



LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD

LOT 1 OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTIONS DESCRIBED AS FOLLOWS:

TOGETHER WITH

A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5: THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING 1; THENCE CONTINUE SOUTH FEET TO A POINT ON A NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 2917.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING 1, SAID CURVE FORMING THE SOUTH RIGHT OF WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP; SECTION 86516-2602.

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES" 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT

LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, "SEMINOLE ESTATES", AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING 3; THENCE ON AN ASSUMED BEARING OF NORTH ANGLE OF 01°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40" WEST A DISTANCE OF 180.48 FEET TO THE POINT OF

SURVEYOR'S LEGAL DESCRIPTION

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD

TOGETHER WITH

TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 249,853 SQUARE FEET (5.7359 ACRES)

LEGAL DESCRIPTION

ARCHITECTS+PLANNERS

LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL, AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No.: AR 0093067 ANDREW STARR, RA

LICENSE No.: AR 0095130

1300 NW 84th AVENUE DORAL, FLORIDA 33126 TELEPHONE: (305) 592-1363 FACSIMILE: (305) 592-6865 http://www.ppkarch.com

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4220 & 4231 N 58TH AVE. RESIDENTIAL BUILDING

HOLLYWOOD, FLORIDA BY: KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

PASCUAL, PEREZ, KILIDDJIAN, STARR & ASSOC.

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3. SP-2 SITE PLAN / TYP. FLOOR 2ND - 7TH LEVEL

4. SP-3 SITE PLAN / 8TH FLOOR

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6. A-1 RESIDENTIAL BUILDING ELEVATIONS

RESIDENTIAL BUILDING ELEVATIONS

8. SA-1 CLUBHOUSE FLOOR PLAN 9. SA-2 CLUBHOUSE ELEVATIONS

10. SA-3 CLUBHOUSE ELEVATIONS

11. SA-4 COMMUNITY BUILDING FLOOR PLAN 12. SA-5 COMMUNITY BUILDING ELEVATIONS

PRELIMINARY TAC SUBMITTAL September 16, 2024

ARCHITECTS + PLANNERS LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394

MARIO P. PASCUAL, AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No.: AR 0093067 ANDREW STARR, RA LICENSE No.: AR 0095130 AT THE BEACON CENTER

TELEPHONE: (305) 592-1363 FACSIMILE: (305) 592-6865

DORAL, FLORIDA 33126

REVISIONS:

OWNER: KUSHNER

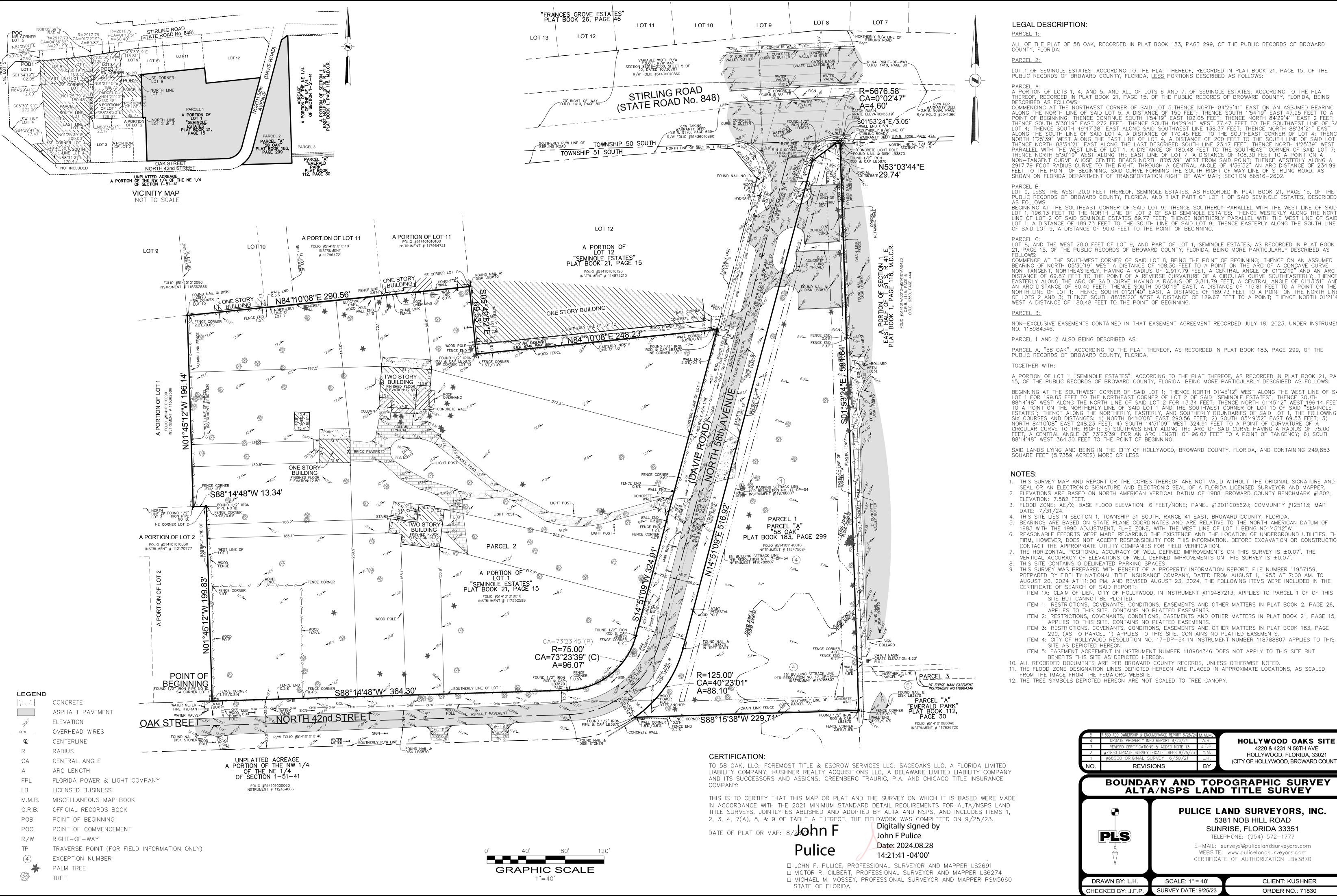
188 BAL BAY DRIVE BAL HARBOUR, FL 33154

COVER SHEET

LOCATION PLAN

2024-08-26 DATE: **AS SHOWN** SCALE: DRAWN CHECK BY:

JOB NO.:



ALL OF THE PLAT OF 58 OAK, RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD

LOT 1 OF SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, <u>LESS</u> PORTIONS DESCRIBED AS FOLLOWS:

A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5; THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING; THENCE CONTINUE SOUTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET POINT OF BEGINNING; THENCE CONTINUE SOUTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET; THENCE SOUTH 5°30'19" EAST 272 FEET; THENCE SOUTH 84°29'41" WEST 77.47 FEET TO THE SOUTHWEST LINE OF SAID LOT 4; THENCE SOUTH 49°47'38" EAST ALONG SAID SOUTHWEST LINE 138.37 FEET; THENCE NORTH 88°34'21" EAST ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 170.45 FEET TO THE SOUTHEAST CORNER OF LOT 4; THENCE NORTH 1°25'39" WEST ALONG THE EAST LINE OF LOT 4, A DISTANCE OF 200 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88°34'21" EAST ALONG THE LAST DESCRIBED SOUTH LINE 23.17 FEET; THENCE NORTH 1°25'39" WEST PARALLEL WITH THE WEST LINE OF LOT 1, A DISTANCE OF 180.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 5°30'19" WEST ALONG THE EAST LINE OF LOT 7, A DISTANCE OF 108.30 FEET TO A POINT ON A NON—TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 2917.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING, SAID CURVE FORMING THE SOUTH RIGHT OF WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP; SECTION 86516—2602.

LOT 9, LESS THE WEST 20.0 FEET THEREOF, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOT 1 OF SAID SEMINOLE ESTATES, DESCRIBED BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH LINE OF LOT 2 OF SAID SEMINOLE ESTATES; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID SEMINOLE ESTATES 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT 9; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 90.0 FEET TO THE POINT OF BEGINNING

LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK I, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING; THENCE ON AN ASSUMED BEARING OF NORTH 05°30'19" WEST A DISTANCE OF 108.30 FEET TO A POINT ON THE ARC OF A CONCAVE CURVE NON—TANGENT, NORTHEASTERLY, HAVING A RADIUS OF 2,917.79 FEET, A CENTRAL ANGLE OF 01°22'19" AND AN ARC DISTANCE OF 69.87 FEET TO THE POINT OF A REVERSE CURVATURE OF A CIRCULAR CURVE SOUTHEASTERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2,811.79 FEET, A CENTRAL ANGLE OF 01°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40"

NON-EXCLUSIVE EASEMENTS CONTAINED IN THAT EASEMENT AGREEMENT RECORDED JULY 18, 2023, UNDER INSTRUMENT

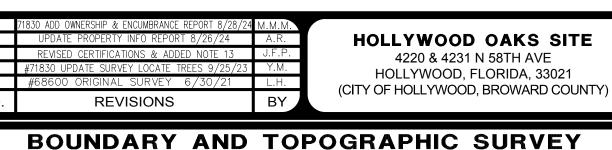
PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

A PORTION OF LOT 1, "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 199.83 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 196.14 FEET

TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "SEMINOLE ESTATES"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES AND DISTANCES: 1) NORTH 84"10'08" EAST 290.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84"10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 249,853

- 1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1802;
- 3. FLOOD ZONE: AE/X; BASE FLOOD ELEVATION: 6 FEET/NONE; PANEL #12011C0562J; COMMUNITY #125113; MAP
- 4. THIS SITÉ LIÉS IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- 5. BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE WEST LINE OF LOT 1 BEING NO1°45'12"W. 6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS
- FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION. 7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ± 0.07 '. THE
- VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. 8. THIS SITE CONTAINS O DELINEATED PARKING SPACES
- 9. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11957159; PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED FROM AUGUST 1, 1953 AT 7:00 AM. TO AUGUST 20, 2024 AT 11:00 PM. AND REVISED AUGUST 23, 2024, THE FOLLOWING ITEMS WERE INCLUDED IN THE
- ITEM 1A: CLAIM OF LIEN, CITY OF HOLLYWOOD, IN INSTRUMENT #119487213, APPLIES TO PARCEL 1 OF OF THIS
- APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS. ITEM 2: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 21, PAGE 15,
- APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS.
- ITEM 3: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 183, PAGE 299, (AS TO PARCEL 1) APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS.
- ITEM 5: EASEMENT AGREEMENT IN INSTRUMENT NUMBER 118984346 DOES NOT APPLY TO THIS SITE BUT
- 10. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS, UNLESS OTHERWISE NOTED. 11. THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED
- FROM THE IMAGE FROM THE FEMA.ORG WEBSITE



ALTA/NSPS LAND TITLE SURVEY 5381 NOB HILL ROAD

PULICE LAND SURVEYORS, INC.

SUNRISE, FLORIDA 33351 TELEPHONE: (954) 572-1777 E-MAIL: surveys@pulicelandsurveyors.com WEBSITE: www.pulicelandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB#3870

SCALE: 1" = 40' **CLIENT: KUSHNER** SURVEY DATE: 9/25/23 ORDER NO.: 71830

TREE TABLE INFO

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
1	OAK TREE	36"	50'	30'
2	OAK TREE	15"	6'	15'
3	OAK TREE	12"	20'	25'
4	OAK TREE	15"	10'	15'
5	OAK TREE	18"	10'	15'
6	OAK TREE	18"	25'	30'
7	OAK TREE	42"	50'	30'
8	OAK TREE	15"	10'	40'
9	OAK TREE	12"	15'	15'
10	OAK TREE	20"	20'	45'
11	OAK TREE	36"	25'	45'
12	OAK TREE	20"	15'	25'
13	OAK TREE	18"	15'	45'
14	OAK TREE	20"	25'	45'
15	OAK TREE	20"	25'	45'
16	OAK TREE	24"	30'	35'
17	OAK TREE	20"	30'	35'
18	OAK TREE	20"	30'	35'
19	OAK TREE	24"	30'	40'
20	OAK TREE	36"	50'	45'
21	OAK TREE	60"	60'	40'
22	OAK TREE	28"	50'	45'
23	OAK TREE	28"	20'	35'
24	OAK TREE	32"	40'	35'
25	OAK TREE	36"	60'	40'
26	PALM TREE	12"	10'	45'
27	PALM TREE	18"	20'	35'
28	PALM TREE	18"	10'	20'
29	OAK TREE	32"	30'	50'
5-20000		5/200	2000	104 8
30	OAK TREE	32"	30'	40'
31	OAK TREE	18"	35'	35'
32	OAK TREE	24"	20'	35'
33	OAK TREE	24"	20'	35'
34	OAK TREE	12"	15'	25'
35	OAK TREE	12"	101'	20'
36	OAK TREE	18"	25'	25'
37	PALM TREE	12"	10'	12'
38	PALM TREE	18"	10'	20'
39	OAK TREE	32"	15'	30'
40	OAK TREE	28"	15'	25'
41	UNIDENTIFIED TREE	8"	10'	10'
42	PALM TREE	24"	10'	40'
43	PALM TREE	24"	10'	35'
44	OAK TREE	18"	15'	20'
45	PALM TREE	15"	10'	35'
46	OAK TREE	20"	15'	25'
47	OAK TREE	36"	20'	20'
48	PALM TREE	24"	15'	35'
49	OAK TREE	15"	15'	15'
50	OAK TREE	60"	35'	30'
51	OAK TREE	20"	20'	25'
52	OAK TREE	20"	20'	25'
53	OAK TREE	32"	25'	30'
54	OAK TREE	12"	15'	10'
55	PALM TREE CLUSTERX4	36"	20'	35'
56	PALM TREE CLUSTERX3	26"	15'	20'
57	OAK TREE	32"	20'	25'
58	PALM TREE CLUSTERX3	24"	15'	30'
59	OAK TREE	30"	20'	22'
60	OAK TREE	48"	20'	30'
61	PALM TREE	5"	10'	10'
OI	I WEINI IVEE	,	10	10

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
63	PALM TREE	5"	10'	10'
64	PALM TREE	5"	10'	10'
65	PALM TREE	5"	10'	10'
66	PALM TREE	5"	10'	10'
67	PALM TREE	5"	10'	10'
68	PALM TREE	5"	10'	10'
69	OAK TREE	28"	15'	15'
70	PALM TREE	18"	10'	15'
71	PALM TREE	4"	5'	15'
72	PALM TREE	4"	5'	15'
73	PALM TREE	4"	5'	15'
74	PALM TREE	4"	5'	25'
75	PALM TREE	4"	5'	25'
76	PALM TREE	4"	5'	25'
77	PALM TREE	4"	5'	20'
78	PALM TREE	6"	5'	20'
79	PALM TREE	4"	5'	25'
80	PALM TREE	5"	5'	20'
81	OAK TREE	18"	10'	15'
82	OAK TREE	24"	15'	25'
83	OAK TREE	24"	15'	25'
84	BLACK OLIVE	15"	15'	15'
85	PALM TREE	18"	10'	20'
86	OAK TREE	24"	20'	25'
87	PALM TREE	15"	10'	15'
88	PALM TREE	12"	10'	15'
89	STRANGLER TREE	15"	15'	15'
90	MANGO TREE	18"	25'	25'
91	OAK TREE	38"	40'	40'
92	UNIDENTIFIED TREE	8"	10'	15'
		24"	25'	20'
93	UNIDENTIFIED TREE	MAT 70	20 2000 2000 C	
94	PALM TREE	10"	10'	15'
95	PALM TREE	15"	10'	20'
96	PALM TREE	15"	10'	20'
97	OAK TREE	48"	40'	45'
98	PALM TREE	15"	15'	40'
99	UNIDENTIFIED TREE	15"	10'	10'
100	OAK TREE	60"	50'	50'
101	OAK TREE	48"	35'	45'
102	OAK TREE	48"	35'	45'
103	OAK TREE	30"	25'	30'
104	OAK TREE	30"	25'	30'
105	OAK TREE	48"	35'	45'
106	OAK TREE	24"	25'	35'
107	MANGO TREE	24"	25'	35'
108	MANGO TREE	24"	25'	35'
109	MANGO TREE	24"	25'	35'
110	LIGUSTRUM TREE	60"	45'	50'
111	OAK TREE	32"	25'	30'
112	OAK TREE	15"	25'	30'
113	UNIDENTIFIED TREE	15"	10'	45'
114	UNIDENTIFIED TREE	12"	10'	30'
115	UNIDENTIFIED TREE	12"	10'	35'
116	UNIDENTIFIED TREE	10"	10'	25'
117	OAK TREE	36"	35'	40'
118	PALM TREE	15"	10'	25'
119	OAK TREE	40"	25'	35'
120	OAK TREE	62"	25'	40'
121	OAK TREE	24"	25'	30'
122	MANGO TREE	15"	30'	30'
123	MANGO TREE	15"	30'	30'
	1	15"	15'	U.

Tree lumber	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
125	OAK TREE	24"	30'	35'
126	OAK TREE	38"	30'	35'
127	OAK TREE	38"	30'	35'
128	OAK TREE	38"	30'	50'
129	OAK TREE	38"	30'	50'
130	OAK TREE	38"	30'	50'
131	OAK TREE	38"	30'	50'
132	MANGO TREE	18"	20'	15'
133	OAK TREE	24"	15'	20'
134	OAK TREE	24"	25'	40'
135	PALM TREE	8"	10'	25'
136	PALM TREE	18"	10'	15'
137	OAK TREE	20"	15'	25'
138	PALM TREE	12"	10'	30'
139	PALM TREE	18"	10'	15'
140	PALM TREE	12"	10'	20'
141	MANGO TREE	18"	25'	25'
142	UNIDENTIFIED TREE	12"	15'	15'
143	PALM TREE	10"	15'	25'
144	Section 1997 - The Contract of	15"	10'	10'
	UNIDENTIFIED TREE	V-973	20000	
145	MANGO TREE	24"	30'	25'
146	MANGO TREE	24"	30'	25'
147	MANGO TREE	24"	30'	25'
148	PALM TREE	12"	10'	15'
149	PALM TREE	12"	10'	15'
150	PALM TREE	15"	10'	15'
151	PALM TREE	12"	10'	10'
152	PALM TREE	8"	10'	8'
153	PALM TREE	10"	10'	20'
154	PALM TREE	10"	10'	25'
155	PALM TREE	8"	10'	15'
156	PALM TREE	10"	10'	8'
157	PALM TREE	12"	10'	8'
158	PALM TREE	10"	10'	15'
159	OAK TREE	36"	20'	35'
160	OAK TREE	60"	30'	40'
161	OAK TREE	38"	20'	40'
162	OAK TREE	38"	20'	40'
163	OAK TREE	60"	20'	40'
164	PALM TREE	12"	10'	15'
165	MANGO TREE	24"	35'	30'
166	OAK TREE	28"	35'	40'
167	OAK TREE	15"	15'	20'
168	UNIDENTIFIED TREE	28"	15'	25'
169	OAK TREE	15"	20'	20'
170	OAK TREE	36"	20'	40'
171	OAK TREE	36"	20'	40'
	e and the contract			
172	OAK TREE	18"	20'	40'
173	OAK TREE	36"	20'	40'
174	OAK TREE	36"	20'	40'
175	PALM TREE	15"	10'	10'
176	OAK TREE	36"	25'	35'
177	PALM TREE	12"	10'	25'
178	OAK TREE	18"	25'	30'
179	UNIDENTIFIED TREE	10"	10'	20'
180	PALM TREE	12"	10'	25'
181	OAK TREE	28"	15'	35'
182	OAK TREE	28"	15'	35'
183	OAK TREE	28"	15'	35'
184	OAK TREE	28"	15'	35'
185	OAK TREE	40"	25'	35'
186	OAK TREE	72"	35'	40'
100	OAK IILL	1 4	33	+0

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

HOLLYWOOD OAKS SITE

4220 & 4231 N 58TH AVE

HOLLYWOOD, FLORIDA, 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY



PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD

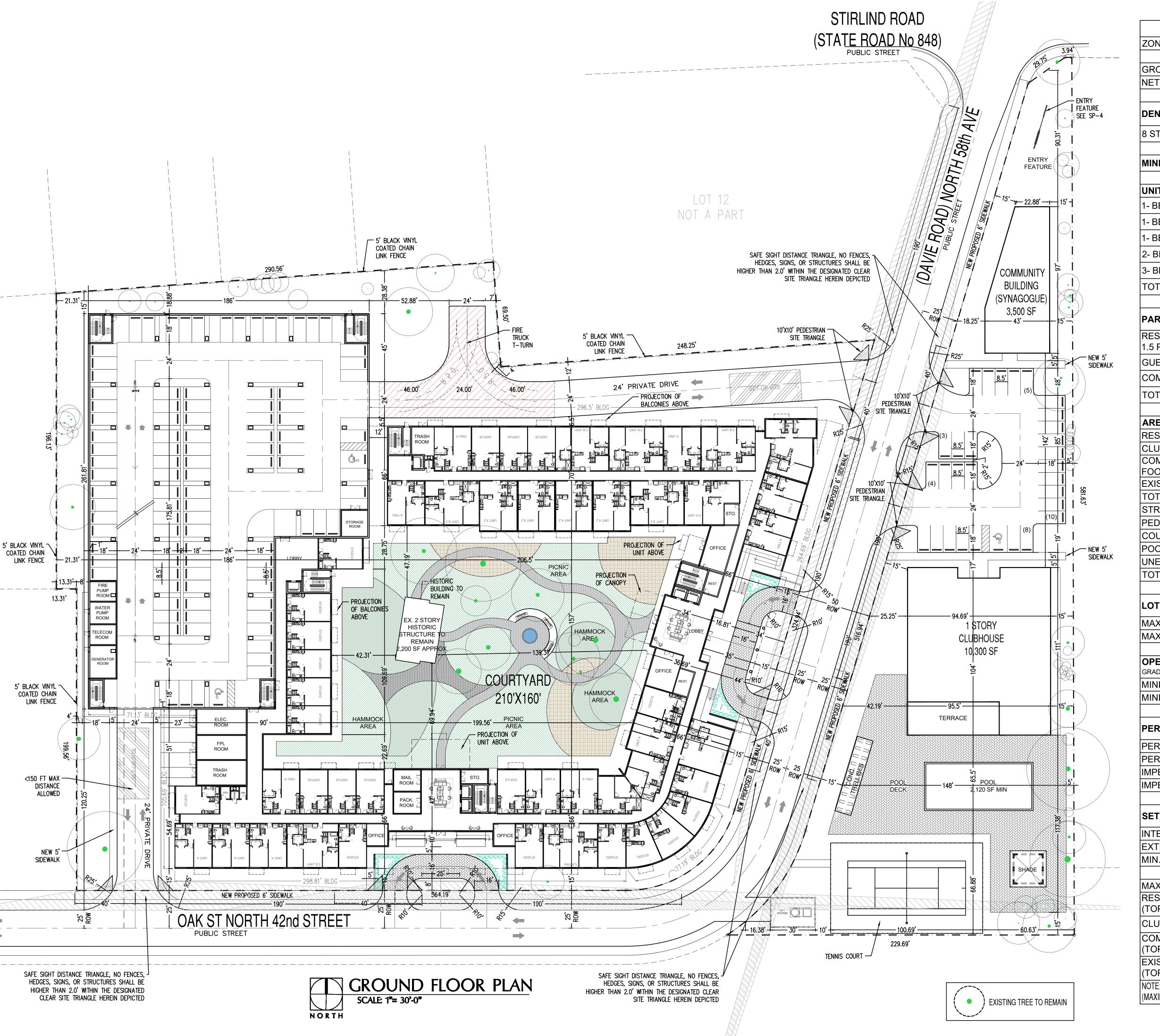
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777

E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H. SCALE: 1" = 40'

DRAWN BY: L.H. SCALE: 1" = 40' CLIENT: KUSHNER

CHECKED BY: J.F.P. SURVEY DATE: 9/25/23 ORDER NO.: 71830



ZONING: PDD - PLANNED DEVELOPMEN	SF	ACRES		
GROSS AREA	249,853.00	5.74		
NET AREA	249,853.00	5.74		
DENSITY PROVIDED	# OF UNITS	DUA (GROSS)		
		,		
8 STORIES BLDG	470	81.94		
MINIMUM UNIT SIZE	650 SF	558 SF		
	000 SF	000 2F		
UNIT BREAKDOWN		TOTAL		
1- BED/STUDIO		101AL 113		
	 			
1- BEDROOM & DEN	-	148		
1- BEDROOM & DEN		68		
2- BEDROOM		133		
3- BEDROOM		8		
TOTAL		470		
PARKING BREAKDOWN	ALLOWED/	PROVIDED		
	REQUIRED	OAIDED		
RESIDENTIAL PARKING 1.5 PER UNIT (470 UNITS)	705	705		
1.5 PER UNIT (470 UNITS) GUEST PARKING 1 PER 5 UNITS	94	94		
COMMUNITY BLDG X 250 SF (3,500 SF)	14	14		
TOTAL	813	813		
ADEA CALCIU		-		
AREA CALCULATIONS	SF 96.450.00	%		
RESIDENTIAL BLDG FOOTPRINT	96,450.00			
CLUBHOUSE FOOTPRINT COMMUNITY BLDG (SYNAGOGUE)	10,300.00			
COMMUNITY BLDG (SYNAGOGUE) FOOTPRINT	3,500.00			
EXISTING HISTORIC BLDG FOOTPRINT	1,081.00			
TOTAL BUILDING FOOTPRINTS	111,331.00	44.56%		
STREETS & PAVED AREAS	25,739.00	10.30%		
PEDESTRIAN SIDEWALKS	6,379.00	2.55%		
COURTYARD	27,533.00	11.02%		
POOL DECK & COURT	19,421.00	7.77%		
UNENCUMBERED GREEN OPEN SPACE	59,450.00	23.79%		
TOTAL	249,853.00	100.00%		
	ALLOWED/	_		
LOT COVERAGE	REQUIRED	PROVIDED		
MAX LOT COVERAGE SF	BY CITY COMMISION	111,331.00		
MAX LOT COVERAGE %	BY CITY COMMISION	44.6%		
	A11.5:			
OPEN SPACE (LANDSCAPED OPEN SPACE AT GRADE / COURTYARD / POOL DECK & COURT)	ALLOWED/ REQUIRED	PROVIDED		
MINIMUM OPEN SPACE SF	REQUIRED BY CITY COMMISION	106,404.00 SF		
MINIMUM OPEN SPACE SF MINIMUM OPEN SPACE %	BY CITY COMMISION BY CITY COMMISION	42.6%		
	_ SwimiolON	0 /0		
PERVIOUS / IMPERVIOUS AREA	ALLOWED/			
	REQUIRED	PROVIDED 70.744.00		
PERVIOUS AREA SF	BY CITY COMMISION	78,711.00		
PERVIOUS AREA %	BY CITY COMMISION	31.50%		
MDCD\//OUG ADEA OF	BY CITY COMMISION	171,142.00		
MPERVIOUS AREA %	BY CITY COMMISION	68.50%		
MPERVIOUS AREA %	ALLOWED/	DDO\#5=-		
MPERVIOUS AREA % SETBACKS	ALLOWED/ REQUIRED	PROVIDED		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS	ALLOWED/ REQUIRED 25'-0"	15'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS	ALLOWED/ REQUIRED 25'-0" 25'-0"	15'-0" 15'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS	ALLOWED/ REQUIRED 25'-0"	15'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS WIN. DISTANCE BETWEEN BLDGS	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED	15'-0" 15'-0" N/A		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT	ALLOWED/ REQUIRED 25'-0" 25'-0"	15'-0" 15'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS WIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED	15'-0" 15'-0" N/A PROVIDED		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG TOP OF ROOF SLAB)	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED ALLOWED NOT REQUIRED	15'-0" 15'-0" N/A PROVIDED 85'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG (TOP OF ROOF SLAB) CLUBHOUSE (TOP OF PARAPET)	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED ALLOWED NOT REQUIRED	15'-0" 15'-0" N/A PROVIDED 85'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG TOP OF ROOF SLAB) CLUBHOUSE (TOP OF PARAPET) COMMUNITY BLDG SYNAGOGUE	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED ALLOWED NOT REQUIRED	15'-0" 15'-0" N/A PROVIDED 85'-0"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG TOP OF ROOF SLAB) CLUBHOUSE (TOP OF PARAPET) COMMUNITY BLDG SYNAGOGUE TOP OF PARAPET)	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED ALLOWED NOT REQUIRED NOT REQUIRED	15'-0" 15'-0" N/A PROVIDED 85'-0" 26'-8"		
MPERVIOUS AREA % SETBACKS NTERNAL STREETS EXTERNAL STREETS MIN. DISTANCE BETWEEN BLDGS MAX BUILDING HEIGHT RESIDENTIAL BLDG TOP OF ROOF SLAB)	ALLOWED/ REQUIRED 25'-0" 25'-0" NOT REQUIRED ALLOWED NOT REQUIRED NOT REQUIRED NOT REQUIRED EXISTING	15'-0" 15'-0" N/A PROVIDED 85'-0" 26'-8"		



LICENSE # AA 26001357

EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL, AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No. : AR 0093067 ANDREW STARR, RA LICENSE No. : AR 0095130

AT THE BEACON CENTER 1330 NW 84th AVENUE DORAL, FLORIDA 33126 TELEPHONE :(305) 592-1363 FACSIMILE: (305) 592-6865 http://www.ppkarch.com

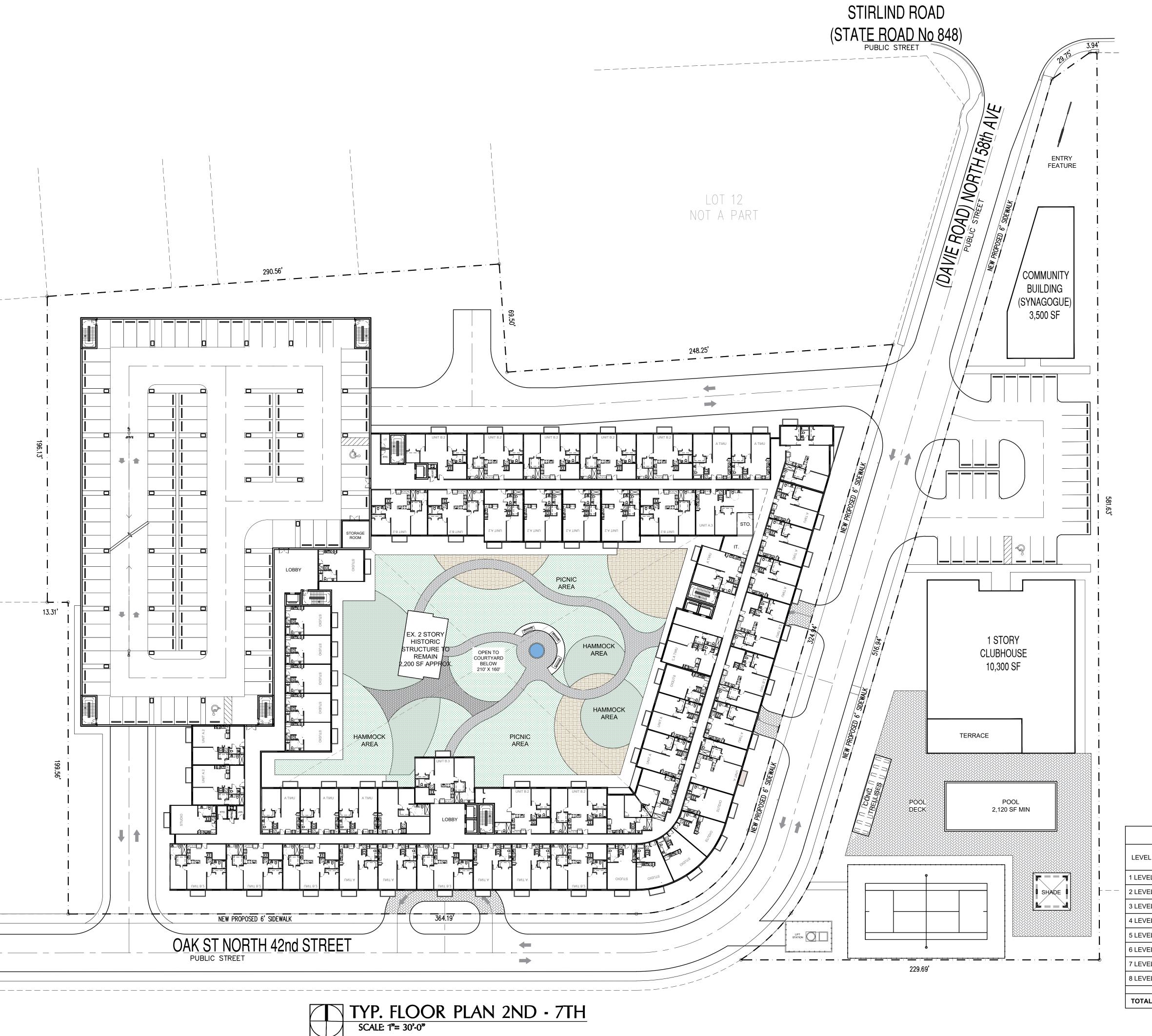
REVISIONS:

OWNER: KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

SITE PLAN

GROUND FLOOR

2024-08-26 AS SHOWN SCALE: DRAWN CHECK BY: JOB NO.:





LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL , AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No. : AR 0093067 ANDREW STARR, RA LICENSE No. : AR 0095130

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REVISIONS:

OWNER:

KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

OVERALL UNIT & AREA BREAKDOWN UNIT AREA GROSS (w/balcony)

UNIT PER FLOOR COUNT

1ST 2ND - 8TH FLR.

STORIES 7 UNIT No. UNIT AREA A/C TOTAL No UNIT (%) 1ST 2ND - 8TH FLR. STORIES 7 | STUDIO | 558 SF | 598 SF | 22 | 13 | 91 113 | 113 | 24 % 148 | 148 | 31.5% UNIT A 1 / 1 753 SF 793 SF 15 | 19 | 133 UNIT A.2 1 + DEN / 1.5 1,020 SF 1,060 SF 4 8 56 60 UNIT A.3 1 + DEN / 1.5 1,197 SF 1,237 SF 1 1 1 7 UNIT B 2/2 | 1,125 SF | 1,165 SF | 7 | 18 | 126 | 133 UNIT B.3 2 / 2 1,262 SF | 1,302 SF | 0 | 0 UNIT C 3 / 3 1,812 SF 1,852 SF 1 1 7 8 AVERAGE UNIT SIZE 1,103.9 SF TOTAL UNITS QTY. PER FLOOR 50 60 420 470 470 100%

	PARKING	BREAKE	OOWN			
	REQUIRED	PROVIDED				Ī
TOTAL # OF PARKING SPACES (1.5 PER UNIT)	705	705				
TOTAL # OF GUEST PARKING SPACES (1 PER 5 UNITS)	i aa	94				
COMMUNITY BLDG X 250 SF (3,500)	14	14				
TOTAL	813	813		RATIO	1.7	
HANDICAP (0.02 SPACES)	20	24				
E.V.S.E (0.02 SPACES)	20	20				

	NET (R	RESIDEN	ITIAL) AR	EA C	ALCULATI	ONS / F	LOOR	
UNIT No.		UNIT	UNIT AREA		NET AREA PER FLOOR			
TYPE	BED / BATH	AREA A/C	GROSS (w/balcony)	1ST FLR.	NET AREA 1 FLOOR	2-8 TYI	P FLR.	NET AREA TYP FLOOR
STUDIO	STUDIO	558 SF	598 SF	22	12,276 SF	13	91	7,254 SF
UNIT A	1/1	753 SF	793 SF	15	11,295 SF	19	133	14,307 SF
UNIT A.2	1 + DEN / 1.5	1,020 SF	1,060 SF	4	4,080 SF	8	56	8,160 SF
UNIT A.3	1 + DEN / 1.5	1,197 SF	1,237 SF	1	1,197 SF	1	7	1,197 SF
UNIT B	2/2	1,125 SF	1,165 SF	7	7,875 SF	18	126	20,250 SF
UNIT B.3	2/2	1,262 SF	1,302 SF	0	0 SF	0	0	0 SF
UNIT C	3/3	1,746 SF	1,786 SF	1	1,746 SF	1	7	1,746 SF
	тот	AL		50	38,469 SF	60	420	52,914

	GROSS AREA RESIDENTIAL BLDG / BREAKDOWN CALCULATIONS									
LEVEL	STORAGE AREA	UTILITIES / EQUIPMENT ROOMS	OFFICES/ MAIL ROOM	RESTROOMS	CIRCULATION & CORES	TOTAL CIRCULATION, AMENITIES, UTILITIES	PARKING (EQUIPMENT ROOMS WITHIN GARAGE INCLUDED)	NET AREA (RESIDENTIAL)	GROSS AREA	
1 LEVEL	329 SF	2,232 SF	1,515 SF	359 SF	11,866 SF	16,301 SF	41,680 SF	38,469 SF	96,450 SF	
2 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
3 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
4 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
5 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
6 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
7 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	41,680 SF	52,914 SF	103,242 SF	
8 LEVEL	376 SF	280 SF	0 SF	0 SF	7,992 SF	8,648 SF	0 SF	52,914 SF	61,562 SF	
TOTAL	2,961 SF	4,192 SF	1,515 SF	359 SF	67,810 SF	76,837 SF	291,760 SF	408,867 SF	777,464 SF	

SITE PLAN



EDGARDO PEREZ , AIA LICENSE NO.: AR 0015394 MARIO P. PASCUAL , AIA LICENSE NO.: AR 0008254 PETER KILIDDJIAN, RA LICENSE NO.: AR 0093067 ANDREW STARR, RA LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
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REVISIONS:

OWNER: KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

> BY KUSHNER 4220 & 4231 N 58TH AVE.

SEAL:

SITE PLAN

DATE: 2024-08-26

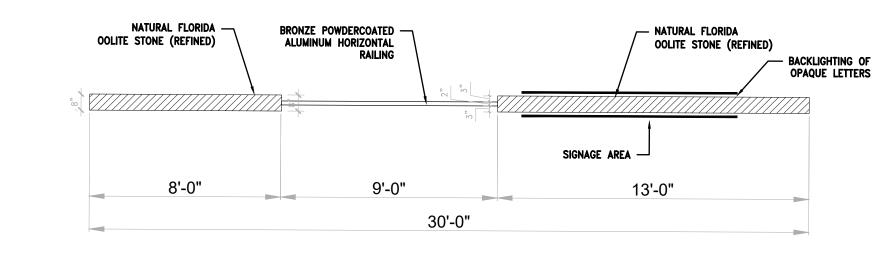
SCALE: AS SHOWN

DRAWN: JC

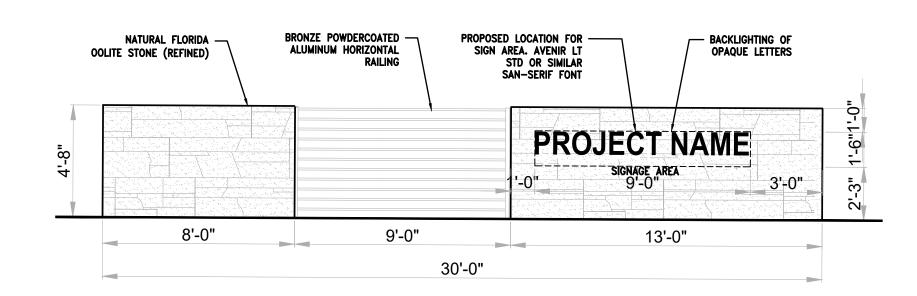
CHECK BY: MP / PK

JOB NO.: 24-26

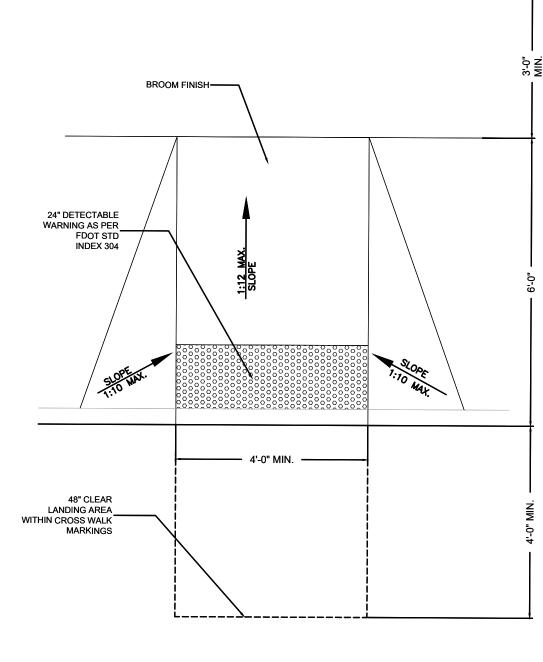
SP-3

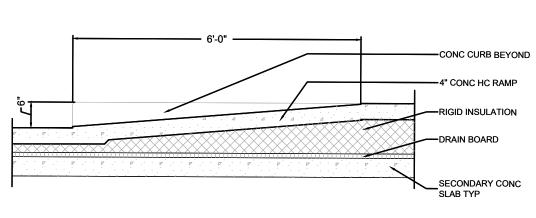


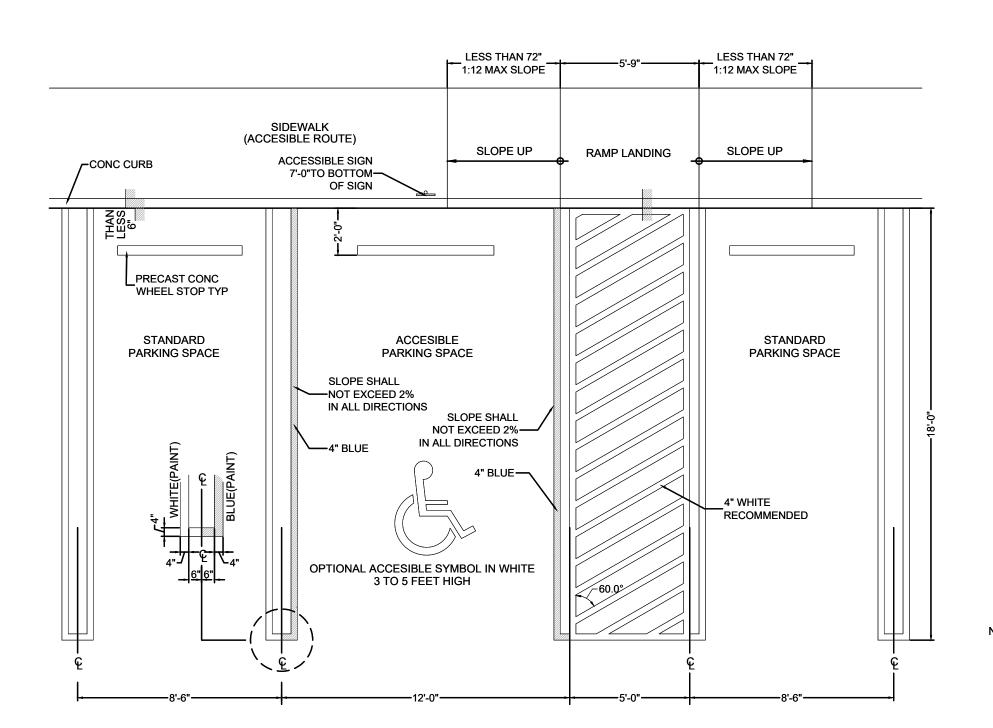
ENTRY FEATURE - FLOOR PLAN SCALE: 1/4" = 1°-0"



ENTRY FEATURE - FRONT ELEVATION SCALE: 1/4" = 1°-0"







PARKING DETAILS

SCALE: 1/4" = 1°0"

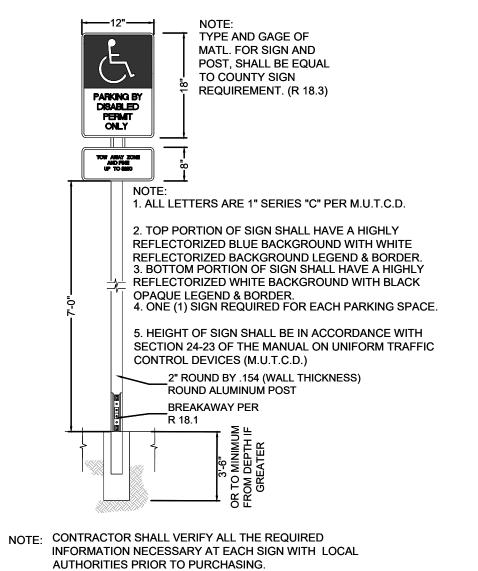
2" DIA. LINE POST ______ @ 10'-0" O.C.

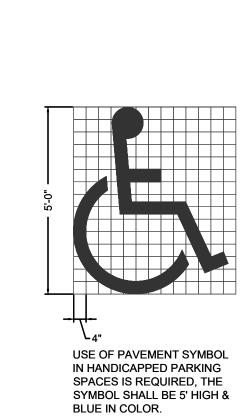
1 3/8"DIA. TOP RAIL

5'-0" HGT. BLACK VINYL COATED

TENSION BANDS ———

CHAIN LINK FENCE -2-1/2" DIA. TERMINAL POST —





ARCHITECTS + PLANNERS

LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL , AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA

LICENSE No.: AR 0093067

AT THE BEACON CENTER 1330 NW 84th AVENUE DORAL, FLORIDA 33126 TELEPHONE :(305) 592-1363 FACSIMILE: (305) 592-6865 http://www.ppkarch.com

ANDREW STARR, RA LICENSE No. : AR 0095130

REVISIONS:

OWNER:

KUSHNER 188 BAL BAY DRIVE

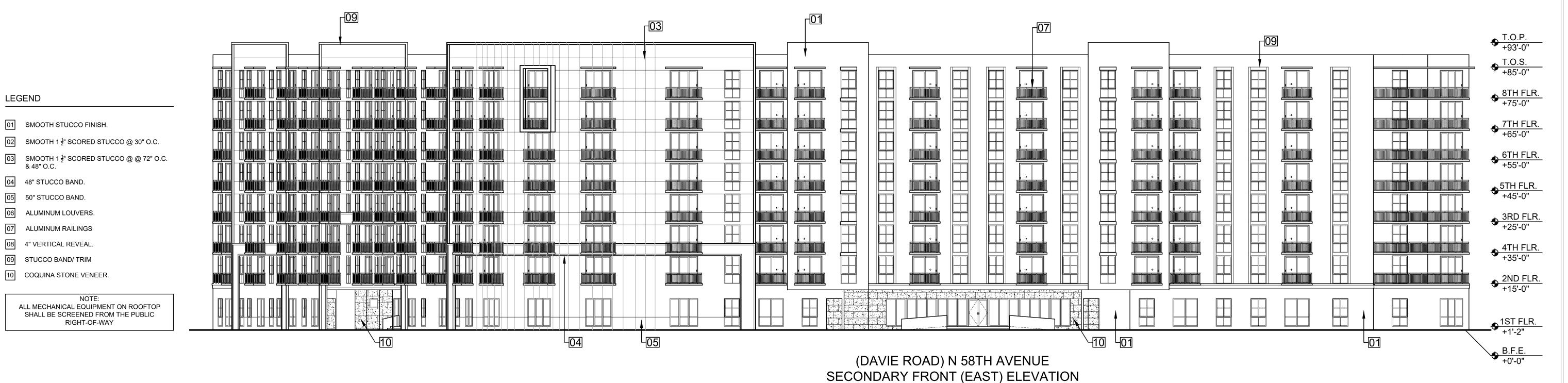
BAL HARBOUR, FL 33154

SITE PLAN

DETAILS 2024-08-26 DATE: AS SHOWN SCALE: DRAWN: CHECK BY: MP / PK 24-26 JOB NO.:



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

ARCHITECTS + PLANNERS

LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL , AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No.: AR 0093067 ANDREW STARR, RA LICENSE No.: AR 0095130

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OWNER:

KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

OAKS HOLLYWOOD OAI

BY KUSHNER

4220 & 4231 N 58TH AV

HOLLYWOOD, FLORIDA

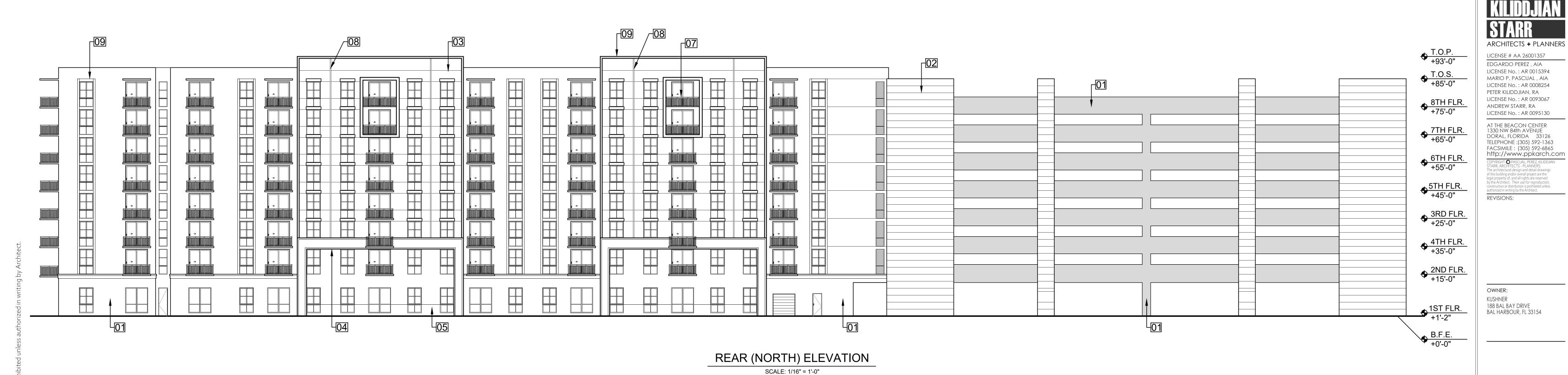
SEAL:

ELEVATIONS

2024-08-28 SCALE: AS SHOWN

DRAWN: CHECK BY: 24-26 JOB NO.:

A-



HOLLYWOOD OAKS

BY KUSHNER

4220 & 4231 N 58TH AVE.

HOLLYWOOD, FLORIDA

SEAL:

ELEVATIONS

PATE: 2024-08-28

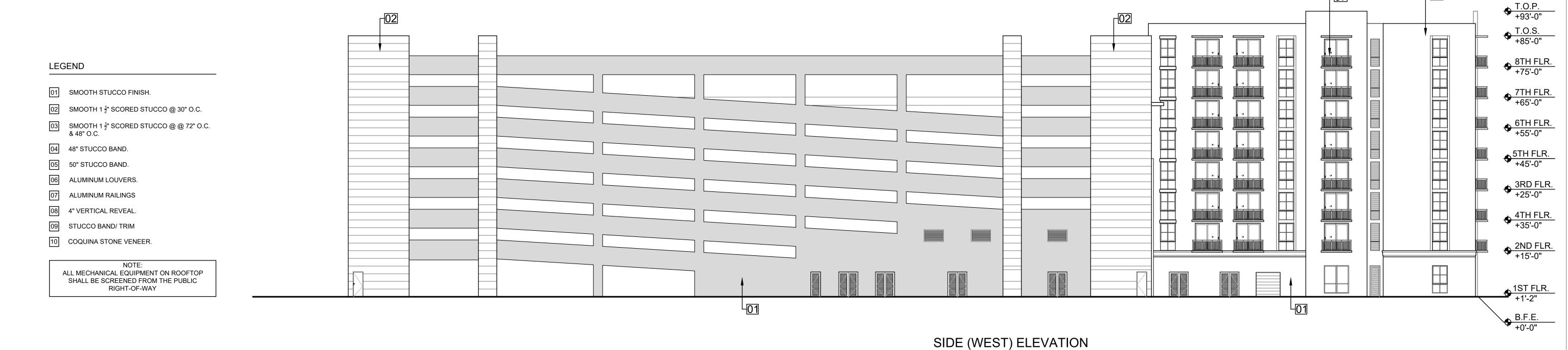
CALE: AS SHOWN

PRAWN: SJ

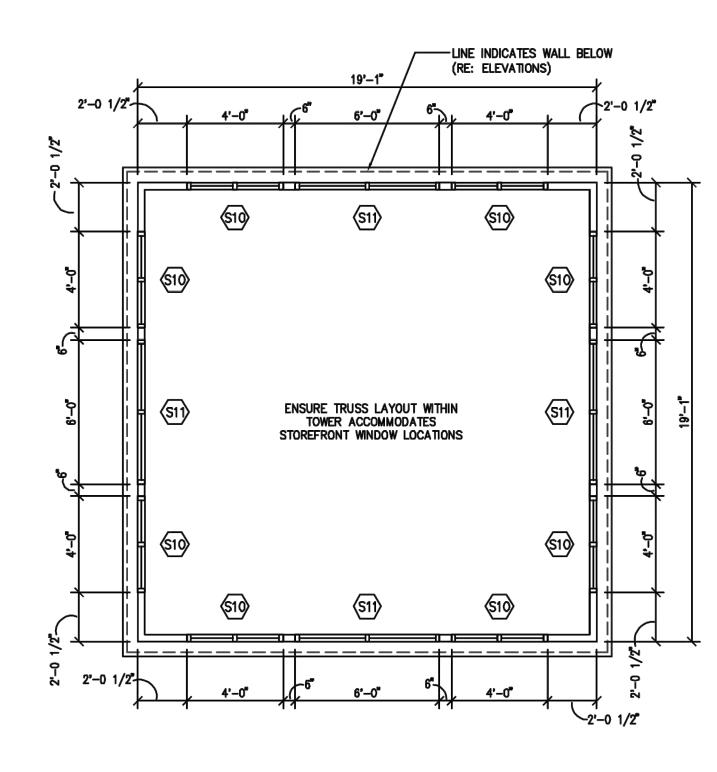
DRAWN: SJ
CHECK BY: MP
JOB NO.: 24-26

A-2

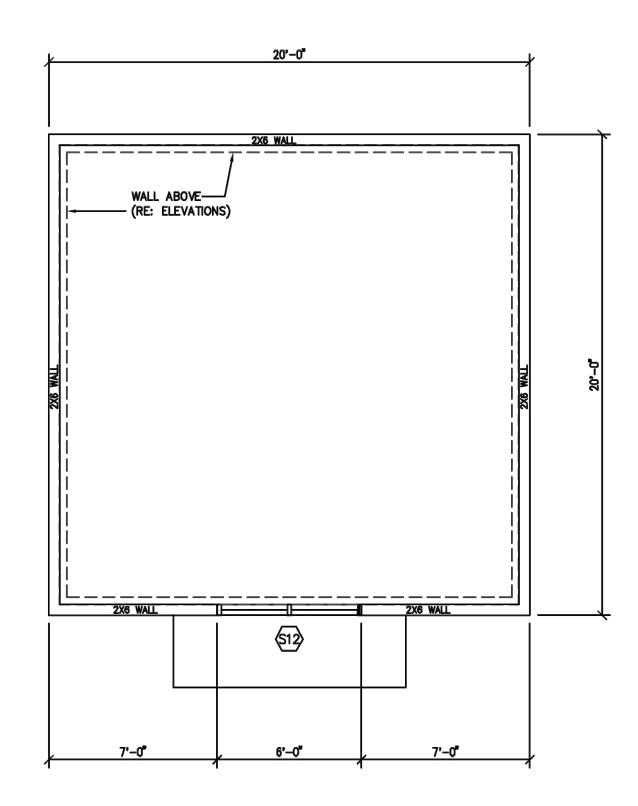
SHEET NO. :



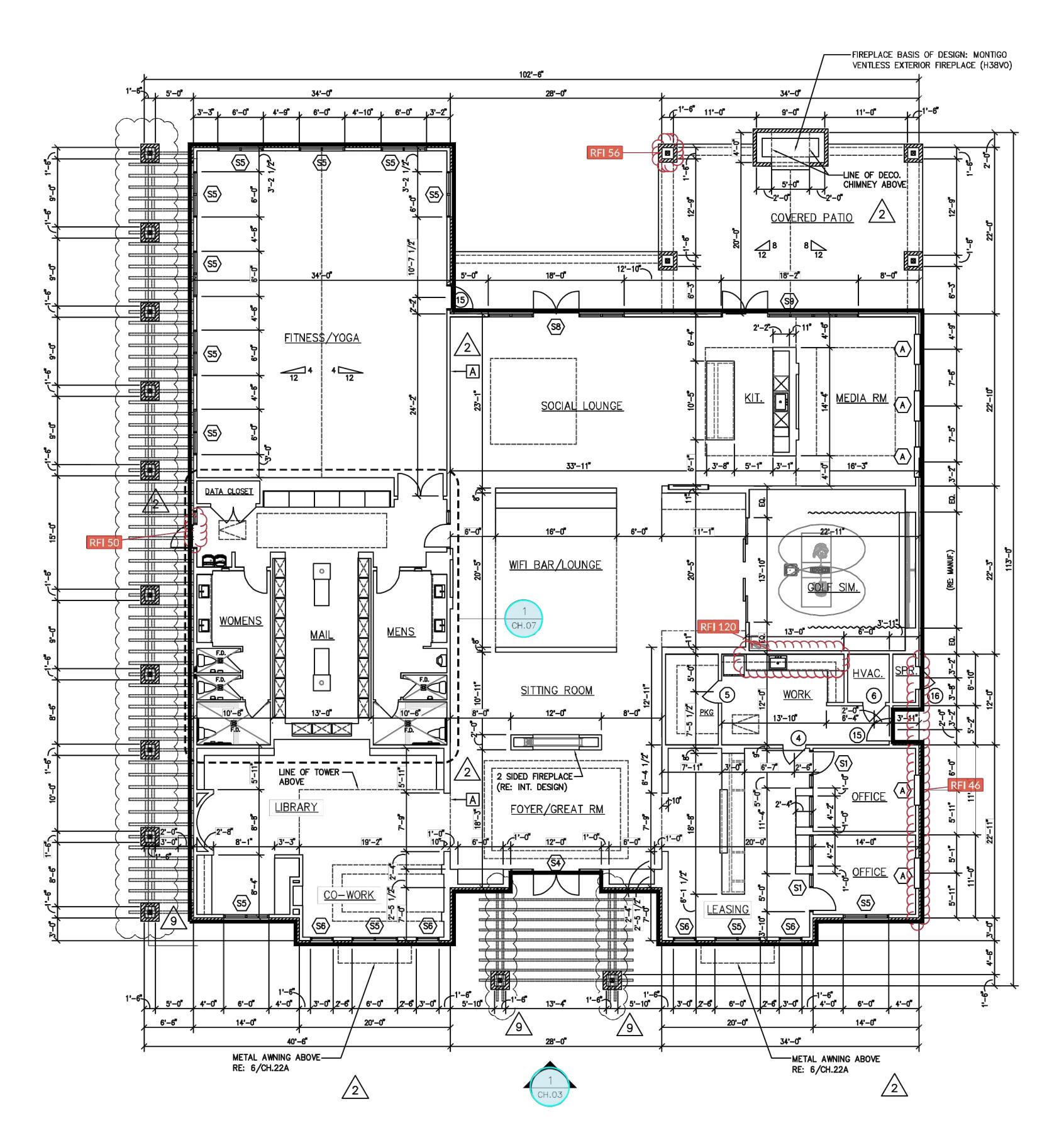
SCALE: 1/16" = 1'-0"



CLUBHOUSE - TOWER UPPER PLAN SCALE: 1/8" = 1'-0"



CLUBHOUSE - TOWER LOWER PLAN SCALE: 1/8" = 1'-0"



CLUBHOUSE - FLOOR PLAN SCALE: 1/8" = 1'-0"

ARCHITECTS + PLANNERS

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REVISIONS:

OWNER:

KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

CLUBHOUSE

FLOOR PLAN **AS SHOWN** SCALE: DRAWN: CHECK BY:

SHEET NO.:

JOB NO.:

SCALE: 3/16" = 1'-0"

01 SMOOTH STUCCO FINISH.

O2 SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 30" O.C.

O3 SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 40" O.C.

04 8" WALL VINYL SIDING/CLADDING.

05 8" STUCCO BAND.

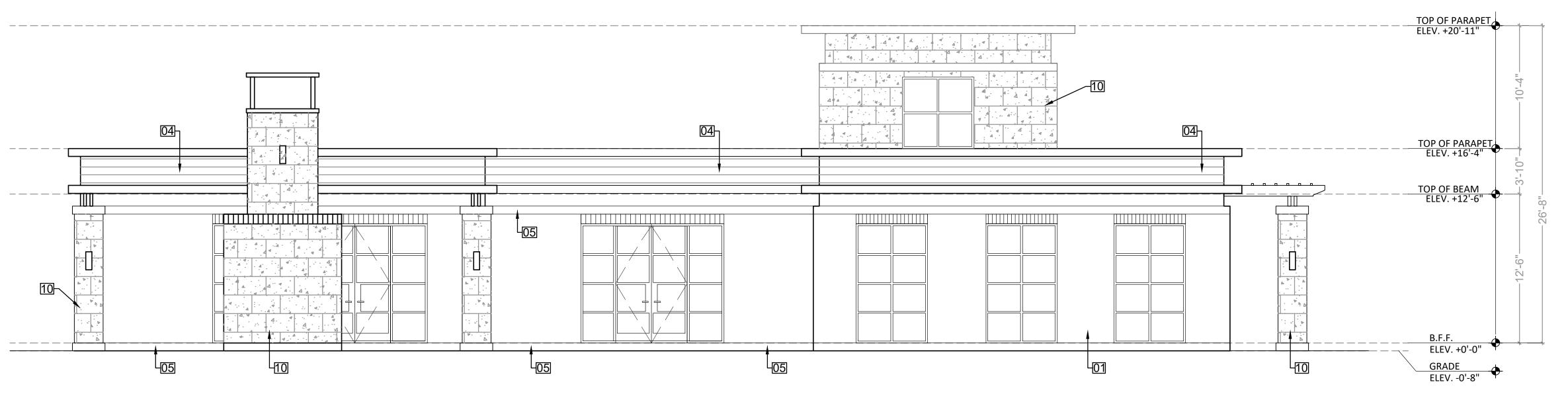
06 ALUMINUM LOUVERS.

07 ALUMINUM RAILINGS

08 2" VERTICAL REVEAL.

09 STUCCO BAND/ TRIM10 COQUINA STONE VENEER.

NOTE:
ALL MECHANICAL EQUIPMENT ON ROOFTOP
SHALL BE SCREENED FROM THE PUBLIC
RIGHT-OF-WAY



CLUBHOUSE - REAR ELEVATION

SCALE: 3/16" = 1'-0"

PASCUAL
PEREZ
KILIDDJIAN
STARR

LICENSE # AA 26001357

EDGARDO PEREZ , AIA
LICENSE NO. : AR 0015394

MARIO P. PASCUAL , AIA
LICENSE NO. : AR 0008254

PETER KILIDDJIAN, RA
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STARR, ARCHITECTS - PLANNERS
The architectural design and detail drawings

TARR, ARCHITECTS - PLANNERS

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authorized in writing by the REVISIONS:

OWNER: KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

HOLLYWOOD OAKS
BY KUSHNER
4220 & 4231 N 58TH AVE.

CLUBHOUSE

DATE: 2024-07-10

SCALE: AS SHOWN

DRAWN: JC

SA-2

LEGEND

SMOOTH STUCCO FINISH.

SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 30" O.C.

SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 40" O.C.

8" WALL VINYL SIDING/CLADDING.

8" STUCCO BAND.

ALUMINUM LOUVERS.

ALUMINUM RAILINGS

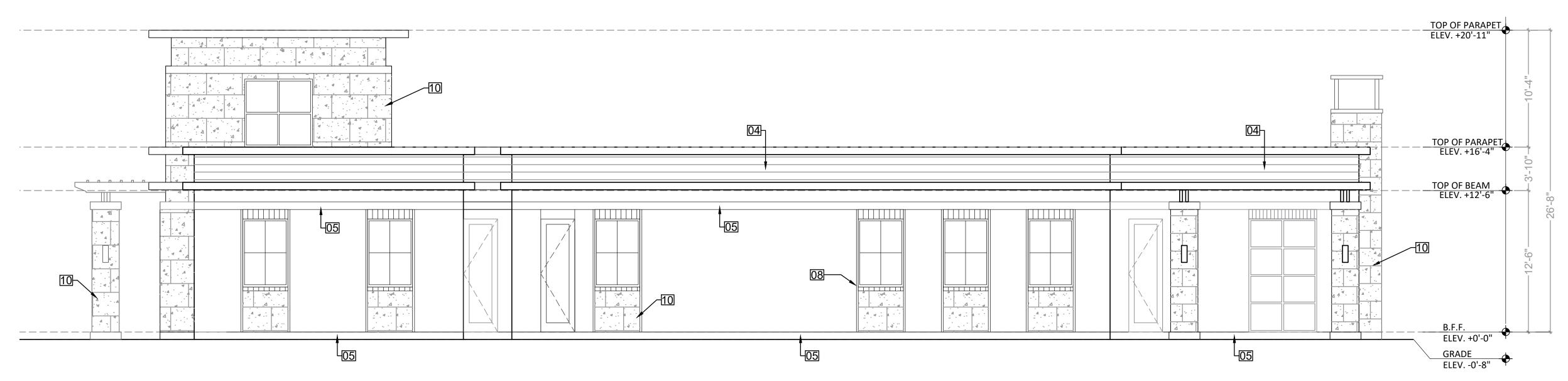
STUCCO BAND/ TRIM

10 COQUINA STONE VENEER.

2" VERTICAL REVEAL.

NOTE:

ALL MECHANICAL EQUIPMENT ON ROOFTOP SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY



CLUBHOUSE - RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No.: AR 0015394 MARIO P. PASCUAL , AIA LICENSE No.: AR 0008254 PETER KILIDDJIAN, RA LICENSE No. : AR 0093067 ANDREW STARR, RA LICENSE No.: AR 0095130

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CLUBHOUSE

ELEVATIONS AS SHOWN

SA-3



LICENSE # AA 26001357 EDGARDO PEREZ , AIA LICENSE No. : AR 0015394 MARIO P. PASCUAL , AIA LICENSE No. : AR 0008254 PETER KILIDDJIAN, RA LICENSE No. : AR 0093067 ANDREW STARR, RA LICENSE No. : AR 0095130

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REVISIONS:

OWNER: KUSHNER 188 BAL BAY DRIVE BAL HARBOUR, FL 33154

HOLLY

SEAL:

FLOOR PLAN

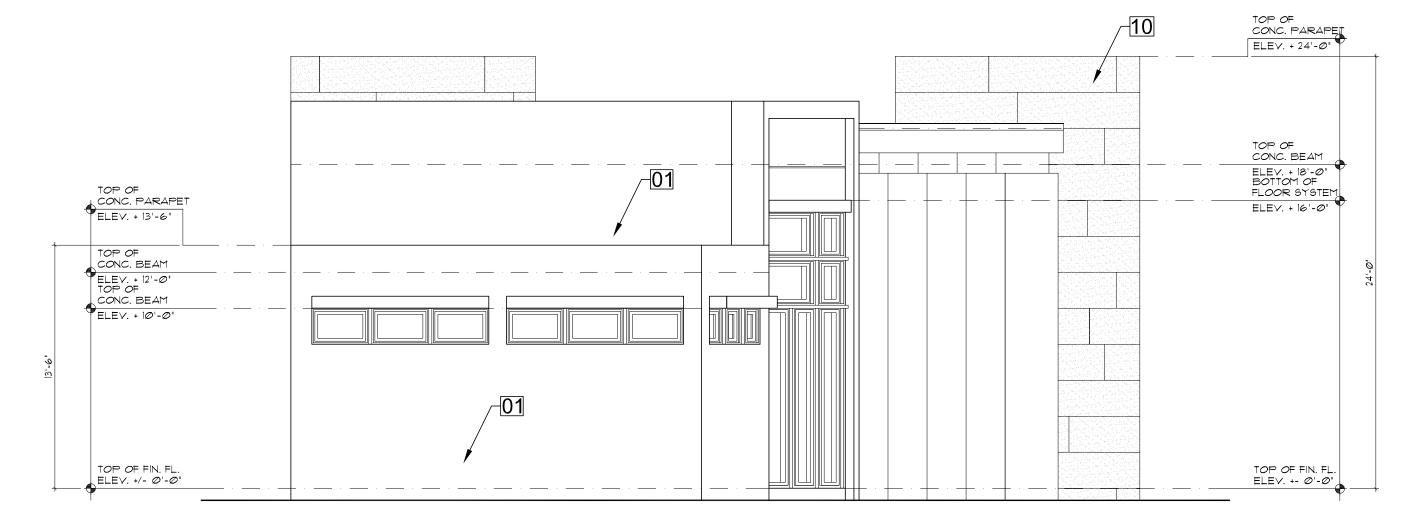
07.10.2024 DRAWN: CHECK BY:

SHEET NO.:

DATE:

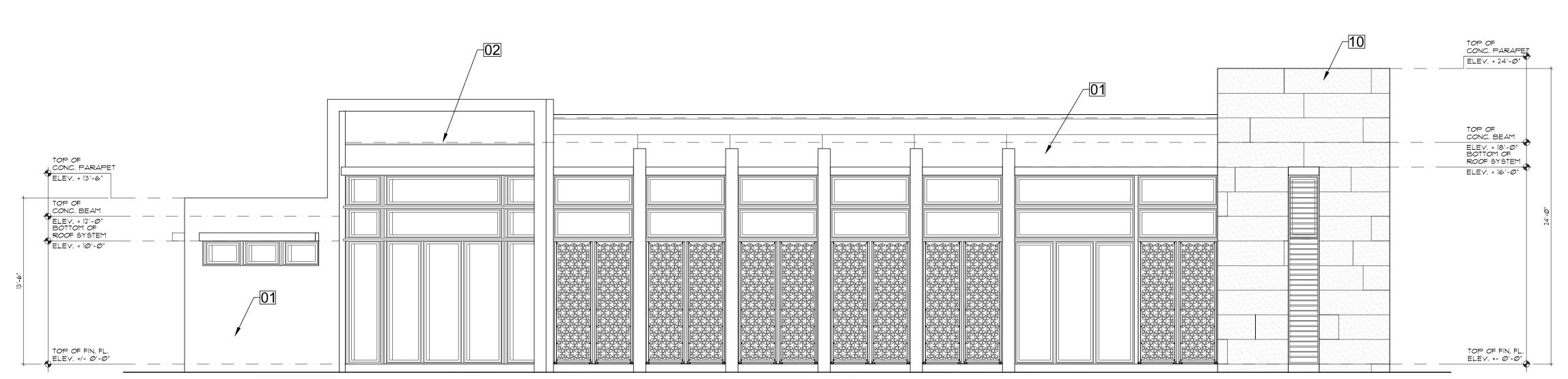
SCALE:

JOB NO.:



FRONT (SOUTH) ELEVATION SCALE: 3/16" = 1'-0"

REAR (NORTH) ELEVATION SCALE: 3/16" = 1'-0"



LEGEND

01 SMOOTH STUCCO FINISH.

02 SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 30" O.C.

03 SMOOTH 1 $\frac{1}{2}$ " SCORED STUCCO @ 40" O.C.

04 8" WALL VINYL SIDING/CLADDING.

05 50" STUCCO BAND.

06 ALUMINUM LOUVERS / SCREEN

ALUMINUM RAILINGS 08 4" VERTICAL REVEAL.

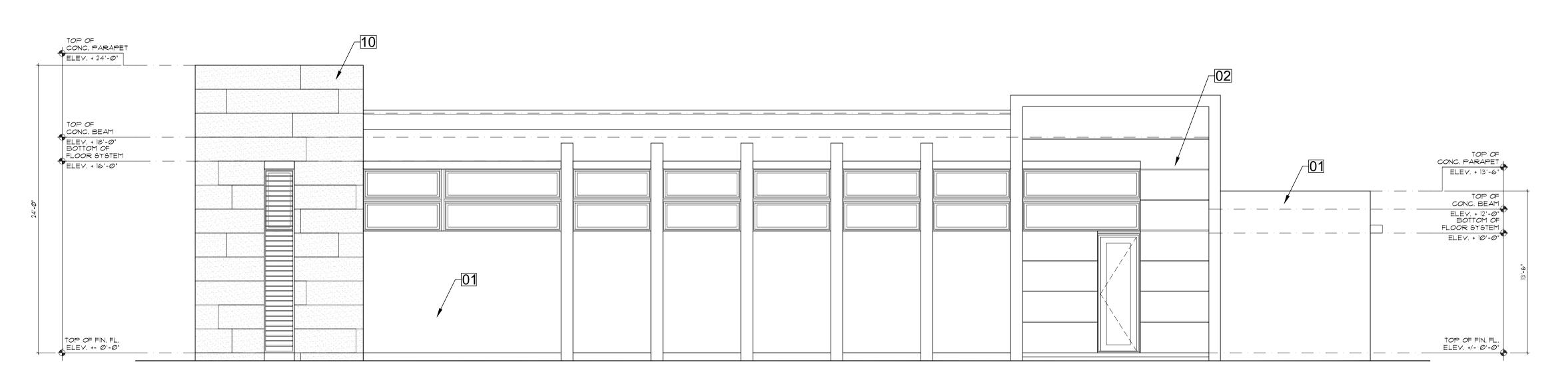
09 STUCCO BAND/ TRIM

10 COQUINA STONE VENEER.

NOTE: ALL MECHANICAL EQUIPMENT ON ROOFTOP SHALL BE SCREENED FROM THE PUBLIC

RIGHT-OF-WAY

(DAVIE ROAD) N 58TH AVENUE SIDE (WEST) ELEVATION SCALE: 3/16" = 1'-0"



SIDE (WEST) ELEVATION SCALE: 3/16" = 1'-0"

ARCHITECTS + PLANNERS LICENSE # AA 26001357

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OAKS HOLLYWOOD OAI
BY KUSHNER
4220 & 4231 N 58TH AV
HOLLYWOOD, FLORIDA

SEAL:

ELEVATIONS

DATE: 07.10.2024 AS SHOWN SCALE: DRAWN: CHECK BY: JOB NO.: