

ATTACHMENT A
Application Package



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 938 Johnson Sreet, Hollywood, Florida

Lot(s): 26 Block(s): 68 Subdivision: Hollywood lakes

Folio Number(s): 514214023800

Zoning Classification: RS-6 Land Use Classification: L Res.

Existing Property Use: Vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: New single family home

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="1"/> #Rooms <input type="text" value="3"/>
Proposed Non-Residential Uses	<input type="text" value="NA"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="60"/> (Area: <input type="text" value="3144.8"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="3"/>)
Height (# of stories)	(# STORIES) <input type="text" value="2"/> (<input type="text" value="30"/> FT.)
Gross Floor Area (SQ. FT)	2490.8 (Gross Floor Area of house) Lot(s) Gross Area (<input type="text" value="5241.3"/> FT.)

Name of Current Property Owner: THE POSITANO 405 BEACH 2023 REVOCABLE LAND TRUST

Address of Property Owner: Unit 405, 3501 N Ocean Dr #1, Hollywood, FL 33019

Telephone: 14243338876 Email Address: o.volkov@cltech.pro

Applicant Roberto Guzman Consultant Representative Tenant

Address: 11851 NW 29th Manor, Sunrise, Florida Telephone: +1(786)5635665

Email Address: rguzman@levelengineering.com

Email Address #2: a.dildabek@cltech.pro

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

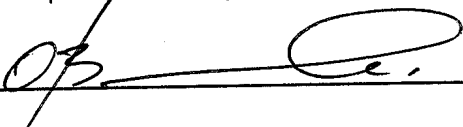
Noticing Agent (FTAC & Board submissions only): Diana Rio

E-mail Address: diana@rdmiami.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 3/5/24

PRINT NAME: THE POSITANO 405 BEACH 2023 REVOCABLE LAND TRUST Date: _____

Signature of Consultant/Representative:  Date: 3/5/24

PRINT NAME: Roberto Guzman Date: _____

Signature of Tenant: _____ Date: _____

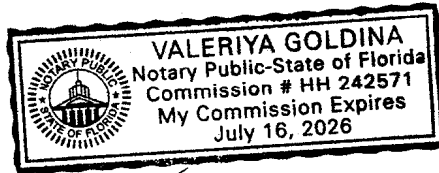
PRINT NAME: _____ Date: _____

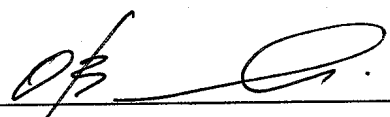
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Board to my property, which is hereby made by me or I am hereby authorizing Roberto Guzman to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 5th day of March

 Notary Public
 State of Florida

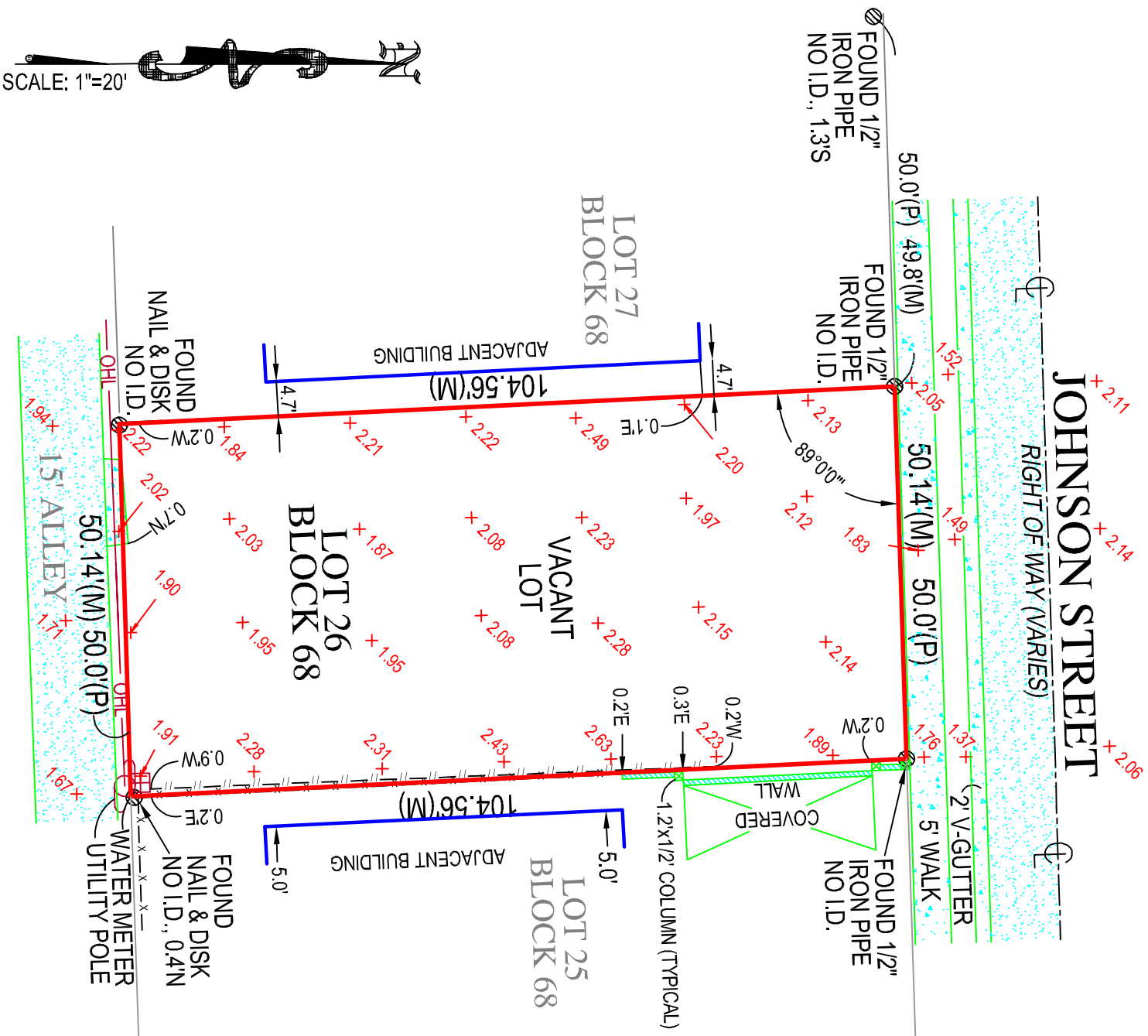



 Signature of Current Owner
Oleg Volkov, Trustee
 Print Name

My Commission Expires: 7/16/26 (Check One) Personally known to me; OR Produced Identification _____

LEGAL DESCRIPTION

LOT 26, BLOCK 68, OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



SCALE: 1"=20'

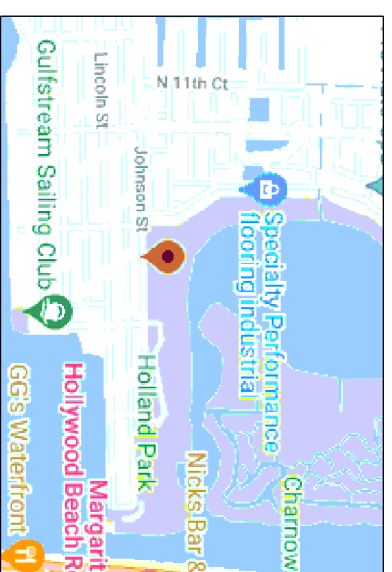
NOTES:

- LEGAL DESCRIPTION PROVIDED BY CLIENT.
- SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE.
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY.
- ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED.
- SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

REVISIONS:

- TITLE REVIEW: 01-03-2024
- ALTA SURVEY UPDATE: 01-11-24

FLOOD ZONE: AE
 COMMUNITY NUMBER: 125113
 PANEL: 12011C0588
 SUFFIX: H
 FIRM DATE: 8/18/2014
 BASE FLOOD ELEVATION: 5



VICINITY MAP
NOT TO SCALE

I have reviewed STEWART TITLE GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE
 File Number: 23-0198 Policy Number: O-2341-000005236
 Dated: October 30, 2023 @ 11:54AM
 All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
4	P.B.1	PG.32	HOLLYWOOD LAKES PLAT	SHOWN HEREON
5	31189	1346	DECLARATION OF COVENANTS	NOT PLOTTABLE
6	46053	228	DECLARATION OF COVENANTS	NOT PLOTTABLE
7	39544	1283	RESOLUTION NO. 05-C-16	DOES NOT AFFECT
8	39828	1035	UNITY OF TITLE	NOT PLOTTABLE

LEGEND

- AC AIR CONDITIONER
- B.F.P. BACKFLOW PREVENTER
- C.B.S. CONCRETE BLOCK STRUCTURE
- E.I. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L. LENGTH
- M. MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P. PLAT
- PSM. PROFESSIONAL SURVEYOR AND MAPPER PERMANENT REFERENCE MONUMENT
- P.R.M. PAGE
- P.G. PLAT BOOK
- P.B. CENTERLINE AND
- U/E UTILITY EASEMENT
- D/E DRAINAGE EASEMENT
- COV COVERED
- # NUMBER
- CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE

ORIGNATION BENCHMARK
 BROWARD COUNTY
 BENCHMARK " U-312"
 N.A.V.D. ELEVATION = 1.87'

ALTA CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPLS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES NO ITEMS OF TABLE A THERE.

SURVEYORS CERTIFICATE:

HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

Kenneth Osborne
 Digitally signed by
 Kenneth Osborne
 Date: 2024.01.17
 16:23:59 -05'00'

DATE OF FIELD WORK: 01-11-2024
 DATE OF MAP: 01-16-2024

26250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

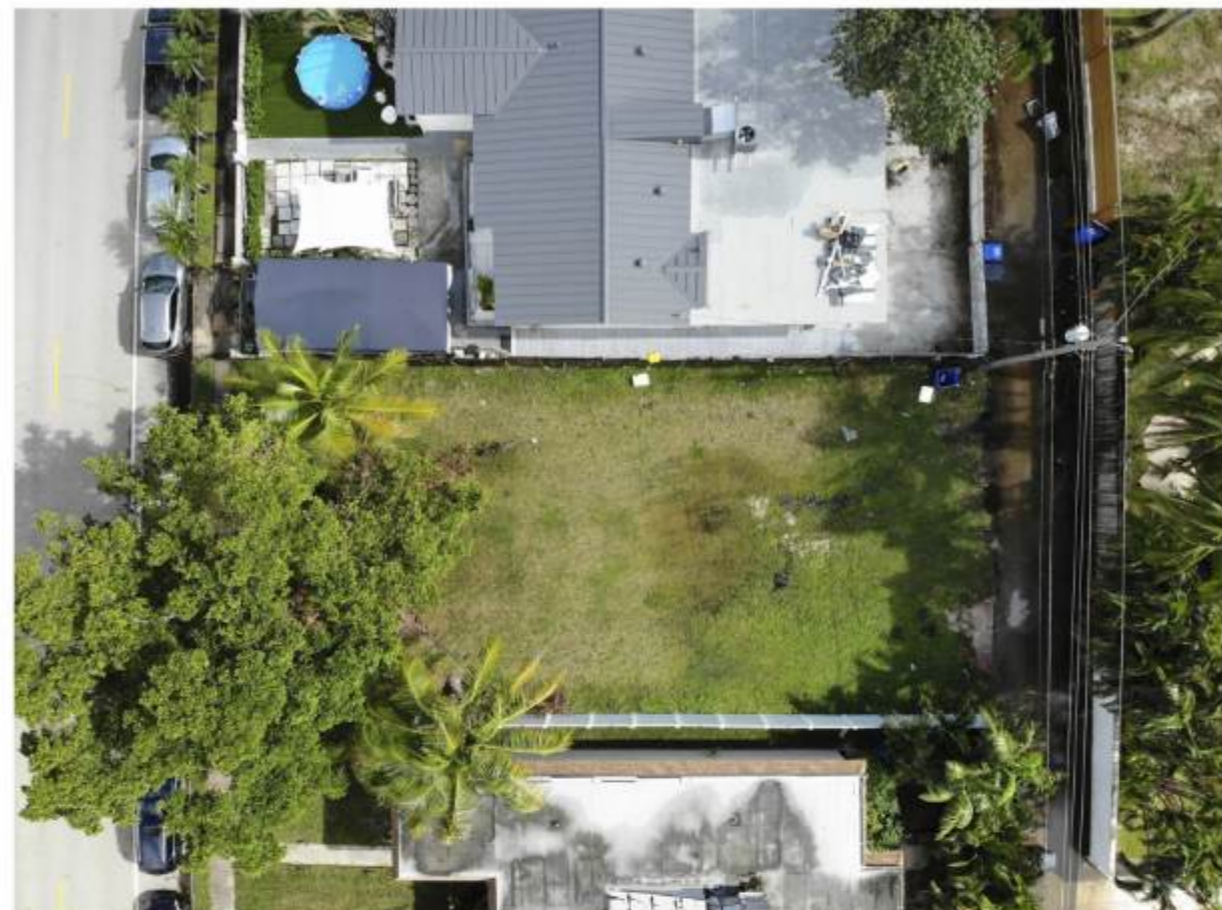
COMPASS SURVEYING

LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

Project: C-612899
 Date: 01/16/2024
 Scale: 1"=20'

Sheet: 1 OF 1

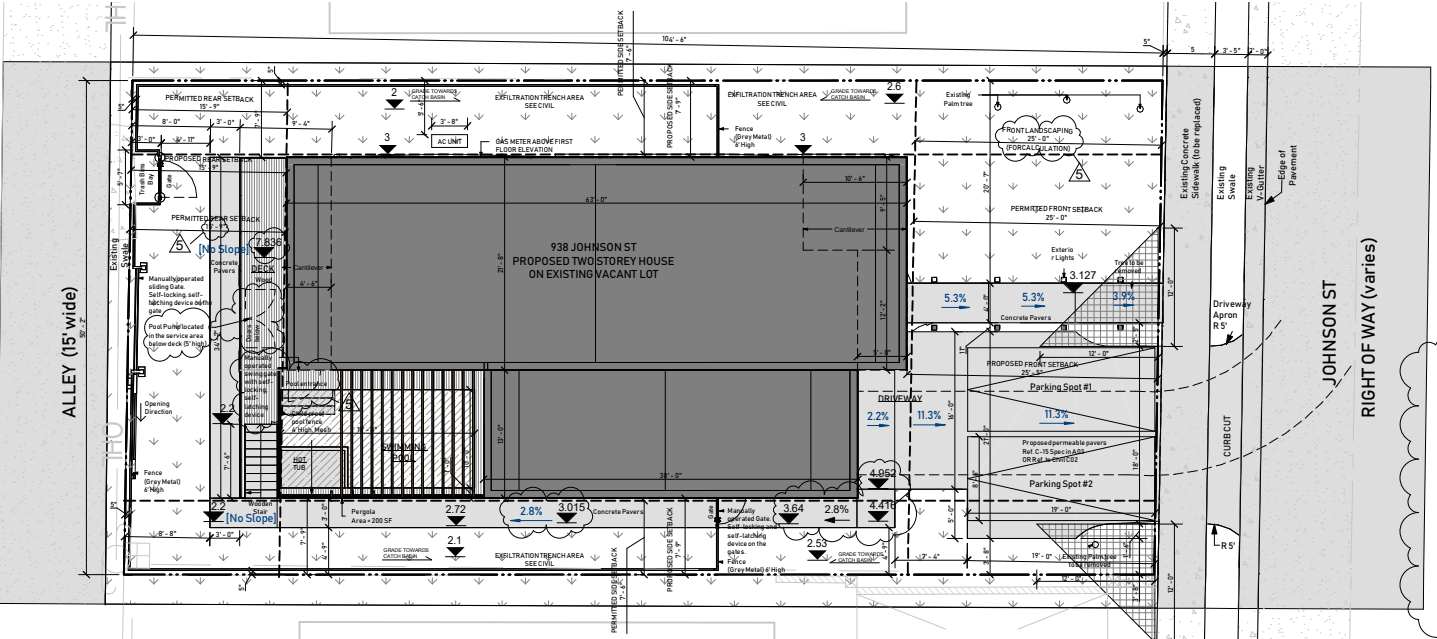
ALTA/NSPS LAND TITLE SURVEY OF
938 JOHNSON STREET
 HOLLYWOOD, FL 33019
 PREPARED FOR
OLEG VOLKOV





151 Spinnaker Way,
Office 5A
Concord, ON L4K 4C3 Canada

NOTE:
SIDEWALK WILL
BE CONTINUOUS
THROUGH THE
DRIVEWAY AND
REPLACED TO THE
LATEST CITY
OF HOLLYWOOD
SIDEWALK
STANDARDS



LANDSCAPING DETAILS		
Front Yard	sq. ft.	%
Front Yard Area	1253.24	100
Driveway Area	432.63	37.8
Hard (Impervious) Landscape Area	109.1	9
Soft Landscape Area	679.52	54.2
Rear Yard		
Rear Yard Area	1253.2	100
Deck Area	251.41	20.1
Swimming Pool Area	215.27	17
Hard (Impervious) Landscape Area	152.8	12.2
Soft Landscape Area	580.5	46.5
Entire Lot		
Lot Area	5241.3	100
Total Hard (Impervious) Landscape Area	1051.6	20
Total Soft Landscape Area	2096.4	40
Proposed House Footprint	1393	26.4

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DRAWINGS SHOULD NOT TO BE SCALED

Project Title
Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION
5	9/25/2024	Revision 5

Project ID: **2307_938JNS**

Sheet No: **PROPOSED SITE PLAN & STATISTICS**

Sheet No: **A02**

PROPERTY ADDRESS

938 JOHNSON STREET, HOLLYWOOD, FLORIDA
 FOLIO
 #514214023800
 LEGAL DESCRIPTION
 HOLLYWOOD LAKES SUBDIVISION, LOT 26, BLOCK 68

BUILDING INTENSITY ALLOWED PROVIDED

LOT COVERAGE	N/A	40%
FAR	N/A	N/A
A/C AREA:	N/A	2490.8 SF
BUILDING FOOTPRINT:	N/A	1593 SF
PROPOSED DWELLING:	1	1
NUMBER OF FLOORS:	2	2
BUILDING HEIGHT:	30 FT	30 FT

SETBACKS REQUIRED PROVIDED

(a) FRONTAGE (JOHNSON) (NORTH)	25' 0"	25' 5"
(b) SIDE INTERIOR (EAST)	7'4"	7'9"
(c) SIDE INTERIOR (WEST)	7'4"	7'9"
(d) REAR*	15'9"	15'9"
*15% LOT DEPTH		

SITE INFORMATION EXISTING PROPOSED

ZONING:	RS-6	RS-6
SUB-DISTRICT:	N/A	N/A
BUILDING USE:	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING
LAND USE DESIGNATION:	RESIDENTIAL	RESIDENTIAL
COUNTY USE DESIGNATION:	RESIDENTIAL	RESIDENTIAL
NET LOT AREA:	5241.3 SF	5241.3 SF
GROSS LOT AREA:	2241 SF	2241 SF
BASE FLOOD ZONE:	7 NAVD	7 NAVD

BUILDING INFORMATION EXISTING PROVIDED

TYPE OF CONSTRUCTION	TBD	CROSS LAMINATED TIMBER (CLT)
SPRINKLER (REQUIRED)	TBD	TBD
FIRE ALARM (REQUIRED)	TBD	TBD

PARKING CALCULATION REQUIRED PROVIDED

REQUIRED	3	PROVIDED	3
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LANDSCAPE REQUIRED PROVIDED

PERVIOUS AREA FRONT YARD ONLY	250.6 SF (20%)	679.52 SF (54.2%)
IMPERVIOUS AREA BUILDING FOOTPRINT, PARKING SIDEWALKS & DRIVES		3144.8 SF (60%)
PERVIOUS AREA LANDSCAPE AREAS (SITE)		1576.4 SF
PERVIOUS AREA LANDSCAPE AREAS (DECK+POOL)		520 SF (DECK+POOL)
TOTAL PERVIOUS AREA TOTAL	2096.5 SF (40%)	2096.4 SF (40%)

GROSS BUILDING AREA:	INTERIOR
PARKING FLOOR (A.C.)	N/A
FIRST FLOOR (A.C.)	1125.9
SECOND FLOOR (A.C.)	1364.9
TOTAL (A.C.) AREA	2490.8

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Project Title
Single family House

938 JOHNSON ST

5 9/25/2024 Revision 5
4 August, 2024 Revision 4

REV DATE DESCRIPTION

Project Manager Drawn By

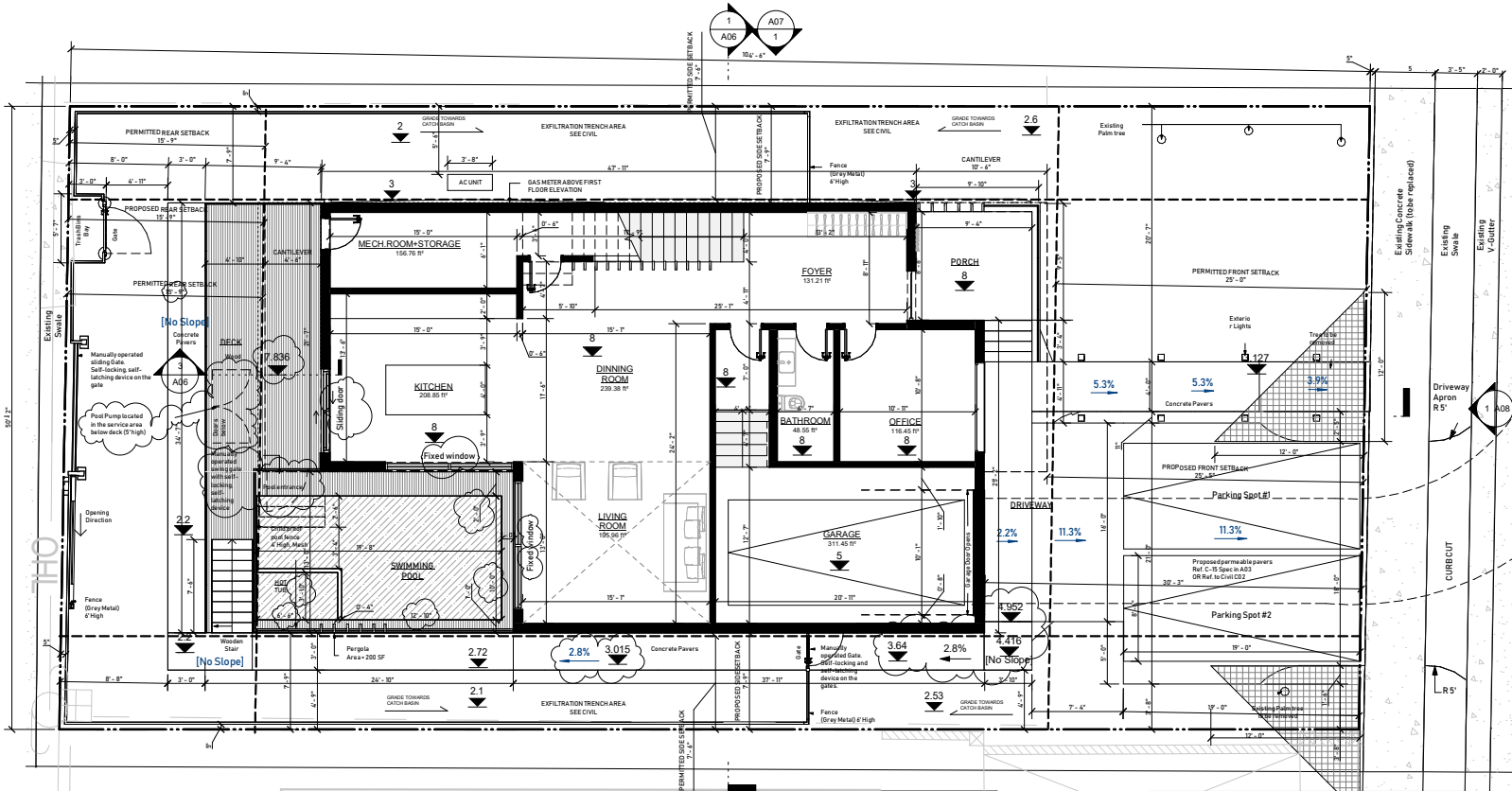
Date Reviewed By

Project ID 2307_938.JNS

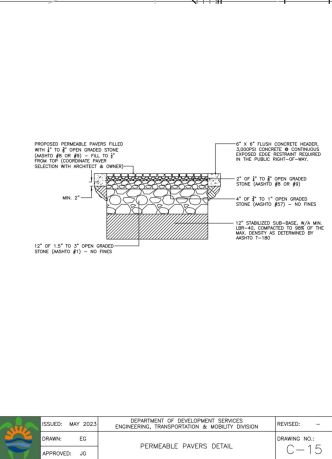
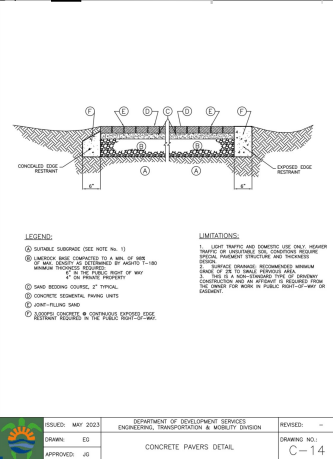
Sheet Title 1st FLOOR PLAN

Sheet No:

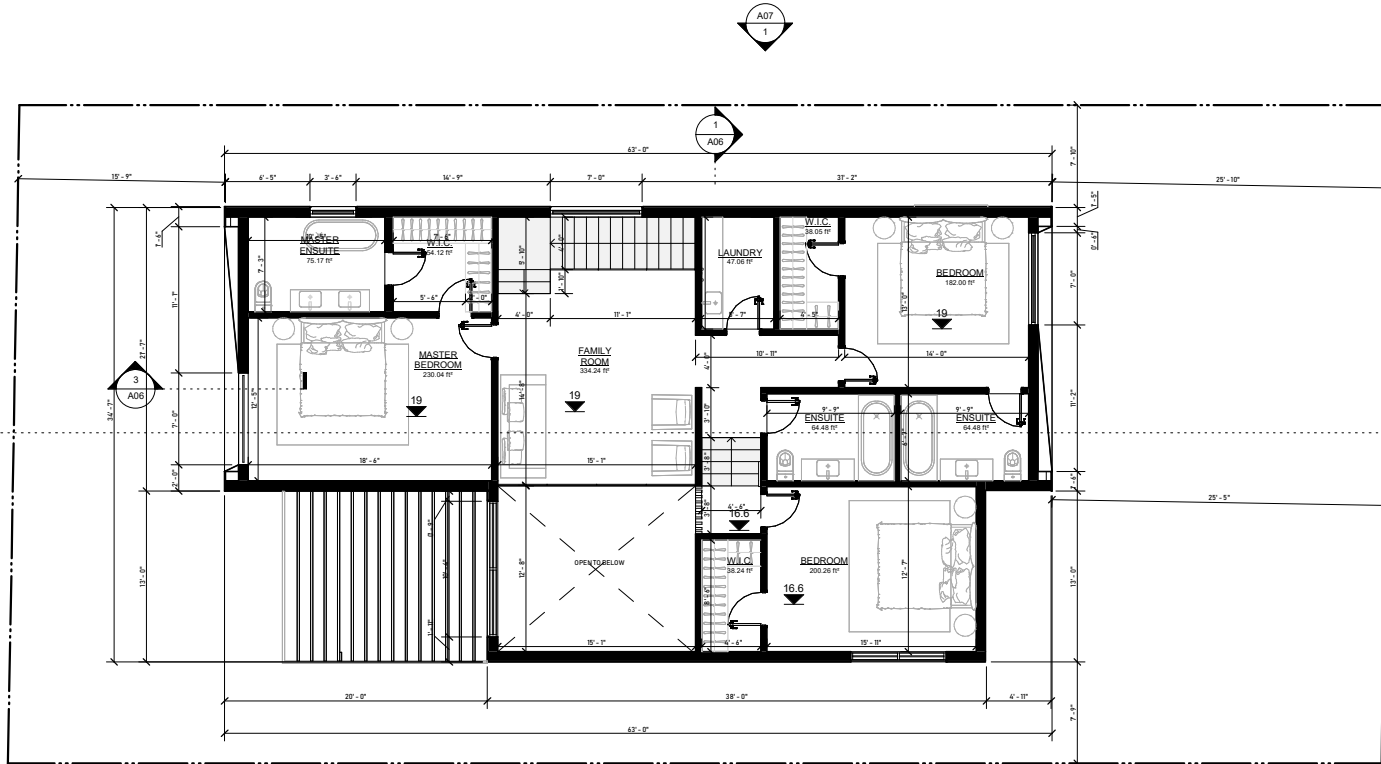
A03



1ST FLOOR ROOM SCHEDULE		
Room Name	Area, m2	Area, SF
BATHROOM	4.51	48.55
DINNING ROOM	22.24	239.38
FOYER	12.19	131.21
GARAGE	28.93	311.45
KITCHEN	19.40	208.85
LIVING ROOM	18.20	195.96
MECH.ROOM+STORAG E	14.56	156.76
OFFICE	10.82	116.45
	130.86	1408.60



ALLEY (15' wide)



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Project Title
Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION

Project Manager: _____ Drawn By: _____

Date: _____ Reviewed By: _____

Project ID: **2307_938.JNS**

Sheet Title: **2nd FLOOR PLAN**

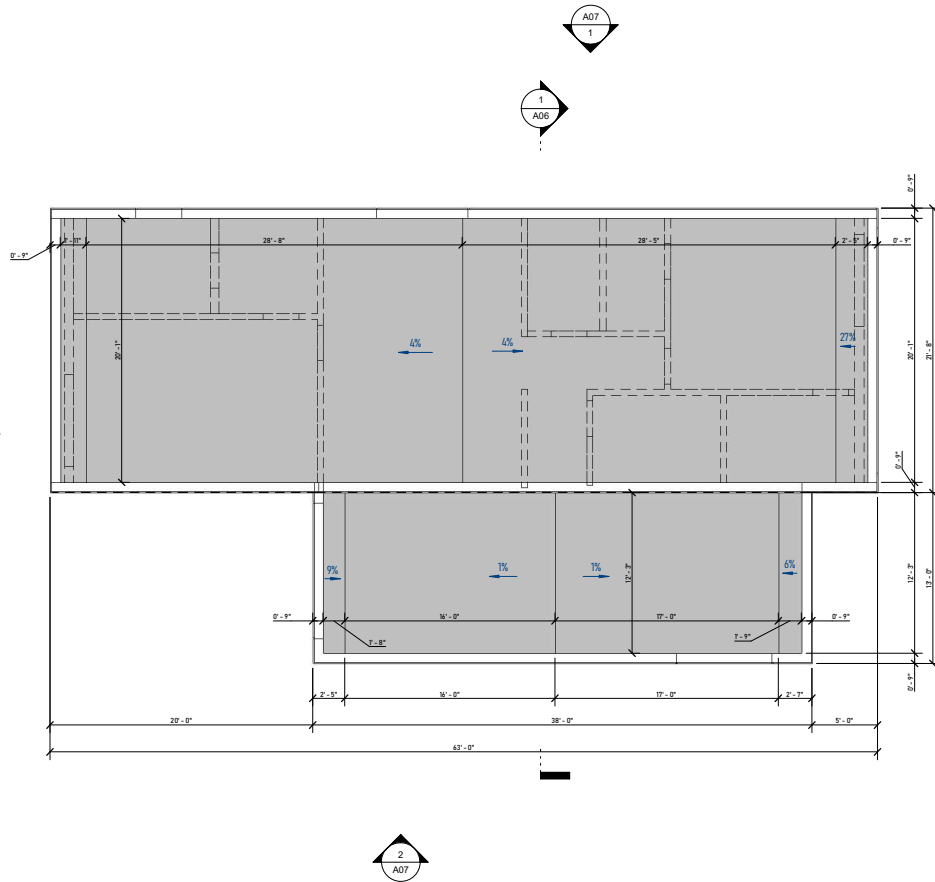
Sheet No: **A04**

2ND FLOOR ROOM SCHEDULE

Room Name	Area, m2	Area, SF
BEDROOM	16.91	182.00
BEDROOM	18.60	200.26
ENSUITE	5.99	64.48
ENSUITE	5.99	64.48
FAMILY ROOM	31.05	334.24
LAUNDRY	4.37	47.06
MASTER BEDROOM	21.37	230.04
MASTER ENSUITE	6.98	75.17
W.I.C.	3.54	38.05
W.I.C.	5.03	54.12
W.I.C.	3.55	38.24
TOTAL	123.39	1328.14



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Concord, ON L4K 4C3 Canada



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Project Title
Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION
Project Manager		Drawn By
Date		Reviewed By

Project ID: **2307_938.JNS**

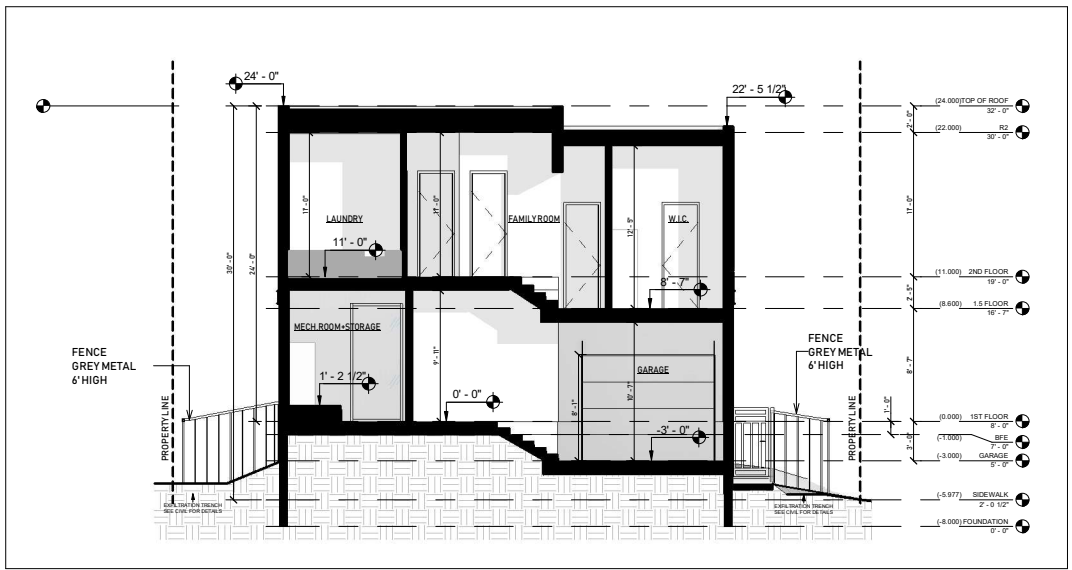
Sheet Title: **ROOF PLAN**

Sheet No: **A05**

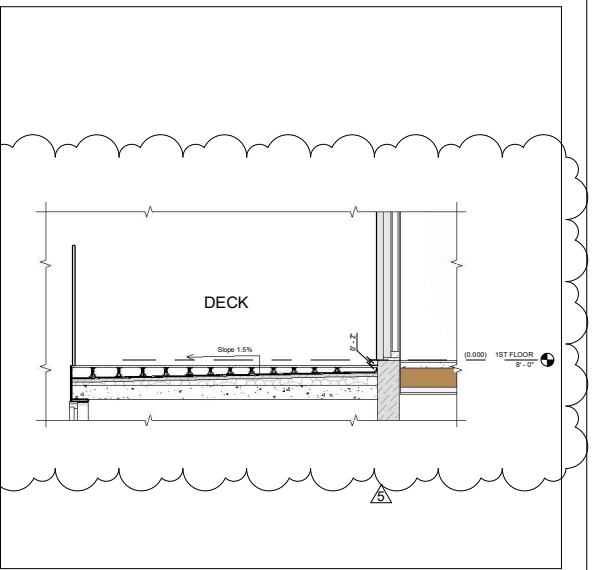
ROOF AREAS

R2 ROOF PORTION: 1247.85 sq ft
R1 ROOF PORTION: 445.12 sq ft

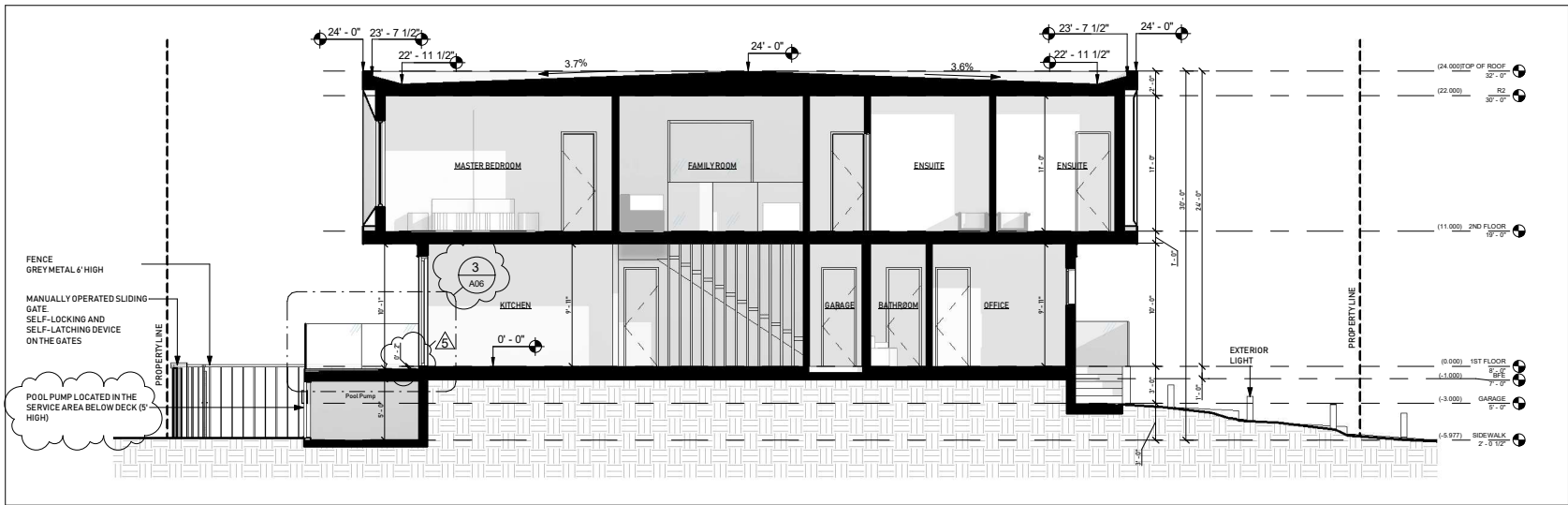
TOTAL AREA: 1,692.97 sq ft



1 TRANSVERSE SECTION
1:75



3 DECK DRAINAGE SYSTEM SECTION
1:30



2 LONGITUDINAL SECTION
1:75

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Project Title
Single family House

938 JOHNSON ST

5 9/25/2024 Revision 5
REV DATE DESCRIPTION

Project Manager Drawn By
Date Reviewed By

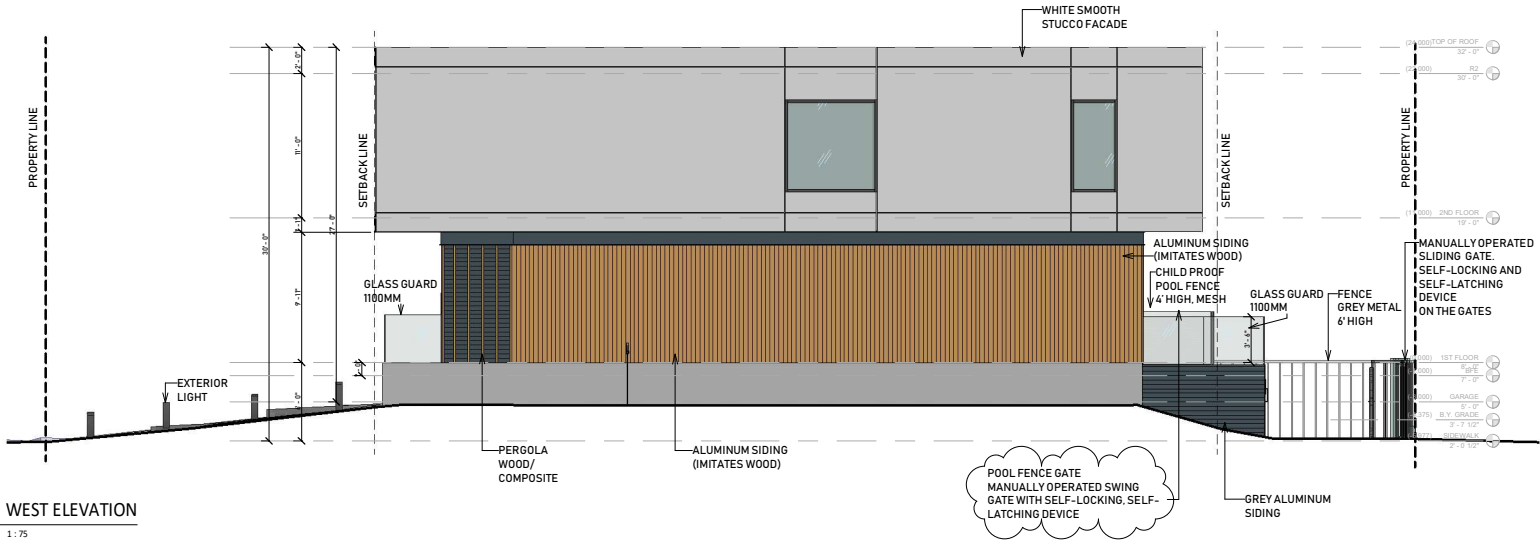
Project ID
2307_938.JNS

Sheet Title
SECTIONS

Sheet No.
A06



2 EAST ELEVATION
1:75



1 WEST ELEVATION
1:75

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Project Title
Single family House

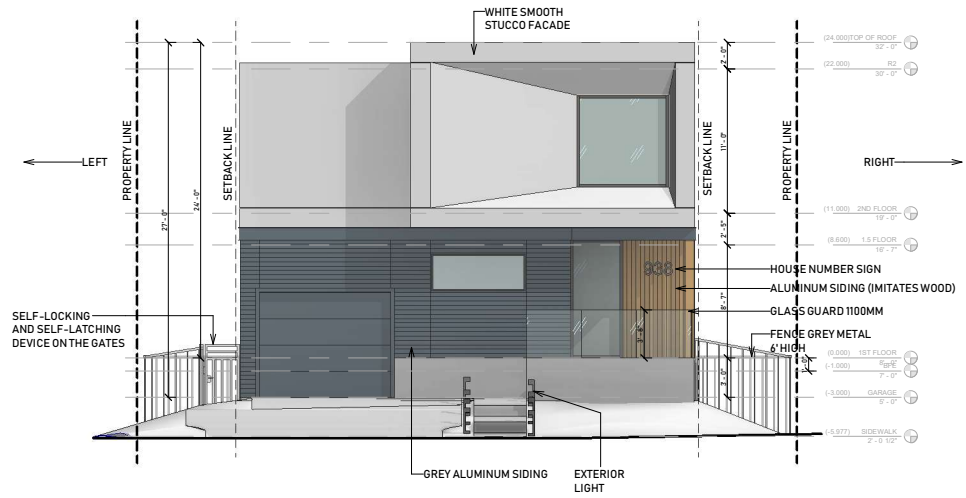
938 JOHNSON ST

5	9/25/2024	Revision 5
REV	DATE	DESCRIPTION

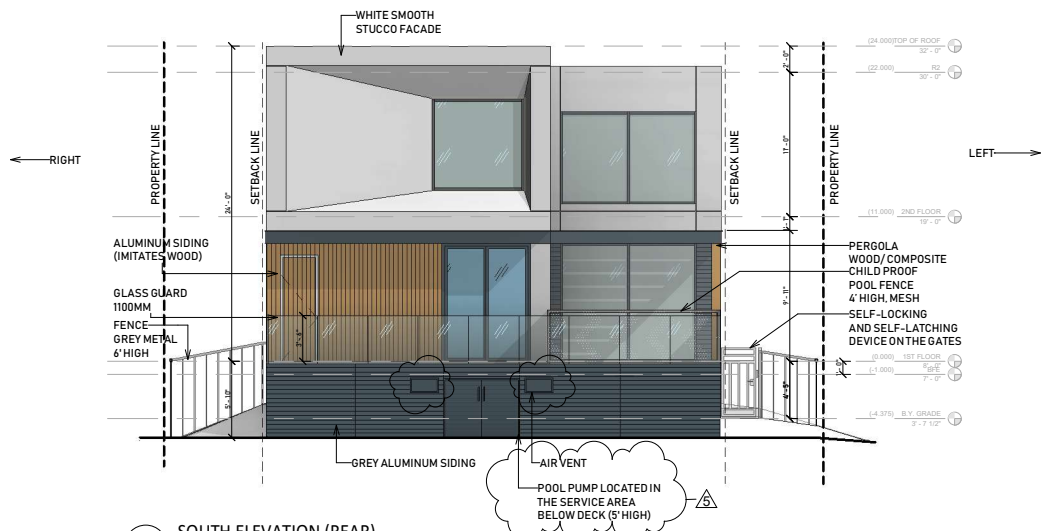
Project ID: **2307_938.JNS**

Sheet Title: **EAST AND WEST ELEVATIONS**

Sheet No: **A07**



1 NORTH ELEVATION (FRONT)
1:75



2 SOUTH ELEVATION (REAR)
1:75

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Project Title
Single family House

938 JOHNSON ST

5 9/25/2024 Revision 5

REV	DATE	DESCRIPTION

Date: _____ Reviewed By: _____

Project ID: **2307_938.JNS**

Sheet Title: **FRONT AND REAR ELEVATIONS**

Sheet No: **A08**

934 Johnson St

938 Johnson St

942 Johnson St



1 STREET ELEVATION
1:100



Photograph of 934 Johnson St



Photograph of 942 Johnson St



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Concord, ON L4K 4C3
Canada

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Project Title
Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION

Project Manager

Drawn By

Date

Reviewed By

Project ID
2307_938.JNS

Sheet Title
STREET ELEVATION

Sheet No.
A09

RENDERS



FRONT FACADE RENDER



FRONT FACADE RENDER



FRONT FACADE AND ENTRANCE RENDER



REAR FACADE AND BACKYARD RENDER



SWIMMING POOL AND INTERIOR RENDER



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Concord, ON L4K 4C3 Canada

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Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION
Project ID	2307_938.JNS	
Sheet Title	RENDERS	
Sheet No.		

A10

Material board | Exterior Design

Front elevation



3

Rear elevation



3
7



3- Paving stones



4- Terrace boards



Floor tile interior



Sliding Glass Doors



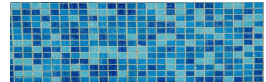
Interior light



7- Grey Aluminum siding



Exterior light



8- Mosaic tile



1- White smooth stucco facade



2- Aluminum siding that imitates wood



6- Microcement on interior walls



1

4

8



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Project Title
Single family House

938 JOHNSON ST

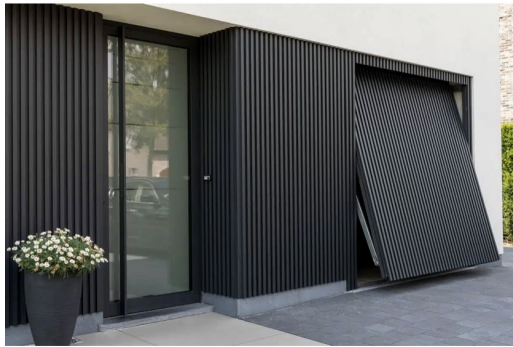
REV	DATE	DESCRIPTION

Date: _____ Reviewed By: _____

Project ID: **2307_938.JNS**

Sheet Title: **MATERIAL BOARD**

Sheet No: **A11**



GARAGE DOORS
Dark composite panels



WINDOWS AND SLIDING GLASS DOORS
Black Aluminium/ Glass



ALUMINIUM SIDING COMBINATION
Black Aluminium/ Wood



RECESSED SPOT LIGHT
Black Aluminium



HOUSE NUMBER
Black Aluminium/ Wood



OUTDOOR LIGHT
Black Aluminium/ Glass



INTERIOR DETAILS



MAIN ENTRY DOOR
Black Aluminium/ Glass



SINGLE WINDOW
Black Aluminium/ Glass/ Wooden panels



DOUBLE WINDOW
Black Aluminium/ Glass/ White Stucco



MAIN PATH
Stone Tiles and Pebbles



PERGOLA
Wood/Composite



151 Spinnaker Way.
Office 5A
Concord, ON L4K 4C3 Canada

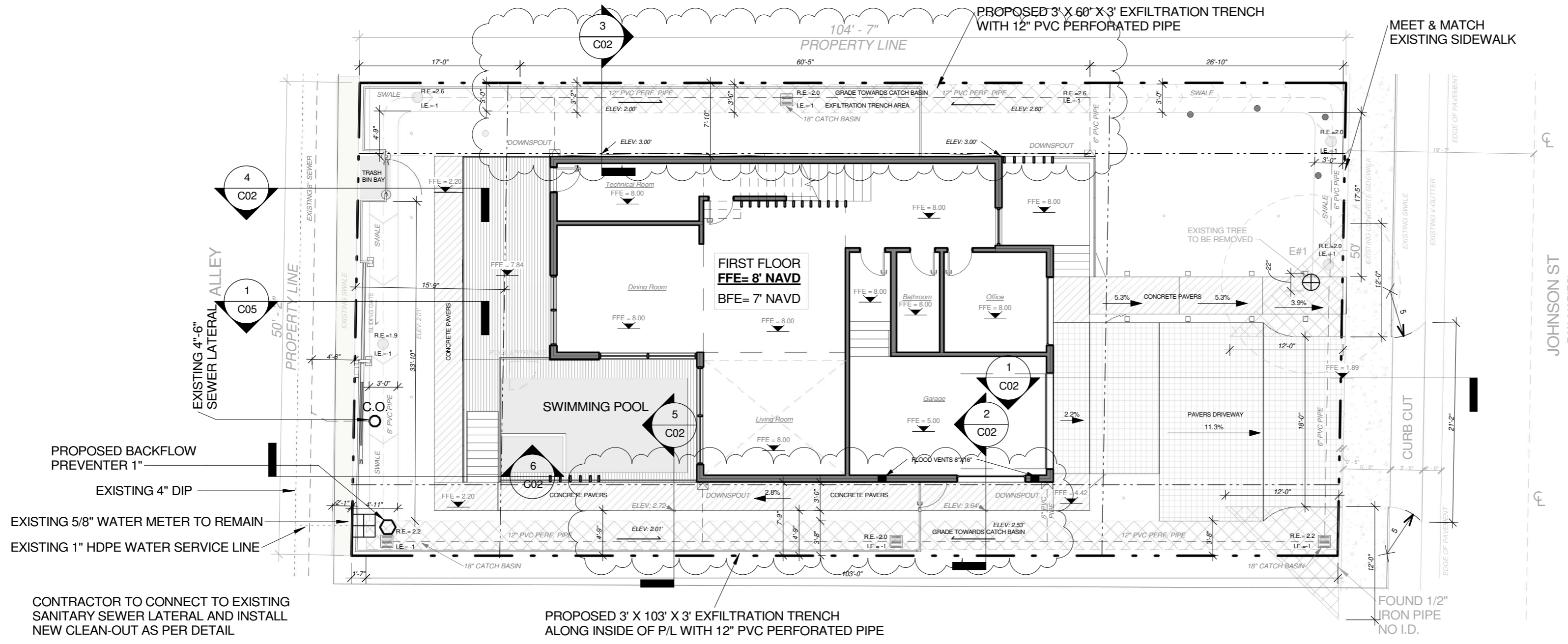
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DRAWINGS SHOULD NOT TO BE SCALED

Project Title
Single family House

938 JOHNSON ST

REV	DATE	DESCRIPTION
Project Manager	Drawn By	
Date	Reviewed By	
Project ID	2307_938JNS	
Sheet Title	MATERIAL BOARD	
Sheet No.	A12	



NOTE:
SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND REPLACED TO THE LATEST CITY OF HOLLYWOOD SIDEWALK STANDARDS.

PAVING, GRADING & DRAINAGE LEGEND

- PROPOSED CONCRETE PAVERS
- PROPOSED PERMEABLE PAVERS DRIVEWAY
- PROPOSED EXFILTRATION TRENCH AREA
- SWIMMING POOL
- PROPOSED ELEVATIONS (NAVD)
- FFE FINISHED FLOOR ELEVATION
- DENOTES GRADE TO DRAIN
- 6" CATCH BASIN DRAIN
- PVC PERFORATED PIPE
- CLEAN OUT
- 18" CATCH BASIN
- R.E. RIM ELEVATION
- I.E. INVERT ELEVATION
- DOWNSPOUT
- PROPOSED WOOD DECK

GENERAL NOTES:

1. ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D.), UNLESS NOTED OTHERWISE.
2. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD, BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION, DEP & SFWMD.
- IN CASE OF CONFLICT, THE MORE STRINGENT SPECIFICATIONS SHALL GOVERN. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION, ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. ALL GRADES SHOWN IN PLAN ARE FINISHED GRADES.
4. EXISTING ABOVE GROUND FEATURES ARE SHOWN ACCORDING TO THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT DISCREPANCIES TO THE ENGINEER PRIOR STARTING WORK.
5. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH THE EXISTING PAVEMENT.
6. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY SHALL BE RESTORED BY THE CONTRACTOR, TO THEIR ORIGINAL CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
7. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF OWNER, ENGINEER, AND THE CITY OF HOLLYWOOD.

NOTE FOR DRIVEWAYS

CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ.FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

PAVER DRIVEWAYS REQUIRE A MINIMUM 2 3/8TH INCH PAVERS PLACED OVER A 1 1/2 INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 6-INCH EDGE RESTRAINT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

NOTE FOR DOWNSPOUTS

ROOF DRAINAGE CONNECTION TO TRENCHES THROUGH DOWNSPOUTS AND 6" PVC PIPES AS SHOWN.

SITE CONDITIONS AND CONSTRAINTS

MAINTAIN A 2-FOOT CLEARANCE ABOVE REGULARLY OCCURRING SEASONALLY HIGH WATER TABLE.

THE BED BOTTOMS SHOULD BE LEVELED AND UNCOMPACTED. IF NEW FILL IS REQUIRED, IT SHOULD CONSIST OF ADDITIONAL STONE AND NOT COMPACTED SOIL.

SOILS UNDERLYING INFILTRATION DEVICES SHOULD HAVE A MINIMUM INFILTRATION RATE OF 0.5 IN PER HOUR.

INFILTRATION BMPs SHOULD BE SITED AT LEAST 50 FEET FROM INDIVIDUAL WATER SUPPLY WELLS, AND 100 FEET FROM COMMUNITY OR MUNICIPAL WATER SUPPLY WELLS, SO THAT ANY RISK TO GROUNDWATER QUALITY IS MINIMIZED.

INFILTRATION BMPs SHOULD BE SITED AT LEAST 10 FEET DOWN GRADIENT OR 100 FEET UP GRADIENT FROM BUILDING BASEMENT FOUNDATIONS, AND 50 FEET FROM SEPTIC SYSTEM DRAIN FIELDS UNLESS SPECIFIC CIRCUMSTANCES ALLOW FOR REDUCED SEPARATION DISTANCES, SO THAT THEY PRESENT NO THREAT TO SUB-SURFACE STRUCTURES.

DESIGN CONSIDERATIONS

CALCULATIONS BASED ON SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) MANUAL.

THE EXFILTRATION TRENCH HAS BEEN DESIGNED WITH A 1,008 SQ. FT. CATCHMENT AREA AND A 2.5 INCH STORMWATER RUNOFF IN CONSIDERATION.

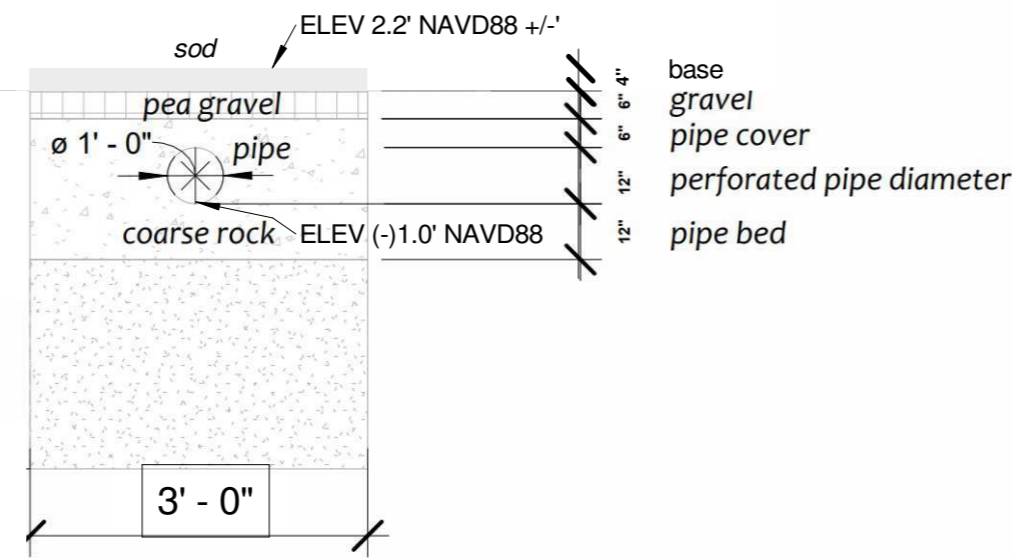
DO NOT INFILTRATE IN COMPACTED FILL. THE SOIL MANTLE SHOULD BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE. EXCESSIVE EXCAVATION FOR THE CONSTRUCTION OF INFILTRATION SYSTEMS IS STRONGLY DISCOURAGED.

A LEVEL INFILTRATION AREA (1% OR LESS SLOPE) IS PREFERRED TO AVOID THE CONCENTRATION OF WATER IN SMALL AREAS.

THE SURFACE COURSE MAY CONSIST OF POROUS ASPHALT, POROUS CONCRETE, OR VARIOUS POROUS STRUCTURAL PAVERS LAID ON UNCOMPACTED SOIL.

PROTECT THE INFILTRATION AREA FROM SEDIMENT UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED.

GEOTEXTILES SHOULD BE INCORPORATED INTO THE DESIGN INDICATED.



EXFILTRATION TRENCH DETAIL
NOT TO SCALE

DRAINAGE NOTE:
THIS SITE IS DESIGNED TO RETAIN, ON-SITE, THE VOLUME OF RUNOFF GENERATED DURING THE FIRST INCH OF RAINFALL. THE RETENTION AREAS PROVIDED ON SITE ARE CAPABLE OF RETAINING THAT RUNOFF VOLUME. CALCULATIONS FOLLOW THE METHODOLOGY SET FORTH BY THE SFWMD IN THEIR PUBLICATION TITLED "MANAGEMENT AND STORAGE OF SURFACE WATER, PERMIT INFORMATION MANUAL, VOLUME 4".

ROOF DRAINAGE NOTE:
ALL ROOF DRAINAGE (DOWNSPOUTS) SHALL BE COLLECTED AND CONNECTED TO THE ON-SITE DRAINAGE RETENTION AREAS. DOWNSPOUTS SHALL NOT DISCHARGE TO IMPERVIOUS AREAS.

DATUM NOTE:
UNLESS OTHERWISE INDICATED, ALL ELEVATIONS SHOWN HEREON REFER TO FINISH ELEVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD).

DRAINAGE RETENTION NOTE:
THE CONTRACTOR SHALL GRADE THE SITE ACCORDING TO THE PROPOSED CONTOUR LINES AND ELEVATION IN ORDER TO RETAIN THE FIRST INCH OF RUNOFF. REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.

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Project Title

Single family House

938 Johnson St

3	05/31/2024	Eng - Landscaping Comments
2	05/15/2024	Eng - Landscaping Comments
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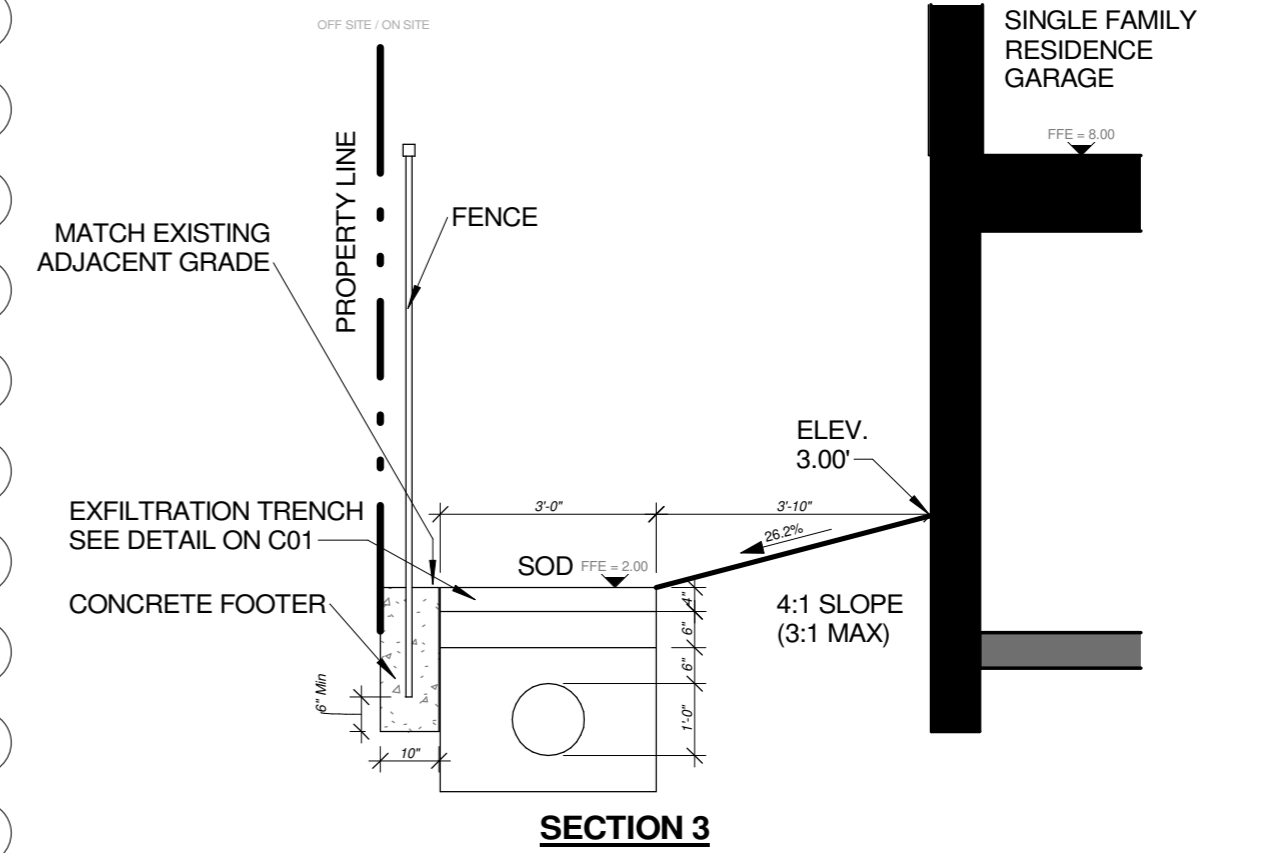
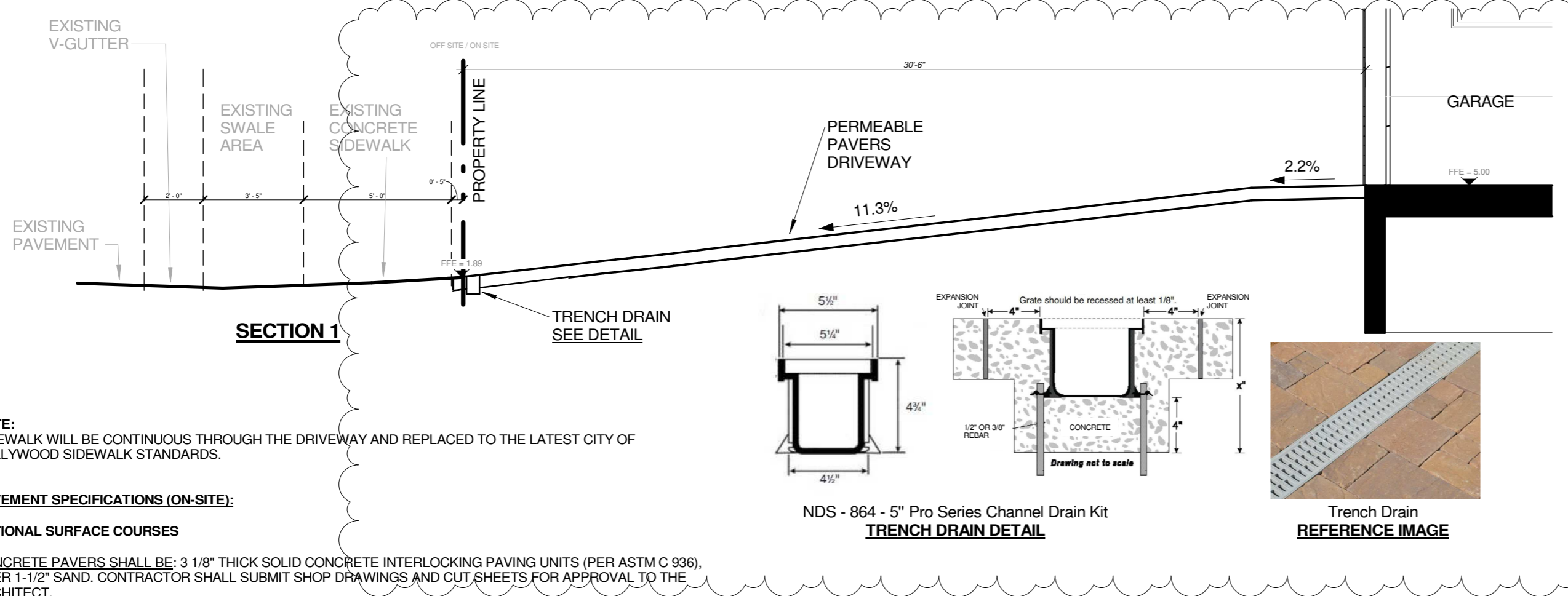
REV	DATE	DESCRIPTION
Project Manager	AD	Drawn By
		SS
Date	10/07/24	Reviewed By
		CT

Project ID
2307_938JNS

Sheet Title
P, G & D PLAN

Sheet No.

C01



NOTE:
SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND REPLACED TO THE LATEST CITY OF HOLLYWOOD SIDEWALK STANDARDS.

PAVEMENT SPECIFICATIONS (ON-SITE):

OPTIONAL SURFACE COURSES

CONCRETE PAVERS SHALL BE: 3 1/8" THICK SOLID CONCRETE INTERLOCKING PAVING UNITS (PER ASTM C 936), OVER 1-1/2" SAND. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL TO THE ARCHITECT.

RIGID CONCRETE SURFACE SHALL BE: 6" CLASS I CONCRETE, ATTAINING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND REINFORCED WITH 6"X6" 10/10 WELDED WIRE MESH, AND FLEXURAL STRENGTH (MODULUS OF RUPTURE) OF 600 PSI, BASED ON THE THIRD POINT LOADING CONCRETE BEAM SAMPLES.

ASPHALTIC CONCRETE SURFACE SHALL BE: 12" TYPE SP-12.5 AS PER FDOT 2017 SPECS SECTION 320, 330 AND 334.

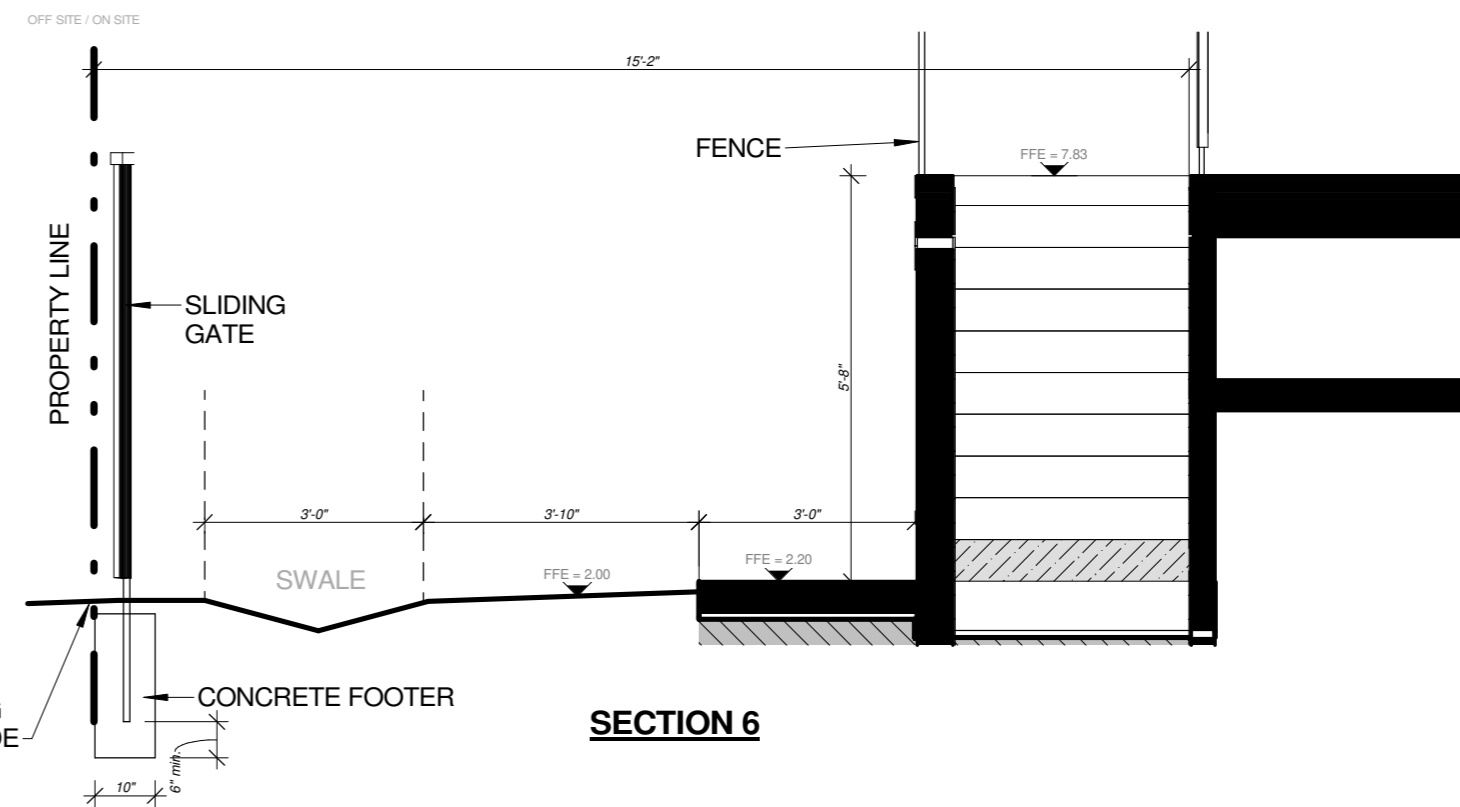
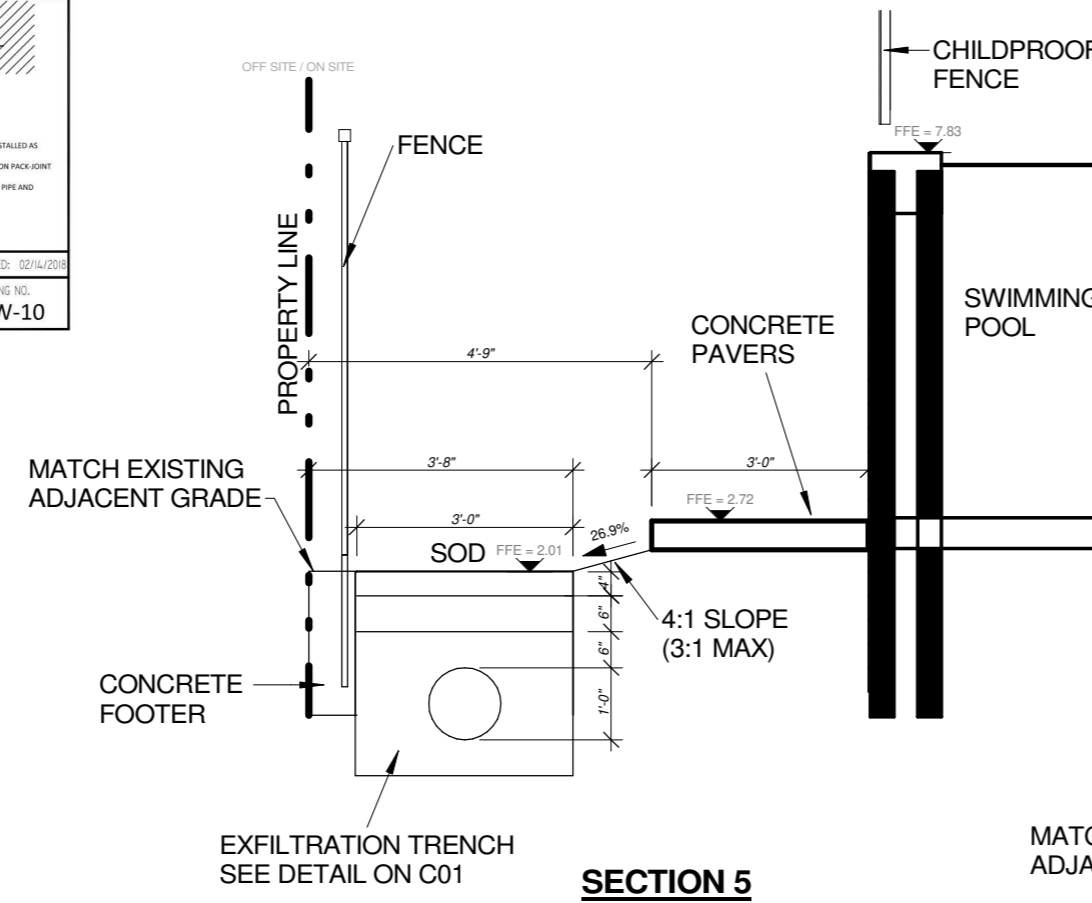
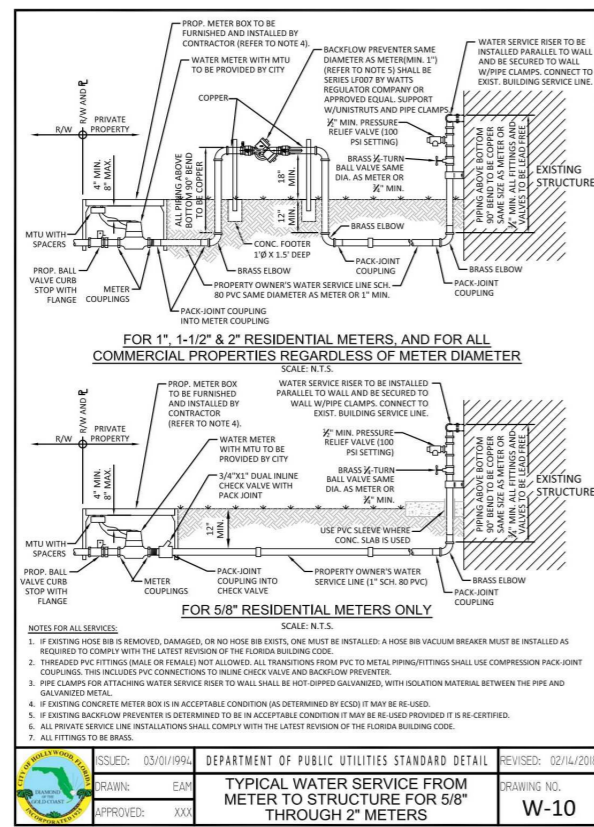
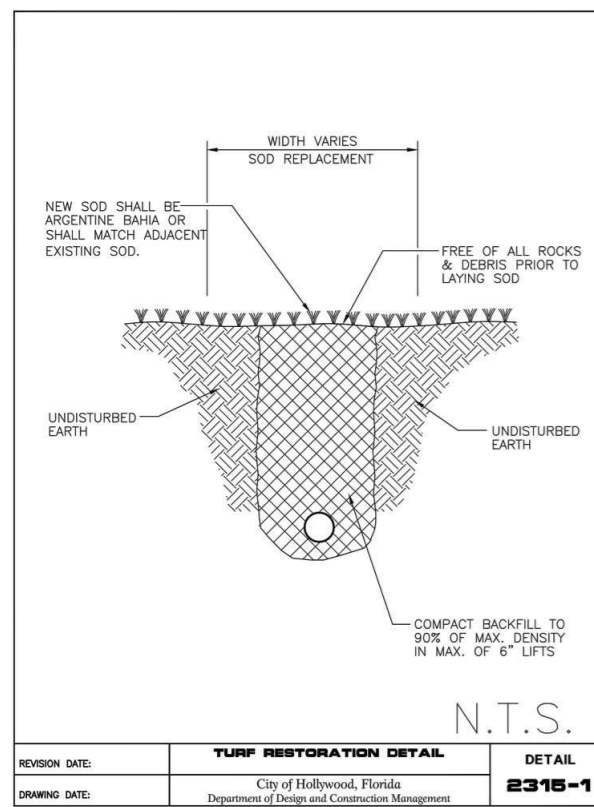
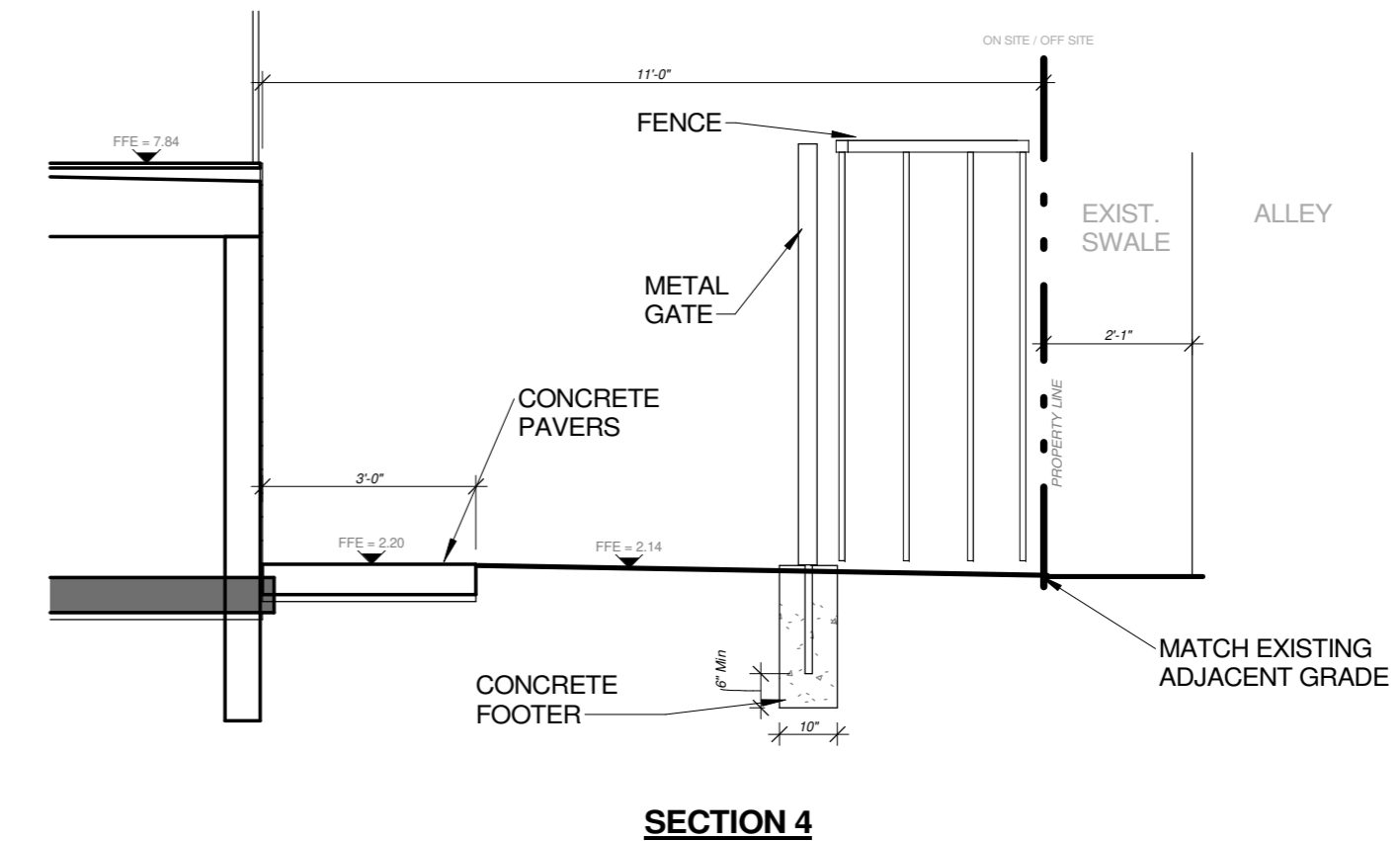
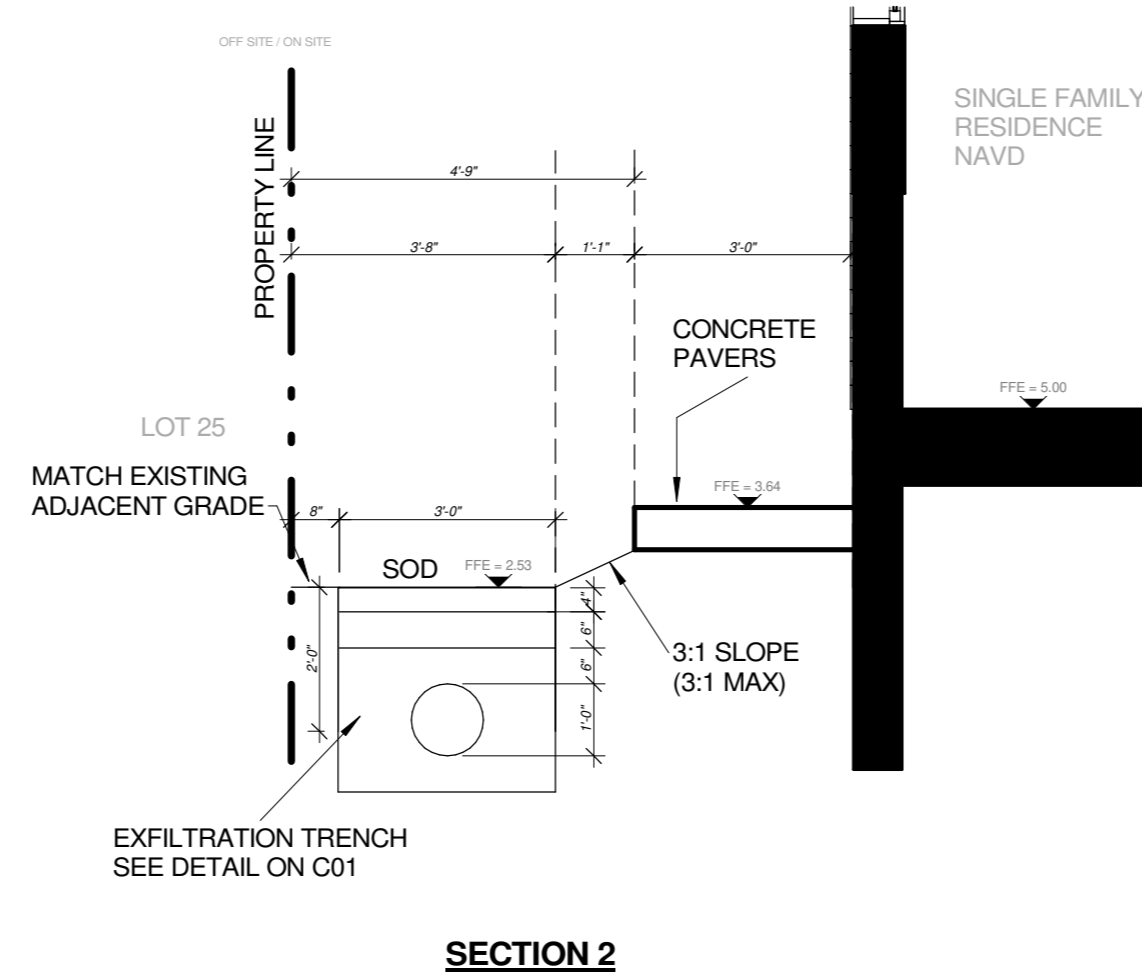
ROCK BASE

8" LIMEROCK COMPACTED TO 98% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER A.A.S.H.T.O. T-180, METHOD "D". EXTEND 6" BEYOND EDGE OF SURFACE COURSE OR BACK OF CURB, AS APPLICABLE (PER FDOT SPECS SECTION 200) PRIME COAT ON LIME ROCK BASE COURSE SHALL MEET FDOT SPECS SECTION 300.

SUBGRADE

12" STABILIZED GRANULAR MATERIAL COMPACTED TO 98% MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER A.A.S.H.T.O. T-180, METHOD "D" - IF EXISTING MATERIAL PROVIDES MINIMUM LBR OF 40, STABILIZATION IS NOT REQUIRED. EXTEND 12" BEYOND EDGE OF SURFACE COURSE OR BACK OF CURB, AS APPLICABLE (PER FDOT SPECS SECTION 160).

ALL DRIVEWAY AREAS SHALL BE DEMUCKED OR STABILIZED WITH GEOTEXTILE MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS, AND CITY SPECIFICATIONS AND REQUIREMENTS.



12 in. x 12 in. **DOWNPOUT** Drainage Catch Basin



18 in. Storm Water Pit and **CATCH BASIN** for Modular Trench and Channel Drain Systems with Galvanized Steel Grate

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Project Title

Single family House

938 Johnson St

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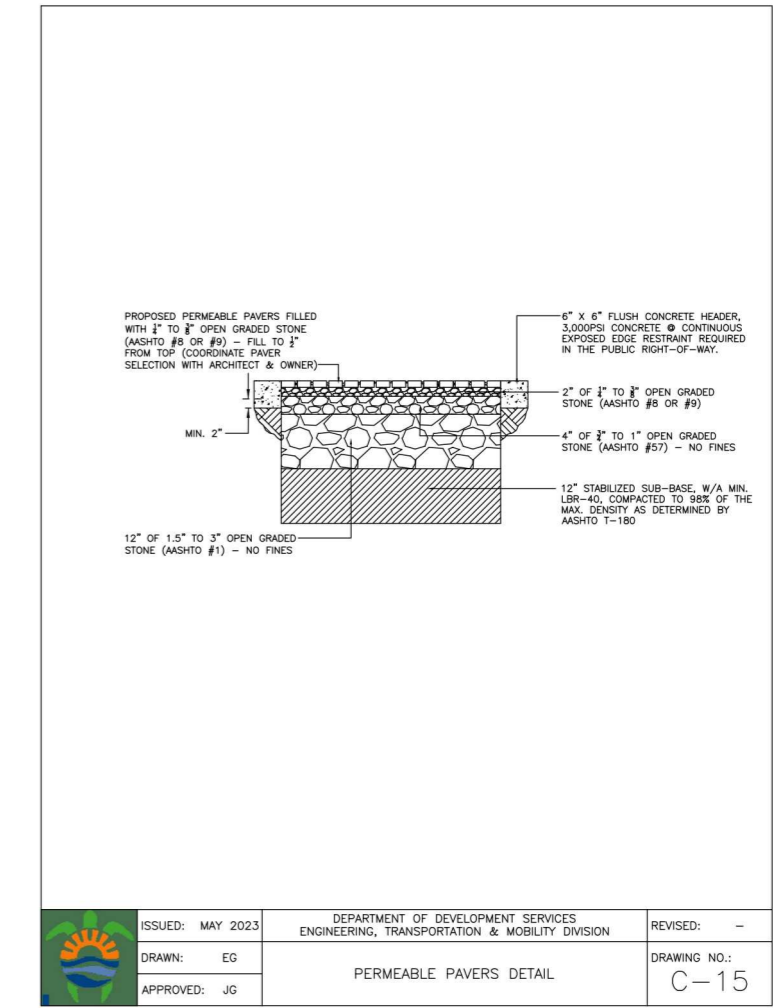
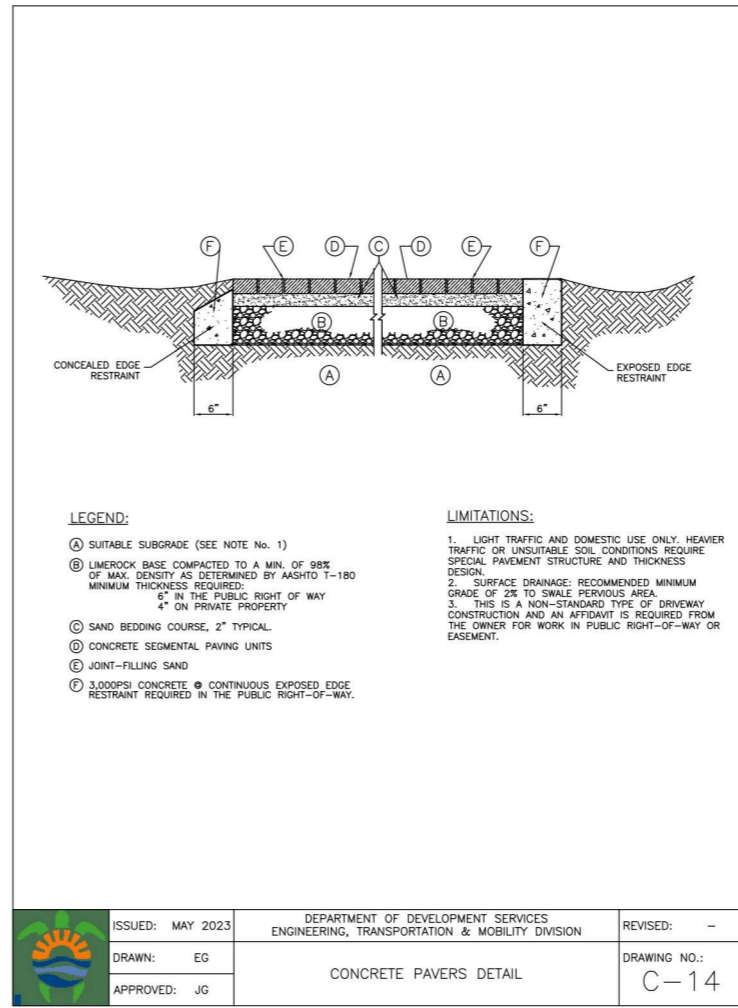
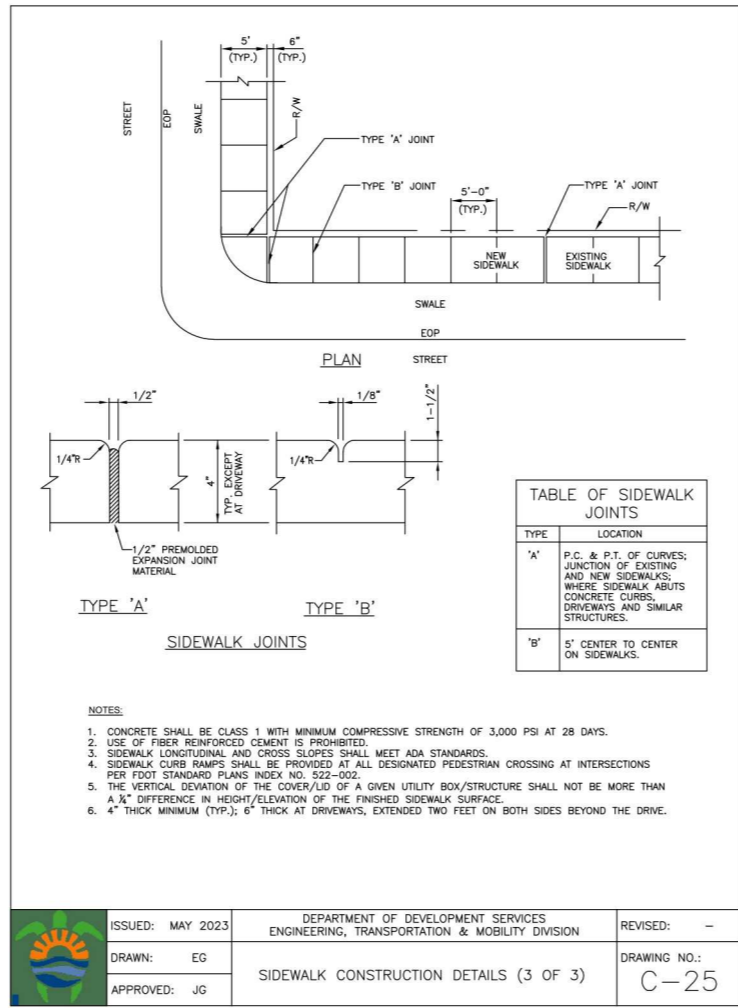
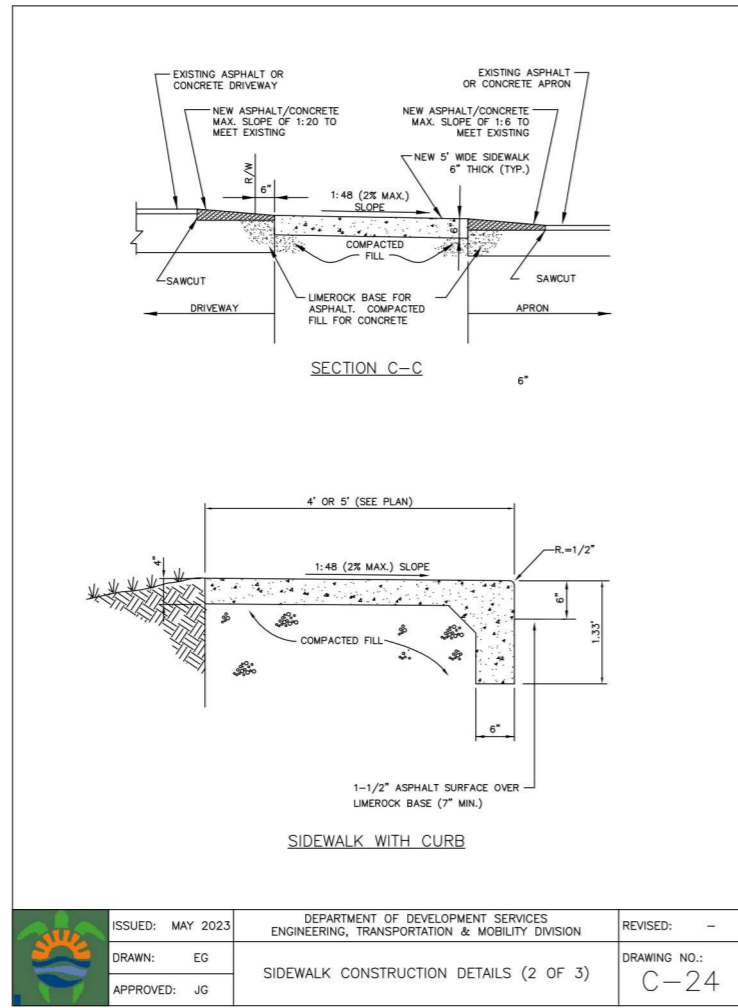
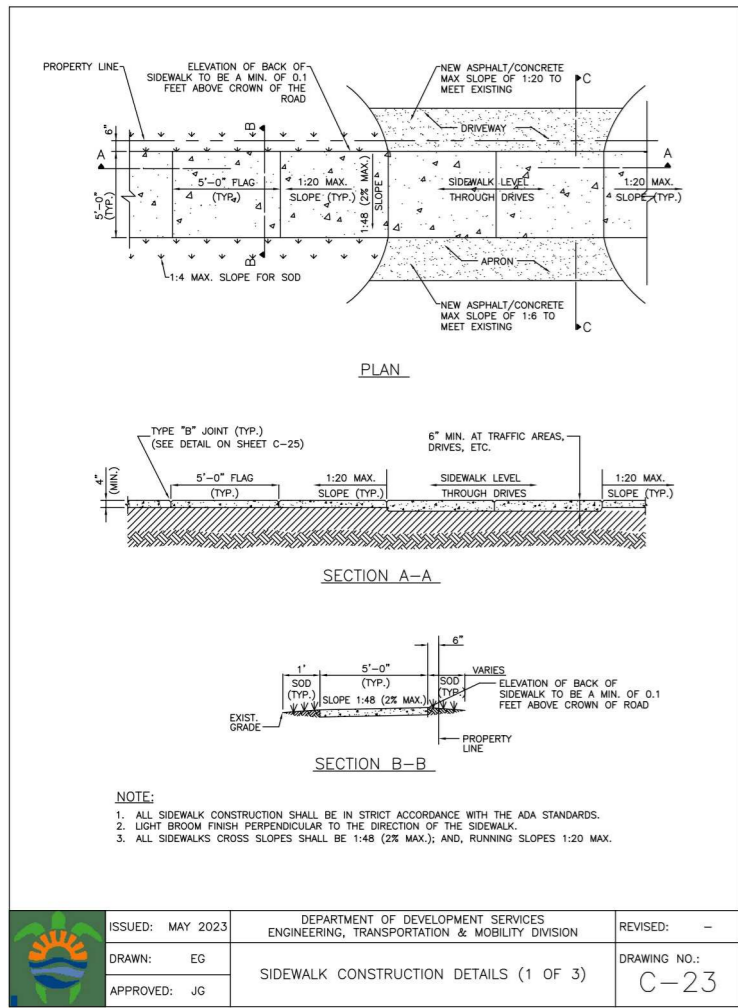
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Project Manager	AD	Drawn By
		SS
Date	10/07/24	Reviewed By
		CT

Project ID
2307_938JNS

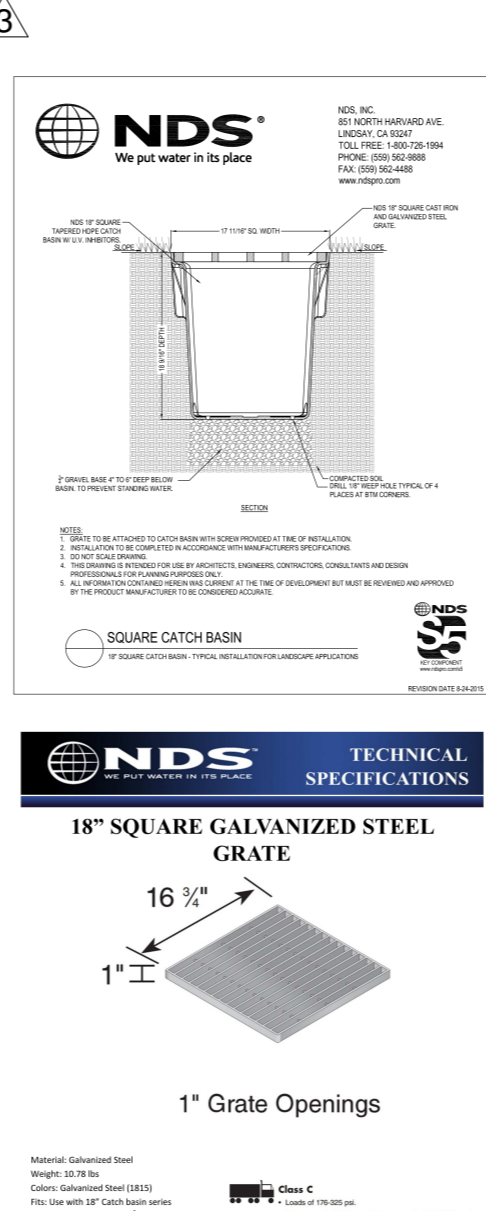
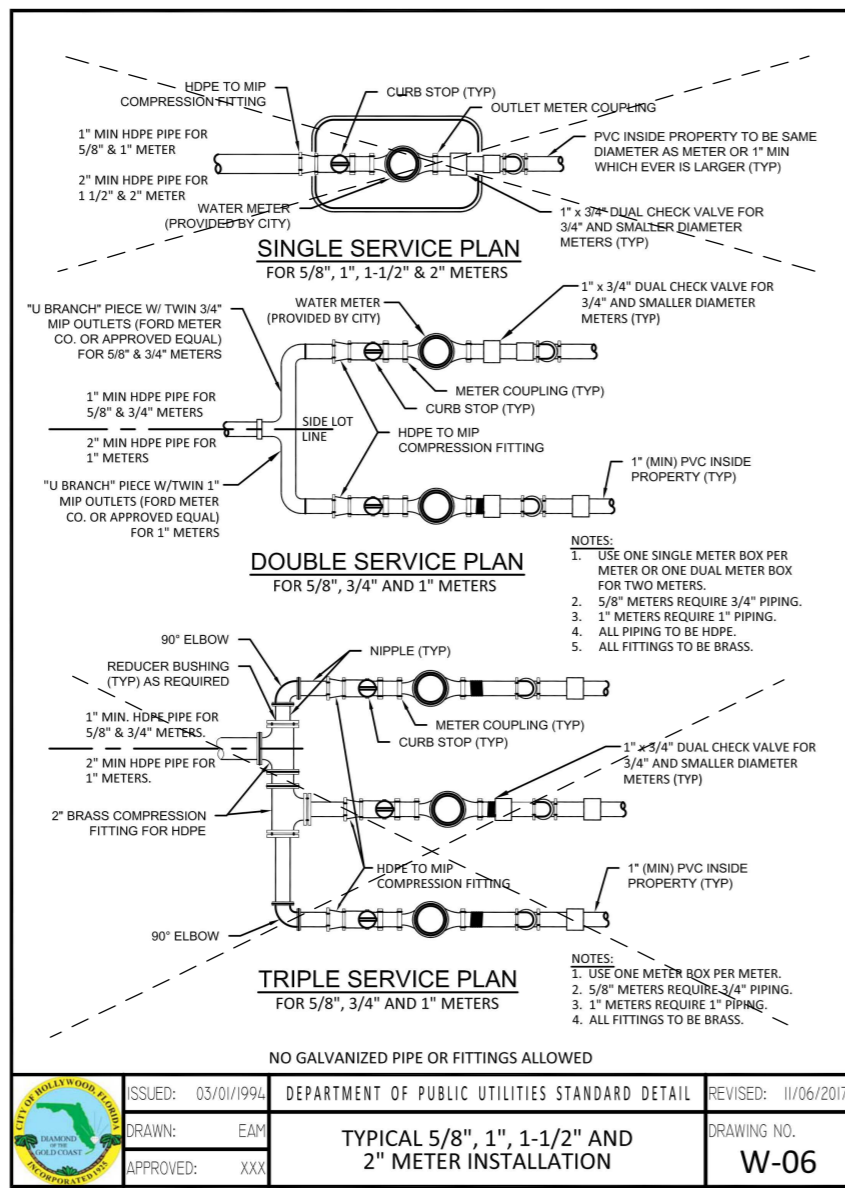
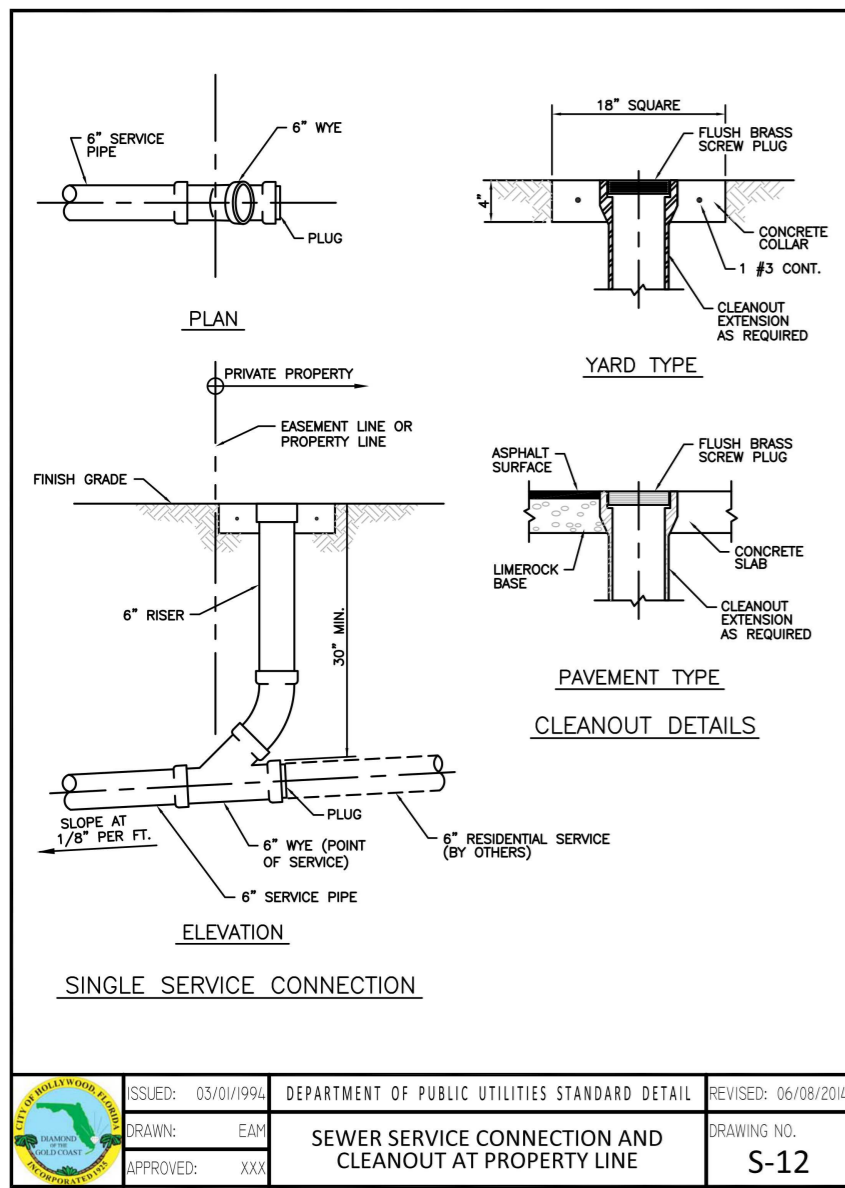
Sheet Title
P, G & D NOTES

Sheet No.

C02



151 Spinnaker Way,
Office 5A
Concord, ON L4K 4C3
Canada



Alternate Calculation for demand according to the Equivalent Residential Unit Factor by Broward County

EQUIVALENT RESIDENTIAL UNIT FACTOR SCHEDULE

TYPE OF USE	UNIT OF MEASURE	ERU per UNIT	REF. CODE
Equivalent Residential Unit	---	1.000	---
Single Family House (5/8" meter)	each	1.000	R01
Single Family House (larger than 5/8" meter)	each	2.880	R02
Condominium/Apartment	each	0.707	R03
Mobile Home	lot	0.783	R04
Vehicle Repair	1000 SF	0.489	C01
Gas Station (fueling only)	fuel pump	0.353	C02
Laundry and/or Dry Cleaning (staff operated machines)	no longer a part of the schedule		C03
Laundry (coin operated machines)	1000 SF	6.560	C04
Merchandising	1000 SF	0.185	C05

1 ERU= 185 gal

185 x 2.88 = 533 gal/day

Therefore, using the rational method:

$Q_{property} = CIA$
 $C = \text{runoff coefficient} = 0.58$
 $i = \text{the rainfall intensity (inches per hour)} = 5.2 \text{ in/hr}$
 $A = \text{drainage area in acres} = 0.125 \text{ acres}$

$Q_{property} = CIA = (0.58)(5.2)(0.125) = 0.377 \text{ CFS} \approx 22.62 \text{ CFH}$

Trench length

Underdrain soil permeability requirement is minimum 0.5 inches/hour (0.0416 ft/hr).
 Proposed trench is 4 ft wide.

Therefore, at peak point:

$Q_{property} = Q_{trench}$
 $Q_{trench} = V_{soil} \times A_{soil} \text{ infiltration}$
 $22.62 \text{ CFH} = (0.0416 \frac{ft}{hr}) \times (4 \text{ ft} \times L_{trench})$
 $L_{trench} = \frac{22.62}{0.0416 \times 4} = 135.93 \text{ ft} \approx 136.0 \text{ ft}$

Trench height

$V_{water} = i_{property} \times A_{property}$
 $V_{water} = (0.0416 \frac{ft}{hr}) \times (5,230 \text{ ft}^2) = 217.56 \text{ ft}^3$

The pervious bed will consist of a pervious surface course underlain by a stone bed of uniformly graded and clean-washed coarse aggregate, 1-1/2 to 2-1/2 inches in size, with a void space of at least 40%.

The volume of water for the 1-hour rainfall intensity is the following:

$V_{trench} = V_{voids} = L_{trench} \times W_{trench} \times H_{trench} \times \% \text{void ratio}$
 $217.56 \text{ ft}^3 = V_{voids} = 136.0 \text{ ft} \times 4.0 \text{ ft} \times H_{trench} \times 40\%$
 $H_{trench} = \frac{217.56 \text{ ft}^3}{136.0 \text{ ft} \times 4.0 \text{ ft} \times 40\%} = 1.0 \text{ ft}$

For the purposes of this design, the trench will have the following measurements:
 Length = 136 ft
 Width = 3 ft
 Height = 2.0 ft

With a 12 in PVC perforated pipe along it's length.

Rainfall water management design.

The rational method establishes the following:

$Q = CIA$
 $Q = \text{Flow in CFS}$
 $C = \text{runoff coefficient}$
 $i = \text{the rainfall intensity (inches per hour)}$
 $A = \text{drainage area in acres}$

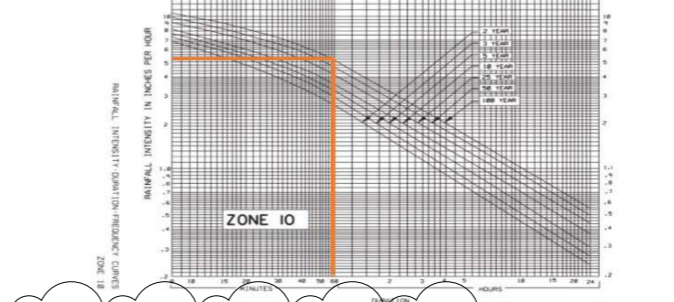
Drainage area & Runoff coefficient

The property at 938 Johnson St, Hollywood's area can be divided into the following areas:

Land cover	Area (acres)	Runoff coefficient
Lawn	0.0473	0.2
Green pavers	0.0130	0.6
Pool	0.0062	0.0
Concrete	0.0165	0.9
Roof	0.0374	1
Weighted runoff coefficient		0.58

Rainfall intensity

According to the Section 06, Chapter 11 of the IPC 2024, a 100-YEAR, 1-HOUR RAINFALL must be considered for rainwater management design. From Zone 10's IDF Curve by Florida Department of Transportation, rain fall intensity for the property located at 938 Johnson St, Hollywood is 5.2 in/hr.



SWALE CALCULATION

Typical depth for swale is 3"
 Proposed swale width is 3'
 Swale in the rear yard has a total length of: 55'
 Swale in the front yard has a total length of: 44'

The total volume for the swales proposed is:
 $55' + 44' = 99' \times 3' \times 6" = 148.5 \text{ ft}^3$

NOTE:

The infiltration trenches proposed are already capable of retaining all rainfall water from the project site by themselves.

According to the calculations, 136ft of trench length are required to retain all rainfall water from the project site, however to maintain symmetry on the site an additional trench was placed along the west lot line.

PROPOSED: 160' REQUIRED: 136'

Swales volume are an additional help in order to prevent runoff along N, S and W property lines.

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938 Johnson St

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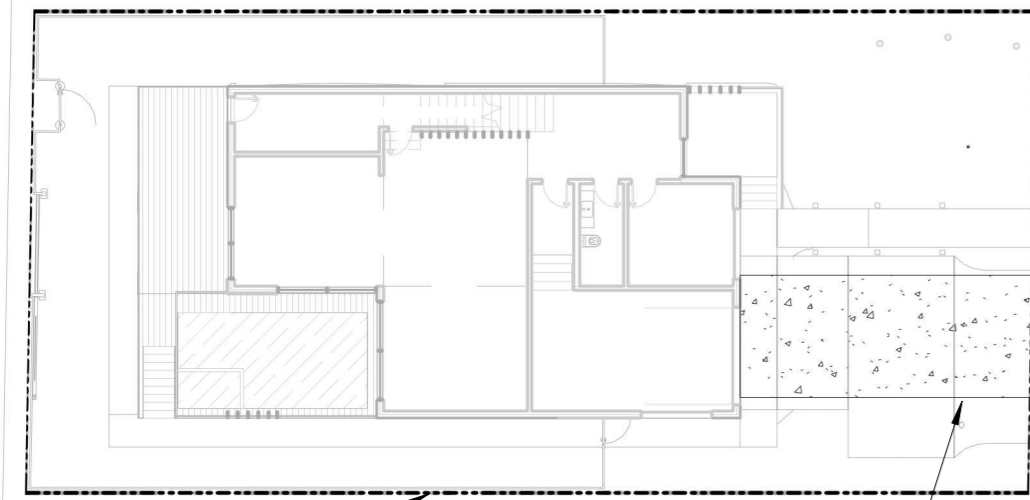
Project Manager: AD Drawn By: SS

Date: 10/07/24 Reviewed By: CT

Project ID: 2307_938JNS

Sheet Title: P, G & D DETAILS

Sheet No. C03



PROPOSED SILT FENCE
OVERALL PLAN
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

GENERAL NOTES:

THE CONTRACTOR SHALL OBTAIN AN EROSION AND SEDIMENTATION CONTROL AGREEMENT FROM THE CITY OF HOLLYWOOD. THE CONTRACTOR SHALL EXECUTE THE WORK AUTHORIZED IN A MANNER SO AS TO MINIMIZE ANY ADVERSE IMPACT OF THE WORKS ON NATURAL ENVIRONMENTAL VALUES, WATER QUALITY, FISH, AND WILDLIFE. CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING FILL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED STRUCTURES, TO REDUCE EROSION, TURBIDITY, NUTRIENT LOADING AND SEDIMENTATION ON THE RECEIVING WATERS. ANY EROSION SHOALING OR DELETERIOUS DISCHARGES DUE TO CONTRACTOR'S ACTIONS SHALL BE CORRECTED PROMPTLY.

FOR SITES THAT ARE 1 ACRE OR BIGGER, AT LEAST TWO DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL ISSUE A NOTICE OF INTENT (N.O.I) TO THE FLORIDA DEP, IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.

A COPY OF THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NOTICE OF INTENT (N.O.I.) SHALL BE POSTED AT THE CONSTRUCTED SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING.

CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. IN PARTICULAR, SEDIMENT AND EROSION CONTROLS AND STORM WATER MANAGEMENT MEASURES SHALL BE STRICTLY FOLLOWED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION, SEDIMENTATION AND STORM WATER MANAGEMENT MEASURES FOR THE DURATION OF THE PROJECT. ONCE THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY STORM WATER MANAGEMENT MEASURES AND SHALL DISPOSE THEM ACCORDING TO CODE.

EROSION AND SEDIMENTATION CONTROLS:

- CONTRACTOR SHALL INSTALL A TYPE III SILT FENCE, AS PER FDOT STANDARD INDEX NO. 102, AROUND THE LIMITS OF CONSTRUCTION PRIOR TO ANY DEMOLITION, FILLING OR GRADING OF ANY PORTIONS OF THE SITE.
- PROPOSED INLETS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF HAY BALES AS PER FDOT STANDARD INDEX NO. 102.
- A GRAVEL ACCESS ROAD SHALL BE CONSTRUCTED TO MINIMIZE THE EFFECTS OF TRUCK TRAFFIC AND SEDIMENTATION TRACKING BOTH ON AND OFF OF THE SITE.
- TOP OF SOIL PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE SEEDING SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING.

NOTES FOR SYNTHETIC BALES OF BALE TYPE BARRIERS:

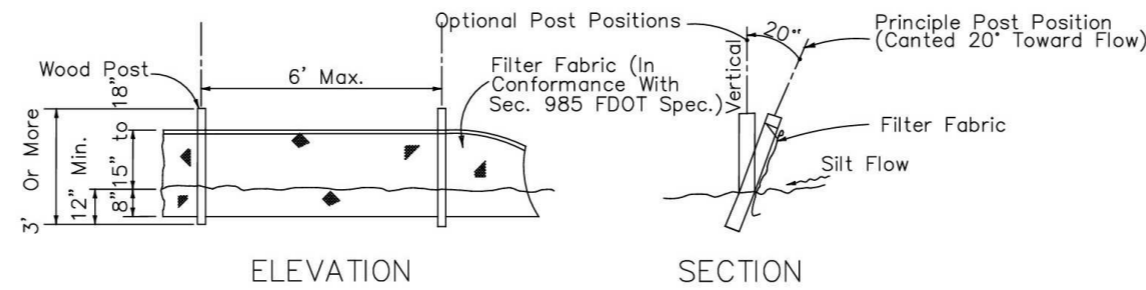
- TYPE 1 AND 2 SYNTHETIC BARRIER SHOULD BE SPACED ACCORDINANCE WITH CHART 1, SHEET 1 PER INDEX 102 OF THE 2010 FDOT DESIGN STANDARDS.
- BALES SHALL BE ANCHORED WITH 2-1" x 2" (FOR 1" DIA.) x 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
- RAILS AND POSTS SHALL BE 2" x 4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER.
- WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

SEQUENCE OF MAJOR ACTIVITIES:

- INSTALL TYPE III SILT FENCE AT BOUNDARIES OF PROPOSED CONSTRUCTION.
- COMMENCE SITE CONSTRUCTION ACTIVITIES.
- AS PROPOSED INLETS ARE CONSTRUCTED, INSTALL SYNTHETIC SILT BARRIER.
- INSTALL TEMPORARY SEED AND MULCH IN AREAS WHERE CONSTRUCTION TEMPORARILY CEASES FOR AT LEAST 21 DAYS NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
- INSTALL PERMANENT SEEDING AND PLANTING IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
- REMOVE ACCUMULATED SEDIMENT.
- REMOVE TEMPORARY POLLUTION PREVENTION MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE OF ACCORDING TO CODE.

OTHER CONTROLS:

- ALL CONSTRUCTION WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURELY METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
- DUMP TRUCKS IMPORTING FILL MATERIALS TO THE SITE SHALL COVER THEIR LOADS WITH A TARPULIN TO AVOID UNNECESSARY GENERATION OF DUST.
- ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF AS PER LOCAL AND/OR STATE REGULATIONS OR AS RECOMMENDED BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- A STABILIZED CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE SHALL BE SWEEP DAILY TO REMOVE ANY EXCESS OF MUD, DIRT, OR ROCK TRACKED FROM THE SITE.

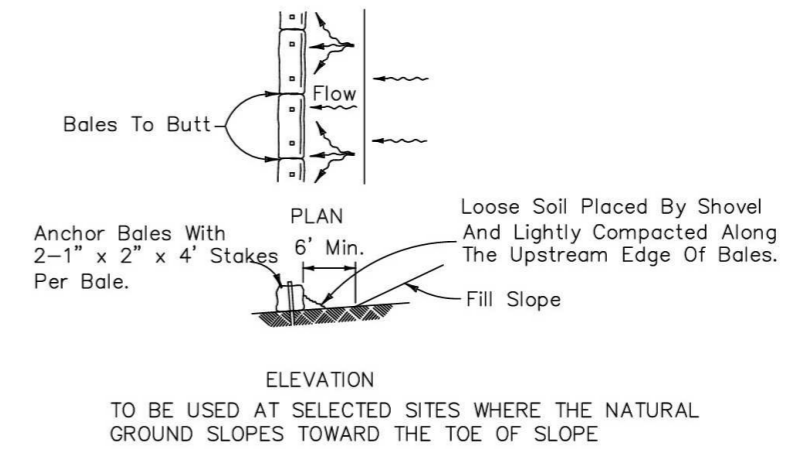


Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE DETAIL
AS PER FDOT INDEX NO. 102

MAINTENANCE AND INSPECTION PROCEDURES:

- THE GENERAL CONTRACTOR'S SITE SUPERINTENDENT SHALL SELECT AN INDIVIDUAL WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION MAINTENANCE REPORT. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE PROPER TRAINING IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREA THEY PROTECT HAS BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION IS COMPLETE.
- BUILT UP SEDIMENT WILL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE THIRD OF THE HEIGHT OF THE FENCE.
- SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND IF FENCE POSTS ARE FIRMLY IN THE GROUND.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- THE INSPECTOR SHALL RECORD ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON AN INSPECTION REPORT FORM PROVIDED FOR THIS PURPOSE. THESE REPORTS SHALL DOCUMENT THE INSPECTION OF ALL POLLUTION PREVENTION MEASURES AND SHALL ALSO BE USED TO REQUEST MAINTENANCE AND REPAIR. THE CONTRACTOR SHALL CORRECT DAMAGE OR PROVIDE MAINTENANCE AS RECOMMENDED BY REPORT AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION. FAILURE TO DO SO SHALL BE REPORTED TO THE DEP.



BARRIERS FOR FILL SLOPES
AS PER FDOT INDEX NO. 102

MAINTENANCE REPORT SAMPLE FORM

STORMWATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM
(Required for all projects one (1) acre or larger)

PROJECT: _____

This form is to be completed every seven (7) days and within twenty-four (24) hours of a rainfall event of 0.50 inches or greater. Copies of these forms shall be retained for a period of at least three (3) years.

Contractor: _____ Date: _____
Contractor's Representative: _____
Owner's Representative: _____
Emergency Phone Number: _____
Days since last rainfall: _____ Amount this period: _____

SEDIMENTATION AND EROSION CONTROLS

Temporary Stabilization Controls: _____
Permanent Stabilization Controls: _____
Inlet Protection: _____
Outfall Protection: _____
Silt Fences: _____
Other: _____
Corrective Measures Taken Since Last Report: _____

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DRAWINGS SHOULD NOT TO BE SCALED

Project Title

Single family House

938 Johnson St

3	05/31/2024	Eng. - Landscaping Comments
2	05/15/2024	Eng. - Landscaping Comments
1	03/04/2024	Eng. - Landscaping Comments

REV DATE DESCRIPTION

Project Manager AD Drawn By SS

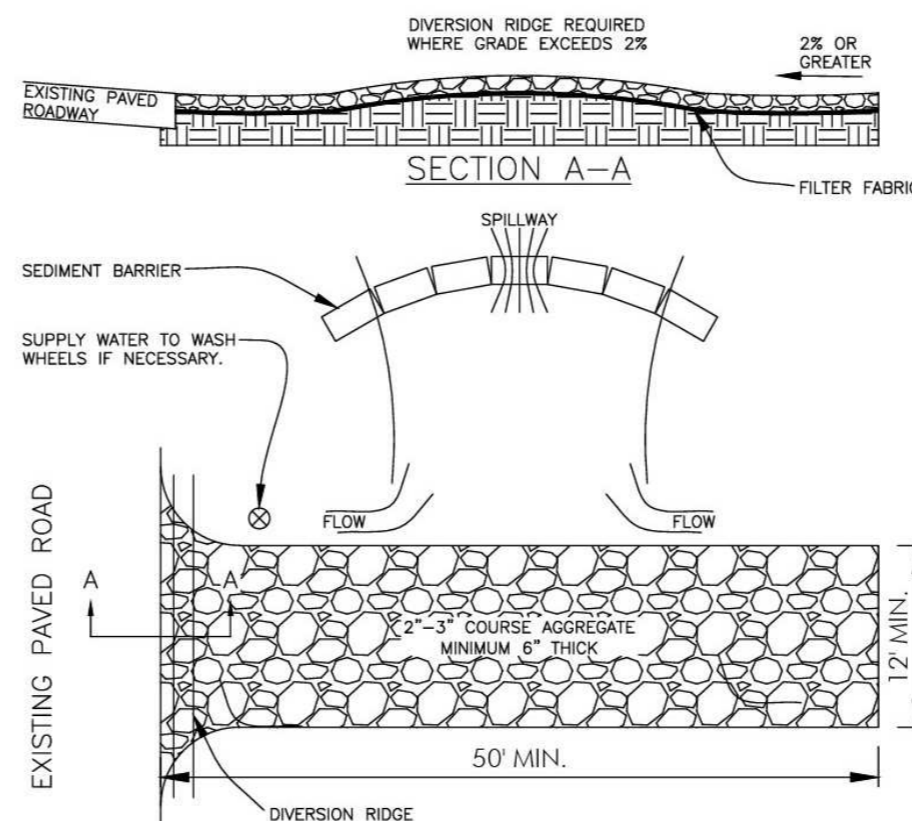
Date 10/07/24 Reviewed By CT

Project ID 2307_938JNS

Sheet Title WATER POLLUTION PREVENTION PLAN

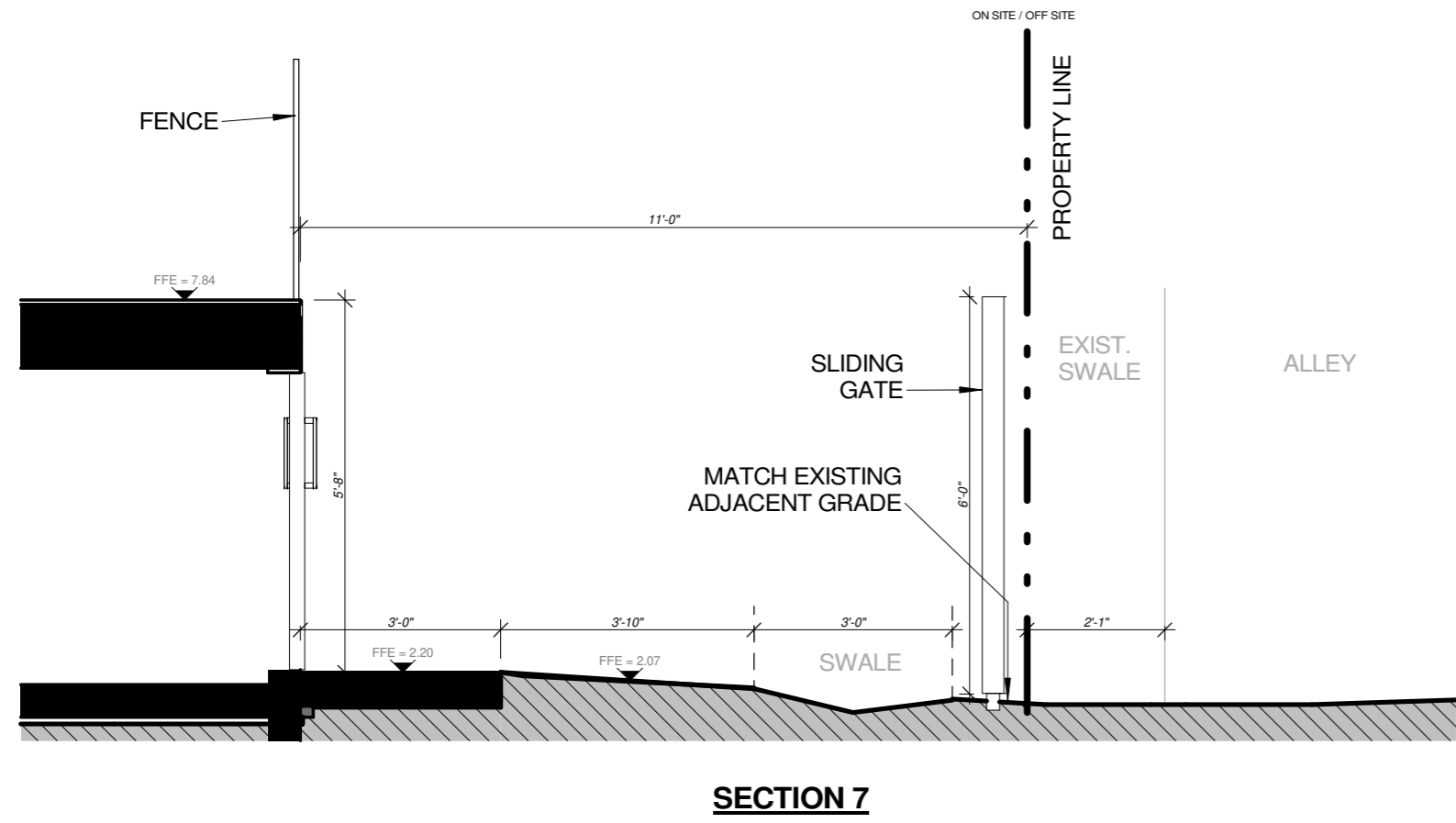
Sheet No.

C04



- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING T.G.C.E. AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED.
- A SOIL TRACKING PREVENTION DEVICE (STPD) IS AN ACCEPTABLE ALTERNATIVE TO THIS DETAIL. REFERENCE FDOT INDEX 106 FOR DETAILS.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



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DRAWINGS SHOULD NOT TO BE SCALED

Project Title

Single family House

938 Johnson St

3	05/31/2024	Eng - Landscaping Comments
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1	03/04/2024	Eng - Landscaping Comments

REV	DATE	DESCRIPTION
Project Manager		Drawn By
AD		SS
Date	Reviewed By	
10/07/24	CT	

Project ID
2307_938JNS

Sheet Title
P, G & D SECTION

Sheet No.
C05

Management and Storage of Surface Waters

Exfiltration Trench Calculation

The currently accepted equation for the design of exfiltration trenches within the South Florida Water Management District (SFWMD) manual is presented below, with the description of the appropriate parameters.

$$L = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u} \quad (\text{Eq 01})$$

Where:

L = trench length (ft)

FS = factor of safety; no less than 2.0

%WQ = percent reduction in required water quality (WQ) treatment volume based on method of WQ treatment: 50% for wet/dry retention.

V_{wq} = volume of WQ treatment provided by trench in one hour (ac-in/hr); greater of one-inch over total project area or 2.5 inches multiplied by the percentage impervious over the total project area less water management areas

K = hydraulic conductivity (cfs/ft²-ft head)

H₂ = head on saturated surface (ft) = **EL_{inv}** – **CE**

where:

EL_{inv} = invert elevation of lowest weir/bleeder allowing discharge from trench (ft NGVD or ft NAVD)

CE = control elevation (ft NGVD or ft NAVD)

W = trench width (ft)

D_u = unsaturated trench depth (ft) = **EL_{top}** – **CE**

where:

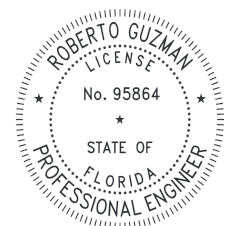
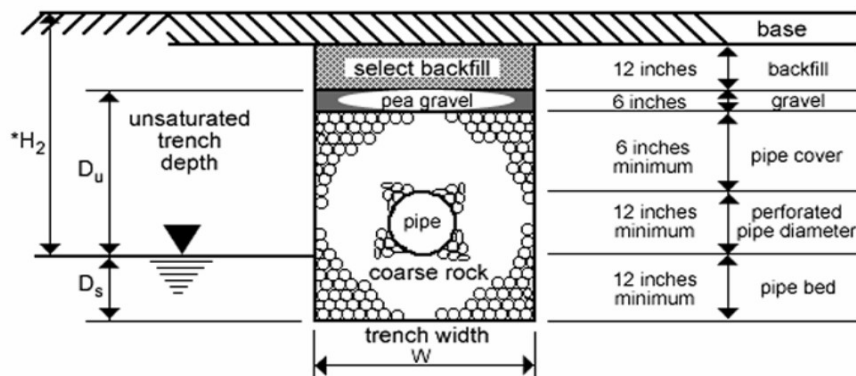
EL_{top} = top elevation of trench (ft NGVD or ft NAVD)

D_s = saturated trench depth (ft) = **CE** - **EL_{bot}**

where:

EL_{bot} = bottom elevation of trench (ft NGVD or ft NAVD)

TYPICAL EXFILTRATION TRENCH



For those situations when either:

(1) the saturated depth of trench is greater than the non-saturated depth of trench ($D_u > D_s$); or

(2) the trench width is greater than two times the total trench depth ($W > 2(D_u + D_s)$),

the proportional assumptions for flow through the trench bottom are probably not valid. A conservative design formula for use in these cases would be:

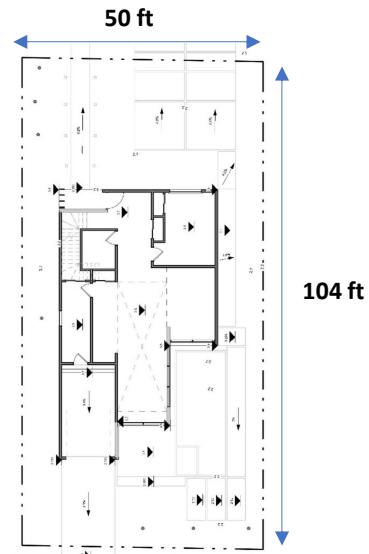
$$L = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K(2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u} \quad (\text{Eq 02})$$

NOTE: The formulas derived to calculate exfiltration trench length are based on a one-hour time of exfiltration. This is representative of the majority of rainfall events being of small magnitude and short duration.

Project Information

Property address: **938 Johnson St,
Hollywood, FL 33019**
 Property elevation: **1.87 ft**
 Groundwater table: **1 ft NAVD**

Catchment area		
Length	104.00 ft	ft
Width	50.00 ft	ft
Area	5,200.00 SQ.FT	SQ.FT

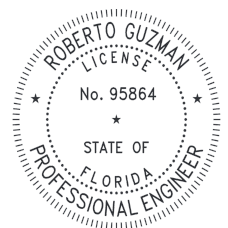


For redeveloped driveways on private properties, the first **2-inches** of stormwater runoff at the front/lowest part of the driveway need to be captured through an exfiltration trench.

According to the equation presented at the SFWMD manual, the volume of water to be considered must be the greatest between one-inch over total project area or 2.5 inches/hour (0.208 ft/hour) multiplied by the percentage of impervious area at the project.

For this specific project, we'll use the 2.5 inches/hour (0.0832 ft/hour), and according to statement above:

$$\begin{aligned} V_{wq} &= 0.083 \text{ ft/hour} \times 5,200.00 \text{ SQ.FT} \\ V_{wq} &= 432.64 \text{ ft}^3/\text{hour} \\ V_{wq} &= \mathbf{0.12 \text{ acre-inch}} \end{aligned}$$



Exfiltration Length Calculation

FS:	<u>2.00</u>	per SFWDMD requirement
%WQ:	<u>0.50</u>	per SFWDMD requirement
Vwq:	<u>0.12 acre-inch</u>	Given
Vadd:	<u>0.00 acre-inch</u>	WQ treatment only
K:	<u>0.00005 cfs/sq.ft./ft</u>	Design condition
EL(top):	<u>1.87 ft</u>	Design condition
EL(inv):	<u>0.54 ft</u>	Design condition
CE:	<u></u>	
EL(bot):	<u>1.83 ft</u>	Design condition
W:	<u>3.00 ft</u>	Design condition

H2: EL(inv)-CE 1.00 ft
 The hydraulic head is at 10.5 ft meaning that the water will be properly filtered by the soil present, so the value of 1 ft has been assumed as it is considered to be a more conservative value consistent with the minimum depth required by SFWMD.

Du: EL(top) - CE 3.00 ft
 Since there won't be a saturated surface in the trench, the 3 ft foot value was calculated using the minimal dimensions suggested by the SFWMD.

Ds: CE - EL(bot) 1.00 ft
 The project's ground water table is at 1 ft NAVD, which means it's outside the area that needs to be designed for the trench.

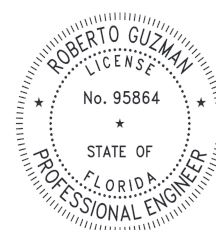
Check for governing equation:

Is Du > Ds?	3.00 > 1.00	TRUE	Du is greater than Ds
Is W < 2(Du + Ds)?	3.00 > 6.00	FALSE	Du is not greater than Ds

∴ Therefore: **The equation 02 is applicable**

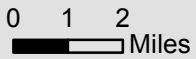
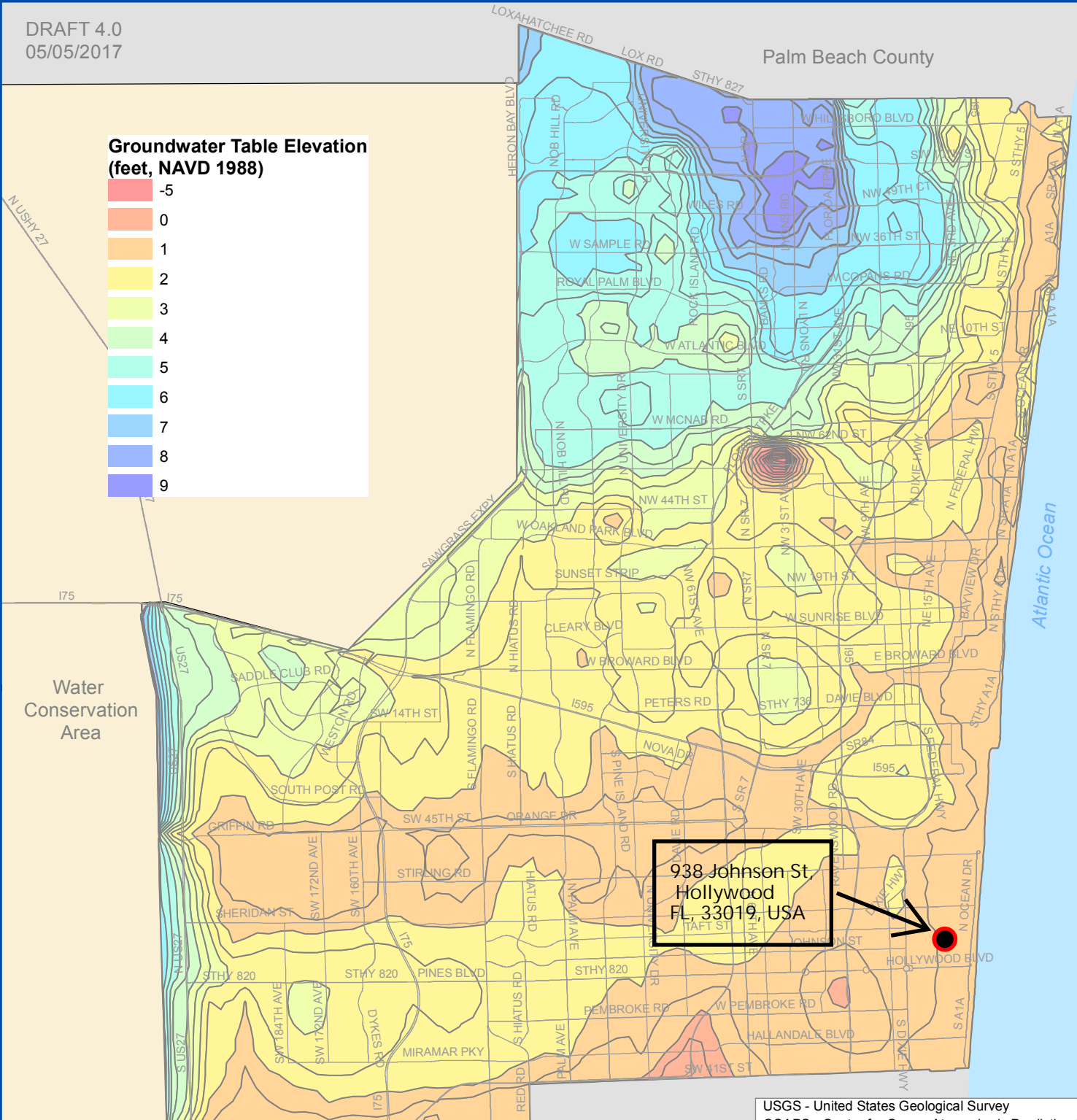
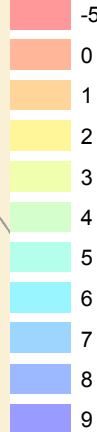
L: **99.08 ft** Using Eq02

The dimensions for Exfiltration Trench for a 5200 SQ.FT catchment area with 0.0832 ft/hour are: 3 ft width, 2 ft height, and 99.08 ft length, according to the SFWMD.



DRAFT 4.0
05/05/2017

Groundwater Table Elevation (feet, NAVD 1988)



Division Name: Environmental Planning and Community Resilience
Department Name: Environmental Protection and Growth Management

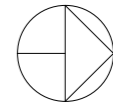
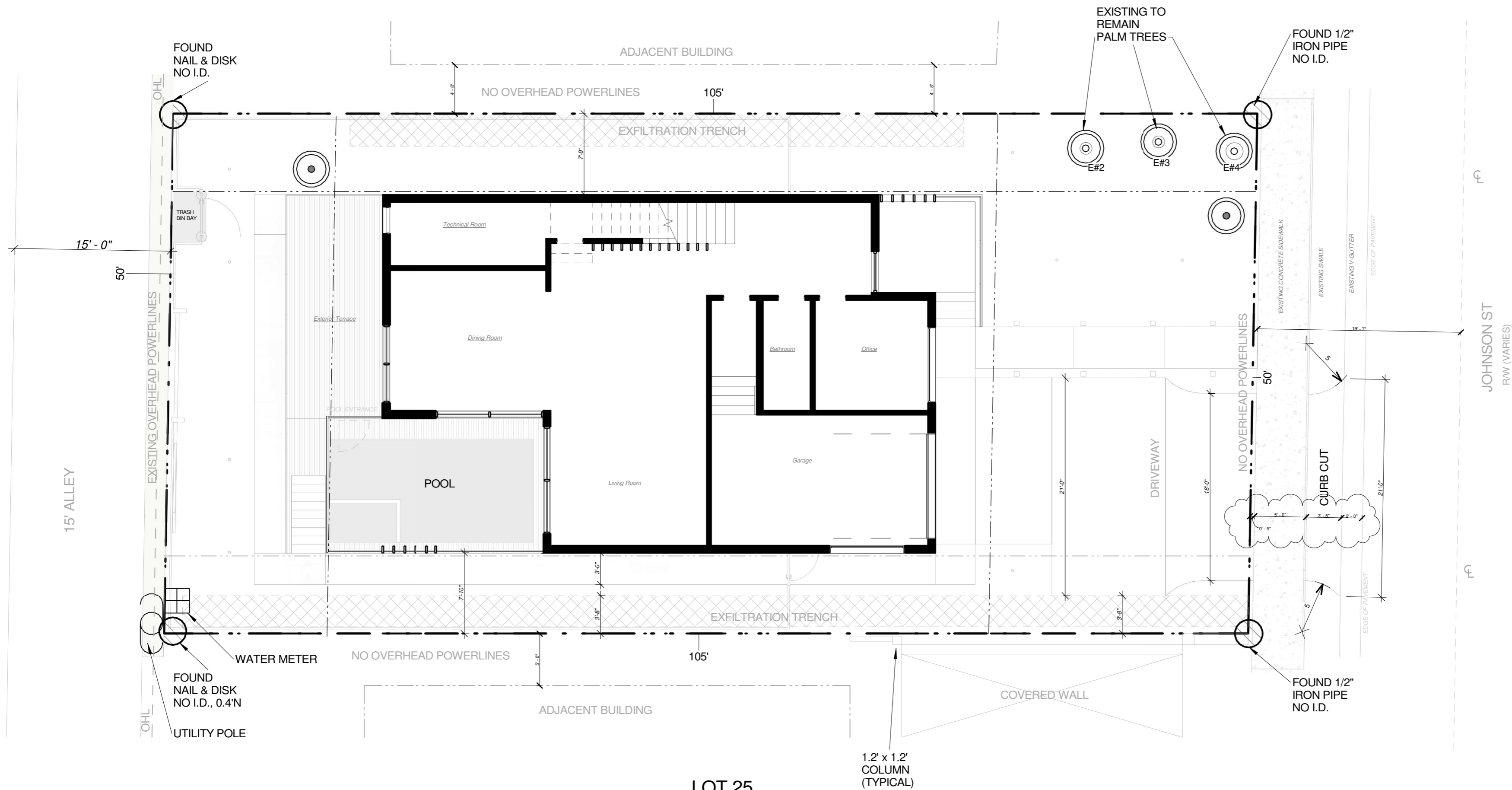
- USGS - United States Geological Survey
- COAPS - Center for Ocean-Atmospheric Prediction Studies
- CCSM - Community Climate System Model
- USACE - United States Army Corps of Engineers
- NRC3 - National Research Council Curve 3
- NAVD 88 - 1988 North American Vertical Datum

The map represents the expected future average wet season groundwater elevations for Broward County. The average is based on model outputs for the months of May through October over the period of 2060-2069. The models used are The Broward County Inundation Model and the Broward County Northern Variable Density model, both developed by the USGS and MODFLOW based. The future conditions that are modified in the models are both precipitation and sea level rise. The future precipitation pattern is based on the COAPS downscaled CCSM global model and represents an increase of 9.1% rainfall from the base case of 1990-1999 (53.4 in/yr to 58.2 in/yr). Sea level rise was based on the USACE NRC3 curve which equates to an increase of 26.6 to 33.9 inches to the future period from 1992 levels. Final results are presented in NAVD 88.

This map is for planning purposes and should not be used for legal boundary determinations.

LOT 27
BLOCK 68

LOT 25
BLOCK 68



1 DIMENSIONED SITE PLAN
1/8" = 1'-0"

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DRAWINGS SHOULD NOT TO BE SCALED

Project Title

Single family House

938 Johnson St

3	05/31/2024	Eng - Landscaping Comments
2	05/15/2024	Eng - Landscaping Comments
1	03/04/2024	Eng - Landscaping Comments

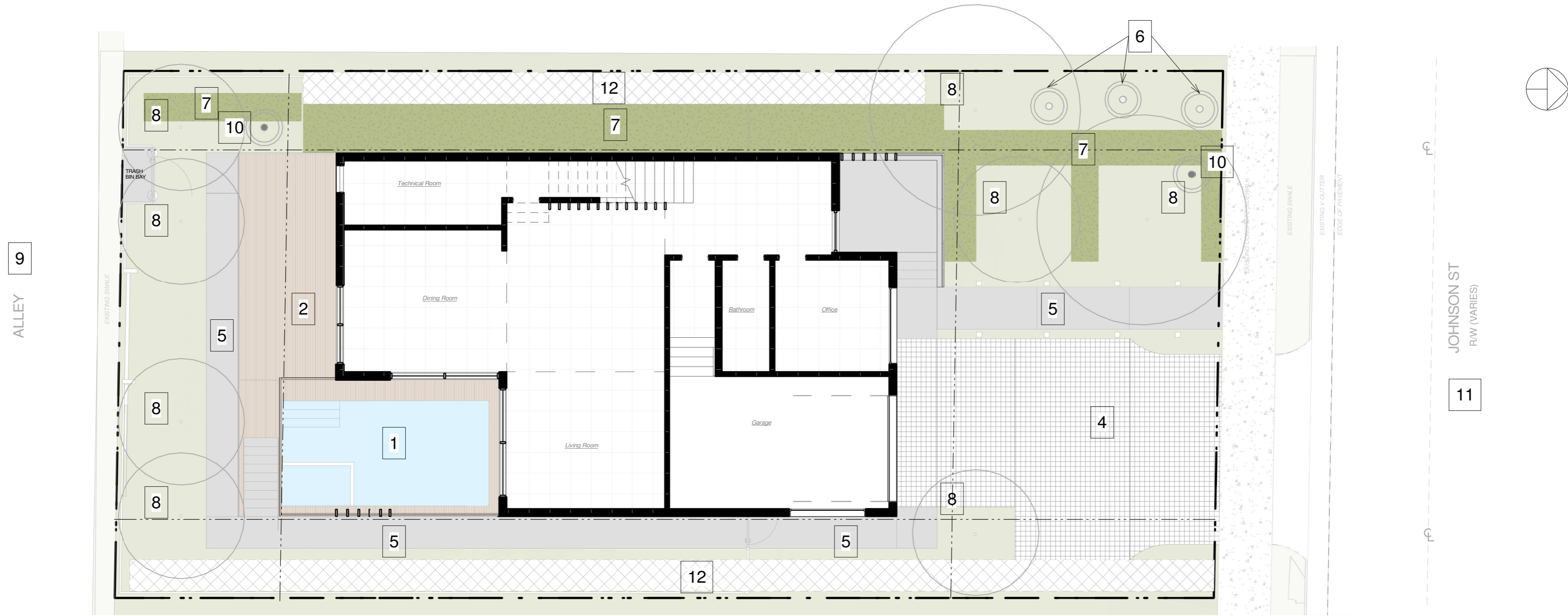
REV	DATE	DESCRIPTION
Project Manager	AD	Drawn By
		SS
Date	10/07/24	Reviewed By
		CT

Project ID
2307_938JNS

Sheet Title
DIMENSIONED SITE PLAN

Sheet No.

L00



1 COLOR SITE PLAN
1/8" = 1'-0"

LEGEND

- | | | | |
|--------------------------|-----------------------------|-------------------|-------------------------------|
| 1 POOL | 4 FRONT DRIVEWAY | 7 SOD AREA | 10 NEW PALM TREE |
| 2 OUTDOOR TERRACE | 5 PEDESTRIAN WALKWAY | 8 NEW TREE | 11 JOHNSON STREET |
| 3 ALLEY DRIVEWAY | 6 EXISTING PALMS | 9 ALLEY | 12 EXFILTRATION TRENCH |

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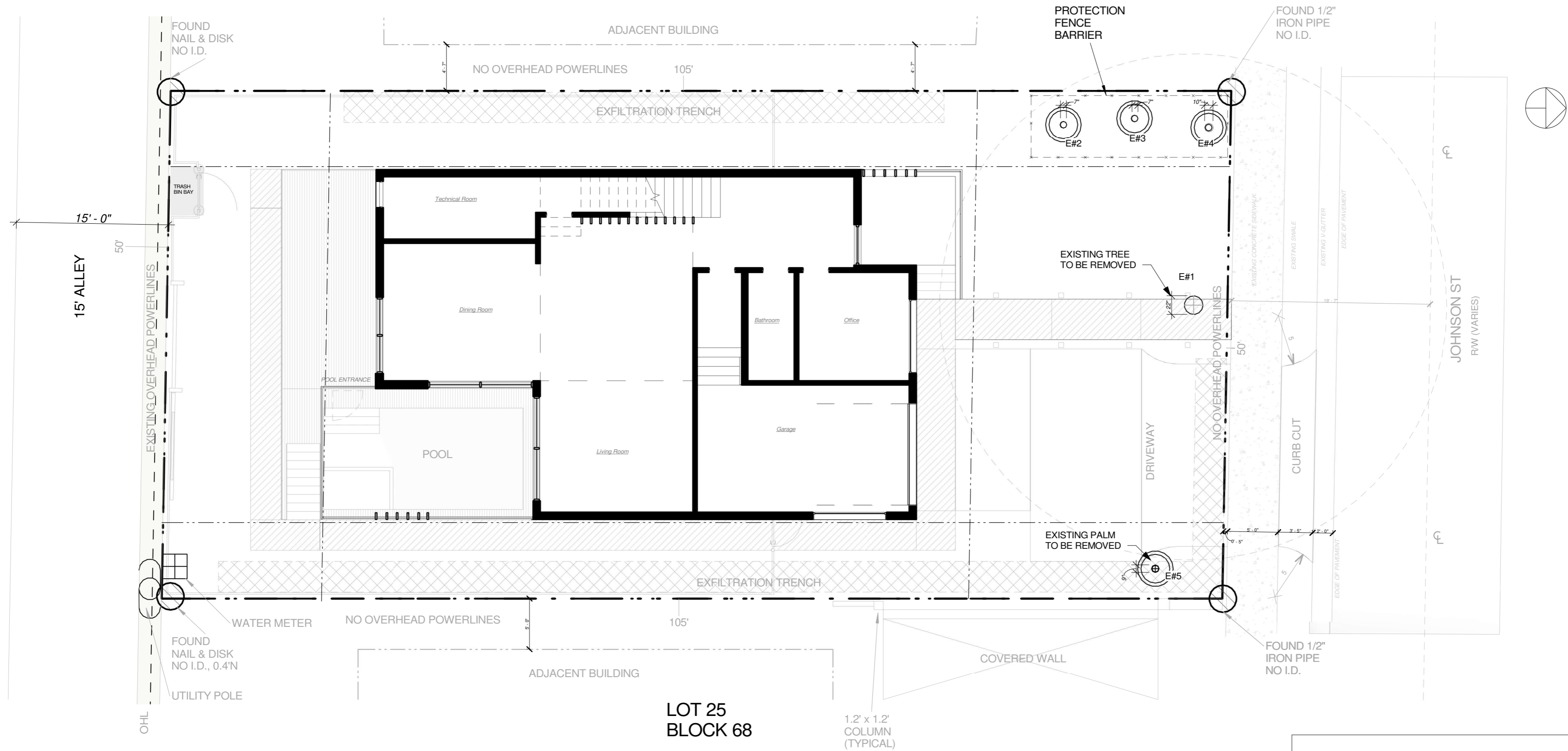
Project ID
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Sheet Title
COLOR SITE PLAN WITH LANDSCAPE

Sheet No.

L01

LOT 27
BLOCK 68



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DRAWINGS SHOULD NOT TO BE SCALED

Project Title

Single family House

938 Johnson St

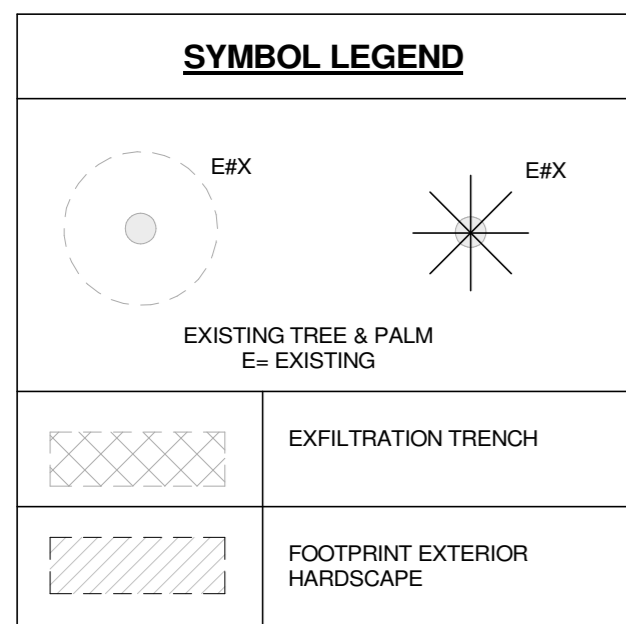
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1	03/04/2024	Eng - Landscaping Comments
REV	DATE	DESCRIPTION
Project Manager		Drawn By
AD		SS
Date		Reviewed By
10/07/24		CT

Project ID
2307_938JNS

Sheet Title
TREE DISPOSITION PLAN

Sheet No.

L02



TREE MITIGATION LIST

#	BOTANICAL NAME	COMMON NAME	DISPOSITION	DBH	OVERALL HEIGHT	SPREAD	MITIGATION REQUIRED	LOCATION
1	Bucida Buceras	Black Olive	TO BE REMOVED	22"	27'	53'	YES	FRONT YARD
2	Cocos Nucifera	Coconut Palm	TO REMAIN	7"	12'	10'	NO	FRONT YARD
3	Cocos Nucifera	Coconut Palm	TO REMAIN	7"	11.5'	12'	NO	FRONT YARD
4	Cocos Nucifera	Coconut Palm	TO REMAIN	10"	11'	10'	NO	FRONT YARD
5	Cocos Nucifera	Coconut Palm	TO BE REMOVED	9"	11.5'	11'	YES	FRONT YARD

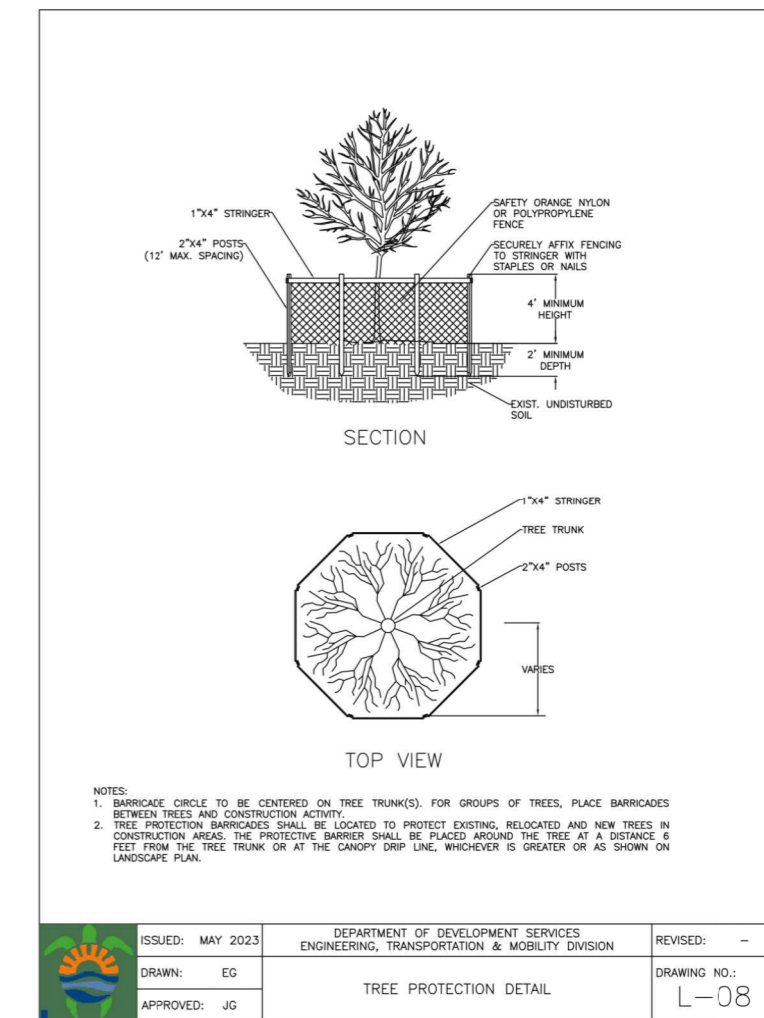
MITIGATION CHART

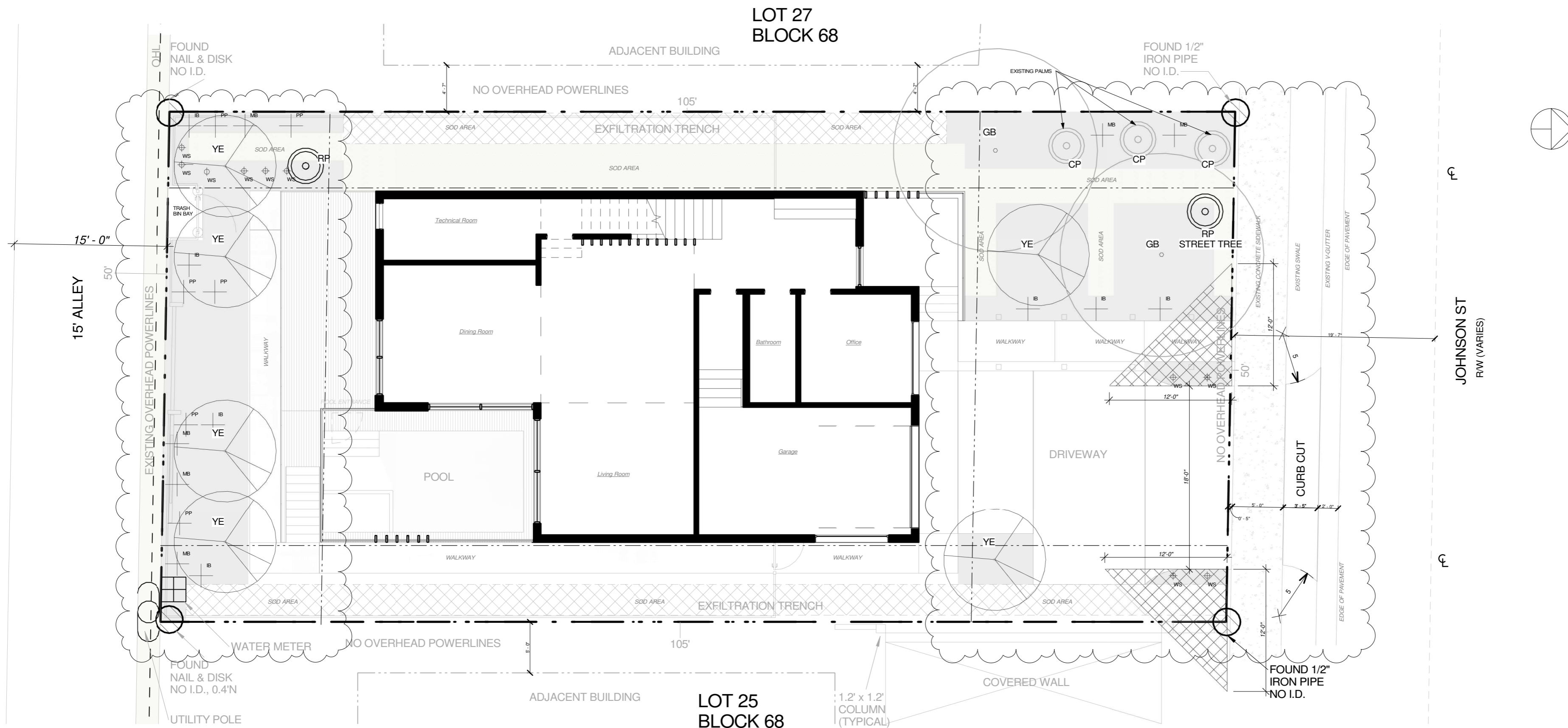
NUMBER	SPECIES	DIAMETER	#	REPLACEMENT	DIAMETER	QTY
1	Black Olive	22"	GB	Green Buttonwood	5"	2
			YE	Yellow Elder	3"	4
5	Coconut Palm	N/A	RP	Royal Palm 8' CT	N/A	1

MINIMUM TREE SIZE
12' HT, 2" DBH

MINIMUM PALM SIZE
8' CT

TOTAL DIAMETER TO REPLACE= 22"
PROPOSED DIAMETER = 5(2) + 4(3) = 22"





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Project Title

Single family House

938 Johnson St

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Project Manager	AD	Drawn By
		SS
Date	10/07/24	Reviewed By
		CT

Project ID
2307_938JNS

Sheet Title
PROPOSED PLANTING PLAN

Sheet No.

PLANT / SYMBOL LEGEND

PROPOSED TREE P= PROPOSED	EXISTING PALM	PROPOSED PALM TREE	PROPOSED ACCENTS & SHRUBS Native Flowering Shrubs
	EXFILTRATION TRENCH		
	SOD AREAS Zoysia Grass		
	GROUNDCOVER & SHRUBS AREA		

NOTE:
Pervious areas are to be sodded or landscaped with living plant material.

PROPOSED SHRUB LIST				
SYMBOL	COMMON NAME	BOTANICAL NAME	HEIGHT	QTY
	Marlberry	Ardisia escallonioides	24"	6
	Pawpaw	Asminia spp.	24"	6
	Inkberry	Scaevola plumeri	24"	6
	Wild sage	Lantana involucrata	36"	10

Mitigation trees are replaced as follows:
-Black Olive is being replaced by 4 Yellow Elders (rear yard) and 2 Green Buttonwood (front yard), reaching a total of 22 inches out of the 22 that were needed.
-The royal palm to be removed is mitigated 1:1 with the proposed royal palm on the rear yard.

Site requirements and street tree (which are in addition to mitigation) are being met as follows:
-2 yellow elders (front yard),
-the existing 3-cluster palm (which counts as one),
-and the proposed street palm on the front yard (meeting the maximum of 50% with palms).

LANDSCAPE REQUIREMENTS RS DISTRICT

OPEN SPACE	A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs. One tree per 1,250 sq. ft. (including any fraction) of front yard area.	Front Yard Area: 1,253.41 ft² (100%) Requires 2 Trees Proposed 4 Trees On-site Front Yard Pervious Open Space: 727.40 ft² (58%)
DESIGN REVIEW AND HISTORIC PRESERVATION BOARD	Single family home projects containing more than 5 dwellings shall comply with Design Review Guidelines for landscaping. If within a Historic Preservation District, landscaping shall comply with the Historic Preservation Board review requirements.	The landscaping should utilize swales and storm drains to carry water away from structures, thus promoting positive drainage to sewer systems. Exfiltration Trench proposed.
IRRIGATION	Provide 100% irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the regulations of the South Florida Water Management District.	-
STREET TREE	1 tree required per 50 lf of street frontage.	Street tree proposed on front yard as a palm as shown on plan. REQUIRED: 1 PROPOSED: 1 (royal palm)

PROPOSED TREE LIST

ID	BOTANICAL NAME	COMMON NAME	DISPOSITION	DBH	OVERALL HEIGHT	GALLON SIZE	DESCRIPTION	QTY
RP	Roystonea elata	Florida Royal Palm	NEW		8' CT	65	SINGLE TRUNK	2
GB	Conocarpus erectus	Green Buttonwood	NEW	5"	16'	100	STD, SINGLE TRUNK, FLORIDA #1	2
YE	Tecoma stans	Yellow Elder	NEW	3"	12'	100	STD, SINGLE TRUNK, FLORIDA #1	6

MINIMUM RECOMMENDED TREES: 4
5 NEW FRONT YARD TREES + 5 NEW REAR YARD = 10 TREES

100% Native Trees
100% Native Groundcover and shrubs

NOTE: ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.

GENERAL PLANTING NOTES AND SPECIFICATIONS:

GENERAL

- EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY TREES OR SHRUBS SCARRED OR DESTROYED DESIGNATED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- EXISTING TREES DESIGNATED TO BE STORED OFF-SITE, SHALL BE PROTECTED AND CARED FOR ACCORDINGLY TO INDUSTRY STANDARD. ANY TREES OR SHRUBS SCARRED OR DESTROYED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES, AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING HIS BID. PLANTING PLAN TO TAKE PRECEDENCE OVER PLANT LIST.
- EXISTING PLANT MATERIAL NOT SHOWN ON THE PLAN AND IN CONFLICT WITH NEW PLANTING SHALL BE EVALUATED AT THE TIME OF NEW PLANTING INSTALLATION BY THE LANDSCAPE ARCHITECT.
- ALL BUILDING CONSTRUCTION MATERIAL AND FOREIGN MATERIAL SHALL BE REMOVED FROM PLANTING AREAS AND REPLACED WITH 80/20 MIX FILL SOIL, OR AS PER SPECIFICATIONS. ALL ISLANDS IN PARKING LOTS AND AROUND BUILDINGS, SHALL BE EXCAVATED TO A DEPTH OF 3" MIN. AND REPLACED WITH 80/20 PLANT MIX, OR AS PER SPECIFICATIONS.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO HAVE SINGLE TRUNK, UNLESS OTHERWISE NOTED ON THE PLANS OR PLANT LIST.
- SITE PREPARATION SHALL INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS, GRASS, AS WELL AS CLEAN-UP OF ANY DEAD MATERIAL AND FINISH GRADING AS PER THE SPECS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- THE LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ANY NEW HARDSCAPE CONSTRUCTION OR IRRIGATION. ANY DAMAGE SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER, AS DEFINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE'S CODES AND STANDARDS FOR NURSERY PLANTS PART I AND II".
- MULCH ALL PLANTING AREAS WITH SHREDDED ORGANIC MULCH TO A MINIMUM DEPTH OF 2". WITH THE EXCEPTION OF BEACH PLANTING.
- ALL PLANTING AREAS WITHIN LIMIT OF WORK SHALL BE 100% FULLY IRRIGATED. THE IRRIGATION CONTRACTOR AWARDED THE BID SHALL COMPLY WITH THE PROPOSED IRRIGATION DESIGN.
- ON-SITE LAYOUT OF PLANT MATERIAL MUST BE COORDINATED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTIONS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE GOVERNING COUNTY AND/OR AN ISSUED ERM TREE OR ENVIRONMENTAL PERMIT.
- TREE PROTECTION BARRIERS MUST BE INSTALLED AT THE DRIP LINES OF ALL TREES AND PALMS TO REMAIN OR BE RELOCATED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES ONSITE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS COMPLETED.
- MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNKS THAT ARE INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES/PALMS PLEASE UTILIZE AMERIGROW (PREMIUM PINEBARK BROWN) SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.
- SHOULD ANY CORRECTIVE STRUCTURAL PRUNING BE NECESSARY FOR TREES PROPOSED TO REMAIN ON SITE, DUE TO CLEARANCE, SAFETY OR FOR CONSTRUCTION RELATED REASONS THE PRUNING SHALL BE DIRECTED OR PERFORMED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION OF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES. THE CITY URBAN FORESTER SHALL BE PROVIDED WITH A WRITTEN COPY OF THE PROPOSED PRUNING PLAN INCLUDING THE REASONS WHY PRUNING IS NECESSARY, PRIOR TO THE PRUNING ACTIVITIES TAKING PLACE.
- CARE SHALL BE TAKEN TO AVOID UTILITY OR CONSTRUCTION TRENCHING THROUGH EXISTING TREE OR PALM DRIPLINES OF TREES SLATED TO REMAIN IN PLACE OR BE RELOCATED. IF CONSTRUCTION REQUIRES THE CUTTING OF ANY ROOTS WITH A DIAMETER OF 2" OR GREATER, ROOTS SHALL BE CLEANLY CUT WITH A SHARP TOOL, AS DIRECTED BY AN ISA CERTIFIED ARBORIST, AND IN ACCORDANCE WITH THE ANSI A-300 STANDARDS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL TO PREVENT DRYING. ROOTS SHOULD NOT BE TORN OR BROKEN BY HEAVY EQUIPMENT, AND SHREDDED, RAGGED OR BROKEN ROOTS ENDS SHOULD BE NOTED AND REVIEWED WITH THE LANDSCAPE ARCHITECT PRIOR TO ANY ROOT PRUNING TAKING PLACE.

HANDLING AND TRANSPORTATION

- TREES/PALMS SHALL BE PROPERLY HANDLED DURING EXCAVATION, MOVING, STORAGE, RELOCATION, AND REPLANTING. DO NOT SCAR OR OTHERWISE DAMAGE TRUNKS AND BRANCHES, AND AVOID BREAKING LIMBS, BRANCHES, AND FRONDS. DAMAGE TO TREE/PALM MAY BE CAUSED BY ITS REJECTION, AND MAY REQUIRE MITIGATION REPLACEMENT BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUAL WATERING OF ALL RELOCATED TREES/PALMS DURING MAINTENANCE PERIOD, UNTIL FINAL ACCEPTANCE OF ALL WORK BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE/PALM PROTECTION. INSTALL BARRICADE OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH TO ENCOMPASS THE DRIPLINE OF THE TREE/PALM. BARRICADE SHALL BE PLUMB, TAUT, AND STURDY. BARRICADE TO BE LEFT UP AND MAINTAINED UNTIL DIRECTED TO REMOVE BY LANDSCAPE ARCHITECT.

WARRANTY

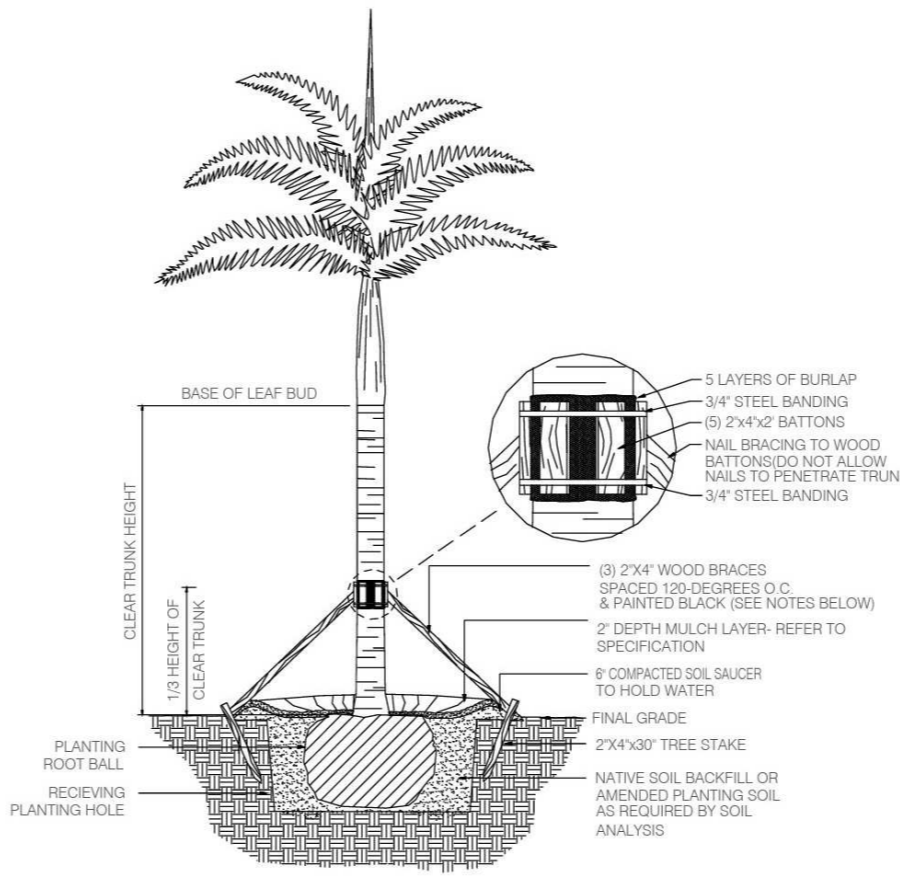
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE FOR ALL RELOCATED TREES/PALMS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR CLIENT.
- LANDSCAPE CONTRACTOR SHALL REMOVE COMPLETELY AND DISPOSE OF OFF-SITE, ANY RELOCATED TREE/PALM THAT FAILS TO THRIVE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- FOR ANY RELOCATED TREE/PALM REMOVED DUE TO ITS FAILURE TO THRIVE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND INSTALLING WITH A SPECIMEN OF EQUAL OR GREATER SPECIFICATION OF ORIGINAL. REPLACEMENT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION OR INSTALLATION.

INSTALLATION

- VERIFY ALL UNDERGROUND CONSTRUCTIONS OR OBSTRUCTION (UTILITIES, SEPTIC SYSTEMS, ETC.) ARE IDENTIFIED, LOCATED AND CLEARLY MARKED AS APPROPRIATE PRIOR TO EXCAVATION OF PLANTING PITS FOR RELOCATED TREES AND PALMS. ANY UNKNOWN OBJECTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO INSTALLING AND BACKFILLING.
- LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
- PLANTING PITS SHALL BE A MINIMUM OF TWO (2) TIMES LARGER IN DIAMETER AND ONE AND A HALF (1-1/2) TIMES LARGER IN DEPTH THAN THE ROOT BALL.
- ROUGHEN SIDES AND BOTTOM OF PIT.
- AFTER EACH PLANTING PIT IS EXCAVATED, PLACE SUFFICIENT PLANTING MIX IN BOTTOM OF EXCAVATION, AND SEAT PLANT, INSURING TOP OF ROOT BALL IS FLUSH WITH IMMEDIATELY ADJACENT FINAL OR PROPOSED GRADE.
- LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION. REFER TO HARDSCAPE PLANS AND CIVIL ENGINEER'S GRADING PLANS FOR PROPOSED SITE ELEVATIONS.
- LANDSCAPE CONTRACTOR TO INSURE ALL ROOT FLARES ARE EXPOSED.
- CENTER EACH RELOCATED TREE/PALM IN ITS PLANTING PIT AND BACKFILL WITH SPECIFIED PLANTING MIX.
- PLACE PLANTING MIX IN 12 INCH LIFTS/LAYERS AROUND ROOT BALL AND COMPACT UNTIL ALL VOIDS ARE FILLED WITH COMPACTED PLANTING MIX.
- BUILD SOIL SAUCER OF MOUNDED EXCAVATED SOIL AROUND PERIMETER OF EACH PLANTING PIT TO FORM WATERING BASIN. MULCH TO A DEPTH OF 3".

LANDSCAPE NOTES:

- ALTERNATIVE PLANT SPECIES FOR REQUIRED LANDSCAPE MAY BE PERMITTED SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF HOLLYWOOD PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- ALL PROHIBITED EXOTIC OR INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRE SITE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE MUST BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- NO CYPRESS MULCH TO BE USED ON-SITE. EUCALYPTUS OR MELALEUCA MULCH IS TO BE USED IN A 3" CONSISTENT LAYER IN ALL PLANTING BEDS.
- ENHANCE LANDSCAPE BEYOND MINIMUM REQUIREMENTS WILL CONFORM TO ALL APPLICABLE SECTIONS OF THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD AT MATURE HEIGHT CONFLICT WITH OVERHEAD POWERLINES.
- TREE SPECIES SHALL BE SELECTED AS TO MINIMIZE CONFLICTS WITH EXISTING OR PROPOSED UTILITIES.
- SEE ENGINEERS PLANS FOR ALL UNDERGROUND & OVERHEAD UTILITIES AND FIELD LOCATE ALL PRIOR TO INSTALLATION. CONTACT ARCHITECT / OWNER REGARDING ANY CONFLICTS.
- LANDSCAPE ADJACENT TO VEHICULAR TRAFFIC TO BE MAINTAINED TO PRESERVE SITE LINE VISIBILITY.
- TREE RELOCATION NOTE: DO NOT RELOCATE WITHOUT OBTAINING PERMIT FROM THE CITY OF HOLLYWOOD, EXISTING TREES TO BE RELOCATED REQUIRE ROOT PRUNING BY A QUALIFIED PROFESSIONAL PRIOR TO RELOCATION. IF THE TREE(S) DOES NOT SURVIVE AFTER RELOCATION AND IS DEAD OR IN POOR HEALTH AT TIME OF FINAL INSPECTION, MITIGATION WILL BE REQUIRED THROUGH PAYMENT INTO THE TREE PRESERVATION FUND EQUAL TO \$350 PER EVERY 2" OF MITIGATION OWED.
- IRRIGATION NOTE: ALL LANDSCAPED AREAS SHALL RECEIVE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES, SOUTH FLORIDA WATER MANAGEMENT DISTRICT & APPLICABLE STATE CODES.

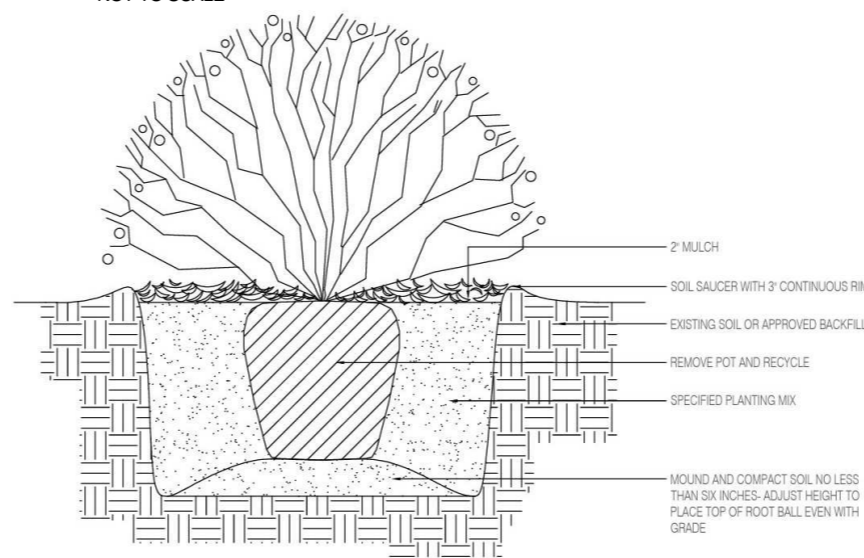


NOTES

- PALMS OVER 30' GW HEIGHT, USE MINIMUM (4) 4X4 BRACING AND STAKES.
- PRIMARY STAKES SHOULD BE PLACED PARALLEL TO WALKWAYS WHENEVER POSSIBLE.
- RECEIVING PLANTING HOLE SHALL BE APPROXIMATELY 1/3 LARGER THAN ROOTBALL.
- BUD SHALL BE PERPENDICULAR TO THE GROUND PLANE.
- TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES.
- NO SCARRED OR BLACKENED TRUNKS.
- AMENDED SOIL MIX, TO BE ADDED AT THE TIME OF PLANTING IF NEEDED. SHALL CONSIST OF A RATIO MIX OF 80% CLEAN SILICA SAND AND 20% SCREENED, PULVERIZED TOPSOIL AS NEEDED.

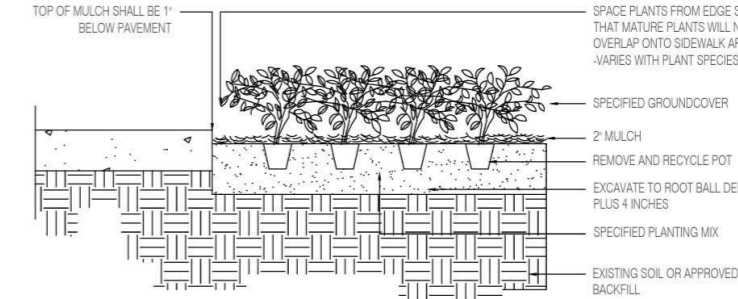
PALM PLANTING AND STAKING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

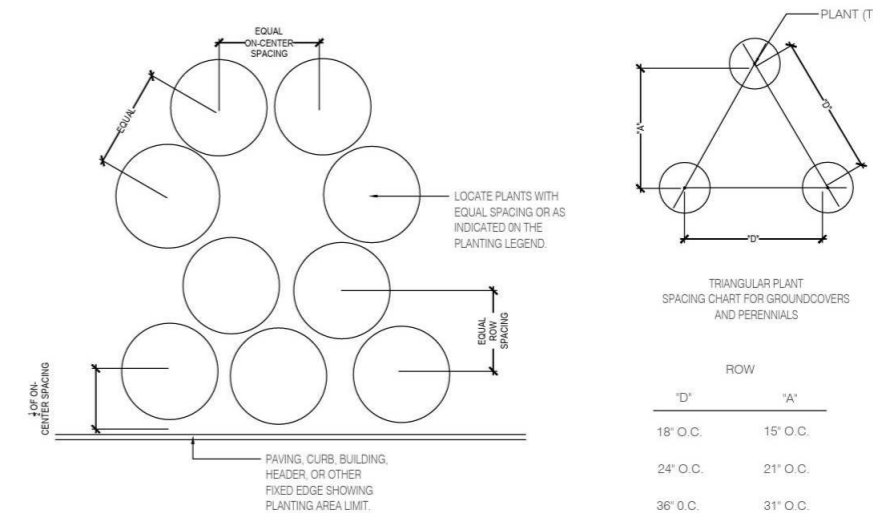


NOTE

1.) SEE PLANTING PLAN FOR SPACING.

GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



SHRUB SPACING GROUNDCOVER & PERENNIAL SPACING

PLANT SPACING DETAIL

NOT TO SCALE



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DRAWINGS SHOULD NOT TO BE SCALED

Project Title

Single family House

938 Johnson St

3	05/31/2024	Eng - Landscaping Comments
2	05/15/2024	Eng - Landscaping Comments
1	03/04/2024	Eng - Landscaping Comments

REV	DATE	DESCRIPTION
Project Manager		Drawn By
AD		SS
Date	10/07/24	Reviewed By
		CT

Project ID
2307_938JNS

Sheet Title
PLANTING NOTES & DETAILS

Sheet No.

L04