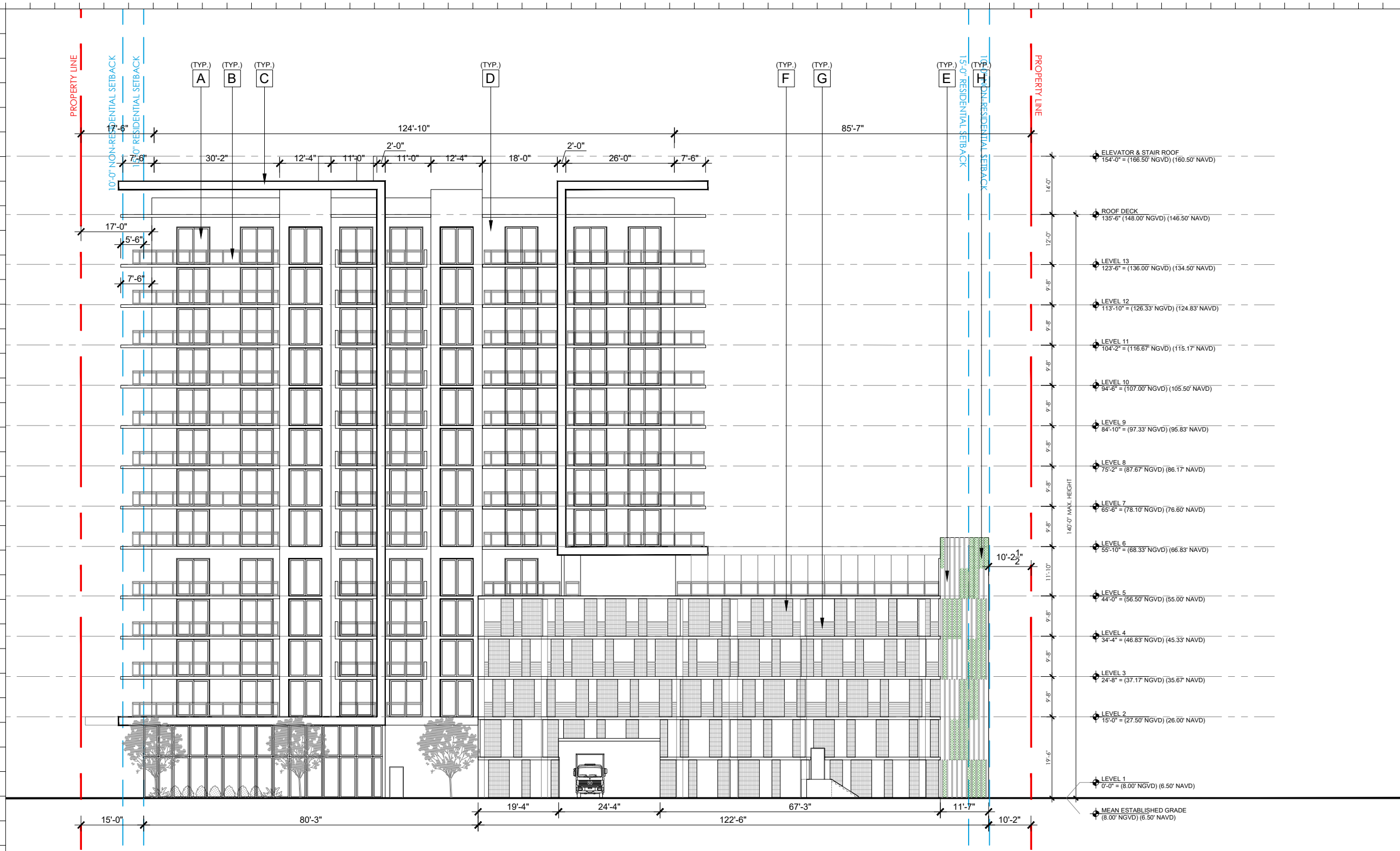
BUILDING ELEVATION

EAST

Date	07/03/2023	Sheet No. A4.00
Scale	1" = 25'-0"	
Project	2302	



**D STUCCO COLOR
DARK SLATE**



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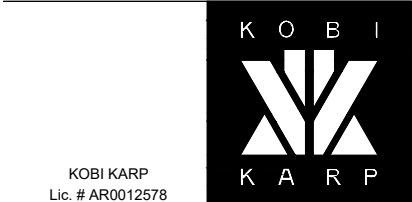
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BUILDING ELEVATION
NORTH

Date	07/03/2023	Sheet No.
Scale	1/8"=1'-0"	A4.01
Project	2302	



A GLAZING COLOR
BLUE



B RAILING COLOR
BLUE



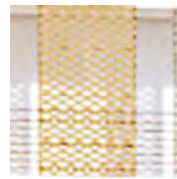
C STUCCO COLOR
OFF-WHITE



D STUCCO COLOR
DARK SLATE



E VERTICAL SLATS
ALUMINUM



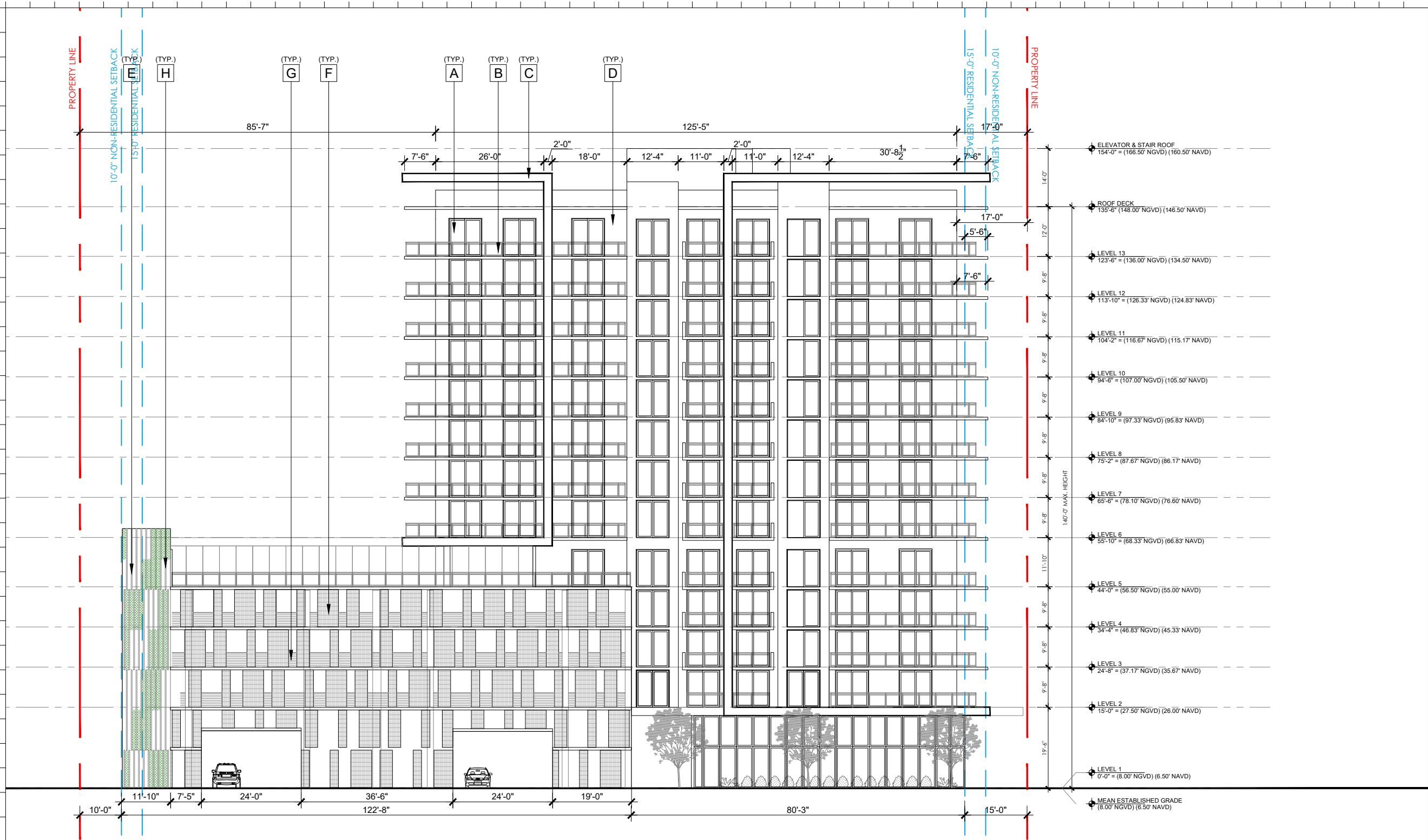
F PRIVACY MESH
ALUMINUM



G RAILING COLOR
ALUMINUM



H ARTIFICIAL
GRASS



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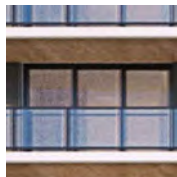
KOBİ KARP
Lic. # AR0012578



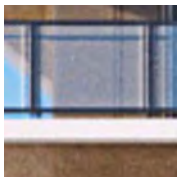
KOBİ KARP

BUILDING ELEVATION SOUTH

Date	07/03/2023	Sheet No.
Scale	1/8"=1'-0"	A4.02
Project	2302	



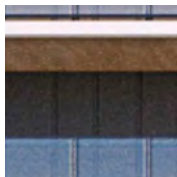
A GLAZING COLOR
BLUE



B RAILING COLOR
BLUE



C STUCCO COLOR
OFF-WHITE



D STUCCO COLOR
DARK SLATE



E VERTICAL SLATS
ALUMINUM



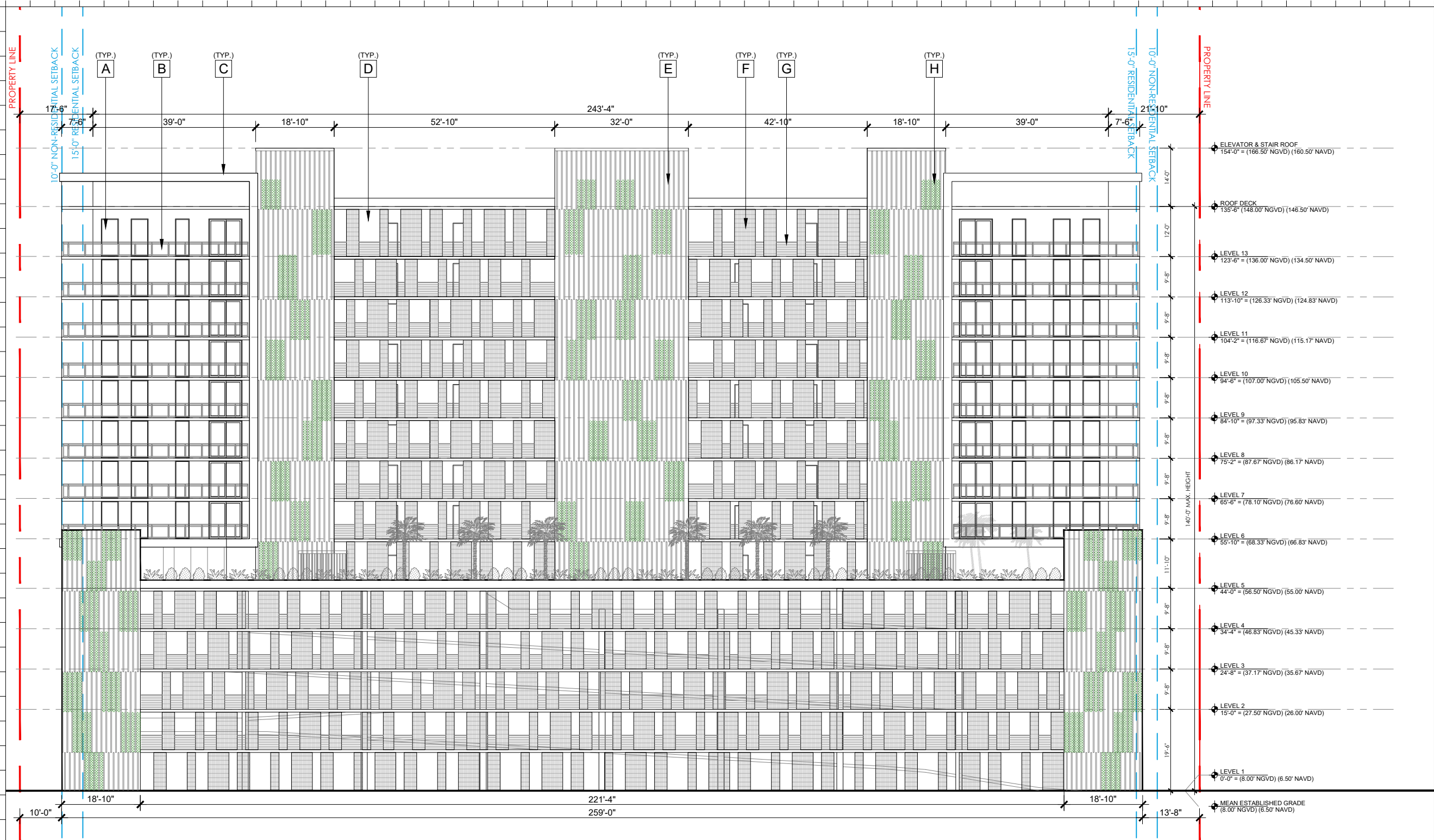
F PRIVACY MESH
ALUMINUM



G RAILING COLOR
ALUMINUM



H ARTIFICIAL GRASS



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Lic. # AR0012578

BUILDING ELEVATION WEST

Date	07/03/2023	Sheet No.
Scale	1/8"=1'-0"	A4.03
Project	2302	



A GLAZING COLOR
BLUE



B RAILING COLOR
BLUE



C STUCCO COLOR
OFF-WHITE



D STUCCO COLOR
DARK SLATE



E VERTICAL SLATS
ALUMINUM



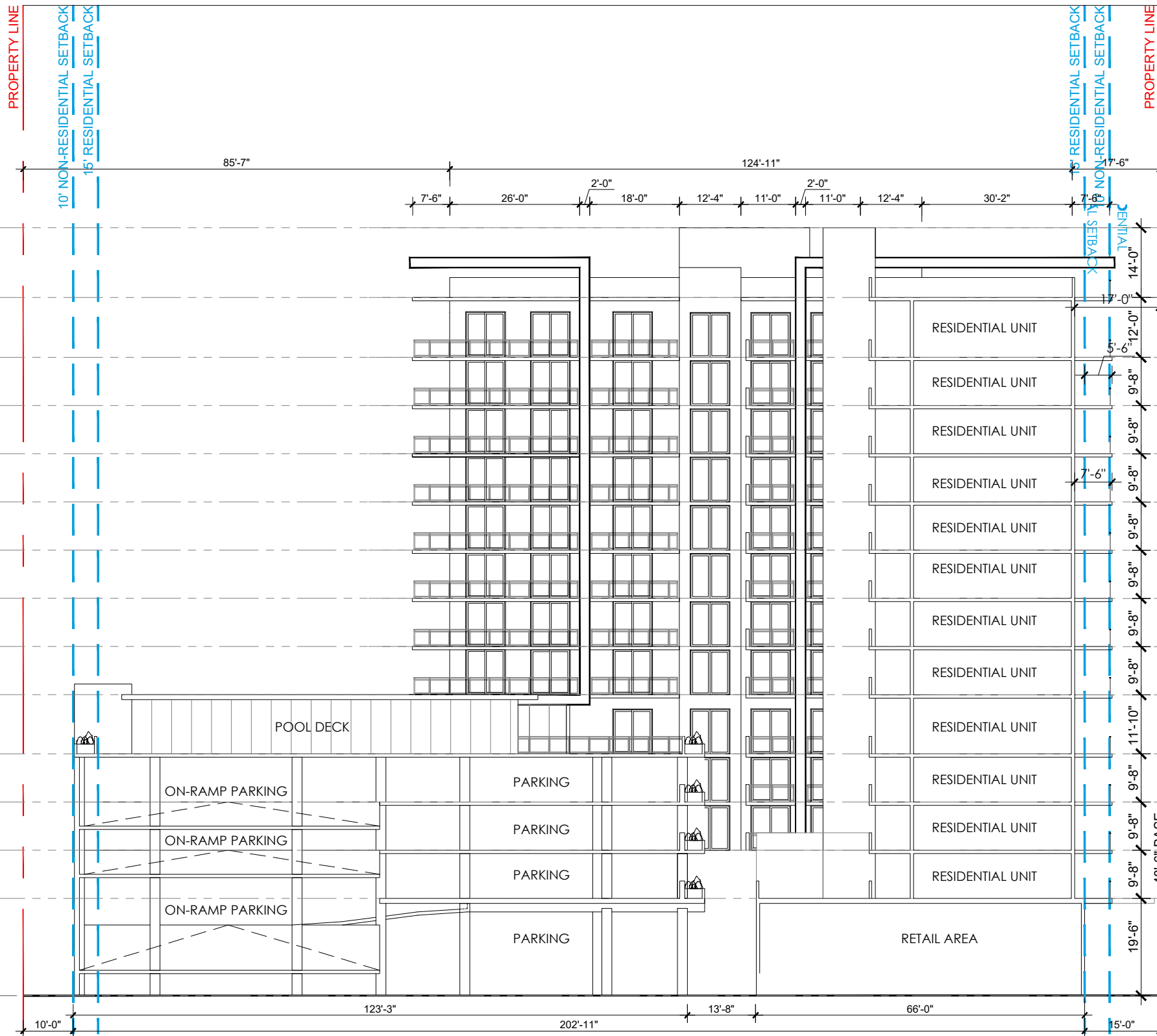
F PRIVACY MESH
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G RAILING COLOR
ALUMINUM



H ARTIFICIAL GRASS



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K O B İ

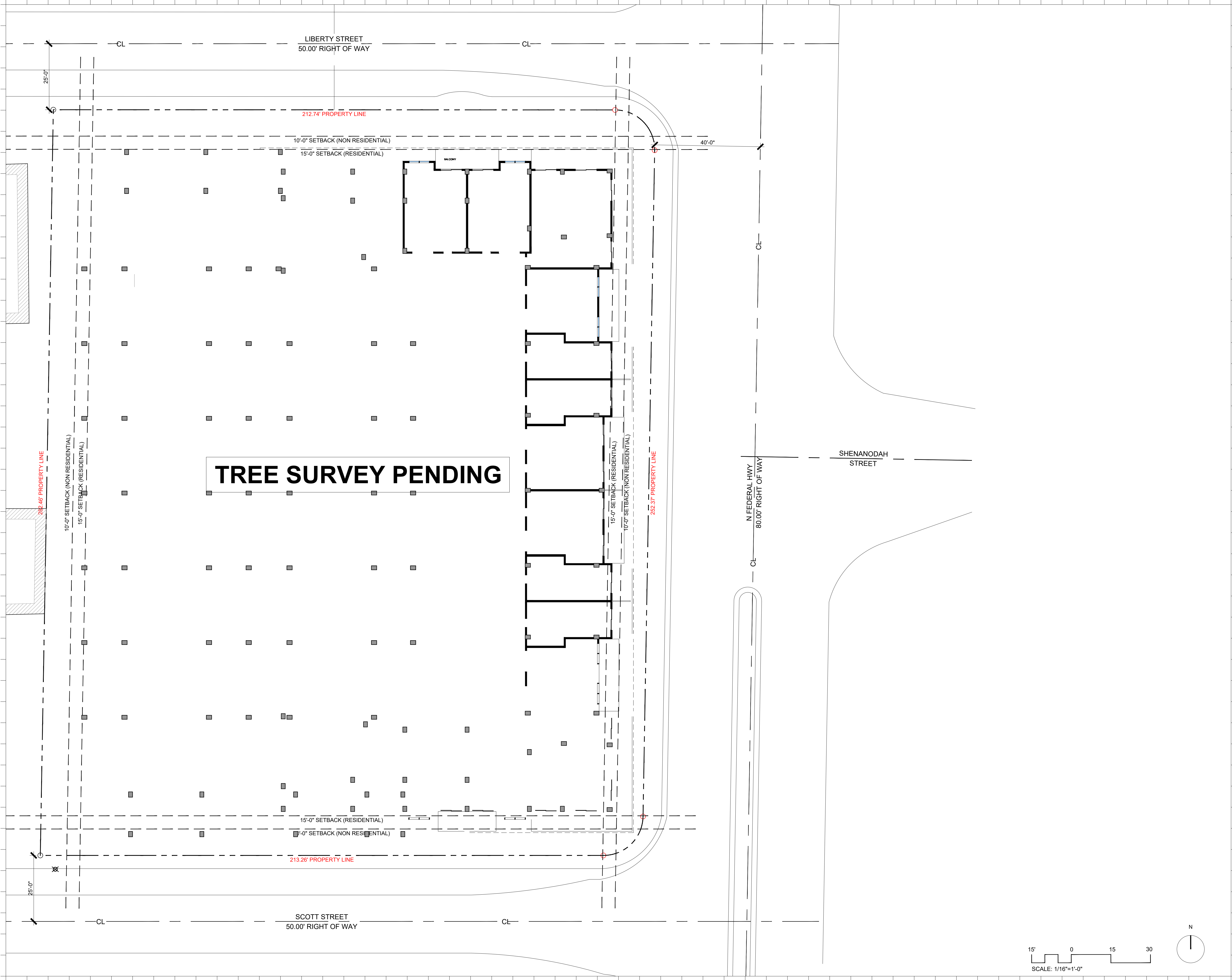
K A R P

PROPOSED SECTION A

Date	07/03/2023	Sheet No.
Scale	1" = 25'-0"	A5.00
Project	2302	

1 PROPOSED SECTION A

SCALE: 1" = 25'-0"



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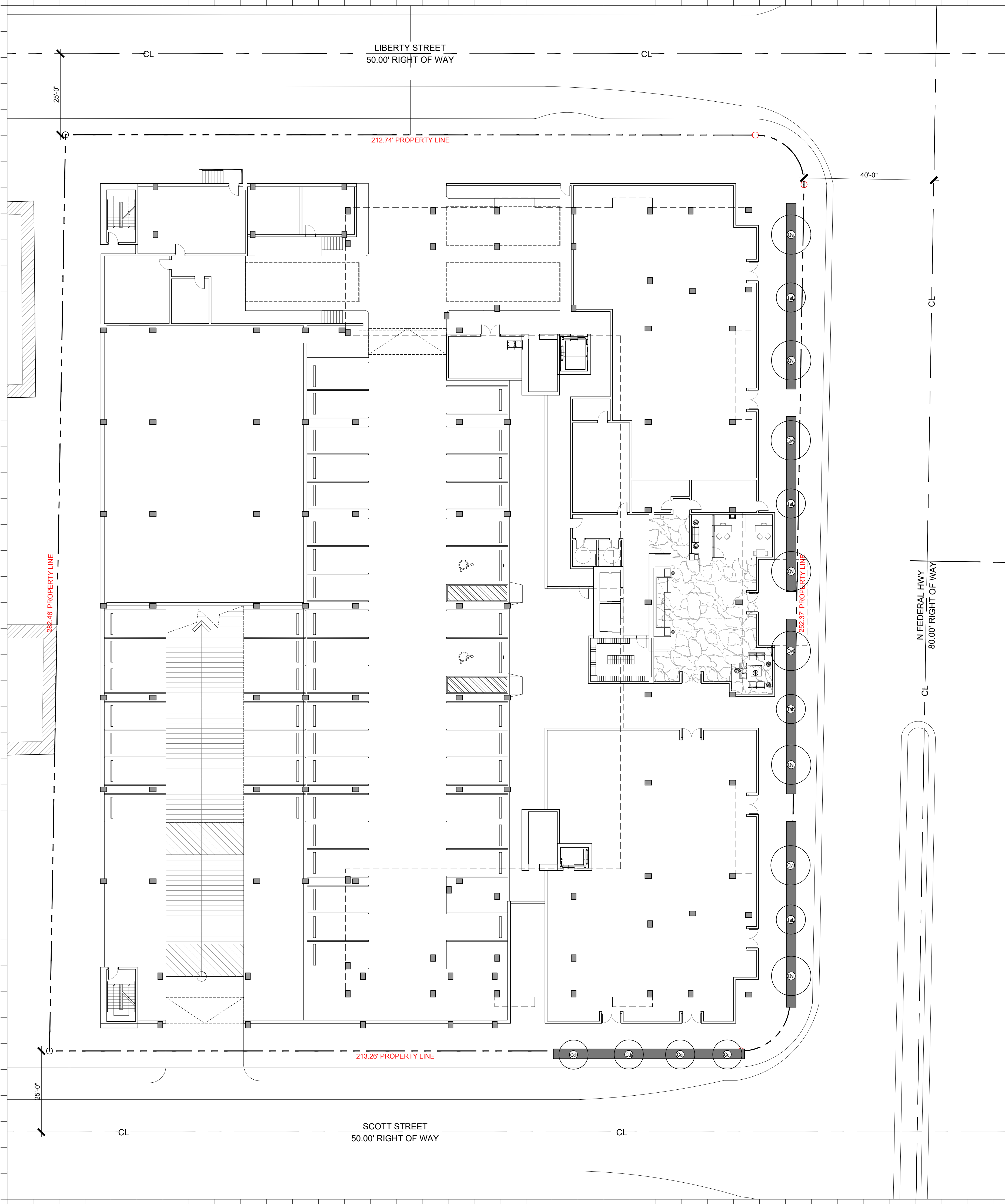
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Lic. # LA6667526

K O B I

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TREE DISPOSITION PLAN

Date	--	Sheet No.
Scale		L.01
Project	2302	



LANDSCAPE LEGEND			
ZONE: FH-2		LOT AREA: 64,312	ACRES: 1.4764
STREET TREES		REQUIRED/ ALLOWED	PROVIDED
A. One street tree per 50 linear feet		15	16
Street Frontage: 744'			

GROUND LEVEL PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
STREET TREES				
Qvi	8	<i>Quercus virginiana</i>	Southern Live Oak	6" DBH 18' Ht. Min. 4' CT
Cdi	4	<i>Coccoloba diversifolia</i>	Pigeon Plum Tree	3" DBH 15' Ht. Min. 4' CT
Tab	4	<i>Tabebuia pallida</i>	Pink Tabebuia	3" DBH 15' Ht. Min. 4' CT
NUMBER AND TYPE OF SHRUBS AND GROUNDCOVERS TO BE DETERMINED DURING THE NEXT DESIGN PHASE				

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PLANTING PLAN
GROUND LEVEL

Date	--	Sheet No.
Scale		L.02
Project	2302	

XX Ht.

PROPOSED TREE

#

EXISTING AND RELOCATED TREE

XX XX

PROPOSED SHRUBS, ACCENTS AND VINES

EXISTING GROUNDCOVER/SHRUB TO REMAIN

XX Ht.

PROPOSED PALM

#

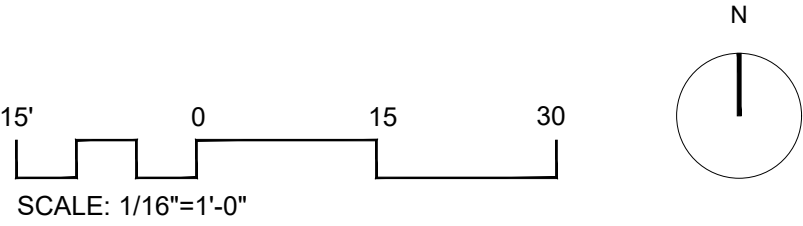
EXISTING AND RELOCATED PALM

⊗

PROPOSED CYCAD AND BAMBOO

TYPE
QTY

PROPOSED GROUNDCOVER TYPE AND COUNT





LEVEL 2 PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
ACCENTS				
Md	29	Monstera deliciosa	Mexican Breadfruit	7 Gal.
VINES				
Ea	TBD	Epipremnum aureum 'Neon'	Golden Pothos Vine	1 Gal.

Rev.	Date	Rev.	Date

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PLANTING PLAN
LEVEL 2

Date	--	Sheet No.
Scale		L.03
Project	2302	

PLANTING PLAN GRAPHIC LEGEND

PROPOSED TREE

EXISTING AND RELOCATED TREE

PROPOSED SHRUBS, ACCENTS AND VINES

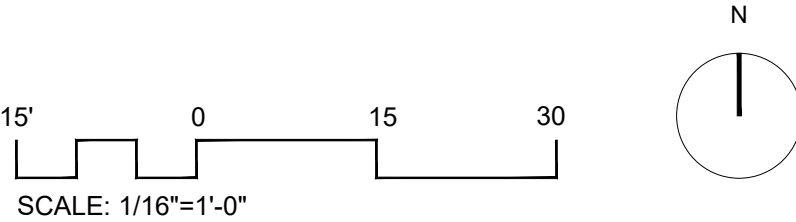
EXISTING GROUNDCOVER/SHRUB TO REMAIN

PROPOSED PALM

EXISTING AND RELOCATED PALM

PROPOSED CYCAD AND BAMBOO

PROPOSED GROUNDCOVER TYPE AND COUNT





LEVEL 5 PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
Clr	4	<i>Clusia rosea</i>	Autograph Tree	100 Gal. Low Branching
Cuv	1	<i>Coccoloba uvifera</i>	Seagrape Tree	100 Gal. Low Branching
Cah	1	<i>Calliandra haematocephala</i>	Red Powder Puff	65 Gal. Low Branching
Glu	3	<i>Gymnanthes lucida</i>	Crabwood	45 Gal. Low Branching
PALMS				
Dal	3	<i>Dictyosperma album</i>	Hurricane Palm	6' CT
Cmi	10	<i>Coccothrinax miraguama</i>	Miraguama Palm	15 Gal.
Psy	4	<i>Phoenix sylvestris</i>	Wild Date Palm	10' CT
SHRUBS				
Cl	TBD	<i>Clusia lanceolata</i>	Porcelain Flower	15 Gal.
El	TBD	<i>Ernodea littoralis</i>	Golden Creeper	1 Gal.
Crn	TBD	<i>Clusia rosea 'Nana'</i>	Dwarf Pitch Apple	7 Gal.
Fm	TBD	<i>Ficus microcarpa</i>	Green Island Ficus	3 Gal.
NUMBER AND TYPE OF GROUNDCOVERS AND ACCENTS TO BE DETERMINED DURING THE NEXT DESIGN PHASE				

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PLANTING PLAN
LEVEL 5

Date	--	Sheet No.
Scale		L.04
Project	2302	

PLANTING PLAN GRAPHIC LEGEND

PROPOSED TREE

EXISTING AND RELOCATED TREE

PROPOSED SHRUBS, ACCENTS AND VINES

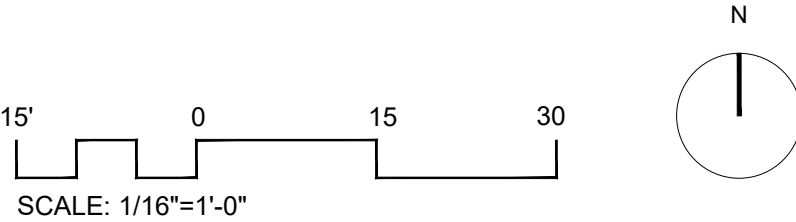
EXISTING GROUNDCOVER/SHRUB TO REMAIN

PROPOSED PALM

EXISTING AND RELOCATED PALM

PROPOSED CYCAD AND BAMBOO

PROPOSED GROUNDCOVER TYPE AND COUNT





ROOF LEVEL PLANT LIST				
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
Jk	13	<i>Jacquinia keyensis</i>	Joewood	25 Gal. Low, sculptural
PALMS				
Cmi	32	<i>Coccothrinax miraguama</i>	Miraguama Palm	15 Gal.
SHRUBS				
EI	TBD	<i>Ernodea littoralis</i>	Golden Creeper	1 Gal.
ACCENTS				
Aat	46	<i>Agave attenuata</i>	Spineless Agave	7 Gal.

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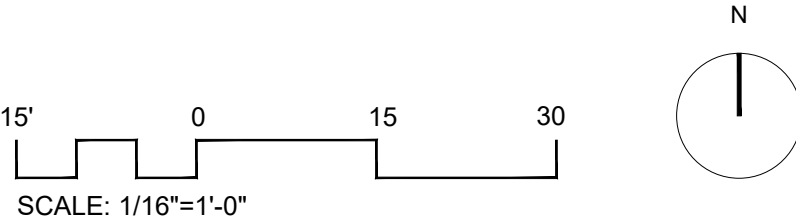
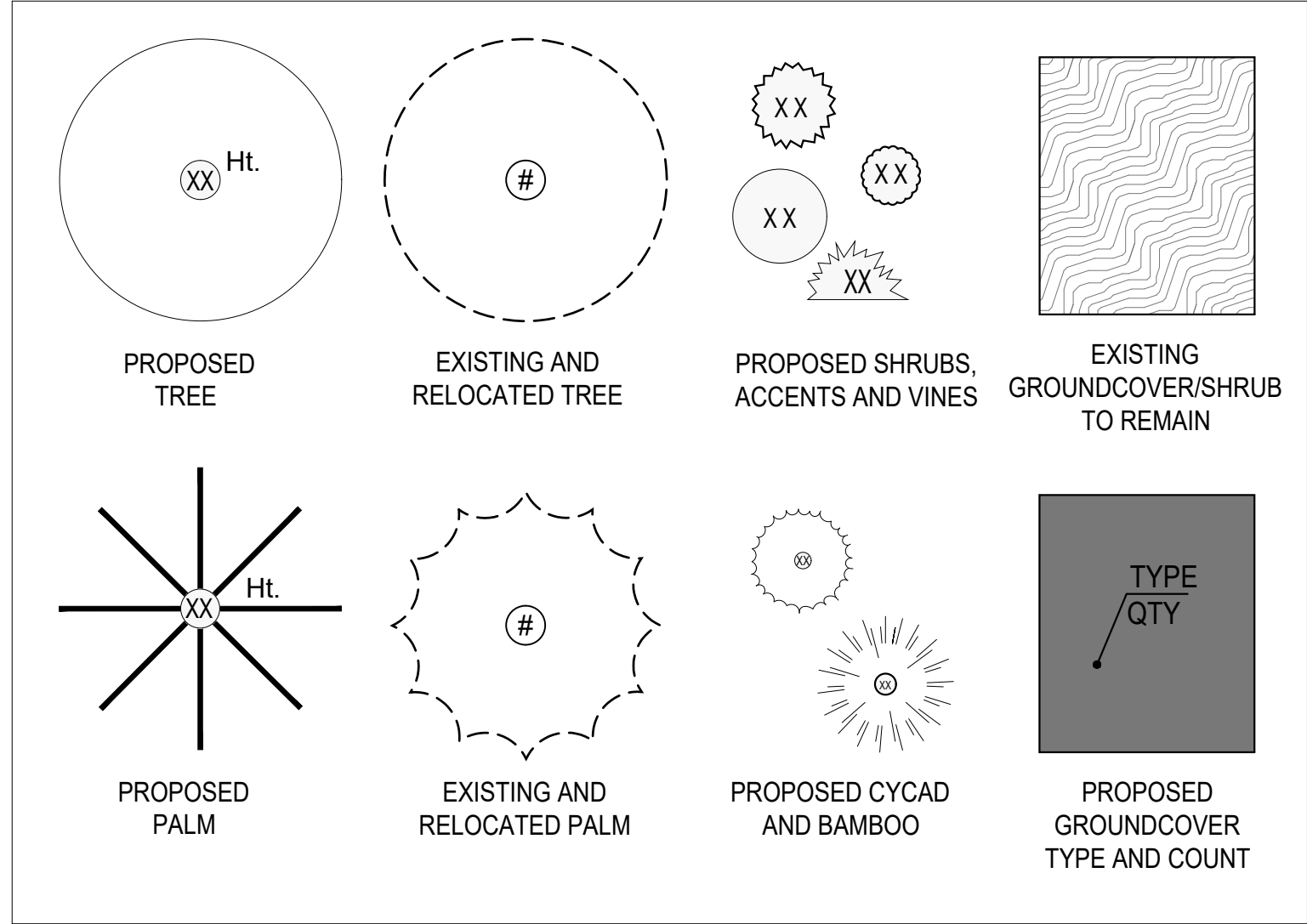
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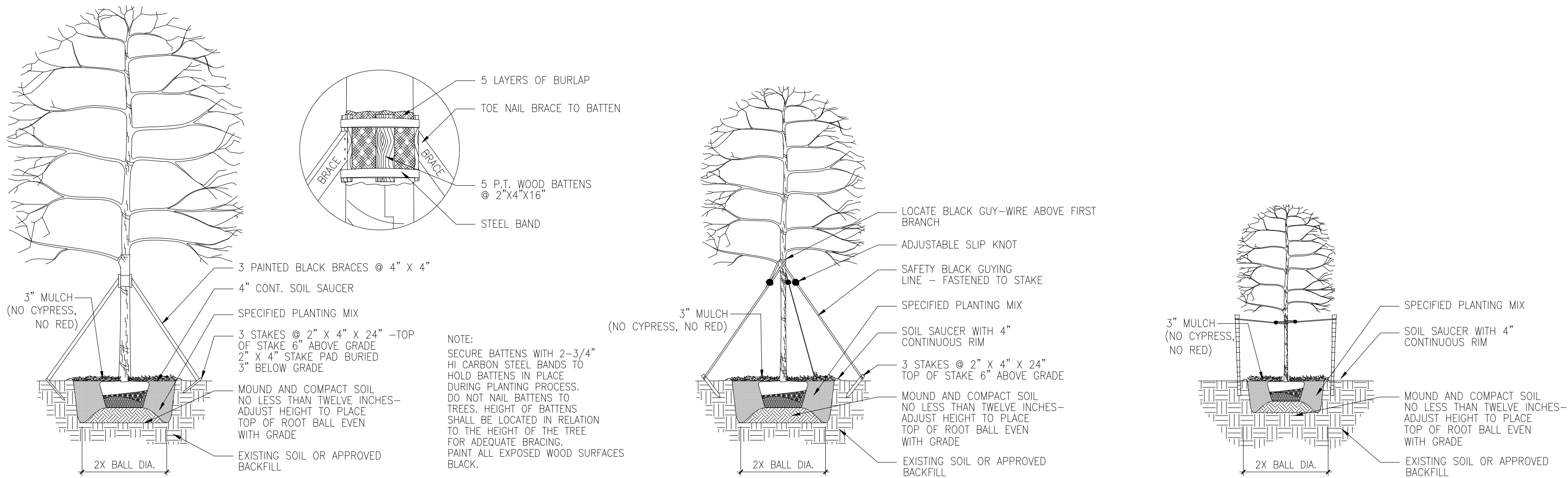
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PLANTING PLAN
ROOF LEVEL

Date	--	Sheet No.
Scale		L.05
Project	2302	

PLANTING PLAN GRAPHIC LEGEND

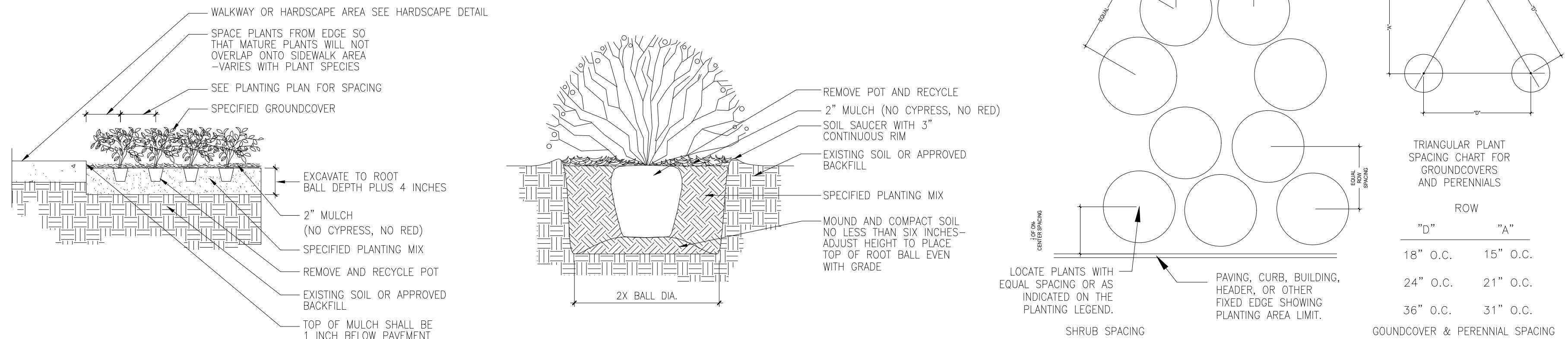




1 LARGE SIZE TREE AND PALM PLANTING AND STAKING DETAIL
SCALE: NTS

3 MEDIUM SIZE TREE PLANTING AND STAKING DETAIL
SCALE: NTS

4 SMALL SIZE TREE PLANTING AND STAKING DETAIL
SCALE: NTS



5 GROUND COVER PLANTING DETAIL
SCALE: NTS

6 SHRUB PLANTING DETAIL
SCALE: NTS

7 PLANT SPACING DETAIL
SCALE: NTS

GENERAL PLANTING NOTES

- EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY TREES OR SHRUBS SCARRED OR DESTROYED DESIGNATED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- EXISTING TREES DESIGNATED TO BE STORED OFF-SITE, SHALL BE PROTECTED AND CARED FOR ACCORDINGLY TO INDUSTRY STANDARD. ANY TREES OR SHRUBS SCARRED OR DESTROYED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES, AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING HIS BID. PLANTING PLAN TO TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
- EXISTING PLANT MATERIAL NOT SHOWN ON THE PLAN AND IN CONFLICT WITH NEW PLANTING SHALL BE EVALUATED AT THE TIME OF NEW PLANTING INSTALLATION BY THE LANDSCAPE ARCHITECT.
- ALL BUILDING CONSTRUCTION MATERIAL AND FOREIGN MATERIAL SHALL BE REMOVED FROM PLANTING AREAS AND REPLACED WITH 80/20 MIX FILL SOIL, OR AS PER SPECIFICATIONS. ALL ISLANDS IN PARKING LOTS AND AROUND BUILDINGS, SHALL BE EXCAVATED TO A DEPTH OF 3' MIN. AND REPLACED WITH 80/20 PLANT MIX, OR AS PER SPECIFICATIONS.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANT LIST ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO HAVE SINGLE TRUNK, UNLESS OTHERWISE NOTED ON THE PLANS OR PLANT LIST.
- SITE PREPARATION SHALL INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS, GRASS, AS WELL AS CLEAN-UP OF ANY DEAD MATERIAL AND FINISH GRADING AS PER THE SPECS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.

- THE LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ANY NEW HARDSCAPE CONSTRUCTION OR IRRIGATION. ANY DAMAGE SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER, AS DEFINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE'S CODES AND STANDARDS FOR NURSERY PLANTS PART I AND II.
- MULCH ALL PLANTING AREAS WITH SHREDDED ORGANIC MULCH TO A MINIMUM DEPTH OF 2". WITH THE EXCEPTION OF BEACH PLANTING.
- ALL PLANTING AREAS WITHIN LIMIT OF WORK SHALL BE 100% FULLY IRRIGATED. THE IRRIGATION CONTRACTOR AWARDED THE BID SHALL COMPLY WITH THE PROPOSED IRRIGATION DESIGN.
- ON-SITE LAYOUT OF PLANT MATERIAL MUST BE COORDINATED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE PROTECTION BARRIERS MUST BE INSTALLED AT THE DRIP LINES OF ALL TREES AND PALMS TO REMAIN OR BE RELOCATED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES ON-SITE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS COMPLETED.
- MULCH SHALL NOT BE APPLIED WITHIN 6' OF ANY TREE OR PALM TRUNKS THAT ARE INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES/PALMS PLEASE UTILIZE AMERIGROW (PREMIUM PINEBARK BROWN) SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.
- SHOULD ANY CORRECTIVE STRUCTURAL PRUNING BE NECESSARY FOR TREES PROPOSED TO REMAIN ON SITE, DUE TO CLEARANCE, SAFETY OR FOR CONSTRUCTION RELATED REASONS THE PRUNING SHALL BE DIRECTED OR PERFORMED BY AN CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION OF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES. THE CITY URBAN FORESTER SHALL BE PROVIDED WITH A WRITTEN COPY OF THE PROPOSED PRUNING PLAN INCLUDING THE REASONS WHY PRUNING IS NECESSARY, PRIOR TO THE PRUNING ACTIVITIES TAKING PLACE.
- CARE SHALL BE TAKEN TO AVOID UTILITY OR CONSTRUCTION TRENCHING WITHIN CRITICAL ROOT ZONE OF TREES AND PALMS SLATED TO REMAIN IN PLACE OR BE RELOCATED. IF CONSTRUCTION REQUIRES THE CUTTING OF ANY ROOTS WITH A DIAMETER OF 2" OR GREATER, ROOTS SHALL BE CLEANLY CUT WITH A SHARP TOOL, AS DIRECTED BY AN ISA CERTIFIED ARBORIST, AND IN ACCORDANCE WITH THE ANSI A-300 STANDARDS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL TO PREVENT DRYING. ROOTS SHOULD NOT BE TORN OR BROKEN BY HEAVY EQUIPMENT, AND SHREDDED, RAGGED OR BROKEN ROOTS ENDS SHOULD BE NOTED AND REVIEWED WITH THE LANDSCAPE ARCHITECT PRIOR TO ANY ROOT PRUNING TAKING PLACE.

HANDLING AND TRANSPORTATION

- TREES/PALMS SHALL BE PROPERLY HANDLED DURING EXCAVATION, MOVING, STORAGE, RELOCATION, AND REPLANTING. DO NOT SCAR OR OTHERWISE DAMAGE TRUNKS AND BRANCHES, AND AVOID BREAKING LIMBS, BRANCHES, AND FRONDS. DAMAGE TO TREE/PALM MAY BE CAUSE FOR ITS REJECTION, AND MAY REQUIRE MITIGATION REPLACEMENT BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUAL WATERING OF ALL RELOCATED TREES/PALMS DURING MAINTENANCE PERIOD, UNTIL FINAL ACCEPTANCE OF ALL WORK BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE/PALM PROTECTION FENCE.

WARRANTY

- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION.
- FOR ANY RELOCATED TREE/PALM REMOVED DUE TO ITS FAILURE TO THRIVE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND INSTALLING WITH A SPECIMEN OF EQUAL OR GREATER SPECIFICATION OF ORIGINAL REPLACEMENT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION OR INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE FOR ALL RELOCATED TREES/PALMS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR CLIENT.

TREE / PALM RELOCATION NOTES

- VERIFY AND INSURE ALL TREES/PALMS IDENTIFIED ON THE CONSTRUCTION DRAWINGS AND THOSE TAGGED IN THE FIELD CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARATION.
- ROOTS TO BE PRUNED WITH CLEAN, SHARP TOOLS. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE NEATLY AND CLEANLY CUT WITH A HAND SAW OR OTHER APPROVED CUTTING IMPLEMENT.
- LANDSCAPE CONTRACTOR TO APPLY MYCORRHIZA APPLICATION TO ROOTS DURING ROOT PRUNING AND DIGGING OPERATIONS. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
- DEAD WOOD, CROSSING BRANCHES, AND GENERAL CANOPY PRUNING SHALL BE PERFORMED OR DIRECTED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION IF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES IMMEDIATELY AFTER COMPLETION OF ROOT PRUNING OF EACH SPECIMEN TO BE RELOCATED. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.

- MAINTAIN COMPACT ROOT BALLS. ROOT BALLS SHALL BE COMPLETELY ENCLOSED WITHIN A BURLAP COVERING OR STRETCH WRAP AS COMMONLY USED WITHIN THE HORTICULTURAL INDUSTRY, IN TWO COMPLETE LAYERS (THICKNESS).
- ALL PITS TO BE FILLED THE SAME DAY AND WITH CLEAN FILL IN 18 INCH LIFTS/LAYERS, EACH THEN COMPACTED BEFORE A SUBSEQUENT 18" LIFT/LAYER IS PLACED. REPEAT UNTIL BACKFILL IS FLUSH WITH SURROUNDING GRADE.
- CORRECT ALL PROBLEMS RELATED TO SETTLEMENT, EROSION, OR OTHER DISTRESS OF EXCAVATED/BACKFILLED PIT FROM WHICH TREE/PALM HAS BEEN REMOVED, INCLUDING THE COMPLETE AND THROUGH REMOVAL OF ALL RESIDUAL ROOTS, STUMPS AND PORTIONS AND PARTS THEREOF.
- RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. CONTRACTOR TO PROVIDE A MINIMUM ONE YEAR WARRANTY ON SETTLING AND PLANT MATERIAL.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ROOT BALL BURLAP OR SHRINK WRAP.

INSTALLATION

- VERIFY ALL UNDERGROUND CONSTRUCTIONS OR OBSTRUCTION (UTILITIES, SEPTIC SYSTEMS, ETC.) ARE IDENTIFIED, LOCATED AND CLEARLY MARKED AS APPROPRIATE PRIOR TO EXCAVATION OF PLANTING PITS FOR RELOCATED TREES AND PALMS. ANY UNKNOWN OBJECTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO INSTALLING AND BACKFILLING.
- LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
- PLANTING PITS SHALL BE A MINIMUM OF TWO (2) TIMES LARGER IN DIAMETER AND ONE AND A HALF (1-1/2) TIMES LARGER IN DEPTH THAN THE ROOT BALL. ROUGHEN SIDES AND BOTTOM OF PIT.
- AFTER EACH PLANTING PIT IS EXCAVATED, PLACE SUFFICIENT PLANTING MIX IN BOTTOM OF EXCAVATION, AND SEAT PLANT, INSURING TOP OF ROOT BALL IS FLUSH WITH IMMEDIATELY ADJACENT FINAL OR PROPOSED GRADE.
- LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION. REFER TO HARDSCAPE PLANS AND CIVIL ENGINEER'S GRADING PLANS FOR PROPOSED SITE ELEVATIONS.
- LANDSCAPE CONTRACTOR TO INSURE ALL ROOT FLARES ARE EXPOSED.
- PLACE PLANTING MIX IN 12 INCH LIFTS/LAYERS AROUND ROOT BALL AND COMPACT UNTIL ALL VOIDS ARE FILLED WITH COMPACTED PLANTING MIX.
- BUILD SOIL SAUCER OF MOUNDED EXCAVATED SOIL AROUND PERIMETER OF EACH PLANTING PIT TO FORM WATERING BASIN. MULCH TO A DEPTH OF 3".

Rev.	Date	Rev.	Date

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PLANTING DETAILS & NOTES

Date	--	Sheet No.
Scale		L.06
Project	2302	



Southern Live Oak
Quercus virginiana



Pigeon Plum Tree
Coccoloba diversifolia



Autograph Tree
Clusia rosea



Seagrape Tree
Coccoloba uvifera



Joewood
Jacquinia keyensis



Red Powder Puff
Calliandra haematocephala



Crabwood
Gymnanthes lucida



Pink Trumpet Tree
Tabebuia pallida



Wild Date Palm
Phoenix sylvestris



Hurricane Palm
Dictyosperma album



Miraguama Palm
Coccothrinax miraguama



Green Island Ficus
Ficus microcarpa



Mexican Breadfruit
Monstera deliciosa



Golden Pothos Vine
Epipremnum aureum 'Neon'



Golden Creeper
Emodea littoralis

Rev.	Date	Rev.	Date

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K O B I

K A R P

PLANTING PALETTE

Date	--	Sheet No.
Scale		L.07
Project	2302	