

# ATTACHMENT XVI

Resolutions from other Hollywood  
Schools

ORDINANCE NO. 0-2014-04

(13-DJPVZ-79)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, CHANGING THE ZONING DESIGNATION OF THE PROPERTY LOCATED AT 2025 MCKINLEY STREET FROM IM-1 (LOW INTENSITY INDUSTRIAL AND MANUFACTURING DISTRICT) TO PD (PLANNED DEVELOPMENT DISTRICT); AND APPROVING THE MASTER DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (HEREINAFTER KNOWN AS "HOLLYWOOD CHARTER ACADEMY MASTER DEVELOPMENT PLAN"); AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION.

WHEREAS, the Zoning and Land Development Regulations provide that an application for a change of zone may be filed; and

WHEREAS, an application (13-DJPSVZ-79) was filed with the Department of Planning and Development Services including a request for a change of zoning designation from IM-1 (Low Intensity Industrial and Manufacturing District) to PD (Planned Development District), for property located at 2025 McKinley Street, with approximately 10.52 net acres (approximately 458,260 square feet) as more particularly described in Exhibit "A" (subject parcel) attached hereto and incorporated herein by reference and approval of a Master Development Plan; and

WHEREAS, the purpose of this request for change in zoning designation is to allow the development of the site for an approximate 125,000 square-foot charter school; and

WHEREAS, the existing property has a current City zoning designation of IM-1 (Low Intensity Industrial and Manufacturing District) and an Existing Land Use Designation of Regional Activity Center; and

WHEREAS, the subject property is adjacent to Low Intensity Industrial and Manufacturing District (IM-1) on the North, South, and West, and Medium Density Multiple Family District (RM-12) on the East; and

WHEREAS, the PD ordinance requires that a Master Development Plan be submitted by the Applicant for review by City Staff and the Planning and Development Board; and

WHEREAS, such Master Development Plan shall include (1) a boundary survey; (2) schematic representation of the land uses; (3) delineation of internal circulation; (4) points of connection of the local streets to the trafficways; (5) general location and size of any community facility to be included in the PD; (6) an indication of existing vegetation and other natural features with plans for conservation and mitigation; (7) schematic depiction of existing and proposed surface water management elements; and

(8) schematic depiction of the water distribution and wastewater collection facilities and drainage system; and

WHEREAS, the Director, Assistant Director, and the Planning Manager (the "Staff"), following analysis of the proposed Master Development Plan and its associated documents, have determined that the proposed Plan is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood Comprehensive Plan, and have therefore recommended that the Master Development Plan be approved; and

WHEREAS, Staff, following analysis of the application and its associated documents, have determined that the proposed change of zoning district is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood Comprehensive Plan and the City-Wide Master Plan, and have therefore recommended that it be approved; and

WHEREAS, on February 13, 2014, the Planning and Zoning Board met and reviewed the above noted request for a change of zoning to PD (Planned Development District) and, approval of the proposed Master Development Plan, and have forwarded a recommendation of approval to the City Commission; and

WHEREAS, the City Commission finds that the rezoning request to PD (Planned Development District) along with the approval of the Master Development Plan are consistent with the Zoning and Land Development Regulations, are consistent with the City of Hollywood's Comprehensive Plan, and is in the bests interest of the citizens of the City of Hollywood; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the Applicant has presented competent substantial evidence that the requested rezoning request to PD is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood's Comprehensive Plan, and there is no legitimate public purpose in maintaining the existing zoning.

Section 2: That the subject property as more particularly described in Exhibit "A" is hereby rezoned from the zoning designation of IM-1(Low Intensity Industrial and Manufacturing District) to PD (Planned Development District).

Section 3: That the Hollywood Charter Academy Master Development Plan as more specifically described in Exhibit "B" attached hereto and incorporated herein by reference, is hereby approved.

Section 4: That the Official Zoning Map of the City of Hollywood is hereby amended to incorporate the above described change in zoning designation for the subject parcel.

ORDINANCE REZONING 2025 McKinley Street (13-DJPSVZ-79) to Planned Development District (Hollywood Charter Academy).

Section 5: That all sections or parts of sections of the Zoning and Land Development Regulations, Code of Ordinances, and all ordinances or parts thereof and all resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 6: That if any word, phrase, clause, subsection or section of this ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this ordinance.


Section 7: That this Ordinance shall be in full force and effect immediately upon its passage and adoption and shall remain effective for so long as the Site Plan, approved by Resolution No. R-2014-069, remains in effect. Should no Building Permit for a principal structure be issued pursuant to the Site Plan or an extension obtained pursuant to City Codes prior to the expiration, the zoning shall revert to IM-1 or other such Zoning District that is in place at the time.


Advertised on MARCH 7, 2014.

PASSED on first reading this 19 day of Feb, 2014.

PASSED AND ADOPTED on second reading this 19 day of MARCH, 2014.

RENDERED this 1 day of April, 2014.

  
PETER BOBER, MAYOR

ATTEST:  
  
PATRICIA A. CERNY, MMC, CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida, only.

  
JEFFREY P. SHEFFEL CITY ATTORNEY *on*



**EXHIBIT A**

LAND DESCRIPTION :

PARCEL 1:

LOTS ONE (1), TWO (2), AND THREE (3), LESS THE WEST 13.50 FEET THEREOF, OF BLOCK SEVEN (7); AND LOT ONE (1), LESS THE WEST 13.50 FEET THEREOF, AND ALL OF LOTS TWO (2) AND THREE (3), IN BLOCK EIGHT (8); ALL IN "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS THE NORTH 5 FEET OF LOT 3, BLOCK 8, "NORTH HOLLYWOOD", DEEDED TO THE CITY OF HOLLYWOOD BY DEED RECORDED IN OFFICIAL RECORDS BOOK 3909, AT PAGE 216, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH THAT PART OF ROOSEVELT STREET LYING BETWEEN THE WEST RIGHT OF WAY LINE OF 2ND AVENUE (NOW 20TH AVENUE), AND THE EAST RIGHT OF WAY LINE OF 1ST AVENUE (NOW 21ST AVENUE), EXCEPTING THEREFROM THE WEST 13.5 FEET OF SAID ROOSEVELT STREET, AS SHOWN ON THE PLAT OF "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

PARCEL "B", LESS THE SOUTHERLY 102 FEET THEREOF, OF "HOLLYWOOD LAND", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 137, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

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**COUSINS SURVEYORS & ASSOCIATES, INC.**  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION: LB # 6448  
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :  
 MGS DEVELOPERS GROUP

ALTA/ACSM LAND TITLE SURVEY  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

REVISIONS

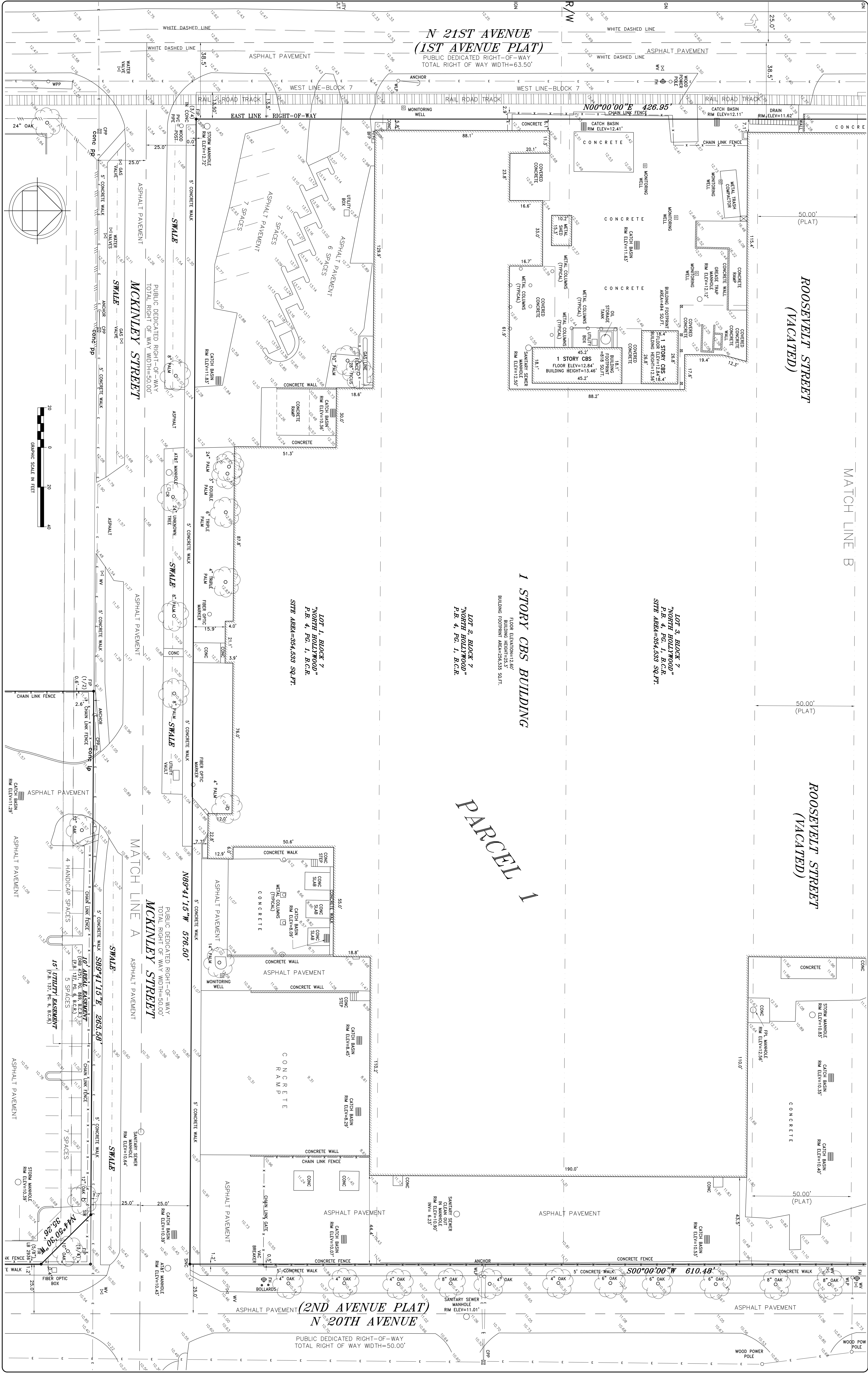
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2	02/17/13	DATA/COLL	AM	REC
3	07/09/13	REC	REC	REC
4	06/08/13	REC	REC	REC
5	10/09/13	REC	REC	REC

REVISIONS

NO.	DATE	FB/PG	DWN	CKD
1	10/22/13	REC	REC	REC
2	11/08/13	REC	REC	REC

PROJECT NO: 6935-13  
 SCALE: 1" = 20'

SHEET 2 OF 5 SHEETS



**N 21ST AVENUE  
 (1ST AVENUE PLAT)**  
 PUBLIC DEDICATED RIGHT-OF-WAY  
 TOTAL RIGHT OF WAY WIDTH=63.50'

**MCKINLEY STREET**  
 PUBLIC DEDICATED RIGHT-OF-WAY  
 TOTAL RIGHT OF WAY WIDTH=50.00'

**N 20TH AVENUE  
 (2ND AVENUE PLAT)**  
 PUBLIC DEDICATED RIGHT-OF-WAY  
 TOTAL RIGHT OF WAY WIDTH=50.00'

**LOT 2, BLOCK 7  
 "NORTH HOLLYWOOD"  
 P.B. 4, PG. 1, B.C.R.**  
 BUILDING FOOTPRINT AREA=256,535 SQ.FT.

**1 STORY CBS BUILDING**  
 FLOOR ELEVATION=12.60'  
 BUILDING HEIGHT=25.3'

**LOT 3, BLOCK 7  
 "NORTH HOLLYWOOD"  
 P.B. 4, PG. 1, B.C.R.**  
 SITE AREA=354,533 SQ.FT.

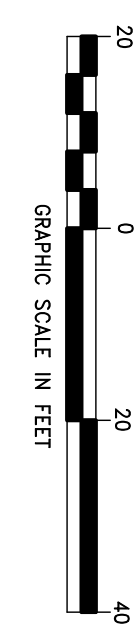
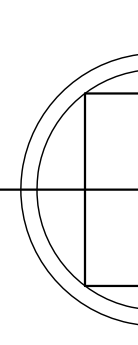
**LOT 1, BLOCK 7  
 "NORTH HOLLYWOOD"  
 P.B. 4, PG. 1, B.C.R.**  
 SITE AREA=354,533 SQ.FT.

**PARCEL 1**

**ROOSEVELT STREET  
 (VACATED)**

**ROOSEVELT STREET  
 (VACATED)**

MATCH LINE B





**COUSINS SURVEYORS & ASSOCIATES, INC.**  
 3321 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :  
 MGS DEVELOPERS GROUP

ALTA/ACSM LAND TITLE SURVEY  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

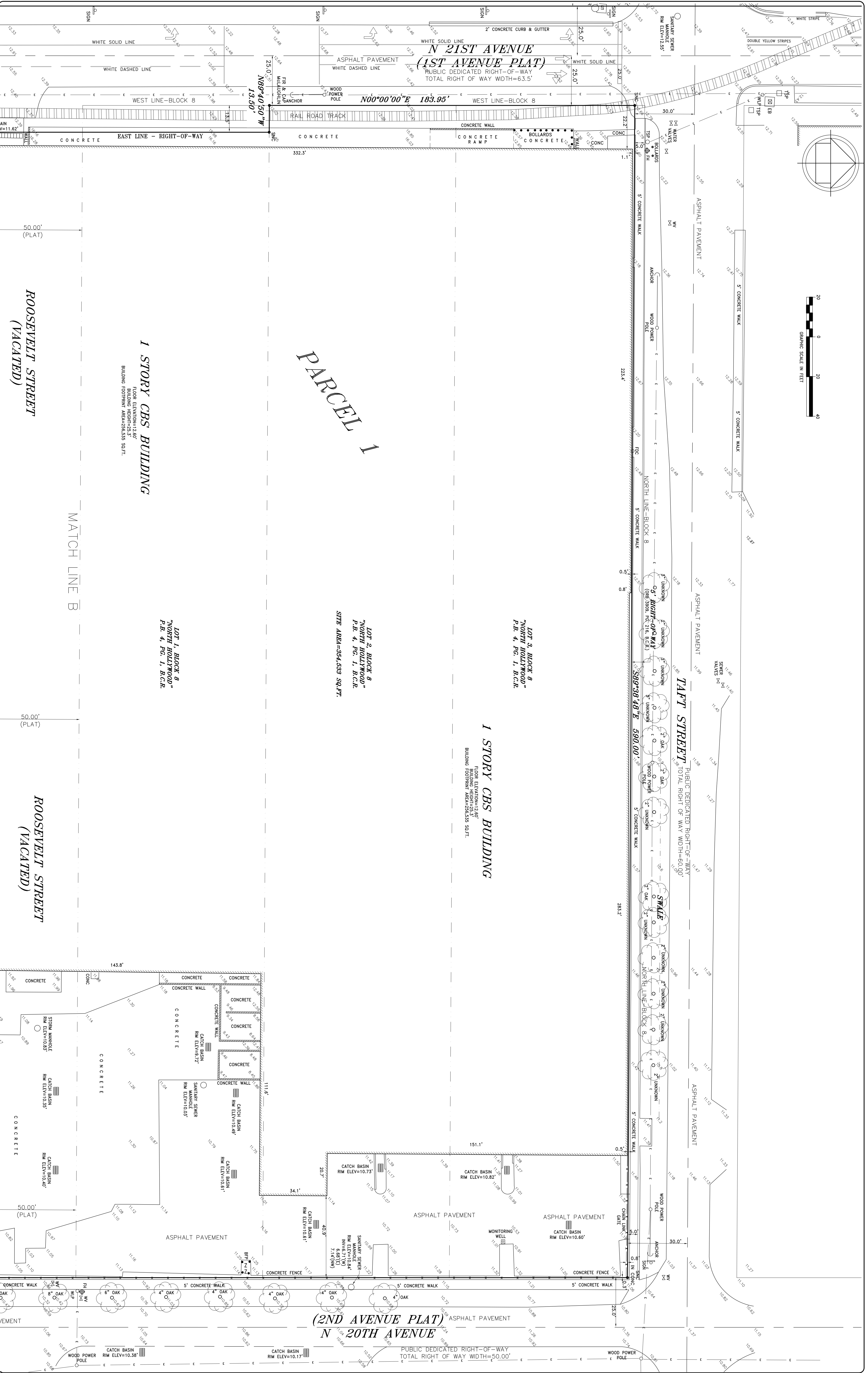
REVISIONS

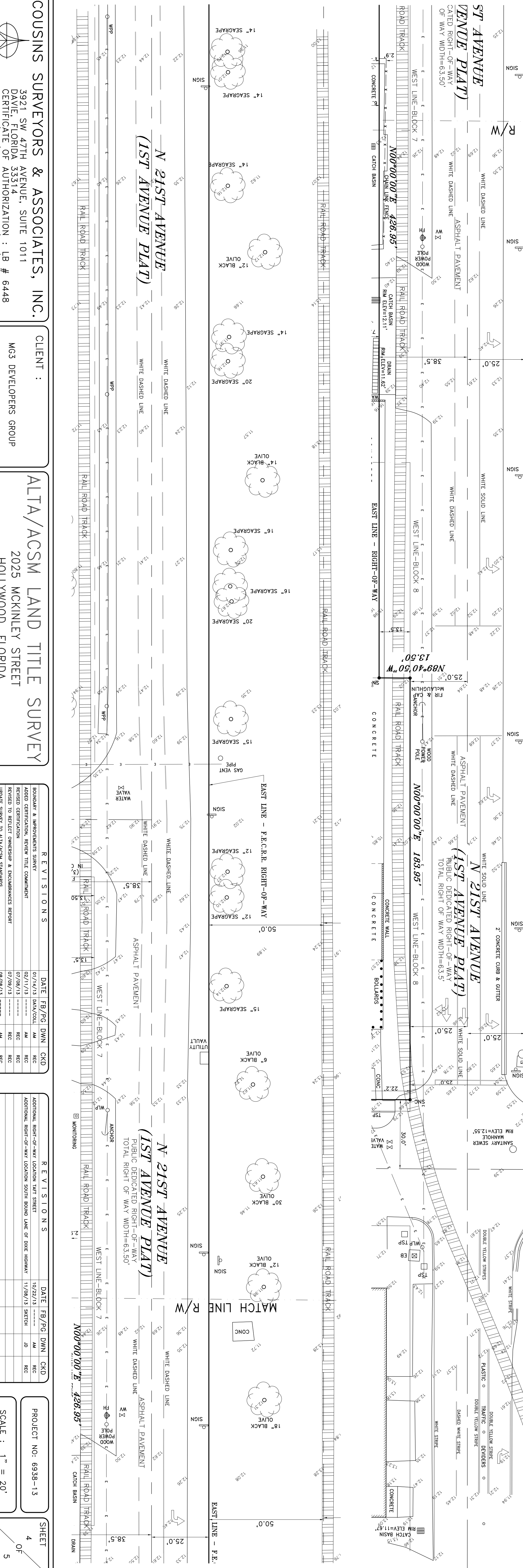
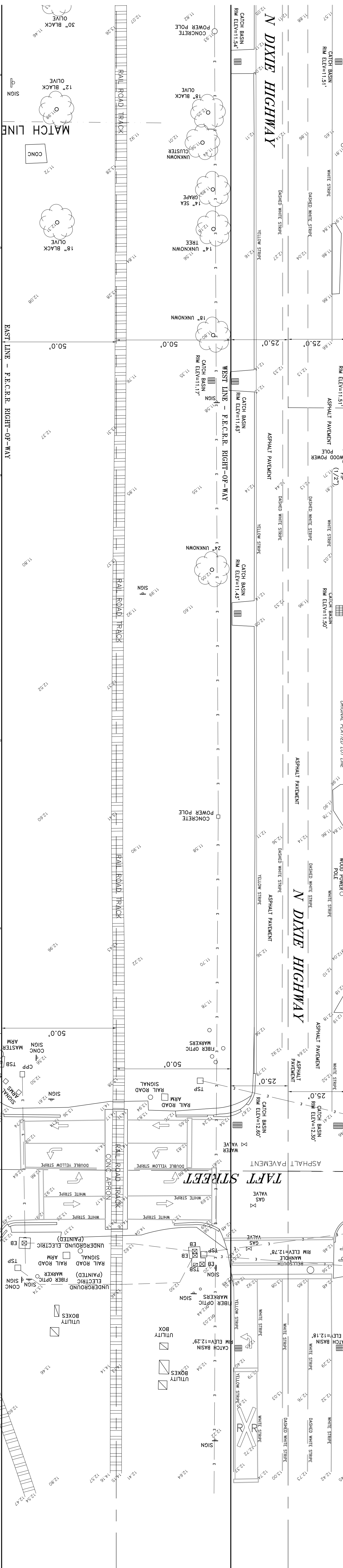
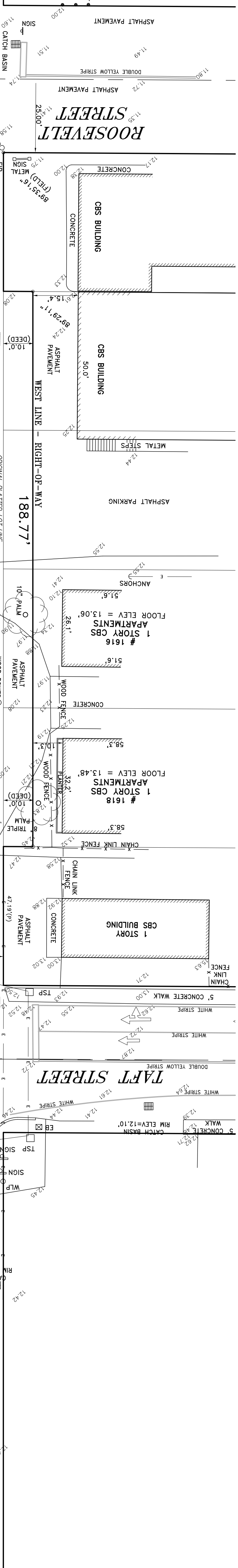
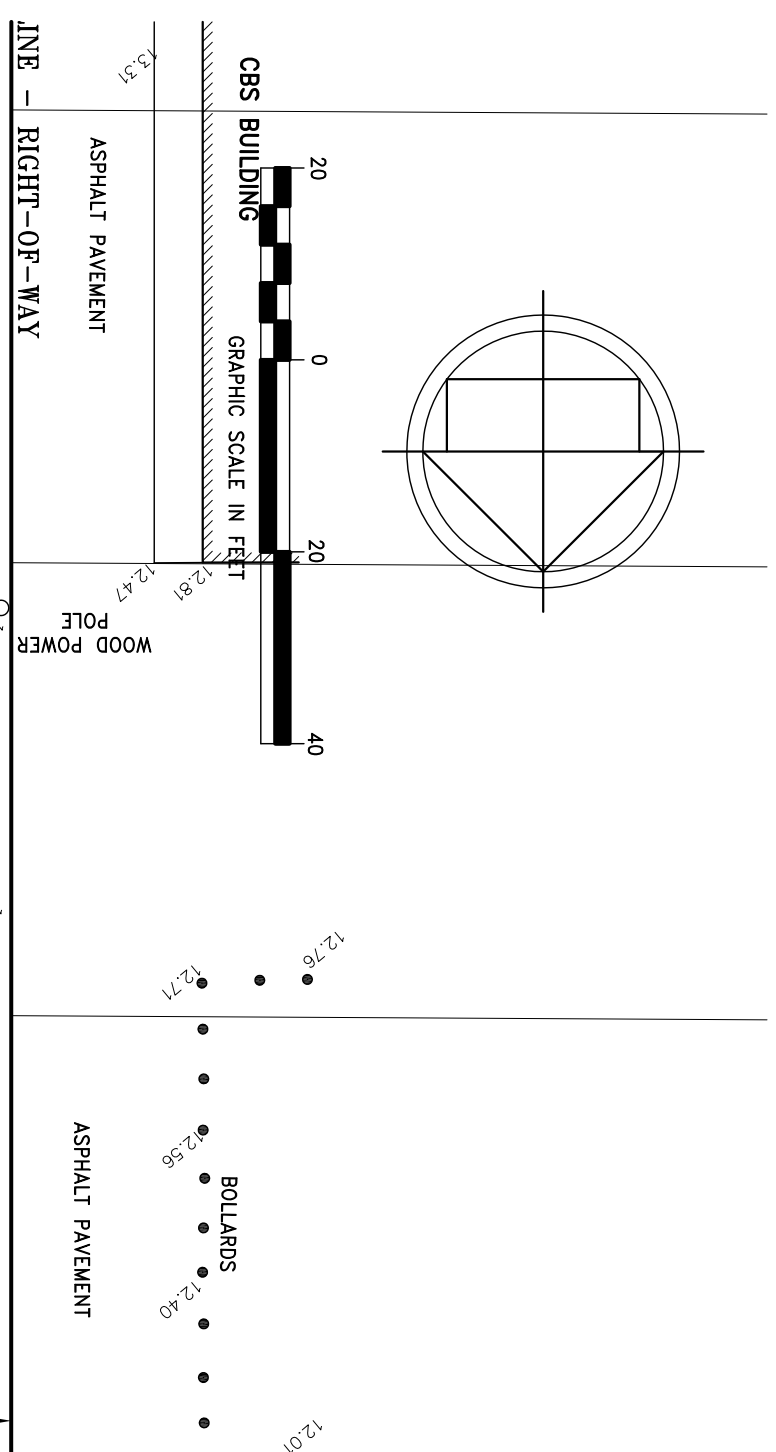
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2	02/17/23	-----	AM	REC
3	07/08/23	-----	AM	REC
4	07/08/23	-----	AM	REC
5	06/08/23	-----	AM	REC
6	10/09/23	-----	AM	REC

REVISIONS

NO.	DATE	BY/PC	DWN	CHKD
1	10/22/23	-----	JP	REC
2	11/09/23	-----	-----	-----

PROJECT NO: 6938-13  
 SCALE : 1" = 20'  
 SHEET 3 OF 5 SHEETS





**COUSINS SURVEYORS & ASSOCIATES, INC.**  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 689-7766 FAX (954) 689-7799

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ALTA/ACSM LAND TITLE SURVEY  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

REVISIONS

BOUNDARY & IMPROVEMENTS SURVEY	DATE	FB/PJ	DWN	CKD
ADDED CERTIFICATION, REVIEW TITLE COMMENT	01/17/13	AM	REC	REC
REMOVED CERTIFICATION	02/17/13	AM	REC	REC
REMOVED TO REFLECT OWNERSHIP & ENCUMBRANCES REPORT	07/09/13	REC	REC	REC
UPDATE SURVEY TO ALTA/ACSM STANDARDS	06/08/13	REC	REC	REC
ADDITIONAL RIGHT-OF-WAY LOCATION N 21ST AVENUE	10/09/13	AM	REC	REC

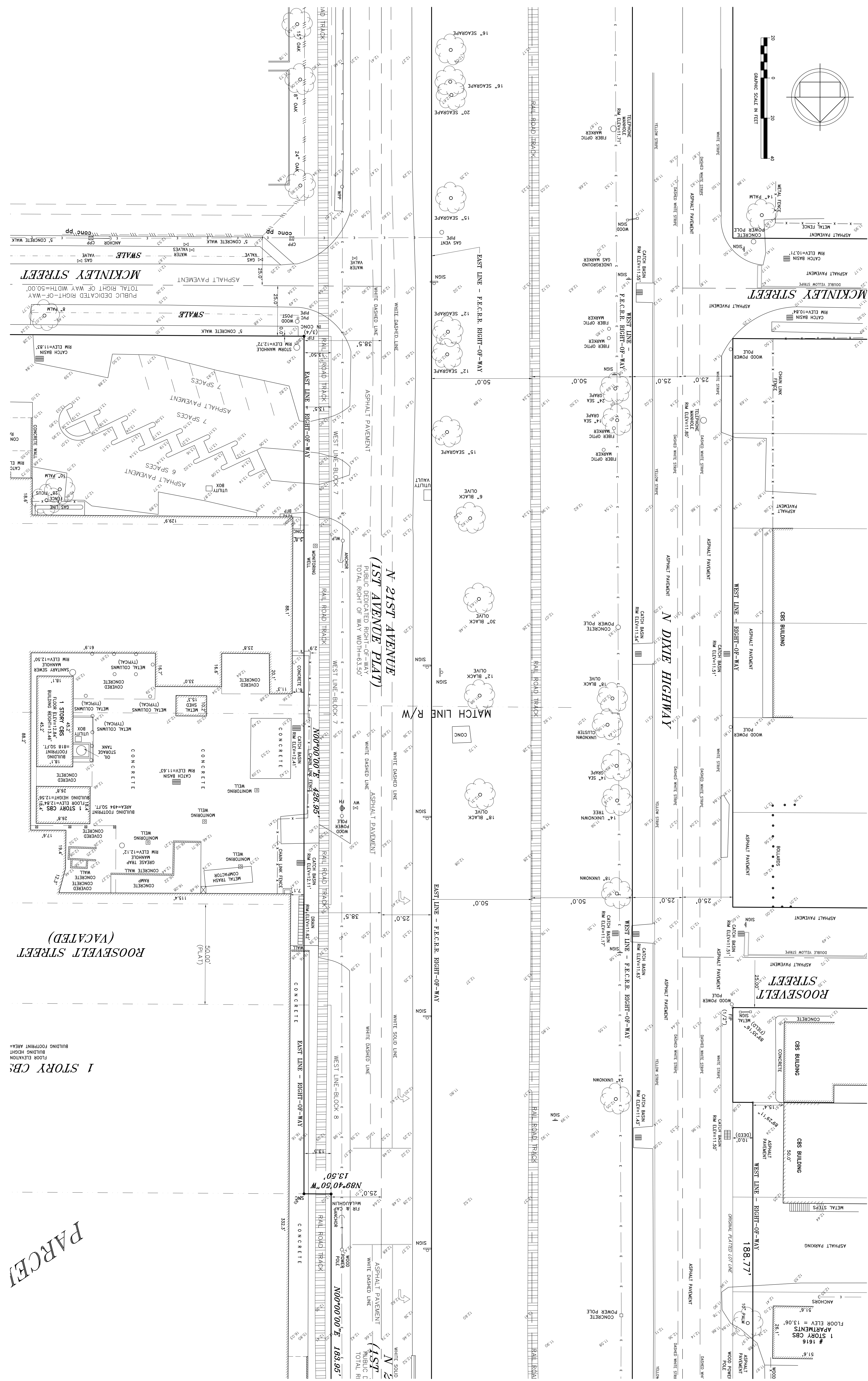
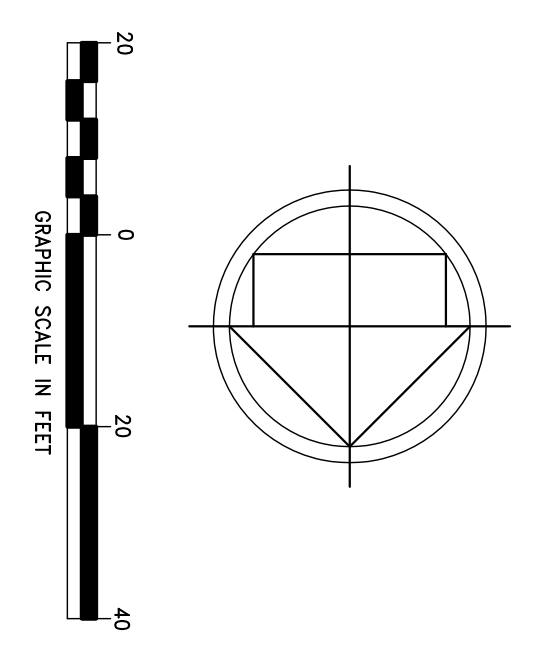
REVISIONS

ADDITIONAL RIGHT-OF-WAY LOCATION TAFT STREET	DATE	FB/PJ	DWN	CKD
ADDITIONAL RIGHT-OF-WAY LOCATION SOUTH BOUND LINE OF DIXIE HIGHWAY	11/08/13	SKETCH	JD	REC

PROJECT NO: 6938-13  
 SCALE : 1" = 20'

SHEET 4 OF 5 SHEETS





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**CLIENT :**  
 MG3 DEVELOPERS GROUP

**ALTA/ACSM LAND TITLE SURVEY**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

**REVISIONS**

NO.	DATE	BY/PG	DWN	CKD
1	02/14/13	DAV/COJ	AM	REC
2	02/17/13	DAV/COJ	AM	REC
3	02/22/13	DAV/COJ	AM	REC
4	02/22/13	DAV/COJ	AM	REC
5	02/22/13	DAV/COJ	AM	REC
6	02/22/13	DAV/COJ	AM	REC
7	02/22/13	DAV/COJ	AM	REC
8	02/22/13	DAV/COJ	AM	REC
9	02/22/13	DAV/COJ	AM	REC
10	02/22/13	DAV/COJ	AM	REC

**REVISIONS**

NO.	DATE	BY/PG	DWN	CKD
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2	11/06/13	DAV/COJ	AM	REC

**PROJECT NO:** 6938-13  
**SCALE :** 1" = 20'

**SHEET** 5 **OF** 5 **SHEETS**

**PARCEL**

**1 STORY CBS**

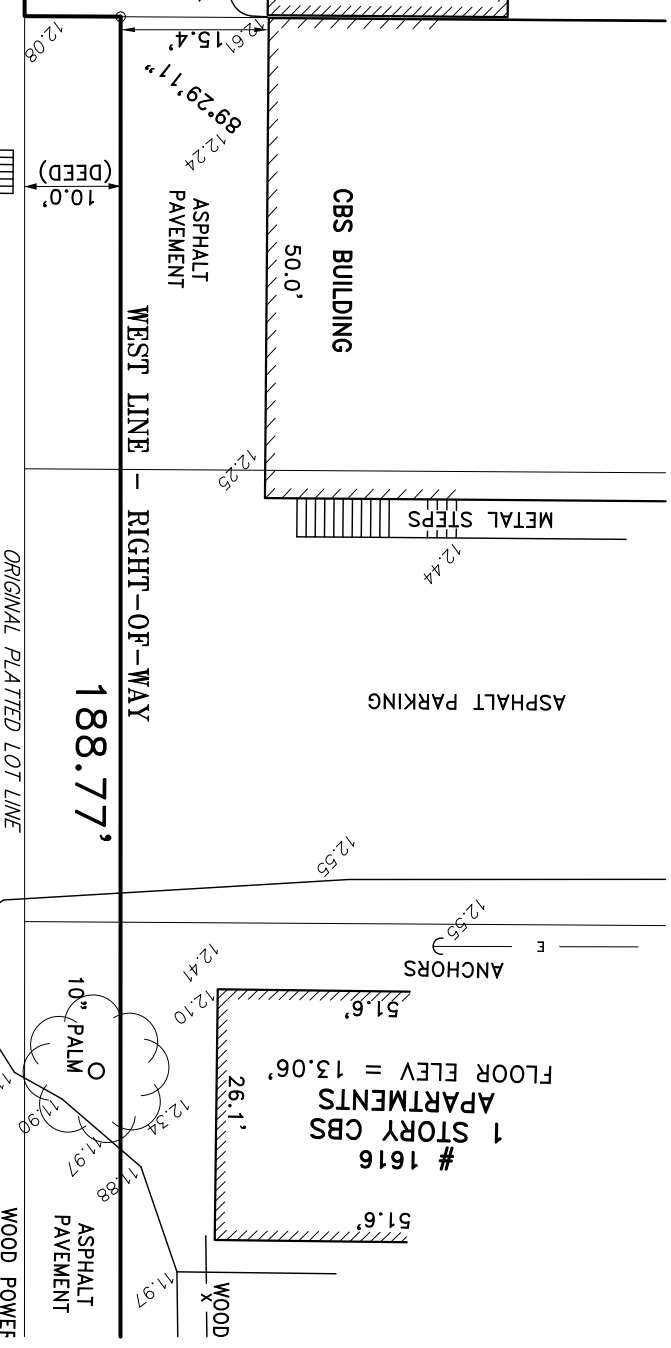
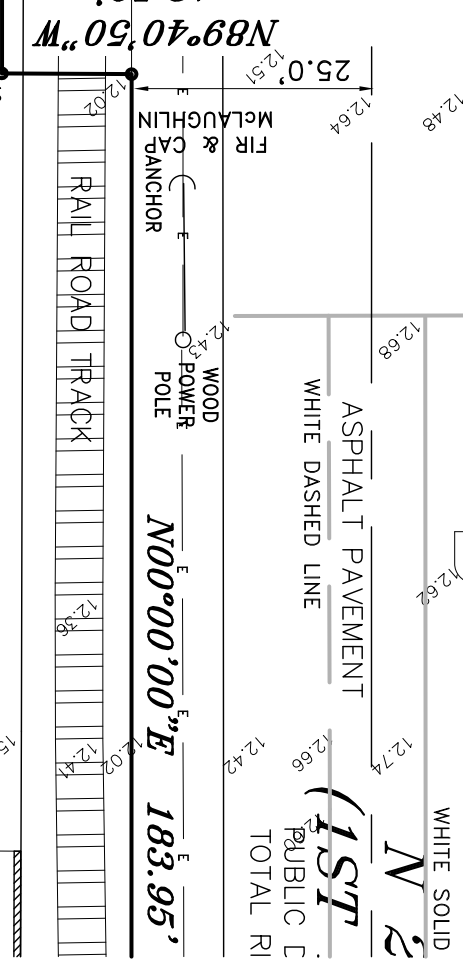
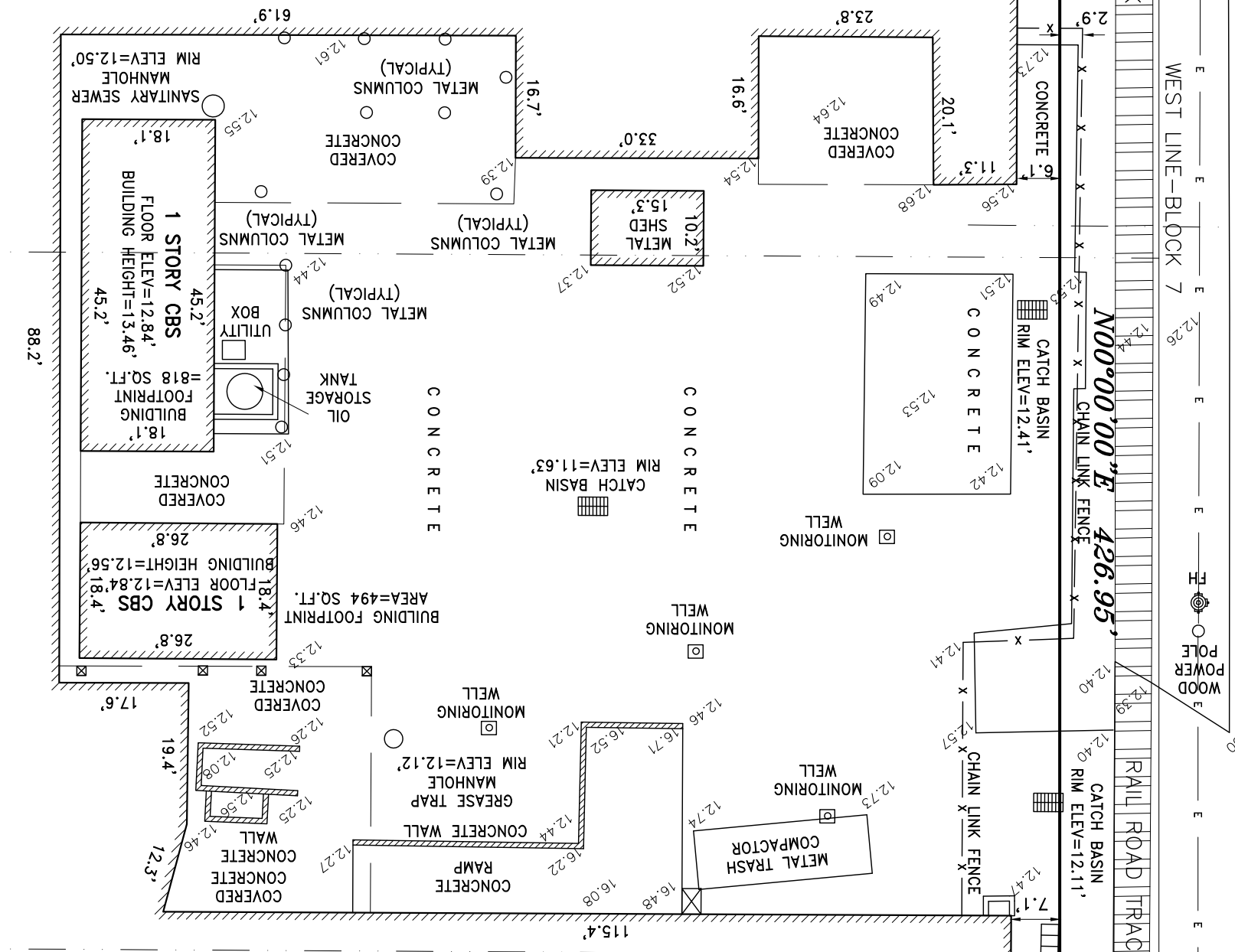
**ROOSEVELT STREET (VACATED)**

**N 21ST AVENUE (1ST AVENUE PLAT)**

**N DIXIE HIGHWAY**

**ROOSEVELT STREET**

**MCKINLEY STREET**



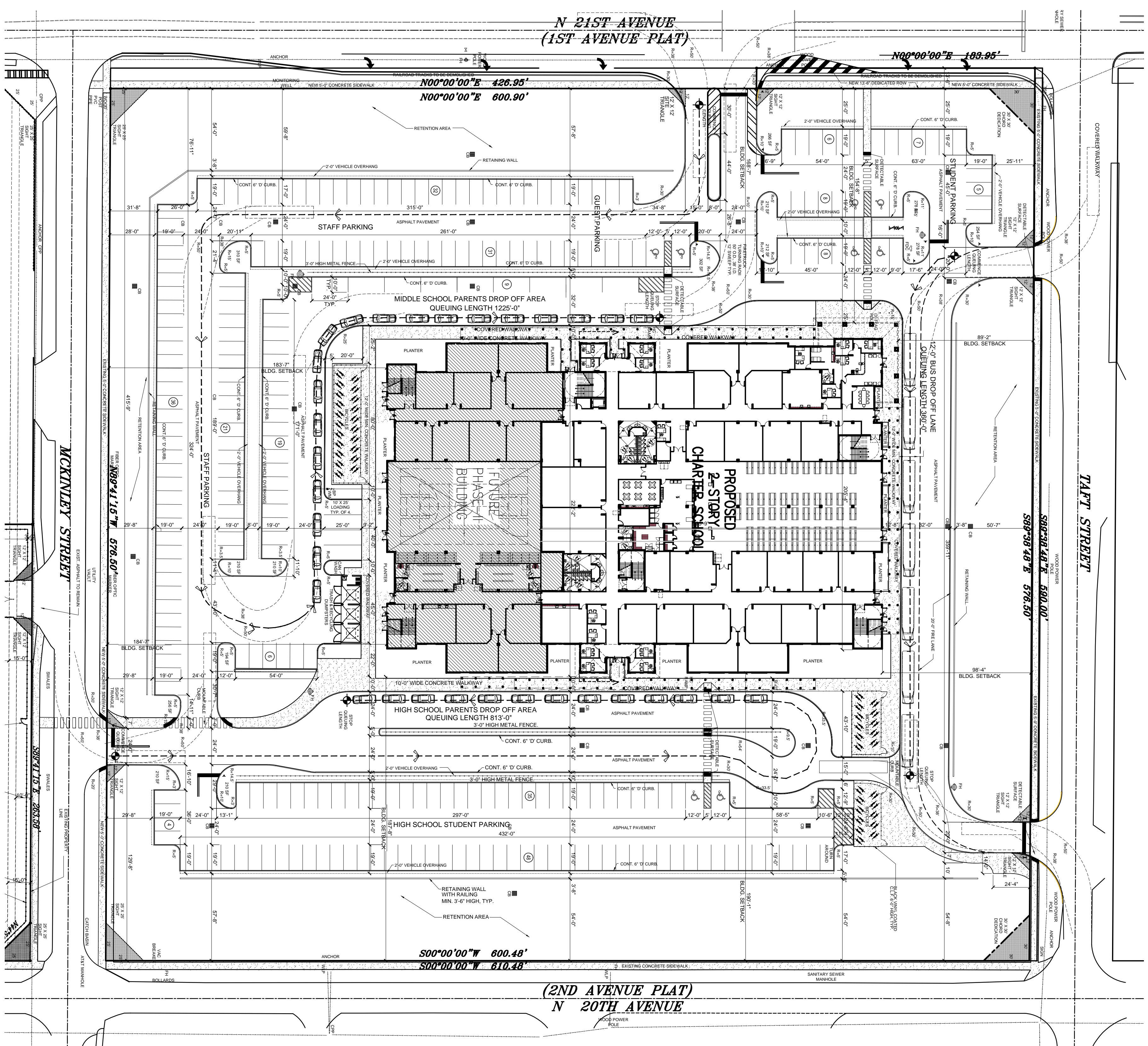












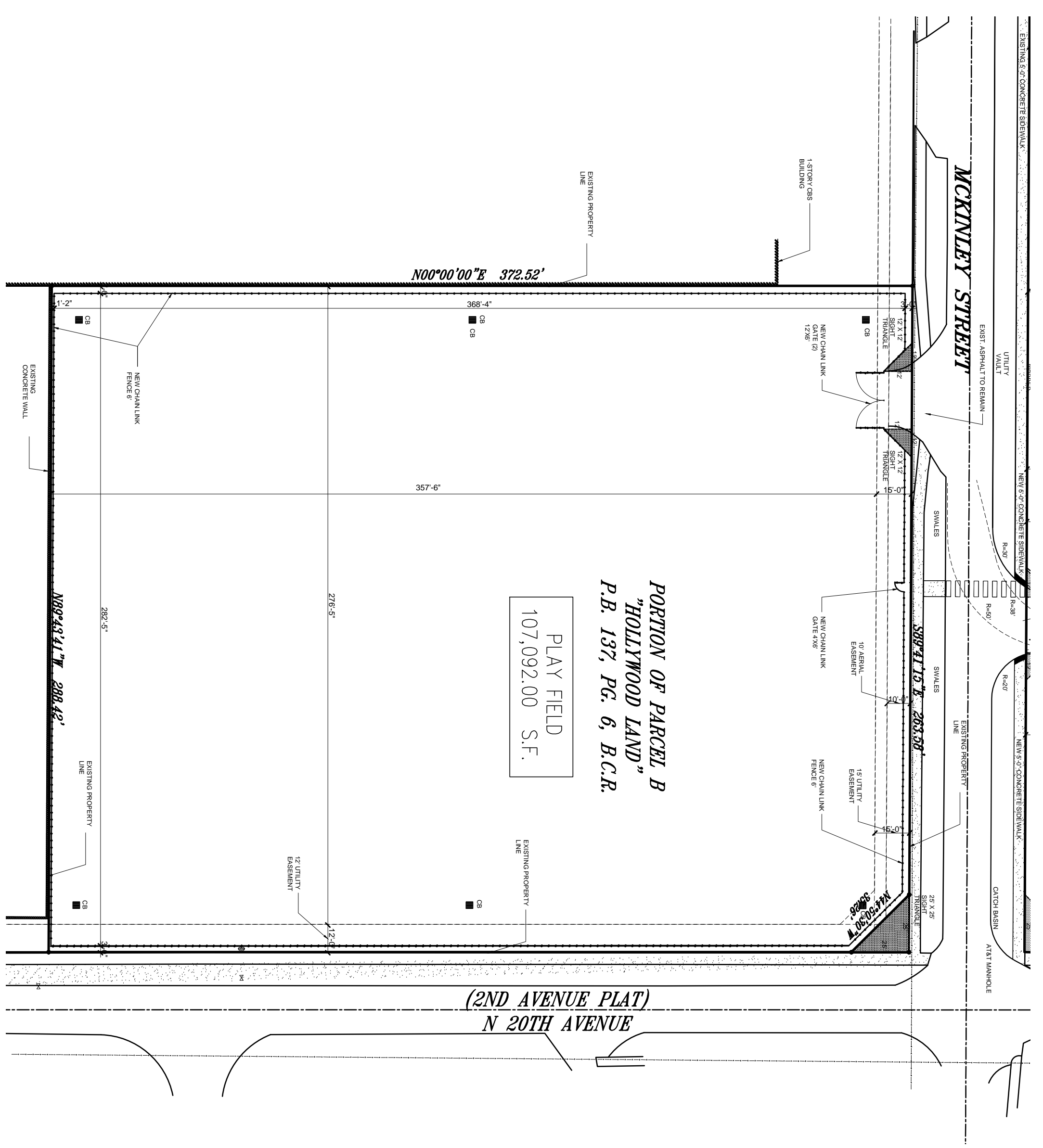
REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA

**1 SITE PLAN - SCHOOL (PHASE II)**

SCALE: 1" = 40'-0"



**3 NOT USED**



REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA

**2 PROPOSED PLAY FIELD**

SCALE: 1" = 40'-0"



DATE	01/21/13
CHECKED	G.J.C.
DRAWN	M.J.G.
JOB NO.	13-011
SHEET	SP-3
OF SHEETS	3

AA2600131

SEAL: AR NO. 0007957

**PROPOSED DEVELOPMENT:**  
**Hollywood Charter Academy**

2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner

1457 N.E. 4th AVE.  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-6565

Member American Institute of Architects

REVISION	BY:
11/07/13	R.E.T.
01/14/2013	4M.J.G.



REVISION	BY:
11/07/13	R.E.T
T.A.C COMMENTS	
201/14/2014 M.J.C.	
F.B. COMMENTS	



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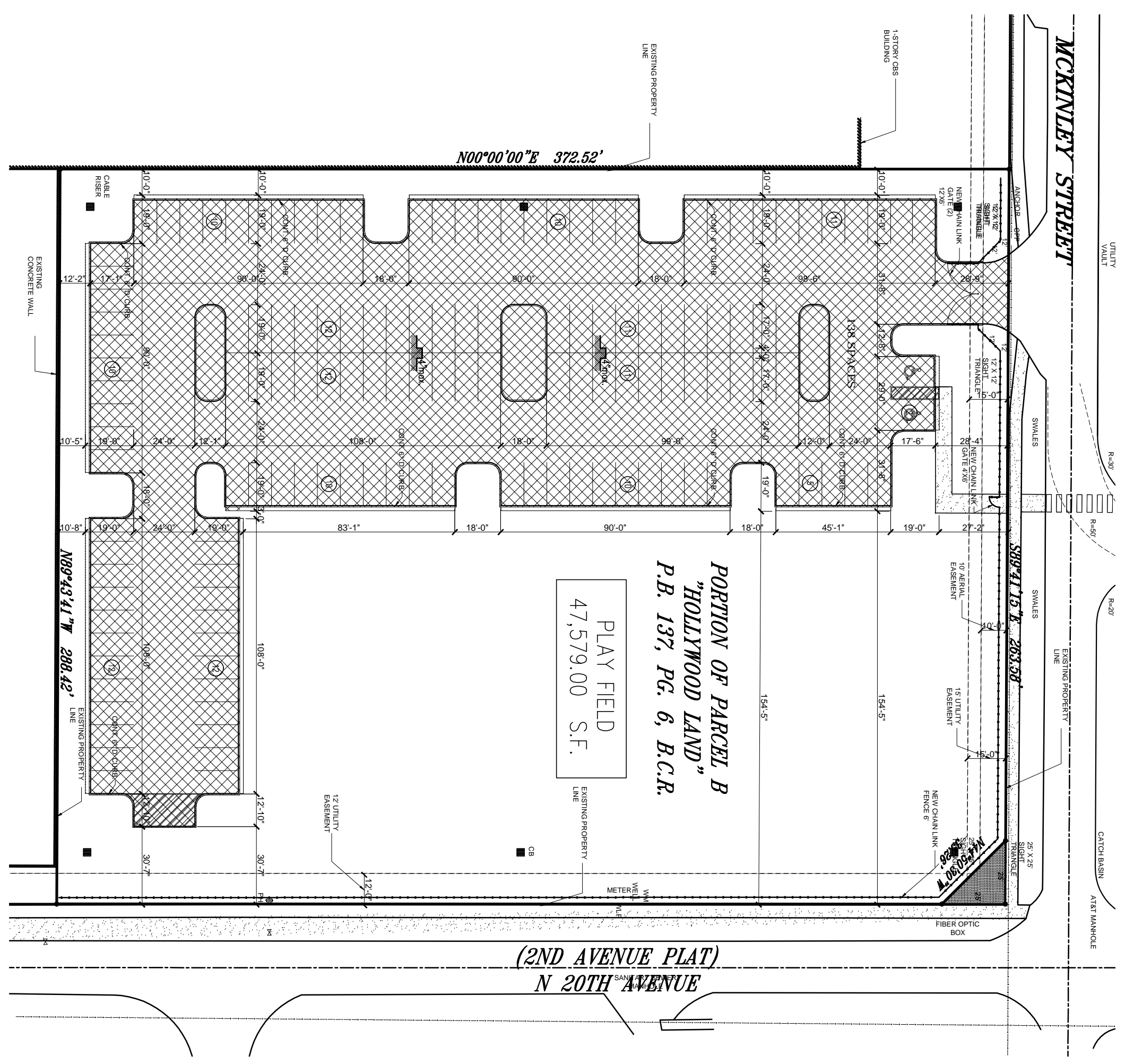
SCALE: AR NO. 0007957

AA2800131

DRAWN: M.J.C.  
 CHECKED: G.J.C.  
 DATE: 01/21/13  
 SCALE: AS NOTED  
 JOB NO.: 13-011  
 SHEET

**SP-4**

OF SHEETS



NOTE:  
 ADDITIONAL PARKING AS SHOWN MAY BE PROVIDED ABOVE 1700 STUDENTS IF CITY ENGINEERING DETERMINES THAT IT IS NECESSARY AT THAT TIME. BASED UPON ACTUAL USAGE.  
 AT THE TIME OF THIS APPROVAL, CITY ENGINEERING HAS APPROVED THIS FUTURE ADDITIONAL PARKING AREA FOR UP TO 2200 STUDENTS.

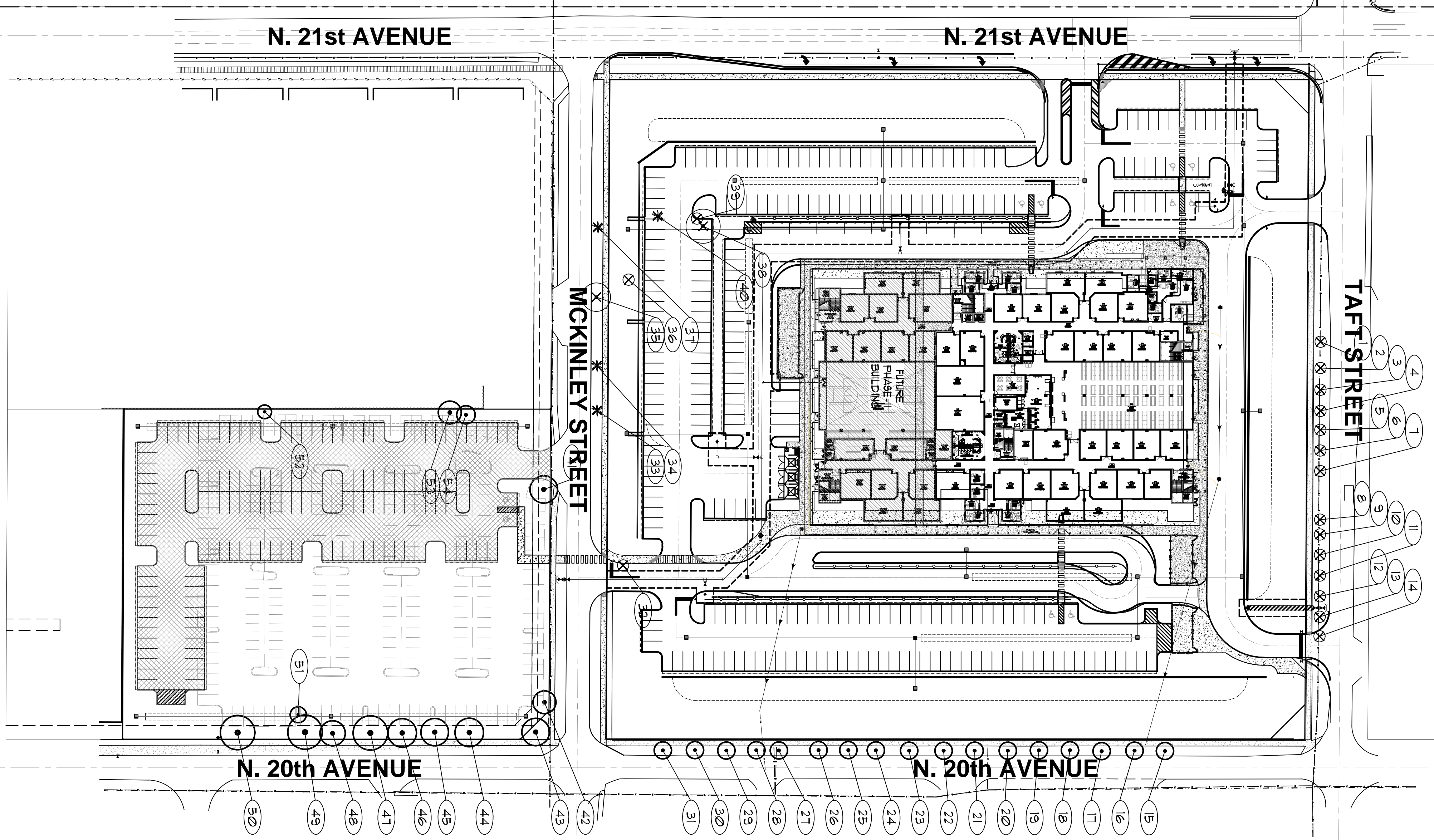
REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA

1 PROPOSED ADDITIONAL PARKING  
 SCALE: 1" = 40'-0"

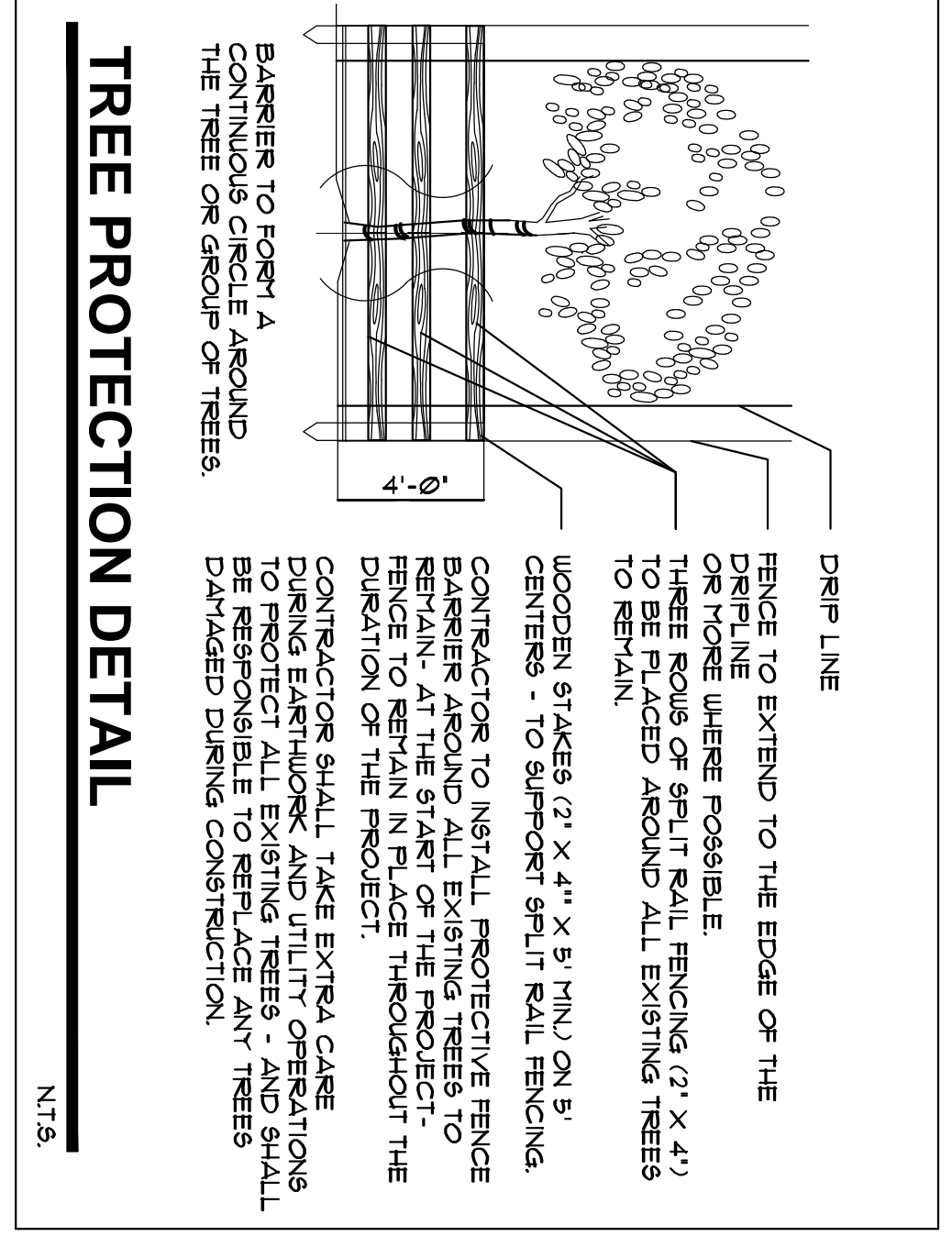
NORTH

2 NOT USED

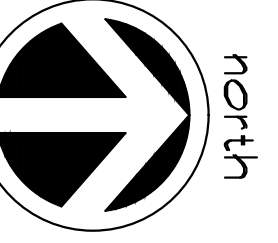




No	SWM	COMMON NAME	BOTANICAL NAME	HEIGHT/SPREAD	Fl.	Fl.	DBH	STATUS	CANOPY S.F.	CANOPY LOSS S.F.	COMMENTS
1	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
2	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
3	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
4	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
5	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
6	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
7	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
8	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
9	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
10	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
11	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
12	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
13	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
14	CO	SATINLEAF	Chrysanthemum divaricatum	8	4	2	13	REMOVE	13	13	UNDERRENTH POWER LINES
15	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
16	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
17	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
18	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
19	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
20	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
21	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
22	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
23	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
24	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
25	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
26	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
27	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
28	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
29	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
30	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
31	QV	LIVE OAK	Quercus virginiana	14	15	4	177	REMAN	177		IN SWALE ON N. 20th Avenue
32	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
33	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
34	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
35	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
36	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
37	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
38	FA	STANGLER FIG	Ficus aurea	35	30	30	706	REMOVE	706	706	REMOVE
39	SP	SHOULDER PALM	Sabal palmetto	12	10	8	113	REMOVE	113	113	REMOVE
40	PE2	SOUTHERN PALM	Phycosperma elegans	16	5	2.3	20	REMOVE	20	20	REMOVE
41	QV	LIVE OAK	Quercus virginiana	24	24	12	452	REMAN	452		REMAN
42	QV	LIVE OAK	Quercus virginiana	20	20	12	214	REMAN	214		REMAN
43	QV	LIVE OAK	Quercus virginiana	20	20	12	214	REMAN	214		REMAN
44	QV	LIVE OAK	Quercus virginiana	22	22	15	481	REMAN	481		REMAN
45	QV	LIVE OAK	Quercus virginiana	20	24	12	452	REMAN	452		REMAN
46	QV	LIVE OAK	Quercus virginiana	20	25	12	491	REMAN	491		REMAN
47	QV	LIVE OAK	Quercus virginiana	22	30	18	706	REMAN	706		REMAN
48	QV	LIVE OAK	Quercus virginiana	22	30	18	706	REMAN	706		REMAN
49	QV	LIVE OAK	Quercus virginiana	22	30	18	706	REMAN	706		REMAN
50	QV	LIVE OAK	Quercus virginiana	25	30	18	706	REMAN	706		REMAN
51	CV	BOTTLEBRUSH	Callistemon viminalis	14	14	8	113	REMAN	113		REMAN
52	CD	PIGEON PLUM	Coccoloba diversifolia	15	12	4	113	REMAN	113		REMAN
53	CD	PIGEON PLUM	Coccoloba diversifolia	25	20	10	201	REMAN	201		REMAN
54	CD	PIGEON PLUM	Coccoloba diversifolia	20	16	8					REMAN
TOTALS							365			2305	



- NOTES:**
- SEE SHEET T-1 FOR PROPOSED TREE LOCATIONS.
  - THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AND EXISTING FENCING (IF ANY) WITHIN THE LOCAL GOVERNING AGENCIES CITY OF HOLLYWOOD TREE AND HEDGE REMOVAL. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL TREES AND HEDGES SHALL BE BACKFILLED WITH CLEAN APPROVED BACKFILL.
  - NOTE: LOCATIONS SHOWN FOR THE EXISTING TREES ARE APPROXIMATE EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING AND ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES TO REMAIN.
  - ALL INVASIVE EXOTIC VEGETATION AND OTHER PLANTS LISTED AS CAUTION ON THE EXOTIC PLANT LIST SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.



SCALE: 1" = 60'

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY TREES OR PALMS.

A PRE-CONSTRUCTION INSPECTION SHALL FOR ALL TREES TO REMAIN MUST BE SCHEDULED PRIOR TO ISSUANCE OF A BUILDING PERMIT. ALL TREES MUST BE PROTECTED WITH PROTECTIVE FENCING WITH WRITTEN APPROVAL PRIOR TO COMMENCEMENT OF ANY SITE WORK.

PLANT MATERIAL SHALL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS PER THE CITY OF HOLLYWOOD (TFP). THERE SHALL BE NO SUBSTITUTIONS WITHOUT THE PRIOR WRITTEN APPROVAL FROM THE CITY OF HOLLYWOOD PLANNING DEPARTMENT.

**TREE DISPOSITION PLAN**

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
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**PROPOSED DEVELOPMENT:**  
**HOLLYWOOD CHARTER ACADEMY**  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

JAMES F. SOCCASH  
P.L.A. # 0000131

DRAWN	G.J.C.
CHECKED	G.J.C.
DATE	01/21/13
SCALE	
JOB NO.	13-011
SHEET	TD-1

REVISION	BY:
11/07/13	RET
01/14/2014	M.J.G.
13-011	



**PLANTLIST**

9TH NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
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**EXISTING TREES ON-SITE**

17-EXISTING TREES ON-SITE TO REMAIN, SEE TREE DISPOSITION PLAN

**NOTE: PLANTINGS FOR SOUTH PARKING LOT ARE NOT INCLUDED WITH THESE TABULATIONS.**

TREES	AR	YES	24	RED MAPLE	Acer rubrum	25 gal, 18" x 5' spr., 2 1/2 cal.
	B5	YES	14	GUANO LIMBO	Bursera simaruba	12' x 6' spr., 2 1/2' cal.
	CD	YES	59	PIGEON PLUM	Coccoloba diversifolia	12' x 6' spr., 2 1/2' cal.
	CE	YES	13	GREEN BUTTWOOD	Conocarpus erectus	14' x 6' spr., 3' cal.
	CE	YES	35	SILVER BUTTWOOD	Conocarpus erect.	18" x 6', STANDARD
	CS	YES	61	ORANGE GEIGER	Conidia sepioides	FG, 8' x 5', 2' cal.
	IC	YES	61	DAHOON HOLLY	Ilex cassine	18" x 5' spr., 2' cal.
	IC	YES	14	TREE LIGUSTRUM	Ligustrum japonicum	FG, 8' x 8' full crown
	LB	YES	13	WILD TAMARIND	Lycium latifolium	12' x 6' spr., 2 1/2' cal.
	QVA	YES	81	LIVE OAKS	Quercus virginiana	16' x 7' spr., 4' cal., 6' c.t.
	TD	YES	50	BALD CYPRESS	Taxodium distichum	25 gal, 8' o.a.

**PALMS**

ARC	8	KING ALEXANDER PALMS	Archontophoenix alexandriae	16' o.a., TRIPLE, full head	
BIS	5	BISHARK PALMS	Bismarckia nobilis 'Silver'	4' x 4', full head specimen	
RE	YES	12	ROYAL PALMS	Royaltonia elata	6' GAL, 25' o.a., full head
VM	24	MONTGOMERY PALMS	Veitchia montgomeryana	FG, 14' o.a., full head	
WB	33	FOXTAIL PALMS	Wedgeletia bifurcata	14' o.a., 5' x 6' dbh, full hd	

**SHRUBS AND HEDGES**

SPECIFIC AREA	SHRUBS	NATIVE
91E PERIMETER ETC. (30' HT, 1 GAL)	2120 LF. 1 SHRUB/ 2 LF.	1260
ALL SHRUBS TO BE NATIVE, COCCORLUM, ETC.		
INTERIOR SHRUB PLANTINGS	1040 LF. 1 SHRUB/ 2 LF.	520
ALL SHRUBS TO BE NATIVE, COCCORLUM, ETC.		
BUILDING PERIMETER	1120 LF. 1 SHRUB/ 2 LF.	560
BUILDING PERIMETER	2140	1380 (73.4%)

**NOTE: SPECIFIC QUANTITIES WILL BE SHOWN ON CONSTRUCTION LANDSCAPE DRAWINGS.**

**NATIVE SHRUBS (MINIMUM 50% OF REQUIRED)**

CCT	YES	JAMAICA CAPER	Capparis cynophallophora	1 gal., 30" x 24", 24" o.c., full
CIT	YES	COCORLUM	Cyrtocarpus luteo	1 GAL., 30" x 24" full, 24" o.c.
CRT	YES	PITCH APLE	Cordia rosea	1 GAL., 36" H., 30" O.C., FTB.
CUB	YES	SEAGRASS	Coccoloba uvifera	3 gal., 24" x 24", 24" o.c., full
CEH	YES	GREEN BUTTWOOD	Conocarpus erectus	3 gal., 24" x 24", 24" o.c., full
CE5	YES	SILVER BUTTWOOD	Conocarpus erectus 'Varicosa'	3 gal., 24" x 24", 24" o.c., full
HFD	YES	DWARF FIREBUSH	Hamelia nodosa	3 gal., 18" x 18", 18" o.c.
HFP	YES	FIREBUSH	Hamelia patens	3 gal., 24" x 24", 24" o.c., full
MU1	YES	MULY GRASS	Muhlenbergia capillaris	1 gal., 12" x 12", 18" o.c., full
FAK	YES	FAKAYATCHEE GRASS	Tiphasia dactyloides	3 gal., 24" x 24", 30" o.c., full

**NON-NATIVE SHRUBS**

IKO	-	IKORA NORA GRANT	Ikona spp.	3 gal., 24" x 24", 24" o.c., full
PO1	-	PODOCARPUS HEDGE	Podocarpus spp.	1 gal., 30" x 24", full heavy
AREB	-	SCHIFFELERA ARBORICOLA	Schiffelia arborea	3 gal., 24" x 24", 24" o.c., full
TRI	-	'TRINETTE' ARBORICOLA	Schiffelia 'Trinette'	3 gal., 24" x 24", 24" o.c., full

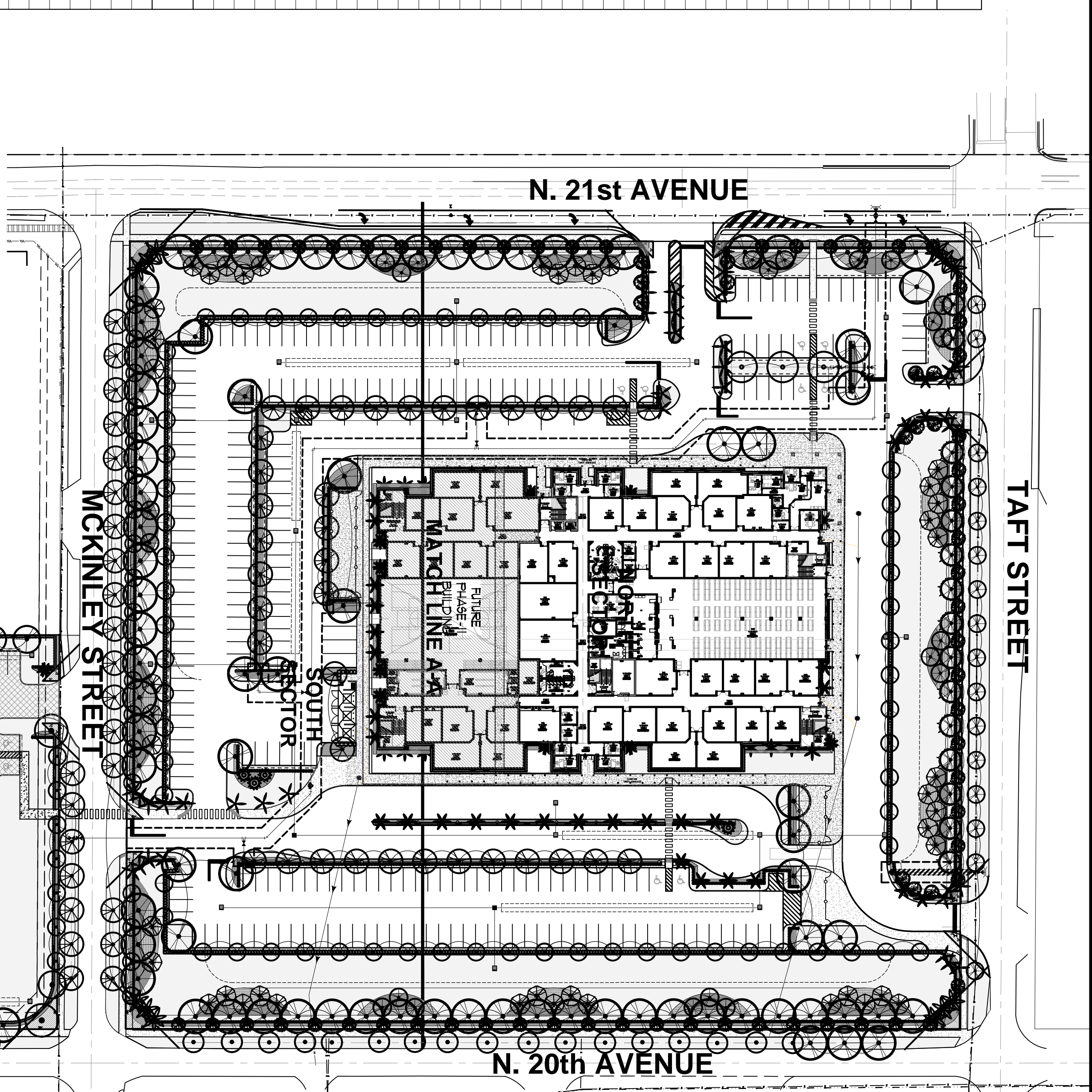
**ACCENT PLANTS, GROUNDCOVERS, ETC.**

**NOTE: ACCENT'S GROUNDCOVERS SHOWN ON PLAN ARE TO BE INCLUDED IN THE CONSTRUCTION DRAWING PHASE.**

SOD	FLO	BAH	TOPSOIL:
85,000 SF.	'FLORATANT' ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
100,000 SF.	'ARGENTINE' BAHIA SOD	Paspalum notatum	SOLID SOD, price per s.f.
350 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS		
300 C.Y.	AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL SPREAD IN PLACE		

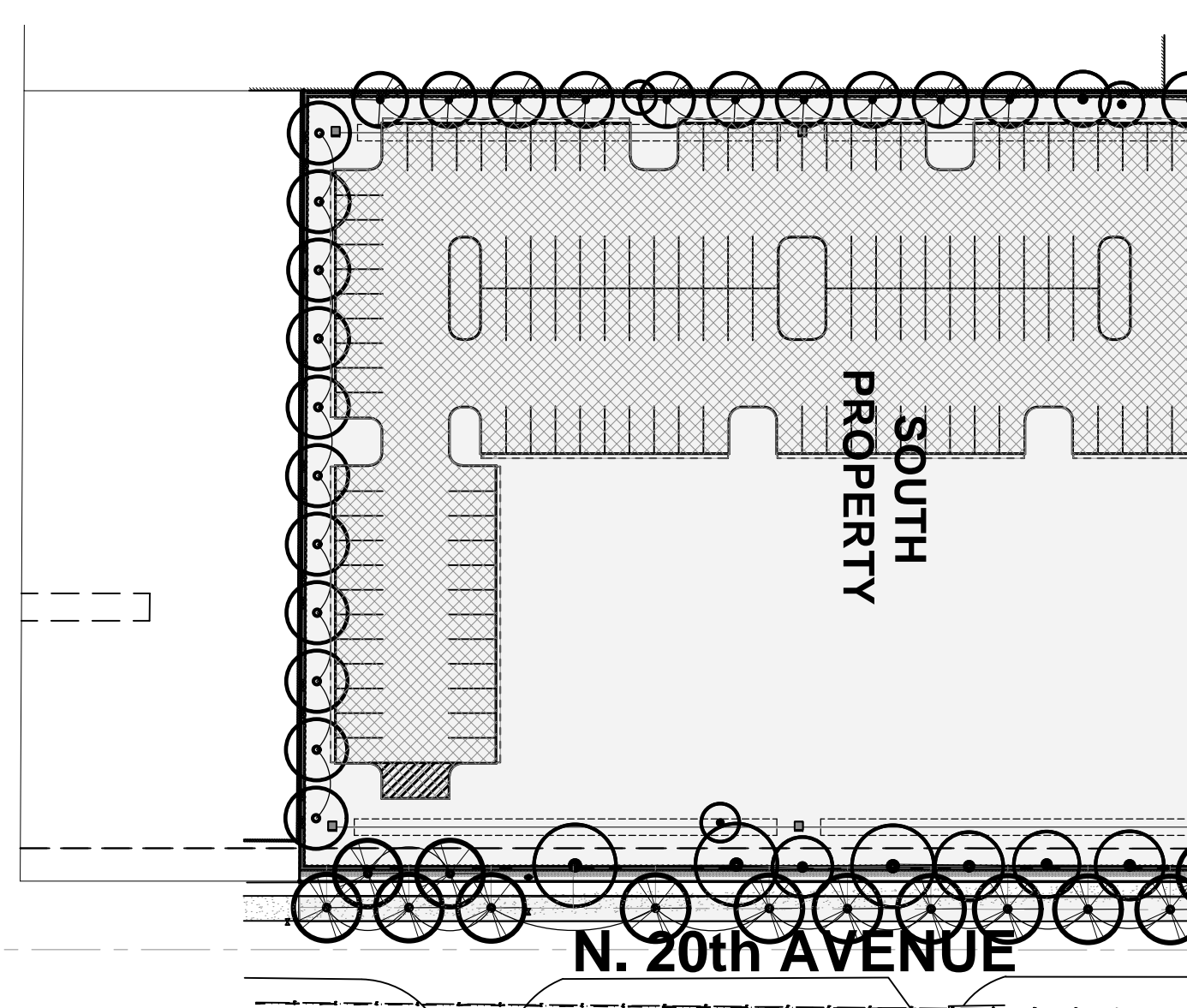
**MULCHING:**

200 C.Y.	'DECO BARK' MULCH	3" DEPTH, SPREAD IN PLACE, AT 1.65 FEAT AND SOIL
...	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.	



**TREE AND PALM LEGEND**

Symbol	native	
⊗	YES	RED MAPLE
⊗	YES	GUMBO LIMBO
⊗	YES	PIGEON PLUM
⊗	YES	GRN. BUTTWOOD
⊗	YES	SILVER BTNWOOD.
⊗	YES	ORANGE GEIGER
⊗	YES	DAHOON HOLLY
⊗	YES	TREE LIGUSTRUM
⊗	YES	WILD TAMARIND
⊗	YES	LIVE OAK
⊗	YES	BALD CYPRESS
⊗	YES	ALEXANDRA PALM
⊗	YES	BISMARK PALM
⊗	YES	ROYAL PALM
⊗	YES	MONTGOMERY PALM
⊗	YES	FOXTAIL PALM

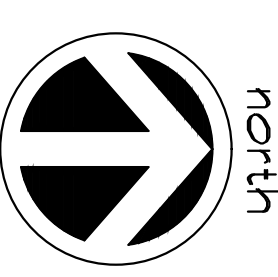


MCKINLEY CHARTER SCHOOL	
LANDSCAPE SITE CALCULATIONS	11/27/2014
<b>TOTAL SITE AREA</b>	<b>GROSS SITE AREA</b>
12.64 AC. 550,671.38 S.F.	10.52 AC. 458,260.21 S.F.
<b>NET SITE AREA</b>	<b>PARCEL 1: GROSS SITE AREA</b>
9.78 AC. 426,123.38 S.F.	8.08 AC. 331,134.64 S.F.
<b>PARCEL 1: NET SITE AREA</b>	<b>PARCEL 2: GROSS SITE AREA</b>
2.88 AC. 124,547.99 S.F.	2.48 AC. 107,109.97 S.F.
<b>PARCEL 2: NET SITE AREA</b>	<b>GREEN AREA ADJACENT TO VIA</b>
118,439.11 S.F. 5.43% OF VIA	<b>LANDSCAPING COMPLIES WITH CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS, ARTICLE 9.</b>

SOUTH PROPERTY (PARCEL 2)	
LANDSCAPE SITE CALCULATIONS	11/27/2014
<b>PARCEL 1: GROSS SITE AREA</b>	2.88 AC. 124,547.99 S.F.
<b>PARCEL 2: NET SITE AREA</b>	2.48 AC. 107,109.97 S.F.
<b>PERVIOUS AREA</b>	ALLOWED
107,105.67 S.F.	PROVIDED
100.0%	100.0%

LANDSCAPE REQUIREMENTS	
LANDSCAPING COMPLIES WITH CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS, ARTICLE 9.	
<b>STREET TREES</b>	1 tree/ 50 LF.
MCKINLEY ST. 288 LF/ 50 LF = 6 TREES	6
N. 20th AVENUE, 372 LF/ 50 LF = 13 TREES	8
<b>PerVIOUS Area</b>	8 EXISTING OV.
<b>TOTAL</b>	14
<b>NATIVE REQUIREMENT</b>	66
<b>TREES-60% NATIVE</b>	12
14 REQUIRED TREES X 80% = 9 NATIVE TREES/PALMS	66
<b>SHRUBS-50% NATIVE</b>	324
648 X 50% = 324 NATIVE SHRUBS	648 (100%)

north



SCALE: 1" = 60'

**SITE LANDSCAPE PLAN**

**JFS Design Inc.**  
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**PROPOSED DEVELOPMENT:**  
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2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

JAMES F. SOCCASH  
P.L.A. # 00001312

DRAWN  
CHECKED **G.J.C.**  
DATE **01/21/13**  
SCALE  
JOB NO. **13-011**  
SHEET  
**L-1**  
OF SHEETS



SILVER BUTTWOOD  
ORANGE  
GERGER  
WILD TAMARIND

EXISTING OVERHEAD  
POWER LINE

TAFT STREET

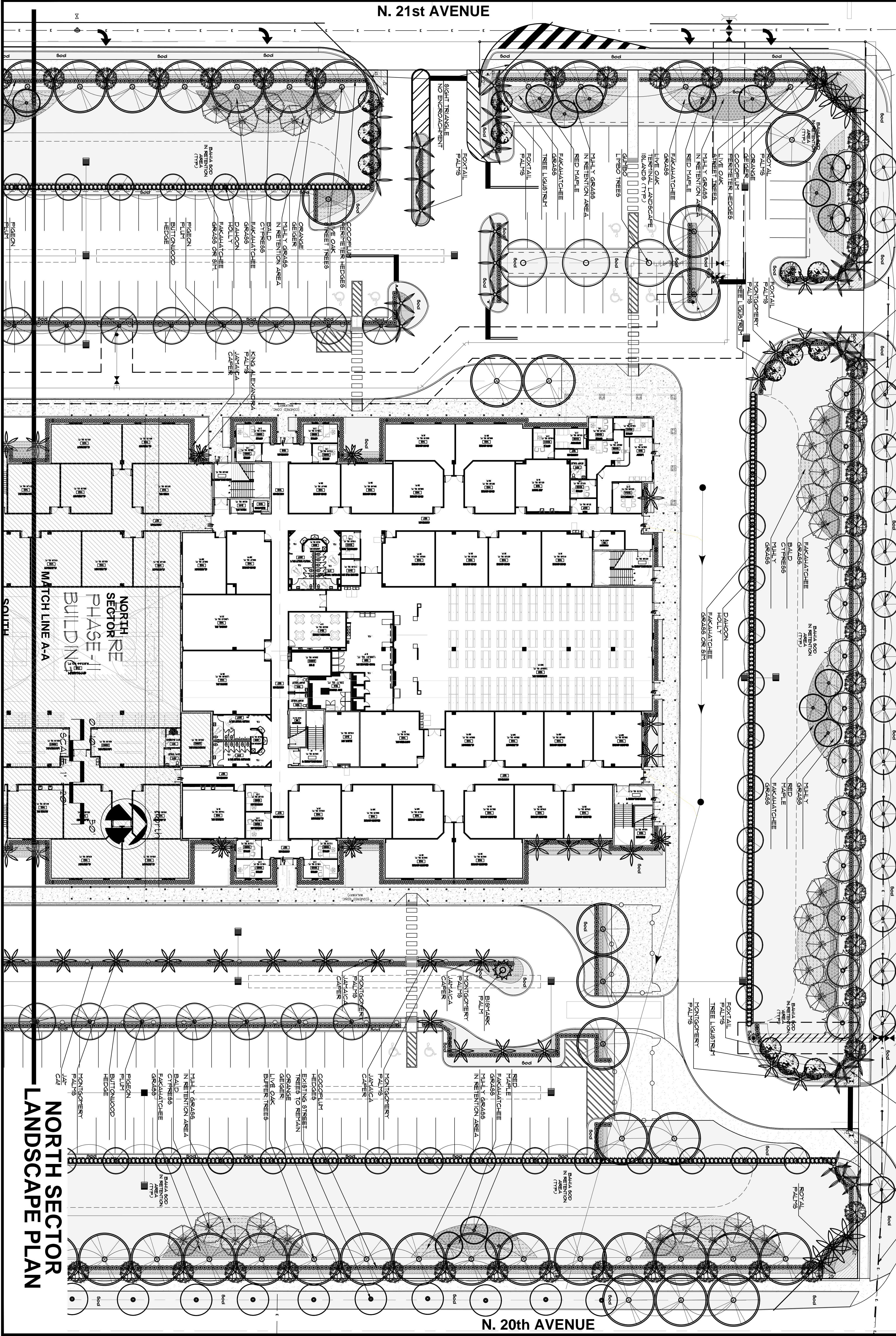
SILVER BUTTWOOD  
ORANGE  
GERGER  
WILD TAMARIND

SIGHT TRIANGLE  
NO ENCROACHMENT

EXISTING OVERHEAD  
POWER LINE

N. 21st AVENUE

N. 20th AVENUE



NORTH SECTOR  
PHASE - I  
BUILDING  
LANDSCAPE PLAN

**PROPOSED DEVELOPMENT:**  
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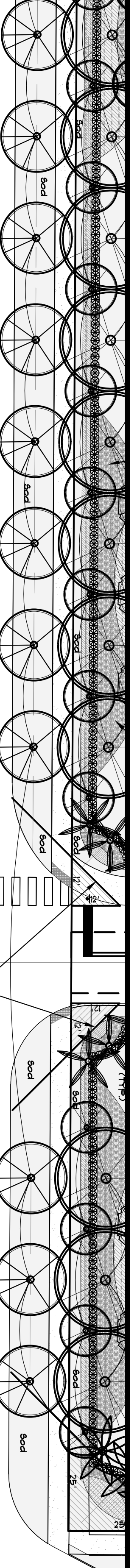
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L-2









**MCKINLEY STREET**

SIGHT TRIANGLE  
NO ENCROACHMENT

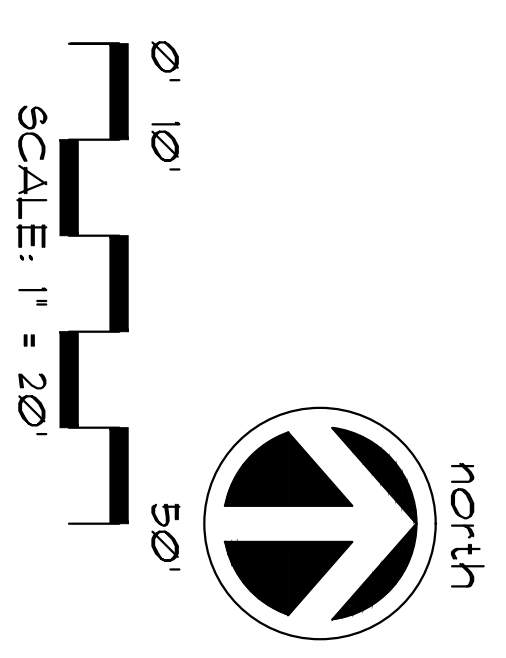
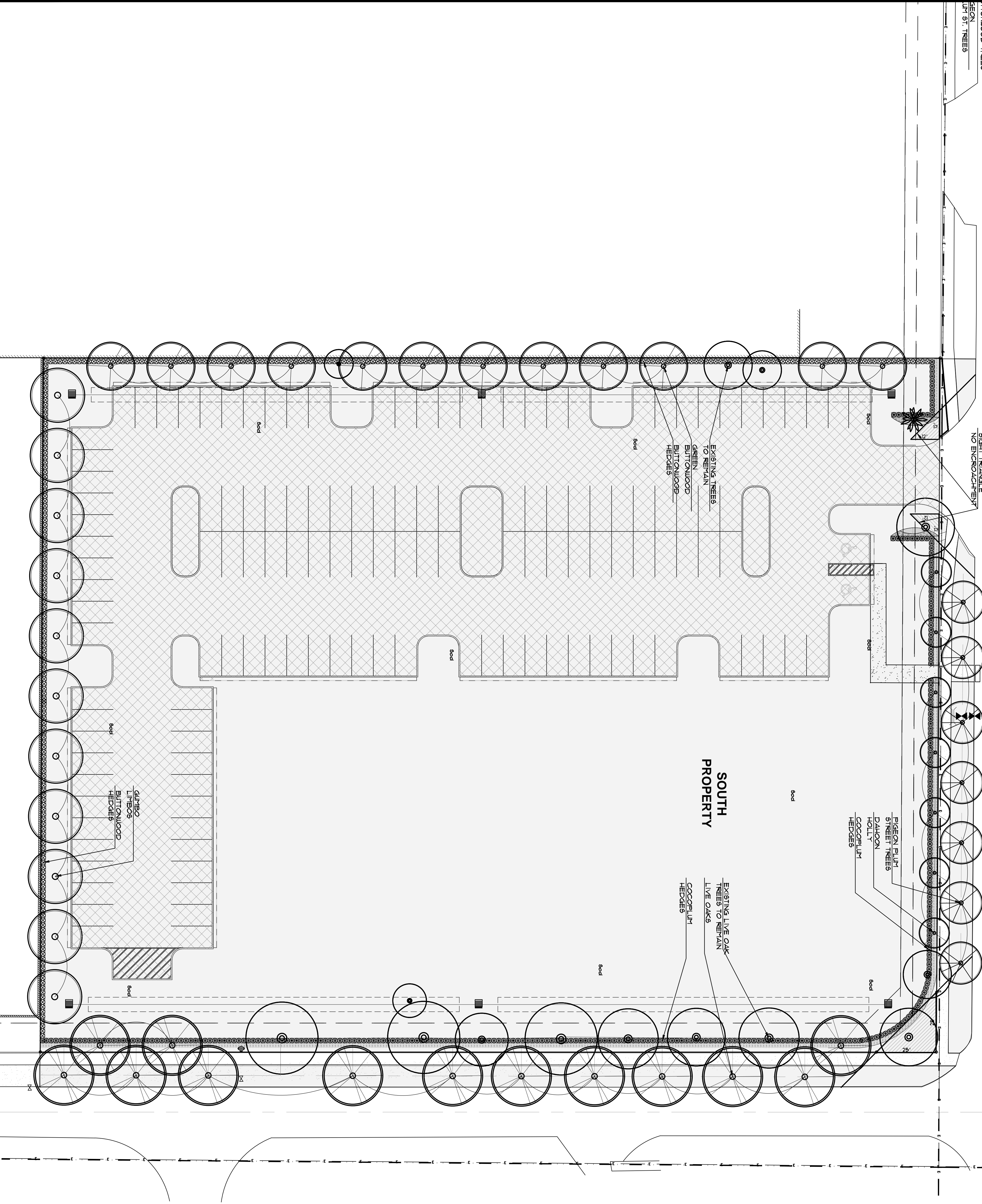
SIGHT TRIANGLE  
NO ENCROACHMENT

PIGEON PLUM  
STREET TREES  
DAHON  
HOLLY  
COCORPLUM  
HEDGES

EXISTING TREES  
TO REMAIN  
GREEN  
BUTTOWOOD  
HEDGES

**SOUTH  
PROPERTY**

EXISTING LIVE OAK  
TREES TO REMAIN  
LIVE OAKS  
COCORPLUM  
HEDGES



**SOUTH PROPERTY  
LANDSCAPE PLAN**

REVISION	BY:
11/07/13	RET
TAK COMMENTS	
01/14/2014	M.J.G.
PL COMMENTS	

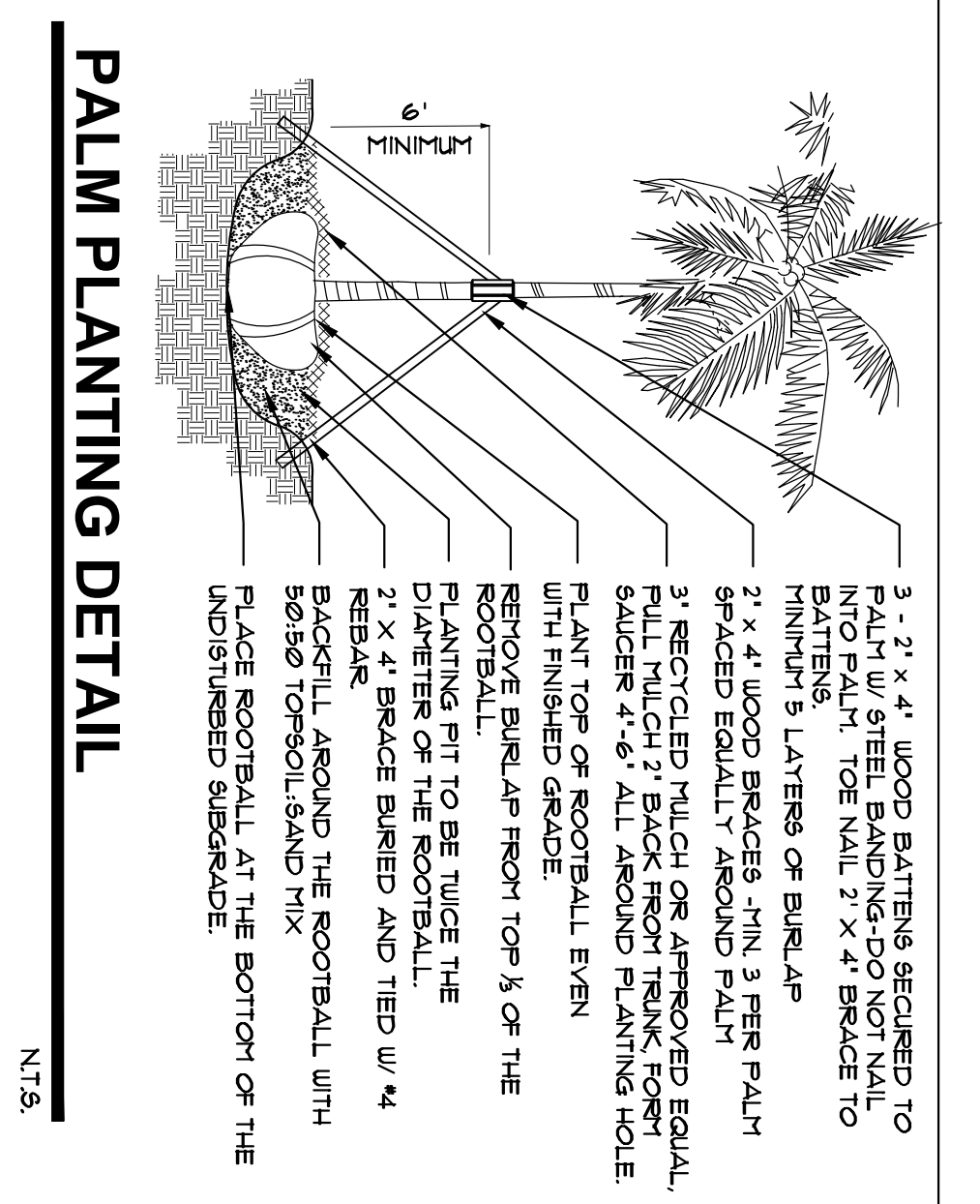
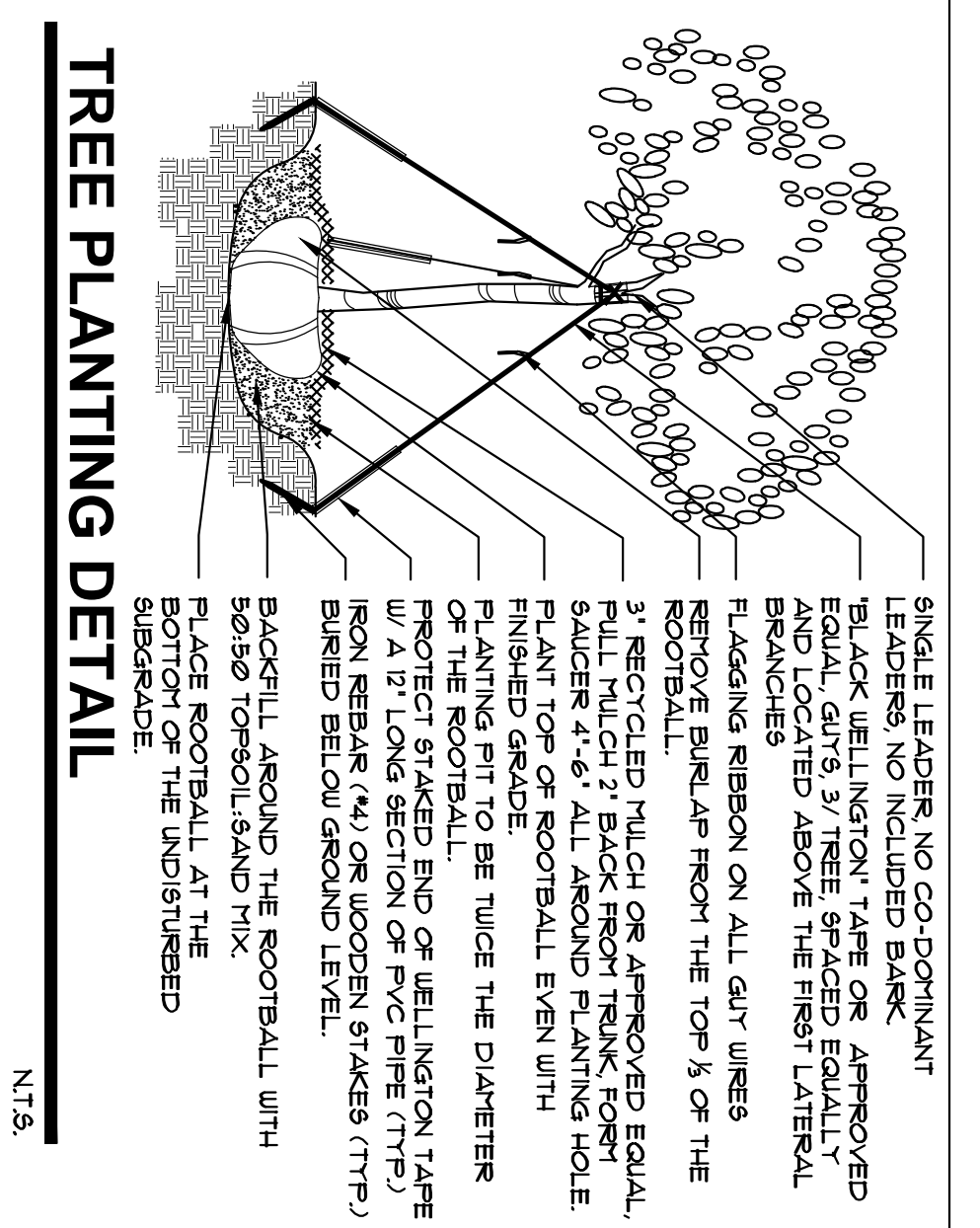
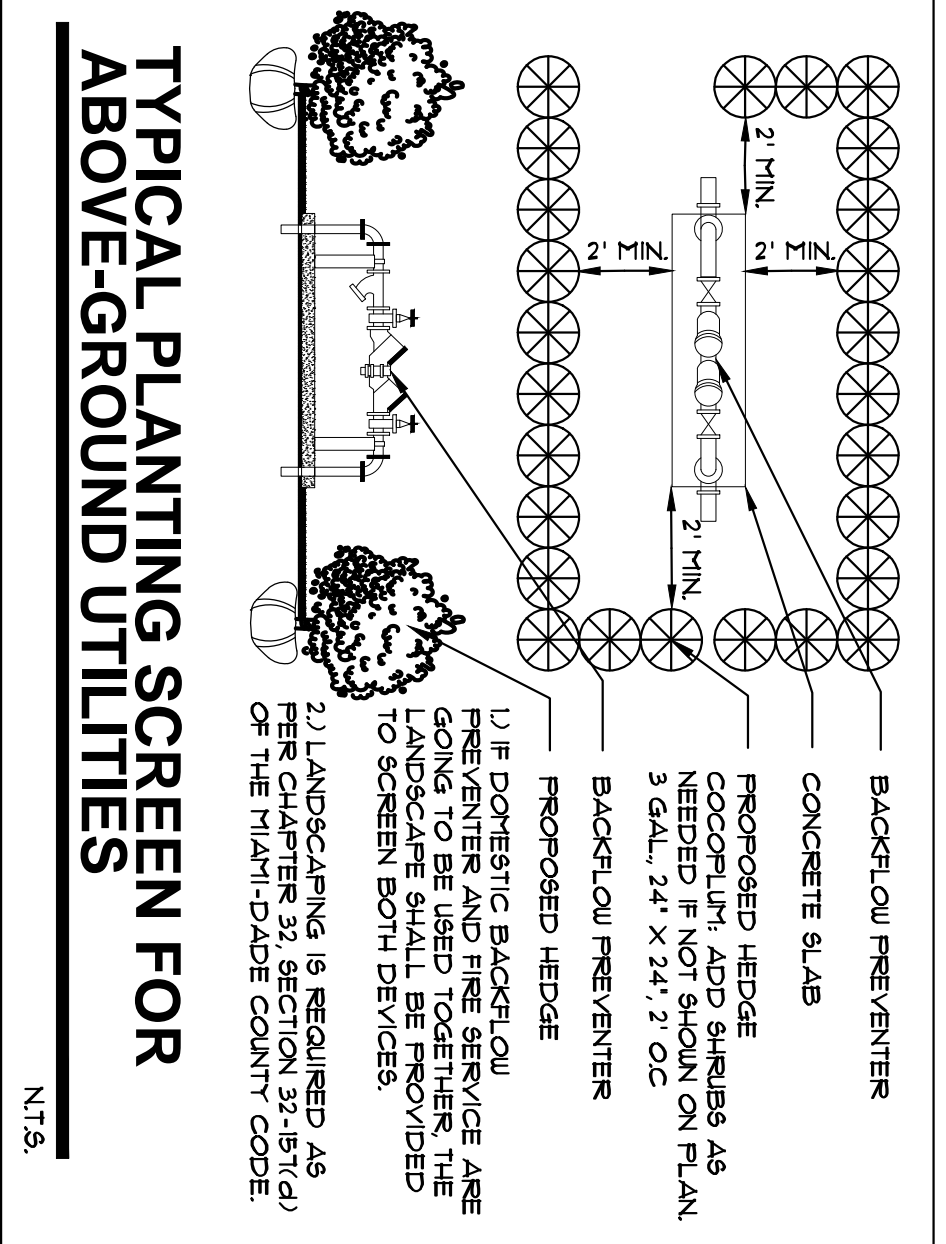
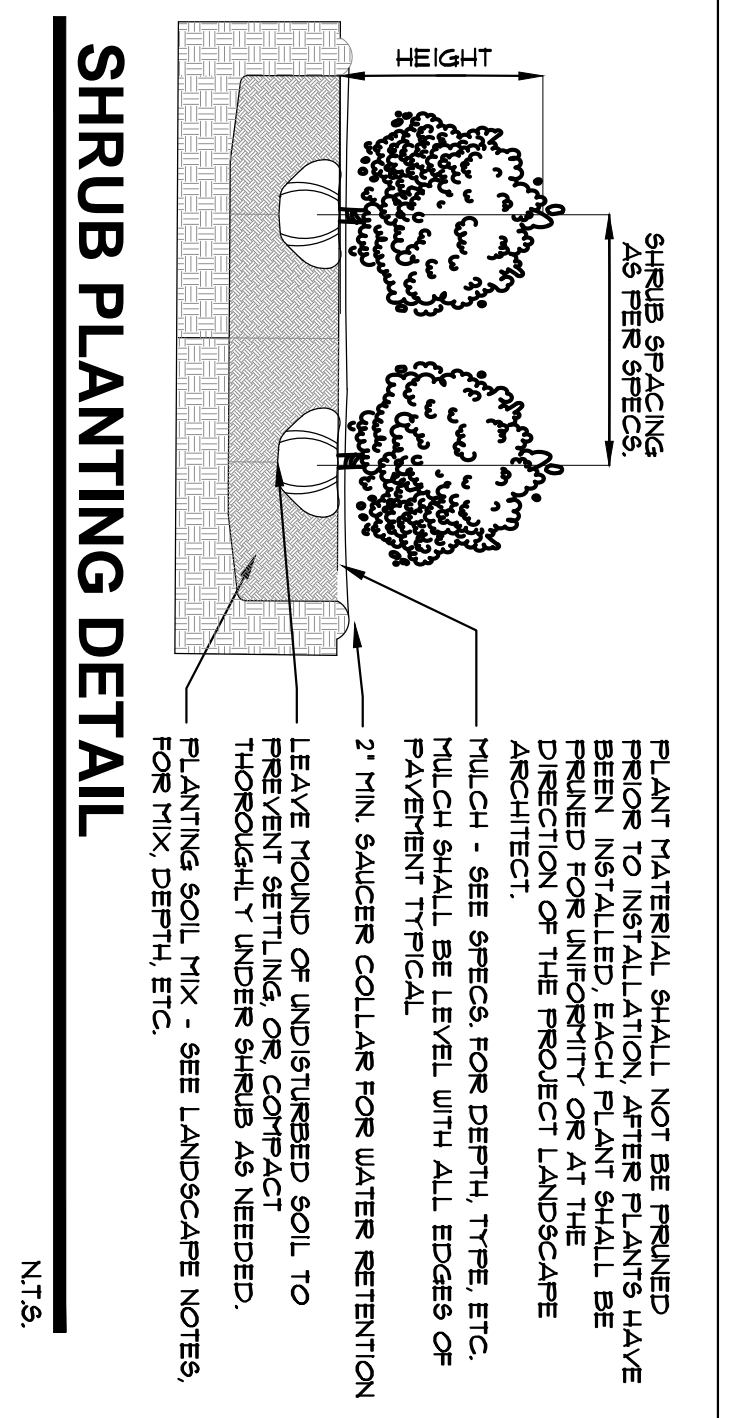
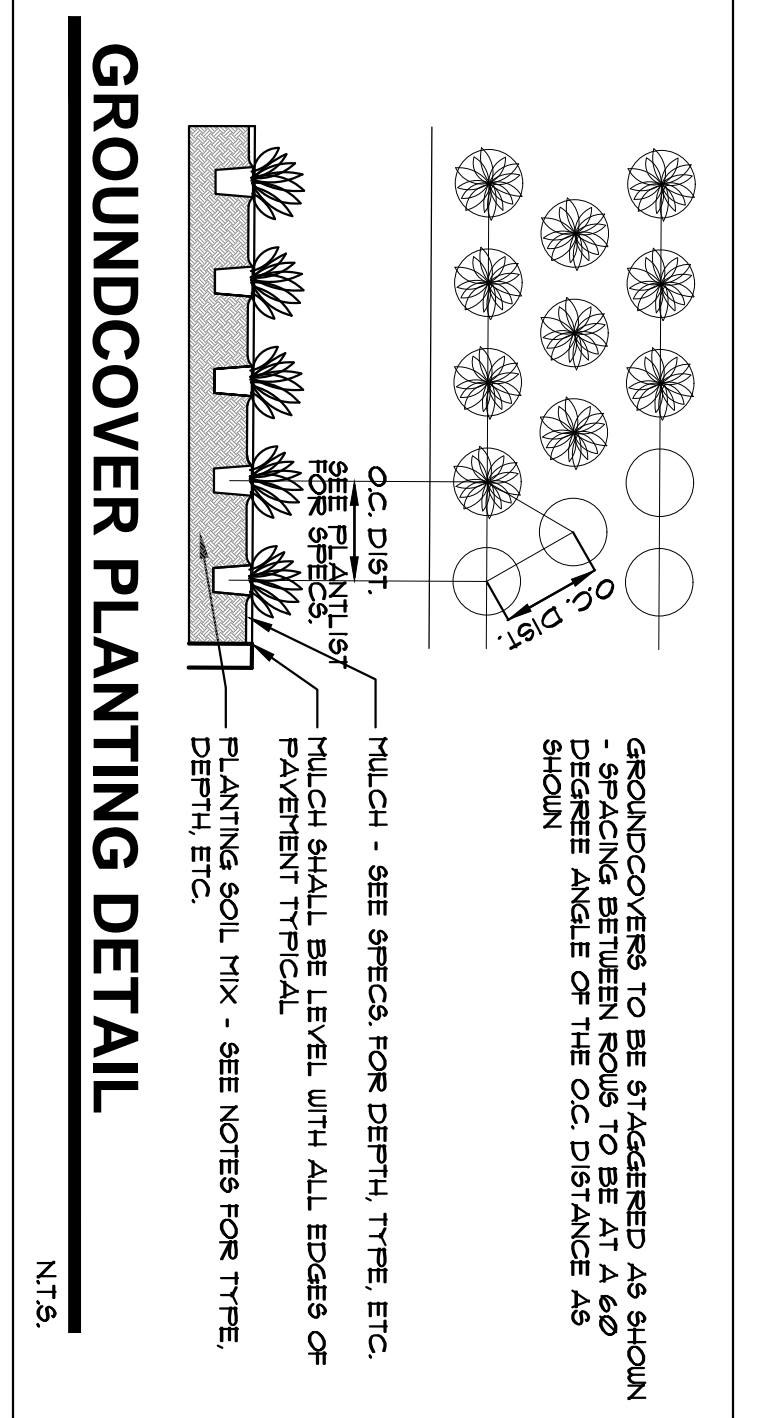
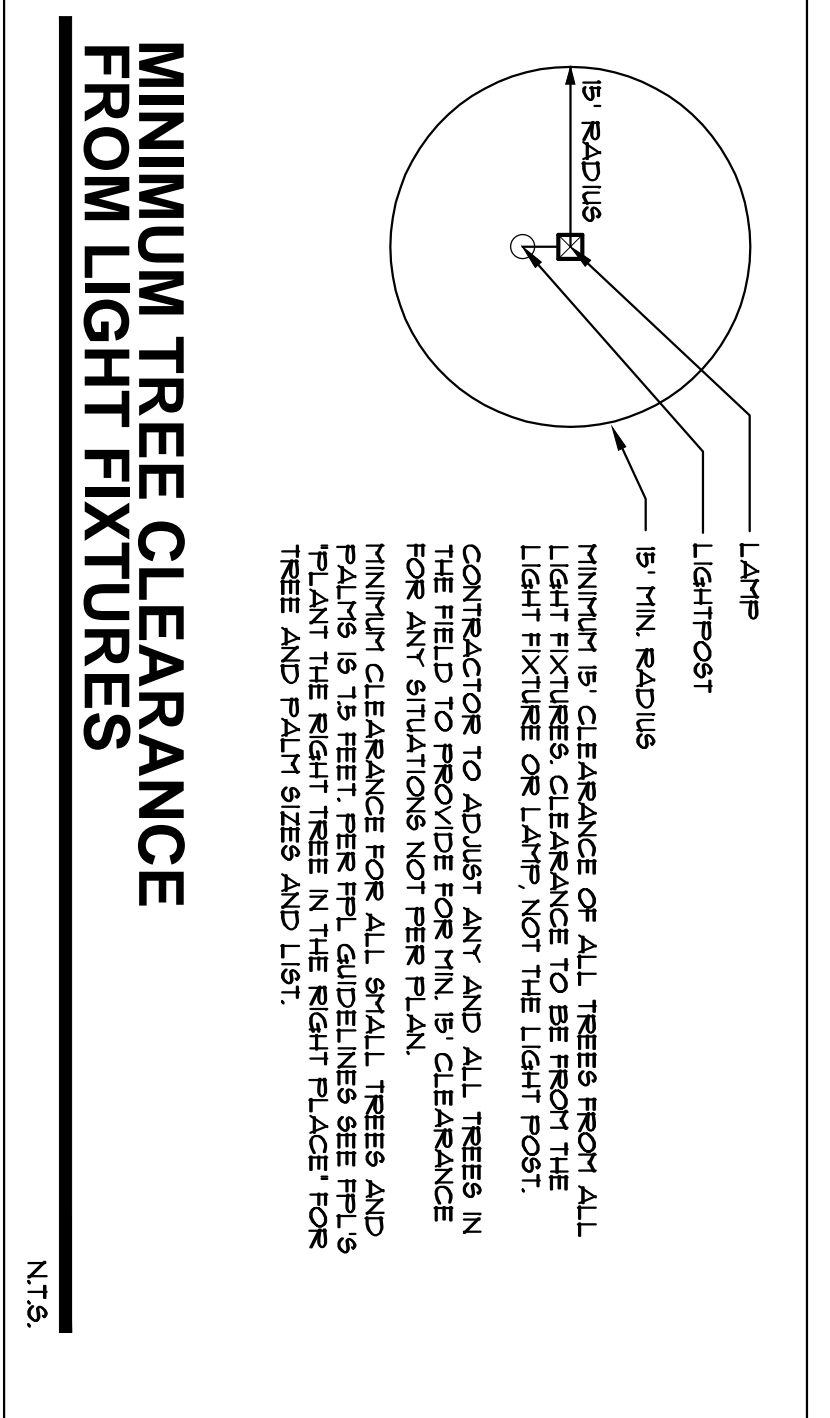
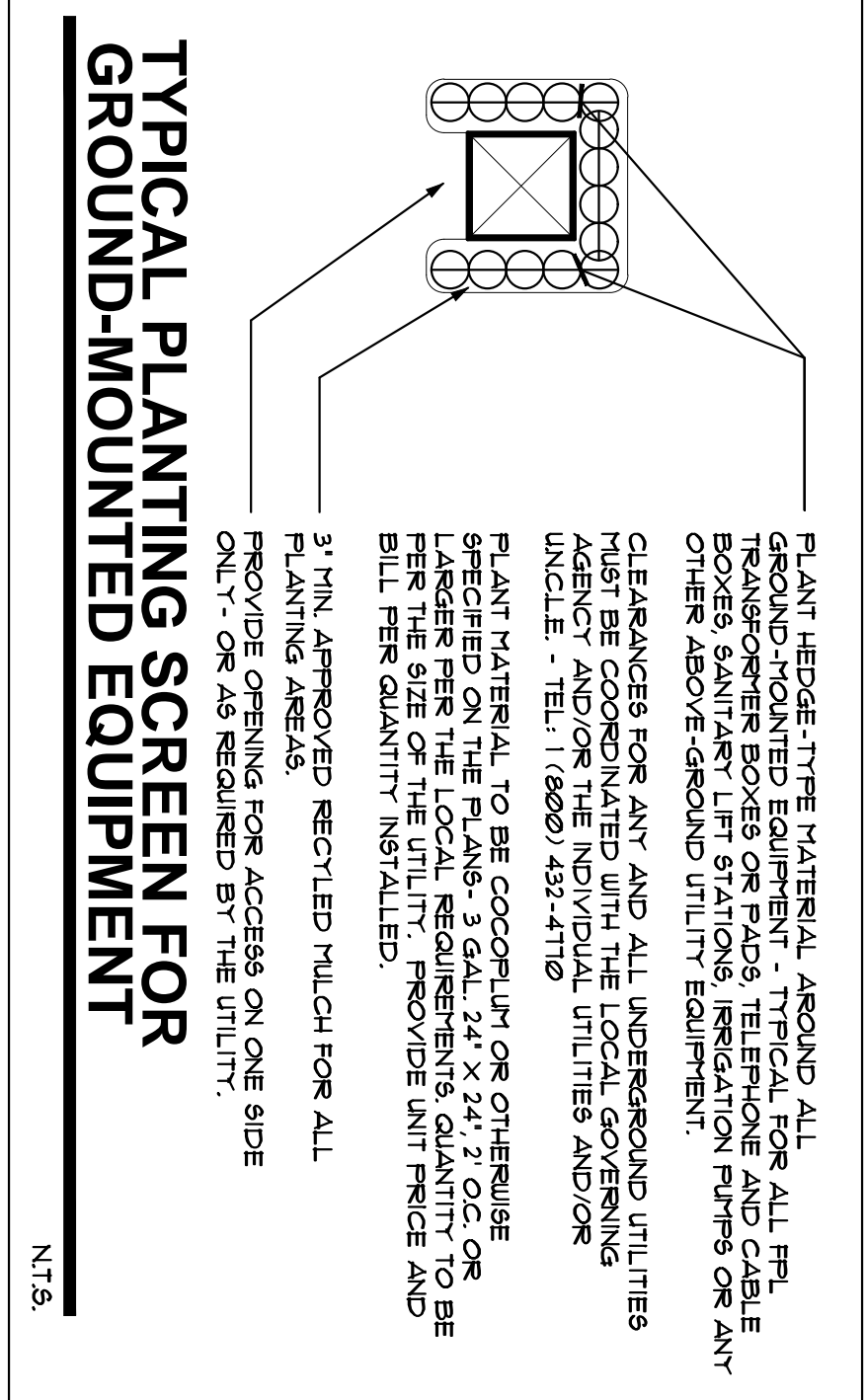
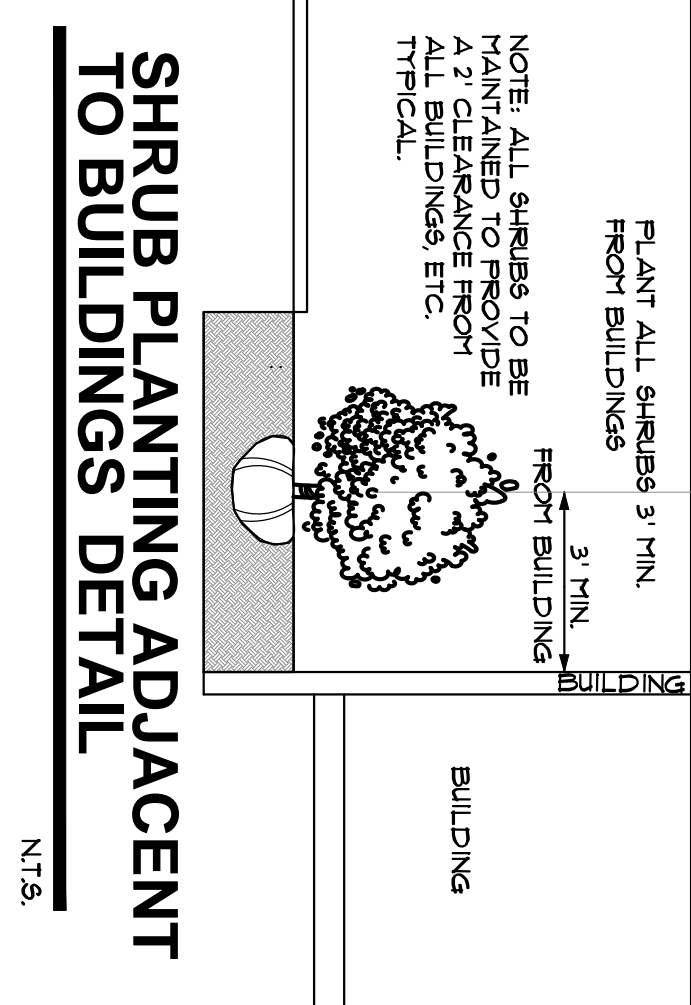
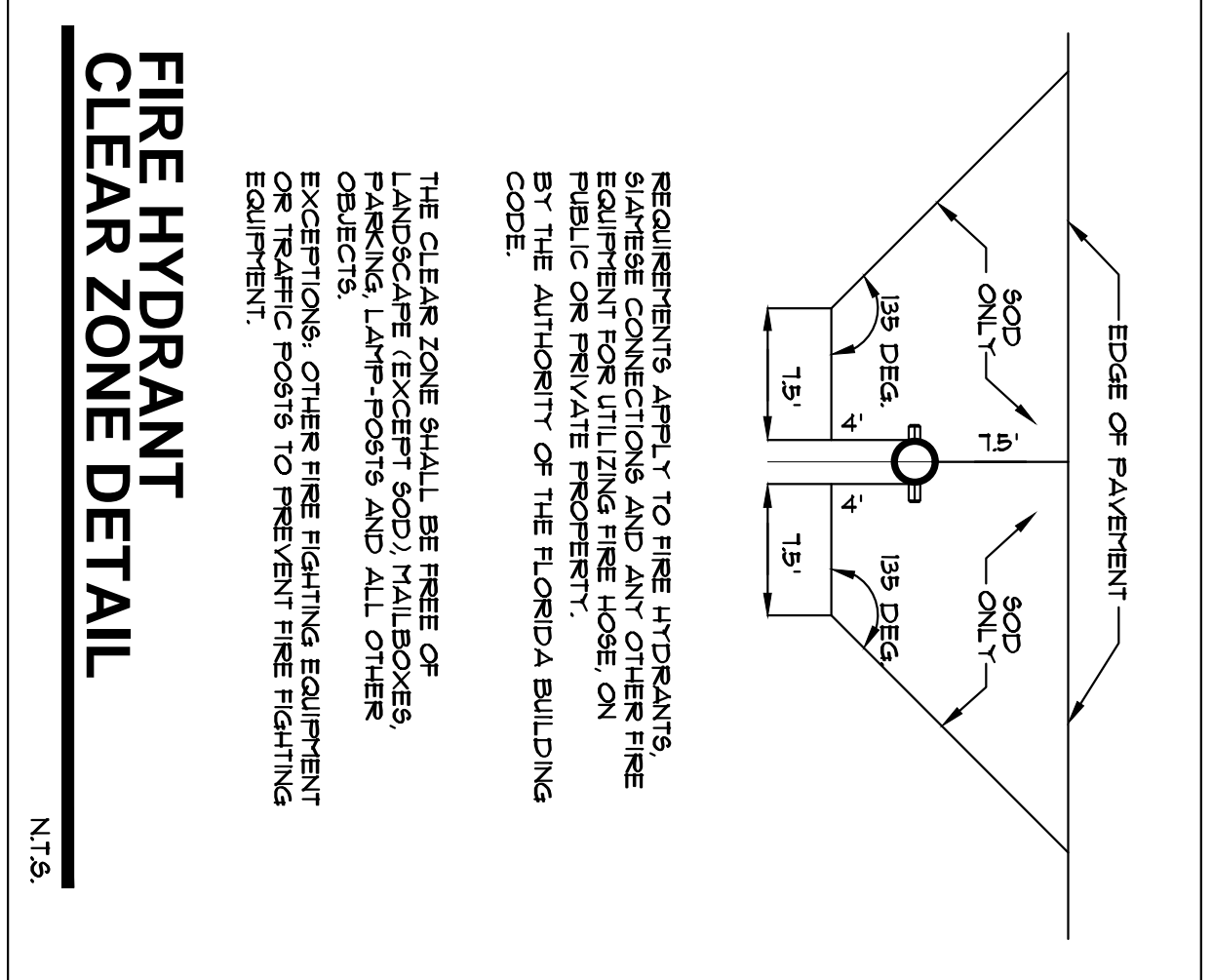
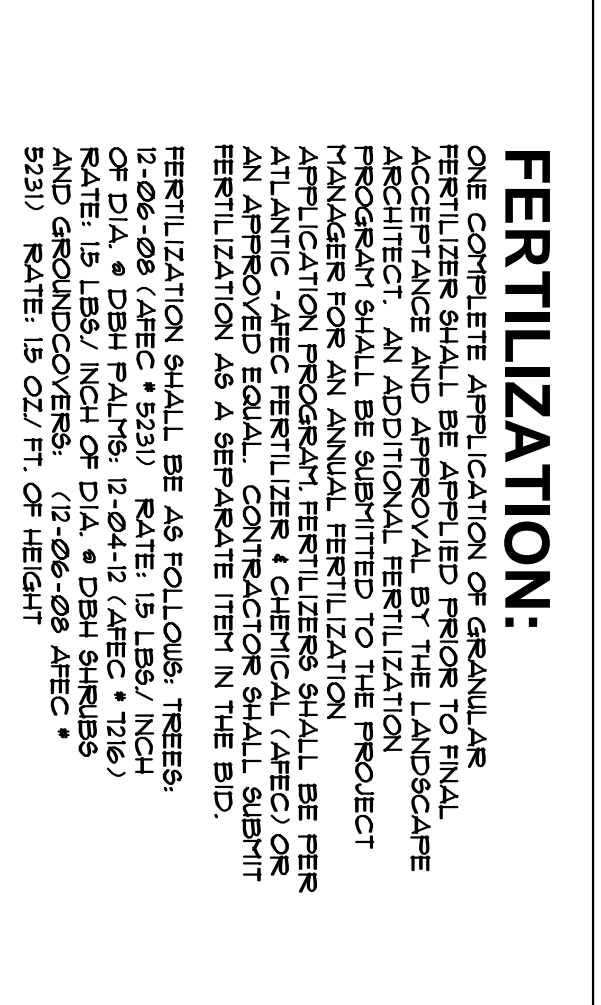
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JAMES F. SOCCASH  
FLA. # 00001321

DRAWN	
CHECKED	<b>G.J.C.</b>
DATE	<b>01/21/13</b>
SCALE	
JOB. NO.	<b>13-011</b>
SHEET	
OF	<b>L-4</b>
SHEETS	





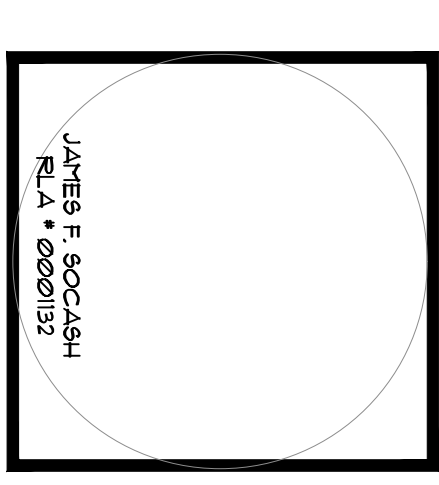
### LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
2. CONTRACTOR SHALL FURNISH LARGEST UNITS WITHIN THE LOCATION OF AND AVOID AND PROTECT UTILITIES, LINES, BURIED CABLES, AND OTHER UTILITIES.
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTING SOIL SHALL BE 50/50 TOPSOIL/SAND MIX, FREE OF CLAY, STONES, ROCKS OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADE. THIS SHALL INCLUDE A 2" APPLICATION OF 50/50 TOPSOIL/SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE BODDED.
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50/50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE CONTRACTOR'S AND LANDSCAPE CONTRACTOR'S BIDDING. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL/SAND APPLICATION AND SUBSEQUENT PAYMENT.
7. OTHER PLANTING SOIL MIXES TO BE ADDED, IE FOR TREES, PALMS, SPECIEN PALMS, SHALL BE SUBMITTED AS A SEPARATE ITEM IN THE BID.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADE. THIS SHALL INCLUDE A 2" APPLICATION OF 50/50 TOPSOIL/SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE BODDED.
9. SOD SHALL BE ASPENTINE 3/4X1/4 OR 5' ASPENTINE 1/2X1/4. AS SHOWN ON THE PLAN, STRONGLY ROOTED FREE FROM WEEDS, THINGS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED BODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
10. SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY POST. SOD SHALL CARRY A 5-MONTH WARRANTY.
11. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNLGA), THE FLORIDA PALM NURSERYMEN & GROWERS ASSOCIATION (FPNGA), THE FLORIDA GOVERNING AGENCY CONTRACTOR SHALL INQUIRE THAT THE PLANS DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
13. THE PLAN LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT.
14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP. AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND MAINTENANCE. IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS FOR POST-INSTALLATION WATERING SCHEDULES.
15. EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
16. CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
17. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS TEXAX PROTECTIVE FENCING OR AS SHOWN ON THE PLANS. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PLANTED AT THE BEGINNING OF THE PROJECT. PALMS AND TREES SHALL BE PLANTED WITH CARE AND CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT CAULS AREAS AND ADJACENT GRADES.
18. EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
19. ALL EXISTING TREES AND PALMS SHALL BE TRIMMED AND THINNED TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICLES AND USE AREAS.
20. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN TREE REMOVAL PERMIT FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.

JFS Design Inc.  
LANDSCAPE ARCHITECTURE  
LC 000393  
www.jfsdesign.com  
jimmy@jfsdesign.com  
TEL: (954) 441-4400  
FAX: (954) 442-4525

# LANDSCAPE DETAILS, SPECIFICATIONS, ETC.

DRAWN	
CHECKED	G.J.C.
DATE	01/21/13
SCALE	
JOB NO.	13-011
SHEET	
OF SHEETS	L-5



**PROPOSED DEVELOPMENT:**  
**HOLLYWOOD CHARTER ACADEMY**  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
Architect and Planner  
1457 N.E. 4th AVE.  
Ft. Lauderdale, Florida, 33304  
(954) 462-6565  
Member American Institute of Architects

REVISION	BY:
11/07/13	RET
TALK COMMENTS	
01/14/2014	M.J.G.
NO COMMENTS	



RESOLUTION NO.: R-2014-069

(13-DJPVZ-79)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, CONSIDERING THE REQUEST FOR DESIGN AND SITE PLAN APPROVAL FOR "HOLLYWOOD CHARTER ACADEMY"; LOCATED AT 2025 MCKINLEY STREET; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Hollywood's Zoning and Land Development Regulations require that all development projects which are located in a PD (Planned Development District) must receive Design and Site Plan approval from the City Commission prior to the issuance of any building permits; and

WHEREAS, the Planning and Development Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances, modifications, design review, and site plan approval and forwarding a recommendation to the City Commission; and

WHEREAS, MG3 Dixie, LLC (the "Applicant"), in File Number 13-DJPVZ-79, applied for design and site plan approval for the construction of an approximate 125,000 sq. ft. Charter School (Hollywood Charter Academy, Grades 6th-12th) located at 2025 McKinley Street, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Department of Planning and Development Services Staff, after review of the Applicant's request for Design review in accordance with the criteria set forth in Section 5.3.1.4.a.(1) through (4) of the Zoning and Land Development Regulations recommended that the Board approve the Design; and

WHEREAS, the Technical Advisory Committee in accordance with Article 6 of the Zoning and Land Development Regulations reviewed the Applicant's request for Site Plan and recommended approval of the Site Plan with the following conditions:

- a. At full capacity, including all phases, as indicated in the Master Development Plan, the school shall be limited to grades 6th – 12th; shall not exceed a maximum of 2,200 students; and individual grades shall not exceed a maximum of 330 students each, at any point in time;
- b. Based on the number of parking spaces provided as part of Phase I, enrollment shall not exceed a maximum of 1,700 students. For enrollment to increase to full capacity (2,200 students) a minimum of 137 additional parking spaces shall be provided on- or off-site in compliance with the Zoning and Land Development Regulations, if deemed necessary by the City's Engineer or his/her designee. Should the parking spaces be

provided off-site, an irrevocable Off-Site Parking Agreement shall be submitted, in accordance with the Zoning and Land Development Regulations, in a form acceptable to the City Attorney's Office, prior to the issuance of an amended Certificate of Use. Said Agreement shall be recorded in the Public Records of Broward County by the City of Hollywood;

- c. The Middle School (grades 6th-8th) and High School (grades 9th-12th) shall each have a minimum of two separate pick-up and drop-off times (a total of four pick-up and four drop-off times), separated by a minimum of 30 minutes each. Pick-up and drop-off areas shall function as indicated by the Site Plan (SP-1 – SP4) and Traffic Operations Plan. Any modification to the pick-up/drop-off plan and operating shifts shall be approved in writing by the City's Engineer or his/her designee;
- d. All improvements proposed during Phase I, as indicated by the Site Plan (SP-1 – SP4) shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to establishing the school. Such improvements include, but are not limited to: landscaping, parking lot and traffic improvements, pedestrian crossings, sidewalks, signage, signalization, (as dictated by MUTCD Standards and shall receive approval from Broward County and the City's Engineer) and/or disconnection (not operational) of the railroad spur. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- e. The Applicant shall contact the Broward County Traffic Engineering to apply for the establishment of a school zone and request crossing guards prior to the issuance of Building Permits, which shall be completed by the time of Certificate of Occupancy (C/O). Temporary signage for all traffic control related to the school zone shall be permitted upon coordination and approval of Broward County Traffic Engineering. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- f. Applicant shall, prior to the issuance of any Building Permits, make application to the appropriate Charter School regulatory agency(ies) for the adoption of rules by which a Zero Tolerance Policy shall be applied to anyone dropping off, or picking up a student at any location other than those agreed to by the City and Applicant and indicated on the Site Plan (SP-1 – SP4) and/or a map for this purpose. Applicant shall seek a progressive penalty system for violations of this rule that will

result in the expulsion of the student from the school for repeated violations;

- g. Applicant shall market the Charter School exclusively to Hollywood residents including North Central and Royal Poinciana neighborhoods for a minimum of four weeks prior to any marketing for student enrollment to the public at-large. This marketing shall include a combination of presentations to North Central and Royal Poinciana Neighborhood Associations, "open houses," flyers, advertising, and community newspapers;
- h. The Applicant on behalf of itself, successors, and/or assigns shall annually submit, to the Planning and Development Services Department or subsequent Department, prior to October 1<sup>st</sup> of each year, a copy of the Benchmark Day Enrollment Report or other applicable document;
- i. The Applicant on behalf of itself, its successors, and/or assigns, shall submit to the Planning and Development Services Department or subsequent Department an annual Compliance Report, no later than December 1<sup>st</sup> of each year, showing compliance with all conditions of this approval. Applicant acknowledges that should any violations of the conditions be determined, the City will pursue any and all remedies, including, but not limited to, Code Enforcement (the City will seek fines in the amount of \$1,000 per day for first violations and up to \$5,000 per day for repeat violations) and/or an injunction to prohibit the continuing violation(s), subject to Applicant's rights to notice and right to cure under the law;
- j. Deliveries shall be coordinated as to not interfere with student arrival or dismissal shifts;
- k. The Applicant on behalf of itself, successors, and/or assigns shall provide off-duty police detail (from no less than 15 minutes prior to first arrival or dismissal shift to no less than 15 minutes after last arrival or dismissal shift) for the first two months of every school year. Said police detail requirement may be modified, once the school reaches full capacity and/or if the circumstances change. The Public Safety Director shall have the ability to modify this condition;
- l. Parking for special events (for the purposes of this section, special events shall mean any time parents or other visitors and invitees are attending the school for other than pick-up and drop-off purposes) shall be provided and coordinated in the following manner:



1. Special events for the Middle School (grades 6th-8th) and High School (grades 9th-12th) shall be independent of each other and only one event can take place at any given time;
  2. Special event during school hours shall be limited to one grade level. Multi-grade events shall be limited to non-school hours. A Special Event Permit pursuant to Chapter 102 of the Hollywood Code of Ordinances shall be required for all events. The school shall comply with all requirements and/or conditions set forth in the Special Event Permit, which includes but not limited to, off-site parking, police details, etc.; and
- m. A Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

WHEREAS, on February 13, 2014, the Board met and held an advertised public hearing to consider the Applicant's requests and have forwarded its recommendation to the City Commission as follows:

1. That the Design meets the criteria set forth in Section 5.31.4.a. (1) through (4) of the City's Zoning and Land Development Regulations and should be approved.
2. That the Final Site Plan meets the review standards set forth in Article 6 of the Zoning and Land Development Regulations and should be approved with the following conditions:
  - a. At full capacity, including all phases, as indicated in the Master Development Plan, the school shall be limited to grades 6th – 12th; shall not exceed a maximum of 2,200 students; and individual grades shall not exceed a maximum of 330 students each, at any point in time;
  - b. Based on the number of parking spaces provided as part of Phase I, enrollment shall not exceed a maximum of 1,700 students. For enrollment to increase to full capacity (2,200 students) a minimum of 137 additional parking spaces shall be provided on- or off-site in compliance with the Zoning and Land Development Regulations, if deemed necessary by the City's Engineer or his/her designee. Should the parking spaces be provided off-site, an irrevocable Off-Site Parking Agreement shall be submitted, in accordance with the Zoning and Land Development Regulations, in a form acceptable to the City Attorney's Office, prior to the issuance of an amended

Certificate of Use. Said Agreement shall be recorded in the Public Records of Broward County by the City of Hollywood;

- c. The Middle School (grades 6th-8th) and High School (grades 9th-12th) shall each have a minimum of two separate pick-up and drop-off times (a total of four pick-up and four drop-off times), separated by a minimum of 30 minutes each. Pick-up and drop-off areas shall function as indicated by the Site Plan (SP-1 – SP4) and Traffic Operations Plan. Any modification to the pick-up/drop-off plan and operating shifts shall be approved in writing by the City's Engineer or his/her designee;
- d. All improvements proposed during Phase I, as indicated by the Site Plan (SP-1 – SP4) shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to establishing the school. Such improvements include, but are not limited to: landscaping, parking lot and traffic improvements, pedestrian crossings, sidewalks, signage, signalization, (as dictated by MUTCD Standards and shall receive approval from Broward County and the City's Engineer) and/or disconnection (not operational) of the railroad spur. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- e. The Applicant shall contact the Broward County Traffic Engineering to apply for the establishment of a school zone and request crossing guards prior to the issuance of Building Permits, which shall be completed by the time of Certificate of Occupancy (C/O). Temporary signage for all traffic control related to the school zone shall be permitted upon coordination and approval of Broward County Traffic Engineering. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- f. Applicant shall, prior to the issuance of any Building Permits, make application to the appropriate Charter School regulatory agency(ies) for the adoption of rules by which a Zero Tolerance Policy shall be applied to anyone dropping off, or picking up a student at any location other than those agreed to by the City and Applicant and indicated on the Site Plan (SP-1 – SP4) and/or a map for this purpose. Applicant shall seek a progressive penalty system for violations of this rule that will result in the expulsion of the student from the school for repeated violations;

- g. Applicant shall market the Charter School exclusively to Hollywood residents including North Central and Royal Poinciana neighborhoods for a minimum of four weeks prior to any marketing for student enrollment to the public at-large. This marketing shall include a combination of presentations to North Central and Royal Poinciana Neighborhood Associations, "open houses," flyers, advertising, and community newspapers;
- h. The Applicant on behalf of itself, successors, and/or assigns shall annually submit, to the Planning and Development Services Department or subsequent Department, prior to October 1<sup>st</sup> of each year, a copy of the Benchmark Day Enrollment Report or other applicable document;
- i. The Applicant on behalf of itself, its successors, and/or assigns, shall submit to the Planning and Development Services Department or subsequent Department an annual Compliance Report, no later than December 1<sup>st</sup> of each year, showing compliance with all conditions of this approval. Applicant acknowledges that should any violations of the conditions be determined, the City will pursue any and all remedies, including, but not limited to, Code Enforcement (the City will seek fines in the amount of \$1,000 per day for first violations and up to \$5,000 per day for repeat violations) and/or an injunction to prohibit the continuing violation(s), subject to Applicant's rights to notice and right to cure under the law;
- j. Deliveries shall be coordinated as to not interfere with student arrival or dismissal shifts;
- k. The Applicant on behalf of itself, successors, and/or assigns shall provide off-duty police detail (from no less than 15 minutes prior to first arrival or dismissal shift to no less than 15 minutes after last arrival or dismissal shift) for the first two months of every school year. Said police detail requirement may be modified, once the school reaches full capacity and/or if the circumstances change. The Public Safety Director shall have the ability to modify this condition;
- l. Parking for special events (for the purposes of this section, special events shall mean any time parents or other visitors and invitees are attending the school for other than pick-up and drop-off purposes) shall be provided and coordinated in the following manner:
  - 1. Special events for the Middle School (grades 6th-8th) and High School (grades 9th-12th) shall be

independent of each other and only one event can take place at any given time;

2 Special event during school hours shall be limited to one grade level. Multi-grade events shall be limited to non-school hours. A Special Event Permit pursuant to Chapter 102 of the Hollywood Code of Ordinances shall be required for all events. The school shall comply with all requirements and/or conditions set forth in the Special Event Permit, which includes but not limited to, off-site parking, police details, etc.; and

m. A Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C);

n. With the exception of the playfield (South Parcel), fence material shall consist of black vinyl coated chain link fencing only where shielded by landscape, otherwise white PVC or other decorative material shall be used; and

o. The line of sight for the roof deck chillers will be examined and if visible, the parapet height shall be increased.

; and

WHEREAS, the Applicant has complied with Staff's condition relating to meeting the School Board's application requirements; and

WHEREAS, the City Commission has reviewed the proposed Design for the Project in accordance with the criteria set forth In Section 5.3.I.4. A. (1) through (4) of the City's Zoning and Land Development Regulations, along with the Staff's and the Board's recommendations and have determined that the Design should be approved/approved with conditions/denied; and

WHEREAS, the City Commission has reviewed the proposed Site Plan for the Hollywood Charter Academy in accordance with the review standards set forth in Article 6 of the Zoning and Land Development Regulations, along with Technical Advisory Committee's and the Board's recommendation and have determined that the Site Plan should be approved/approved with the conditions/denied as set forth herein;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, the Board's

recommendation, and the consideration of the Design criteria set forth in Section 5.3.4I.a. (1) through (4) of the City's Zoning and Land Development Regulations, the City Commission finds that the necessary criteria have been met, and the Design is hereby **approved**.

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing from all parties and speakers, the Board's recommendation, and consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the City Commission finds that the necessary review standards have been met, and the Site Plan attached hereto and incorporated herein by reference as Exhibit "B", is hereby **approved with the following conditions:**

- a. At full capacity, including all phases, as indicated in the Master Development Plan, the school shall be limited to grades 6th-12th; shall not exceed a maximum of 2,200 students; and individual grades shall not exceed a maximum of 330 students each, at any point in time;
- b. Based on the number of parking spaces provided as part of Phase I, enrollment shall not exceed a maximum of 1,700 students. For enrollment to increase to full capacity (2,200 students) a minimum of 137 additional parking spaces shall be provided on- or off-site in compliance with the Zoning and Land Development Regulations, if deemed necessary by the City's Engineer or his/her designee. Should the parking spaces be provided off-site, an irrevocable Off-Site Parking Agreement shall be submitted, in accordance with the Zoning and Land Development Regulations, in a form acceptable to the City Attorney's Office, prior to the issuance of an amended Certificate of Use. Said Agreement shall be recorded in the Public Records of Broward County by the City of Hollywood;
- c. The Middle School (grades 6th-8th) and High School (grades 9th-12th) shall each have a minimum of two separate pick-up and drop-off times (a total of four pick-up and four drop-off times), separated by a minimum of 30 minutes each. Pick-up and drop-off areas shall function as indicated by the Site Plan (SP-1 – SP4) and Traffic Operations Plan. Any modification to the pick-up/drop-off plan and operating shifts shall be approved in writing by the City's Engineer or his/her designee;
- d. All improvements proposed during Phase I, as indicated by the Site Plan (SP-1 – SP4) shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to establishing the school. Such improvements include, but are not limited to:

landscaping, parking lot and traffic improvements, pedestrian crossings, sidewalks, signage, signalization, (as dictated by MUTCD Standards and shall receive approval from Broward County and the City's Engineer) and/or disconnection (not operational) of the railroad spur. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;

- e. The Applicant shall contact the Broward County Traffic Engineering to apply for the establishment of a school zone and request crossing guards prior to the issuance of Building Permits, which shall be completed by the time of Certificate of Occupancy (C/O). Temporary signage for all traffic control related to the school zone shall be permitted upon coordination and approval of Broward County Traffic Engineering. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- f. Applicant shall, prior to the issuance of any Building Permits, make application to the appropriate Charter School regulatory agency(ies) for the adoption of rules by which a Zero Tolerance Policy shall be applied to anyone dropping off, or picking up a student at any location other than those agreed to by the City and Applicant and indicated on the Site Plan (SP-1 – SP4) and/or a map for this purpose. Applicant shall seek a progressive penalty system for violations of this rule that will result in the expulsion of the student from the school for repeated violations;
- g. Applicant shall market the Charter School exclusively to Hollywood residents including North Central and Royal Poinciana neighborhoods for a minimum of four weeks prior to any marketing for student enrollment to the public at-large. This marketing shall include a combination of presentations to North Central and Royal Poinciana Neighborhood Associations, "open houses," flyers, advertising, and community newspapers;
- h. The Applicant on behalf of itself, successors, and/or assigns shall annually submit, to the Planning and Development Services Department or subsequent Department, prior to October 1<sup>st</sup> of each year, a copy of the Benchmark Day Enrollment Report or other applicable document;
- i. The Applicant on behalf of itself, its successors, and/or assigns, shall submit to the Planning and Development Services Department or subsequent Department an annual Compliance

Report, no later than December 1<sup>st</sup> of each year, showing compliance with all conditions of this approval. Applicant acknowledges that should any violations of the conditions be determined, the City will pursue any and all remedies, including, but not limited to, Code Enforcement (the City will seek fines in the amount of \$1,000 per day for first violations and up to \$5,000 per day for repeat violations) and/or an injunction to prohibit the continuing violation(s), subject to Applicant's rights to notice and right to cure under the law;

- j. Deliveries shall be coordinated as to not interfere with student arrival or dismissal shifts;
- k. The Applicant on behalf of itself, successors, and/or assigns shall provide off-duty police detail (from no less than 15 minutes prior to first arrival or dismissal shift to no less than 15 minutes after last arrival or dismissal shift) for the first two months of every school year. Said police detail requirement may be modified, once the school reaches full capacity and/or if the circumstances change. The Public Safety Director shall have the ability to modify this condition;
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  - 1. Special events for the Middle School (grades 6th-8th) and High School (grades 9th-12th) shall be independent of each other and only one event can take place at any given time;
  - 2. Special event during school hours shall be limited to one grade level. Multi-grade events shall be limited to non-school hours. A Special Event Permit pursuant to Chapter 102 of the Hollywood Code of Ordinances shall be required for all events. The school shall comply with all requirements and/or conditions set forth in the Special Event Permit, which includes but not limited to, off-site parking, police details, etc.; and
- m. A Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C);

A RESOLUTION CONSIDERING THE REQUEST FOR DESIGN AND SITE PLAN APPROVAL FOR "HOLLYWOOD CHARTER ACADEMY"; LOCATED AT 2025 MCKINLEY STREET; AND PROVIDING AN EFFECTIVE DATE. (13-DJPVZ-79)

Section 3: That the Applicant shall have up to 24 months from the date of Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the required time period shall render all approvals null and void.

Section 4: That the Applicant shall have up to 24 months from the date of the Site Plan approval to apply for a valid construction permit. Failure to submit an application within the requested time period shall render all approvals null and void.

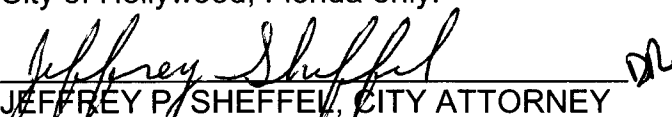
Section 5: That this resolution shall be in full force and effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 19 day of March, 2014.

RENDERED This 1 day of April, 2014.

  
\_\_\_\_\_  
PETER BOBER, MAYOR

ATTEST:  
  
\_\_\_\_\_  
PATRICIA A. CERNY, MMC, CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only.  
  
\_\_\_\_\_  
JEFFREY P. SHEFFEL, CITY ATTORNEY



**EXHIBIT A**

LAND DESCRIPTION :

PARCEL 1:

LOTS ONE (1), TWO (2), AND THREE (3), LESS THE WEST 13.50 FEET THEREOF, OF BLOCK SEVEN (7); AND LOT ONE (1), LESS THE WEST 13.50 FEET THEREOF, AND ALL OF LOTS TWO (2) AND THREE (3), IN BLOCK EIGHT (8); ALL IN "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS THE NORTH 5 FEET OF LOT 3, BLOCK 8, "NORTH HOLLYWOOD", DEEDED TO THE CITY OF HOLLYWOOD BY DEED RECORDED IN OFFICIAL RECORDS BOOK 3909, AT PAGE 216, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH THAT PART OF ROOSEVELT STREET LYING BETWEEN THE WEST RIGHT OF WAY LINE OF 2ND AVENUE (NOW 20TH AVENUE), AND THE EAST RIGHT OF WAY LINE OF 1ST AVENUE (NOW 21ST AVENUE), EXCEPTING THEREFROM THE WEST 13.5 FEET OF SAID ROOSEVELT STREET, AS SHOWN ON THE PLAT OF "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

PARCEL "B", LESS THE SOUTHERLY 102 FEET THEREOF, OF "HOLLYWOOD LAND", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 137, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.





**COUSINS SURVEYORS & ASSOCIATES, INC.**  
 3923 SW 47TH AVENUE, SUITE 1011  
 DAVIDE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION - LB # 6448  
 PHONE (352) 689-7799 FAX (352) 689-7799

**CLIENT :**  
 MGS DEVELOPERS GROUP

**ALTA/ACSM LAND TITLE SURVEY**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

**REVISIONS**

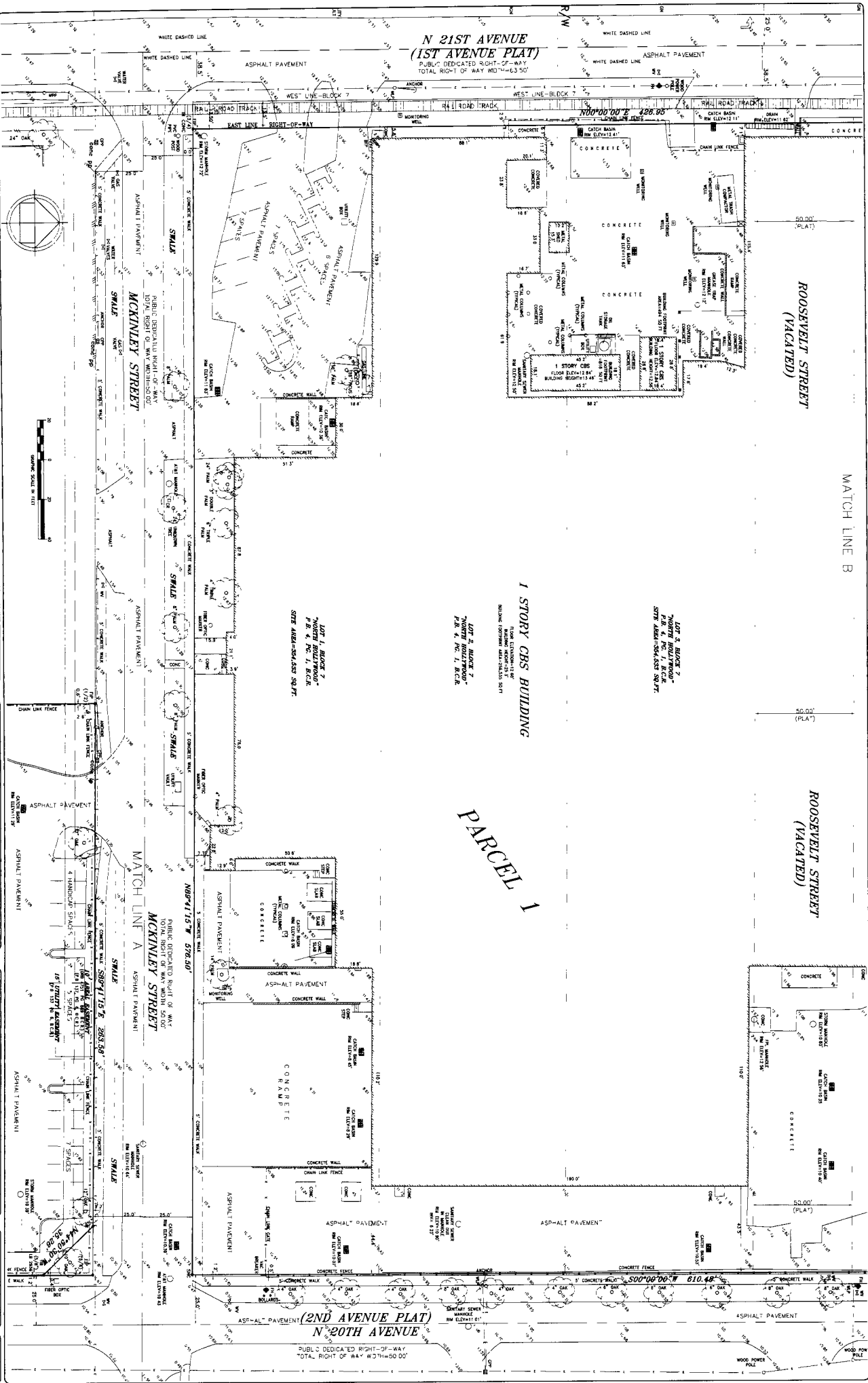
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1	12/17/21	DMN/CHD	ISSUED FOR PERMIT
2	01/27/22	DMN/CHD	REVISIONS TO PERMIT
3	02/02/22	DMN/CHD	REVISIONS TO PERMIT
4	02/02/22	DMN/CHD	REVISIONS TO PERMIT
5	02/02/22	DMN/CHD	REVISIONS TO PERMIT
6	02/02/22	DMN/CHD	REVISIONS TO PERMIT
7	02/02/22	DMN/CHD	REVISIONS TO PERMIT
8	02/02/22	DMN/CHD	REVISIONS TO PERMIT
9	02/02/22	DMN/CHD	REVISIONS TO PERMIT
10	02/02/22	DMN/CHD	REVISIONS TO PERMIT

**REVISIONS**

NO.	DATE	BY/PC	DESCRIPTION
1	12/17/21	DMN/CHD	ISSUED FOR PERMIT
2	01/27/22	DMN/CHD	REVISIONS TO PERMIT
3	02/02/22	DMN/CHD	REVISIONS TO PERMIT
4	02/02/22	DMN/CHD	REVISIONS TO PERMIT
5	02/02/22	DMN/CHD	REVISIONS TO PERMIT
6	02/02/22	DMN/CHD	REVISIONS TO PERMIT
7	02/02/22	DMN/CHD	REVISIONS TO PERMIT
8	02/02/22	DMN/CHD	REVISIONS TO PERMIT
9	02/02/22	DMN/CHD	REVISIONS TO PERMIT
10	02/02/22	DMN/CHD	REVISIONS TO PERMIT

**PROJECT NO:** 6938-13  
**SCALE:** 1" = 20'

**SHEET**  
 2  
 OF  
 5





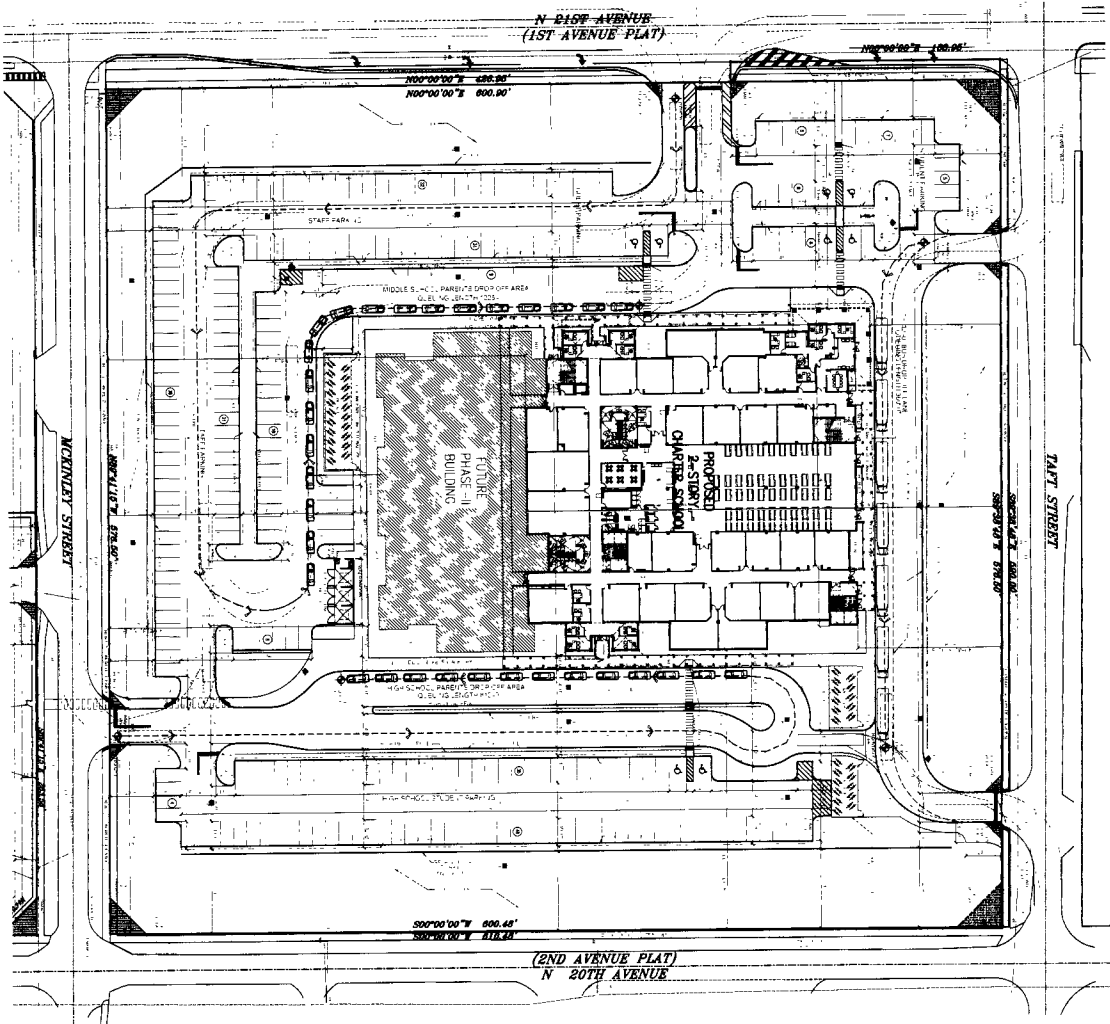






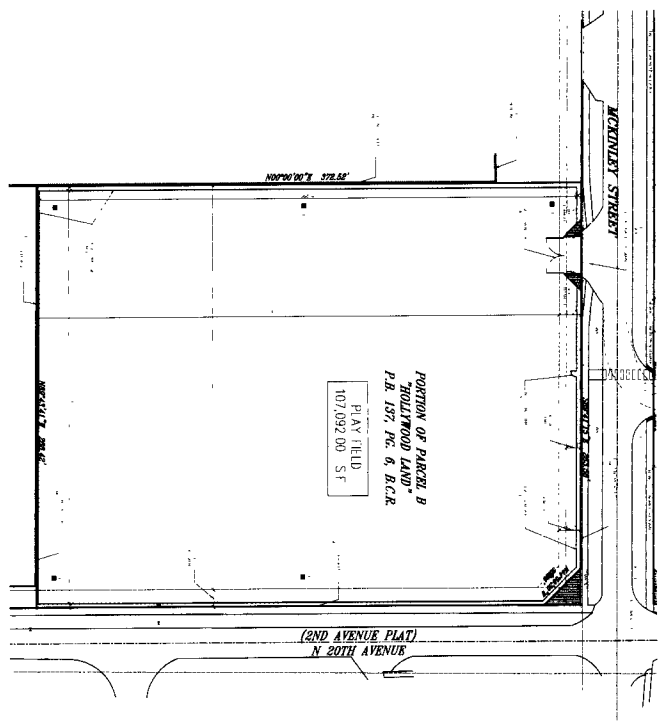


1 SITE PLAN - SCHOOL (PHASE 1)  
 REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA



3 NOT USED

2 PROPOSED PLAY FIELD  
 REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA



DATE	1/10/13
BY	ALF
SCALE	AS SHOWN
PROJECT	2025 MCKINLEY STREET
CLIENT	HOLLYWOOD FLORIDA
NO.	SP-2

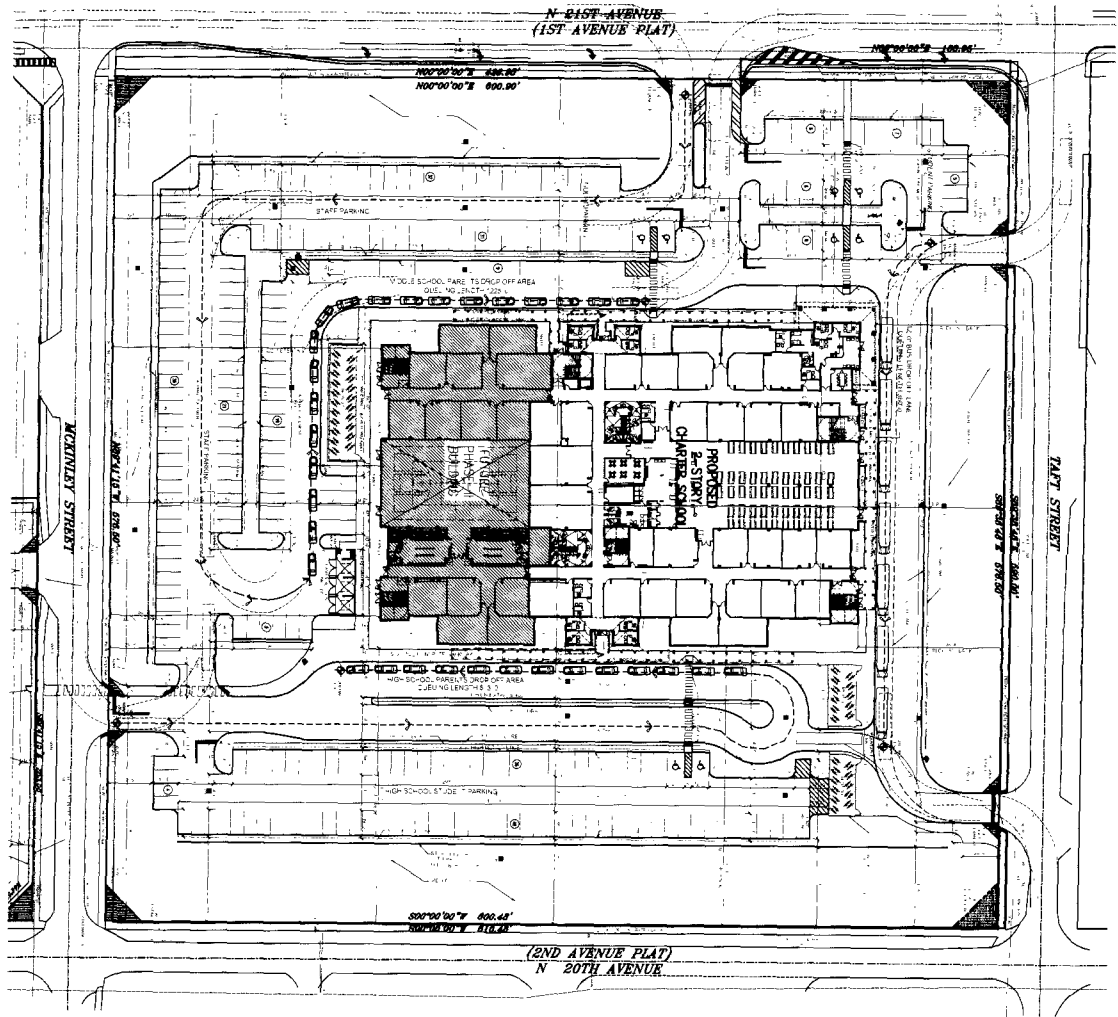
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CHECKED	ALF
TITLE	PHASE I
SCALE	AS SHOWN
DATE	1/10/13

**PROPOSED DEVELOPMENT:**  
*Hollywood Charter Academy*  
 2025 MCKINLEY STREET  
 HOLLYWOOD FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner  
 1457 N.E. 4th AVE.  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-6565  
 Member American Institute of Architects

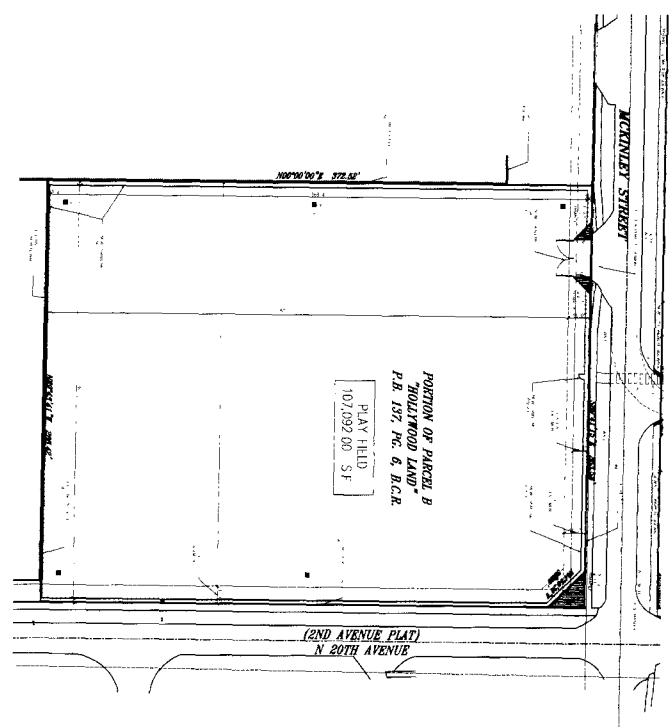
DATE	1/10/13
BY	ALF
SCALE	AS SHOWN
PROJECT	2025 MCKINLEY STREET
CLIENT	HOLLYWOOD FLORIDA
NO.	SP-2

1 SITE PLAN - SCHOOL (PHASE II)  
 REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA



3 NOT USED

2 PROPOSED PLAY FIELD  
 REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA



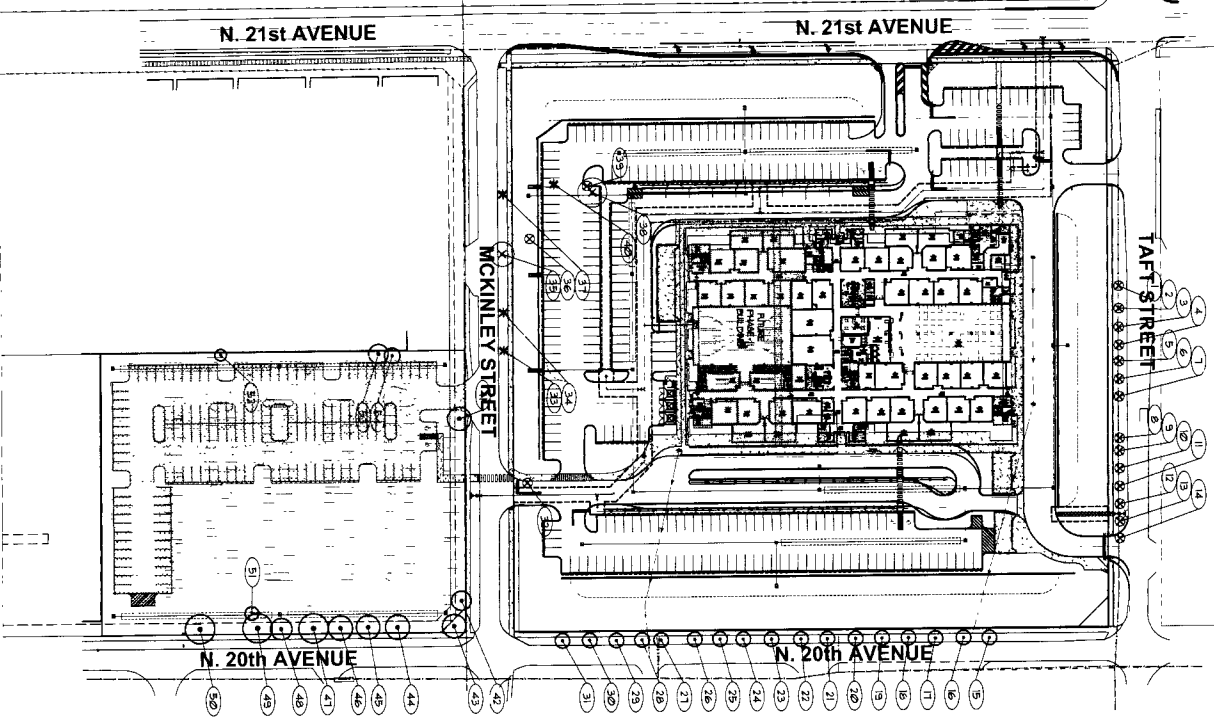
DATE	11/07/13	RET
SCALE	AS SHOWN	DATE
PROJECT	2025 MCKINLEY STREET	DATE
CLIENT	HOLLYWOOD FLORIDA	DATE
DESIGNED BY	G. J. C.	DATE
DRAWN BY	M. H. C.	DATE
CHECKED BY	G. J. C.	DATE
SCALE	AS SHOWN	DATE
SHEET	1	TOTAL
SP-3		

**PROPOSED DEVELOPMENT:**  
**Hollywood Charter Academy**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

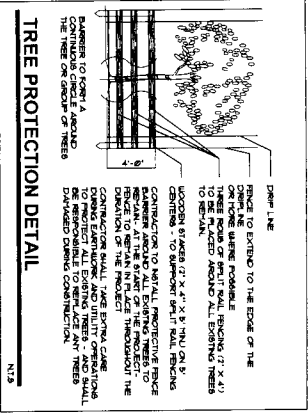
**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner  
 1457 N.E. 4th Ave.  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-6585  
 Member American Institute of Architects

DATE	11/07/13	RET
SCALE	AS SHOWN	DATE
PROJECT	2025 MCKINLEY STREET	DATE
CLIENT	HOLLYWOOD FLORIDA	DATE
DESIGNED BY	G. J. C.	DATE
DRAWN BY	M. H. C.	DATE
CHECKED BY	G. J. C.	DATE
SCALE	AS SHOWN	DATE
SHEET	1	TOTAL
SP-3		

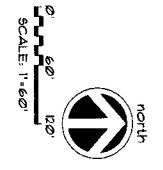




NO.	NO.	COMMON NAME	BOTANICAL NAME	HEIGHT (FEET)	SPREAD (FEET)	STATUS	COMPLY	REMARKS
1	CO	FIELD B	...	...	...	...	...	...
2	CO	...	...	...	...	...	...	...
3	CO	...	...	...	...	...	...	...
4	CO	...	...	...	...	...	...	...
5	CO	...	...	...	...	...	...	...
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7	CO	...	...	...	...	...	...	...
8	CO	...	...	...	...	...	...	...
9	CO	...	...	...	...	...	...	...
10	CO	...	...	...	...	...	...	...
11	CO	...	...	...	...	...	...	...
12	CO	...	...	...	...	...	...	...
13	CO	...	...	...	...	...	...	...
14	CO	...	...	...	...	...	...	...
15	CO	...	...	...	...	...	...	...
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17	CO	...	...	...	...	...	...	...
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19	CO	...	...	...	...	...	...	...
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22	CO	...	...	...	...	...	...	...
23	CO	...	...	...	...	...	...	...
24	CO	...	...	...	...	...	...	...
25	CO	...	...	...	...	...	...	...
26	CO	...	...	...	...	...	...	...
27	CO	...	...	...	...	...	...	...
28	CO	...	...	...	...	...	...	...
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30	CO	...	...	...	...	...	...	...
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32	CO	...	...	...	...	...	...	...
33	CO	...	...	...	...	...	...	...
34	CO	...	...	...	...	...	...	...
35	CO	...	...	...	...	...	...	...
36	CO	...	...	...	...	...	...	...
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42	CO	...	...	...	...	...	...	...
43	CO	...	...	...	...	...	...	...
44	CO	...	...	...	...	...	...	...
45	CO	...	...	...	...	...	...	...
46	CO	...	...	...	...	...	...	...
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49	CO	...	...	...	...	...	...	...
50	CO	...	...	...	...	...	...	...
51	CO	...	...	...	...	...	...	...
52	CO	...	...	...	...	...	...	...
TOTALS								



- NOTES:**
- SEE SHEET L1 FOR PROPOSED TREE LOCATIONS.
  - THE CONTRACTOR SHALL REMOVE ALL TREES AND BRANCHES TO BE REMOVED FROM THE PROJECT SITE. ALL REMOVED TREES SHALL BE RELOCATED TO THE SITE AND PROTECTED. ALL REMOVED TREES SHALL BE RELOCATED TO THE SITE AND PROTECTED. ALL REMOVED TREES SHALL BE RELOCATED TO THE SITE AND PROTECTED.
  - ALL EXISTING TREES TO BE REMOVED SHALL BE RELOCATED TO THE SITE AND PROTECTED. ALL EXISTING TREES TO BE REMOVED SHALL BE RELOCATED TO THE SITE AND PROTECTED.
  - ALL EXISTING TREES TO BE REMOVED SHALL BE RELOCATED TO THE SITE AND PROTECTED. ALL EXISTING TREES TO BE REMOVED SHALL BE RELOCATED TO THE SITE AND PROTECTED.



**TREE DISPOSITION PLAN**

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE PALM BEACH COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES PRIOR TO THE REMOVAL OF ANY TREES OR PALMS. A TREE CONSTRUCTION INSPECTION SHALL FOR ALL TREES TO REMAIN THAT BE SCHEDULED PRIOR TO REMOVAL OF A BUILDING. PERMIT ALL TREES MUST BE PROTECTED WITH CONTINUOUSLY OPERATING APPROVAL PRIOR TO COMMENCEMENT OF ANY SITE WORK. PLANT MATERIAL SHALL NOT BE PLANTED INTO BOSS BALLS OF TREES AND PALMS PER THE CITY OF HOLLYWOOD (CITY) PRIOR WRITTEN APPROVAL FROM THE CITY OF HOLLYWOOD PLANNING DEPARTMENT.

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
1101 GARDEN ST  
SUITE 100  
HOUSTON, TEXAS 77002  
713.865.1111  
www.jfsdesign.com  
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**GUSTAVO J. CARBONELL, P.A.**  
Architect and Planner  
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(954) 482-6565  
Member American Institute of Architects

**PROPOSED DEVELOPMENT:  
HOLLYWOOD CHARTER ACADEMY**  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

**TD-1**

DATE: 01/24/13  
SCALE: AS SHOWN  
SHEET: 13 OF 11

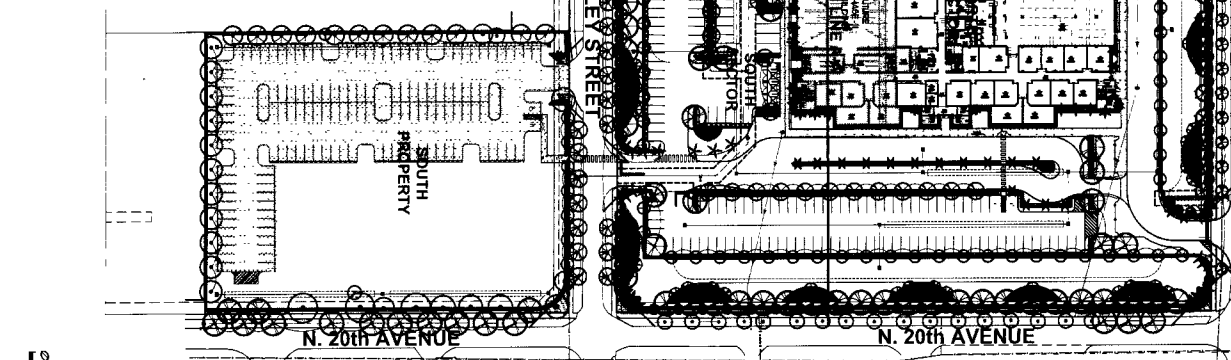
**PLANTLIST**

BOTANICAL NAME SPECIFICATION

SYM. NATIVE	NAME	SPECIFICATION
EXISTING TREES ON-SITE NOTE: PLANTINGS FOR SOUTH PARKING LOT ARE NOT INCLUDED WITH THESE TABULATIONS		
1	RED MAPLE	20 gal. 10' x 8" x 8" 2 1/2" cal.
2	ORANGE LIMBO	20 gal. 10' x 8" x 8" 2 1/2" cal.
3	ORANGE LIMBO	20 gal. 10' x 8" x 8" 2 1/2" cal.
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100	ORANGE LIMBO	20 gal. 10' x 8" x 8" 2 1/2" cal.

**TREE AND PALM LEGEND**

SYMBOL	TREE AND PALM LEGEND
(Symbol)	YES RED MAPLE
(Symbol)	YES GUMBO LIMBO
(Symbol)	YES PIGEON PLUM
(Symbol)	YES GRN. BUTTWOOD
(Symbol)	YES SILVER BTWOOD.
(Symbol)	YES ORANGE GEIGER
(Symbol)	YES DAHOON HOLLY
(Symbol)	YES TREE LIGUSTRUM
(Symbol)	YES WILD TAMARIND
(Symbol)	YES LIVE OAK
(Symbol)	YES BALD CYPRESS
(Symbol)	YES ALEXANDRA PALM
(Symbol)	YES BISMARCK PALM
(Symbol)	YES ROYAL PALM
(Symbol)	YES MONTGOMERY PALM
(Symbol)	YES FOXTAIL PALM



**MCKINLEY CHARTER SCHOOL**  
LANDSCAPE SITE CALCULATIONS: 1/27/2014

LANDSCAPE REQUIREMENT	NET SITE AREA	PERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
TOTAL SITE AREA	124 AC	456,071.35 SF	105 AC	456,071.35 SF
PARCEL 1 GROSS SITE AREA	9.75 AC	421,231.55 SF	8.98 AC	391,144.45 SF
PARCEL 1 NET SITE AREA	8.98 AC	391,144.45 SF	2.88 AC	124,477.85 SF
PARCEL 2 GROSS SITE AREA	2.88 AC	124,477.85 SF	2.88 AC	124,477.85 SF
PARCEL 2 NET SITE AREA	2.88 AC	124,477.85 SF	2.88 AC	124,477.85 SF
GREEN AREA ADJACENT TO VIA REGULATIONS ARTICLE 13	116,429.11 SF	5,121.42 SF	OF VIA REGULATIONS ARTICLE 13	
TOTAL	170	624		

**LANDSCAPE REQUIREMENTS**  
REGULATIONS ARTICLE 9  
REGULATIONS ARTICLE 13

LANDSCAPE REQUIREMENT	NET SITE AREA	PERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
TOTAL	14	66		
TREES 60% NATIVE	12	66		
SHRUBS 40% NATIVE	224	66(100%)		

**LANDSCAPE REQUIREMENTS**  
REGULATIONS ARTICLE 9  
REGULATIONS ARTICLE 13

LANDSCAPE REQUIREMENT	NET SITE AREA	PERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
TOTAL	14	66		
TREES 60% NATIVE	12	66		
SHRUBS 40% NATIVE	224	66(100%)		

**LANDSCAPE REQUIREMENTS**  
REGULATIONS ARTICLE 9  
REGULATIONS ARTICLE 13

LANDSCAPE REQUIREMENT	NET SITE AREA	PERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
TOTAL	14	66		
TREES 60% NATIVE	12	66		
SHRUBS 40% NATIVE	224	66(100%)		

**SITE LANDSCAPE PLAN**

SCALE: 1"=60'

120'

60'

NORTH

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY TREES OR PALMS.

PLANT MATERIAL SHALL NOT BE PLANTED INTO GROUPLINGS OF TREES OR PALMS.

TREES SHALL BE IN GOOD HEALTH AND THE PERSONS IN CHARGE OF THE REMOVAL OF HOLLYWOOD PLANNING DEPARTMENT SHALL BE NOTIFIED AND SOUTH BECTOR LANDSCAPE PLAN.

**PROPOSED DEVELOPMENT:**  
**HOLLYWOOD CHARTER ACADEMY**

2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
Architect and Planner

457 NE 4th AVE  
Ft. Lauderdale, Florida, 33304  
954-462-6566

Venue - Amer. can. inst. tute. of Architects

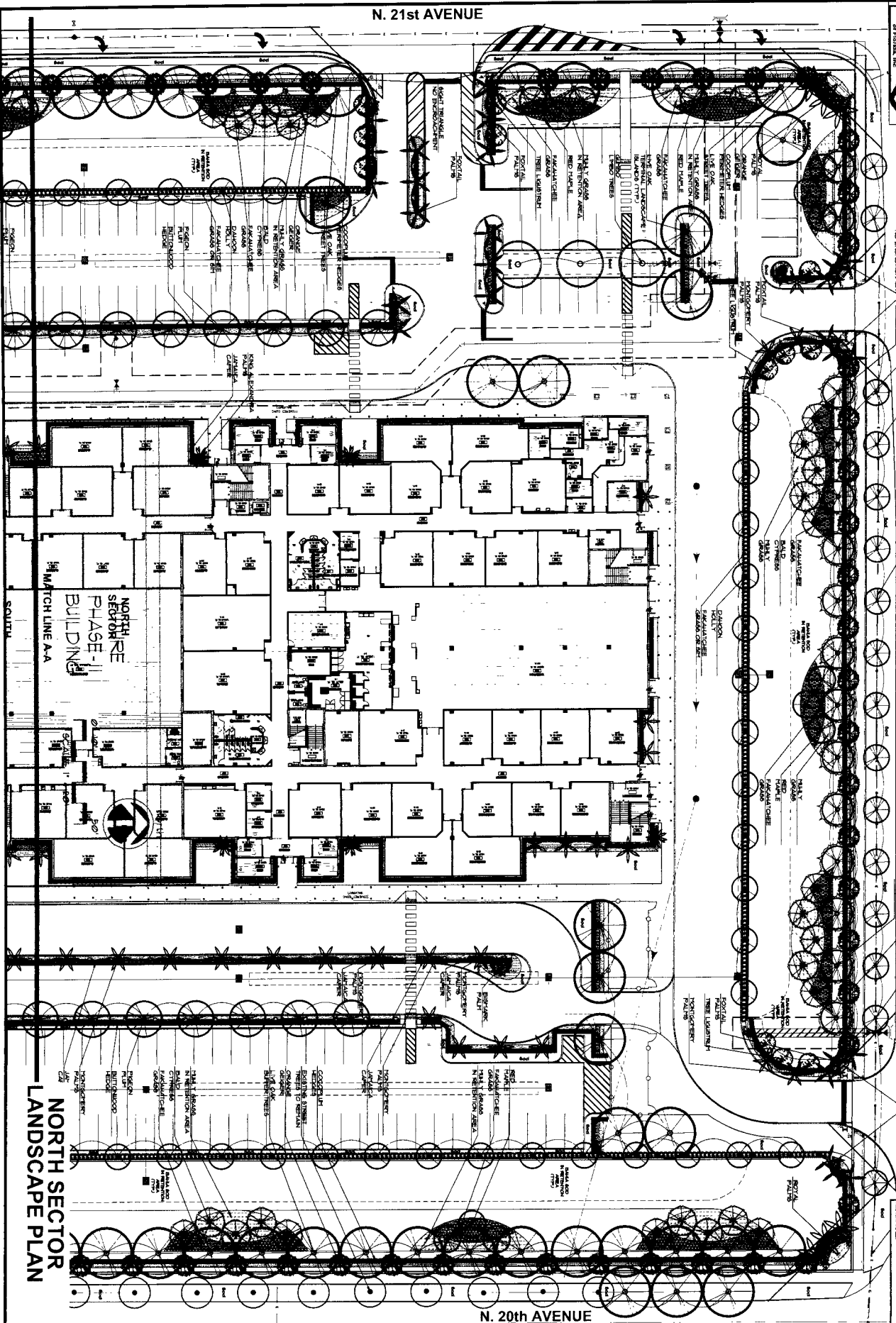
**JFS Design Inc.**  
Architectural & Interior Design

1101 N. W. 10th St.  
Ft. Lauderdale, FL 33304  
954-462-6566

NO. 10/13	BY
11/07/13	RET
01/14/2014	LD
01/14/2014	LD

**L-1**

3 SHEETS



**NORTH SECTOR  
PHASE II  
BUILDING  
MATCH LINE A-A**

**NORTH SECTOR  
LANDSCAPE PLAN**

SILVER  
ANTHUS  
GRASS  
ILL. J. J. J. J.

ELECTRIC OVERHEAD  
POWER LINE

**TAFT STREET**

SILVER  
ANTHUS  
GRASS  
ILL. J. J. J. J.

SILVER  
ANTHUS  
GRASS  
ILL. J. J. J. J.

ELECTRIC OVERHEAD  
POWER LINE

**JFS**  
JFS Design Inc.  
www.jfsdesign.com  
1000 N. W. 10th St.  
Fort Lauderdale, FL 33304  
Phone: 954-482-6365  
Fax: 954-482-6365  
jfsdesign@earthlink.net

DATE: 01/27/13  
SCALE: AS SHOWN  
SHEET: L-2  
JOB NO: 13411

**JFS & ASSOCIATES**  
P.L.L.C.  
1000 N. W. 10th St.  
Fort Lauderdale, FL 33304

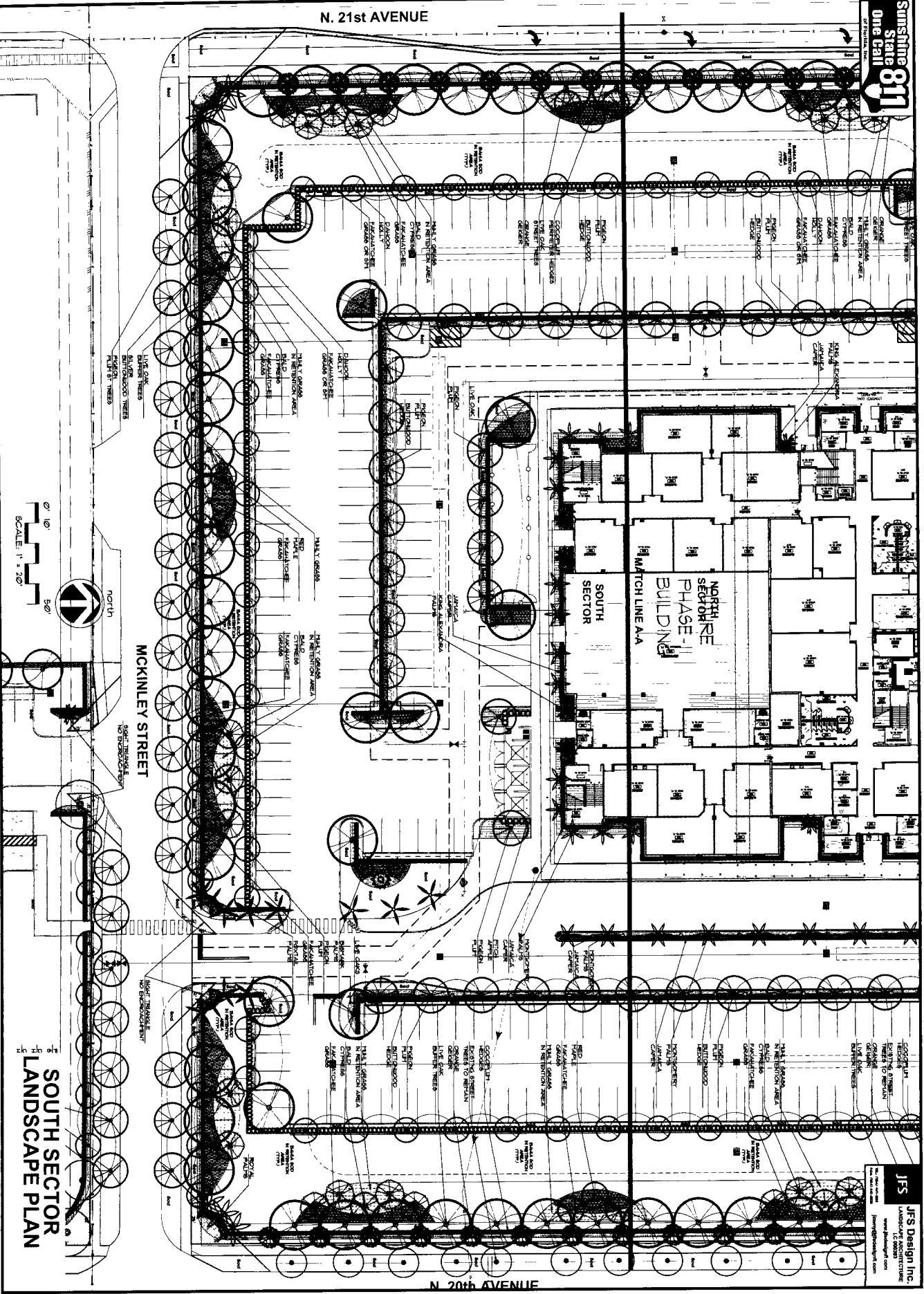
**PROPOSED DEVELOPMENT:  
HOLLYWOOD CHARTER ACADEMY**  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
Architect and Planner  
1497 N.E. 4th Ave  
Fort Lauderdale, Florida 33304  
954-482-6365  
Member American Institute of Architects

REVISION  
BY  
DATE  
11/07/13  
RET  
01/27/13  
KJC  
SCALE: AS SHOWN

Sunshine  
State  
One Call  
811

N. 21st AVENUE



**SOUTH SECTOR  
LANDSCAPE PLAN**

**JFS**  
JFS Design Inc.  
Landscape Architecture  
10000  
www.jfsdesign.com  
info@jfsdesign.com

DATE	01/21/13
SCALE	AS SHOWN
PROJECT	13-011
SHEET	L-3

**PROPOSED DEVELOPMENT:  
HOLLYWOOD CHARTER ACADEMY**  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

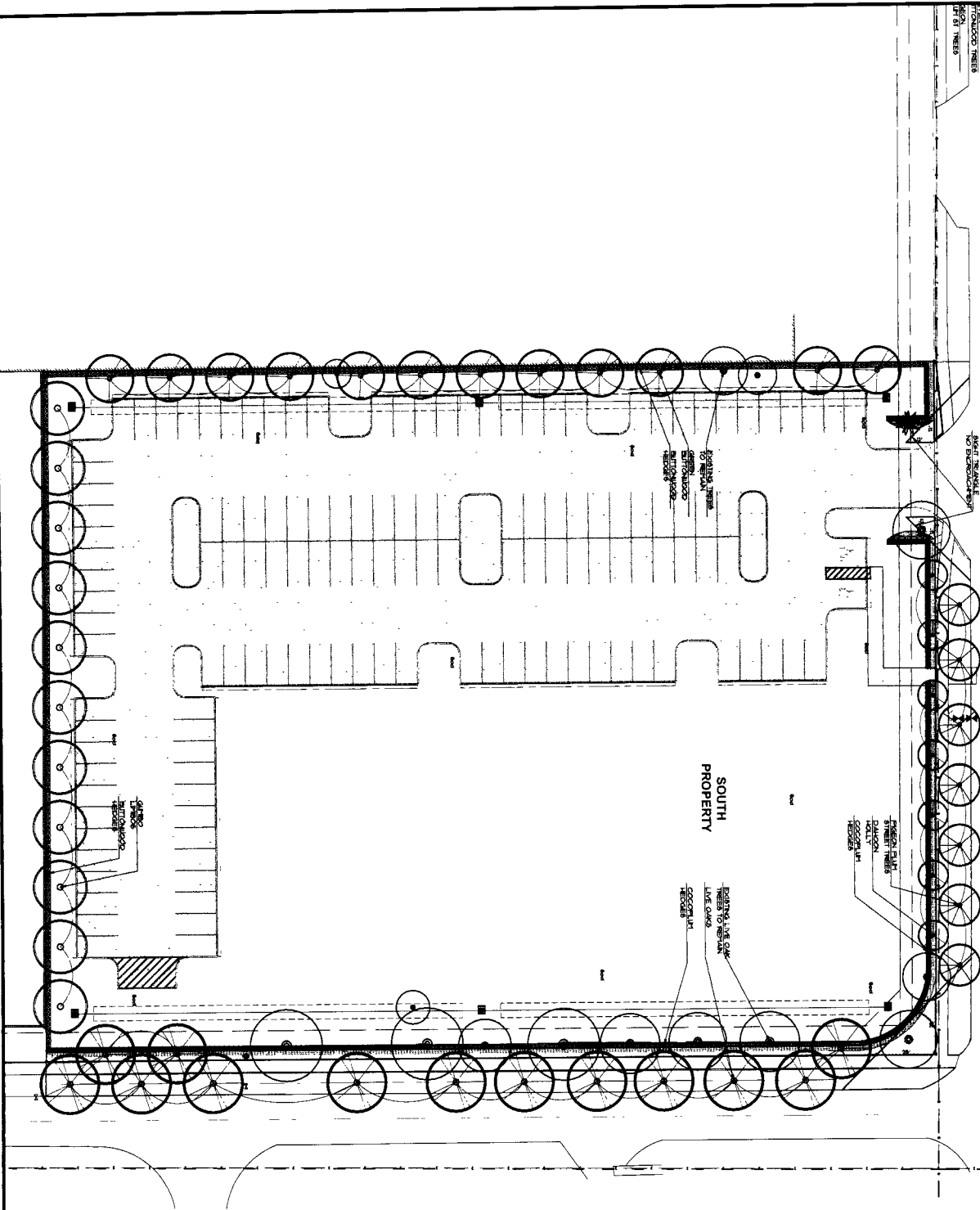
**GUSTAVO J. CARBONELL, P.A.**  
Architect and Planner  
145th NE 4th Ave  
Ft. Lauderdale, Florida, 33304  
1954-462-6565  
Member American Institute of Architects

**abc**  
11/01/13  
RET  
01/14/2014 M.J.C.  
13-011

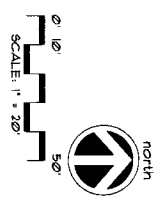
DATE	01/21/13
SCALE	AS SHOWN
PROJECT	13-011
SHEET	L-3



MCKINLEY STREET



**SOUTH PROPERTY  
LANDSCAPE PLAN**



**JFS**  
 JFS Design Inc.  
 Landscape Architecture  
 1107 N. W. 13th St.  
 Ft. Lauderdale, Florida 33304  
 (954) 462-6565  
 jfsdesign.com

DATE	01/21/13
SCALE	1" = 20'
PROJECT	13-011
SHEET	L-4
OF	3 SHEETS

DESIGNER	JUSTIN J. CARBONELL
CHECKED	G.J.C.
DATE	01/21/13
SCALE	1" = 20'
PROJECT	13-011
SHEET	L-4

**PROPOSED DEVELOPMENT:  
HOLLYWOOD CHARTER ACADEMY**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner  
 4577 N.E. 4th Ave  
 Ft. Lauderdale, Florida 33304  
 (954) 462-6565  
 Member American Institute of Architects

REVISION	BY
1	JFS
2	JFS
3	JFS
4	JFS
5	JFS





(13-DJPVZ-79a)

RESOLUTION NO.: R-2015-138

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, CONSIDERING THE REQUEST FOR AN AMENDMENT TO THE SITE PLAN WITH CONDITIONS FOR THE HOLLYWOOD CHARTER ACADEMY LOCATED AT 2025 MCKINLEY STREET (PREVIOUSLY APPROVED BY RESOLUTION NO. R-2014-069 FOR GRADES 6<sup>TH</sup>-12<sup>TH</sup>) TO CHANGE THE SCHOOL COMPOSITION TO INCLUDE AN ELEMENTARY SCHOOL COMPONENT (GRADES K-12<sup>TH</sup>), WITHOUT AN INCREASE IN CAPACITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on March 19, 2014, the City Commission passed and adopted Ordinance O-2014-04 approving of a Change of Zoning designation from Low Intensity Industrial and Manufacturing (IM-1) to Planned Development (PD), Master Development Plan, Design, and the City Commission passed and adopted Resolution No. R-2014-069 which approved the Site Plan for "Hollywood Charter Academy," located at 2025 McKinley Street, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, in accordance with the approved Site Plan, Hollywood Charter Academy was to be comprised of a Middle School and High School, which included grades 6th-8th and 9th-12th, respectively; and

WHEREAS, on January 23, 2015, an application (File Number 13-DJPVZ-79a) was filed by MG3 Dixie, LLC (the "Applicant"), requesting a modification to the approved Site Plan for the expansion of the school to now include an Elementary School (K-5<sup>th</sup>) component which would allow the school to offer all grade levels, K-12<sup>th</sup>; and

WHEREAS, the proposed amendment shall not affect the overall maximum capacity of the school as previously approved (a maximum of 2,200 students at full capacity) as the capacity shall still be limited to the same number of students, distributed among all grades; and

WHEREAS, in accordance with Article 6 of the City's Zoning and Land Development Regulations, the Department of Planning and Development Services Staff, r reviewed the Applicant's request for an amendment to the previously approved Site Plan and have determined that the proposed request does meet the review standards set forth in Article 6 and have therefore recommended approval of the proposed amended Site Plan with the following conditions:

- a. At full capacity, including all phases, as indicated in the Master Development Plan, the school shall be limited to grades ~~6th~~ K – 12th; shall not exceed a maximum of 2,200 students; and individual grades shall not exceed a maximum of ~~330~~ 180 students each, at any point in time;
- b. Based on the number of parking spaces provided as part of Phase I, enrollment shall not exceed a maximum of 1,700 students. For enrollment to increase to full capacity (2,200 students) a minimum of 137 additional parking spaces shall be provided on- or off-site in compliance with the Zoning and Land Development Regulations, if deemed necessary by the City's Engineer or his/her designee. Should the parking spaces be provided off-site, an irrevocable Off-Site Parking Agreement shall be submitted, in accordance with the Zoning and Land Development Regulations, in a form acceptable to the City Attorney's Office, prior to the issuance of an amended Certificate of Use. Said Agreement shall be recorded in the Public Records of Broward County by the City of Hollywood;
- c. The ~~Middle~~ Lower School (grades ~~6th-8th~~ K-5th) and ~~High~~ Upper School (grades ~~9th-12th~~ 6th-12th) shall each have a minimum of two separate pick-up and drop-off times (a total of four pick-up and four drop-off times), separated by a minimum of 30 minutes each. Pick-up and drop-off areas shall function as indicated by the Site Plan (Exhibit B: SP-1 – SP4) and Traffic Operations Plan (Exhibit C). Any modification to the pick-up/drop-off plan and operating shifts shall be approved in writing by the City's Engineer or his/her designee;
- d. All improvements proposed during Phase I, as indicated by the Site Plan (SP-1 – SP4) shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to establishing the school. Such improvements include, but are not limited to: landscaping, parking lot and traffic improvements, pedestrian crossings, sidewalks, signage, signalization, (as dictated by MUTCD Standards and shall receive approval from Broward County and the City's Engineer) and/or disconnection (not operational) of the railroad spur. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- e. The Applicant shall contact the Broward County Traffic Engineering to apply for the establishment of a school zone and request crossing guards prior to the issuance of Building

Permits, which shall be completed by the time of Certificate of Occupancy (C/O). Temporary signage for all traffic control related to the school zone shall be permitted upon coordination and approval of Broward County Traffic Engineering. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;

- f. Applicant shall, prior to the issuance of any Building Permits, make application to the appropriate Charter School regulatory agency(ies) for the adoption of rules by which a Zero Tolerance Policy shall be applied to anyone dropping off, or picking up a student at any location other than those agreed to by the City and Applicant and indicated on the Site Plan (SP-1 – SP4) and/or a map for this purpose. Applicant shall seek a progressive penalty system for violations of this rule that will result in the expulsion of the student from the school for repeated violations;
- g. Applicant shall market the Charter School exclusively to Hollywood residents including North Central and Royal Poinciana neighborhoods for a minimum of four weeks prior to any marketing for student enrollment to the public at-large. This marketing shall include a combination of presentations to North Central and Royal Poinciana Neighborhood Associations, “open houses,” flyers, advertising, and community newspapers;
- h. The Applicant on behalf of itself, successors, and/or assigns shall annually submit, to the Planning and Development Services Department or subsequent Department, prior to October 1<sup>st</sup> of each year, a copy of the Benchmark Day Enrollment Report or other applicable document;
- i. The Applicant on behalf of itself, its successors, and/or assigns, shall submit to the Planning and Development Services Department or subsequent Department an annual Compliance Report, no later than December 1<sup>st</sup> of each year, showing compliance with all conditions of this approval. Applicant acknowledges that should any violations of the conditions be determined, the City will pursue any and all remedies, including, but not limited to, Code Enforcement (the City will seek fines in the amount of \$1,000 per day for first violations and up to \$5,000 per day for repeat violations) and/or an injunction to prohibit the continuing violation(s), subject to Applicant’s rights to notice and right to cure under the law;

- j. Deliveries shall be coordinated as to not interfere with student arrival or dismissal shifts;
- k. The Applicant on behalf of itself, successors, and/or assigns shall provide off-duty police detail (from no less than 15 minutes prior to first arrival or dismissal shift to no less than 15 minutes after last arrival or dismissal shift) for the first two months of every school year. Said police detail requirement may be modified, once the school reaches full capacity and/or if the circumstances change. The Public Safety Director shall have the ability to modify this condition;
- l. Parking for special events (for the purposes of this section, special events shall mean any time parents or other visitors and invitees are attending the school for other than pick-up and drop-off purposes) shall be provided and coordinated in the following manner:
  - 1. Special events for the ~~Middle~~ Lower School (grades ~~6th-8th~~ K-5th) and ~~High~~ Upper School (grades ~~9th-12th~~ 6th-12th) shall be independent of each other and only one event can take place at any given time;
  - 2. Special event during school hours shall be limited to one grade level. Multi-grade events shall be limited to non-school hours. A Special Event Permit pursuant to Chapter 102 of the Hollywood Code of Ordinances shall be required for all events. The school shall comply with all requirements and/or conditions set forth in the Special Event Permit, which includes but not limited to, off-site parking, police details, etc.; and
- m. A Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C); and

WHEREAS, the City Commission has reviewed the proposed amendment to the Site Plan for the Hollywood Charter Academy, in accordance with the review standards set forth in Article 6 of the Zoning and Land Development Regulations, along with Staff's recommendation and have determined that the requirements have been met; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing from all parties and speakers, the Board's recommendation, and consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the City Commission finds that the necessary review standards have been met, and the Site Plan attached hereto and incorporated herein by reference as Exhibit "B", is hereby approved with the following conditions:

- a. At full capacity, including all phases, as indicated in the Master Development Plan, the school shall be limited to grades ~~6th~~ K – 12th; shall not exceed a maximum of 2,200 students; and individual grades shall not exceed a maximum of ~~330~~ 180 students each, at any point in time;
- b. Based on the number of parking spaces provided as part of Phase I, enrollment shall not exceed a maximum of 1,700 students. For enrollment to increase to full capacity (2,200 students) a minimum of 137 additional parking spaces shall be provided on- or off-site in compliance with the Zoning and Land Development Regulations, if deemed necessary by the City's Engineer or his/her designee. Should the parking spaces be provided off-site, an irrevocable Off-Site Parking Agreement shall be submitted, in accordance with the Zoning and Land Development Regulations, in a form acceptable to the City Attorney's Office, prior to the issuance of an amended Certificate of Use. Said Agreement shall be recorded in the Public Records of Broward County by the City of Hollywood;
- c. The ~~Middle~~ Lower School (grades ~~6th-8th~~ K-5th) and ~~High~~ Upper School (grades ~~9th-12th~~ 6th-12th) shall each have a minimum of two separate pick-up and drop-off times (a total of four pick-up and four drop-off times), separated by a minimum of 30 minutes each. Pick-up and drop-off areas shall function as indicated by the Site Plan (Exhibit B: SP-1 – SP4) and Traffic Operations Plan (Exhibit C). Any modification to the pick-up/drop-off plan and operating shifts shall be approved in writing by the City's Engineer or his/her designee;
- d. All improvements proposed during Phase I, as indicated by the Site Plan (SP-1 – SP4) shall receive a Certificate of Occupancy (C/O) and/or Certificate of Completion (C/C) prior to establishing the school. Such improvements include, but are not limited to: landscaping, parking lot and traffic improvements, pedestrian crossings, sidewalks, signage, signalization, (as dictated by MUTCD Standards and shall receive approval from Broward

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- e. The Applicant shall contact the Broward County Traffic Engineering to apply for the establishment of a school zone and request crossing guards prior to the issuance of Building Permits, which shall be completed by the time of Certificate of Occupancy (C/O). Temporary signage for all traffic control related to the school zone shall be permitted upon coordination and approval of Broward County Traffic Engineering. A temporary Certificate of Occupancy (TC/O) may be issued provided that all life-safety related issues are not affected and all other improvements are substantially complete;
- f. Applicant shall, prior to the issuance of any Building Permits, make application to the appropriate Charter School regulatory agency(ies) for the adoption of rules by which a Zero Tolerance Policy shall be applied to anyone dropping off, or picking up a student at any location other than those agreed to by the City and Applicant and indicated on the Site Plan (SP-1 – SP4) and/or a map for this purpose. Applicant shall seek a progressive penalty system for violations of this rule that will result in the expulsion of the student from the school for repeated violations;
- g. Applicant shall market the Charter School exclusively to Hollywood residents including North Central and Royal Poinciana neighborhoods for a minimum of four weeks prior to any marketing for student enrollment to the public at-large. This marketing shall include a combination of presentations to North Central and Royal Poinciana Neighborhood Associations, "open houses," flyers, advertising, and community newspapers;
- h. The Applicant on behalf of itself, successors, and/or assigns shall annually submit, to the Planning and Development Services Department or subsequent Department, prior to October 1<sup>st</sup> of each year, a copy of the Benchmark Day Enrollment Report or other applicable document;
- i. The Applicant on behalf of itself, its successors, and/or assigns, shall submit to the Planning and Development Services Department or subsequent Department an annual Compliance Report, no later than December 1<sup>st</sup> of each year, showing

compliance with all conditions of this approval. Applicant acknowledges that should any violations of the conditions be determined, the City will pursue any and all remedies, including, but not limited to, Code Enforcement (the City will seek fines in the amount of \$1,000 per day for first violations and up to \$5,000 per day for repeat violations) and/or an injunction to prohibit the continuing violation(s), subject to Applicant's rights to notice and right to cure under the law;

- j. Deliveries shall be coordinated as to not interfere with student arrival or dismissal shifts;
- k. The Applicant on behalf of itself, successors, and/or assigns shall provide off-duty police detail (from no less than 15 minutes prior to first arrival or dismissal shift to no less than 15 minutes after last arrival or dismissal shift) for the first two months of every school year. Said police detail requirement may be modified, once the school reaches full capacity and/or if the circumstances change. The Public Safety Director shall have the ability to modify this condition;
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- m. A Unity of Title, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).



A RESOLUTION CONSIDERING THE REQUEST FOR SITE PLAN AMENDMENT FOR "HOLLYWOOD CHARTER ACADEMY;" LOCATED AT 2025 MCKINLEY STREET; AND PROVIDING AN EFFECTIVE DATE. (13-DJPVZ-79a)

Section 2: That the Applicant shall have up to 24 months from the date of the Site Plan approval to apply for a valid construction permit. Failure to submit an application within the requested time period shall render all approvals null and void.

Section 3: That this resolution shall be in full force and effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 20 day of may, 2015.

RENDERED This 28 day of may, 2015.



PETER BOBER, MAYOR

ATTEST:

  
PATRICIA A. CERNY, MMC, CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only.

  
JEFFREY R. SHEFFEL, CITY ATTORNEY DR

**EXHIBIT A**

LAND DESCRIPTION :

PARCEL 1:

LOTS ONE (1), TWO (2), AND THREE (3), LESS THE WEST 13.50 FEET THEREOF, OF BLOCK SEVEN (7); AND LOT ONE (1), LESS THE WEST 13.50 FEET THEREOF, AND ALL OF LOTS TWO (2) AND THREE (3), IN BLOCK EIGHT (8); ALL IN "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS THE NORTH 5 FEET OF LOT 3, BLOCK 8, "NORTH HOLLYWOOD", DEEDED TO THE CITY OF HOLLYWOOD BY DEED RECORDED IN OFFICIAL RECORDS BOOK 3909, AT PAGE 216, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH THAT PART OF ROOSEVELT STREET LYING BETWEEN THE WEST RIGHT OF WAY LINE OF 2ND AVENUE (NOW 20TH AVENUE), AND THE EAST RIGHT OF WAY LINE OF 1ST AVENUE (NOW 21ST AVENUE), EXCEPTING THEREFROM THE WEST 13.5 FEET OF SAID ROOSEVELT STREET, AS SHOWN ON THE PLAT OF "NORTH HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

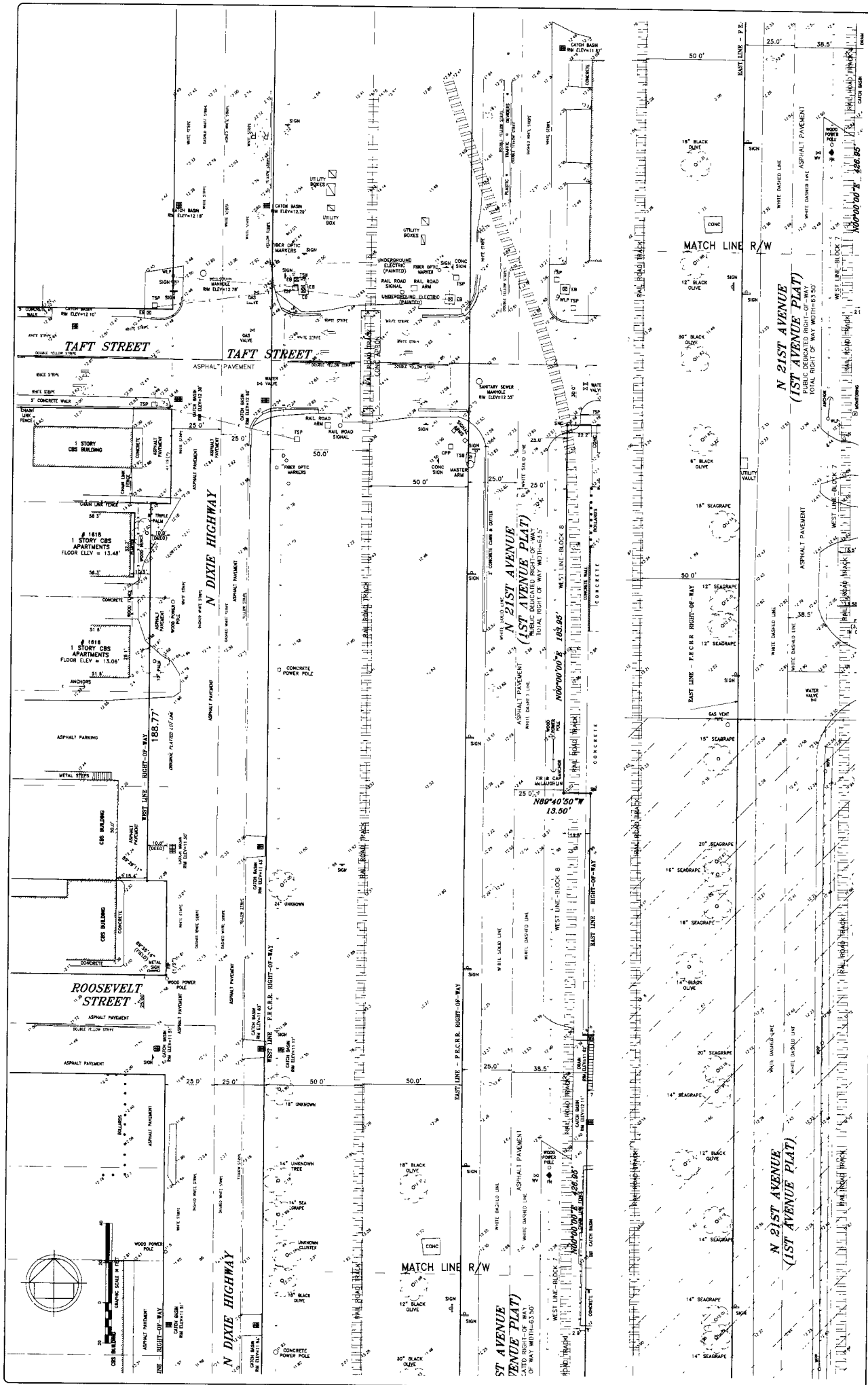
PARCEL "B", LESS THE SOUTHERLY 102 FEET THEREOF, OF "HOLLYWOOD LAND", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 137, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.











PROJECT NO: 8938-13  
 SCALE: 1" = 20'  
 SHEET 4 OF 5

REVISIONS

NO.	DATE	BY	TO	DESCRIPTION
1	01/11/13	CS	CS	ISSUED FOR PERMITTING
2	02/11/13	CS	CS	ISSUED FOR CONSTRUCTION
3	03/11/13	CS	CS	ISSUED FOR RECORD

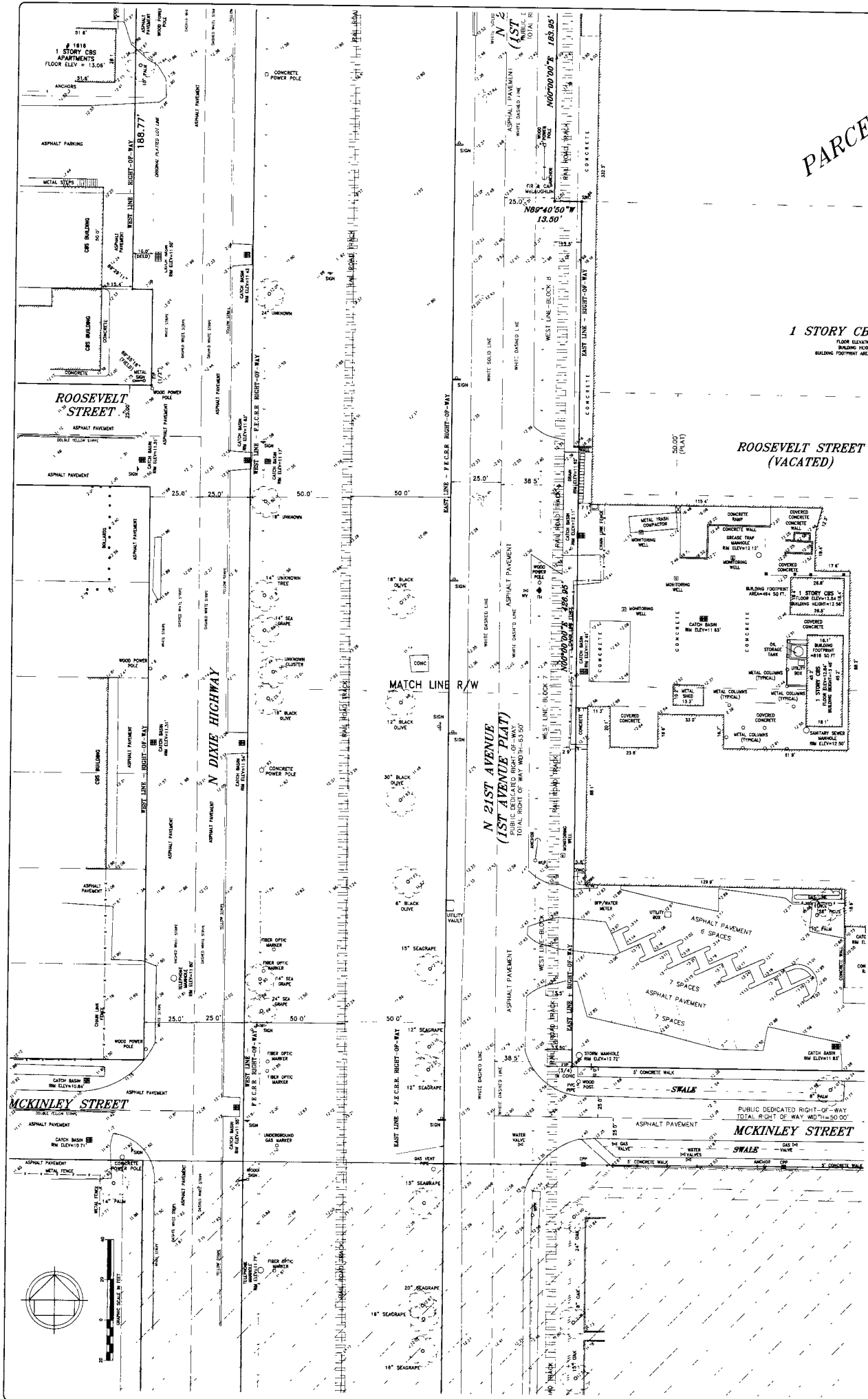
REVISIONS

NO.	DATE	BY	TO	DESCRIPTION
1	01/11/13	CS	CS	ISSUED FOR PERMITTING
2	02/11/13	CS	CS	ISSUED FOR CONSTRUCTION
3	03/11/13	CS	CS	ISSUED FOR RECORD

ALTA/ACSM LAND TITLE SURVEY  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

CLIENT:  
 MGS DEVELOPERS GROUP

COUSINS SURVEYORS & ASSOCIATES, INC.  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 PHONE (954) 689-7766 FAX (954) 689-7799



PARCEL

1 STORY CBS  
FLOOR EXTENSION  
BUILDING HEIGHT  
BUILDING FOOTPRINT AREA

ROOSEVELT STREET  
(VACATED)

N 21ST AVENUE  
(1ST AVENUE PLAT)  
PUBLIC DEDICATED RIGHT-OF-WAY  
TOTAL RIGHT OF WAY WIDTH=53.50'

MCKINLEY STREET  
PUBLIC DEDICATED RIGHT-OF-WAY  
TOTAL RIGHT OF WAY WIDTH=50.00'

SHEET	5 OF 5
PROJECT NO.	6838-13
SCALE	1" = 20'

REV.	DATE	BY	CHKD.	DESCRIPTION
1	12/27/17	MS	MS	ISSUE FOR PERMIT
2	1/16/18	MS	MS	ISSUE FOR PERMIT
3	1/16/18	MS	MS	ISSUE FOR PERMIT

REV.	DATE	BY	CHKD.	DESCRIPTION
1	12/27/17	MS	MS	ISSUE FOR PERMIT
2	1/16/18	MS	MS	ISSUE FOR PERMIT
3	1/16/18	MS	MS	ISSUE FOR PERMIT

ALTA/ACSM LAND TITLE SURVEY  
2025 MCKINLEY STREET  
HOLLYWOOD, FLORIDA

CLIENT:  
MG3 DEVELOPERS GROUP

COUSINS SURVEYORS & ASSOCIATES, INC.  
3921 SW 47TH AVENUE, SUITE 1011  
CENTRAL FLORIDA 33514  
ORLANDO, FLORIDA 32811  
PHONE (954) 689-7766 FAX (954) 689-7799





REVISION	BY
Δ 3/12/2014 M.J.G.	
Δ 1/15/2015 M.J.G.	
Δ 3/11/2015 M.J.G.	
Δ 3/13/2015 M.J.G.	

**GUSTAVO J. CARONELL, P.A.**  
 Architect and Planner  
 1457 N.E. 4th Ave.  
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 (954) 462-6565  
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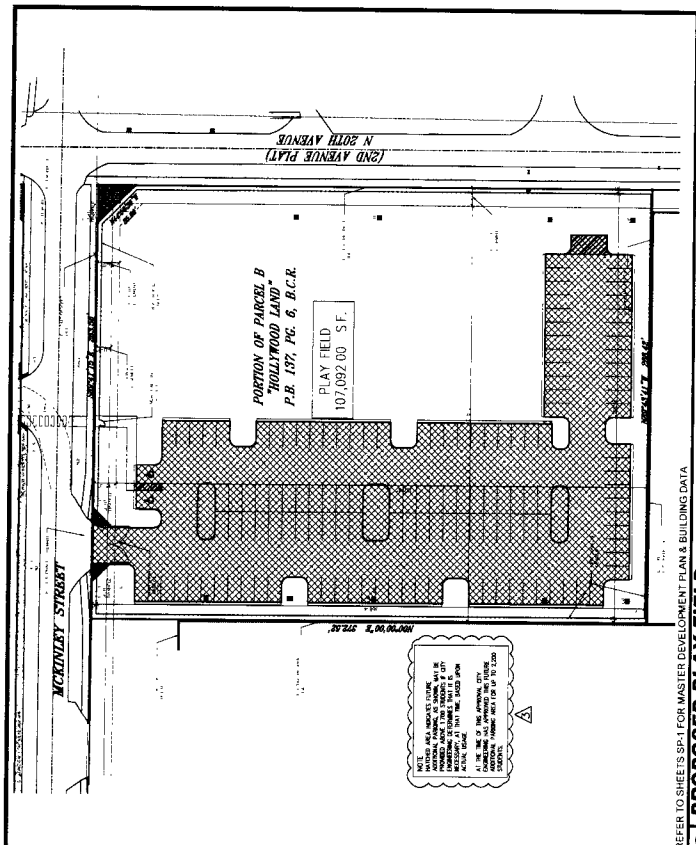
**PROPOSED DEVELOPMENT:**  
**Hollywod Charter Academy**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

DATE: 01/21/13  
 SCALE: AS NOTED  
 SHEET NO: 13-011  
 SHEET

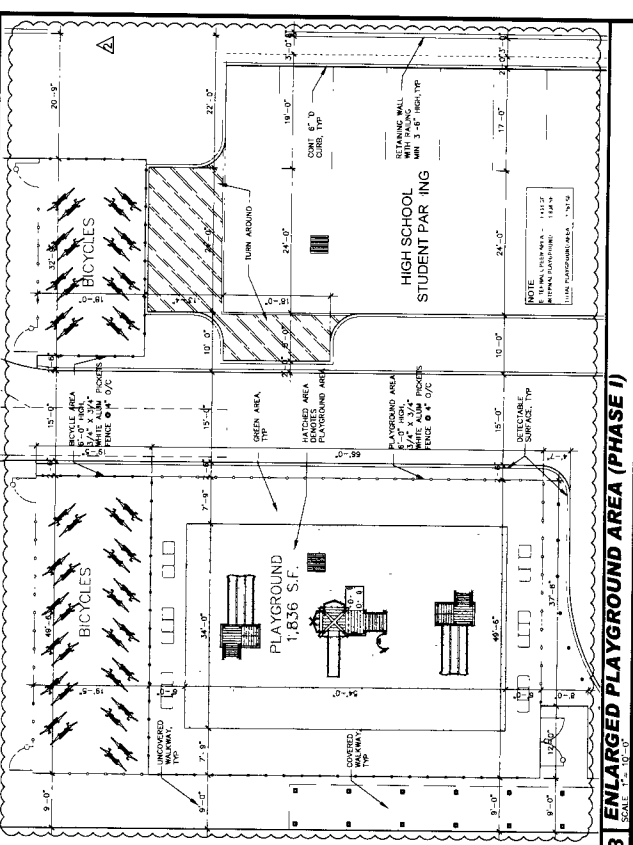
OWNER: M.J.G.  
 ARCHITECT: G.J.C.

**SP-2**

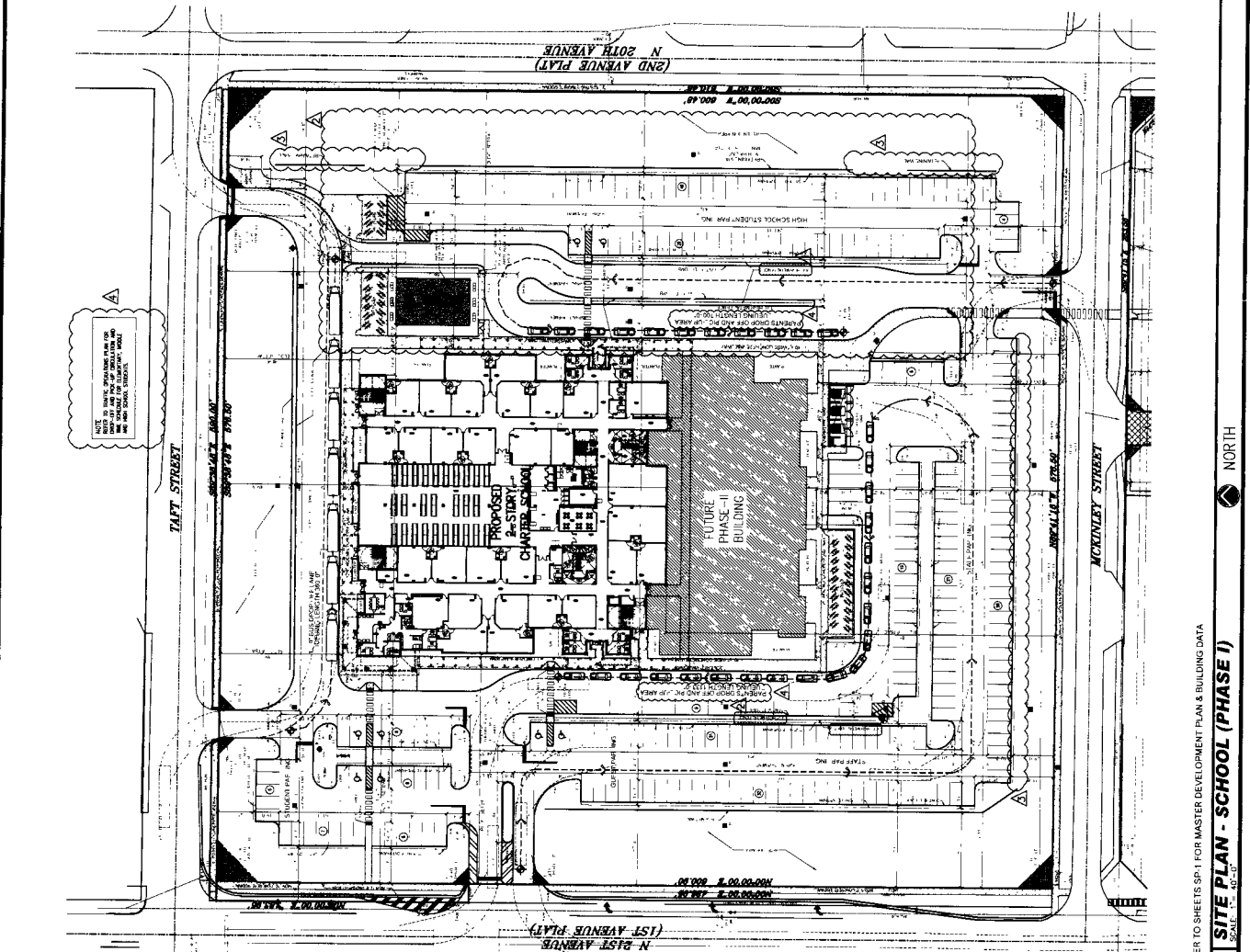
OF SHEETS



**2 PROPOSED PLAY FIELD**  
 SCALE: 1" = 40'-0"  
 REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA



**3 ENLARGED PLAYGROUND AREA (PHASE 1)**  
 SCALE: 1" = 40'-0"



**1 SITE PLAN - SCHOOL (PHASE 1)**  
 SCALE: 1" = 40'-0"

REFER TO SHEETS SP-1 FOR MASTER DEVELOPMENT PLAN & BUILDING DATA

REVISION	BY

**JCOG**

**GUSTAVO J. CARONELL, P.A.**  
 Architect and Planner  
 1457 N.E. 4th Ave.  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-6565

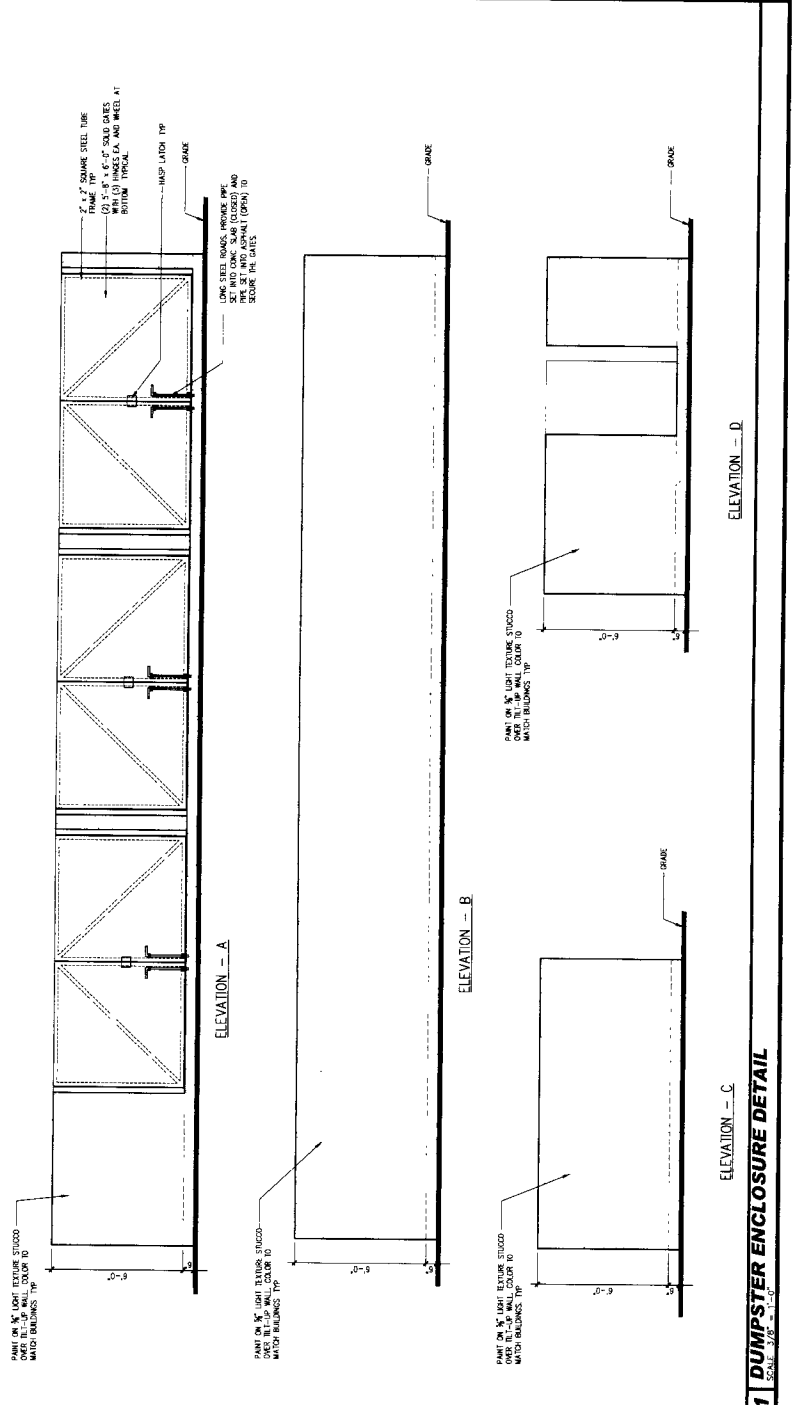
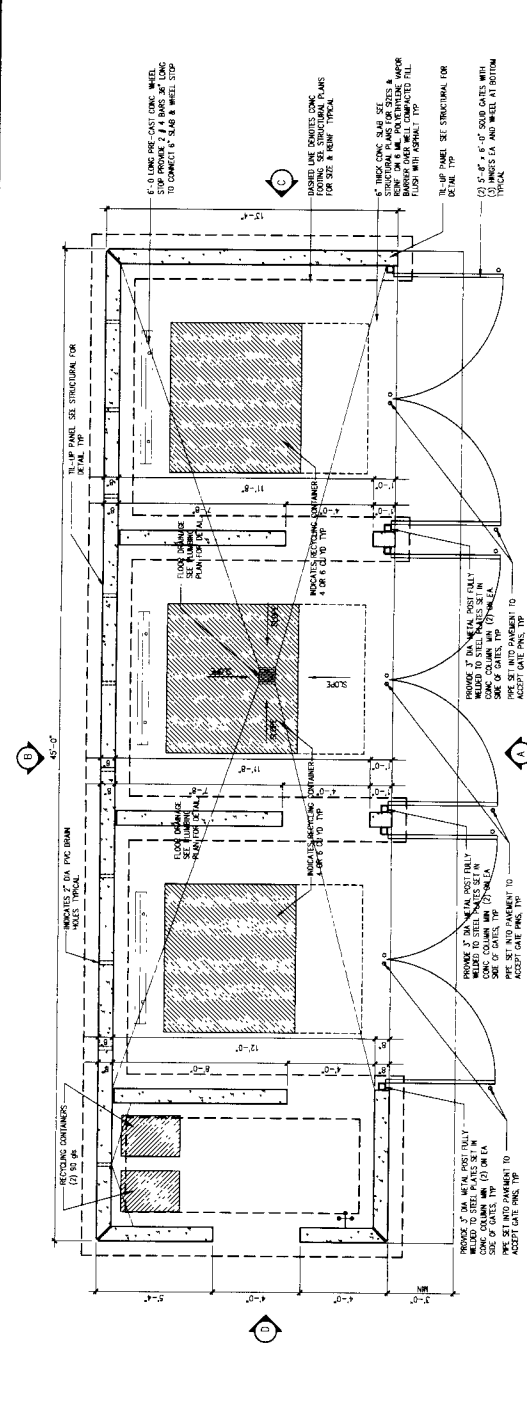
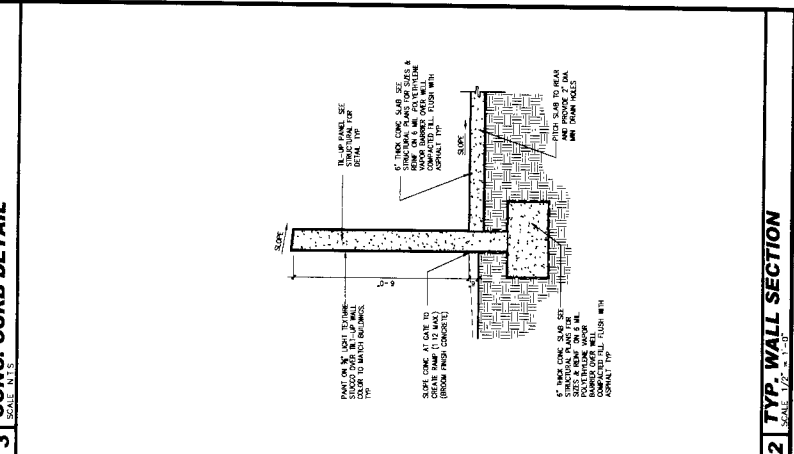
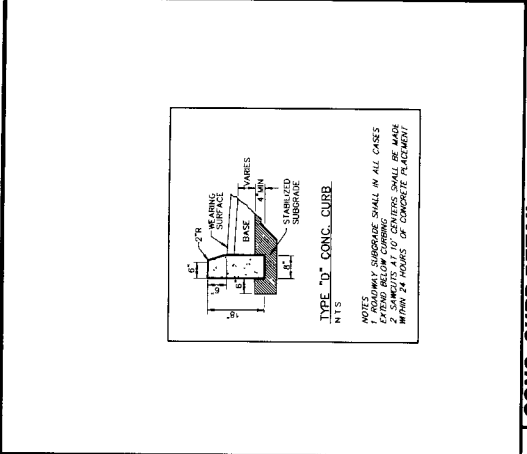
Member American Institute of Architects

**PROPOSED DEVELOPMENT:**  
**Hollywood Charter Academy**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

DATE: 06/10/2017  
 DRAWN: M.J.G.  
 CHECKED: G.J.C.  
 TITLE: 01/21/17  
 SCALE: AS NOTED  
 JOB NO: 13-011  
 SHEET: 13-011

**SP-3**

OF 1 SHEETS



REV	DATE	BY
Δ	1/15/2015	M.J.G.

**JCG**

Member American Institute of Architects  
 (954) 462-6955  
 1457 N.E. 4th Ave.  
 Ft. Lauderdale, Florida 33304  
**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner

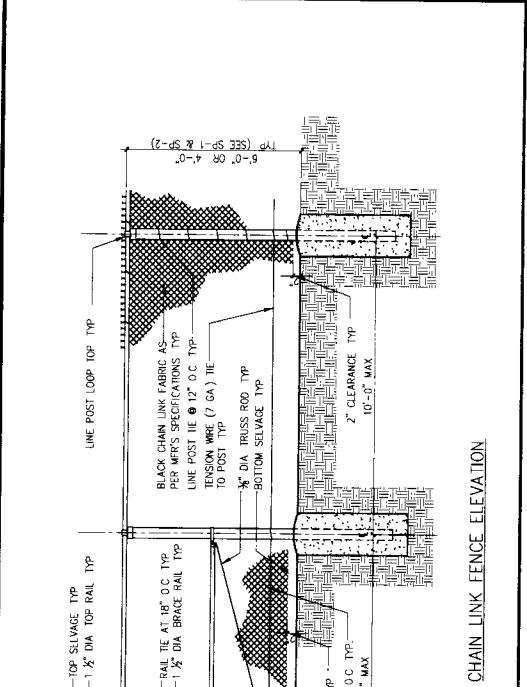
**PROPOSED DEVELOPMENT:**  
**Hollyood Charter Academy**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

DATE: 06/01/2015  
 SHEET NO: 00000007  
**FENCE DETAILS**

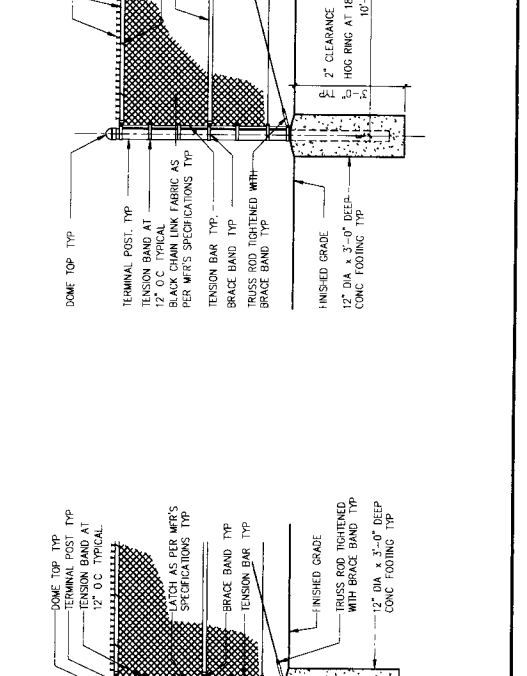
DRAWN	M.J.G.
DESIGNED	G.J.C.
DATE	01/21/13
SCALE	AS NOTED
JOB NO.	13-011
SHEET	

**SP-4**

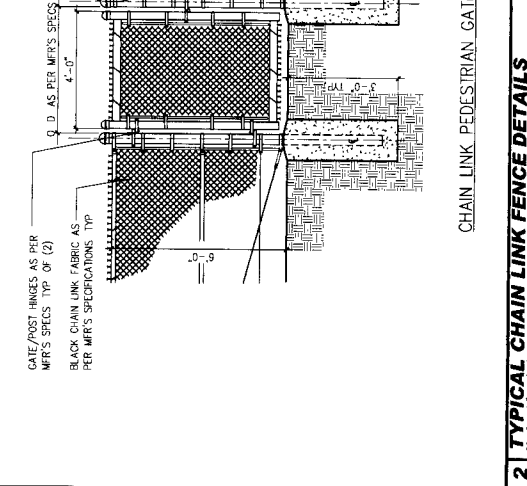
OF 1 SHEETS



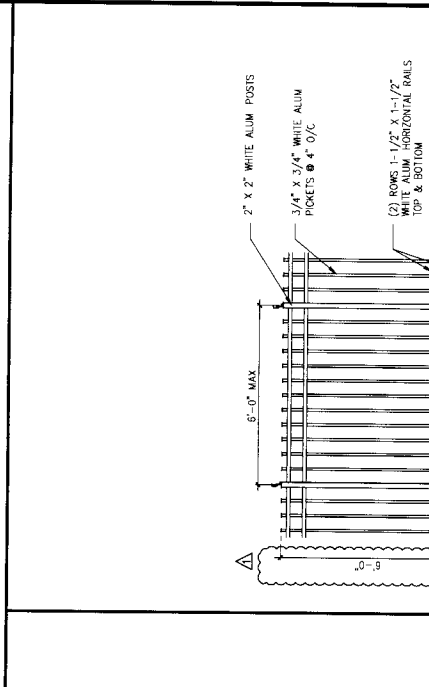
CHAIN LINK PEDESTRIAN GATE



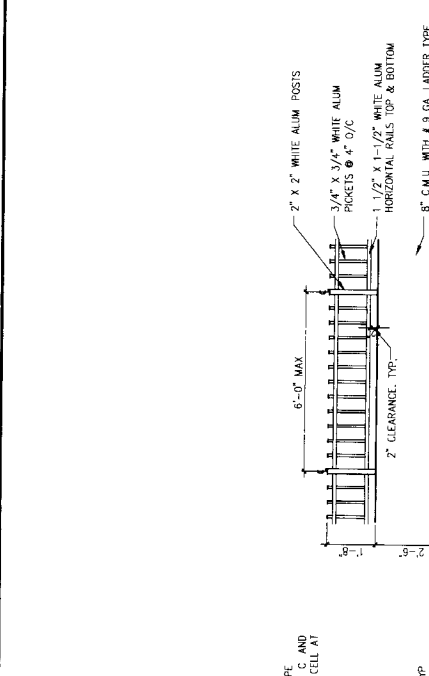
CHAIN LINK FENCE ELEVATION



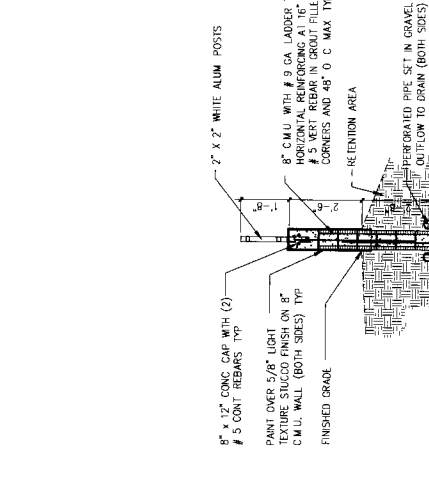
**2 TYPICAL CHAIN LINK FENCE DETAILS**  
 SCALE: 1/2" = 1'-0"



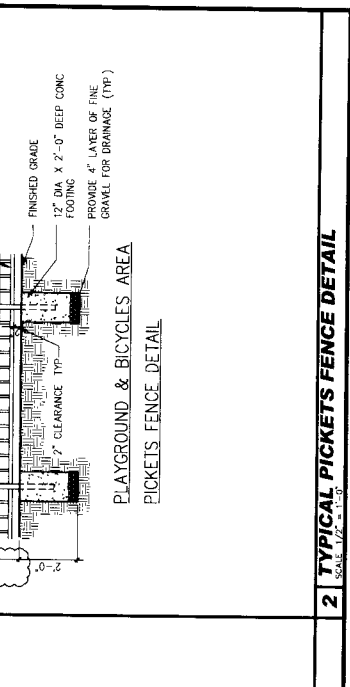
**2 TYPICAL PICKETS FENCE DETAIL**  
 SCALE: 1/2" = 1'-0"



**RETAINING WALL PICKETS FENCE DETAIL**



**TYP. RETAINING WALL SECTION**



**PLAYGROUND & BICYCLES AREA PICKETS FENCE DETAIL**

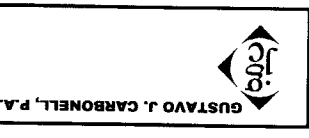




**JFS**  
**JFS Design Inc.**  
 LANDSCAPE ARCHITECTURE  
 10000 W. 15th Avenue  
 Suite 100  
 Denver, CO 80202  
 Phone: 303.751.1111  
 www.jfsdesign.com

REVISION	BY	DATE
1	JFS	01/14/14
2	JFS	02/11/14
3	JFS	03/11/14
4	JFS	04/11/14
5	JFS	05/11/14

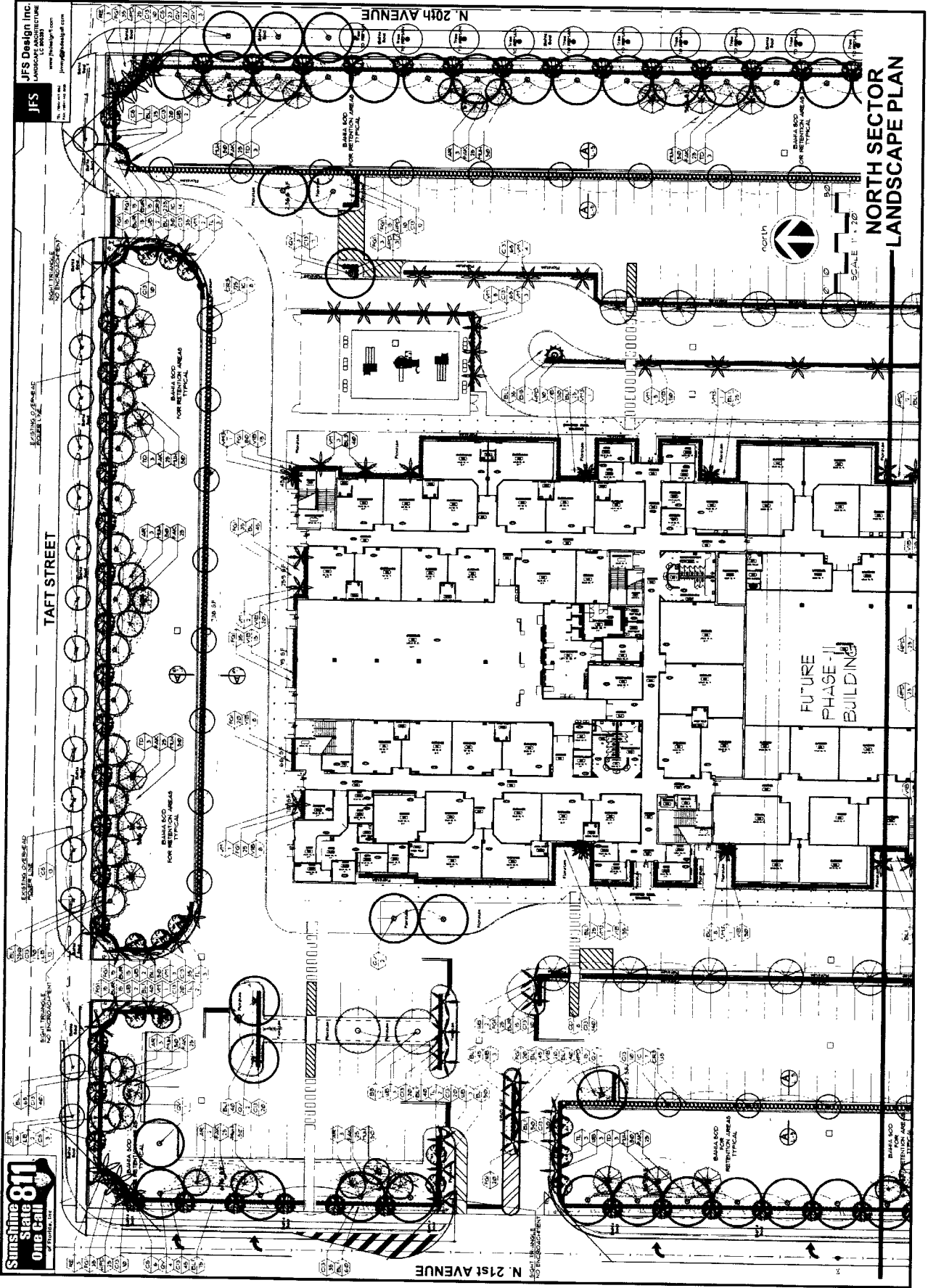
**GUSTAVO J. CARBONELL, P.A.**  
 LICENSED PROFESSIONAL ARCHITECT  
 10000 W. 15th Avenue  
 Suite 100  
 Denver, CO 80202  
 Phone: 303.751.1111  
 www.gustavocarbonell.com



**PROPOSED DEVELOPMENT:**  
**HOLLYWOOD CHARTER ACADEMY:**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

*[Handwritten Signature]*  
 DATE: 01/21/13  
 SCALE: 1" = 10'-0"  
 SHEET NO: 13-011  
 SHEET

**L-2**  
 SHEET





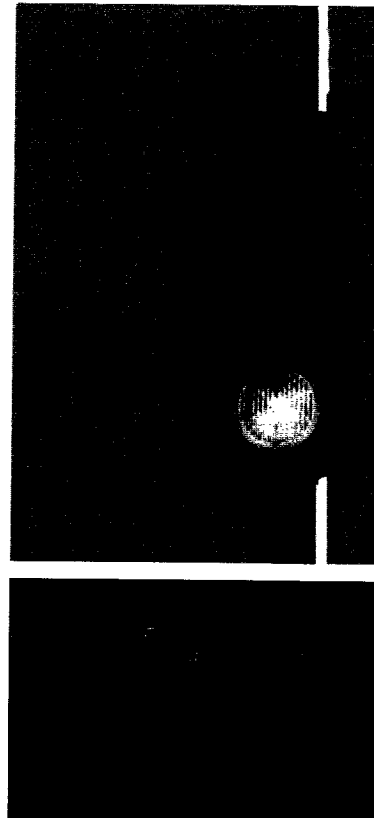
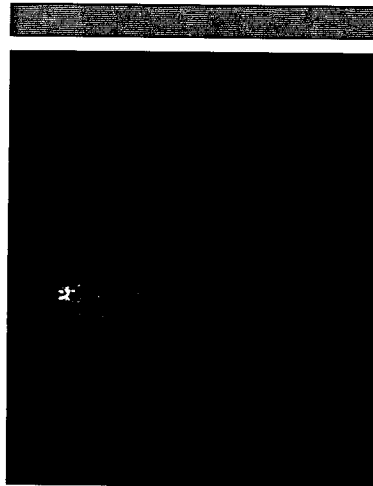


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# McKinley Charter School

2025 McKinley Street  
Broward County, Florida

traffic operations plan



prepared for:  
**MG3**

**Traf Tech**  
ENGINEERING, INC.

April 27, 2015

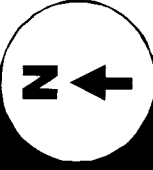
## INTRODUCTION


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McKinley Charter School is a proposed K through 12 educational facility planned to be located on the east side of North 21<sup>st</sup> Avenue between Taft Street and McKinley Street in the City of Hollywood in Broward County, Florida. The proposed charter school is projected to have a student population of up to 2,200 students. The location of the school site is shown on Figure 1 on the following page.

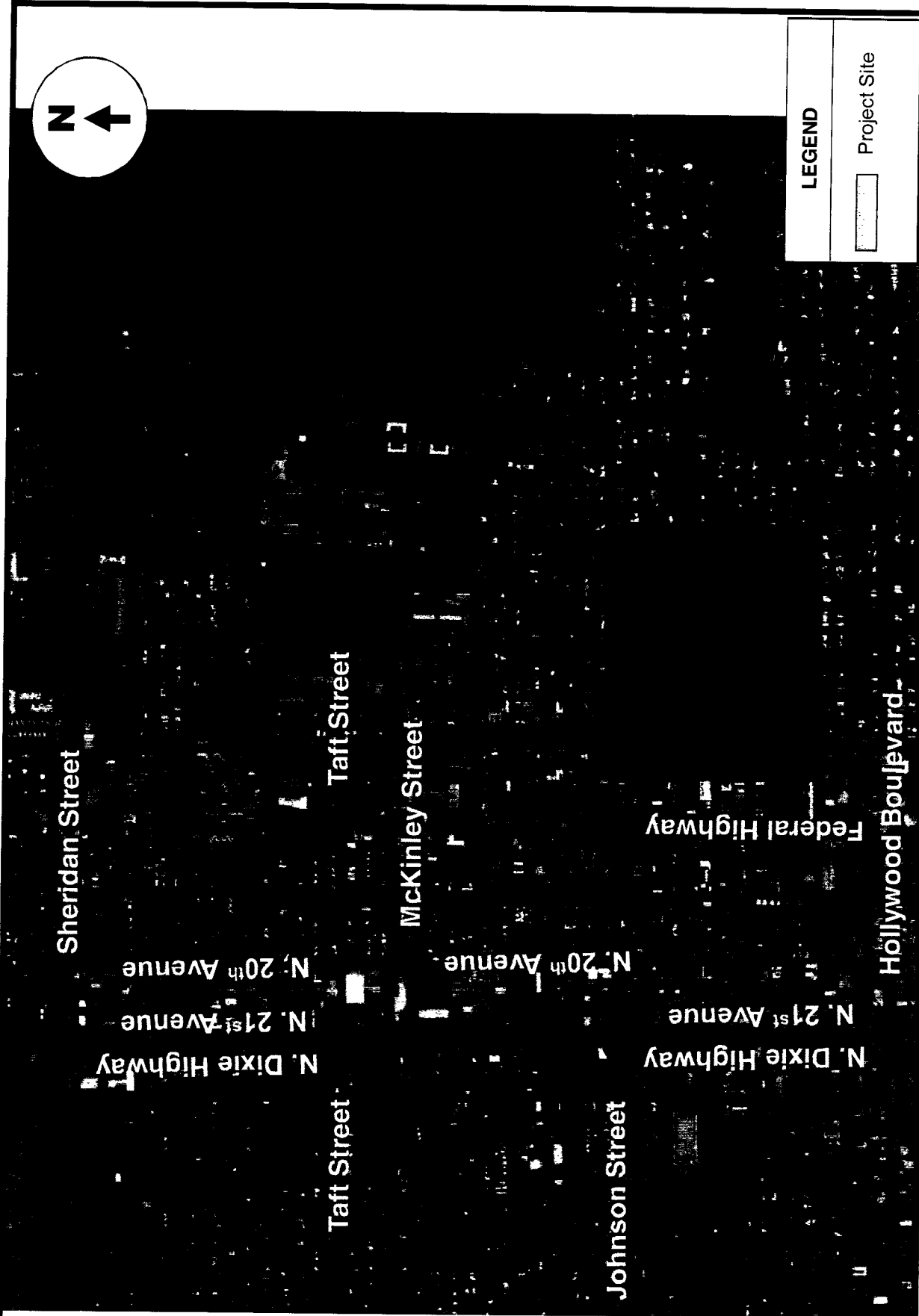
Traf Tech Engineering, Inc. has been retained by MG3 to prepare a Traffic Operations Plan (TOP) in connection with the development of this education facility.

Appendix A contains a copy of the site plan in connection with the McKinley Charter School. As shown in the site plan, access to the main campus will be provided via one ingress/egress driveway off of N. 21<sup>st</sup> Street, one full-access driveway on McKinley Street, an inbound-only lane and an exit-driveway off of Taft Street for buses only.



LEGEND	
	Project Site

**FIGURE 1**  
McKinley Charter School  
Hollywood, Florida



**PROJECT LOCATION MAP**

**Traf Tech**  
ENGINEERING, INC.

## **TRAFFIC OPERATIONS PLAN**

---

The McKinley Charter School has been designed to provide two drop-off/pick-up areas for students (one on the east side of the building and the other on the west side of the school). The student drop-off/pick-up circulation plan provides approximately 1,833 feet of inbound reservoir length (approximately 700 feet or 32 stacking spaces for the eastern drop-off/pick-up area and approximately 1,133 feet or 51 stacking spaces for the one on the west side of the school building). The combined 1,833 feet of stacking dimension can accommodate at least 83 on-site vehicles (assuming an effective vehicle length of 22 feet). The internal circulation plan is describe below:

For the east drop-off/pick-up area, parents will enter the site via the McKinley Street driveway, will circulate in a counter-clockwise direction along the circulation path located on the east side of the school building and will exit back onto the westbound lanes of McKinley Street. For the west drop-off/pick-up area, parents will enter the site via the North 21<sup>st</sup> Avenue driveway. After entering the school, all traffic will be required to head south along the west parking bay and circulate counter-clockwise along the circulation lane provided on the south side of the school building. Vehicles will then proceed north to the drop-off/pick-up area located on the west side of the school building. All exiting vehicles will be required to circulate back to the North 21<sup>st</sup> Avenue driveway in order to turn right and head north on North 21<sup>st</sup> Avenue.

### **Bus Circulation Plan**

Buses will access the school by entering via the west driveway off of Taft Street and exiting via the east driveway also on Taft Street. All entering buses were assumed to enter the school site by executing an eastbound right-turn movement into the west driveway and exiting buses were assumed to head westbound on Taft Street after they exit the school grounds. The bus drop-off/pick-up area will accommodate up to five (5) buses as depicted in the site plan contained in Appendix A.

### **Stacking**

During the AM peak period, 771 students resulted in 58 cars queued (actual count at a school in Hollywood). Hence, every grade (180 students) requires approximately 13 to 14 cars of stacking. Figures 2 and 3 present the arrival operating plan for the school in order to contain all vehicles on site (with the exception of the west area where approximately 1 to 5 vehicles will be stacked on the right-turn lane which is for the exclusive use of the school).

During the PM peak period, 771 students resulted in 106 cars queued (actual count at a school in Hollywood). Hence, every grade (180 students) requires approximately 25 cars of stacking. Figures 4 through 7 illustrate the departure operating plan for the school in order to contain all vehicles on site.



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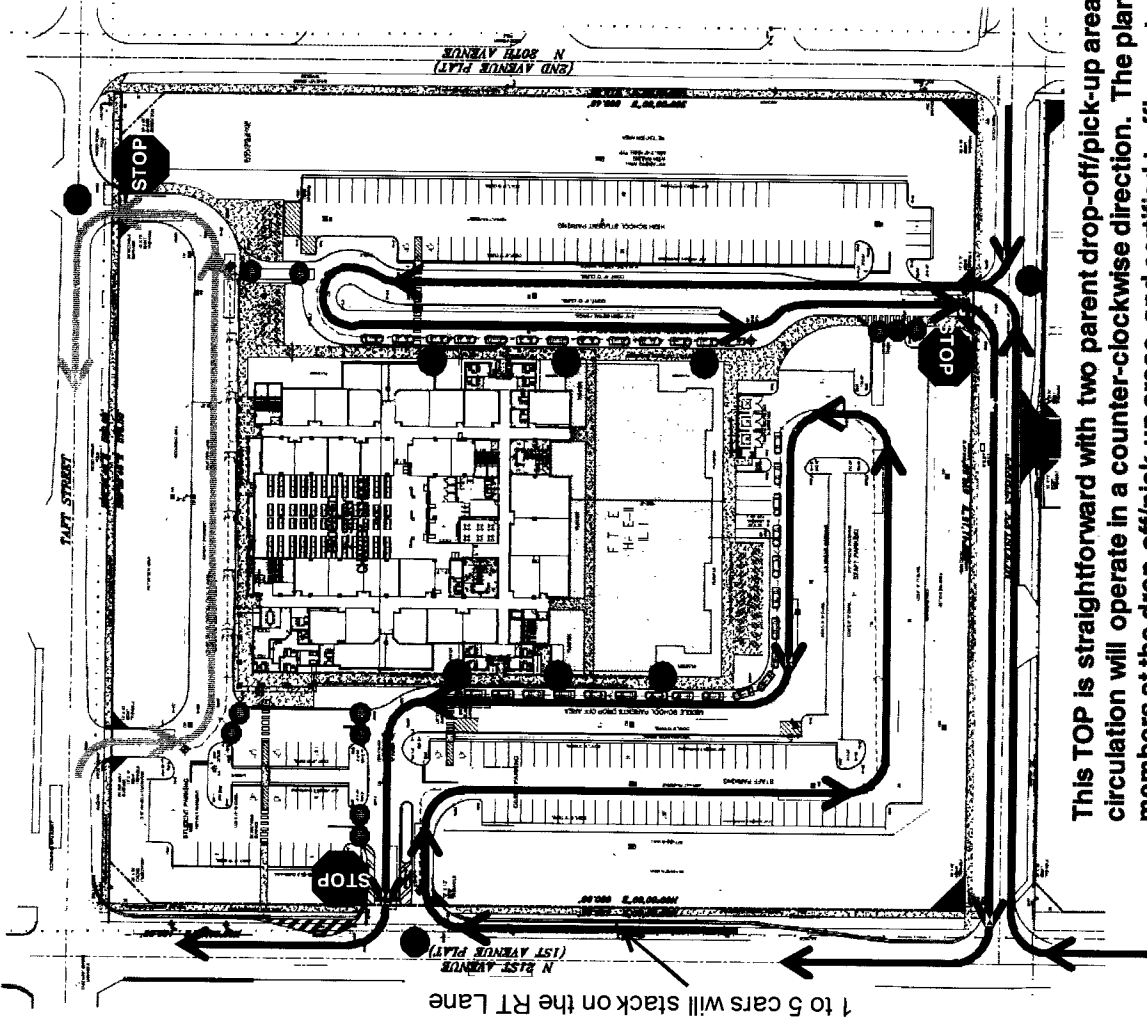
## **Operating Plan for Students and Staff**

In order to minimize conflicts between stacking vehicles and student drivers and staff, the following plan should be implemented at the McKinley Charters School:

- Student drivers should be instructed to arrive early and leave at least 20 minutes after the end of their school shift in order to minimize conflicts with the parent's peak arrival and dismissal periods.
- There is the ability to double stack on the west circulation path. As shown in the Traffic Operations Plan figures, the west circulation path uses parking aisles for stacking purposes. If the western circulation path requires double stacking, teachers and administration staff should be instructed to arrive early and leave late (at least 20 minutes after the end of school) in order to minimize conflicts with the parent's arrival and dismissal peak periods.

**ARRIVAL**

**Elementary School: 7:30 AM**  
 All arrive at 7:30 AM



LEGEND	
●	Traffic Cone
●	Traffic Control Personnel
●	Staff Member
↑	Bus Circulation
↑	Parent drop-off/ circulation (K-3 <sup>rd</sup> Grade)
↑	Parent drop-off/ circulation (Grades 4 and 5)

This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.

**TrafTech**  
 ENGINEERING, INC.

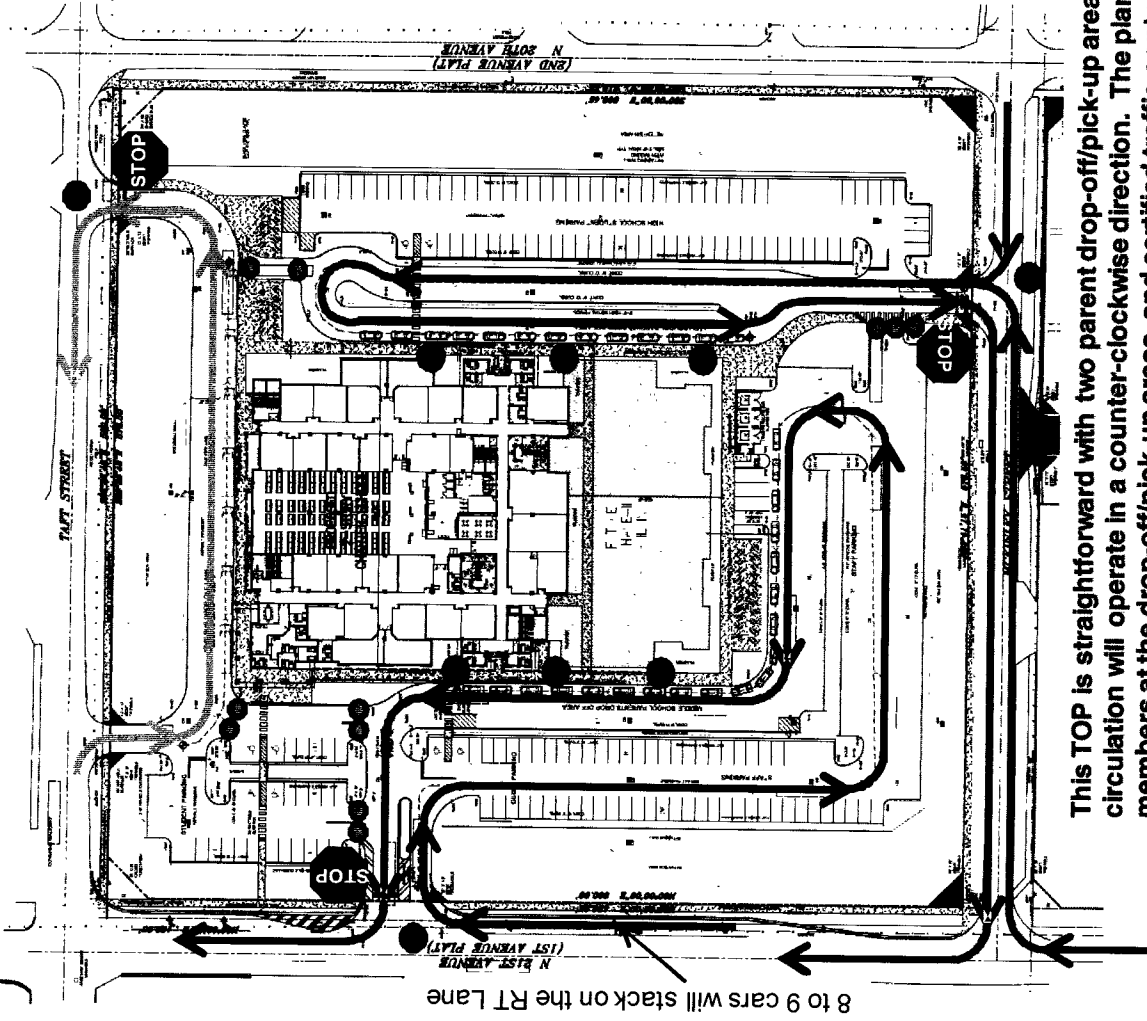
**TRAFFIC OPERATIONS PLAN (TOP)**  
 Elementary School Drop-off

**FIGURE 2**  
 Hollywood Charter Academy  
 Hollywood, Florida

**ARRIVAL**

Middle/High School: 8:30 AM

All arrive at 8:30 AM



8 to 9 cars will stack on the RT Lane

LEGEND	
●	Traffic Cone
●	Traffic Control Personnel
●	Staff Member
↑	Bus Circulation
↑	Parent drop-off/circulation (Grades 8 thru 12)
↑	Parent drop-off/circulation (Grades 6 & 7)

This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.

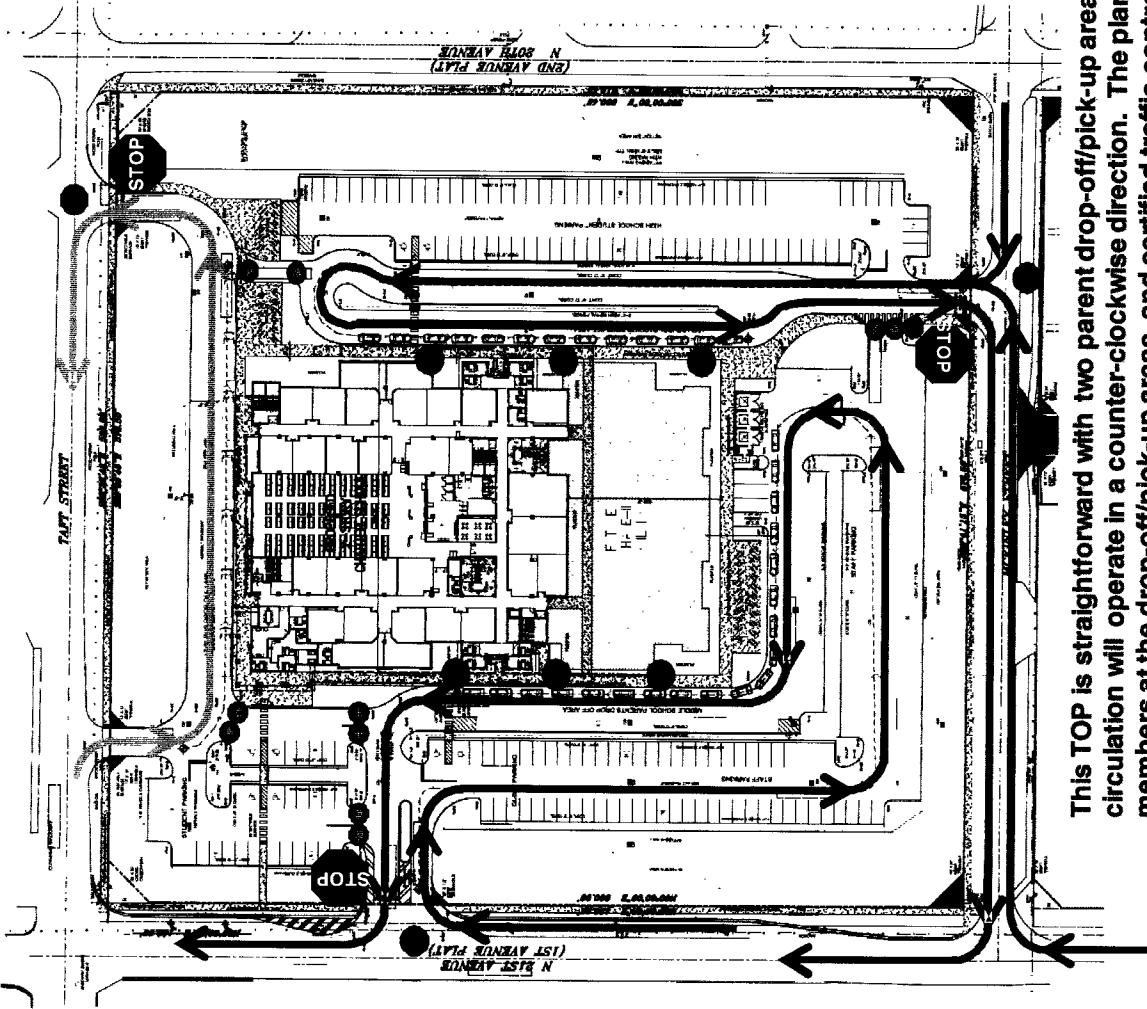
**TrafTech**  
ENGINEERING, INC.

**TRAFFIC OPERATIONS PLAN (TOP)**  
Middle/High School Drop-off

**FIGURE 3**  
Hollywood Charter Academy  
Hollywood, Florida

# DISMISSAL

Elementary School (K-2): 2:30 PM  
K-2 Departs at 2:30 PM



This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.

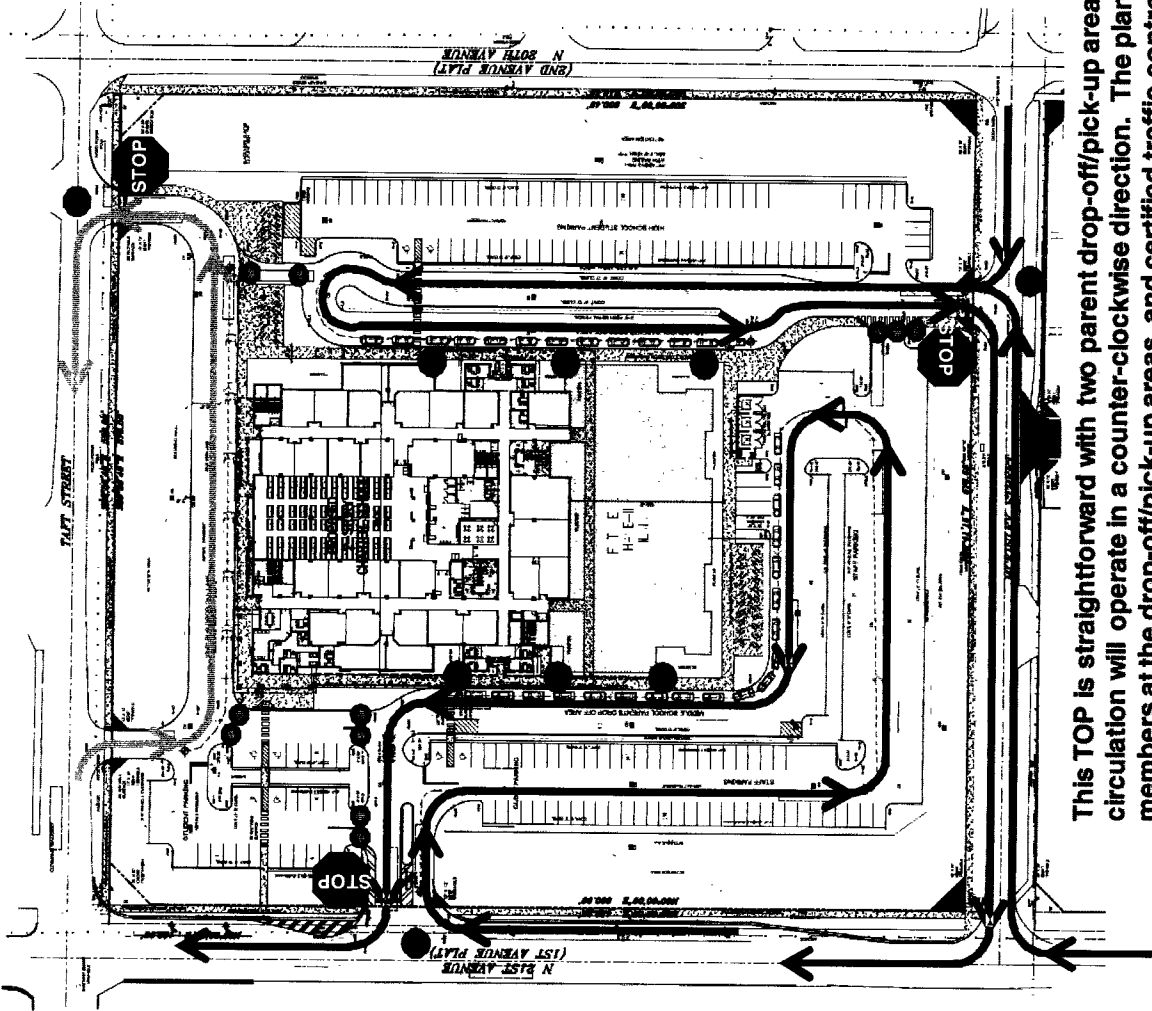
**TrafTech**  
ENGINEERING, INC.

**TRAFFIC OPERATIONS PLAN (TOP)**  
**Elementary School Pick-up**

**FIGURE 4**  
Hollywood Charter Academy  
Hollywood, Florida

**DISMISSAL**

Elementary School (3-5): 3:00 PM  
 Grades 3-5 Departs at 3:00 PM

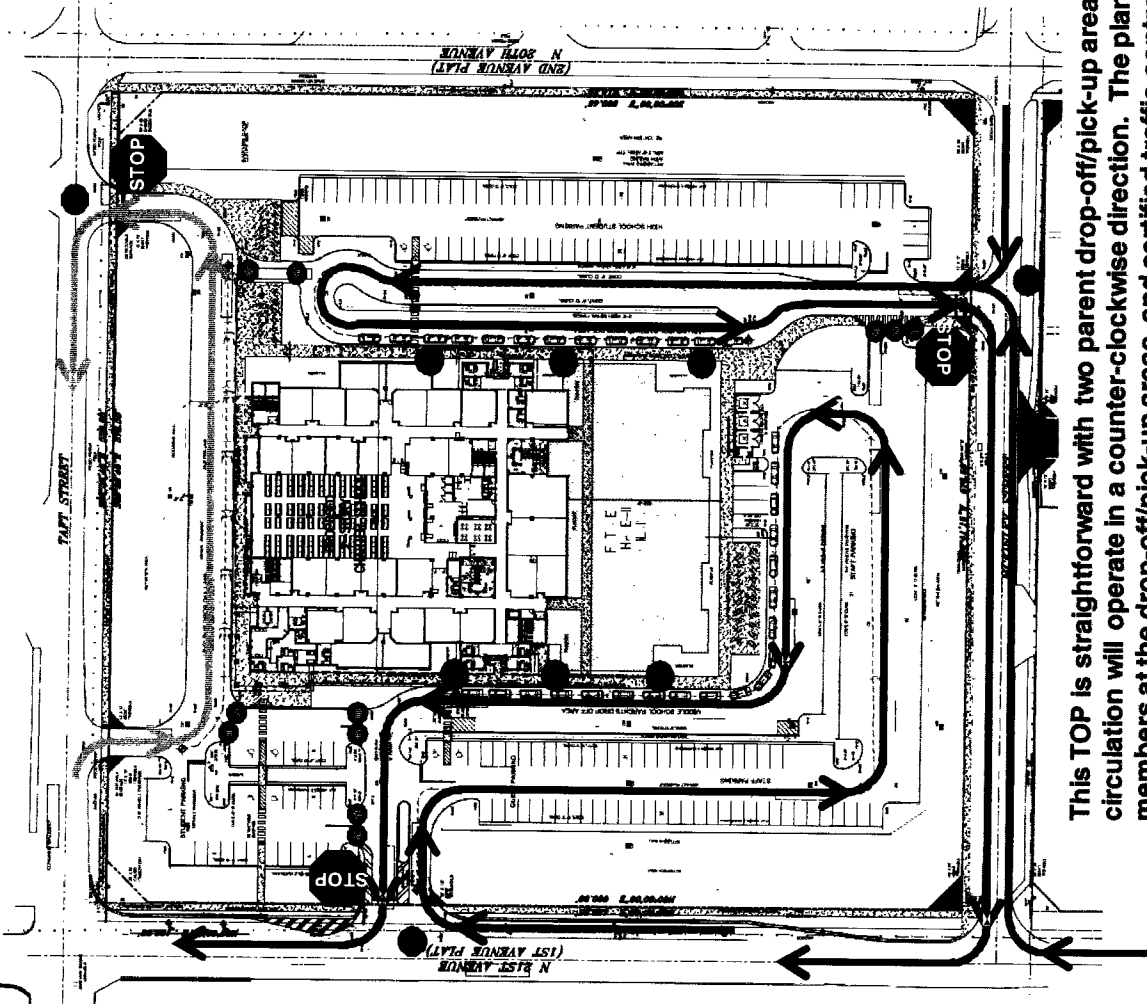


LEGEND	
●	Traffic Cone
●	Traffic Control Personnel
●	Staff Member
↑	Bus Circulation
↑	Parent pick-up circulation (Grades 3 and 4)
↑	Parent pick-up circulation (Grade 5)

This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.

**DISMISSAL**

Middle School: 3:30 PM  
All depart at 3:30 PM



LEGEND	
●	Traffic Cone
●	Traffic Control Personnel
●	Staff Member
↑	Bus Circulation
↑	Parent pick-up/ circulation (Grades 6 and 7)
↑	Parent pick-up/ circulation (Grade 8)

This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.

**TrafTech**  
ENGINEERING, INC.

**TRAFFIC OPERATIONS PLAN (TOP)**  
Middle School Pick-up

**FIGURE 6**  
Hollywood Charter Academy  
Hollywood, Florida

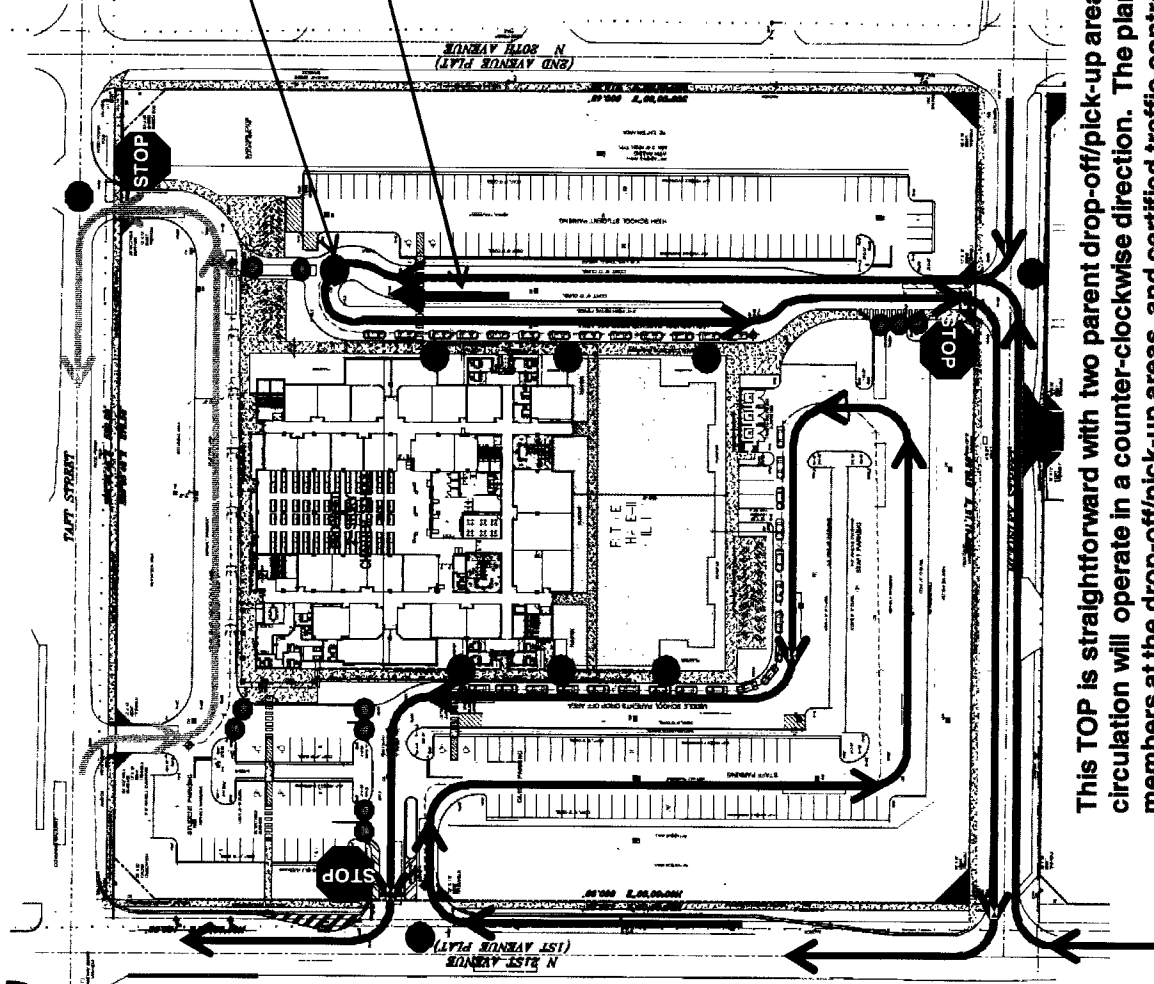
**DISMISSAL**

**High School: 4:00 PM**  
**All depart at 4:00 PM**

Additional Traffic Control Person

Double Stacking, if required For 3 Additional Car Capacity (+/- 66 extra feet)

LEGEND	
●	Traffic Cone
●	Traffic Control Personnel
●	Staff Member
↑	Bus Circulation
↑	Parent pick-up circulation (Grades 9 & 10)
↑	Parent pick-up circulation (Grades 11 & 12)




This TOP is straightforward with two parent drop-off/pick-up areas and one bus-only lane. The internal circulation will operate in a counter-clockwise direction. The plan will include traffic cones, trained staff members at the drop-off/pick-up areas, and certified traffic control personnel directing traffic.



REVISION	BY	DATE
1	JAC	3/2/2015
2	JAC	3/11/2015
3	JAC	3/23/2015

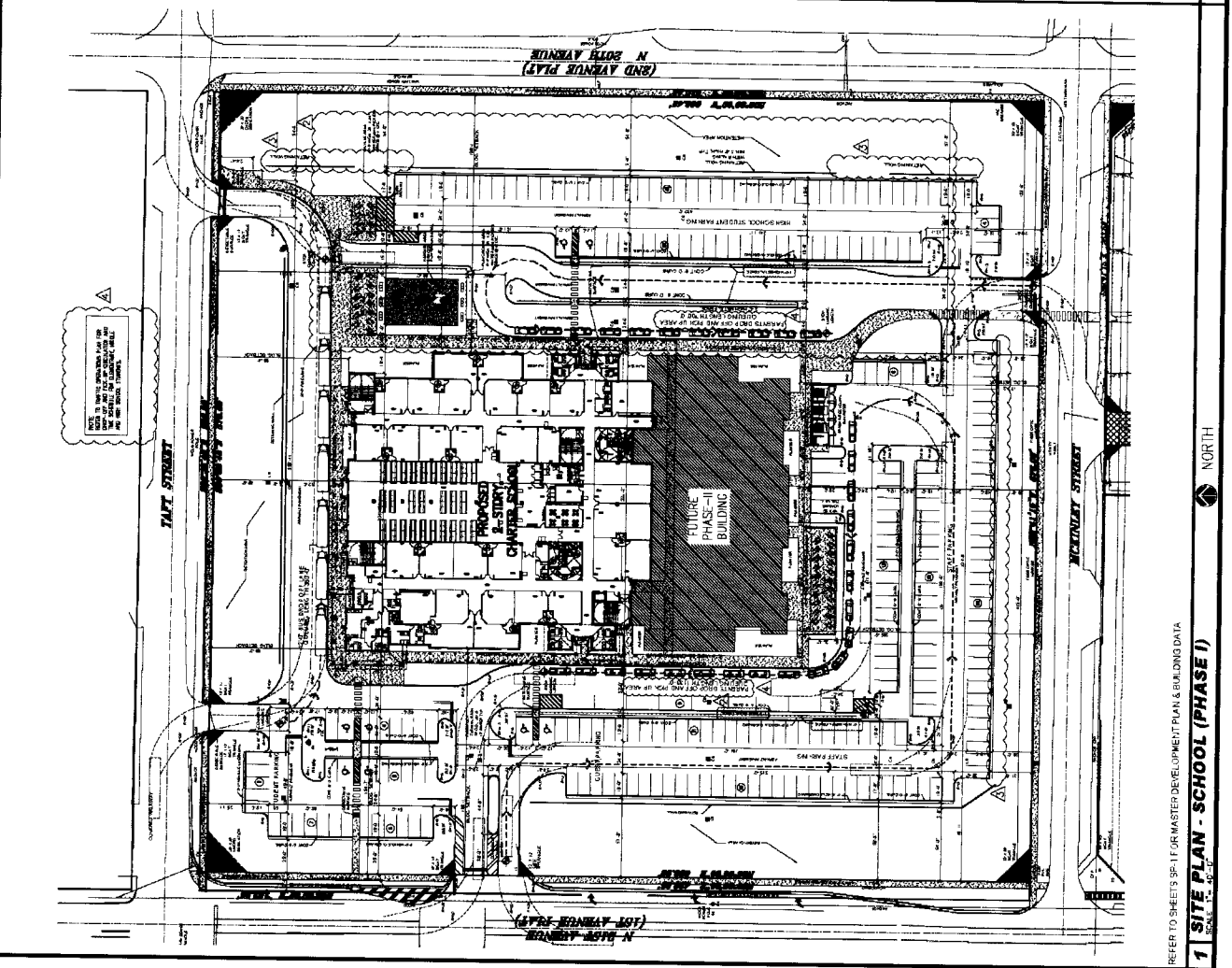
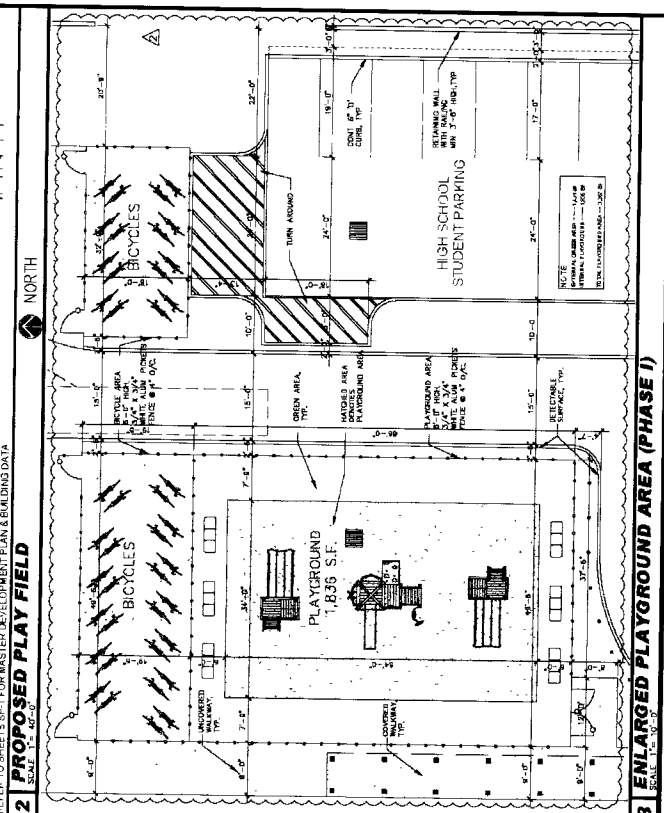
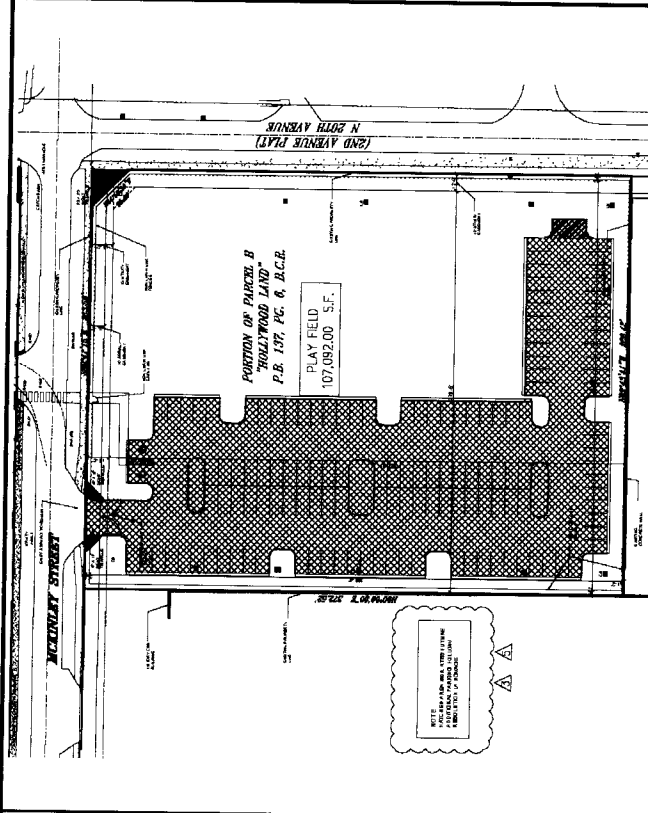
**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner  
 1457 NE 48<sup>th</sup> AVE.  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-8986  
 Member American Institute of Architects



**PROPOSED DEVELOPMENT:**  
**Hollywood Charter Academy**  
 2025 MCKINLEY STREET  
 HOLLYWOOD, FLORIDA

ORDERED	M.A.G.
DATE	09/23/15
SCALE	AS NOTED
JOB NO.	12-915
SHEET	12-915

**SP-2**  
 SHEETS



2

CITY OF HOLLYWOOD  
DEVELOPMENT REVIEW BOARD

RESOLUTION NO. 08-S-02

A RESOLUTION OF THE CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD APPROVING A SPECIAL EXCEPTION TO CONVERT TWO SINGLE FAMILY HOMES INTO FOUR ADDITIONAL CLASSROOMS FOR AN EXISTING CHARTER SCHOOL LOCATED AT 2627 and 2631 VAN BUREN STREET, MORE PARTICULARLY DESCRIBED IN EXHIBIT "A," PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Development Review Board (the "Board") is duly charged with and empowered to grant special exceptions in accordance with the guidelines and procedures set forth in Section 5.3 of the City's Zoning and Land Development Regulations; and

WHEREAS, Meltchet, LLC, Dan Morr and School Development HC (collectively "the Applicant"), requested approval of a Special Exception to convert two single family homes to four additional classrooms as part of an existing Charter School (Ben Gamla Charter School), located at 2627 and 2631 Van Buren Street, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Board reviews and considers all applications/petitions for special exceptions; and

WHEREAS, the Board met and held an advertised public hearing to consider the Applicant's request on March 13, 2008; and

WHEREAS, the Board reviewed the application for the Special Exception, the Board reviewed the evidence submitted and testimony received at the public hearing, and applied the criteria for granting the Special Exception as set forth in the City of Hollywood Zoning and Land Development Regulations at Section 5.3, and the Board made the following findings:

1. As to the Special Exception to convert two single family homes to four additional classrooms, as requested by the Applicant, the Board found, based on the criteria listed in Section 5.3.G.2 of the Zoning and Land Development Regulations:

- a) The proposed use must be consistent with the principles of the City's Comprehensive Plan;

**Return to: Office of Planning  
City of Hollywood  
2600 Hollywood Blvd, Room  
315  
Hollywood, FL 33020**

1

5

- b) The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties with the vicinity;
- c) That there will be provision for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the areas which will serve the use;
- d) That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances;
- e) The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses;
- f) The subject parcel must be adequate in shape and size to accommodate the proposed use;
- g) The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

NOW, THEREFORE, BE IT RESOLVED BY THE DEVELOPMENT REVIEW BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting a Special Exception, the Board hereby grants the special exception to convert two single family homes to four additional classrooms based on the plans as submitted by the Applicant and reviewed by the Board with the following conditions:

- i) The Special Exception will be tied to the existing Charter School located at 2620 Hollywood Blvd, Hollywood FL 33020, as more specifically described in Exhibit "C" attached hereto. If the school ceases operation, the Special Exception shall become null and void; and

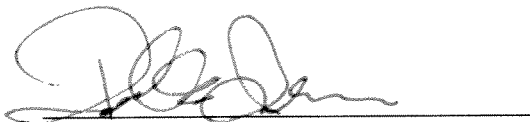
(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-S-02)

- ii) That the Applicant shall make the following improvements: paint, replace/incorporate new windows, new doors, new concrete paver walkway, building addition to accommodate restroom facilities, landscaping to be provided as indicated the Landscape Plans A102b, and A 105, attached hereto and incorporated herein as Exhibit "B", which must receive a Certificate of Completion (C/C) and/or Certificate of Occupancy (C/O) prior to establishing/operating the additional four classrooms; and
- iii) That there will be an off duty police officer/private security officer present at the time of drop off and pick up for the remainder of the 2007-2008 school year, and the first two months beginning the 2008-2009 school year. The Applicant shall return to the DRB the third month of the 2008-2009 school year for further review.

Section 2: That the Office of Planning is hereby directed to forward a copy of this resolution to the Applicant and the owner of the property with respect to which the request for the special exception was made and a copy shall be delivered to the City Clerk to be recorded in the Public Records of Broward County, all as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations.

PASSED AND ADOPTED THIS 13<sup>th</sup> DAY OF MARCH, 2008.

RENDERED THIS 4<sup>th</sup> DAY OF April 2008.



ROBERT ISHMAN,  
SECRETARY/ BOARD CHAIR PRO TEM

APPROVED AS TO FORM AND LEGALITY  
for the use and reliance of the Development  
Review Board of the City of Hollywood, Florida only



DENISE MANOS,  
BOARD ATTORNEY

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-S-02)

LEGAL DESCRIPTION

The East 1/2 of the South 100 feet of Lot 2, Block 30 of Hollywood Little Ranches, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

Together with:

The West 1/2 of the South 100 feet of Lot 2, Block 30 of Hollywood Little Ranches, according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida

EXHIBIT "A"

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-S-02)

LEGAL DESCRIPTION

Lot 1, Block 30, Lots 24 and 25, Block 29 of  
"Hollywood Little Ranches" according to the Plat  
thereof, as recorded in Plat Book 1, Page 26, B,  
of the Public Records of Broward County,  
Florida.

ALSO DESCRIBED AS:

2620 Hollywood Blvd, Hollywood FL 33020

EXHIBIT "C"

CITY OF HOLLYWOOD  
DEVELOPMENT REVIEW BOARD

RESOLUTION NO. 08-SV-02b

A RESOLUTION OF THE CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD APPROVING VARIANCES AND AN AMENDMENT TO A PREVIOUSLY APPROVED SPECIAL EXCEPTION FOR AN EXISTING CHARTER SCHOOL LOCATED AT 2627 AND 2631 VAN BUREN STREET, MORE PARTICULARLY DESCRIBED IN EXHIBIT "A," PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Board is duly empowered to approve/deny or approve with conditions Variances in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations; and

WHEREAS, the Development Review Board (the "Board") is duly charged with and empowered to approve/deny or approve with conditions Special Exceptions in accordance with the guidelines and procedures set forth in Section 5.3 of the City's Zoning and Land Development Regulations; and

WHEREAS, Meltchet, LLC, Dan Morr and School Development HC, in File Number 08-SV-02a requested a Special Exception to convert two single family homes to four additional classrooms as part of an existing Charter School (Ben Gamla Charter School); and

WHEREAS, the Board met and held an advertised public hearing to consider the above request on March 13, 2008; and

WHEREAS, following review of the Staff Summary Report, the application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed for granting a special exception, the Board granted the Special Exception with conditions pursuant to DRB Resolution 08-SV-08; and

WHEREAS, Van Buren Facility, LLC and School Development HC, (collectively the "Applicant"), in File Number 08-SV-02a, applied for three variances and an amendment to the previously approved Special Exception for the property located at 2627 and 2631 Van Buren Street (Ben Gamla Charter School); and

Return to: Office of Planning  
City of Hollywood  
2600 Hollywood Blvd, Rm 315  
Hollywood, FL 33020



WHEREAS, the Board met and held an advertised public hearing to consider the Applicant's request on July 10, 2008 and passed and adopted Resolution No 08-SV-02a granting the three variances and the amendment to the original Special Exception with conditions; and

WHEREAS, Van Buren Facility, LLC, in File Number 08-SV-02b, has applied for two variances and an amendment to the previously approved Special Exception to allow a new modular testing center with two (2) classrooms to be located at 2627 Van Buren Street (Ben Gamla Charter School); and

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator, following an analysis of the application and its associated documents have determined that the proposed request for the two Variances do meet the criteria set forth in Section 5.3.F.1. a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended approval of both Variances for the new modular testing center with the following conditions;

- (1) That the parcels containing the modular buildings must remain associated with the school; and
- (2) That the use of the modular buildings may continue as long as the north parcel (Lot 2, Block 30) remains affiliated with the school. In the event that the north parcel is no longer affiliated with the school, then the modular buildings must be removed.

; and

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator, following an analysis of the application and its associated documents have determined that the proposed request to amend the Special Exception to allow a new modular testing center with two (2) classrooms to be located at 2627 Van Buren Street (Ben Gamla Charter School) does meet the criteria set forth in Section 5.3.G.2. of the Zoning and Land Development Regulations and recommends approval with the following conditions:

- (1) That the parcels containing the modular buildings must remain affiliated with the school; and
- (2) That the use of the modular buildings may continue as long as the north parcel (Lot 2, Block 30) remains affiliated with the school;

; and

WHEREAS, the Board reviewed the application for the two Variances, reviewed the evidence submitted and testimony received at the public hearing, and the Board applied the criteria for granting the Variances as set forth in the City of Hollywood Zoning and Land Development Regulations and made the following findings:

1. As to the Variance to waive the required 20 foot building setback (west) to allow for a 13 foot building setback, 6.6' on the east and 0' on the north, the Board makes the following findings based on the criteria listed in Section 5.3 F. of the Zoning and Land Development Regulations and the conditions recommended by the Planning and Development Services staff:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City'
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
- d. That the need for the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

2. As to the Variance to waive the required maximum lot coverage of 60% to provide approximately 82% maximum lot coverage, the Board makes the following findings based on the criteria listed in Section 5.3 F. of the Zoning and Land Development Regulations and the conditions recommended by the Planning and Development Services staff:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City'
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

- d. That the need for the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

3. As to the amendment to the Special Exception to allow a new modular testing center with two (2) classrooms at 2627 Van Buren Street, as requested by the Applicant, the Board makes the following findings based upon the criteria set forth in Section 5.3.G.2. of the Zoning and Land Development Regulations, the conditions recommended by the Planning and Development Services staff and a condition proposed by the Board:

- (a) The proposed use is consistent with the principles of the City's Comprehensive Plan;
- (b) The proposed use is compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties with the vicinity;
- (c) That there are provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the areas which will serve the use;
- (d) That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances; and
- (e) That the proposed use, singularly or in combination with other Special Exceptions, is not detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses;
- (f) The subject parcels are adequate in shape and size to accommodate the proposed use;
- (g) The proposed use is consistent with the definition of a Special Exception and does meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

NOW, THEREFORE, BE IT RESOLVED BY THE DEVELOPMENT REVIEW BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for approving/denying Variances, the Variance to waive the required 20 foot building setback to allow for a 13 foot building setback on the west, 6.6' on the east and 0' on the north for the property located at 2627 Van Buren Street, Hollywood, Florida is hereby **approved with the following conditions** based upon the findings set forth above:

- (1) That the parcels containing the modular buildings must remain associated with the school; and
- (2) That the use of the modular buildings may continue as long as the north parcel (Lot 2, Block 30) remains affiliated with the school. In the event that the north parcel is no longer affiliated with the school, then the modular buildings must be removed.

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for approving/denying Variances, the Variance to waive the required maximum lot coverage of 60% to allow for a maximum lot coverage of approximately 82% for the property located at 2627 Van Buren Street, Hollywood, Florida is hereby **approved with the following conditions** based upon the findings set forth above:

- (1) That the parcels containing the modular buildings must remain associated with the school; and
- (2) That the use of the modular buildings may continue as long as the north parcel (Lot 2, Block 30) remains affiliated with the school. In the event that the north parcel is no longer affiliated with the school, then the modular buildings must be removed.

Section 3: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for approving/denying a Special Exception for the property located at 2627 Van Buren Street, Hollywood, Florida, to amend the previously approved Special Exception pursuant to Development Review Board Resolutions 08-SV-02 and 08-SV-02a, to allow for a new modular testing center with two (2) classrooms on the subject property, the amendment to the Special Exception is hereby **approved with the following conditions** based upon the findings above:

- (1) That the parcels containing the modular buildings must remain affiliated with the school; and

- (2) That the use of the modular buildings may continue as long as the north parcel (Lot 2, Block 30) remains affiliated with the school; and
- (3) That the new modular building shall only be used for a testing center.

Section 4: The approval by the Board granting the two (2) Variances set forth above shall become null and void unless the applicant has applied for all appropriate building or other permit(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution

Section 5: The approval by the Board granting the amendment to the previously approved Special Exception shall become null and void unless the applicant has applied for all appropriate building or other permit(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.


Section 6: That the approvals and provisions set forth in Resolutions 08-SV-02 and 08-SV-02a that are not in conflict with this Resolution shall remain in full force and effect.

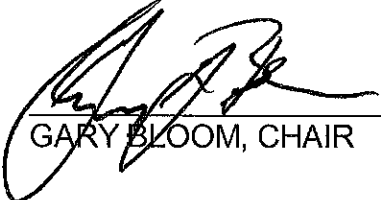
Section 7: That the Department of Planning and Development Services is hereby directed to forward a copy of this resolution to the Applicant and the owner of the property with respect to which the request for two (2) Variances and the amendment to the previously approved Special Exception was made. This Resolution approving the two (2) Variances and the amendment to the previously approved Special Exception with conditions shall be delivered to the City Clerk to be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 12<sup>th</sup> DAY OF MAY, 2011.

RENDERED THIS 10<sup>th</sup> DAY OF May 2011.

ATTEST:

  
BRUCE EPPERSON, SECRETARY

  
GARY BLOOM, CHAIR

APPROVED AS TO FORM AND LEGALITY  
for the use and reliance of the Development  
Review Board of the City of Hollywood, Florida only


  
DEBRA-ANN REESE, BOARD ATTORNEY



EXHIBIT "A"

Legal Description:

The East 1/2 of the South 100 feet of lot 2, in Block 30 of HOLLYWOOD LITTLE RANCHES, according to the Plot thereof, as recorded in Plat Book 1, at Page 26 of the Public Records of Broward County, Florida.

The West 1/2 of the South 100 feet of Lot 2, in Block 30 of HOLLYWOOD LITTLE RANCHES, according to the Plot thereof, as recorded in Plat Book 1, at Page 26 of the Public Records of Broward County, Florida.

Lot 2, Less the South 100 feet and East 50 feet of Lot 3, Less the South 100 feet in Block 30, Hollywood Little Ranches, according to the Plat thereof, as recorded in Plat Book 1, Page 26 of the Public records of Broward County, Florida.

3

CITY OF HOLLYWOOD  
DEVELOPMENT REVIEW BOARD

RESOLUTION NO. 08-SV-02a

A RESOLUTION OF THE CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD APPROVING VARIANCES AND AN AMENDMENT TO A PREVIOUSLY APPROVED SPECIAL EXCEPTION FOR AN EXISTING CHARTER SCHOOL LOCATED AT 2627 AND 2631 VAN BUREN STREET, MORE PARTICULARLY DESCRIBED IN EXHIBIT "A," PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Board is duly empowered to grant variances and design review approval in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations and site plan approval pursuant to Chapter 162, Hollywood Municipal Code of Ordinances, and Section 5.3 of the Zoning and Land Development Regulations; and

WHEREAS, the Development Review Board (the "Board") is duly charged with and empowered to grant special exceptions in accordance with the guidelines and procedures set forth in Section 5.3 of the City's Zoning and Land Development Regulations; and

WHEREAS, the Board reviews and considers all applications/petitions for special exceptions; and

WHEREAS, Meltchet, LLC, Dan Morr and School Development HC, in File Number 08-S-02 requested a Special Exception to convert two single family homes to four additional classrooms as part of an existing Charter School (Ben Gamla Charter School); and

WHEREAS, the Board met and held an advertised public hearing to consider the above request on March 13, 2008; and

WHEREAS, following review of the Staff Summary Report, the application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed for granting a special exception, the Board granted the special exception with the following conditions; and

WHEREAS the three conditions to the special exception were as follows: 1) Special Exception will be tied to the existing Charter School located at 2620 Hollywood

1 Return to: Office of Planning  
City of Hollywood  
2600 Hollywood Blvd, Room  
315  
Hollywood, FL 33020

8

Blvd, Hollywood Florida and should the school cease operation, the Special Exception shall become null and void; 2) That the Applicant shall make the following improvements: paint, replace/incorporate new windows, new doors, new concrete paver walkway, building addition to accommodate restroom facilities, landscaping to be provided as indicated the Landscape Plans A102b, and A 105, attached hereto and incorporated herein as Exhibit "B", which must receive a Certificate of Completion (C/C) and/or Certificate of Occupancy (C/O) prior to establishing/operating the additional four classrooms; 3) That there will be an off duty police officer/private security officer present at the time of drop off and pick up for the remainder of the 2007-2008 school year, and the first two months beginning the 2008-2009 school year. The Applicant shall return to the DRB the third month of the 2008-2009 school year for further review; and

WHEREAS, Van Buren Facility, LLC and School Development HC, (collectively the "Applicant"), in File Number 08-SV-02a, applied for three variances and an amendment to the previously approved Special Exception for the property located at 2627 and 2631 Van Buren Street (Ben Gamla Charter School) more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Board met and held an advertised public hearing to consider the Applicant's request on July 10, 2008; and

WHEREAS, the Board reviewed the application for the three variances, reviewed the evidence submitted and testimony received at the public hearing, and the Board applied the criteria for granting the variances and design review approval as set forth in the City of Hollywood Zoning and Land Development Regulations and made the following findings:

1. As to the variance to waive the required 20 foot building setback (west) to allow for a 12 foot building setback, the Board makes the following findings based on the criteria listed in Section 5.3 of the Zoning and Land Development Regulations:

- a) That the requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City.
- b) That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- c) That the requested variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
- d) That the requested variance is the minimum variance reasonably necessary.

2. As to the variance to waive the required 20 foot building setback (south) to allow for a 13 foot setback, the Board makes the following findings based on the criteria listed in Section 5.3 of the Zoning and Land Development Regulations:

- a) That the requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City;
- b) That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- c) That the requested variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City;
- d) That the requested variance is the minimum variance reasonably necessary.

3. As to the variance to waive the required 20 foot building setback (east) to allow for a 6 foot setback, the Board makes the following findings based on the criteria listed in Section 5.3 of the Zoning and Land Development Regulations:

- a) That the requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City;
- b) That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- c) That the requested variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City;
- d) That the requested variance is the minimum variance reasonably necessary.

WHEREAS, the Board reviewed the application for an amendment to the previously granted Special Exception, the Board reviewed the evidence submitted and testimony received at the public hearing, and applied the criteria for granting the Special Exception as set forth in the City of Hollywood Zoning and Land Development Regulations at Section 5.3, and the Board made the following findings:

4. As to the amendment to the Special Exception to allow a new modular building with eight classrooms, as requested by the Applicant, the Board found, based on the criteria listed in Section 5.3.G.2 of the Zoning and Land Development Regulations:

- a) The proposed use must be consistent with the principles of the City's Comprehensive Plan;
- b) The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties with the vicinity;
- c) That there will be provision for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the areas which will serve the use;
- d) That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances;
- e) The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses;
- f) The subject parcel must be adequate in shape and size to accommodate the proposed use;
- g) The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.

NOW, THEREFORE, BE IT RESOLVED BY THE DEVELOPMENT REVIEW BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting variances, the variance to waive the required 20 foot building setback (west) to allow for a 12 foot building setback is hereby granted.



(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-SV-02a)

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting variances, the variance to waive the required 20 foot building setback (south) to allow for a 13 foot setback is hereby granted.

Section 3: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting variances, the variance to waive the required 20 foot building setback (east) to allow for a 6 foot setback is hereby granted.

Section 4: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting a Special Exception, the Board hereby amends the special exception to convert two single family homes to four additional classrooms to now allow a new modular building with eight classrooms, based on the plans as submitted by the Applicant and reviewed by the Board with the following conditions:

- i) The proposed improvements (including but not limited to new walkways and additional landscaping areas) receive a Certificate of Completion (C/C) and/or Certificate of Occupancy (C/O) prior to new modular building receiving a C/O.
- ii) That the Applicant must submit a Unity of Title, in a form acceptable to the City Attorney's Office, prior to the issuance of any building permits and record in the Public Records of Broward County prior to the issuance of a Certificate of Occupancy (C/O) or Certificate of Completion (C/C).
- iii) The Special Exception will be tied to the existing Charter School located at 2620 Hollywood Blvd, Hollywood FL 33020, as more specifically described in Exhibit "B" attached hereto. If the school ceases operation, the Special Exception shall become null and void.
- iv) That there will be an off duty police officer/private security officer present at the time of drop off and pick up for the remainder of the 2007-2008 school year, and the first two months beginning the 2008-2009 school year. The Applicant shall return to the DRB the third month of the 2008-2009 school year for further review.

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-SV-02a)


Section 5: That the Office of Planning is hereby directed to forward a copy of this resolution to the Applicant and the owner of the property with respect to which the request for the special exception was made and a copy shall be delivered to the City Clerk to be recorded in the Public Records of Broward County, all as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations.

PASSED AND ADOPTED THIS 10<sup>th</sup> DAY OF JULY, 2008.

RENDERED THIS 24<sup>th</sup> DAY OF July 2008.

  
\_\_\_\_\_  
GARY BLOOM,  
BOARD CHAIR

APPROVED AS TO FORM AND LEGALITY  
for the use and reliance of the Development  
Review Board of the City of Hollywood, Florida only

  
\_\_\_\_\_  
DENISE MANOS,  
BOARD ATTORNEY

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-S-02a)

LEGAL DESCRIPTION

Building One: (2627 Van Buren Street)  
The East 1/2 of the South 100 feet of Lot 2, Block 30 of  
Hollywood Little Ranches, according to the Plat thereof, as  
recorded in Plat Book 1, Page 26, of the Public Records of  
Broward County, Florida.

Together with:

Building Two: (2631 Van Buren Street)  
The West 1/2 of the South 100 feet of Lot 2, Block 30 of  
Hollywood Little Ranches, according to the Plat thereof, as  
recorded in Plat Book 1, Page 26, of the Public Records of  
Broward County, Florida

EXHIBIT "A"

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 08-S-02a)

LEGAL DESCRIPTION

Lot 1, Block 30, Lots 24 and 25, Block 29 of  
"Hollywood Little Ranches" according to the Plat  
thereof, as recorded in Plat Book 1, Page 26, B,  
of the Public Records of Broward County,  
Florida.

EXHIBIT "B"

ORDINANCE NO. O-2007-32

(VA-07-05)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, VACATING A PORTION OF THE PLATTED ALLEY LYING WITHIN BLOCK 58 OF THE PLAT OF "HOLLYWOOD", PB 1, PG 21, AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN, PROVIDING A SEVERABILITY CLAUSE, A REPEALER PROVISION, AND AN EFFECTIVE DATE.

WHEREAS, the applicant, WSG Hollywood Development LLC, has requested vacation of a portion of the 14' wide service alley within Block 58 of the Plat of "HOLLYWOOD", as recorded in the Public Records of Broward County, Florida; and

WHEREAS, continuity with the remaining eastern limits of the existing alley will be provided through an alley easement document and construction provisions prior to the vacation becoming effective; and

WHEREAS, utility relocations and Unity of Title requirements shall be satisfied prior to the vacation becoming effective; and

WHEREAS, the City Commission of the City of Hollywood, after review of the recommendations of staff and consideration of this issue, has determined that the subject right of way is not required for public use and the proposed vacation bears a reasonable relationship to the health, safety, and welfare of the citizens of Hollywood; and

WHEREAS, the City Commission has determined the proposed vacation would be in the best interests of the citizens of Hollywood;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That it hereby vacates that portion of the platted alley lying within Block 58 of the plat of "HOLLYWOOD", PB 1, Pg 21, as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference.

Section 2: That if any word, phrase, clause, subsection or section of this ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this ordinance.



VACATING AN ALLEY LYING WITHIN BLOCK 58 OF THE PLAT OF "HOLLYWOOD"

Section 3: That all sections or parts of sections of the Code of Ordinances, all ordinances or parts of ordinances, and all resolutions or parts of resolutions in conflict herewith be and the same are hereby repealed to the extent of such conflict.

Section 4: That this ordinance shall be in full force and effect immediately upon the date of recordation of a certificate of the City Engineer stating the following requirements have been satisfied:

- i) That the City has received written notice from the Florida Power and Light Company, Bell South, Comcast, Teco, and Hollywood's Department of Public Utilities confirming satisfactory relocation of their respective utility facilities located in the subject alley right-of-way, and thus, no objection to said alley vacation;
- ii) That the City has received, accepted and recorded an alley right of way easement document and been provided approved construction of an appropriate connection between the remaining alley section and Van Buren Street to the South;
- iii) That the City has received, accepted and recorded an appropriate easement document together with satisfactory relocation of the existing street lighting and irrigation service and control panel equipment existing within the alley right of way;
- iv) That the City has received an appropriate Unity of Title for lots 1 through 19 and lot 24 providing for unified development of the consolidated parcels;

The above requirements shall be satisfied no later than twenty-four (24) months from the date of adoption of this Ordinance. If these requirements are not satisfactorily completed and the Certificate recorded within the prescribed twenty-four (24) month time period, this Ordinance shall be null and void.


Advertised Nov 9, 2007.

PASSED on first reading this 7 day of Nov, 2007.

PASSED AND ADOPTED on second reading this 21 day of Nov, 2007.

VACATING AN ALLEY LYING WITHIN BLOCK 58 OF THE PLAT OF "HOLLYWOOD"

  
MARA GIULIANTI, MAYOR

ATTEST:  
  
PATRICIA A. CERNY, MMC  
CITY CLERK

APPROVED AS TO FORM AND LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida, only.

  
ALAN FALLIK, INTERIM CITY ATTORNEY

**COUSINS SURVEYORS & ASSOCIATES, INC**



3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5418-05

CLIENT :  
 WSG DEVELOPMENT COMPANY

**LAND DESCRIPTION AND SKETCH**

LEGEND:

CKD CHECKED BY  
 CONC CONCRETE  
 DWN DRAWN BY  
 FB/PG FIELD BOOK AND PAGE  
 SIR SET 5/8" IRON ROD & CAP #6448  
 SNC SET NAIL AND CAP #6448  
 FIR FOUND IRON ROD  
 FIP FOUND IRON PIPE  
 FNC FOUND NAIL AND CAP  
 FND FOUND NAIL & DISC  
 P.B. PLAT BOOK  
 B.C.R. BROWARD COUNTY RECORDS  
 -X- CHAIN LINK/ WOOD FENCE  
 CBS CONCRETE BLOCK STRUCTURE  
 A/C AIR CONDITIONER  
 9 45 ELEVATION

LAND DESCRIPTION:

THAT PORTION OF A 14' ALLEY LYING SOUTH OF AND ADJACENT WITH THE SOUTH LINE OF LOT 24, AND NORTH OF AND ADJACENT WITH WITH THE NORTH LINE OF LOTS 1 THROUGH 7, INCLUSIVE, LESS THE WEST 15' THEREOF, ALL IN BLOCK 58 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA; CONTAINING 3710 SQUARE FEET, MORE OR LESS.

NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. DATA SHOWN HEREON DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
5. BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N90°00'00" E.

I HEREBY CERTIFY THAT THE ATTACHED "LAND DESCRIPTION AND SKETCH" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION IN JULY, 2007. I FURTHER CERTIFY THAT THIS "LAND DESCRIPTION AND SKETCH" MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 61G17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: *Richard E. Cousins*  
 RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4188

REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	07/18/07	----	AY	REC

LAND DESCRIPTION & SKETCH  
 FOR PROPOSED  
 14' ALLEY  
 VACATION

PROPERTY :  
 HOLLYWOOD BREAD  
 SCALE: N/A  
 SHEET 1 OF 2

**COUSINS SURVEYING & ASSOCIATES, INC.**



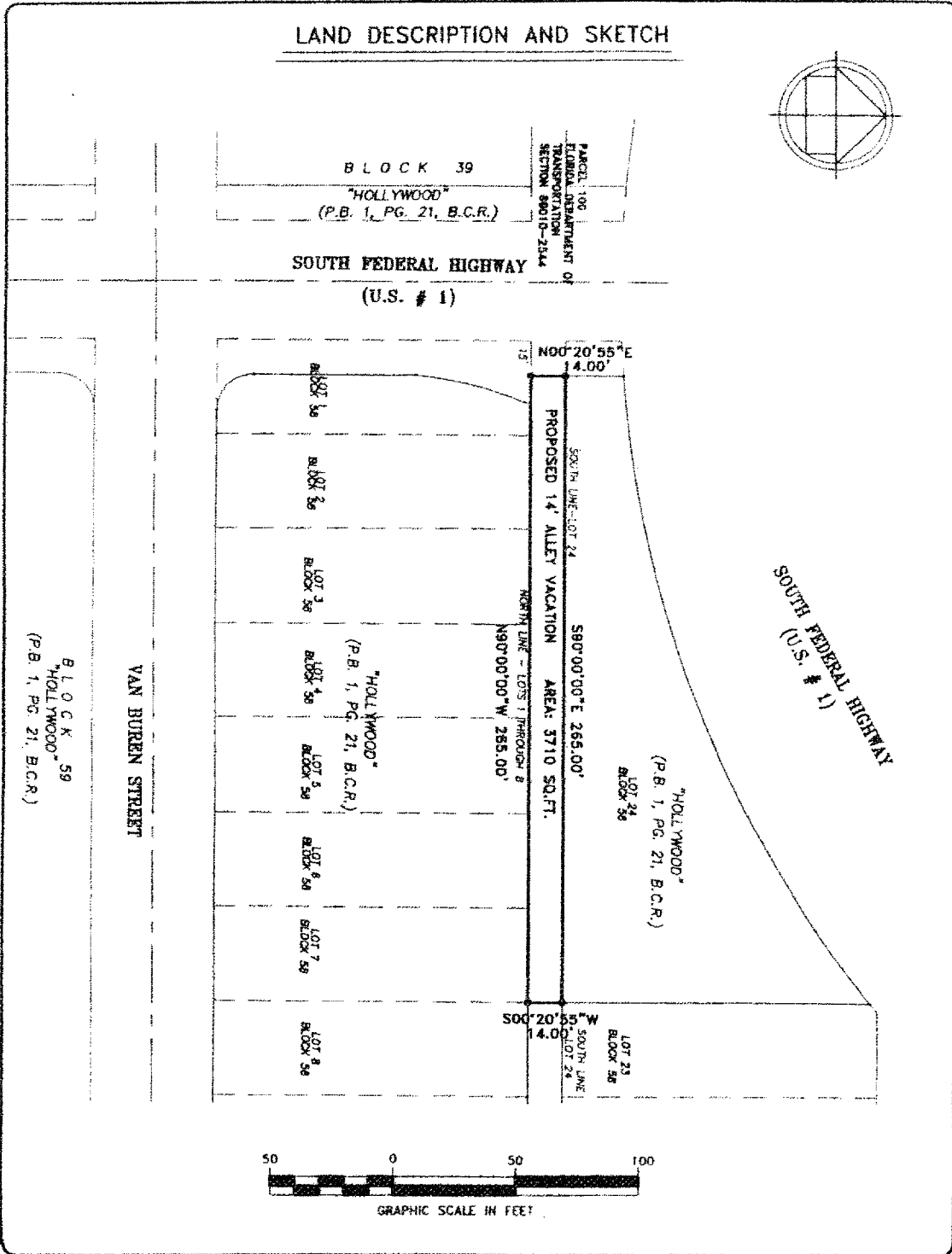
3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5418-05

CLIENT :

WSG DEVELOPMENT COMPANY

**LAND DESCRIPTION AND SKETCH**



REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	07/18/07	----	AV	REC

**LAND DESCRIPTION & SKETCH FOR PROPOSED 14' ALLEY VACATION**

PROPERTY :  
 HOLLYWOOD BREAD  
 SCALE: 1" = 50'  
 SHEET 2 OF 2

Prepared By:  
Alan Fallik  
Deputy City Attorney  
City of Hollywood, Florida  
2600 Hollywood Boulevard, Suite 407  
Hollywood, Florida 33020

PERMANENT EASEMENT

THIS INDENTURE made this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, between WSG Hollywood Development LLC, whose post office address is 400 Arthur Godfrey Rd, Miami Beach, FL 33140 ("first party"), and the CITY OF HOLLYWOOD, FLORIDA, a municipal corporation, whose mailing address is 2600 Hollywood Blvd., Hollywood, FL 33020 ("second party");

(Wherever used herein, the terms, "first party" and "second party" shall include singular and plural, heirs, legal representatives and assigns of individuals and the successors and assigns of corporations, wherever the context so admits or requires.)

W I T N E S S E T H:

WHEREAS, the first party is the owner of property situate in Broward County, Florida, described as follows:

See Exhibit A attached hereto and incorporated herein by reference (the "Property");

WHEREAS, the second party desires a permanent easement for public right-of-way purposes on, over and across the Property; and

WHEREAS, the first party is willing to grant such easement;

NOW, THEREFORE, for and in consideration of the mutual covenants each to the other running and one dollar and other good and valuable considerations, the first party does hereby grant unto the second party, its successors and assigns, a permanent easement on, over and across the Property for public right-of-way purposes and uses incidental to public right-of-way purposes.



IN WITNESS WHEREOF, the first party has caused these presents to be duly executed in its name and attested by proper witnesses thereunto duly authorized, the day and year first above written.

WITNESSES:

Sign: \_\_\_\_\_ Name \_\_\_\_\_

Print: \_\_\_\_\_

Sign: \_\_\_\_\_

Print: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ by \_\_\_\_\_.

\_\_\_\_\_  
Notary Public  
Print: \_\_\_\_\_  
Commission No.: \_\_\_\_\_

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

My commission expires:

**COUSINS SURVEYORS & ASSOCIATES, INC.**



3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5418-05

CLIENT :

WSG DEVELOPMENT COMPANY

**LAND DESCRIPTION AND SKETCH**

LAND DESCRIPTION:

A PORTION OF LOTS 8 AND 9, BLOCK 58 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK 58;

THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF SAID BLOCK 58, A DISTANCE OF 302.87 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE ALONG SAID SOUTH LINE, NORTH 90°00'00" WEST, A DISTANCE OF 14.00 FEET;

THENCE NORTH 00°00'00" EAST, A DISTANCE OF 128.00 FEET;

THENCE SOUTH 90°00'00" EAST, A DISTANCE OF 47.00 FEET TO A POINT ON A TANGENT CURVE CONCAVE TO THE SOUTHEAST;

THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 33.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 51.84 FEET;

THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 95.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA; CONTAINING 2026 SQUARE FEET, MORE OR LESS.

NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- DATA SHOWN HEREON DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
- THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
- BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N90°00'00" E.

I HEREBY CERTIFY THAT THE ATTACHED "LAND DESCRIPTION AND SKETCH" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION IN OCTOBER, 2007. I FURTHER CERTIFY THAT THIS "LAND DESCRIPTION AND SKETCH" MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 61G17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

*Richard E. Cousins*

FOR THE FIRM, BY: \_\_\_\_\_

RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4188

REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	09/19/07	-----	AV	REC
MOVED ACCESS EASEMENT 2' EAST	10/02/07	-----	AV	REC

LAND DESCRIPTION  
 & SKETCH  
 FOR PROPOSED  
 14' ALLEY  
 DEDICATION

PROPERTY :  
 HOLLYWOOD BROAD

SCALE: N/A

SHEET 1 OF 2

**COUSINS SURVEYORS & ASSOCIATES, INC.**



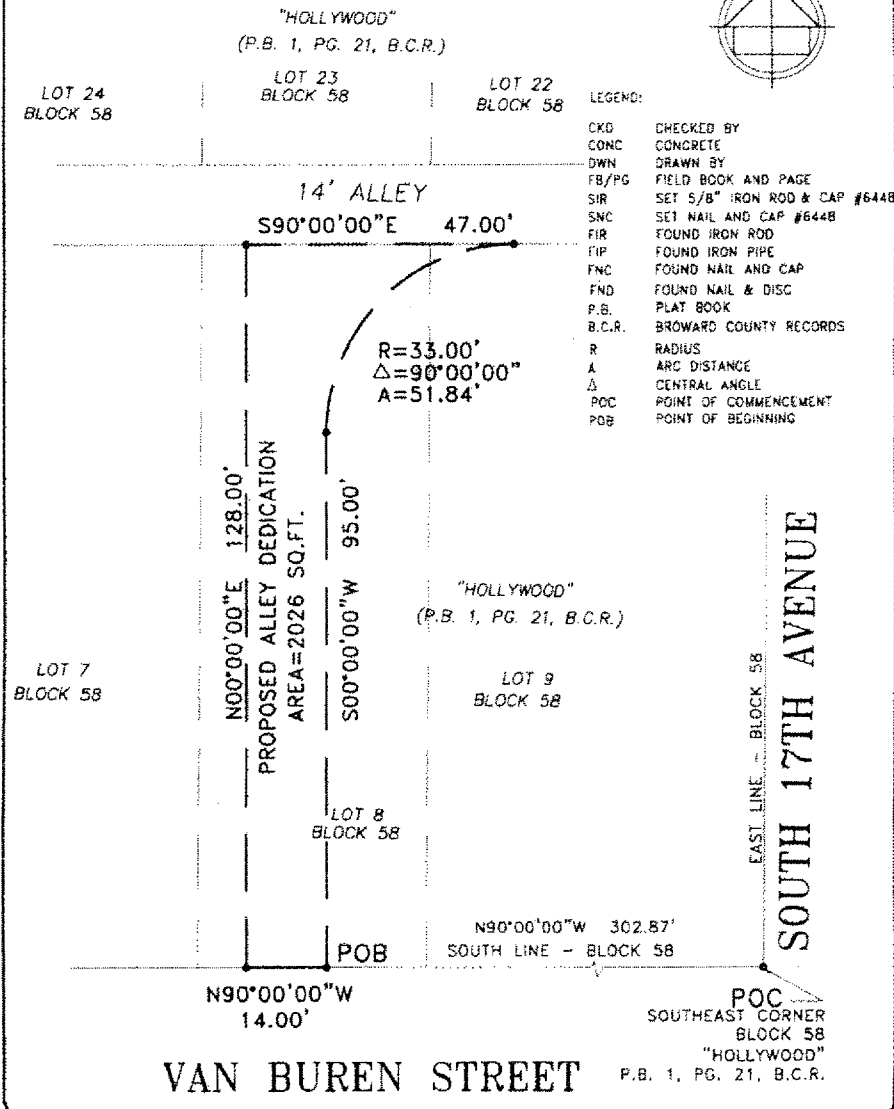
3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5418-05

CLIENT :

WSG DEVELOPMENT COMPANY

**LAND DESCRIPTION AND SKETCH**



REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	09/19/07	----	AV	REC
MOVED ACCESS EASEMENT 2' EAST	10/02/07	----	AV	REC

LAND DESCRIPTION  
 & SKETCH  
 FOR PROPOSED  
 14' ALLEY  
 DEDICATION

PROPERTY :  
 HOLLYWOOD BREAD

SCALE: 1" = 20'

SHEET 2 OF 2

Prepared By:  
Alan Fallik  
Deputy City Attorney  
City of Hollywood, Florida  
2600 Hollywood Boulevard, Suite 407  
Hollywood, Florida 33020

PERMANENT EASEMENT

THIS INDENTURE made this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, between WSG Hollywood Development LLC, whose post office address is 400 Arthur Godfrey Rd, Miami Beach, FL 33140 ("first party"), and the CITY OF HOLLYWOOD, FLORIDA, a municipal corporation, whose mailing address is 2600 Hollywood Blvd., Hollywood, FL 33020 ("second party");

(Wherever used herein, the terms, "first party" and "second party" shall include singular and plural, heirs, legal representatives and assigns of individuals and the successors and assigns of corporations, wherever the context so admits or requires.)

W I T N E S S E T H:

WHEREAS, the first party is the owner of property situate in Broward County, Florida, described as follows:

See Exhibit A attached hereto and incorporated herein by reference (the "Property");

WHEREAS, the second party desires a permanent easement for street lighting and streetscape purposes on, over and across the Property; and

WHEREAS, the first party is willing to grant such easement;

NOW, THEREFORE, for and in consideration of the mutual covenants each to the other running and one dollar and other good and valuable considerations, the first party does hereby grant unto the second party, its successors and assigns, a permanent easement on, over and across the Property for street lighting and streetscape purposes and uses incidental to street lighting and streetscape purposes.

IN WITNESS WHEREOF, the first party has caused these presents to be duly executed in its name and attested by proper witnesses thereunto duly authorized, the day and year first above written.

WITNESSES:

WSG Hollywood Development LLC

Sign: \_\_\_\_\_

By: \_\_\_\_\_

Print: \_\_\_\_\_

Print Name and Title \_\_\_\_\_

Sign: \_\_\_\_\_

Print: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2007 by \_\_\_\_\_ as \_\_\_\_\_ of WSG Hollywood Development LLC.

\_\_\_\_\_  
Notary Public  
Print: \_\_\_\_\_  
Commission No.: \_\_\_\_\_

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

My commission expires:



**COUSINS SURVEYORS & ASSOCIATES, INC.**



3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 541B-05

CLIENT :

WSG DEVELOPMENT COMPANY

LAND DESCRIPTION AND SKETCH

LAND DESCRIPTION:

A PORTION OF LOT 24, BLOCK 58 AND A PORTION OF THE ADJACENT VACATED ALLEY OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 24;

THENCE NORTH 90°00'00" EAST ALONG THE SOUTH LINE OF SAID LOT 24, A DISTANCE OF 15 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00°20'55" EAST, A DISTANCE OF 3.48 FEET;

THENCE SOUTH 89°39'05" EAST, A DISTANCE OF 8.40 FEET;

THENCE SOUTH 00°20'55" WEST, A DISTANCE OF 10.00 FEET;

THENCE NORTH 89°39'05" WEST, A DISTANCE OF 8.40 FEET;

THENCE NORTH 00°20'55" EAST, A DISTANCE OF 6.52 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. DATA SHOWN HEREON DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
5. BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N80°00'00" E.

I HEREBY CERTIFY THAT THE ATTACHED "LAND DESCRIPTION AND SKETCH" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION IN SEPTEMBER, 2007. I FURTHER CERTIFY THAT THIS "LAND DESCRIPTION AND SKETCH" MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 61G17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

*Richard E. Cousins*

FOR THE FIRM, BY: \_\_\_\_\_

RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4188

REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	09/27/07	----	AV	REC

LAND DESCRIPTION  
 & SKETCH  
 FOR PROPOSED  
 UTILITY  
 EASEMENT

PROPERTY :  
 HOLLYWOOD BREAD

SCALE: N/A

SHEET 1 OF 2

**COUSINS SURVEYORS & ASSOCIATES, INC.**



3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LR # 6448  
 PHONE (954) 680-9885 FAX (954) 680-0213

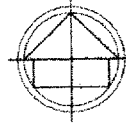
PROJECT NUMBER : 5418-05

CLIENT :  
 WSG DEVELOPMENT COMPANY

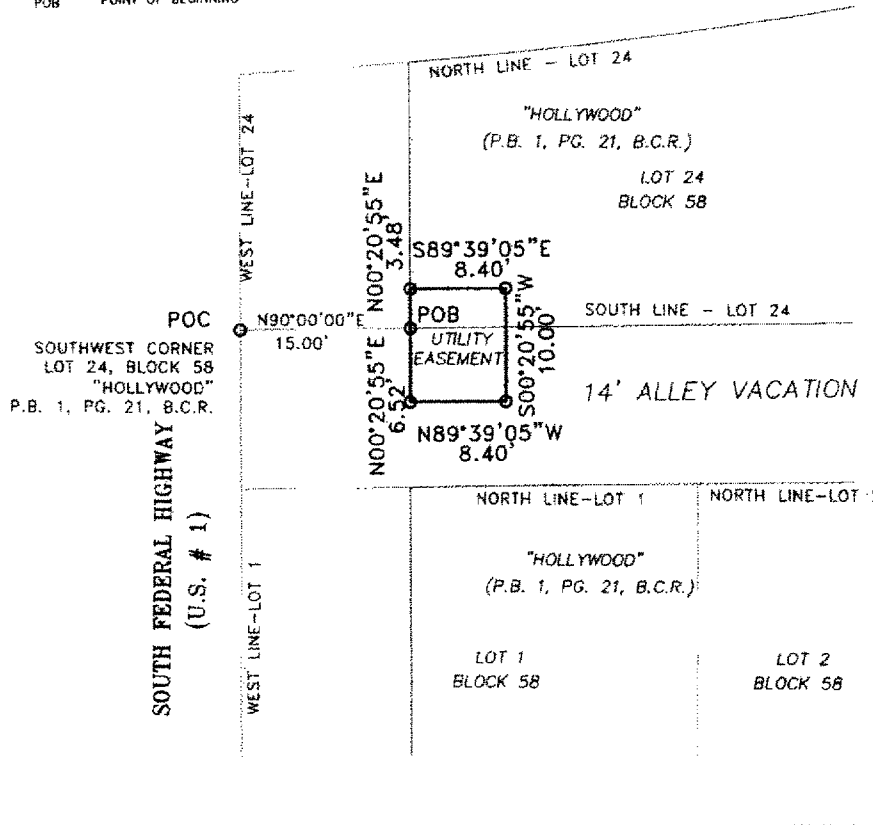
**LAND DESCRIPTION AND SKETCH**

LEGEND:

- CKD CHECKED BY
- CONC CONCRETE
- DWN DRAWN BY
- FB/PG FIELD BOOK AND PAGE
- SIR SET 5/8" IRON ROD & CAP #6448
- SNC SET NAIL AND CAP #6448
- FIR FOUND IRON ROD
- FIP FOUND IRON PIPE
- FNC FOUND NAIL AND CAP
- FND FOUND NAIL & DISC
- P.B. PLAT BOOK
- B.C.R. BROWARD COUNTY RECORDS
- R RADIUS
- A ARC DISTANCE
- Δ CENTRAL ANGLE
- POC POINT OF COMMENCEMENT
- PDB POINT OF BEGINNING



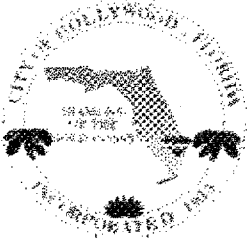
**SOUTH FEDERAL HIGHWAY**  
 (U.S. # 1)



REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION & SKETCH	09/27/07	----	AV	REC

**LAND DESCRIPTION & SKETCH FOR PROPOSED UTILITY EASEMENT**

PROPERTY :  
 HOLLYWOOD BREAD  
 SCALE: 1" = 10'  
 SHEET 2 OF 2



CITY OF HOLLYWOOD  
APPLICATION FOR VACATION OF PUBLIC STREET  
ALLEY OR PLACE

APPLICATION NO. VA 07.05

(Must be typed or printed and accompanied by 10 copies of the map showing Vacation request, 10 copies of a report on the historical aspect of the area under consideration and an Ownership and Encumbrance Report which must be dated within 30 days of submittal of application)

1. APPLICANT

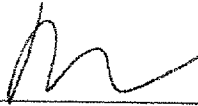
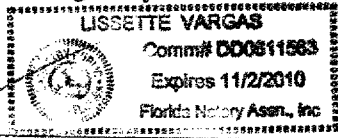
Name WSG Hollywood Development LLC


Address 400 Arthur Godfrey Rd., Suite 200 Miami Beach, FL 33140

Telephone Number 305-673-3707

2. OWNERSHIP QUALIFICATION

As applicant I am the authorized representative of the owner of the property abutting the public land for which vacation is requested and from which said public land was originally dedicated and to whom the reversionary rights belong.

  
  
NOTARY PUBLIC, STATE OF FLORIDA

  
NOTARIZED SIGNATURE

3. PROPERTY FOR WHICH VACATION IS REQUESTED

GENERAL DESCRIPTION: A portion of the east-west alley between Harrison and Van Buren streets, between US 1 and S 17<sup>th</sup> Avenue

LEGAL DESCRIPTION: See Attached

4. REASONS AND JUSTIFICATION FOR REQUESTED VACATION

Redevelopment of Block 58-Lots 1-19 and 24, including residential, office, retail and a parking garage, into a contiguous unified mixed-use complex. Most existing uses to be demolished that currently utilize the alley way. Access to remaining structures will continue to be provided..

APPLICATION RECEIVED BY \_\_\_\_\_

FEE PAID \_\_\_\_\_

DATE \_\_\_\_\_

**VACATION OF PUBLIC STREETS, ALLEYS  
OF PLACES HISTORICAL ASPECTS QUESTIONNAIRE**

**Arts Park Village at Young Circle**

Provide detailed information on the historical aspects of the area under construction, specifically including the following:

- a. Full information relative to time and method of transfer to public usage.  
The Alley was platted in 1921 per the recorded Hollywood Hills Plat Book 1 page 21.
- b. When, where and how recorded.  
See above
- c. Any cost to City arising from transfer.  
None
- d. Names of all owners, with location, other than the petitioners, having any type of interest in the proposed vacation.  
  
All owners are located at 1720 Harrison Street  
(Hart District Ltd)-(Gutescu, Olga)-(Burstein, M & Miette K)-(Paoli, August C)-(Debianchi, Victor P Jr)-( Chikovsky, Fred & Sara Lee)-( Simonson, L & Willy H)-( Simonson, Louis M D)-( Braham, Thomas B & Braham, Barbara B)-( Lusskin, Marlene)-( Michael, Lukasievich PA)-( Worldwide Investment Group Inc)-( Schneider, Joseph L)-( Butler, Mark F)-( Hollywood Penthouse Office LLC)
- e. Date when public usage started.  
September 14<sup>th</sup> 1921 by plat.
- f. Nature and quantity of public use, by year, for each of the (5) years immediately preceding the last year.  
  
The alley is used by the public as a connector between US1 and S 17<sup>th</sup> avenue. Use is limited due to a lack of occupied structures adjacent to the portion of the alley being vacated.
- g. Nature and quantity of public use during past year.  
Nature of use is the same as previously mentioned and the quantity of use is also limited.



- h. Any improvement to property by City since transfer to public usage.  
Possibly City utilities such as electric/paving and drainage.
- i. Any utility installations.  
Overhead electric
- j. Any service by City abutting property owners.  
No trash/parking or any other services observed.
- k. What disposition will be made of present improvements and/or utility installations if the property is vacated?

Redevelopment will include any necessary relocation of any City infrastructure as well as provide easements for same.

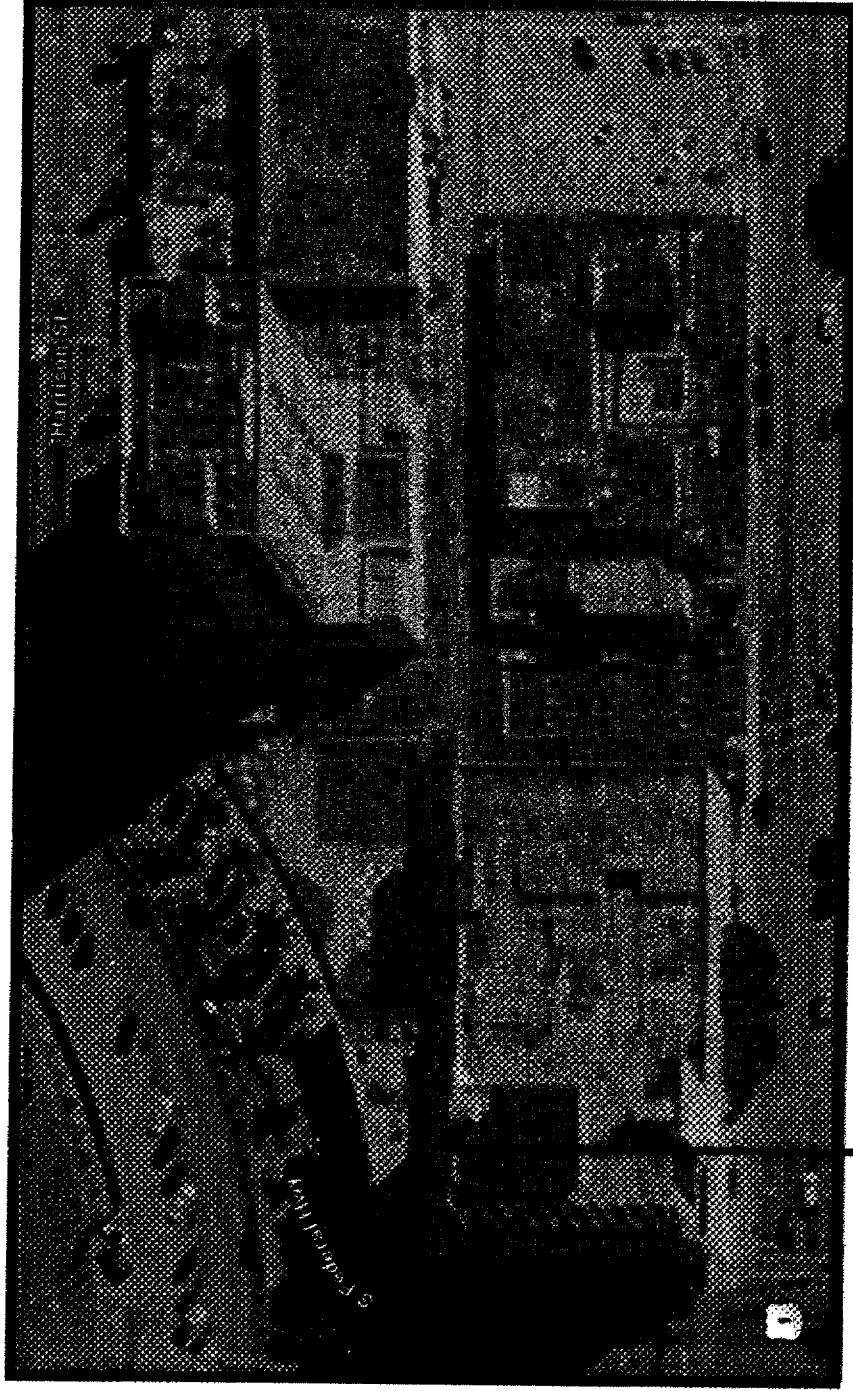
- l. If traffic is involved, whether adequate facilities will be available or provided by applicant, and if so, by what means—i.e., by use of existing or otherwise giving full particulars. Failure to include significant information may be reason for rejection of petition.

The existing east portion of the alleyway not to be vacated is being designed to facilitate full use by fire/other utility vehicular traffic as well as school traffic. This design is currently being addressed during the site plan review process. Furthermore, a traffic study is being completed to further ascertain what mitigation will be necessary, if any, due to the portion of alley being vacated.

# Arts Park Village at Young Circle

## City of Hollywood

Vacation of Portion of Alleyway



Portion of Alleyway to be Vacated

PO-2007-29

Passed  
on  
2nd  
lead

11/21/07

PO-2007-29

Passed  
on  
1st lead

11/7/07

**LEGAL AD  
CITY OF HOLLYWOOD**

NOTICE IS HEREBY GIVEN in accordance with Section 166.041 Florida Statutes that the City Commission of the City of Hollywood, Florida, at a Regular City Commission Meeting, on WEDNESDAY, November 21, 2007, in the City Commission Chambers, Room 219, General Joseph W. Watson Circle, Hollywood, Florida, proposes to consider on second and final reading the following proposed ordinance(s):

Proposed Ordinance - PO-2007-29 beginning at: 1:30 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, VACATING A PORTION OF THE PLATTED ALLEY LYING WITHIN BLOCK 58 OF THE PLAT OF "HOLLYWOOD", PB 1, PG 21, MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN, PROVIDING A SEVERABILITY CLAUSE, A REPEALER PROVISION; AND AN EFFECTIVE DATE. (VA-07-05)

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, General Joseph W. Watson Circle, Hollywood, Florida, between the hours of 8:00 AM and 4:45 PM on any regular working day. Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

NOTE: Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager three business days in advance at 954-921-3201 (voice). If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD).

Dated this 9<sup>th</sup> day of November, 2007.

Patricia A. Cerny, MMC  
City Clerk  
Hollywood, FL

THE SUN SENTINEL/LEGAL AD  
PUBLISH: November 9, 2007  
FURNISH PROOF OF PUBLICATION

h:cityclk\ads\legalad\PO-2007-29



ORDINANCE NO 0-2008-18

(07-JZ-37)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, CHANGING THE ZONING DESIGNATION OF THE PROPERTY GENERALLY BOUNDED BY SOUTH 17<sup>TH</sup> AVENUE TO THE EAST, FEDERAL HIGHWAY TO THE WEST, HARRISON STREET TO THE NORTH AND VAN BUREN STREET TO THE SOUTH, AS MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A", FROM CCC-1 (CENTRAL CITY COMMERCIAL LOW INTENSITY) TO PD (PLANNED DEVELOPMENT DISTRICT), APPROVING THE PLANNED DEVELOPMENT (PD) MASTER DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (HEREINAFTER KNOWN AS "ARTSPARK VILLAGE PLANNED DEVELOPMENT MASTER PLAN"), AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION

WHEREAS, the Zoning and Land Development Regulations provide that an application for a change of zone may be filed; and

WHEREAS, an application (07-JZ-37) as filed with the Office of Planning of the City of Hollywood requesting a change in zoning designation from CCC-1 (Central City Commercial Low Intensity) to PD (Planned Development District), for property generally bounded by South 17<sup>th</sup> Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south, with approximately 2.57 net acres/4 08 gross acres, as more particularly described in Exhibit "A" (the "Property") attached hereto and incorporated herein by reference, and

WHEREAS, the purpose of this request for change in zoning designation is to allow the development of the Property (which is currently comprised of two and three story commercial buildings, an office/building parking garage, a two story residential condominium building and a surface parking lot with approximately 2 47 net acres in size) to proceed in accordance with the PD (Planned Development District) Ordinance, in order to construct a mixed use planned development consisting of 390 residential units, 35,449 sq. ft. of ground floor retail, 52,500 sq. ft of office space, 107,845, sq ft for the Charter School, and 802 parking spaces for two parking garages, and

WHEREAS, the Property has a current zoning designation of CCC-1 (Central City Commercial Low Intensity) and a Future Land Use Designation of RAC (Regional Activity Center), and

**WHEREAS, the Property is adjacent to properties GU and CCC-2 to the north, CCC-1 and RMCRA-76 on the south, RMTRCA and GU on the east, and CCC-1 and CCC-2 on the west; and**

**WHEREAS, the PD ordinance requires that a Master Development Plan be submitted by the applicant for review by City staff and the Planning and Zoning Board, and**

**WHEREAS, such Master Development Plan shall include (1) a boundary survey; (2) schematic representation of the land uses; (3) delineation of internal circulation, (4) points of connection of the local streets to the trafficways; (5) general location and size of any community facility to be included in the PD; (6) an indication of existing vegetation and other natural features with plans for conservation and mitigation, (7) schematic depiction of existing and proposed surface water management elements; and (8) schematic depiction of the water distribution and wastewater collection facilities and drainage system, and**

**WHEREAS, the Director of the Office of Planning and CRA staff, following analysis of the proposed Master Development Plan and its associated documents, have determined that the proposed Plan is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood Comprehensive Plan, and have therefore recommended that the Master Development Plan be approved; and**

**WHEREAS, the Director of the Office of Planning, following analysis of the application and its associated documents, has determined that the proposed change of zoning designation is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood Comprehensive Plan and the City-Wide Master Plan, and has therefore recommended that it be approved; and**

**WHEREAS, on December 3, 2007, the Planning and Zoning Board met and reviewed the above noted request for a change in zoning designation to PD (Planned Development District) and for approval of the proposed Master Development Plan, and have forwarded a recommendation of approval to the City Commission, and**

**WHEREAS, the City Commission finds that the rezoning request to PD (Planned Development District), along with approval of the Master Development Plan, are consistent with the Zoning and Land Development Regulations, are consistent with the City of Hollywood's Comprehensive Plan, and are in the best interest of the citizens of the City of Hollywood;**

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA.

Section 1 That the applicant has presented competent substantial evidence that the rezoning request to PD is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood's Comprehensive Plan, and there is no legitimate public purpose in maintaining the existing zoning.

Section 2: That the Property as is hereby rezoned from the zoning designation of CCC-1 (Central City Commercial Low Intensity) to PD (Planned Development District)

Section 3 That the ArtsPark Village Master Development Plan, as more specifically described in Exhibit "B" attached hereto and incorporated herein by reference, is hereby approved.

Section 4 That the Official Zoning Map of the City of Hollywood is hereby amended to incorporate the above described change in zoning designation for the subject parcel

Section 5 That all sections or parts of sections of the Zoning and Land Development Regulations, Code of Ordinances, and all ordinances or parts thereof and all resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 6 That if any word, phrase, clause, subsection or section of this ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this ordinance

ORDINANCE REZONING ARTSPARK VILLAGE PROPERTY

Section 7 That this Ordinance shall be in full force and effect immediately upon its passage and adoption and shall remain effective for so long as the Site Plan, approved by R-2008-253, remains in effect. Should no Building Permit for a principal structure be issued pursuant to the Site Plan prior to its expiration, the zoning shall revert back to CCC-1 or its successor zoning designation.

Advertised June 20, 2008.

PASSED on first reading this 2 day of April, 2008.

PASSED AND ADOPTED on second reading this 22 day of July, 2008

RENDERED this 25 day of July, 2008

  
PETER BOBER, MAYOR

ATTEST

  
PATRICIA A. CERNY, MMC  
CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida, only

  
JEFFREY P. SHEFFEL  
CITY ATTORNEY

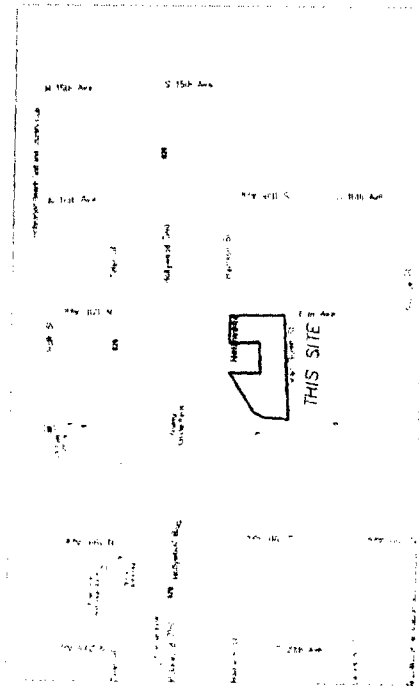
7/25/08pac



# Exhibit "A"

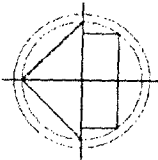
## ALTA/ACSM LAND TITLE SURVEY

NET AREA = 112,291 SQ.FT. / 2.5781 ACRES  
 GROSS AREA = 178,143 SQ.FT. / 4.0896 ACRES



Check: 0.00 - CORRECT - THE DIMENSIONS FOR THESE POINTS

POINT	BEARING	DISTANCE	ADJACENT PROPERTY	REMARKS
1	S 89° 58' 00" W	112.291	112.291	112.291
2	S 89° 58' 00" W	112.291	112.291	112.291
3	S 89° 58' 00" W	112.291	112.291	112.291
4	S 89° 58' 00" W	112.291	112.291	112.291
5	S 89° 58' 00" W	112.291	112.291	112.291
6	S 89° 58' 00" W	112.291	112.291	112.291
7	S 89° 58' 00" W	112.291	112.291	112.291
8	S 89° 58' 00" W	112.291	112.291	112.291
9	S 89° 58' 00" W	112.291	112.291	112.291
10	S 89° 58' 00" W	112.291	112.291	112.291
11	S 89° 58' 00" W	112.291	112.291	112.291
12	S 89° 58' 00" W	112.291	112.291	112.291
13	S 89° 58' 00" W	112.291	112.291	112.291
14	S 89° 58' 00" W	112.291	112.291	112.291
15	S 89° 58' 00" W	112.291	112.291	112.291
16	S 89° 58' 00" W	112.291	112.291	112.291
17	S 89° 58' 00" W	112.291	112.291	112.291
18	S 89° 58' 00" W	112.291	112.291	112.291
19	S 89° 58' 00" W	112.291	112.291	112.291
20	S 89° 58' 00" W	112.291	112.291	112.291
21	S 89° 58' 00" W	112.291	112.291	112.291
22	S 89° 58' 00" W	112.291	112.291	112.291
23	S 89° 58' 00" W	112.291	112.291	112.291
24	S 89° 58' 00" W	112.291	112.291	112.291
25	S 89° 58' 00" W	112.291	112.291	112.291
26	S 89° 58' 00" W	112.291	112.291	112.291
27	S 89° 58' 00" W	112.291	112.291	112.291
28	S 89° 58' 00" W	112.291	112.291	112.291
29	S 89° 58' 00" W	112.291	112.291	112.291
30	S 89° 58' 00" W	112.291	112.291	112.291
31	S 89° 58' 00" W	112.291	112.291	112.291
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LOCATION MAP (NTS)

COUSINS SURVEYORS & ASSOCIATES, INC.

3701 SW 47TH AVENUE, SUITE 1011  
 LAUREL, FLORIDA 33314  
 NORTH GATE OF A H-ORIENTATION : LB # 5448  
 PHONE : (954) 550-5383 FAX : (954) 580-0213

PROJECT NUMBER : 5418-04

CLIENT :  
 WSG DEVELOPMENT

REVISIONS PER CITY	DATE	FB/PG	DWN	CKD
REVISOR PER NEW O & E REPORT	08/12/07	---	AV	REC
	11/07/07	---	AV	REC

FLOOD ZONE INFORMATION	COMMUNITY NUMBER	155113
PANEL NUMBER	0317 G	
ZONE	3	
BASE FLOOD ELEVATION	N/A	
EFFECTIVE DATE	12/02/97	

PROPERTY ADDRESS	N/A
SCALE	N/A
SHEET	1 OF 3





# Exhibit "B"

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/10/10	ISSUED FOR PERMITS
2	11/10/10	REVISIONS TO PERMITS
3	11/10/10	REVISIONS TO PERMITS
4	11/10/10	REVISIONS TO PERMITS
5	11/10/10	REVISIONS TO PERMITS
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19	11/10/10	REVISIONS TO PERMITS
20	11/10/10	REVISIONS TO PERMITS

**DATA SHEET**

1748 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA

**Arts Park Village at Young Circle**

WSO DEVELOPMENT

420 N.W. 100th Ave

MIAMI BEACH, FL 33156

WWW.KORNER.COM

NA AND NCARS

ARCHITECTURE

INTERIOR DESIGN

PLANNING

PHOTOGRAPHY

CONTRACT # 10110

DATE

**A1.00**

PROJECT DATA		ARTS PARK VILLAGE at YOUNG CIRCLE																							
<b>ZONING INFORMATION</b>	<p>COC-1            PLANNED DEVELOPMENT (PD)            MIXED USE            NET LOT AREA: 112,087 SF / 2.57 ACRES            GROSS LOT AREA: 178,143 SF / 4.08 ACRES</p>	<b>RECOMMENDATIONS BY ZYBICOVICH</b>																							
<b>FLOOR AREA RESIDENTIAL BUILDING (Phase 1a)</b>	<p>RESIDENTIAL FLOOR AREA: 391,002 SF            RETAIL/COMMERCIAL: 25,849 SF</p>	<b>RESIDENTIAL BUILDING SETBACKS (Phase 1a)</b>	<table border="1"> <tr><th>REQUIRED</th><th>PROVIDED</th></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> <tr><td>25'-0"</td><td>19'-0"</td></tr> </table>	REQUIRED	PROVIDED	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"	25'-0"	19'-0"
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<b>FLOOR AREA OFFICE BUILDING (Phase 2)</b>	<p>GROSS LEASABLE AREA: 380,451 SF            OFFICE: 52,800 SF            RETAIL: 9,800 SF            PARKING: 7,000 SF            CIRCULATION/SERVICE: 8,150 SF</p>	<b>OFFICE BUILDING SETBACKS (Phase 2)</b>	<table border="1"> <tr><th>REQUIRED</th><th>PROVIDED</th></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> <tr><td>25'-0"</td><td>0'-0"</td></tr> </table>	REQUIRED	PROVIDED	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"	25'-0"	0'-0"
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<b>FLOOR AREA CHARTER SCHOOL (Phase 1b)</b>	<p>CHARTER SCHOOL: 107,845</p> <p>GROSS FLOOR AREA: 107,845</p>	<b>SCHOOL BUILDING SETBACKS (Phase 1b)</b>	<table border="1"> <tr><th>REQUIRED</th><th>PROVIDED</th></tr> <tr><td>15'-0"</td><td>15'-0"</td></tr> <tr><td>15'-0"</td><td>15'-0"</td></tr> <tr><td>25'-0"</td><td>25'-0"</td></tr> <tr><td>25'-0"</td><td>25'-0"</td></tr> <tr><td>0'-0"</td><td>0'-0"</td></tr> <tr><td>0'-0"</td><td>0'-0"</td></tr> </table>	REQUIRED	PROVIDED	15'-0"	15'-0"	15'-0"	15'-0"	25'-0"	25'-0"	25'-0"	25'-0"	0'-0"	0'-0"	0'-0"	0'-0"								
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<b>OPEN SPACE</b>	<p>TOTAL LOT COVERAGE: 84.6%</p> <p>PERVIOUS SPACE: 1% (534 SF)</p> <p>LANDSCAPE ON ROOF LVL. (RESIDENTIAL): 3% (5181 SF)</p>	<b>LOADING SPACES</b>	<table border="1"> <tr><th>REQUIRED</th><th>PROVIDED</th></tr> <tr><td>7</td><td>7</td></tr> <tr><td>3</td><td>3</td></tr> <tr><td>3</td><td>3</td></tr> </table>	REQUIRED	PROVIDED	7	7	3	3	3	3														
REQUIRED	PROVIDED																								
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<b>PARKING DATA</b>	<p><b>PARKING REQUIRED</b></p> <p>TOWER: 540            RESIDENTIAL: 1 PER 5 UNITS (200 / 5)            VISITOR: 78            RETAIL: 103            (Total Req) 23,849 SF / 250</p> <p>OFFICE BUILDING: 59            RETAIL: 210            (Level 6-8) 52,800 SF / 250</p> <p>SCHOOL BUILDING: 90 Classrooms 10 employees = 100</p> <p>TOTAL REQUIRED: 1,115 SPACES</p>	<b>BUILDING HEIGHT</b>	<p>RESIDENTIAL BUILDING: PEDESTAL TOWER: 6.5 STORIES            OFFICE BUILDING: TOWER: 8.5 STORIES            CHARTER SCHOOL: 5.5 STORIES</p>																						
<b>PARKING PROVIDED</b>	<p>RESIDENTIAL TOWER: 600 RESIDENTIAL UNITS            OFFICE BUILDING: 98 UNITS/SPACE</p>	<b>RESIDENTIAL UNIT TYPE COUNT</b>	<table border="1"> <tr><th>UNIT TYPES</th><th>TOTAL</th><th>AVG. UNIT SIZE</th></tr> <tr><td>2K STUDIO</td><td>30</td><td>518 SF</td></tr> <tr><td>4K 1BR</td><td>184</td><td>407 SF</td></tr> <tr><td>5K 2 BR</td><td>153</td><td>192 SF</td></tr> <tr><td>5K 3 BR</td><td>21</td><td>108 SF</td></tr> <tr><td>TOTAL UNITS</td><td>388</td><td></td></tr> </table>	UNIT TYPES	TOTAL	AVG. UNIT SIZE	2K STUDIO	30	518 SF	4K 1BR	184	407 SF	5K 2 BR	153	192 SF	5K 3 BR	21	108 SF	TOTAL UNITS	388					
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4K 1BR	184	407 SF																							
5K 2 BR	153	192 SF																							
5K 3 BR	21	108 SF																							
TOTAL UNITS	388																								
<b>TOTAL PROVIDED</b>	<p>608 SPACES            184 SPACES            800 SPACES            773 SPACES            28 SPACES            88 SPACES            17 SPACES</p> <p>TOTAL PROVIDED IN P.L.O.U.: 1,115 SPACES</p> <p>TOTAL NEIGHBOR SPACES: 1,115 SPACES</p>	<b>UNIT TYPES</b>	<p>TOTAL: 980 RESIDENTIAL UNITS            98 UNITS/SPACE</p>																						
<b>PARKING SPACE DIMENSIONS</b>	<p>REQUIRED: 6'-0" X 18'-0" WITH A 24'-0" BACKUP            PROVIDED: 8'-0" X 18'-0" WITH A 24'-0" BACKUP            6'-0" X 18'-0" WITH A 24'-0" BACKUP            10'-0" X 18'-0" WITH A 24'-0" BACKUP</p>	<b>DRIVE ISLES DIMENSIONS</b>	<p>REQUIRED: 24'-0"</p> <p>PROVIDED: 24'-0"</p>																						
<b>DRIVE ISLES DIMENSIONS</b>	<p>REQUIRED: 24'-0"</p> <p>PROVIDED: 24'-0"</p>																								
<p>LESS THAN 5'-0" SPACING BETWEEN DRIVEWAY AND COLUMN ON SOME PARKING STALLS</p>																									







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0715

**Arts Park Village At Young Circle**  
1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA

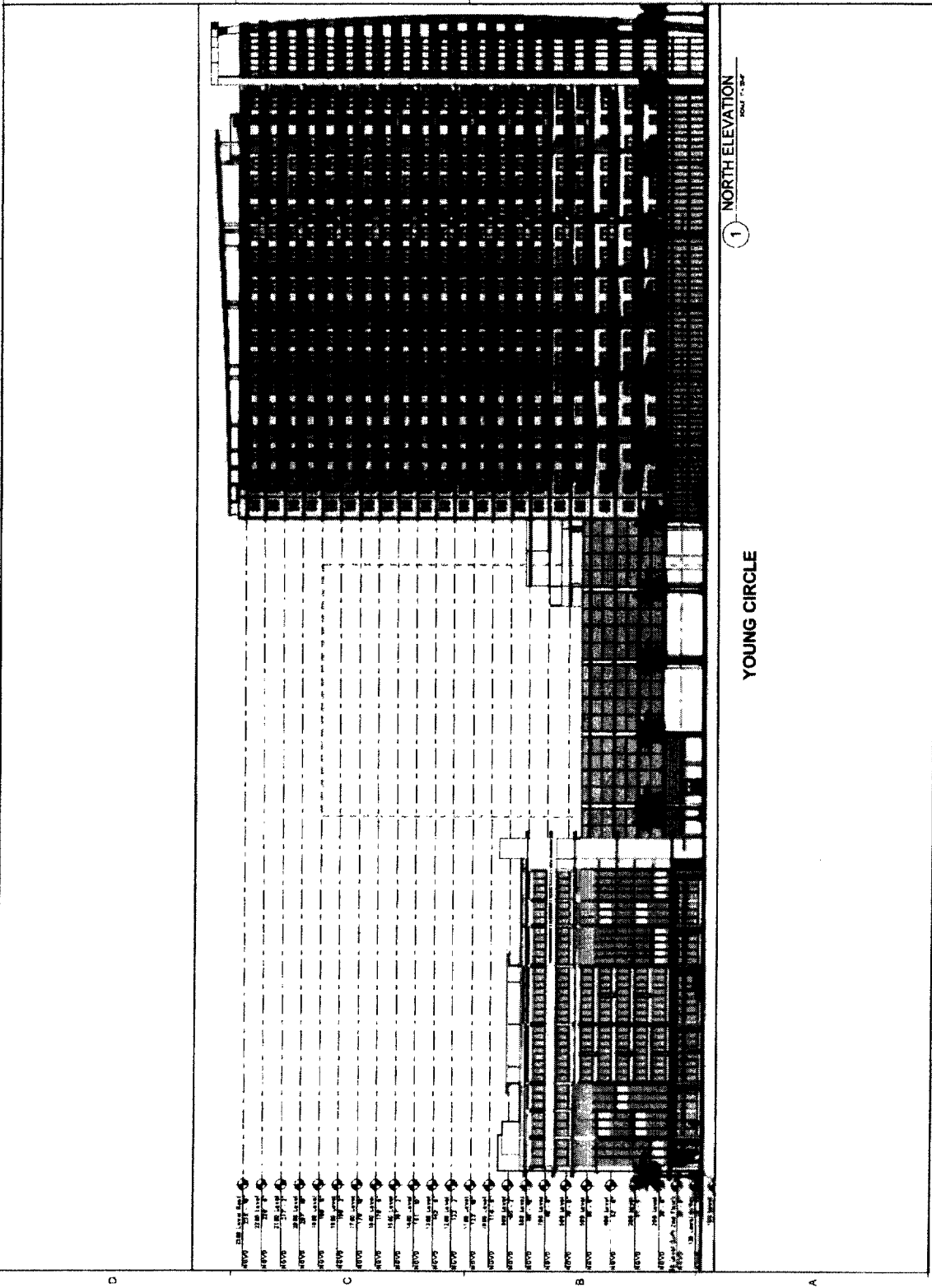
MSG DEVELOPMENT  
880 MYRTLE AVENUE, N.W.  
MIAMI BEACH, FL 33140

L.P. # A90012574

WWW.KOBAMAP.COM  
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
AA AND NCARB  
2000 Young Circle  
Hollywood, FL 33020  
Tel: 305.961.1111  
Fax: 305.961.1112



**A4.00**  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_



1 NORTH ELEVATION

YOUNG CIRCLE

REVISIONS / SUBMITTALS	NO.	DATE	DESCRIPTION
1	07/15	07/15	ISSUED FOR PERMIT
2	07/15	07/15	ISSUED FOR PERMIT
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0715

**BLOCK ELEVATION**

Art's Park Village At Young Circle  
1700 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA

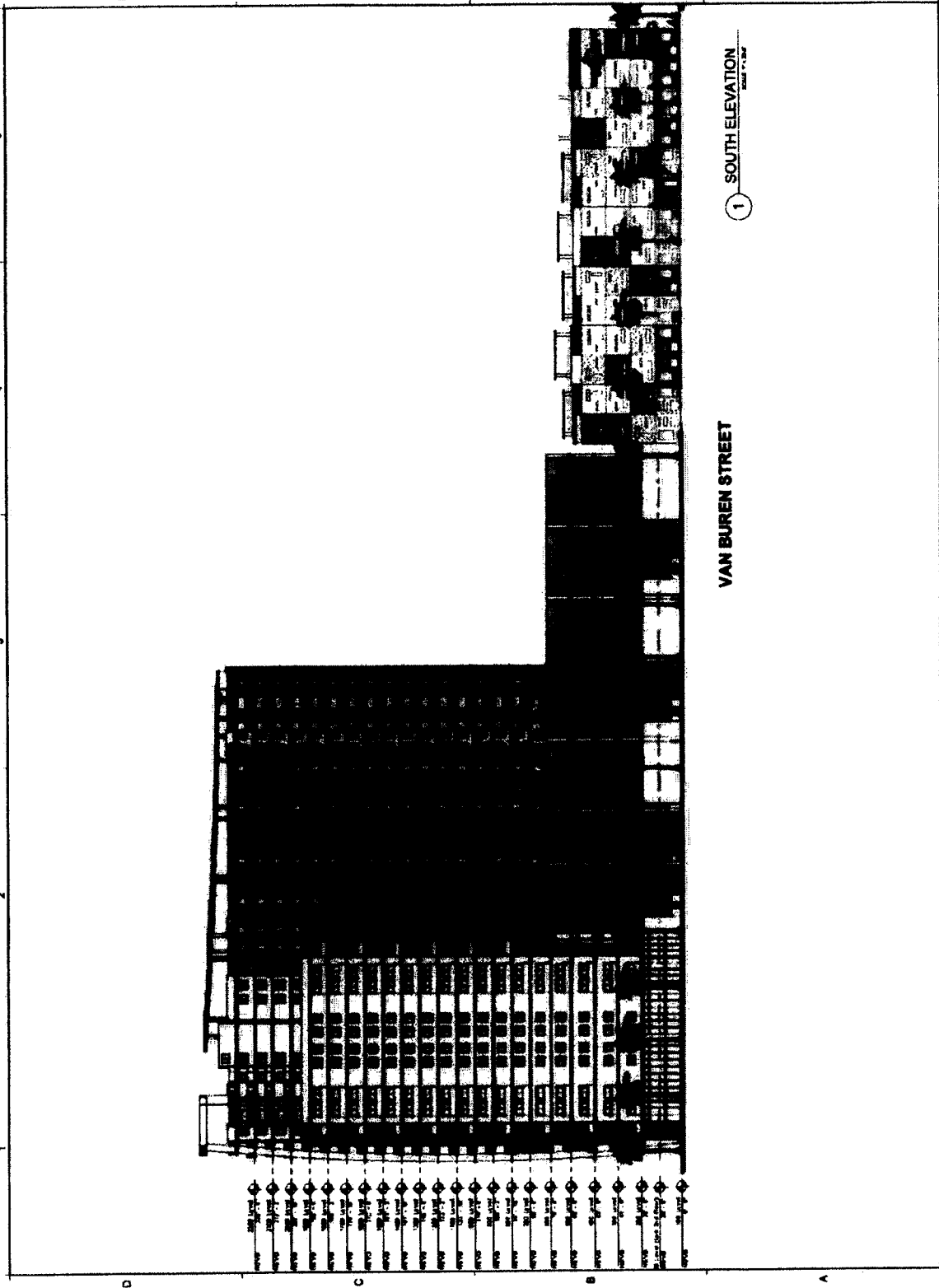
WSO DEVELOPMENT  
400 ARTHUR GARDNER RD  
HOLLYWOOD, FL 33024

LA # 00000000

ARCHITECTS  
INTERIOR DESIGN  
PLANNING  
P.A. AND P.C.  
10000 W. BOCA RATON BLVD  
SUITE 200  
BOCA RATON, FL 33433  
WWW.KONRADP.COM



PROJECT: ART'S PARK VILLAGE AT YOUNG CIRCLE  
DATE: 07/15/15  
SCALE: AS SHOWN  
A4.01





ARCHITECT	W&O DEVELOPMENT
DATE	17th SOUTH YOUNG CIRCLE, WILLOWOOD, ILLINOIS
PROJECT	ARTS PARK VILLAGES AT YOUNG CIRCLE
SCALE	1/8" = 1'-0"
NO.	0715
BY	
CHECKED BY	
DATE	
APP. AND SEAL	
REGISTERED PROFESSIONAL ARCHITECT	
STATE OF ILLINOIS	
NO. 0715	
EXPIRES	
RENEWAL	
REVISIONS	
NO.	
DATE	
DESCRIPTION	

**W&O DEVELOPMENT**  
17th SOUTH YOUNG CIRCLE, WILLOWOOD, ILLINOIS

**ARTS PARK VILLAGES AT YOUNG CIRCLE**

**BLOCK ELEVATION**

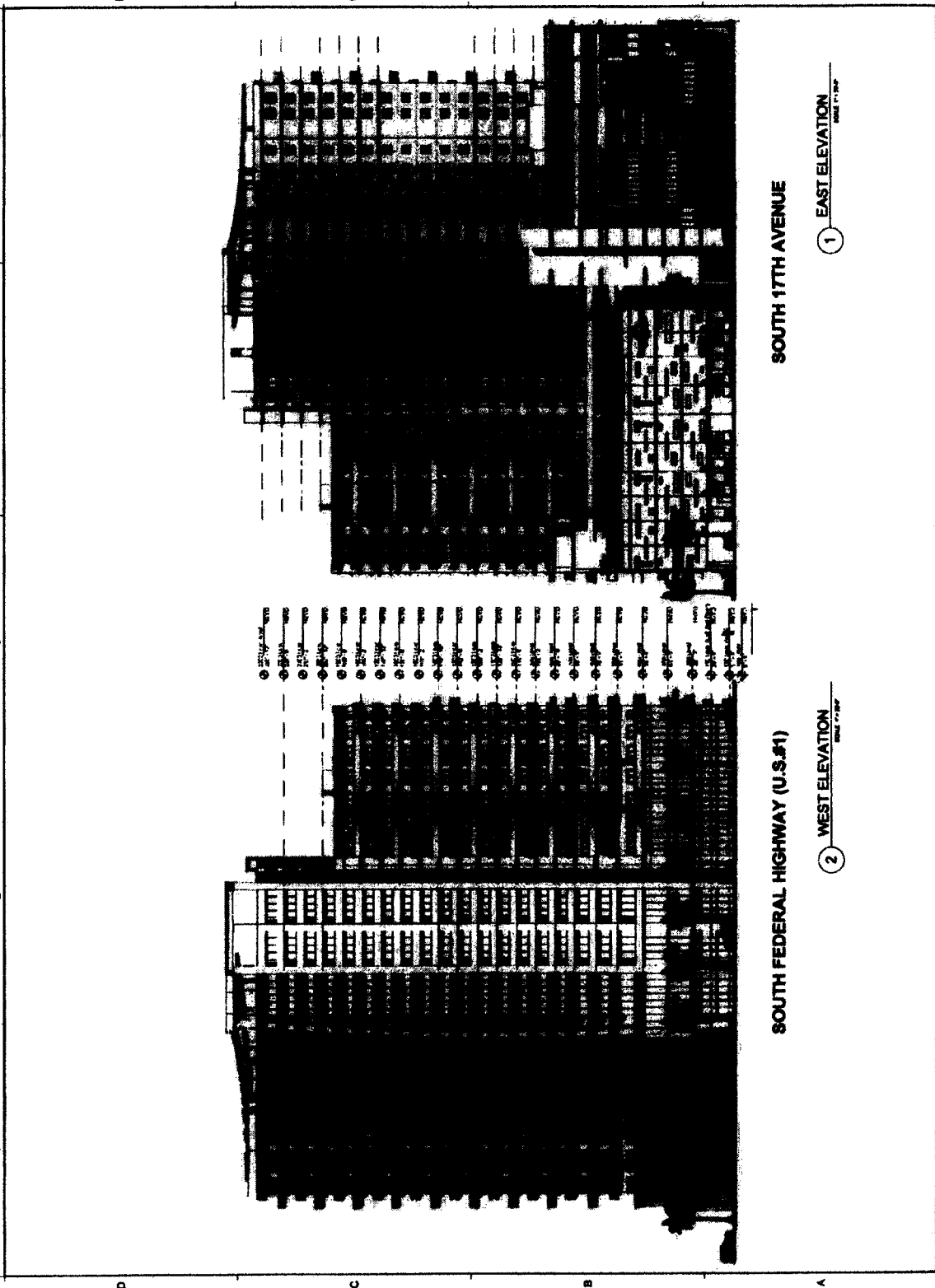
W&O DEVELOPMENT  
17th SOUTH YOUNG CIRCLE, WILLOWOOD, ILLINOIS

17th SOUTH YOUNG CIRCLE, WILLOWOOD, ILLINOIS

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
ARTS AND CRAFTS  
DESIGN CENTER  
17th SOUTH YOUNG CIRCLE, WILLOWOOD, ILLINOIS



**A4.02**



**SOUTH 17TH AVENUE**

**SOUTH FEDERAL HIGHWAY (U.S.#1)**

1 EAST ELEVATION

2 WEST ELEVATION

5

4

3

2

1

5

4

3

2

1

D

C

B

A

D

C

B

A

PROJECT / REVISIONS
NO. DATE BY
1 07/15/07 JAC
2 08/01/07 JAC
3 08/01/07 JAC
4 08/01/07 JAC
5 08/01/07 JAC
6 08/01/07 JAC
7 08/01/07 JAC
8 08/01/07 JAC
9 08/01/07 JAC
10 08/01/07 JAC
11 08/01/07 JAC
12 08/01/07 JAC
13 08/01/07 JAC
14 08/01/07 JAC
15 08/01/07 JAC
16 08/01/07 JAC
17 08/01/07 JAC
18 08/01/07 JAC
19 08/01/07 JAC
20 08/01/07 JAC

0715

**OFFICE ELEVATION**

Ants Park Village At Young Circle  
170 SOUTH YOUNG CIRCLE, HOUSTON, TEXAS

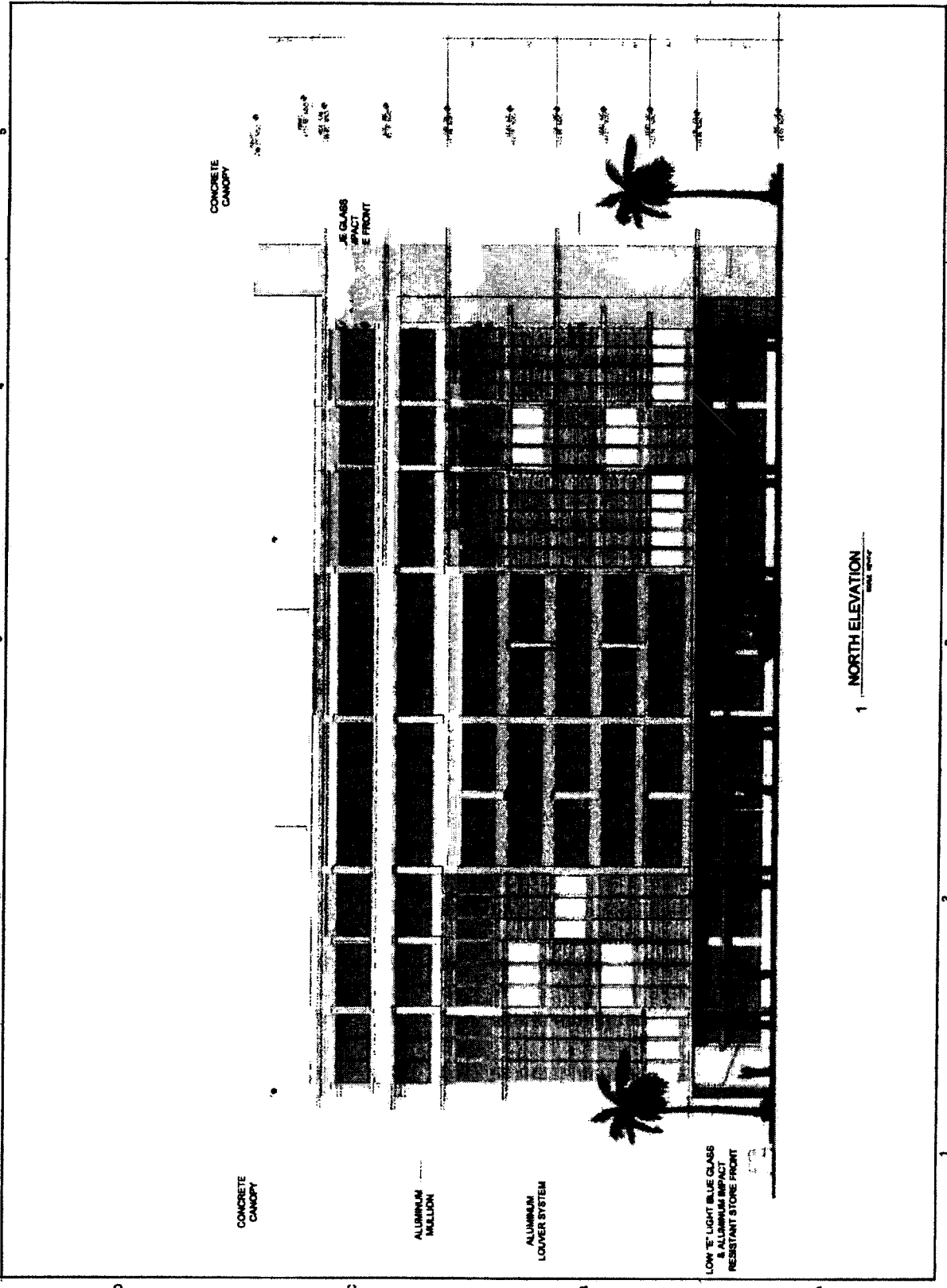
W&O DEVELOPMENT  
400 ARTS CENTER DRIVE  
HOUSTON, TEXAS 77019

LA # 0612128

WWW.KIMLEY-HORN.COM



**A4.07**



1 NORTH ELEVATION

REVISIONS / SUBMISSIONS	
NO.	DATE
1	07/15/08
2	08/05/08
3	08/15/08
4	08/25/08
5	09/05/08
6	09/15/08
7	09/25/08
8	10/05/08
9	10/15/08
10	10/25/08
11	11/05/08
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99	04/15/11
100	04/25/11

0715

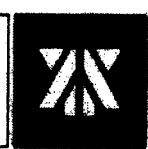
OFFICE ELEVATION

Arts Park Village At Young Circle  
1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FL 33024

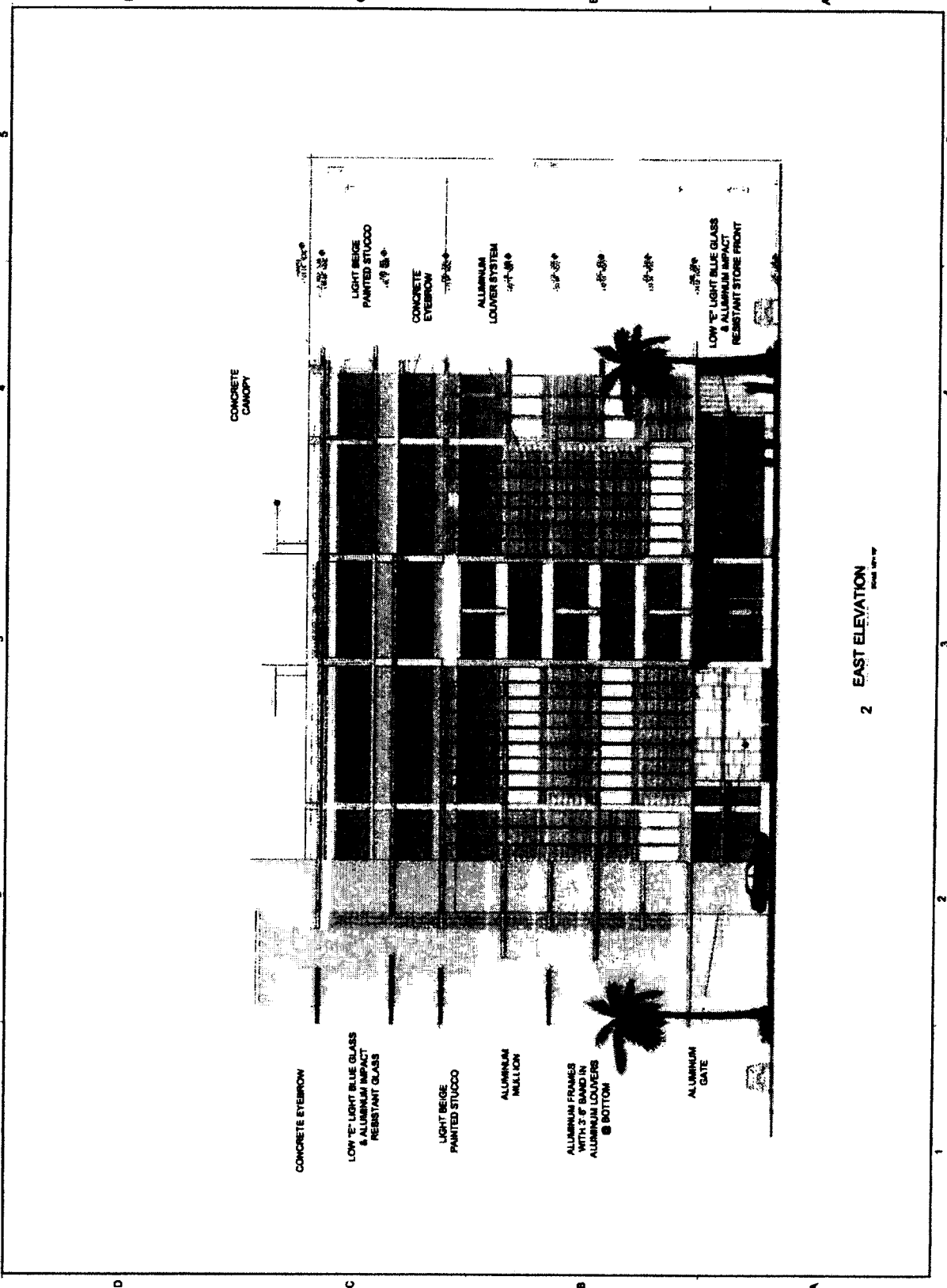
WEG DEVELOPMENT  
4800 METTAM COURT, NW  
KANSAS CITY, MO 64116

LE # A4401245

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
AA AND NCARR  
10000 W. BOYD BLVD  
SUITE 1000  
DALLAS, TX 75244  
WWW.AAANDNCARR.COM



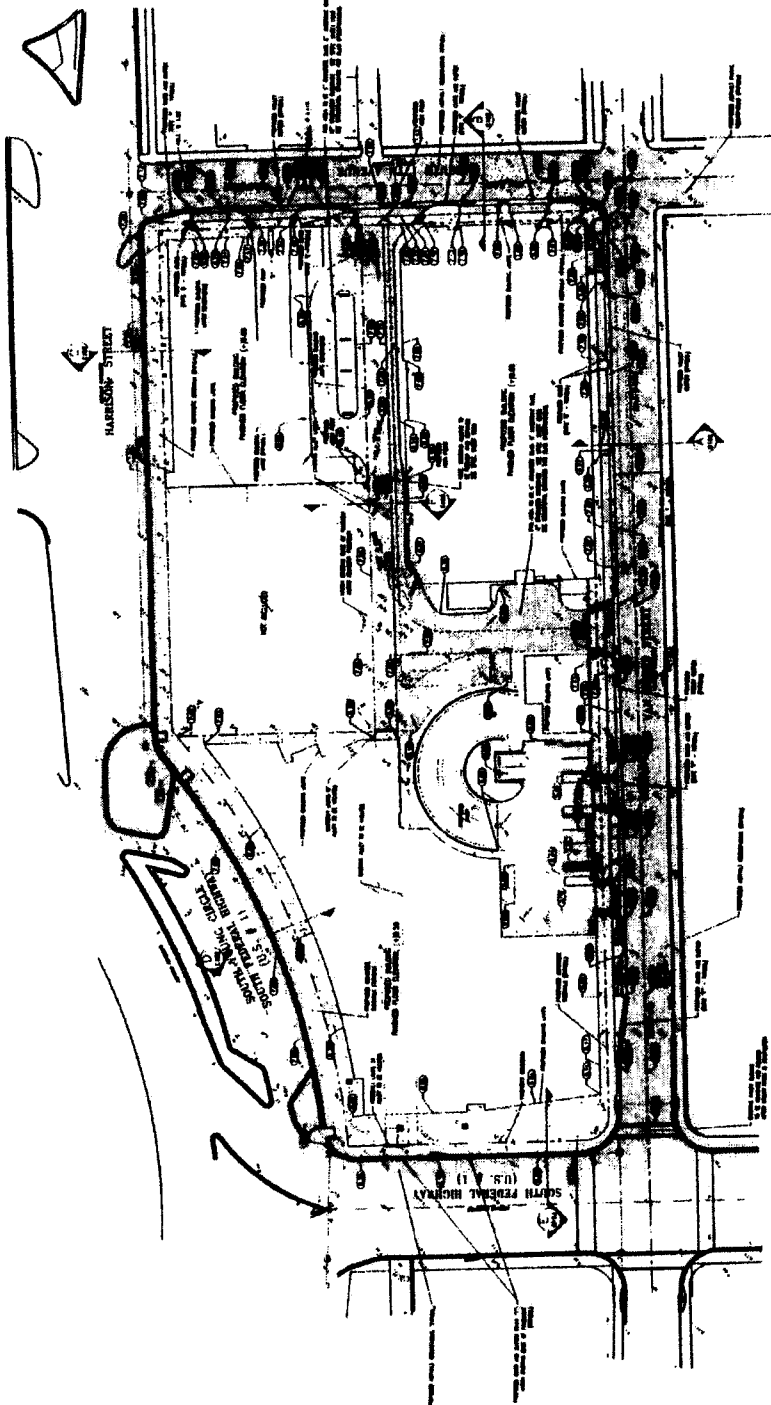
A4.08



2 EAST ELEVATION







GRAPHIC SCALE  
 1" = 50'-0"  
 (1" = 10m)



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

THE ARTS PARK VILLAGE  
 AT  
 YOUNG CIRCLE

PAVING AND GRADING PLAN

PROJECT NO. 100-10000-0000  
 SHEET NO. 100-10000-0000-0000  
 DATE: 10/1/2000

C100

LEGEND:

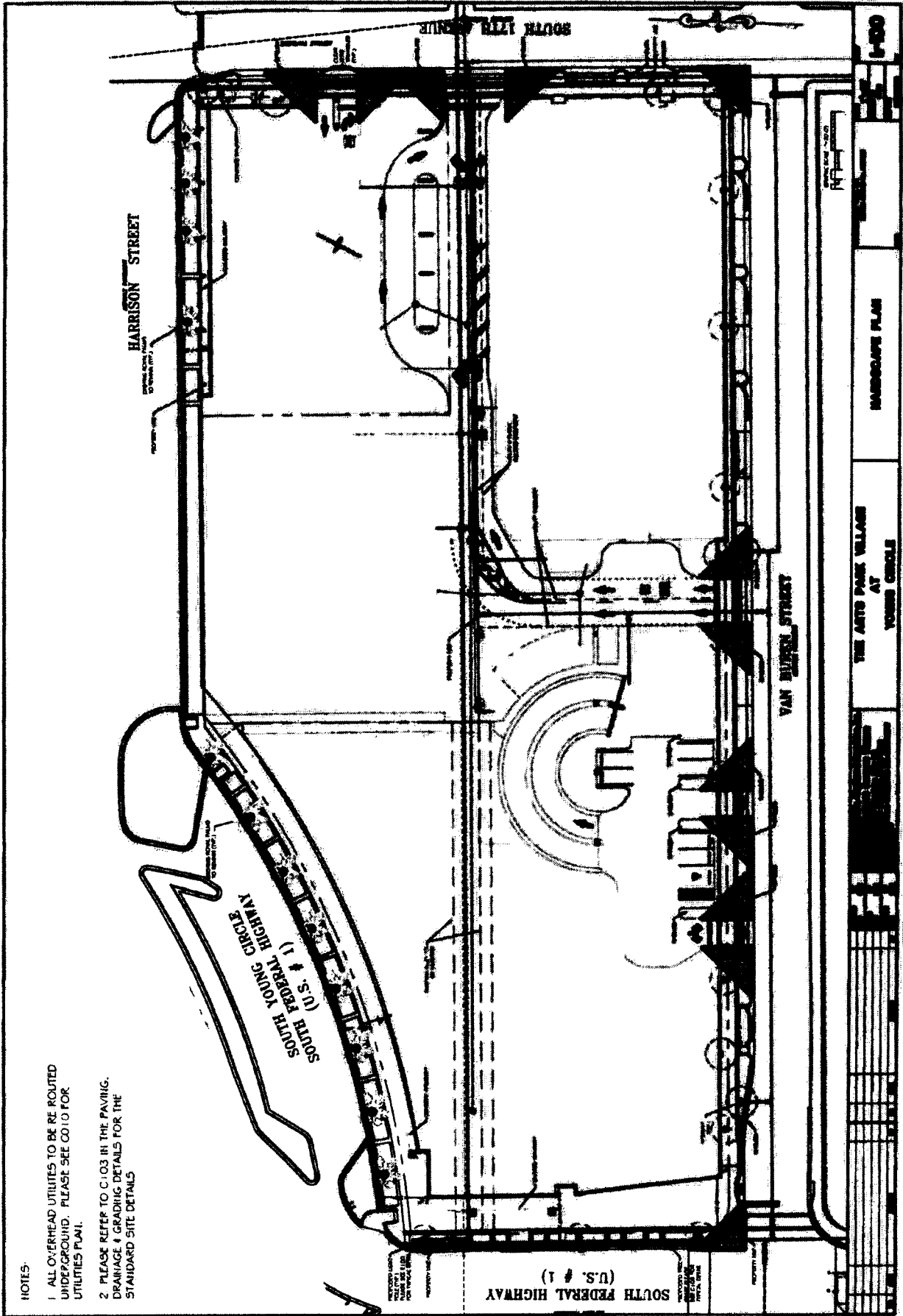
Symbol	Description
Circle with dot	1" = 5'-0" (1" = 1.5m)
Square with dot	1" = 10'-0" (1" = 3.0m)
Triangle with dot	1" = 15'-0" (1" = 4.5m)
Circle with cross	1" = 20'-0" (1" = 6.0m)
Square with cross	1" = 30'-0" (1" = 9.0m)
Triangle with cross	1" = 40'-0" (1" = 12.0m)
Circle with star	1" = 50'-0" (1" = 15.0m)
Square with star	1" = 75'-0" (1" = 22.5m)
Triangle with star	1" = 100'-0" (1" = 30.0m)



NOTES:

1. ALL OVERHEAD UTILITIES TO BE ROUTED UNDEGROUND. PLEASE SEE C010 FOR UTILITIES PLAN.

2. PLEASE REFER TO C103 IN THE PAVING, DRAINAGE & GRADING DETAILS FOR THE STANDARD SITE DETAILS



LANDSCAPE PLAN

THE ARTS PARK VILLAGE  
AT  
YOUNG CIRCLE

1-00

SOUTH FEDERAL HIGHWAY  
(U.S. # 1)

HARRISON STREET

VAN BUREN STREET

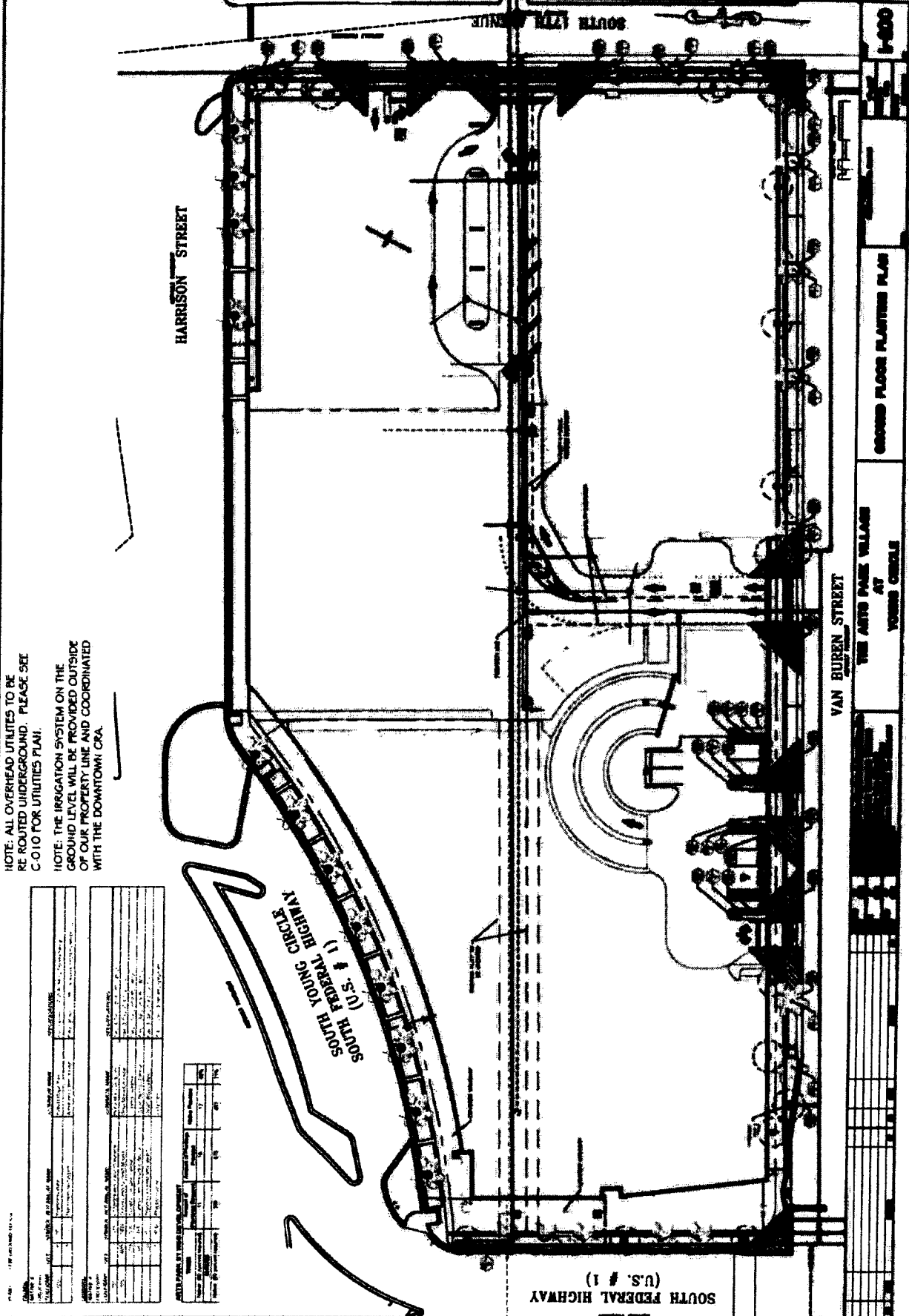
SOUTH YOUNG CIRCLE  
(U.S. # 1)

NOTE: ALL OVERHEAD UTILITIES TO BE RE ROUTED UNDERGROUND. PLEASE SEE C-010 FOR UTILITIES PLAN.

NOTE: THE IRRIGATION SYSTEM ON THE GROUND LEVEL WILL BE PROVIDED OUTSIDE OF OUR PROPERTY LINE AND COORDINATED WITH THE DOWNTOWN CRA.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	DESIGNED BY			
2	CHECKED BY			
3	DATE			
4	SCALE			
5	PROJECT NO.			
6	CLIENT			
7	ADDRESS			
8	CITY			
9	STATE			
10	COUNTY			
11	ZONING			
12	PERMITS			
13	REVISIONS			
14	DATE			
15	BY			
16	CHECKED			
17	DATE			
18	BY			
19	CHECKED			
20	DATE			

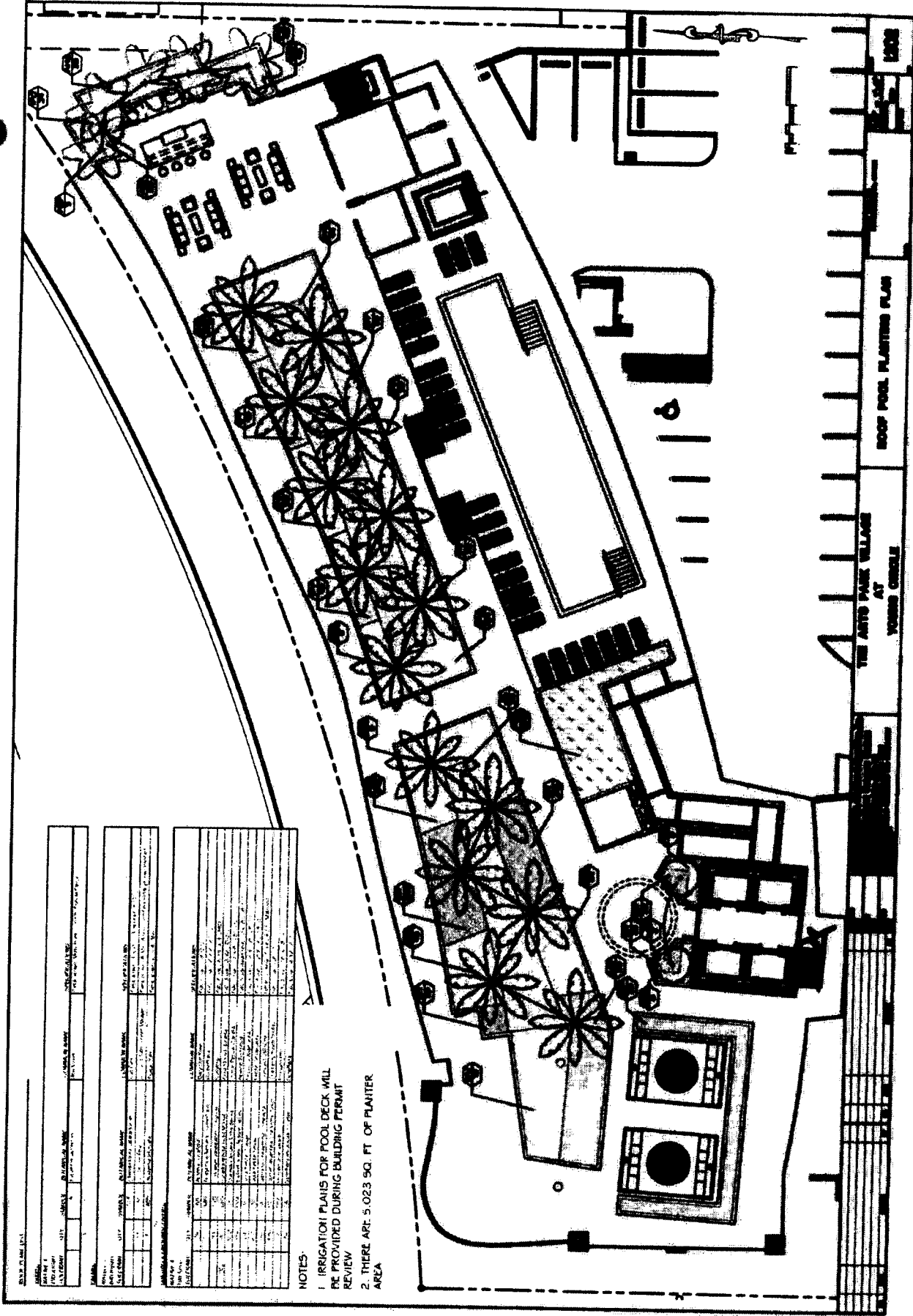
NO.	DESCRIPTION	DATE	BY	CHECKED
1	DESIGNED BY			
2	CHECKED BY			
3	DATE			
4	SCALE			
5	PROJECT NO.			
6	CLIENT			
7	ADDRESS			
8	CITY			
9	STATE			
10	COUNTY			
11	ZONING			
12	PERMITS			
13	REVISIONS			
14	DATE			
15	BY			
16	CHECKED			
17	DATE			
18	BY			
19	CHECKED			
20	DATE			



GROUND FLOOR PLAN  
 THE ARTO PACE VILLAGE AT YONGE CIRCLE  
 1-800







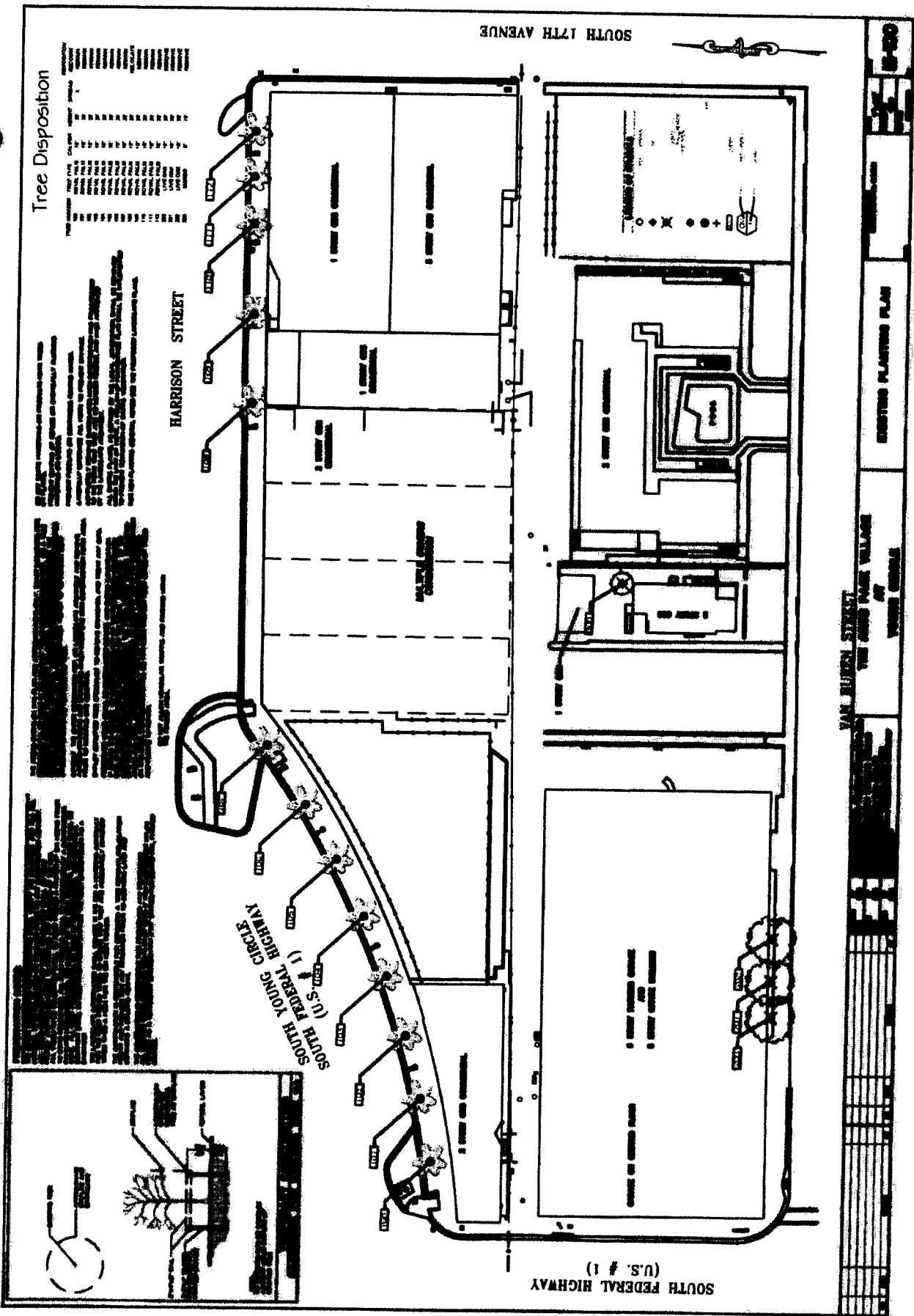
SCALE: AS SHOWN

DATE: 11/11/11	PROJECT: THE ARTS PARK VILLAGE AT YOUNG CIRCLE	NO. OF SHEETS: 12	SHEET NO.: 11
DESIGNER: [Name]	CLIENT: [Name]	ARCHITECT: [Name]	ENGINEER: [Name]
DATE: 11/11/11	PROJECT: THE ARTS PARK VILLAGE AT YOUNG CIRCLE	NO. OF SHEETS: 12	SHEET NO.: 11
DESIGNER: [Name]	CLIENT: [Name]	ARCHITECT: [Name]	ENGINEER: [Name]

NOTES:

- IRRIGATION PLANS FOR POOL DECK WILL BE PROVIDED DURING BUILDING PERMIT REVIEW
- THERE ARE 5,023 SQ. FT. OF PLANTER AREA

THE ARTS PARK VILLAGE AT YOUNG CIRCLE  
 ROOF POOL PLANTING PLAN



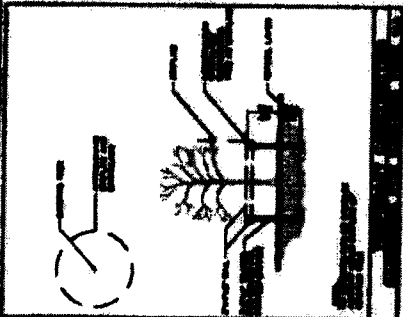
Tree Disposition

Tree ID	Disposition
1	Remove
2	Remove
3	Remove
4	Remove
5	Remove
6	Remove
7	Remove
8	Remove
9	Remove
10	Remove
11	Remove
12	Remove
13	Remove
14	Remove
15	Remove
16	Remove
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89	Remove
90	Remove
91	Remove
92	Remove
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94	Remove
95	Remove
96	Remove
97	Remove
98	Remove
99	Remove
100	Remove

REMARKS: THE PROPOSED TREE REMOVALS ARE NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS TO THE VAN LUJAN STREET FRONTAGE. THE REMOVALS WILL BE LIMITED TO THOSE TREES IDENTIFIED IN THE TREE DISPOSITION TABLE. THE REMOVALS WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REMOVAL ORDINANCE. THE PROPOSED TREE REPLACEMENTS ARE IDENTIFIED IN THE TREE DISPOSITION TABLE AND WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE. THE PROPOSED TREE REPLACEMENTS WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE.

REMARKS: THE PROPOSED TREE REMOVALS ARE NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS TO THE VAN LUJAN STREET FRONTAGE. THE REMOVALS WILL BE LIMITED TO THOSE TREES IDENTIFIED IN THE TREE DISPOSITION TABLE. THE REMOVALS WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REMOVAL ORDINANCE. THE PROPOSED TREE REPLACEMENTS ARE IDENTIFIED IN THE TREE DISPOSITION TABLE AND WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE. THE PROPOSED TREE REPLACEMENTS WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE.

REMARKS: THE PROPOSED TREE REMOVALS ARE NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS TO THE VAN LUJAN STREET FRONTAGE. THE REMOVALS WILL BE LIMITED TO THOSE TREES IDENTIFIED IN THE TREE DISPOSITION TABLE. THE REMOVALS WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REMOVAL ORDINANCE. THE PROPOSED TREE REPLACEMENTS ARE IDENTIFIED IN THE TREE DISPOSITION TABLE AND WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE. THE PROPOSED TREE REPLACEMENTS WILL BE PLANTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TREE REPLACEMENT ORDINANCE.



EXISTING PLANNING PLAN

VAN LUJAN STREET  
THE CITY OF ALBUQUERQUE



SOUTH FEDERAL HIGHWAY (U.S. # 1)

SOUTH YOUNG CIRCLE (U.S. # 1)

HARRISON STREET

SOUTH 17TH AVENUE

PO-2008-02

Passed  
on 1st  
Read

4/2/08

---

PO-2008-02

Continued  
on 1st Read  
to a future  
date designated  
by the City  
manager.

1/9/08

---

PO-2008-02

Continued  
on 2nd  
Read to  
July 15, 2008

7/2/08

---

PO-2008-02

Continued  
on 2nd  
Read to  
July 22, 2008

7/15/08

---

PO-2008-02

— Passed  
on

— 2nd Read

7/22/08



**LEGAL AD  
CITY OF HOLLYWOOD**

NOTICE IS HEREBY GIVEN in accordance with Section 166 041 Florida Statutes that the City Commission of the City of Hollywood, Florida, at a Joint/Special City Commission Meeting, on WEDNESDAY, July 2, 2008, in the City Commission Chambers, Room 219, General Joseph W Watson Circle, Hollywood, Florida, proposes to consider on second and final reading the following proposed ordinance(s).

Proposed Ordinance - PO-2008-02 beginning at: 5:30 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, CHANGING THE ZONING DESIGNATION OF THE PROPERTY GENERALLY LOCATED BETWEEN SOUTH 17TH AVENUE TO THE EAST, FEDERAL HIGHWAY TO THE WEST, HARRISON STREET TO THE NORTH AND VAN BUREN STREET TO THE SOUTH, AS MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A", FROM CCC-1 (CENTRAL CITY COMMERCIAL LOW INTENSITY) TO PD (PLANNED DEVELOPMENT DISTRICT); APPROVING THE PLANNED DEVELOPMENT (PD) MASTER DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (HEREINAFTER KNOWN AS "ARTSPARK VILLAGE PLANNED DEVELOPMENT MASTER PLAN"); AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION. (07-JZ-37)

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, General Joseph W Watson Circle, Hollywood, Florida, between the hours of 8:00 AM and 4 45 PM on any regular working day Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

NOTE. Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager five business days in advance at 954-921-3201 (voice) If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD)

Dated this 20<sup>th</sup> day of June, 2008

Patricia A. Cerny, MMC  
City Clerk  
Hollywood, FL

THE SUN SENTINEL/LEGAL AD  
PUBLISH: FRIDAY, JUNE 20, 2008  
FURNISH PROOF OF PUBLICATION

h.cityclk\ads\legalad\PO-2008-02

CANCELLATION OF PUBLIC HEARING  
CITY OF HOLLYWOOD

The City Commission of the City of Hollywood, Florida **HAS CANCELLED** a public hearing on the following detailed application(s) on **Wednesday, January 16, 2008 at 5:30 PM or as soon thereafter as same can be heard** in the City Commission Chambers, Room 219, General Joseph W Watson Circle, Hollywood, Florida.

Proposed Ordinance - PO-2008-02 beginning at: 5.30  
be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD ZONING DESIGNATION OF THE PROPERTY BETWEEN 17TH AVENUE TO THE EAST, FEDERAL HIGH STREET TO THE NORTH AND VAN BUREN STREET OF BLOCK 58), AS MORE SPECIFICALLY DESCRIBED IN THE CENTRAL CITY COMMERCIAL LOW INTENSITY DEVELOPMENT PLAN (PD), APPROVING THE PLAN FOR THE SUBJECT PROPERTY AS "ARTSPARK VILLAGE PLANNED DEVELOPMENT" AMENDING THE CITY'S ZONING MAP TO REDESIGNATE THE PROPERTY AS PD (07-JZ-37)

NOTE

1/16 Sec Read  
Ad must be  
~~continued~~ cancelled

City Planning  
1st read 2/20

2nd Read 3/5  
Reso

Legal description for each of the above petitions is on file in the Community Planning Division.

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, General Joseph W Watson Circle, Hollywood, Florida, between the hours of 8:00 AM and 4:45 PM on any regular working day. Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

**NOTE.** Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager three business days in advance at 954-921-3201 (voice). If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD).

Dated this 12<sup>th</sup> day of January, 2008.

Patricia A. Cerny, MMC  
City Clerk  
Hollywood, FL

THE SUN SENTINEL/LEGAL AD  
PUBLISH: JANUARY 12, 2008  
FURNISH PROOF OF PUBLICATION

h:ads\PO2008-02cancelled ad

**LEGAL AD  
CITY OF HOLLYWOOD**

NOTICE IS HEREBY GIVEN in accordance with Section 166.041 Florida Statutes that the City Commission of the City of Hollywood, Florida, at a Regular City Commission Meeting, on WEDNESDAY, January 16, 2008, in the City Commission Chambers, Room 219, General Joseph W Watson Circle, Hollywood, Florida, proposes to consider on second and final reading the following proposed ordinance(s):

Proposed Ordinance - PO-2007-32 beginning at: 1:30 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING CHAPTER 50 OF THE CODE OF ORDINANCES ENTITLED "SOLID WASTE AND RECYCLING MANAGEMENT" TO UPDATE THE REGULATIONS IN CONFORMANCE WITH STATE LAW AND TO REVISE CERTAIN ASPECTS OF THE CITY'S COLLECTION SERVICES, AND PROVIDING FOR A REPEALER PROVISION; A SEVERABILITY CLAUSE, AND AN EFFECTIVE DATE.

Proposed Ordinance - PO-2008-02 beginning at: 5.30 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, CHANGING THE ZONING DESIGNATION OF THE PROPERTY GENERALLY LOCATED BETWEEN S 17TH AVENUE TO THE EAST, FEDERAL HIGHWAY TO THE WEST, HARRISON STREET TO THE NORTH AND VAN BUREN STREET TO THE SOUTH (PORTION OF BLOCK 58), AS MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A", FROM CENTRAL CITY COMMERCIAL LOW INTENSITY (CCC-1) TO PLANNED DEVELOPMENT (PD), APPROVING THE PLANNED DEVELOPMENT (PD) MASTER DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (HEREINAFTER KNOWN AS "ARTSPARK VILLAGE PLANNED DEVELOPMENT MASTER PLAN"); AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION (07-JZ-37)

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, General Joseph W Watson Circle, Hollywood, Florida, between the hours of 8:00 AM and 4 45 PM on any regular working day Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

NOTE. Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager three business days in advance at 954-921-3201 (voice). If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD).

Dated this 4<sup>th</sup> day of January, 2008.

Patricia A. Cerny, MMC  
City Clerk  
Hollywood, FL

THE SUN SENTINEL/LEGAL AD  
PUBLISH: JANUARY 4, 2008  
FURNISH PROOF OF PUBLICATION

h:cityclk\ads\legalad\PO-2007-32, PO-2008-02

**CITY COMMISSION AD  
SECOND READING**

**Wednesday, January 16, 2008**

**Proposed Ordinance – PO-2008-02\_\_\_\_\_beginning at \_\_\_\_\_ PM or as soon thereafter as same can be heard.**

**07-JZ-37**

An Ordinance of the City of Hollywood, Florida, changing the Zoning designation of the property generally located between S 17th Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south (portion of Block 58), as more specifically described in Exhibit "A", from Central City Commercial Low Intensity (CCC-1) to Planned Development (PD), approving the Planned Development (PD) Master Development Plan for the subject property (hereinafter known as "ArtsPark Village Planned Development Master Plan"); and amending the City's zoning map to reflect the change in zoning designation. (07-JZ-37)

~~REP~~

PO-2008-02

1st Read

- ✓ Jan 9, 2008
- ✓ April 2, 2008 - passed

2nd Read

- Jan 16, 2008 - Adv + cancelled
- July 2, 2008 - Adv
- July 15, 2008
- July 22, 2008 - passed



ORDINANCE NO. O-2011-12

(11-J-13)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING AND RESTATING ORDINANCE NO. O-2008-18 (WHICH APPROVED THE ARTSPARK VILLAGE PLANNED DEVELOPMENT) IN ORDER TO BIFURCATE THE PD (HEREINAFTER "ARTSPARK VILLAGE-A" AND "ARTSPARK VILLAGE-B"), IN ACCORDANCE WITH THE REVISED MASTER DEVELOPMENT PLAN AND TO SET FORTH THE DEVELOPMENT REQUIREMENTS FOR EACH RESULTING PARCEL.

WHEREAS, on July 22, 2008, the City Commission passed and adopted Ordinance No. O-2008-18, which approved the rezoning to Planned Development District (PD) and a Master Development Plan, for the project known as "ArtsPark Village"; and

WHEREAS, on July 22, 2008, the City Commission passed and adopted Resolution No. R-2008-253, which approved the Site Plan, with conditions, for the ArtsPark Village PD project; and

WHEREAS, on July 1, 2009, the City Commission passed and adopted Resolution No. R-2009-211, which approved modifications, with conditions, to the ArtsPark Village Project, including amending the Phasing Plan to construct the Charter School in Phase 1a, the residential building and parking garage in Phase 1b and the office building in Phase 2; and

WHEREAS, in accordance with both Resolution No. R-2009-211, and Section 4.15(C) of the Land Development Regulations, the Charter School and WSG were required to submit a Unity of Control to the City prior to a Building Permit being issued; and

WHEREAS, presently, Lehman Brothers, Inc. exercises control over WSG with regard to decisions for the subject property but, because of legal issues pertaining to the transfer of assets, it is unable to execute the required Unity of Control; and

WHEREAS, Red Apple Hollywood, LLC (hereinafter "Red Apple") owns the Charter School property in fee simple and desires to move forward with the construction of the previously approved Charter School, subject to any and all conditions applicable to ArtsPark Village-A, as set forth in Ordinance O-2008-18, Resolution. No. R-2008-253 as amended by Resolution No. R-2009-211 and the Development Review Board's Resolution 07-DV-37 (the "Development Approvals"); and

WHEREAS, in order to satisfy the requirement for a Unity of Control and allow Red Apple to move forward with development of their parcel, it is necessary to bifurcate the PD, assigning the conditions from the Development Approvals as necessary to ensure that all conditions are met by the appropriate property owner;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That it hereby amends and restates Ordinance No. O-2008-18 and authorizes the bifurcation of ArtsPark Village PD, henceforth to be known as ArtsPark Village-A and ArtsPark Village-B, with Red Apple being bound by the following conditions:

(a) The height of the Charter School shall be restricted to a maximum height of sixty-four (64) feet to the top of the parapet;

(b) A parking plan, to ensure parking is provided during construction of ArtsPark Village-B, shall be submitted in a form acceptable to Planning staff and the City Attorney, and shall be recorded in the Public Records of Broward County prior to a building permit being issued for the school building;

(c) Ensure sidewalks adjacent to ArtsPark Village-A along 17<sup>th</sup> Avenue shall be a minimum of 7' wide, sidewalks along Van Buren Street shall be a minimum 10' wide;

(d) The Applicant shall continue to work with the Downtown District of the Hollywood Community Redevelopment Agency, and appropriate City staff, to ensure the hardscape, landscape and lighting details are consistent with the Young Circle plan;

(e) The Applicant shall provide the City with either a Unity of Title, perpetual easement or lease agreement ensuring that the required off-street parking requirements are satisfied. Such documentation shall be submitted prior to the issuance of any building permits; and

(f) The Applicant shall provide a Unity of Control regarding Parcel "A" The document shall expressly state that: "That the parties hereby agree that the properties are being developed as a planned development which is under unified control and no land within the planned development may be transferred in ownership or in any other way removed from unified control without a written agreement between the City and the parties to which such transfer is made stipulating their understanding and agreement to a condition that such transferred land shall continue, under the full terms and provisions of the planned development approval and site plan." Such documentation shall be provided prior to a Building Permit issued."

Section 2: That it hereby amends and restates Ordinance No. O-2008-18 and authorizes the bifurcation of ArtsPark Village PD, henceforth to be known as ArtsPark Village-A and ArtsPark Village-B, with WSG, or its successor, being bound by the following conditions:

- (a) The fire escape on the east elevation of the residential tower be enclosed;
- (b) Ensure sidewalks along 17th Avenue be a minimum 7' wide, sidewalks along Van Buren Street and Harrison Street be a minimum 10' wide, sidewalks along Young Circle be a minimum 20' wide, and sidewalks along Federal Highway be a minimum 20' wide;
- (c) Supports for the overhang on the office building shall be situated to minimize their footprint and maximize unimpeded pedestrian walkways;
- (d) That the Applicant shall continue to work with the Downtown District of the Hollywood Community Redevelopment Agency, and appropriate City staff, to ensure that hardscape, landscape and lighting details are consistent with the Young Circle plan;
- (e) The Applicant shall provide a Unity of Control regarding Parcel "B". The document shall expressly state that: "That the parties hereby agree that the properties are being developed as a planned development which is under unified control and no land within the planned development may be transferred in ownership or in any other way removed from unified control without a written agreement between the City and the parties to which such transfer is made stipulating their understanding and agreement to a condition that such transferred land shall continue, under the full terms and provisions of the planned development approval and site plan." Such documentation shall be provided prior to a Building Permit issued."
- (f) The amount of required off-street parking shall be reduced from 1,115 parking spaces to 773, unreserved parking spaces;
- (g) Parking stall dimensions shall be 8'6" x 18' with a 24' backup (except parking stall dimensions next to a wall shall be 10'6" x 19' with a 24' backup);
- (h) The four westernmost columns within the parking garage may be less than 3' from the entrance of adjacent parking stall/spaces;
- (i) The required number of loading spaces is reduced from twelve to seven loading spaces;
- (j) Prior to the issuance of a Building Permit, the Applicant shall submit to the City, a copy of language acceptable to the City Attorney, to be included in all future

lease documents (or subsequent sale documents), advising of the unreserved parking conditions;

(k) Any future revision to the site plan that does not include at least 773 unreserved parking spaces shall be considered a major modification to this approval; and

(l) A final parking plan to ensure parking is provided for Red Apple School during construction of the parking garage, shall be submitted in a form acceptable to the City Attorney, and shall be recorded in the Public Records of Broward County prior to a demolition permit being issued for the Bread Building garage.

Section 3: That the ArtsPark Village Master Development Plan is hereby bifurcated to PD ArtsPark Village-A, which shall be comprised of the Charter School, and PD ArtsPark Village-B, which shall be comprised of the remainder of the ArtsPark Village, as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference.

Section 4: That Ordinance O-2008-18, Resolution No. R-2008-253 and Resolution R-2009-211 as they pertain to the remainder of the ArtsPark Village Project, shall remain in full force and effect.

Section 5: That all sections or parts of sections of the Zoning and Land Development Regulations, Code of Ordinances, and all ordinances or parts thereof and all resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 6: That if any word, phrase, clause, subsection or section of this ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this ordinance.

Section 7: That this Ordinance shall be in full force and effect immediately upon its passage and adoption.

Advertised April 22, 2011.

PASSED on first reading this 20 day of April, 2011.

ORDINANCE AMENDING AND RESTATING ORDINANCE NO. O-2008-18 (WHICH APPROVED THE ARTSPARK VILLAGE PLANNED DEVELOPMENT) IN ORDER TO BIFURCATE THE PD (HEREINAFTER "ARTSPARK VILLAGE-A" AND "ARTSPARK VILLAGE-B").

PASSED AND ADOPTED on second reading this 4 day of May, 2011.

RENDERED this 12 day of May, 2011.

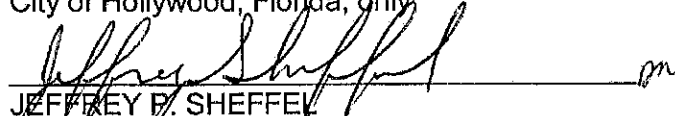


PETER BOBER, MAYOR

ATTEST:

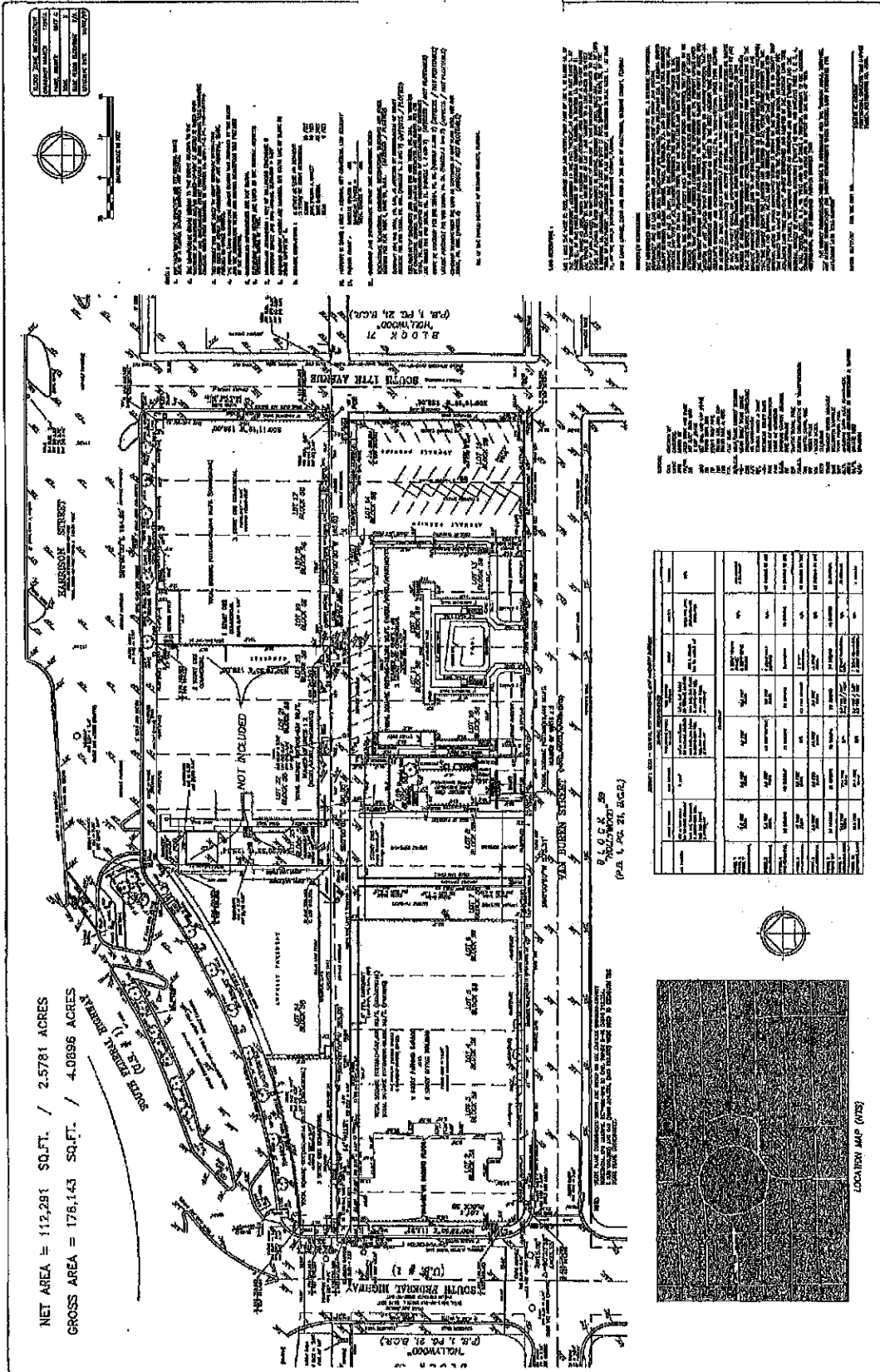
  
PATRICIA A. CERNY, MMC  
CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida, only

  
JEFFREY P. SHEFFEL  
CITY ATTORNEY



# EXHIBIT A



DATE	1964
PROJECT	ALTA/ACSM LAND TITLE SURVEY
SCALE	1" = 40'
BY	[Signature]
CHECKED	[Signature]



SCALE BAR  
 0 10 20 30 40 50 60 70 80 90 100 FEET

1. THE SURVEY IS BASED UPON THE RECORD PLAT OF BLOCK 58, "HOLLYWOOD", (P.B. 1, PG. 21, B.C.R.) AND BLOCK 71, (P.B. 1, PG. 24, B.C.R.), BOTH OF WHICH ARE PART OF THE HOLLYWOOD SUBDIVISION, (P.B. 1, PG. 21, B.C.R.)

2. THE SURVEY IS BASED UPON THE RECORD PLAT OF BLOCK 58, "HOLLYWOOD", (P.B. 1, PG. 21, B.C.R.) AND BLOCK 71, (P.B. 1, PG. 24, B.C.R.), BOTH OF WHICH ARE PART OF THE HOLLYWOOD SUBDIVISION, (P.B. 1, PG. 21, B.C.R.)

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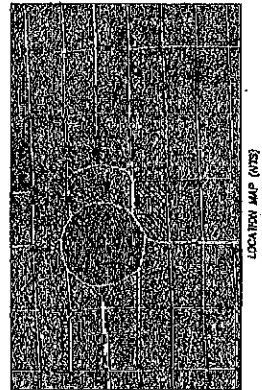
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20. THE SURVEY IS BASED UPON THE RECORD PLAT OF BLOCK 58, "HOLLYWOOD", (P.B. 1, PG. 21, B.C.R.) AND BLOCK 71, (P.B. 1, PG. 24, B.C.R.), BOTH OF WHICH ARE PART OF THE HOLLYWOOD SUBDIVISION, (P.B. 1, PG. 21, B.C.R.)

LOT NO.	AREA (SQ. FT.)	AREA (ACRES)	OWNER
1	10,000	0.2296	...
2	10,000	0.2296	...
3	10,000	0.2296	...
4	10,000	0.2296	...
5	10,000	0.2296	...
6	10,000	0.2296	...
7	10,000	0.2296	...
8	10,000	0.2296	...
9	10,000	0.2296	...
10	10,000	0.2296	...
11	10,000	0.2296	...
12	10,000	0.2296	...
13	10,000	0.2296	...
14	10,000	0.2296	...
15	10,000	0.2296	...
16	10,000	0.2296	...
17	10,000	0.2296	...
18	10,000	0.2296	...
19	10,000	0.2296	...
20	10,000	0.2296	...



PROJECT NUMBER: 5814-5  
 SCALE: 1" = 40'

ALTA/ACSM LAND TITLE SURVEY

CLIENT: YES DEVELOPMENT

COUSINS SURVEYORS & ASSOCIATES, INC.  
 2405 W. 10TH AVENUE, SUITE 1011  
 DENVER, COLORADO 80202  
 PHONE (303) 733-1500 FAX (303) 733-2815

**PROJECT DATA**

**ARTS PARK VILLAGE at YOUNG CIRCLE**

**ZONING INFORMATION**

CURRENT ZONING: PLANNED DEVELOPMENT (PD)  
 PROPOSED ZONING: PHASED PLANNED DEVELOPMENT (PD-A and PD-B)  
 TYPE OF OCCUPANCY: MIXED USE  
 GROSS LOT AREA: 176,140 SF / 4.06 ACRES  
 GROSS LOT AREA: 176,140 SF / 4.06 ACRES

**FLOOR AREA CHARTER SCHOOL (PHASE PD-A)**

CHARTER SCHOOL: 107,656 SF  
 GROSS FLOOR AREA: 107,656 SF

**FLOOR AREA RESIDENTIAL BUILDING (PHASE PD-B1)**

RESIDENTIAL FLOOR AREA: 376,830 SF  
 RETAIL/COMMERCIAL: 25,846 SF

GROSS LEASEABLE/SALEABLE AREA: 353,079 SF

**FLOOR AREA OFFICE BUILDING (PHASE PD-B2)**

OFFICE: 52,500 SF  
 RETAIL: 8,000 SF  
 CIRCULATION: 79,544 SF  
 CIRCULATION/SERVICE: 6,750 SF  
 GROSS FLOOR AREA: 150,802 SF

**OPEN SPACE**

TOTAL LOT COVERAGE: 94.5%  
 PREVIOUS SPACE: 1% (534 SF)  
 LANDSCAPE ON 8th FLOOR: 2% (5161 SF)  
 (RESIDENTIAL)

**PARKING DATA**

**PARKING REQUIRED**  
 TOWER: 596  
 VISITOR: 178  
 RETAIL: 100  
 OFFICE BUILDING: 39  
 OFFICE: 210  
 SCHOOL BUILDING: 100  
 TOTAL REQUIRED = 1,115 SPACES

**PARKING PROVIDED**  
 RESIDENTIAL TOWER: 636 SPACES  
 OFFICE BUILDING: 184 SPACES

TOTAL PROVIDED = 820 SPACES  
 TOTAL PROVIDED IN R.O.W. = 773 SPACES  
 TOTAL HANDICAP SPACES = 17 SPACES PROVIDED (2% of total: 802 x .02 = 16 SPACES REQUIRED)

**PARKING SPACE DIMENSIONS**

**PARKING REQUIRED**  
 TYPICAL PARKING STALL: 8'-6"x18'-0" WITH A 2'-4"-0" BACKUP  
 PARKING STALL NEXT TO WALL: 10'-0"x18'-0" WITH A 2'-4"-0" BACKUP  
 LESS THAN 5'-0" SPACING BETWEEN DRIVEWAY AND COLUMN ON SOME PARKING SPALLS

**DRIVE ISLE DIMENSIONS**

DRIVE ISLES: 24'-0" (REQUIRED)

**SCHOOL BUILDING SETBACKS (PHASE PD-A)**

RECOMMENDATIONS BY ZIESCHOWICH  
 NORTH (ALLEY): 0'-0"  
 17th AVENUE: 1'-0"  
 VAN BUREN STREET: 0'-0"  
 WEST (INTERIOR SIDE): 0'-0"

**RESIDENTIAL BUILDING SETBACKS (PHASE PD-B1)**

RESIDENTIAL BUILDING S. FEDERAL HWY:  
 S. YOUNG CIRCLE:  
 S. FEDERAL HWY (US 1):  
 VAN BUREN:  
 EAST (INTERIOR SIDE):

PROVIDED	RECOMMENDED	RECOMMENDATIONS BY ZIESCHOWICH
10'-0"	25'-0"	5'-0"
1'-0"	25'-0"	5'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"
0'-0"	25'-0"	10'-0"

**OFFICE BUILDING SETBACKS (PHASE PD-B2)**

RECOMMENDATIONS BY ZIESCHOWICH  
 HARRISON STREET:  
 17th AVENUE:  
 SOUTH (ALLEY):  
 WEST (INTERIOR SIDE):

PROVIDED	RECOMMENDED	RECOMMENDATIONS BY ZIESCHOWICH
25'-0"	0'-0"	0'-0"
0'-0"	0'-0"	0'-0"
0'-0"	0'-0"	0'-0"

**LOADING SPACES**

REQUIRED	PROVIDED
RESIDENTIAL: 0	7
OFFICE: 1	3
SCHOOL: 1	3

**BUILDING HEIGHT**

RESIDENTIAL BUILDING: 82'-0"  
 OFFICE BUILDING: 226'-4"  
 CHARTER SCHOOL: 52'-0"

**RESIDENTIAL UNIT TYPE COUNT**

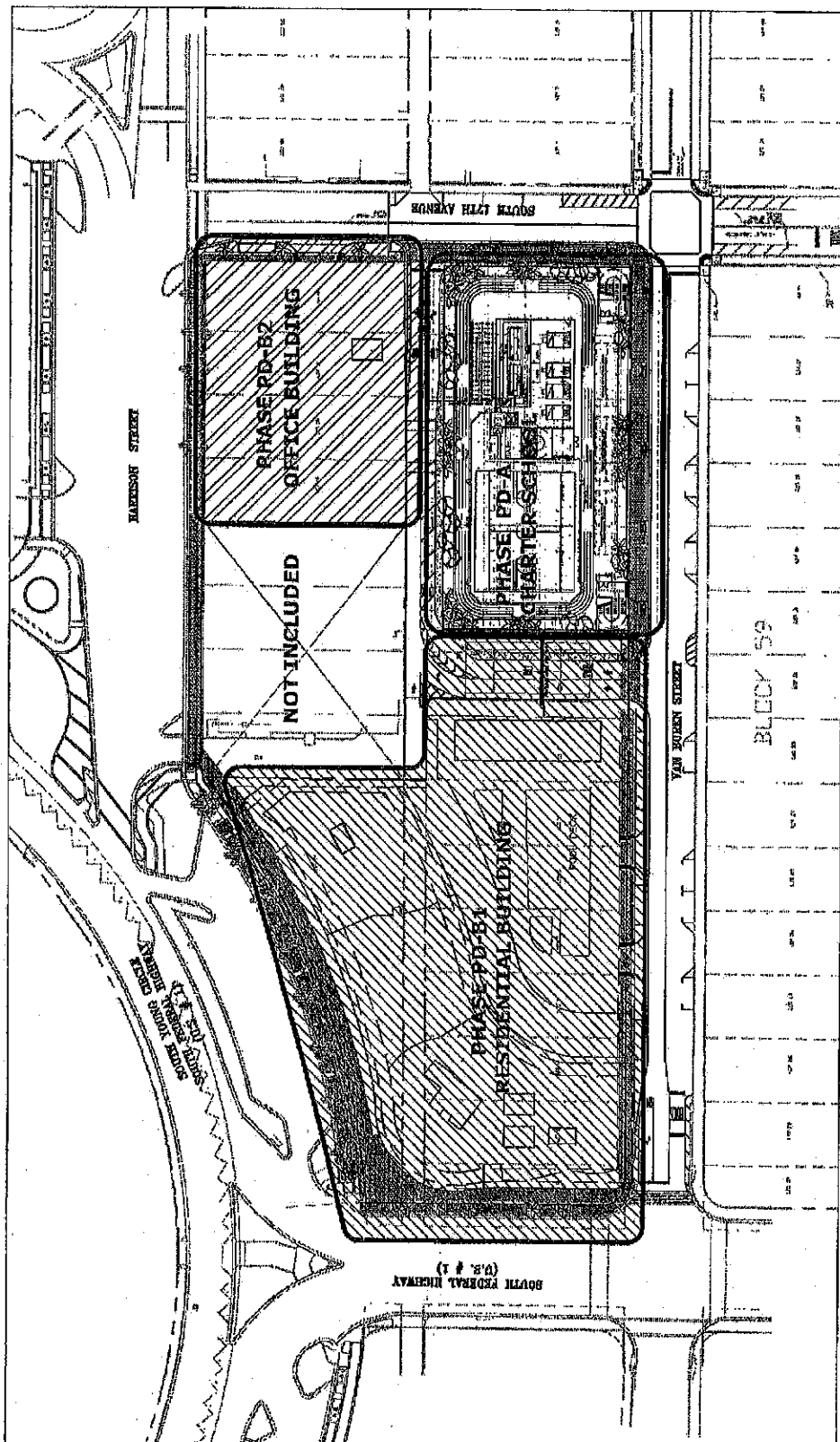
TOTAL: 380 RESIDENTIAL UNITS  
 DENSITY/ACRE: 95 UNITS/ACRE

UNIT TYPES	AVG. UNIT SIZE
2X STUDIO: 30	518 SF
48X 1 BD: 186	867 SF
39X 2 BD: 153	1102 SF
5X 3 BD: 21	1434 SF
TOTAL UNITS: 380	

ENGINEERING AND PLANNING  
 10000 W. 10th Ave., Suite 100, Denver, CO 80202  
 (303) 751-1100

OWNER: RED APPLE HOLLYWOOD, LLC AND MSG HOLLYWOOD DEVELOPMENT, LLC  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 DRAWING TITLE: DATA SHEET

PROJECT NO.: 2023-01  
 SHEET NO.: 01-01  
 DATE: 01-15-23  
 DRAWN BY: J.M.L.  
 CHECKED BY: J.M.L.  
 SCALE: AS SHOWN  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 SHEET NO.: 01-01  
 DATE: 01-15-23  
 DRAWN BY: J.M.L.  
 CHECKED BY: J.M.L.  
 SCALE: AS SHOWN



ENGINEERING AND PLANNING  
 1200 N. W. 10TH AVENUE, SUITE 100  
 MIAMI, FLORIDA 33136  
 (305) 571-1111  
 FAX (305) 571-1112  
 WWW.EPFLANNING.COM

DEVELOPMENT PHASE SITE PLAN  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 OWNER: RED APPLE HOLLYWOOD, LLC AND MSG HOLLYWOOD DEVELOPMENT, LLC

PROJECT NO.: 2002  
 DRAWN BY: DALS  
 CHECKED BY: DALS  
 DATE: 08/20/02  
 SHEET NO.: A1.04  
 OF: 1

**PHASE PD-B2 (OFFICE BUILDING)**

OPEN SPACE	PROVIDED	
TOTAL LOT COVERAGE	18.0%	
<b>PARKING DATA</b>		
OFFICE BUILDINGS	REQUIRED	PROVIDED
RETAIL OFFICE	(LEVEL 1) 8,800 SF/750 = 78	
	(LEVEL 2-3) 52,800 SF/750 = 210	
TOTAL REQUIRED	=	288 SPACES
		249 SPACES

**PHASE PD-B1 (RESIDENTIAL BUILDING)**

OPEN SPACE	PROVIDED	
TOTAL LOT COVERAGE	52.0%	
<b>PARKING DATA</b>		
RESIDENTIAL	REQUIRED	PROVIDED
VISITOR	555	
RETAIL	1 PER 5 UNITS (250/5) = 78	
	(FIRST FLOOR) 25,848 SF/750 = 103	
TOTAL REQUIRED	=	766 SPACES
		633 SPACES

**PHASE PD-A (CHARTER SCHOOL)**

OPEN SPACE	PROVIDED	
TOTAL LOT COVERAGE	24.0%	
<b>PARKING DATA</b>		
CHARTER SCHOOL	REQUIRED	PROVIDED
	90 CLASSROOMS + 10 EMPLOYEES = 100	
TOTAL REQUIRED	=	100 SPACES
		PART OF SHARED PARKING



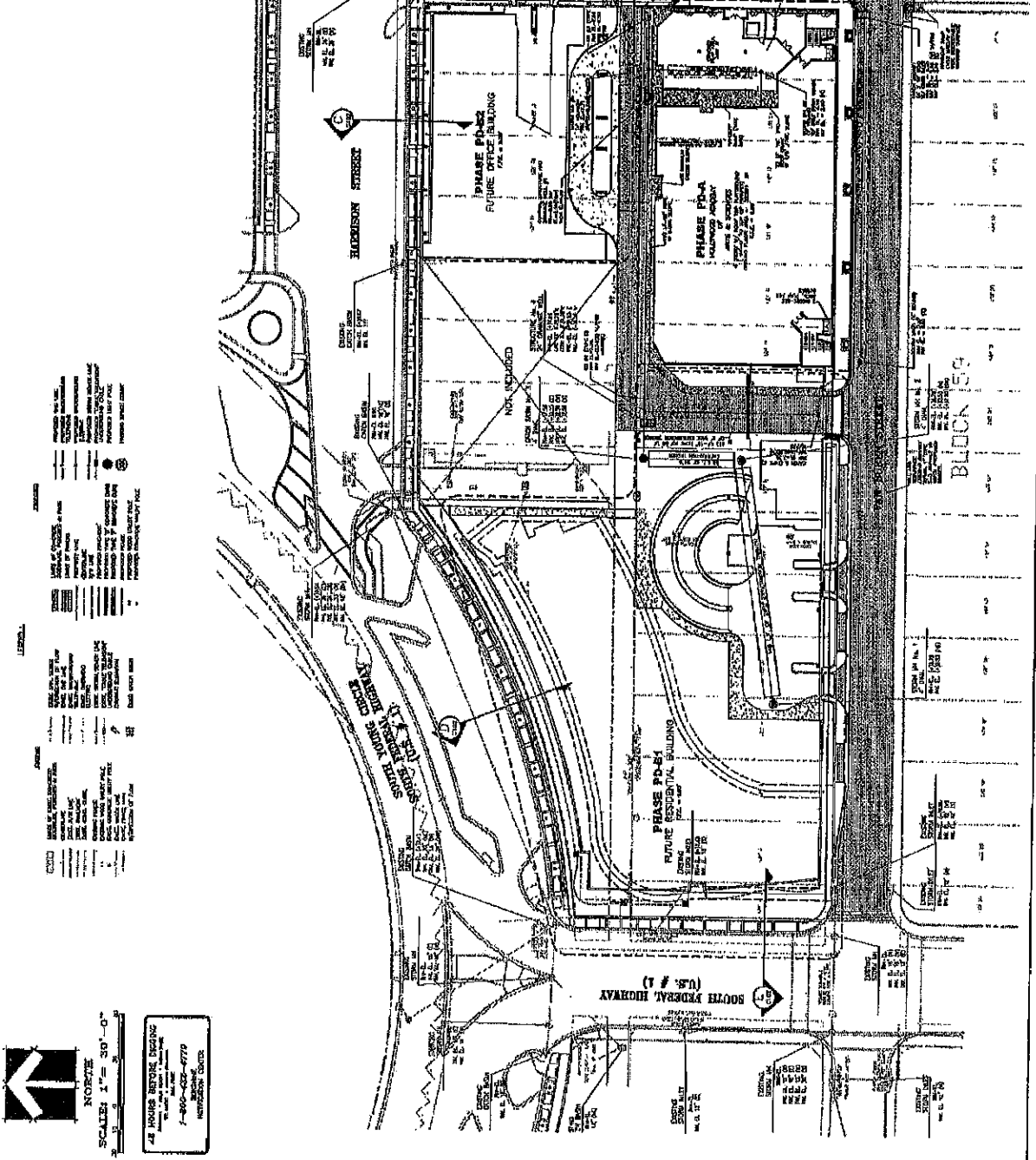
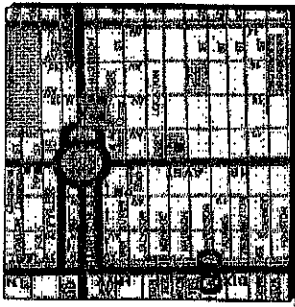




**ENGINEERING AND PLANNING**  
 1740 SOUTH YOUNG CIRCLE, FAYETTEVILLE, AR  
 (501) 328-2200 FAX (501) 328-2201  
 1740 SOUTH YOUNG CIRCLE, FAYETTEVILLE, AR  
 (501) 328-2200 FAX (501) 328-2201

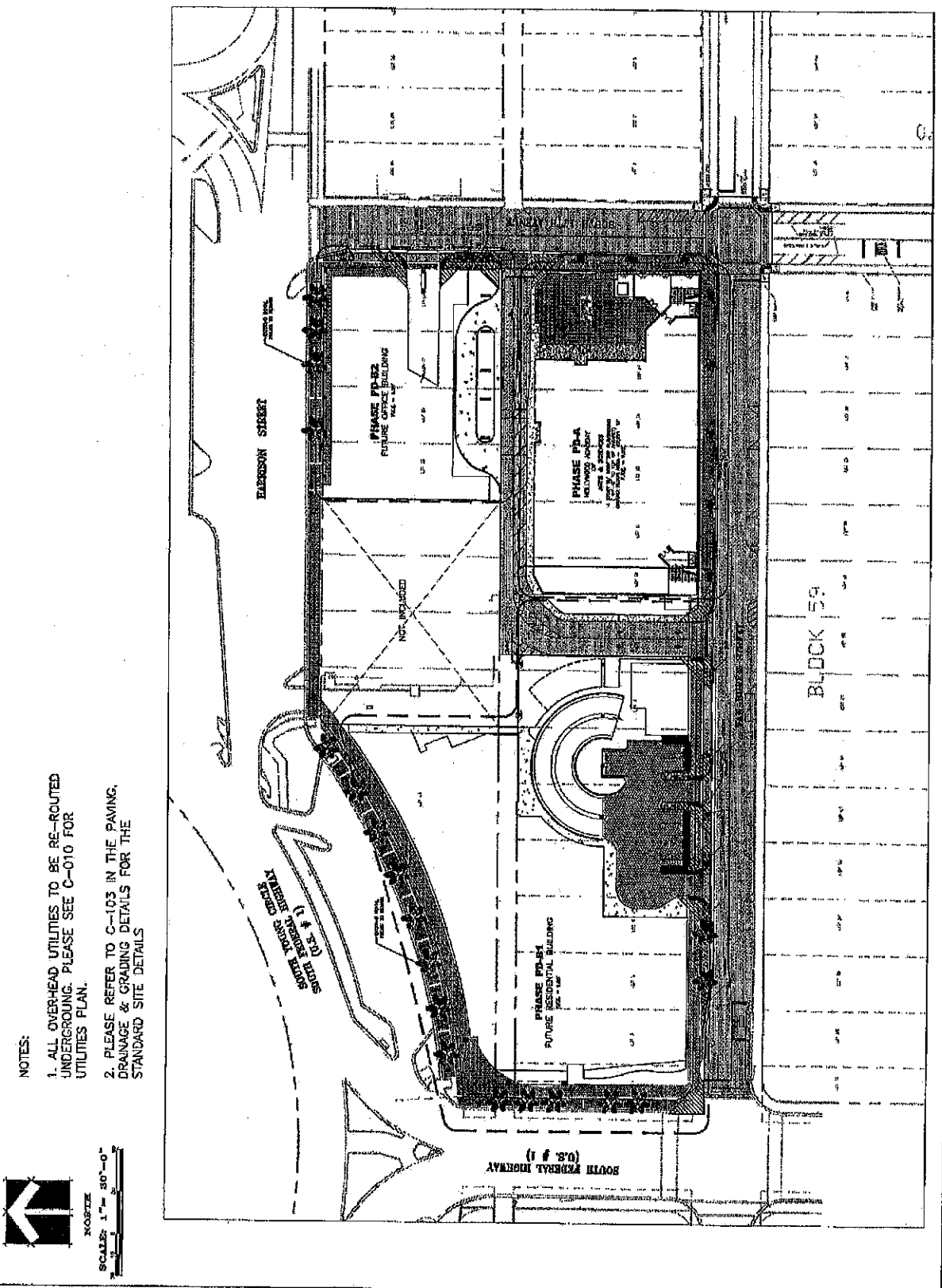
**STORMWATER DRAINAGE PLAN**  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 CLIENT: WSG DEVELOPMENT AND RED APPLE DEVELOPMENT, LLC  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 3/27/03  
 SHEET NO. 101-C  
 TOTAL SHEETS: 1

PROJECT NO.	101-C
DRAWN BY	[Name]
CHECKED BY	[Name]
DATE	3/27/03
SHEET NO.	101-C
TOTAL SHEETS	1

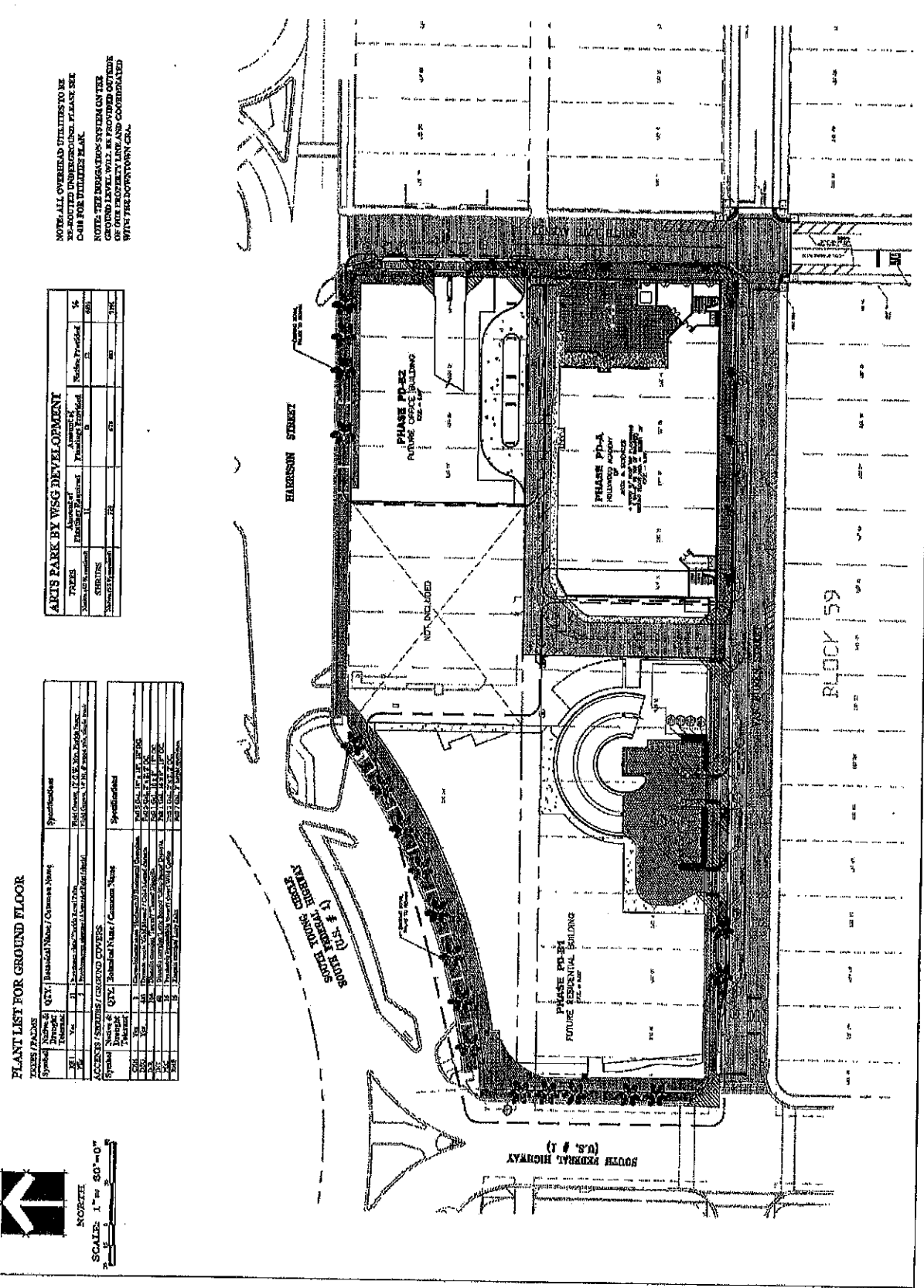


- LEGEND**
- 1. 1" = 1" SCALE
  - 2. 1" = 1" SCALE
  - 3. 1" = 1" SCALE
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  - 99. 1" = 1" SCALE
  - 100. 1" = 1" SCALE

**SCALE 1" = 30'-0"**  
 NORTH  
 ALL WORK BEFORE DRAINAGE  
 1-800-428-4770  
 1740 SOUTH YOUNG CIRCLE  
 FAYETTEVILLE, AR 72703



- NOTES:**
1. ALL OVERHEAD UTILITIES TO BE RE-ROUTED UNDERGROUND. PLEASE SEE C-010 FOR UTILITIES PLAN.
  2. PLEASE REFER TO C-103 IN THE PAVING, DRAINAGE & GRADING DETAILS FOR THE STANDARD SITE DETAILS



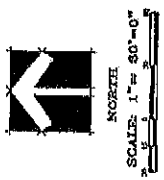
NOTE: ALL OVERHEAD UTILITIES TO BE RE-ROUTED UNDERGROUND. PLEASE SEE C&M FOR UTILITIES PLAN.  
 NOTE: THE IRRIGATION SYSTEM ON THE GROUND LEVEL WILL BE PROVIDED OUTSIDE OF THE PROPERTY LINE AND COORDINATED WITH THE C&M TOWN PLAN.

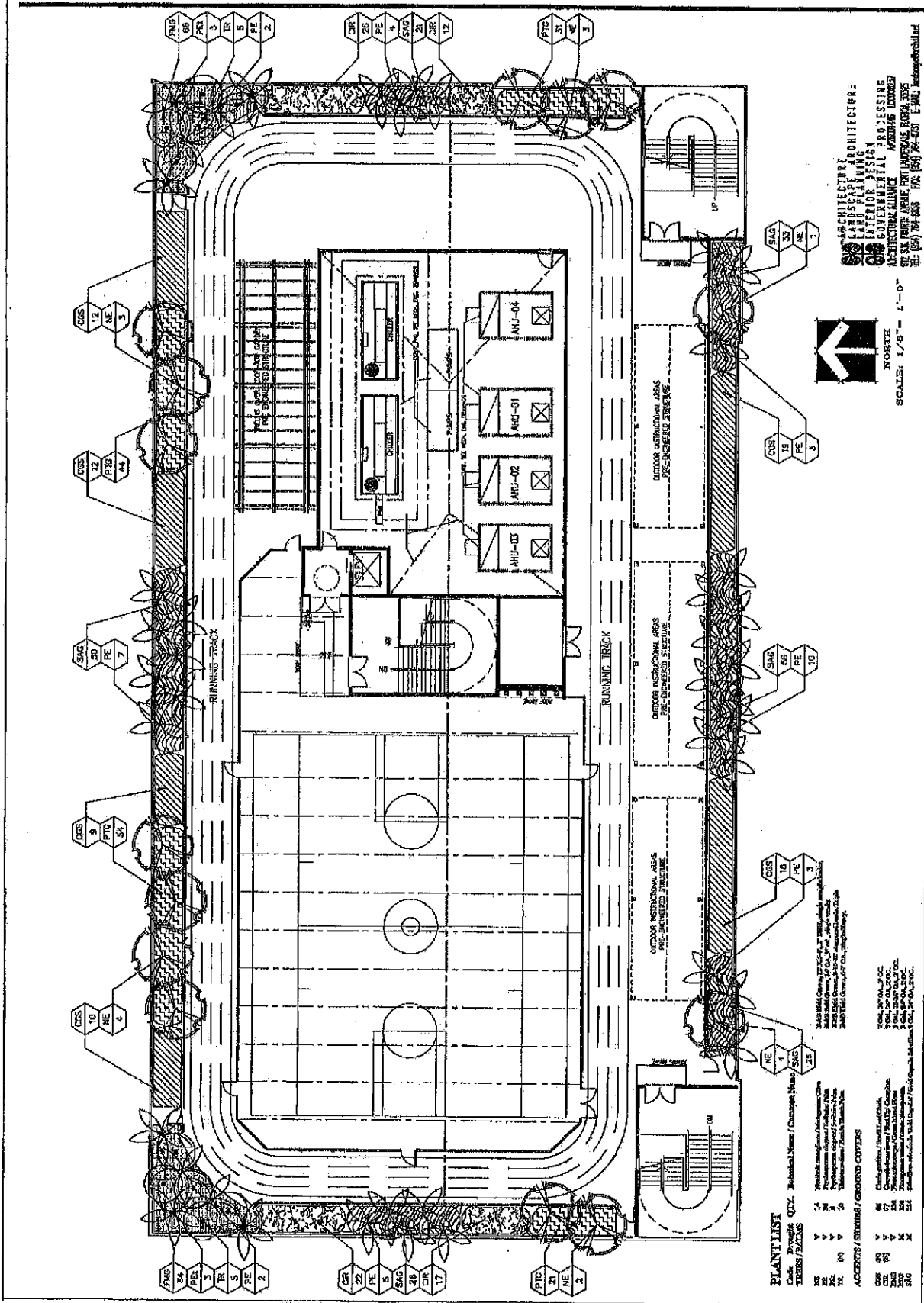
**ARTS PARK BY WSG DEVELOPMENT**

Item	Quantity	Notes
TREES	16	As shown in plan
SHRUBS	22	As shown in plan

**PLANT LIST FOR GROUND FLOOR**

SYMBOL	QTY	Botanical Name / Common Name	Specifications
T1	16	16' x 16' x 16' x 16' x 16' x 16'	16' x 16' x 16' x 16' x 16' x 16'
S1	22	16' x 16' x 16' x 16' x 16' x 16'	16' x 16' x 16' x 16' x 16' x 16'



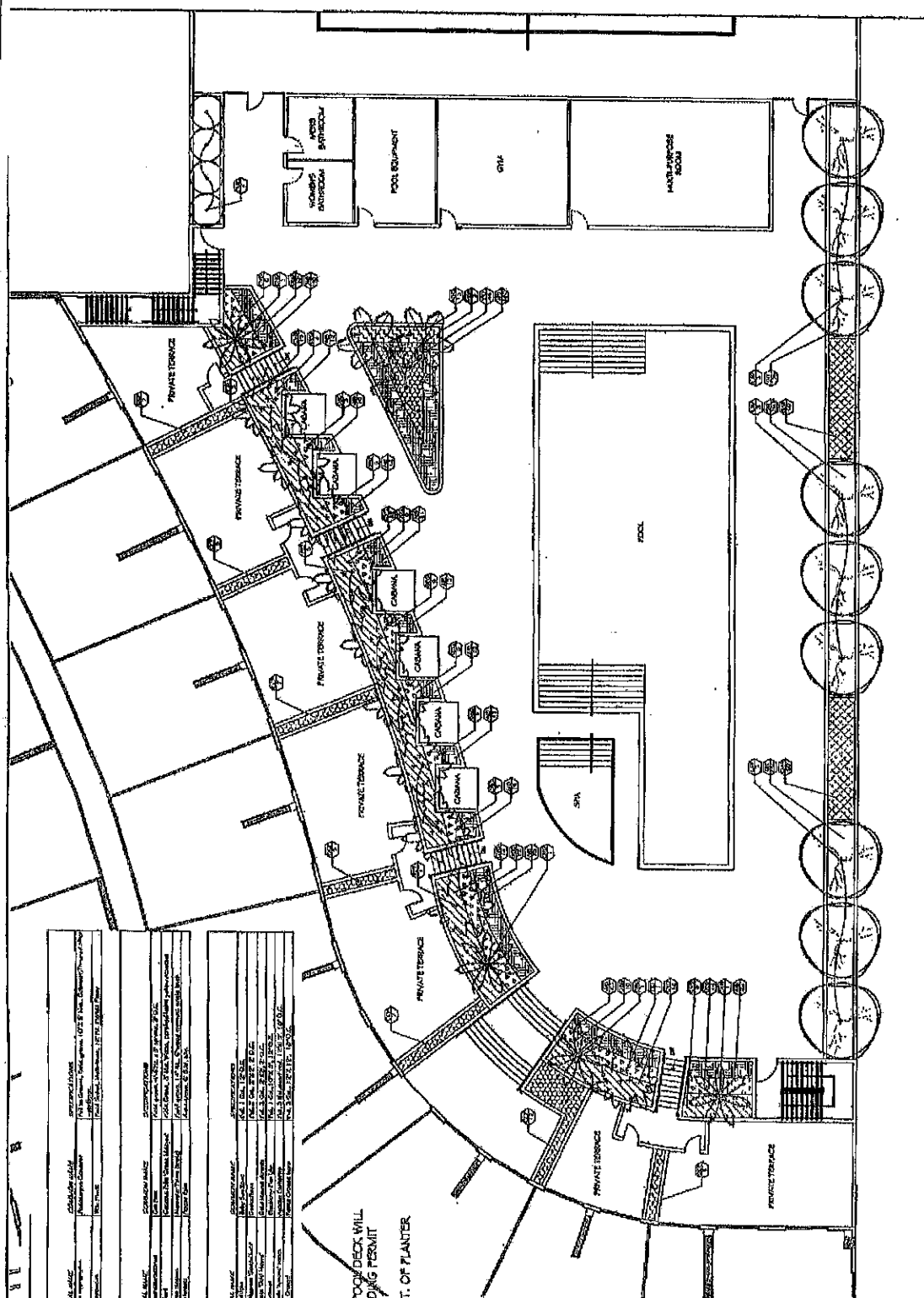


**PLANT LIST**

Code	Quantity	Botanical Name / Common Name
AKU	4	Art Classroom
AKU-01	1	Art Classroom
AKU-02	1	Art Classroom
AKU-03	1	Art Classroom
AKU-04	1	Art Classroom
AKU-05	1	Art Classroom
AKU-06	1	Art Classroom
AKU-07	1	Art Classroom
AKU-08	1	Art Classroom
AKU-09	1	Art Classroom
AKU-10	1	Art Classroom
AKU-11	1	Art Classroom
AKU-12	1	Art Classroom
AKU-13	1	Art Classroom
AKU-14	1	Art Classroom
AKU-15	1	Art Classroom
AKU-16	1	Art Classroom
AKU-17	1	Art Classroom
AKU-18	1	Art Classroom
AKU-19	1	Art Classroom
AKU-20	1	Art Classroom
AKU-21	1	Art Classroom
AKU-22	1	Art Classroom
AKU-23	1	Art Classroom
AKU-24	1	Art Classroom
AKU-25	1	Art Classroom
AKU-26	1	Art Classroom
AKU-27	1	Art Classroom
AKU-28	1	Art Classroom
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AKU-99	1	Art Classroom
AKU-100	1	Art Classroom

ARCHITECTURE  
 LARSEN & TOWERS ARCHITECTURE  
 1000 17TH AVENUE, SUITE 1000  
 DENVER, COLORADO 80202  
 PHONE: (303) 733-1111  
 FAX: (303) 733-1112  
 WWW: WWW.LTARCH.COM

SCALE: 1/8" = 1'-0"  
 NORTH



GENERAL NOTES	
1.	IRRIGATION PLANS FOR POOL DECK WILL BE PROVIDED DURING BUILDING PERMIT REVIEW.
2.	TERRACES ARE 2,546 SQ. FT. OF PLANTER AREA.

NOTES:  
 1. IRRIGATION PLANS FOR POOL DECK WILL BE PROVIDED DURING BUILDING PERMIT REVIEW.  
 2. TERRACES ARE 2,546 SQ. FT. OF PLANTER AREA.

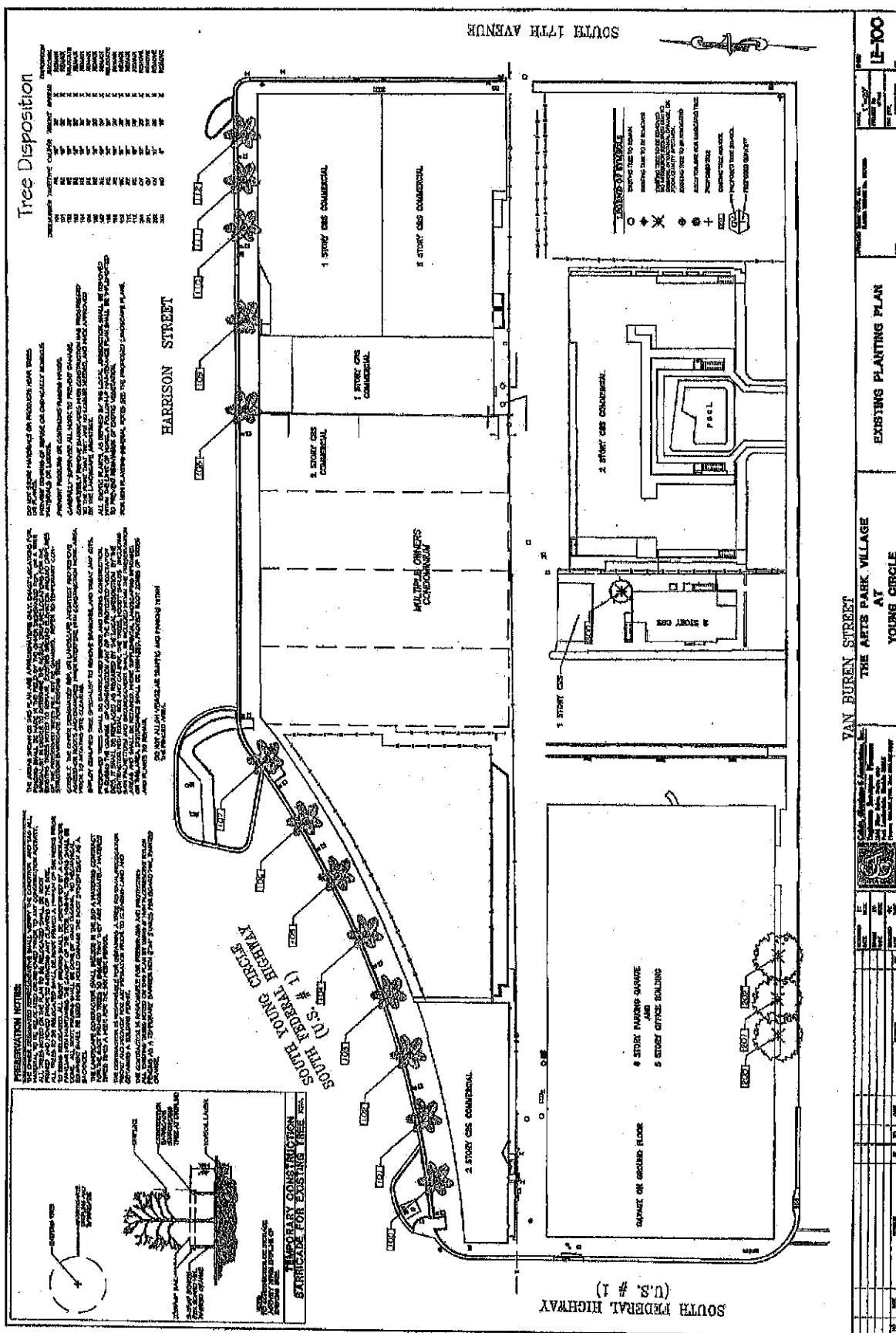
1202

**THE ARTS PARK VILLAGE AT YOUNG CIRCLE**

**8TH FLOOR PLANTING PLAN**

DATE: 11/11/11  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]





**Tree Disposition**

Tree ID	Tree Species	Tree Status	Tree Location
1	...	...	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
6	...	...	...
7	...	...	...
8	...	...	...
9	...	...	...
10	...	...	...
11	...	...	...
12	...	...	...
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25	...	...	...
26	...	...	...
27	...	...	...
28	...	...	...
29	...	...	...
30	...	...	...

**PRESERVATION NOTES:**

THE ABOVE NOTED TO BE PRESERVED OR PROTECTED FROM REMOVAL OR DAMAGE BY THE DEVELOPER OR HIS SUCCESSORS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THESE TREES THROUGHOUT THE CONSTRUCTION AND OPERATION OF THE PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THESE TREES THROUGHOUT THE CONSTRUCTION AND OPERATION OF THE PROJECT.

**LEGEND OF SYMBOLS:**

- TO BE REMOVED
- TO BE PRESERVED
- TO BE PRESERVED (WITH SPECIAL CARE)
- TO BE PRESERVED (WITH SPECIAL CARE - LARGE TREE)
- TO BE PRESERVED (WITH SPECIAL CARE - LARGE TREE - SPECIAL TREATMENT)
- TO BE PRESERVED (WITH SPECIAL CARE - LARGE TREE - SPECIAL TREATMENT - SPECIAL TREATMENT)

**TEMPORARY CONSTRUCTION FARRICADE FOR EXISTING TREE:**

THIS FARRICADE IS TO BE CONSTRUCTED TO PROTECT THE EXISTING TREE FROM DAMAGE DURING CONSTRUCTION. THE FARRICADE SHALL BE CONSTRUCTED TO PROTECT THE EXISTING TREE FROM DAMAGE DURING CONSTRUCTION.

**EXISTING PLANTING PLAN**

PROJECT: THE ARTS PARK VILLAGE AT YOUNG CIRCLE

DATE: 11-100

SCALE: AS SHOWN

DESIGNED BY: [Firm Name]

PREPARED BY: [Firm Name]

CHECKED BY: [Firm Name]

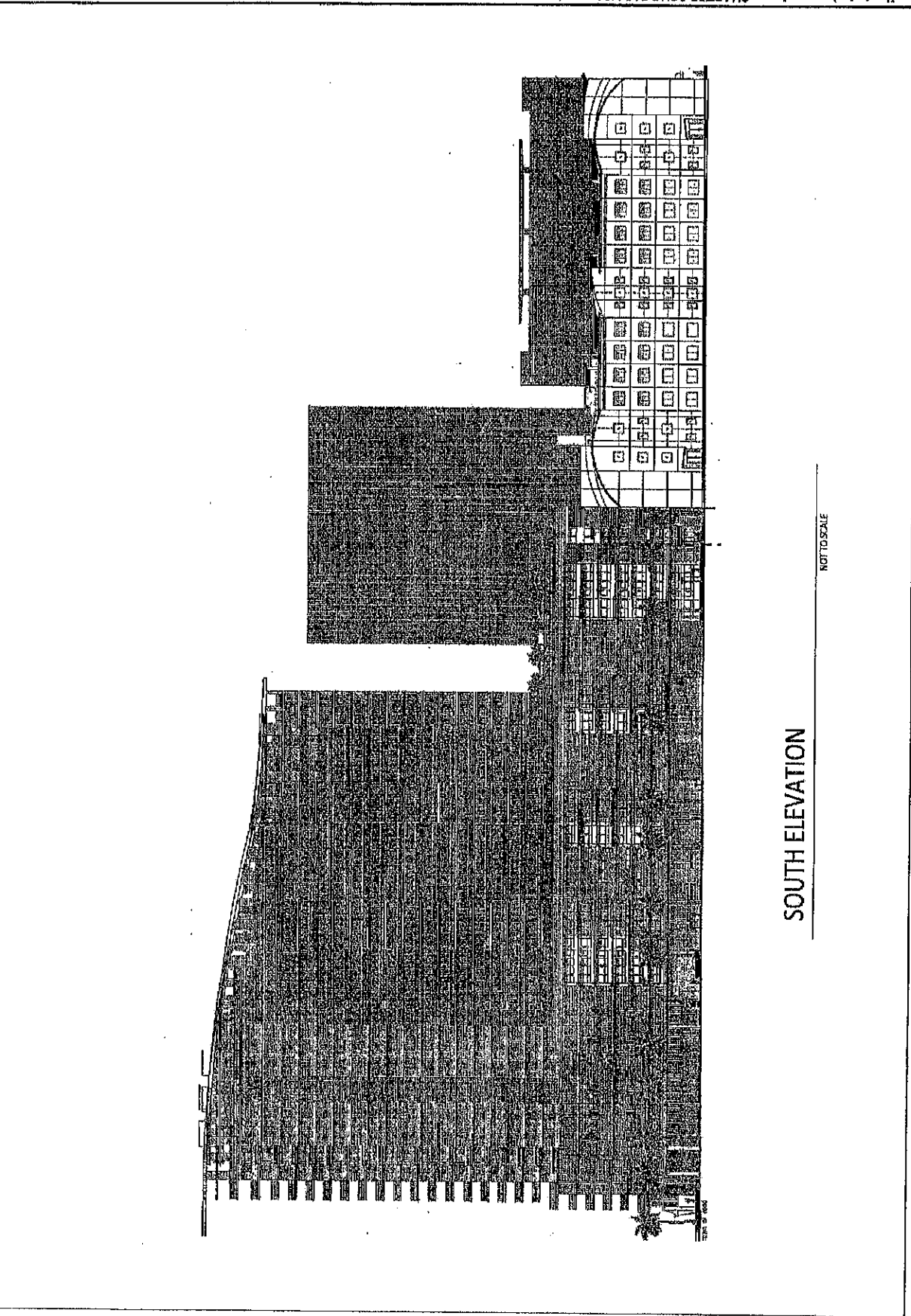
APPROVED BY: [Firm Name]

LAI Des'gn Associates, LLC  
ARCHITECTS & PLANNERS  
1700 AVENUE OF THE STARS  
SUITE 1000  
FARMINGTON, CT 06030  
TEL: 860.634.1234  
WWW.LAIDESIGN.COM

CHARTER SCHOOLS USA  
HOLYWOD ACADEMY OF ARTS AND SCIENCES  
2555A BUNN STREET  
HOLYWOD, FLORIDA  
33427  
DATE: 08/11/11

PROJECT NO. 11-0001  
SOUTH ELEVATION  
NOT TO SCALE

A4.01



SOUTH ELEVATION

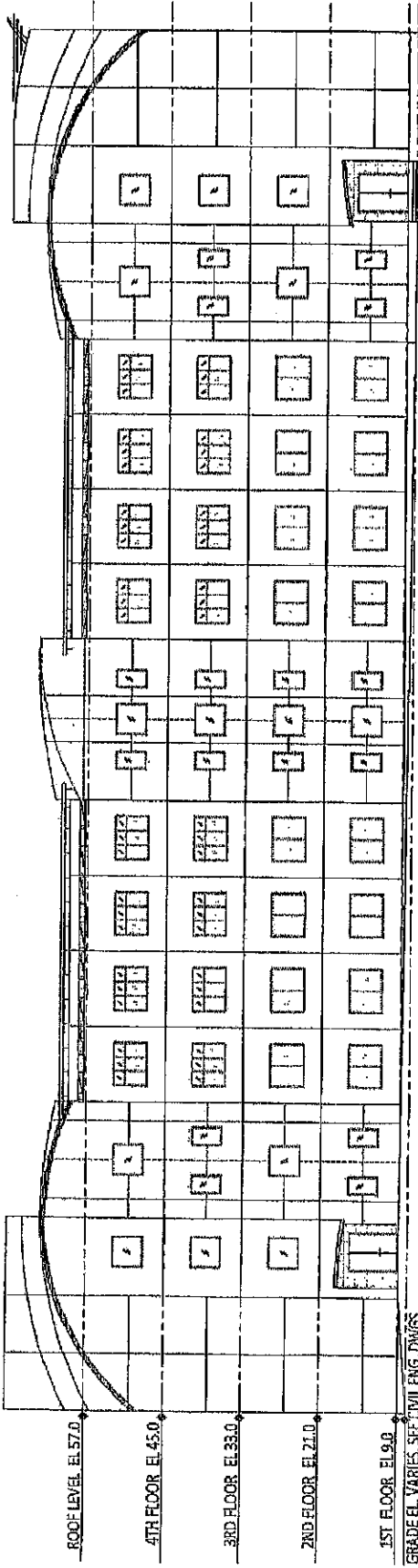
NOT TO SCALE



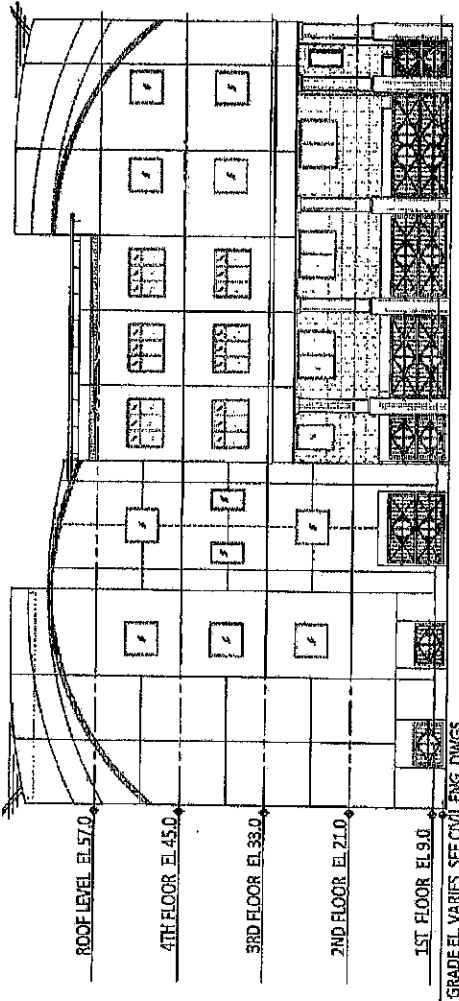
LAI Design Associates, LLC  
 10000 W. 10th Street, Suite 100  
 Denver, CO 80202  
 Phone: 303.733.1100  
 Fax: 303.733.1101  
 www.laidesign.com

CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 1200 W. WILSON STREET  
 HOLLYWOOD, FLORIDA  
 33020-3000

1ST FLOOR PLAN  
 A4.09a



SOUTH ELEVATION



EAST ELEVATION

ROOF LEVEL EL. 57.0  
 4TH FLOOR EL. 45.0  
 3RD FLOOR EL. 33.0  
 2ND FLOOR EL. 21.0  
 1ST FLOOR EL. 9.0  
 GRADE EL. VARIES, SEE CIVIL ENG. DWGS

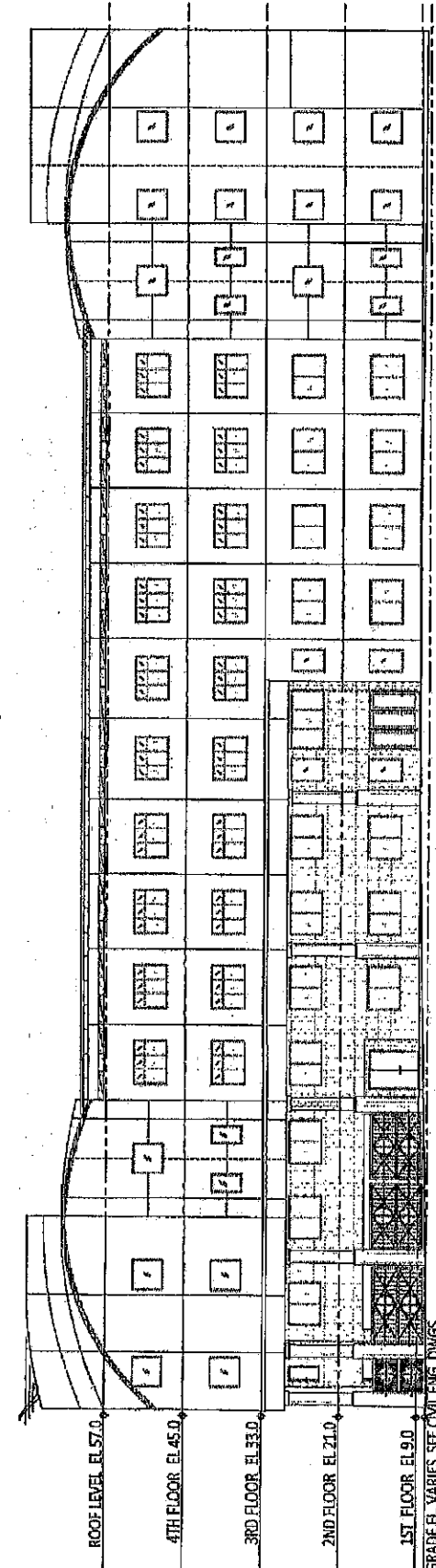
ROOF LEVEL EL. 57.0  
 4TH FLOOR EL. 45.0  
 3RD FLOOR EL. 33.0  
 2ND FLOOR EL. 21.0  
 1ST FLOOR EL. 9.0  
 GRADE EL. VARIES, SEE CIVIL ENG. DWGS

LA Design Associates, LLC  
 10000 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 (310) 277-1000  
 www.ladesign.com

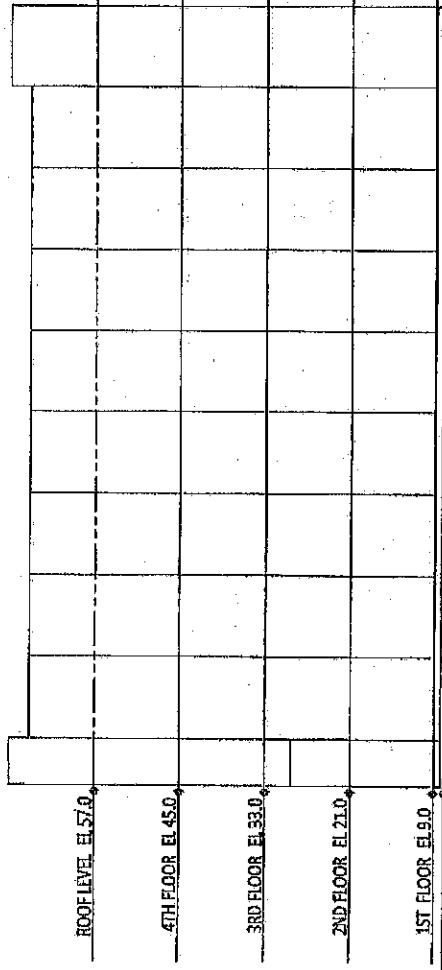
CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 12000 WILSHIRE BLVD., SUITE 1000  
 BEVERLY HILLS, CA 90210  
 (310) 277-1000  
 www.charterschoolsusa.com

1ST FLOOR PLAN  
 DATE: 08/14/12  
 DRAWN BY: J. [unreadable]  
 CHECKED BY: [unreadable]

A4.09b



NORTH ELEVATION



WEST ELEVATION



LEGAL AD  
CITY OF HOLLYWOOD

NOTICE IS HEREBY GIVEN in accordance with Section 166.041 Florida Statutes that the City Commission of the City of Hollywood, Florida, at a Regular City Commission Meeting, on Wednesday, May 4, 2011, in the City Commission Chambers, Room 219, General Joseph W. Watson Circle, Hollywood, Florida, proposes to consider on second and final reading the following proposed ordinance(s):

Proposed Ordinance - PO-2011-08 beginning at: 1:15 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING CHAPTER 90 OF THE CODE OF ORDINANCES ENTITLED "ABANDONED REAL AND PERSONAL PROPERTY" TO AMEND SECTION 90.13 TO REQUIRE MORTGAGEES AND/OR OWNERS TO PLACE NO TRESPASSING SIGNS ON VACANT PROPERTIES.

Proposed Ordinance - PO-2011-09 beginning at: 1:15 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING ARTICLE 5 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS TO CREATE A NEW PLANNING AND DEVELOPMENT BOARD; AMENDING VARIOUS ARTICLES OF THE ZONING AND LAND DEVELOPMENT REGULATIONS TO REFLECT SUCH CHANGES; AND CREATING ARTICLE 6 ENTITLED PLAT APPROVAL AND SITE PLAN PROCEDURES; AND PROVIDING FOR AN EFFECTIVE DATE. (11-T-02)

Proposed Ordinance - PO-2011-10 beginning at: 1:15 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING VARIOUS CHAPTERS AND SECTIONS OF THE CODE OF ORDINANCES TO BE CONSISTENT WITH THE CHANGES IN THE ZONING AND LAND DEVELOPMENT REGULATIONS; REPEALING CHAPTERS 153, 161 AND 162; AND PROVIDING AN EFFECTIVE DATE. (11-T-02a)

Proposed Ordinance - PO-2011-11 beginning at: 2:00 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING AND RESTATING ORDINANCE NO. O-2008-18 (WHICH APPROVED THE ARTSPARK VILLAGE PLANNED DEVELOPMENT) IN ORDER TO BIFURCATE THE PD (HEREINAFTER "ARTSPARK VILLAGE-A" AND "ARTSPARK VILLAGE-B"), IN ACCORDANCE WITH THE REVISED MASTER DEVELOPMENT PLAN AND TO SET FORTH THE DEVELOPMENT REQUIREMENTS FOR EACH RESULTING PARCEL. (11-J-13) (Generally located between S 17<sup>th</sup> Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south, portion of Block 58)

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, General Joseph W. Watson Circle, Hollywood, Florida, between the hours of 8:00 AM and 4:45 PM on any regular working day. Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

NOTE: Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record

includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager five business days in advance at 954-921-3201 (voice). If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD).

Dated this 22nd day of April, 2011.

Patricia A. Cerny, MMC  
City Clerk  
Hollywood, FL

THE SUN SENTINEL/LEGAL AD  
PUBLISH: FRIDAY, April 22, 2011  
FURNISH PROOF OF PUBLICATION

h:\cityclk\ads\legalad\PO-2011-08,09,10,11

PO-2011-11

Passed  
on  
1st Read

4/20/11

PO-2011-11

Passed  
on  
2nd  
Read

5/4/11



RESOLUTION NO R-2008-253

(07-SP-37)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING THE SITE PLAN FOR ARTSPARK VILLAGE PLANNED DEVELOPMENT (APPROVED BY ORDINANCE NO O-2008-18) FOR PROPERTY BOUNDED BY S 17<sup>TH</sup> AVENUE TO THE EAST, FEDERAL HIGHWAY TO THE WEST, HARRISON STREET TO THE NORTH AND VAN BUREN STREET TO THE SOUTH (1740 SOUTH YOUNG CIRCLE), APPROVING AND GRANTING MODIFICATIONS FROM THE OFF-STREET PARKING AND LOADING REQUIREMENTS OF ARTICLE 7 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on July 22, 2008, O-2008-18 was passed and adopted by the City Commission, which approved the rezoning to Planned Development District (PD) and the Master Development Plan, (the "Ordinance") for the project known as "ArtsPark Village," on property generally bounded by S 17th Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south (1740 South Young Circle) with approximately 2.57 net acres/4.08 gross acres (the "Property") as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference, and

WHEREAS, the City of Hollywood Zoning and Land Development Regulations requires that all development projects which are located in a PD District must receive site plan approval, from the City Commission, prior to the issuance of any building permits; and

WHEREAS, an application was filed with the Office of Planning requesting site plan approval for the construction of a mixed use development consisting of 390 residential units, 35,449 sq. ft. ground-floor retail, 52,500 sq. ft office, and 107,845 sq. ft. Charter School, for the Property; and

WHEREAS, the final site plan submitted by the Applicant was reviewed by the Technical Advisory Committee ("TAC"), which recommends the following conditions

- (1) That, prior to the issuance of any building permit, the Applicant shall continue to work with the Downtown District of the Hollywood



Community Redevelopment Agency, and appropriate City staff, to ensure that hardscape, landscape and lighting details are consistent with the Young Circle plan, and

- (2) That the Developer shall submit to the City documentation providing either a unity of title, or other legally binding recorded document, expressly stating that: "The parties hereby agree that the properties are being developed as a planned development which is under unified control and no land within the planned development may be transferred in ownership or in any other way removed from unified control without a written agreement between the City and the parties to which such transfer is made stipulating their understanding and agreement to a condition that such transferred land shall continue, under the full terms and provisions of the planned development approval and site plan." Such documentation shall be provided prior to a Building Permit being issued.

, and

WHEREAS, on December 13, 2007, the Development Review Board ("DRB") passed and adopted Resolution No 07-DV-37, which approved a variance for the waiver of the required 25 ft. landscape setback from all external/internal streets as well as Design Approval with the following conditions

- (1) That the height of the Charter School be restricted to a maximum height of 64 feet to the top of the parapet; and
- (2) That the Design Review approval is subject to any conditions the City Commission may deem necessary while considering the Master Development Plan and Site Plan.

, and

WHEREAS, subsequent to First Reading of the PD Ordinance by the City Commission, the applicant worked with CRA and City staff to address concerns raised at First Reading and the Office of Planning recommends the following conditions:

- (1) The fire escape on the east elevation of the residential tower be enclosed;
- (2) Ensure sidewalks along 17<sup>th</sup> Avenue be a minimum 7' wide, sidewalks along Van Buren Street and Harrison Street be a minimum 10' wide, sidewalks along Young Circle be a minimum 20' wide and sidewalks along Federal Highway be a minimum 20' wide;

- (3) Supports for the overhang on the office building shall be situated to minimize its footprint and maximize unimpeded pedestrian walkways

WHEREAS, Section 4 15 E. 6 of the Zoning and Land Development Regulations sets forth that off-street parking and loading requirements in a Planned Development District shall meet all requirements of Article 7, unless expressly modified by the City Commission; and

WHEREAS, the Applicant has requested that the City Commission approve modifications to the off-street parking and loading requirements of Article 7 as it relates to the number of parking spaces required and required number of loading spaces; and

WHEREAS, the applicant is requesting the following modifications to the off-street parking and loading requirements of Article 7 of the Zoning and Land Development Regulations:

- (1) The amount of required off-street parking shall be reduced from 1,115 parking spaces to 773, unreserved, parking spaces;
- (2) Parking stall dimensions shall be 8'6" x 18' with a 24' backup (except parking stall dimensions next to a wall shall be 10'6" x 19' with a 24' backup),
- (3) The four westernmost columns within the parking garage may be less than 3' from the entrance of adjacent parking stall/spaces;
- (4) The required number of loading spaces is reduced from twelve to seven loading spaces; and
- (5) Prior to the issuance of a Building Permit, the applicant shall submit to the City a copy of language, acceptable to the City Attorney, to be included in all future lease documents (or subsequent sale documents), advising of the unreserved parking conditions;

, and

WHEREAS, the City Commission has reviewed the proposed site plan for the project and has determined the site plan should be approved with the aforementioned conditions,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA.

**Section 1** That it hereby approves The ArtsPark Village Planned Development Site Plan attached hereto, and incorporated herein by reference as Exhibit "B," with the following conditions.

- (1) The fire escape on the east elevation of the residential tower be enclosed;
- (2) Ensure sidewalks along 17<sup>th</sup> Avenue be a minimum 7' wide, sidewalks along Van Buren Street and Harrison Street be a minimum 10' wide, sidewalks along Young Circle be a minimum 20' wide and sidewalks along Federal Highway be a minimum 20' wide,
- (3) Supports for the overhang on the office building shall be situated to minimize its footprint and maximize unimpeded pedestrian walkways.
- (4) That the Applicant shall continue to work with the Downtown District of the Hollywood Community Redevelopment Agency, and appropriate City staff, to ensure that hardscape, landscape and lighting details are consistent with the Young Circle plan, and
- (5) That the Developer shall submit to the City documentation providing either a unity of title, or other legally binding recorded document, expressly stating that: "The parties hereby agree that the properties are being developed as a planned development which is under unified control and no land within the planned development may be transferred in ownership or in any other way removed from unified control without a written agreement between the City and the parties to which such transfer is made stipulating their understanding and agreement to a condition that such transferred land shall continue, under the full terms and provisions of the planned development approval and site plan" Such documentation shall be provided prior to a Building Permit being issued.

**Section 2:** That the off-street parking and loading requirements of Article 7 of the Zoning and Land Development Regulations are hereby modified as they relate to the parking garage as follows:

- (1) The amount of required off-street parking shall be reduced from 1,115 parking spaces to 773, unreserved, parking spaces,


- (2) Parking stall dimensions shall be 8'6" x 18' with a 24' backup (except parking stall dimensions next to a wall shall be 10'6" x 19' with a 24' backup),
- (3) The four westernmost columns within the parking garage may be less than 3' from the entrance of adjacent parking stall/spaces;
- (4) The required number of loading spaces is reduced from twelve to seven loading spaces;
- (5) Prior to the issuance of a Building Permit, the applicant shall submit to the City a copy of language, acceptable to the City Attorney, to be included in all future lease documents (or subsequent sale documents), advising of the unreserved parking conditions, and
- (6) Any future revision to the site plan that does not include at least 773 unreserved parking spaces shall be considered a major modification to this approval

Section 4 That this resolution shall be in full force and effective immediately upon its passage and adoption.

PASSED AND ADOPTED this 22 day of July, 2008

RENDERED this 29 day of July, 2008

  
\_\_\_\_\_  
PETER BOBER, MAYOR

ATTEST  
  
\_\_\_\_\_  
PATRICIA A. CERNY, MMC,  
CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only

  
\_\_\_\_\_  
JEFFREY P. SHEFFEL, CITY ATTORNEY

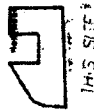
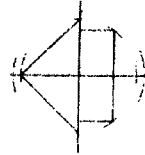
# ALTA/ACSM LAND TITLE SURVEY

NET AREA = 12 291 SQ FT / 2 5781 ACRES

CROSS AREA = 178 143 SQ FT / 4 0896 ACRES

## EXHIBIT A

NO.	DESCRIPTION	DATE	BY	REVISIONS
1	PRELIMINARY SURVEY	11/17/01	WSJ	
2	FINAL SURVEY	11/17/01	WSJ	
3	REVISIONS	11/17/01	WSJ	
4	REVISIONS	11/17/01	WSJ	
5	REVISIONS	11/17/01	WSJ	
6	REVISIONS	11/17/01	WSJ	
7	REVISIONS	11/17/01	WSJ	
8	REVISIONS	11/17/01	WSJ	
9	REVISIONS	11/17/01	WSJ	
10	REVISIONS	11/17/01	WSJ	



MAP TO

C - SINS SURVEYORS & ASSOCIATES INC  
 # 5-48  
 OF

PRC NUMBER 54 B-0-1  
 CLIENT WSJ DEVELOPER

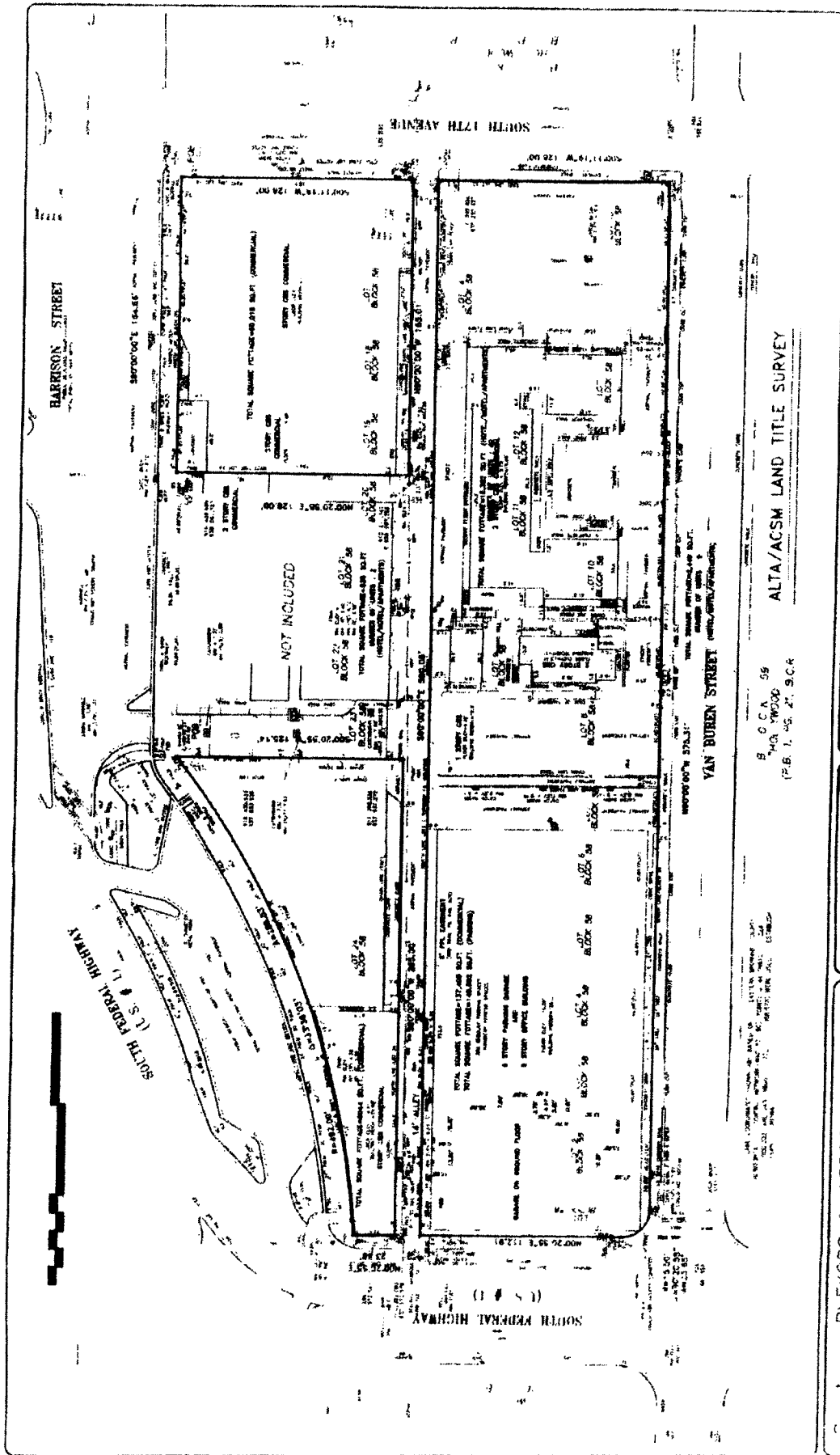
REVISIONS PER CITY  
 REVISED PER NEW & REPORT

DIVISIONS  
 DATE FEB 2 2001  
 CITY AV  
 COUNTY AV

COMBIN. NUMBER  
 NAME, AREA  
 ZONE  
 BASE F  
 COUNTY AS







**ALTA/ACSM LAND TITLE SURVEY**

B. C. A. 99  
 HQ. 170006  
 (P.B. 1, 05, 21, S.C.R.)

**Plot SURVEYORS & ASSOCIATES INC**

PROJECT NUMBER 5418-04

REVISIONS PER CITY: 10  
 ADDED STATE PLANNING DEPARTMENT: 05, 16  
 REVISIONS PER N.O. & T. REPORT: 10

CLIENT	W. D. ELLIOTT
COMP. NO.	170006
PLAN. NO.	170006
DATE	05, 16

DATE	11
NO. OF SHEETS	4
NO. OF PAGES	4
NO. OF LOTS	10

# EXHIBIT B

CITY COMMISSION MEETING  
JULY 15, 2008

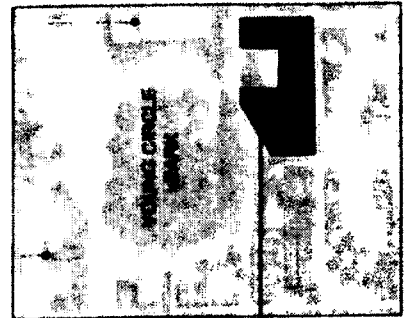
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1-100 SITE PLAN	1-100 SITE PLAN

# Arts Park Village at Young Circle

OWNER  
WORLD DEVELOPMENT  
400 ARTS PARK DRIVE  
PORT LAUDERDALE, FL 33054

ARCHITECTS  
KIM HARRIS ARCHITECTURE, STEPHEN GORDON, INC.  
301 S. W. 10TH AVENUE, SUITE 200  
MIAMI BEACH, FL 33139

CALVIN GIORDANO & ASSOCIATES  
1000 E. BAYVIEW BLVD., SUITE 200  
PORT LAUDERDALE, FL 33054



RADIUS PROJECT

SITE LOCATION

0715

Arts Park Village at Young Circle

COVER

0


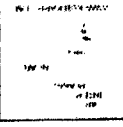
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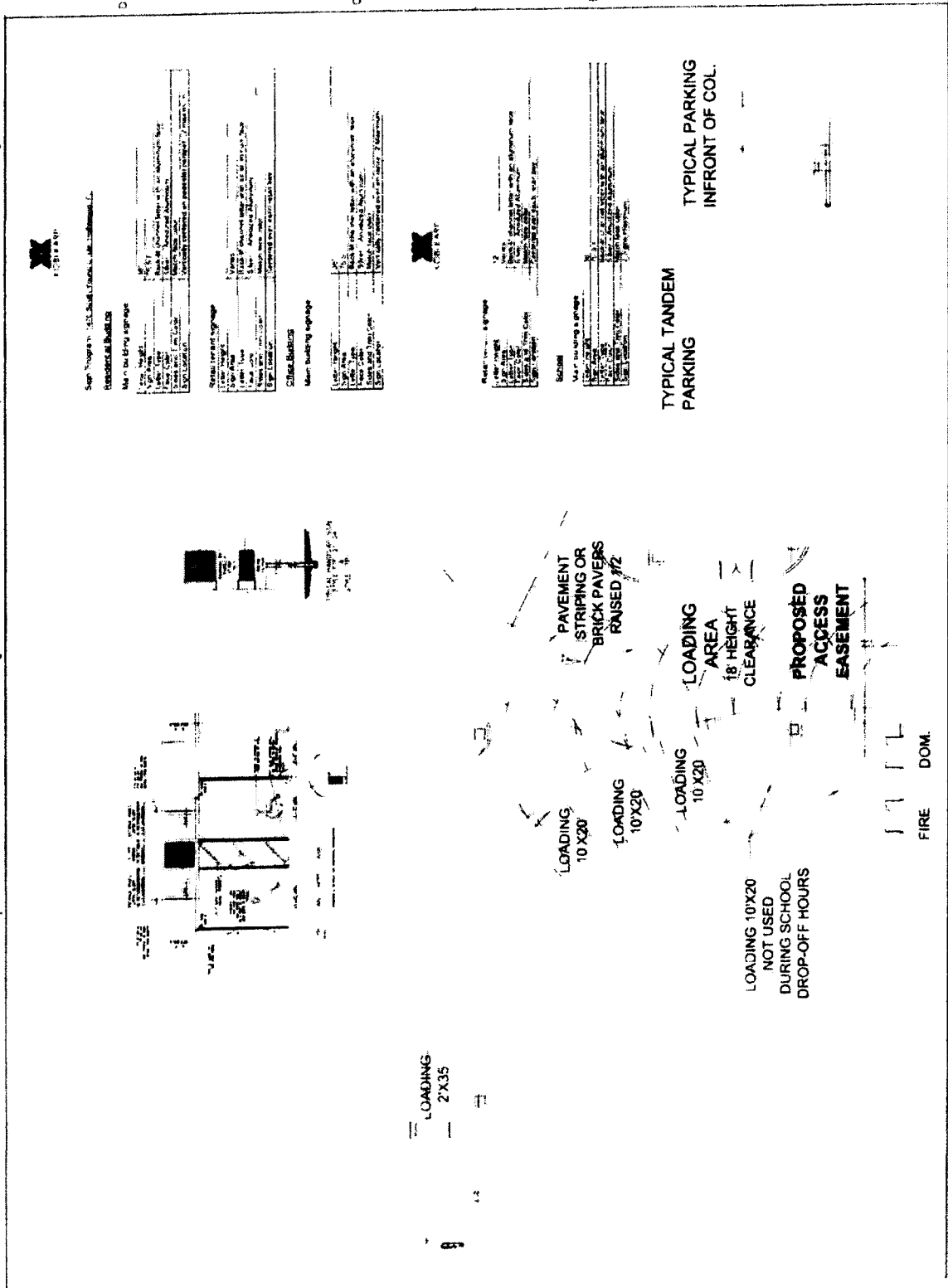
2

3

4



	<b>A101</b>		MS DEVELOPMENT 11000 N. 110th St. Omaha, NE 68148	<b>0715</b>	<b>PARKING DETAILS</b>	<b>Arts Park Village At Young Circle</b>
					REVISIONS	



Site: 0715  
 Project: Arts Park Village At Young Circle  
 Date: 7/8/2008  
 Author: [Name]  
 Title: [Title]

NO.	DESCRIPTION	DATE
1	Initial Design	7/8/2008
2	Revised Design	7/15/2008
3	Final Design	7/22/2008

LOADING  
 10' X 20'

LOADING 10' X 20'

LOADING 10' X 20'

LOADING 10' X 20'

LOADING 10' X 20'

LOADING 10' X 20'

LOADING AREA  
 18' HEIGHT  
 CLEARANCE

PROPOSED  
 ACCESS  
 EASEMENT

LOADING 10' X 20'  
 NOT USED  
 DURING SCHOOL  
 DROP-OFF HOURS


FIRE  
 DOM.

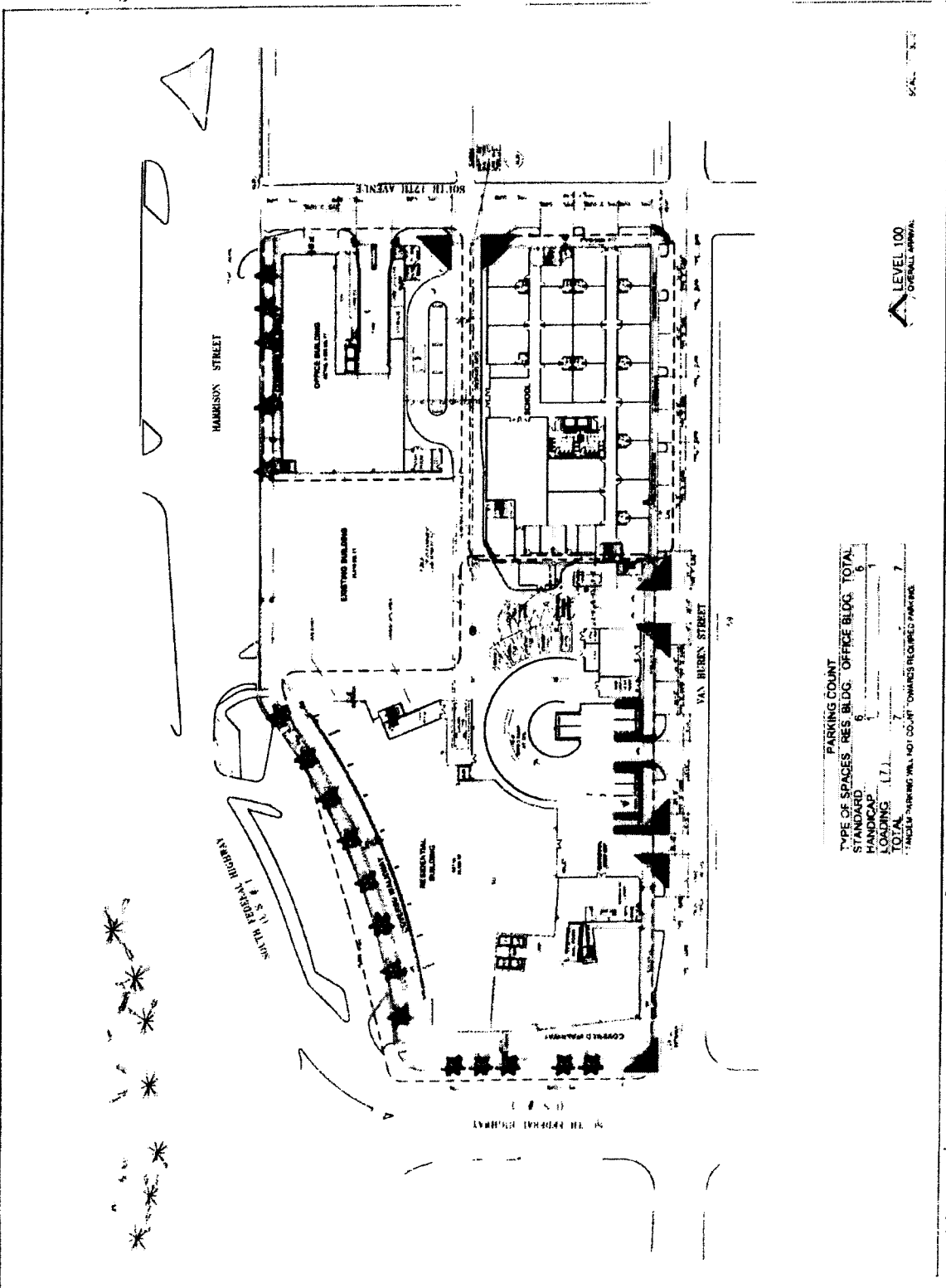
TYPICAL TANDEM  
 PARKING

TYPICAL PARKING  
 INFRONT OF COL.





	PROJECT NO. 0715 DATE 07/15/08 DRAWN BY [Name] CHECKED BY [Name]	LEVEL 100 Arts Park Village At Young Circle	SCALE: 1/8" = 1'-0" SHEET NO. A2.01 TOTAL SHEETS 10
	PROJECT NAME: Arts Park Village At Young Circle PROJECT LOCATION: [Address] PROJECT OWNER: [Name]	DESIGNER: [Name] ARCHITECT: [Name]	DATE: 07/15/08 DRAWING NO.: A2.01







0715

ARTS PARK VILLAGE AT YOUNG CIRCLE

LEVEL 500 THRU 600

WOODRIVE CONSULTANTS

ARCHITECTS

1000 WEST 10TH AVENUE

DENVER, CO 80202

TEL: 303.733.1100

FAX: 303.733.1101

WWW.WOODRIVECONSULTANTS.COM

LEVEL 500 THRU 600

ARTS PARK VILLAGE AT YOUNG CIRCLE

WOODRIVE CONSULTANTS

ARCHITECTS

1000 WEST 10TH AVENUE

DENVER, CO 80202

TEL: 303.733.1100

FAX: 303.733.1101

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WOODRIVE CONSULTANTS

ARCHITECTS

1000 WEST 10TH AVENUE

DENVER, CO 80202

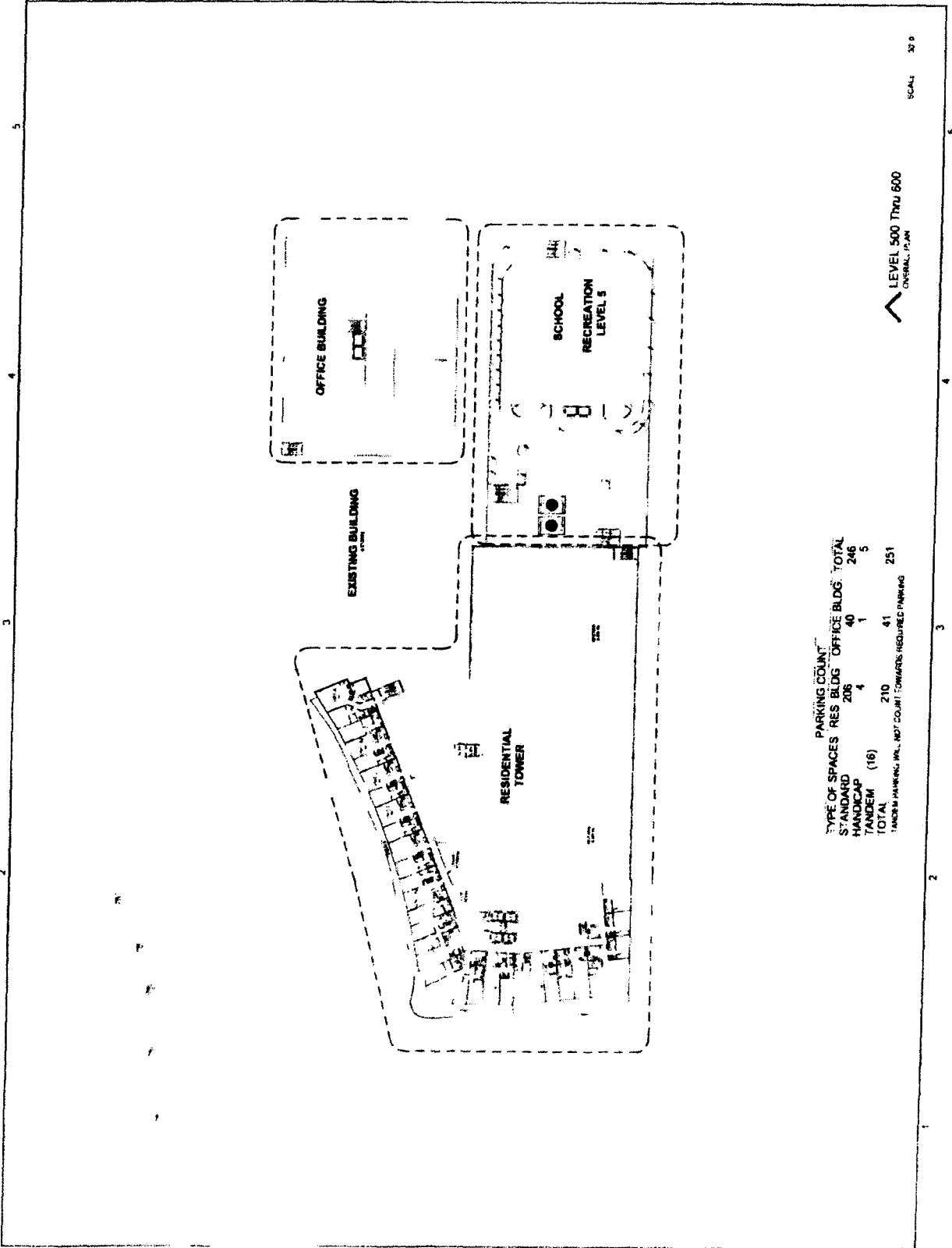
TEL: 303.733.1100

FAX: 303.733.1101

WWW.WOODRIVECONSULTANTS.COM



A2 04



PARKING COUNT

TYPE OF SPACES	RES BLDG	OFFICE BLDG	TOTAL
STANDARD	208	40	248
HANDICAP	4	1	5
TANDEM (16)	210	41	251
TOTAL			251

TANDEM PARKING WILL NOT COUNT TOWARDS REQUIRED PARKING

LEVEL 500 Thru 600

CENTRAL PLAN

SCALE: 3/8" = 1'-0"



0715

LEVEL 700

Arts Park Village At Young Circle

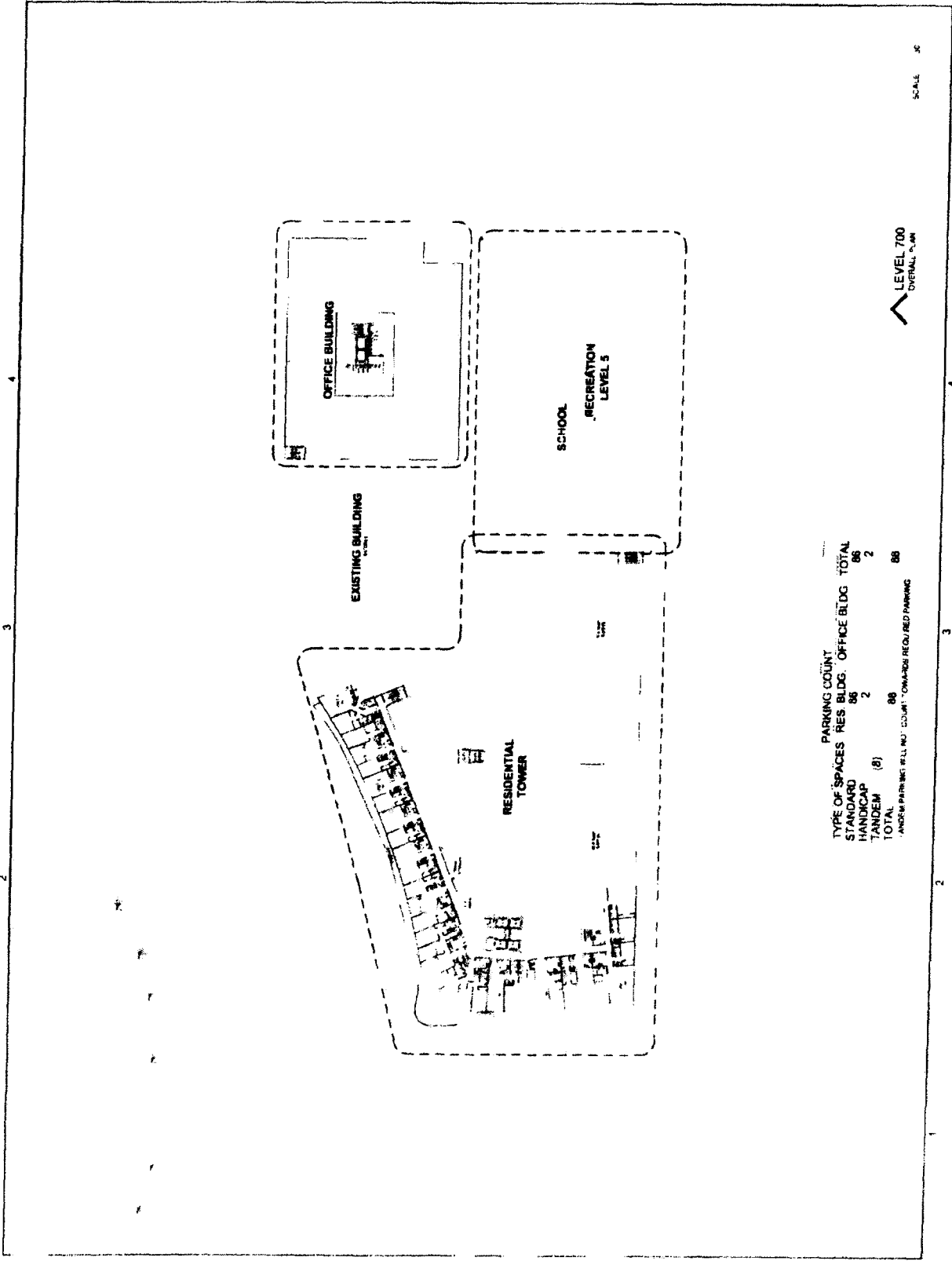
WSD OFR, OFR, N

WWW.KENKOR.COM

ARTS PARK VILLAGE AT YOUNG CIRCLE



A2.05

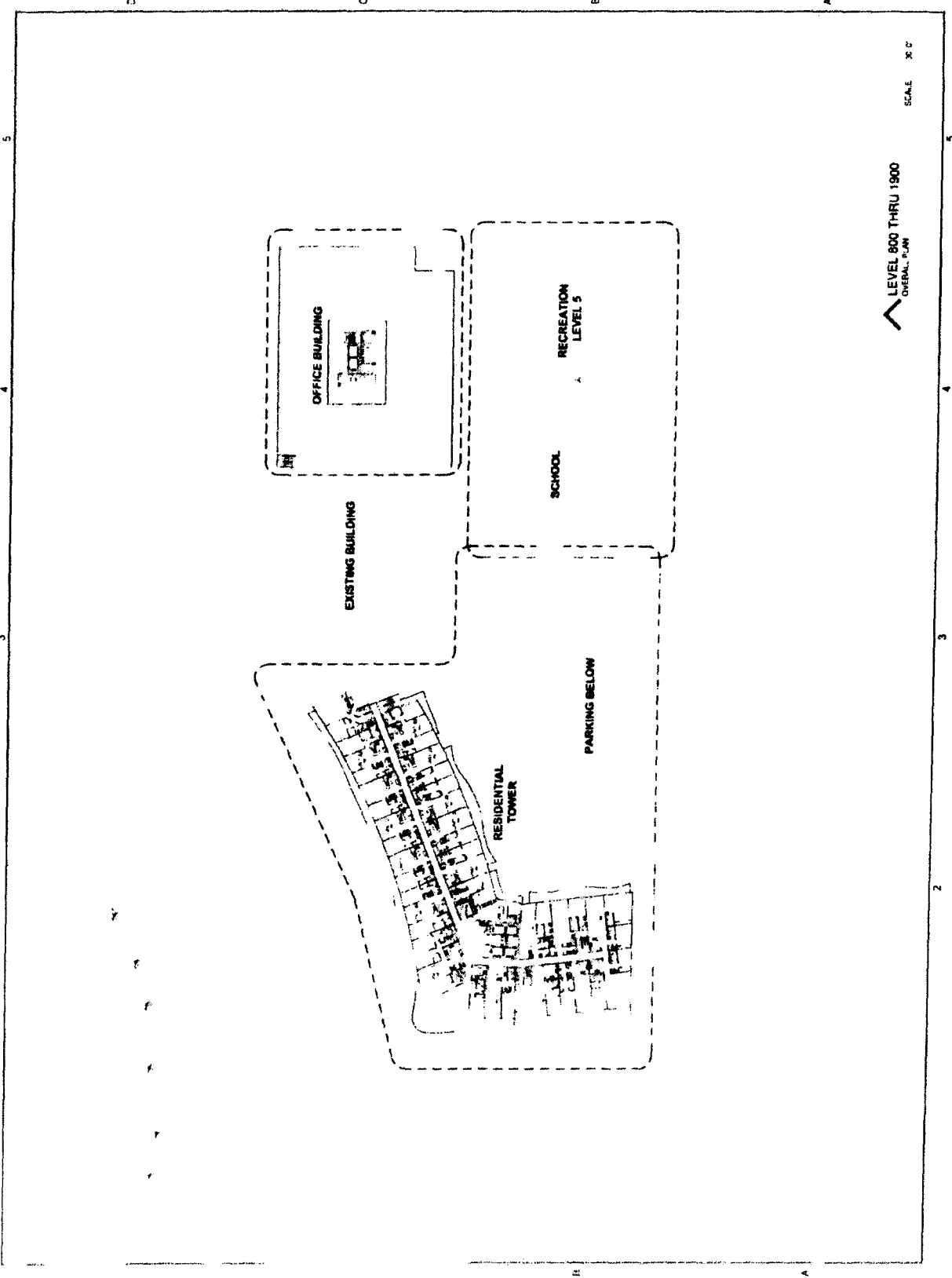


LEVEL 700 OVERALL PLAN

TYPE OF SPACES	RES. BLDG.	OFFICE BLDG.	TOTAL
STANDARD	86	0	86
HANDICAP	2	0	2
TANDEM	0	0	0
TOTAL	88	0	88

ANDERSON PARKING FULL NO. COUNT - OWNERS REQUIRED PARKING

SCALE 1/8" = 1'-0"



LEVEL 800 THRU 1900  
OVERALL PLAN

SCALE X 0

A2.06



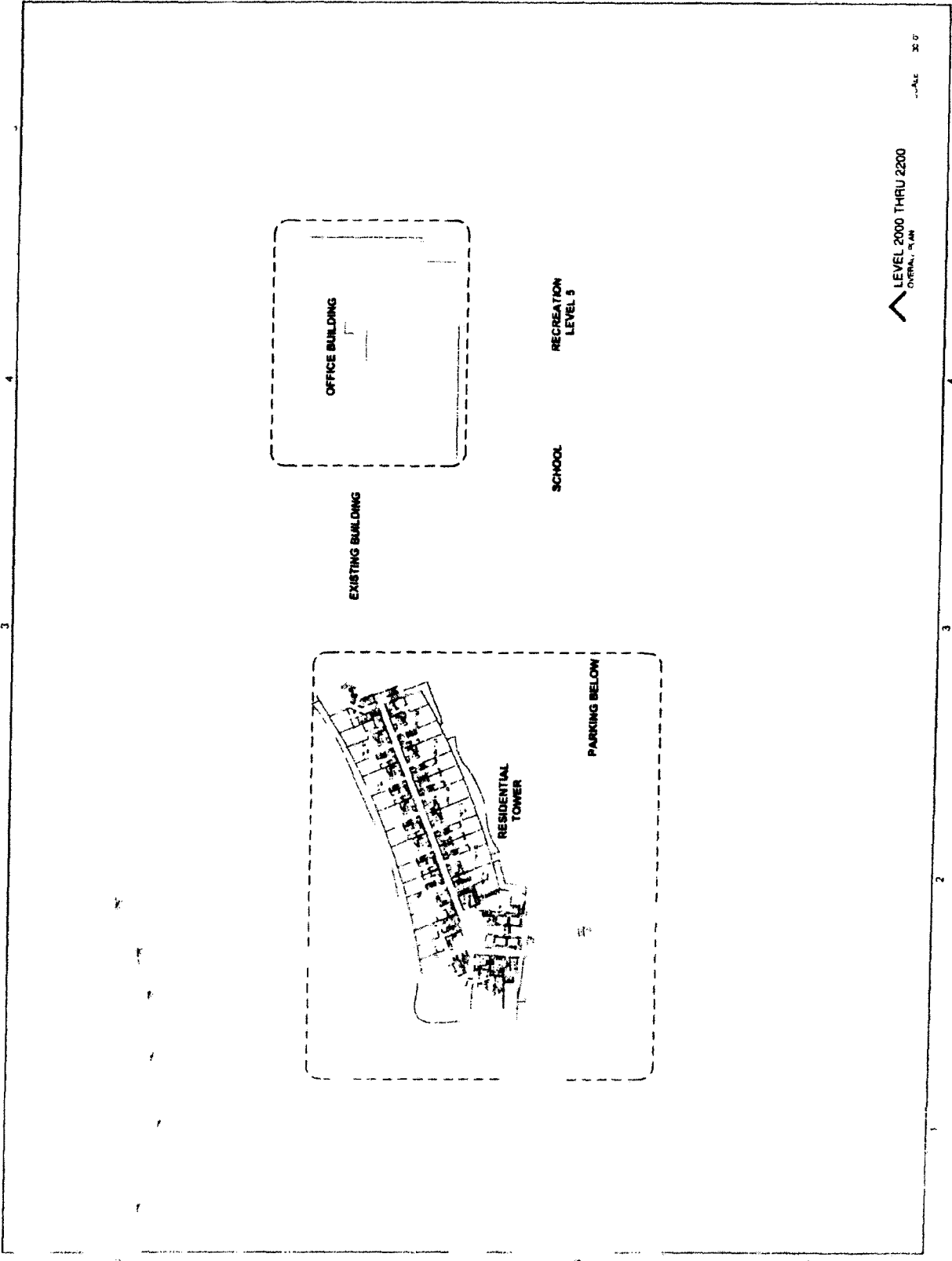
ARCHITECT  
PLANNING  
INTERIOR DESIGN  
Landscape Architecture  
ARTS AND CRAFTS  
DESIGN  
GENERAL CONTRACTOR

WSCOTT & PARTNERS  
ARCHITECTS  
P.C.

1000 W. WASHINGTON  
SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.WSCOTT.COM

Arts Park Village At Young Circle  
PROJECT NO. 0715  
DATE: 07/15

REVISIONS SUBMISSION  
NO. 0715  
DATE: 07/15  
BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]



PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 SHEET: A2.07  
 DATE: 07/15

LEVEL 2000 2200  
 Arts Park Village At Young Circle

WSO EXHIBIT COMMENT

DATE: 07/15

PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 SHEET: A2.07



A2.07

PROJECT: SUMMIT BEACH  
SHEET NO. 0715

0715

Arts Park Village At Young Circle  
ROOF LEVEL

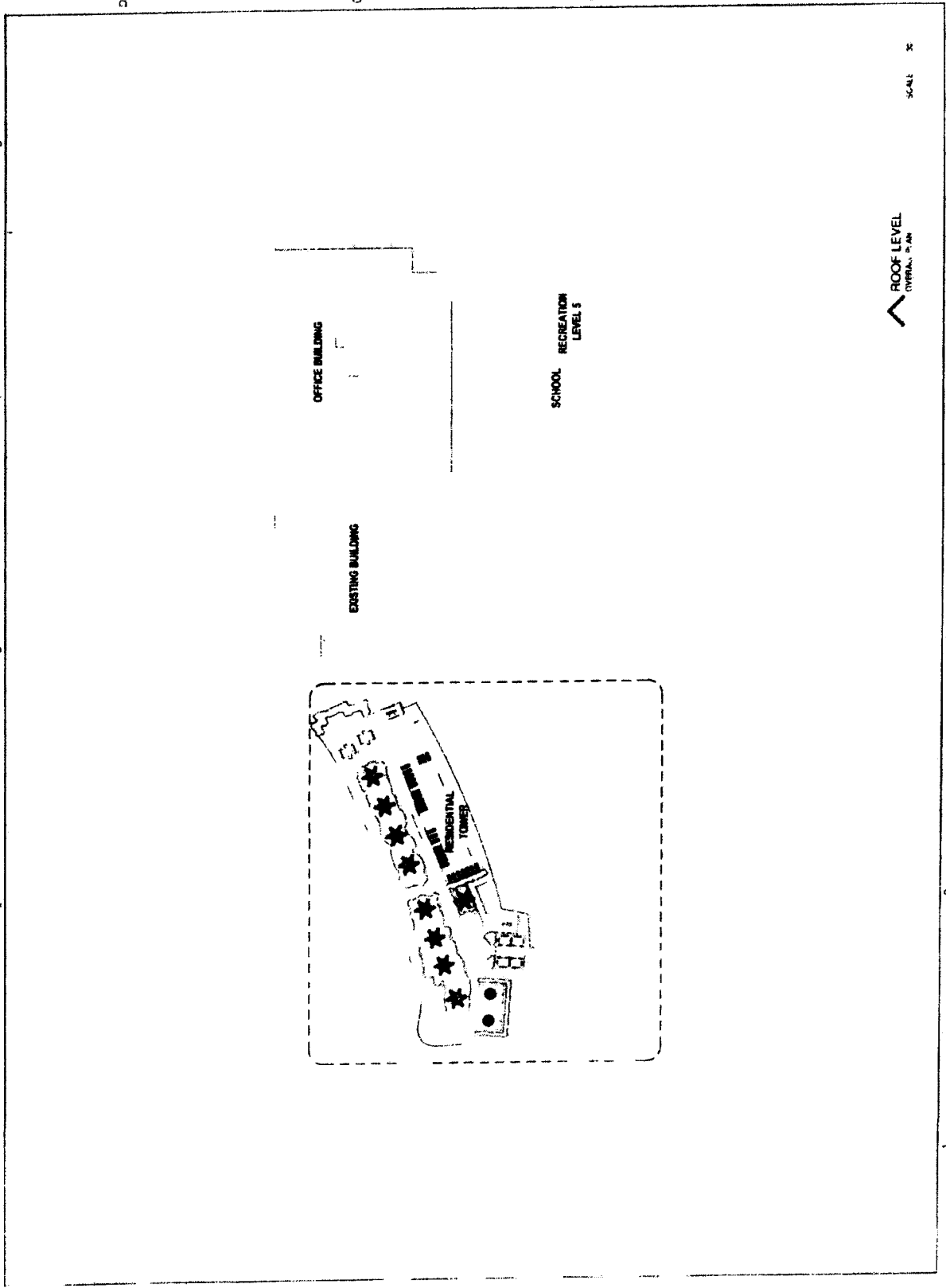
WISCONSIN COUNTY

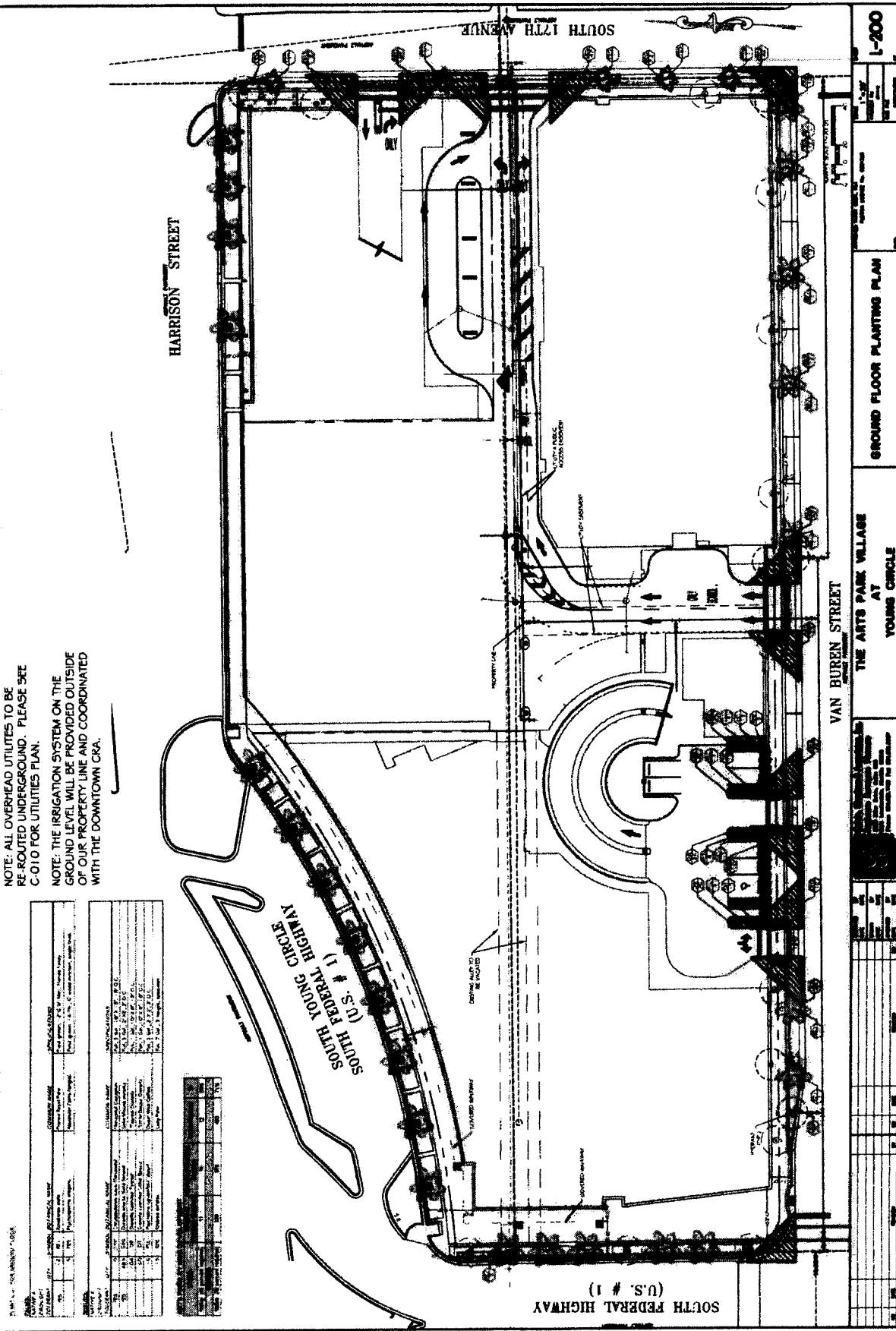
DATE: 11/15/08

SCALE: 1/8" = 1'-0"



A2 08





NOTE: ALL OVERHEAD UTILITIES TO BE RE-ROUTED UNDERGROUND. PLEASE SEE C-010 FOR UTILITIES PLAN.

NOTE: THE IRRIGATION SYSTEM ON THE GROUND LEVEL WILL BE PROVIDED OUTSIDE OF OUR PROPERTY LINE AND COORDINATED WITH THE DOWNTOWN CRA.

PROJECT INFORMATION	
PROJECT NAME	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
OWNER	...
ARCHITECT	...
DATE	...

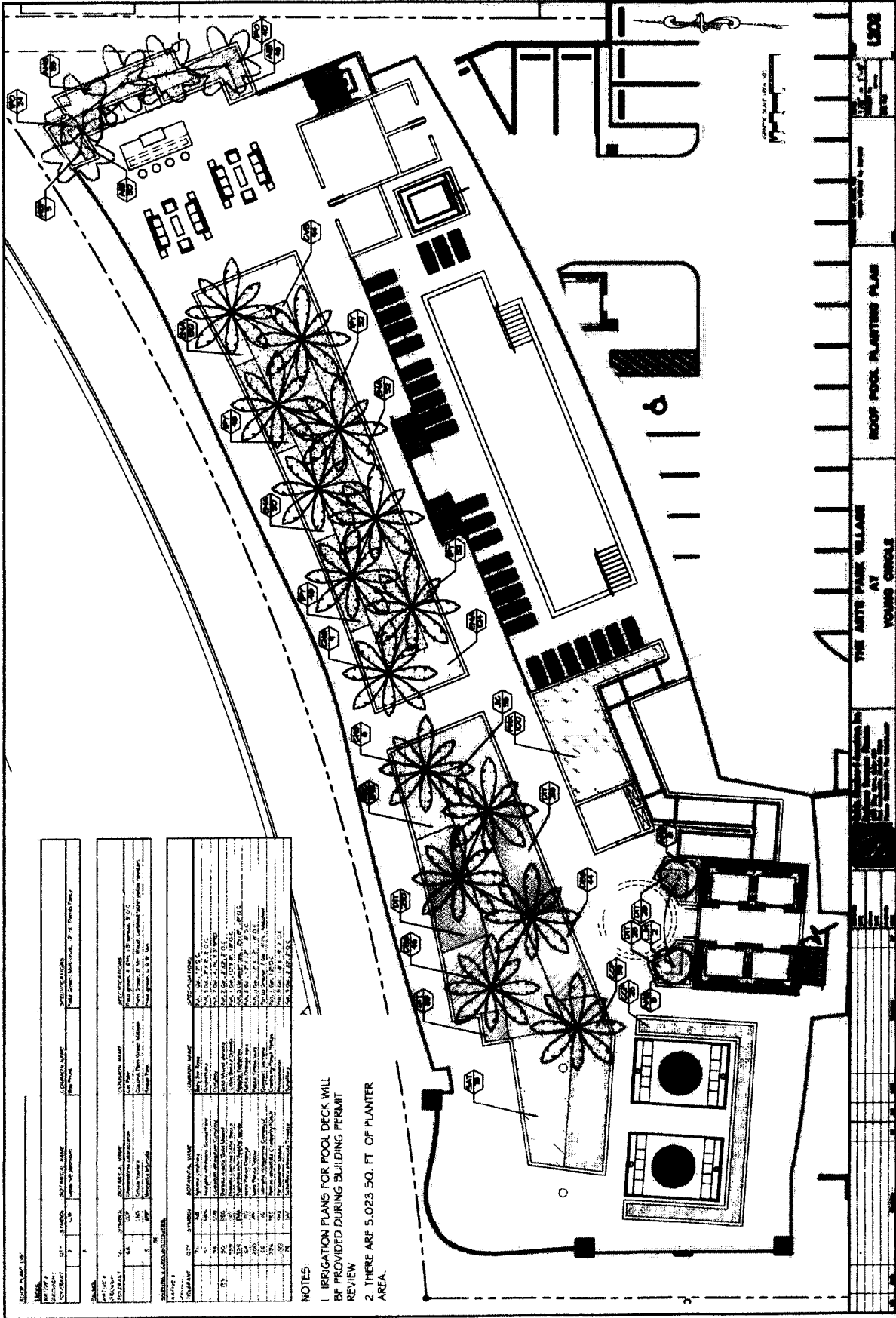
  

REVISIONS	
NO.	DESCRIPTION
1	...
2	...
3	...

<p>THE ARTS PARK VILLAGE AT YOUNG CIRCLE</p> <p>GROUND FLOOR PLANTING PLAN</p>	
<p>SCALE: 1" = 20'</p>	<p>DATE: ...</p>
<p>PROJECT NO. ...</p>	







PROJECT INFORMATION	
PROJECT NO.	101
DATE	10/1/01
PROJECT NAME	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
OWNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
DESIGNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
SCALE	AS SHOWN
DATE	10/1/01
PROJECT NO.	101
DATE	10/1/01
PROJECT NAME	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
OWNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
DESIGNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
SCALE	AS SHOWN
DATE	10/1/01
PROJECT NO.	101
DATE	10/1/01
PROJECT NAME	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
OWNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
DESIGNER	THE ARTS PARK VILLAGE AT YOUNG CIRCLE
SCALE	AS SHOWN
DATE	10/1/01

NOTES:  
 1. IRRIGATION PLANS FOR POOL DECK WILL BE PROVIDED DURING BUILDING PERMIT REVIEW  
 2. THERE ARE 5,023 SQ. FT. OF PLANTER AREA.

THE ARTS PARK VILLAGE AT YOUNG CIRCLE  
 ROOF POOL PLANTING PLAN  
 L502

0715  
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Arts Park Village At Young Circle  
NORTH ELEVATION

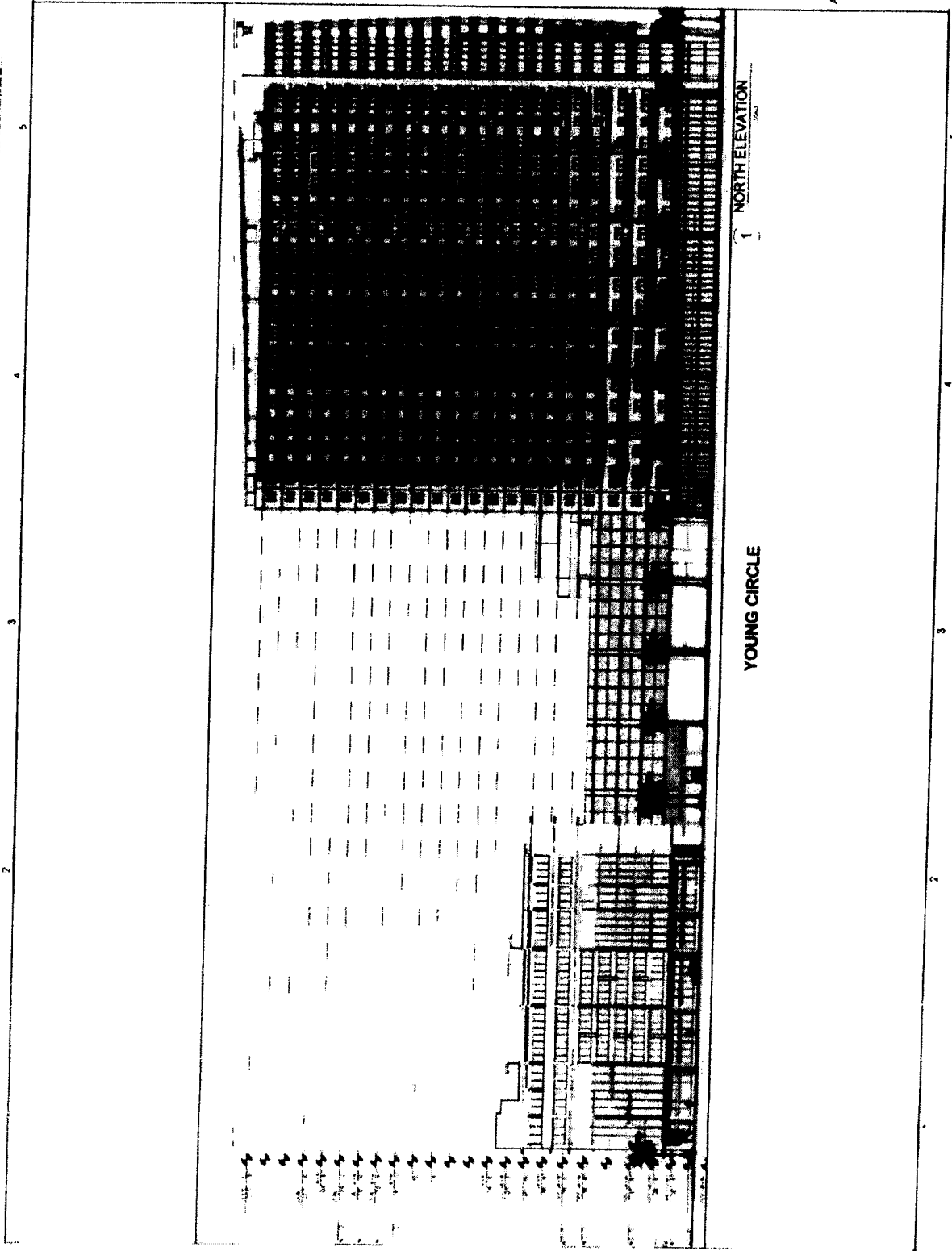
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ARCHITECT  
1110



A4 00



0715

Arts Park Village At Young Circle  
BLOCK ELEVATION

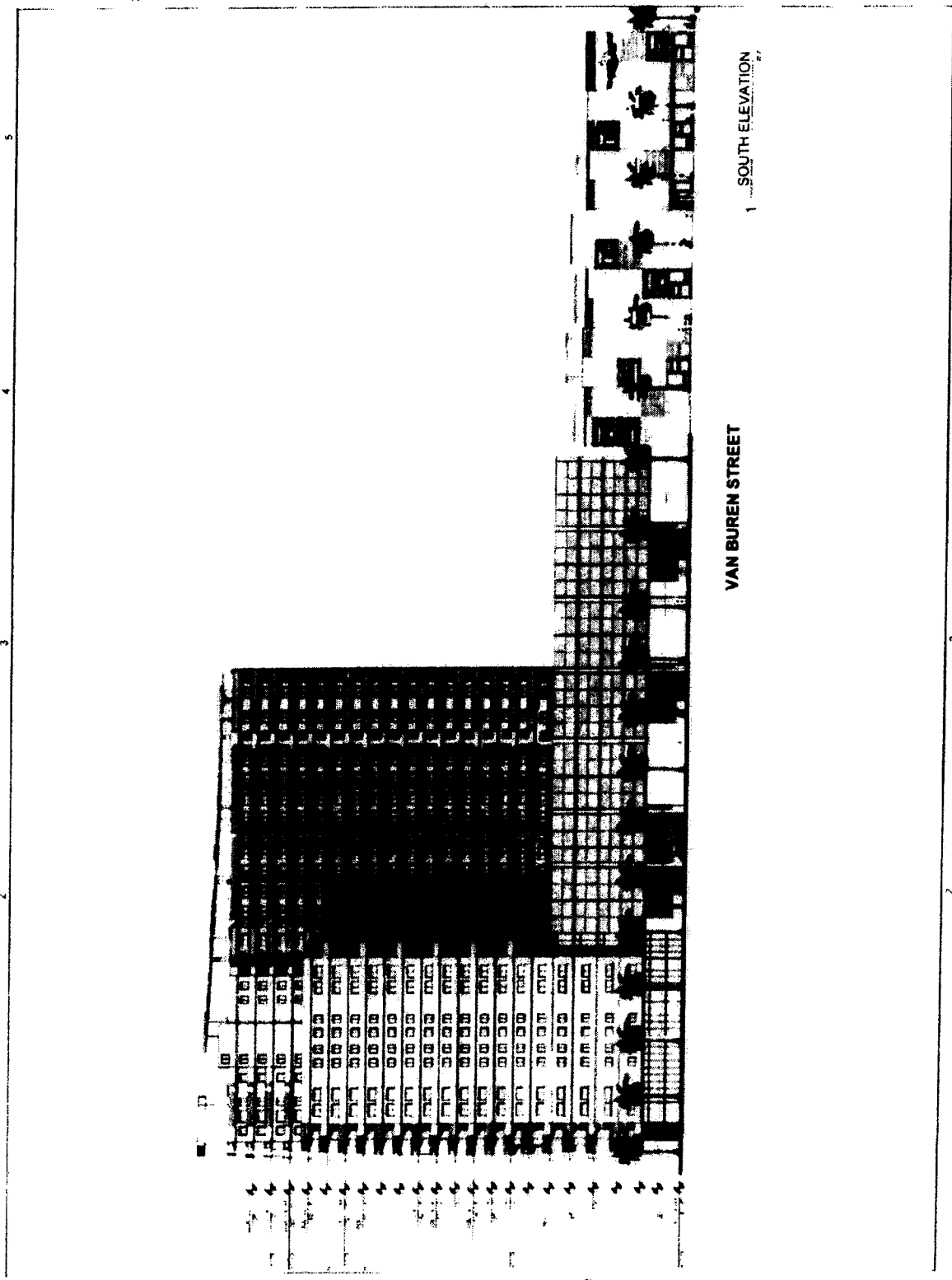
Arts Park Village At Young Circle  
BLOCK ELEVATION

Arts Park Village At Young Circle  
BLOCK ELEVATION

Arts Park Village At Young Circle  
BLOCK ELEVATION



A4 01



VAN BUREN STREET

SOUTH ELEVATION





REVISIONS

NO.	DATE	DESCRIPTION
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2		
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4		
5		

0715

**Ans Park Village At Young Circle**  
 OFFICE ELEVATION

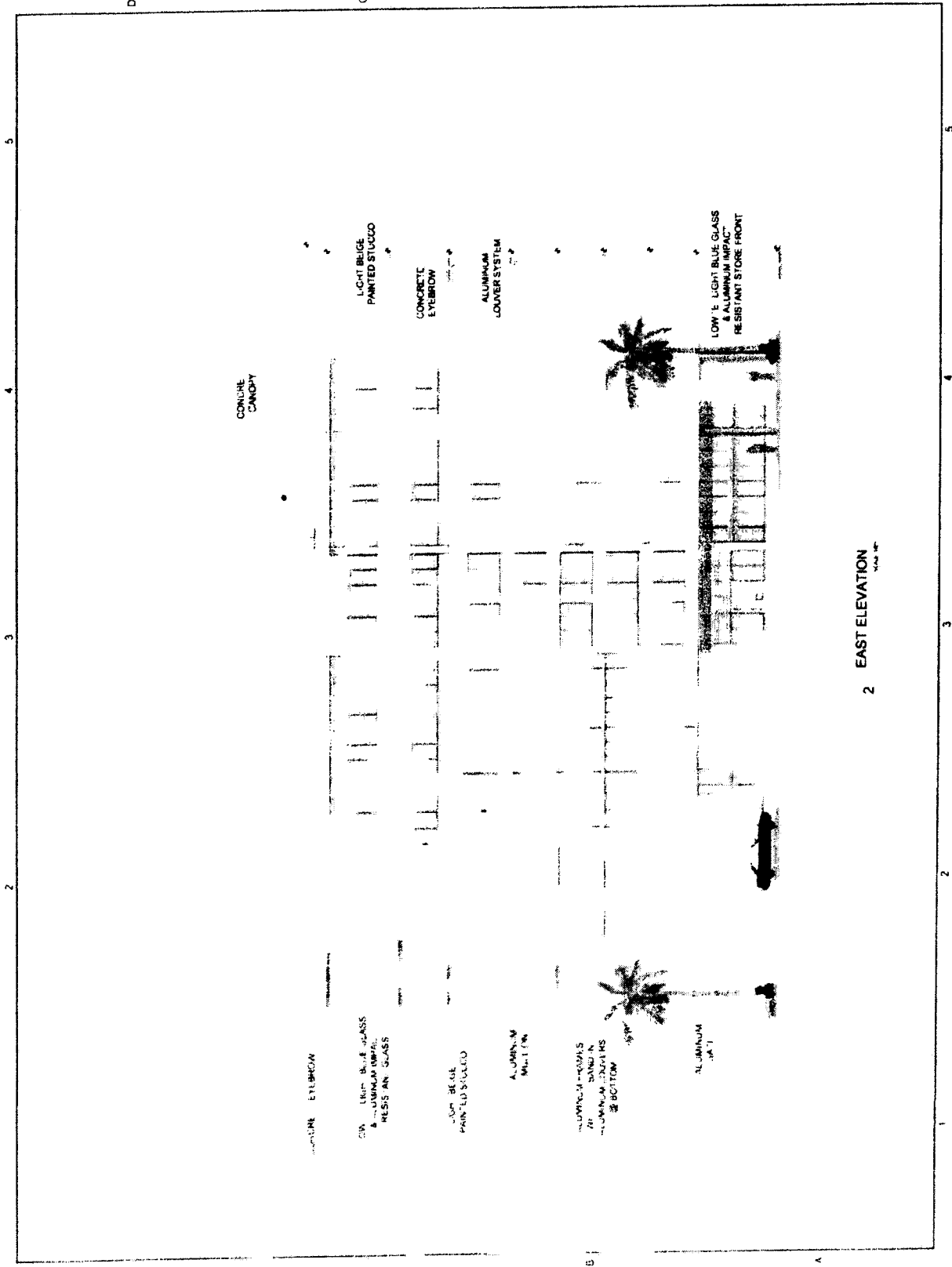
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 DATE: [REDACTED]

SCALE: [REDACTED]

PROJECT: [REDACTED]  
 SHEET: [REDACTED]



**A4 08**



**2 EAST ELEVATION**



PROJECT: A4 09  
 SHEET: 0715  
 DATE: 07/15  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

0715

ARTS Park Village At Young Circle  
 SCHOOL ELEVATION

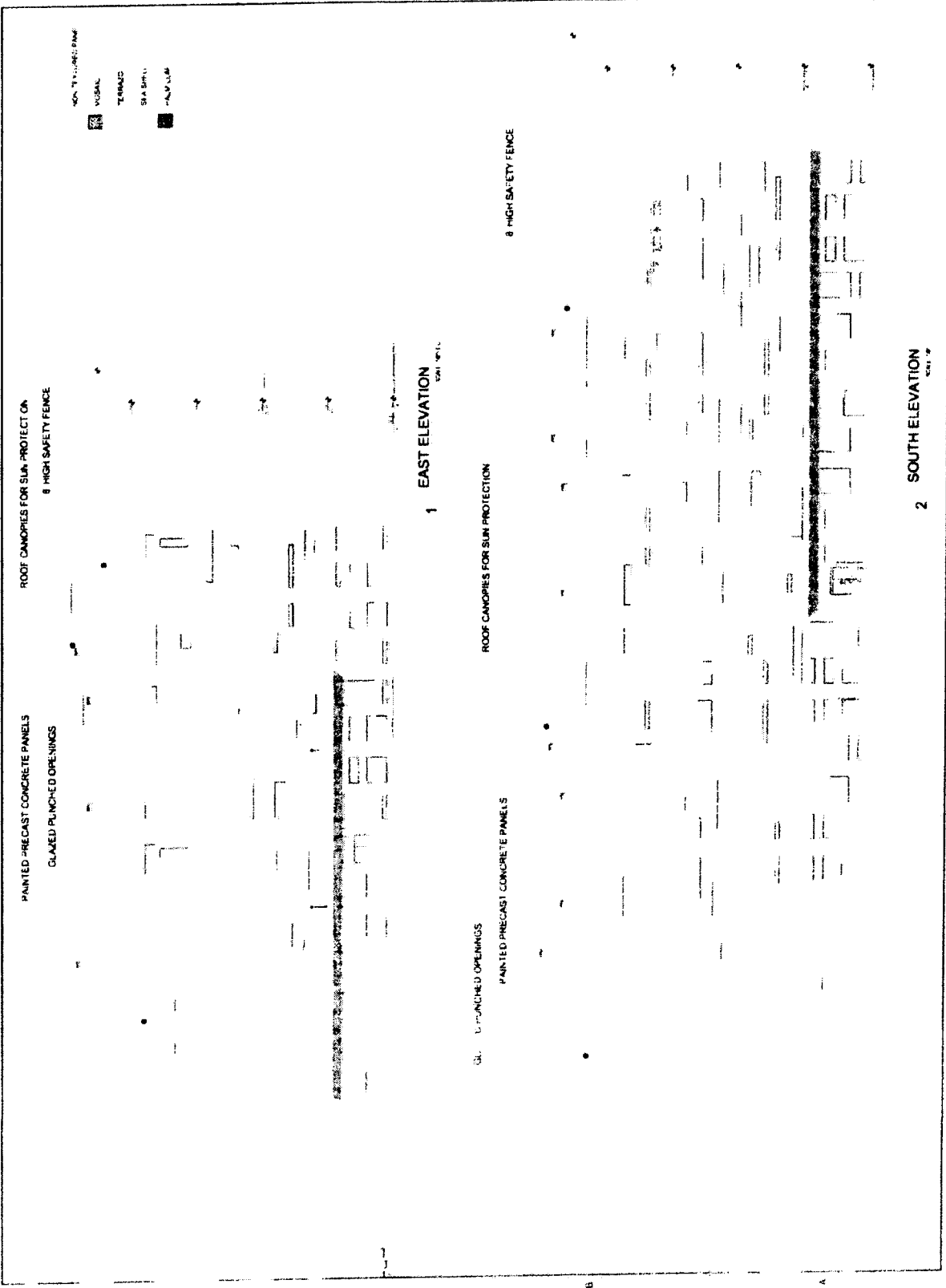
W.S. PRYETT ENGINEERING  
 ARCHITECTS

ARCHITECTS  
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 ...

ARCHITECTS  
 1000 N. ...  
 ...



A4 09



1 EAST ELEVATION

2 SOUTH ELEVATION

PAINTED PRECAST CONCRETE PANELS  
 GLAZED PUNCHED OPENINGS

PAINTED PRECAST CONCRETE PANELS  
 ROOF CANOPIES FOR SUN PROTECTION

- NON-TYPED OPENING
- MUSICAL
- TERRACE
- SEA BENCH
- PLANTER

RESOLUTION NO R-2009-211

(07-DP-37a)

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING MODIFICATIONS TO A PREVIOUSLY APPROVED SITE PLAN FOR ARTSPARK VILLAGE (WSG) PLANNED DEVELOPMENT (APPROVED BY RESOLUTION NO R-2008-253).**

**WHEREAS, the City of Hollywood Zoning and Land Development Regulations require that all development projects that are located in a Planned Development District (PD) must receive Site Plan approval from the City Commission prior to the issuance of any Building Permits; and**

**WHEREAS, on July 22, 2008, the City Commission passed and adopted Resolution R-2008-253 approving a Site Plan for the property generally bounded by S 17th Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south (1740 South Young Circle) with approximately 2.57 net acres/4 08 gross acres as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference; and**

**WHEREAS, an application was filed with the Office of Planning requesting Site Plan Modifications to the original Site Plan approved for construction of a mixed use development consisting of 390 residential units, 35,449 sq. ft. ground-floor retail, 52,500 sq. ft office, and 107,845 sq. ft. Charter School, for the property generally located at 1740 South Young Circle, Hollywood, Florida, for the project known as (WSG), as more specifically described in Exhibit "B" attached hereto and incorporated herein by reference, and**

**WHEREAS, Red Apple Hollywood LLC, herein as (the "Applicant") has submitted modifications to Site Plan to include changes to the elevations and roof landscaping materials, incorporation of a first floor semi-enclosed playground, and amending the Phasing Plan to construct the Charter School in Phase 1a, the residential building in Phase 1b and the office building in Phase 2 as shown on Exhibit "B", and**

**WHEREAS, the Applicant has indicated that the proposed modifications will not change the approved height, number of residential units or traffic flow in and out of the site; and**

WHEREAS, the Applicant shall submit, in a form acceptable to the City Attorney, a public access easement for the alley and an alternative parking plan to ensure parking is providing during construction in the event the Bread building is demolished; and

WHEREAS, Staff has reviewed the proposed modifications to the Site Plan for the ArtsPark Village development and is recommending approval, and

WHEREAS, this Resolution will become effective once an alternative parking plan to ensure parking is providing during construction is submitted in a form acceptable to the City Attorney, and is fully executed; and

WHEREAS, the City Commission has reviewed the proposed modifications to the Site Plan for the development and has determined that the Site Plan should be approved; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA.

Section 1 That it hereby approves the ArtsPark Village (WSG) Site Plan modifications attached hereto and incorporated herein by reference as Exhibit "B" and Resolution No. 2008-253 is hereby amended to reflect such modifications, with the following conditions:

- (1) An alternative parking plan to ensure parking is provided during construction shall be submitted in a form acceptable to the City Attorney, and shall be recorded in the Public Records of Broward County prior to a demolition permit being issued for the Bread Building garage;
- (2) A public access easement for alley shall be submitted, in a form acceptable to the City Attorney, and shall be recorded in the Public Records of Broward County, prior to any building permits being issued for the school building.
- (3) Applicant shall provide the City with either a Unity of Title, perpetual easement or lease agreement ensuring that the required off-street parking requirements are satisfied Such documentation shall be submitted prior to the issuance of any building permits.

A RESOLUTION APPROVING MODIFICATIONS TO A PREVIOUSLY APPROVED SITE PLAN FOR ARTSPARK VILLAGE (WSG) PLANNED DEVELOPMENT (APPROVED BY RESOLUTION NO R-2008-253)

Section 3. That this resolution shall be in full force and effective immediately upon its passage and adoption.

PASSED AND ADOPTED this 1 day of July, 2009

RENDERED this 14 day of July, 2009

  
PETER BOBER, MAYOR

ATTEST

  
PATRICIA A. CERNY, MMC  
CITY CLERK

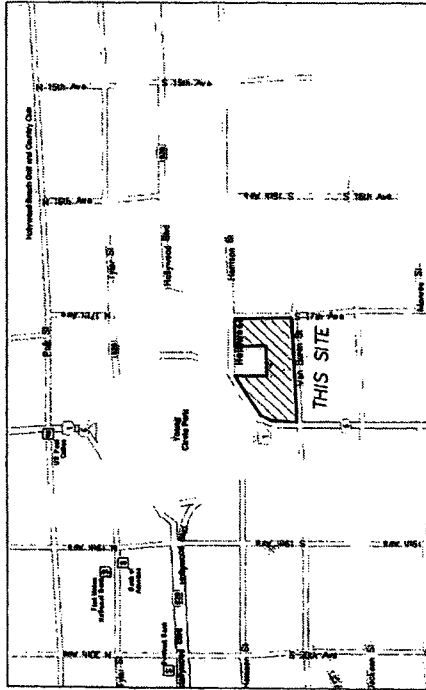
APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only

  
JEFFREY D. SHEFFEL, CITY ATTORNEY

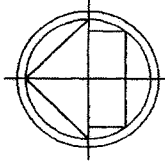
# ALTA/ACSM LAND TITLE SURVEY

## EXHIBIT A

NET AREA = 112,291 SQ FT / 2.5781 ACRES  
 GROSS AREA = 178,143 SQ FT / 4.0896 ACRES



LOCATION MAP (NTS)



### ZONING CODE: GENERAL CITY COMMERCIAL LOW INTENSITY DISTRICT

PARCEL	AREA	HEIGHT	REQUIREMENTS	REMARKS	STATUS
ALL PARCELS	9 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 1-10	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 11-20	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 21-30	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 31-40	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 41-50	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 51-60	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 61-70	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 71-80	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 81-90	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A
PARCELS 91-100	10 FEET	100 FT MAX HEIGHT	SEE ZONING CODE FOR REQUIREMENTS	NO SIGNAGE ALLOWED	N/A

**COUSINS SURVEYORS & ASSOCIATES, INC**  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION LB # 6448  
 PHONE (954)680-9885 FAX (954)680-0213

PROJECT NUMBER 5418-04  
 CLIENT WSG DEVELOPMENT

REVISIONS PER CITY	DATE	BY/PG.	DWN	CKD
REVISED PER NEW O & E REPORT	08/12/07	---	AV	REC
	11/07/07	---	AV	REC

FLOOD ZONE INFORMATION  
 COMMUNITY NUMBER 125113  
 PANEL NUMBER 0517 G  
 ZONE X  
 BASE FLOOD ELEVATION N/A  
 EFFECTIVE DATE 10/02/97

PROPERTY ADDRESS  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314

SCALE: N/A  
 SHEET 1 OF 3

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND THE MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED FROM BEGINNING TO OCTOBER 26, 2007 FILE NO. 1082-1677305
3. THIS SURVEY WAS DONE SOLELY TO SHOW BOUNDARY INFORMATION, FEDERAL OR OTHER ENTITIES, AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, AND THE SUBSEQUENT METES AND BOUNDS DESCRIPTION WAS PREPARED BY THE SURVEYOR.
4. THE INITIAL LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, AND THE SUBSEQUENT METES AND BOUNDS DESCRIPTION WAS PREPARED BY THE SURVEYOR.
5. UNDERGROUND IMPROVEMENTS ARE NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
7. BENCHMARK DESCRIPTION CITY OF HOLLYWOOD BENCHMARK \* JEFFERSON STREET AND 16TH AVENUE. ELEVATION = 5.70'
8. BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N89°00'00" E.
9. SETBACK REGULATIONS  
 2 STORY OR LESS, NO SETBACKS  
 3 STORY OR ABOVE RESIDENTIAL FRONT 10 FEET  
 SIDE FACING A STREET 10 FEET  
 SIDE INTERIOR 20 FEET  
 REAR 0 FEET
10. PROPERTY IS ZONED OCC1 - CENTRAL CITY COMMERCIAL LOW INTENSITY
11. PARKING COUNT  
 REGULAR SPACES = 402  
 HANDICAPPED SPACES = 4  
 TOTAL SPACES = 406
12. OWNERSHIP AND ENCUMBRANCE REPORT TITLE COMMITMENT REVIEW  
 RESTRICTIONS, DECLARATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS PER PLAT BOOK 1, PAGE 21, B.C.R. (AFFECTS / PLOTTED)  
 EASEMENT PER ORB 3439, PG. 648, AS AFFECTED BY SUBORDINATION OF UTILITY INTEREST PER ORB 16262, PG. 848. (PARCELS 1, 2 AND 7) (AFFECTS / PLOTTED)  
 DECLARATION OF EASEMENTS AND RIGHTS PER ORB 1082B, PG. 334, AS MODIFIED BY CORRECTIVE JOINDER TO DECLARATION OF EASEMENTS AND RIGHTS PER ORB 10751, PG. 682, AS MODIFIED BY MODIFICATION OF DECLARATION OF EASEMENTS AND RIGHTS PER ORB 19139, PG. 11. (PARCELS 1, 2 AND 7) (AFFECTS / NOT PLOTTABLE)  
 GRANT OF EASEMENT PER ORB 23354, PG. 55. (PARCELS 2 AND 7) (AFFECTS / NOT PLOTTABLE)  
 LICENSE AGREEMENT PER ORB 23394, PG. 58. (PARCELS 2 AND 7) (AFFECTS / NOT PLOTTABLE)  
 COVENANT RUNNING WITH THE LAND AS CONTAINED IN QUIT CLAIM DEED, PER ORB 28645, PG. 690. (PARCEL 6) (AFFECTS / NOT PLOTTABLE)

ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LAND DESCRIPTION

LOT 1 LESS THE WEST 15 FEET, FURTHER LESS AND EXCEPT THAT PART OF LOT 1, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15-FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF LOT 1 AND TANGENT TO A LINE WHICH IS 15 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 1. THIS PROPERTY WAS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 5062, PAGE 444, AND ALL OF LOTS 2 THROUGH 19, INCLUSIVE, AND LOT 24 LESS THE WEST 15 FEET, THEREOF IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION


THE UNDERSIGNED HEREBY CERTIFIES TO LEHMAN BROTHERS HOLDINGS INC., A DELAWARE CORPORATION, INDIVIDUALLY AND AS LEAD ARRANGER AND ADMINISTRATIVE AGENT FOR ITSELF AND CERTAIN CO-LENDERS, AND ITS AND THEIR SUCCESSORS AND ASSIGNS, WSO HOLLYWOOD LLC, A FLORIDA LIMITED LIABILITY COMPANY; BEHMAN, AGENCY; TIGEL & SHEDDEN, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY; AND THE STATE OF FLORIDA, THAT THE SURVEYOR HAS PERSONALLY EXAMINED THE LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE PREMISES SHOWN ON SAID ATTACHED PRINT, THAT THE TITLE LINES AND LINES OF ACTUAL VISIBLE POSSESSION ARE THE SAME (EXCEPT ONLY WHERE EXPRESSLY STATED OTHERWISE), THAT SHOWN ON OR ATTACHED TO SUCH PRINT OF SURVEY IS AN ACCURATE METES AND BOUNDS DESCRIPTION OF SUCH PROPERTY; THAT ALL UTILITY SERVICES REQUIRED FOR THE OPERATION OF THE PROPERTY EITHER ON THE PROPERTY THROUGH ADJOINING PUBLIC STREETS OR THE SURVEY SHOWS THE POINT OF ENTRY AND LOCATION OF ANY UTILITIES WHICH PASS THROUGH OR ARE LOCATED ON ADJOINING PREMISES; THAT ALL RECORDED EASEMENTS AND OTHER EXCEPTIONS AS NOTED IN THE FIRST AMERICAN TITLE INSURANCE COMPANY'S OWNERSHIP AND ENCUMBRANCE REPORT, FILE NO. 1082-1677305, DATED FROM BEGINNING TO AUGUST 21, 2007 HAVE BEEN CORRECTLY PLOTTED ON THE SURVEY (EXCEPT ONLY WHERE EXPRESSLY STATED OTHERWISE) AND, EXCEPT AS SHOWN, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY, NO PARTY WALLS, NO ENCROACHMENTS ON ADJOINING PREMISES, STREETS OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, AND NO ENCROACHMENTS ON SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES; THAT THE SURVEY SHOWS THE SHORTEST ACTUAL DISTANCES (SETBACKS) FROM EACH BUILDING TO THE NEAREST PROPERTY BOUNDARY (AND TO ANY OTHER PROPERTY BOUNDARIES FOR WHICH THERE ARE RELEVANT SETBACK RESTRICTIONS IN APPLICABLE ZONING OR BUILDING CODES) AND BETWEEN BUILDINGS; THAT THE SURVEY SHOWS THE LOCATION AND DIRECTION OF ALL STORM DRAINAGE SYSTEMS FOR THE COLLECTION AND DISPOSAL OF ALL ROOF AND SURFACE DRAINAGE; AND THAT ANY DISCHARGE INTO STREAMS, RIVERS OR OTHER CONVEYANCE SYSTEM IS SHOWN ON THE SURVEY. THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, CURRENTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2006, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), 7(B)(1), 7(C), 8, 9, 10, 11(A) AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSTM, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 05/17/07 FOR THE FIRM BY: *Richard E. Cousins*

RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4186.

**OUSINS SURVEYORS & ASSOCIATES, INC**  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION LB # 6448  
 PHONE (954)880-9885 FAX (954)680-0213



PROJECT NUMBER 5418-04  
 CLIENT WSG DEVELOPMENT

REVISIONS PER CITY	DATE	FB/PG	DWN	CKD
REVISED PER NEW O & E REPORT	11/07/07	---	---	---
	108/12/07	---	AV	REC

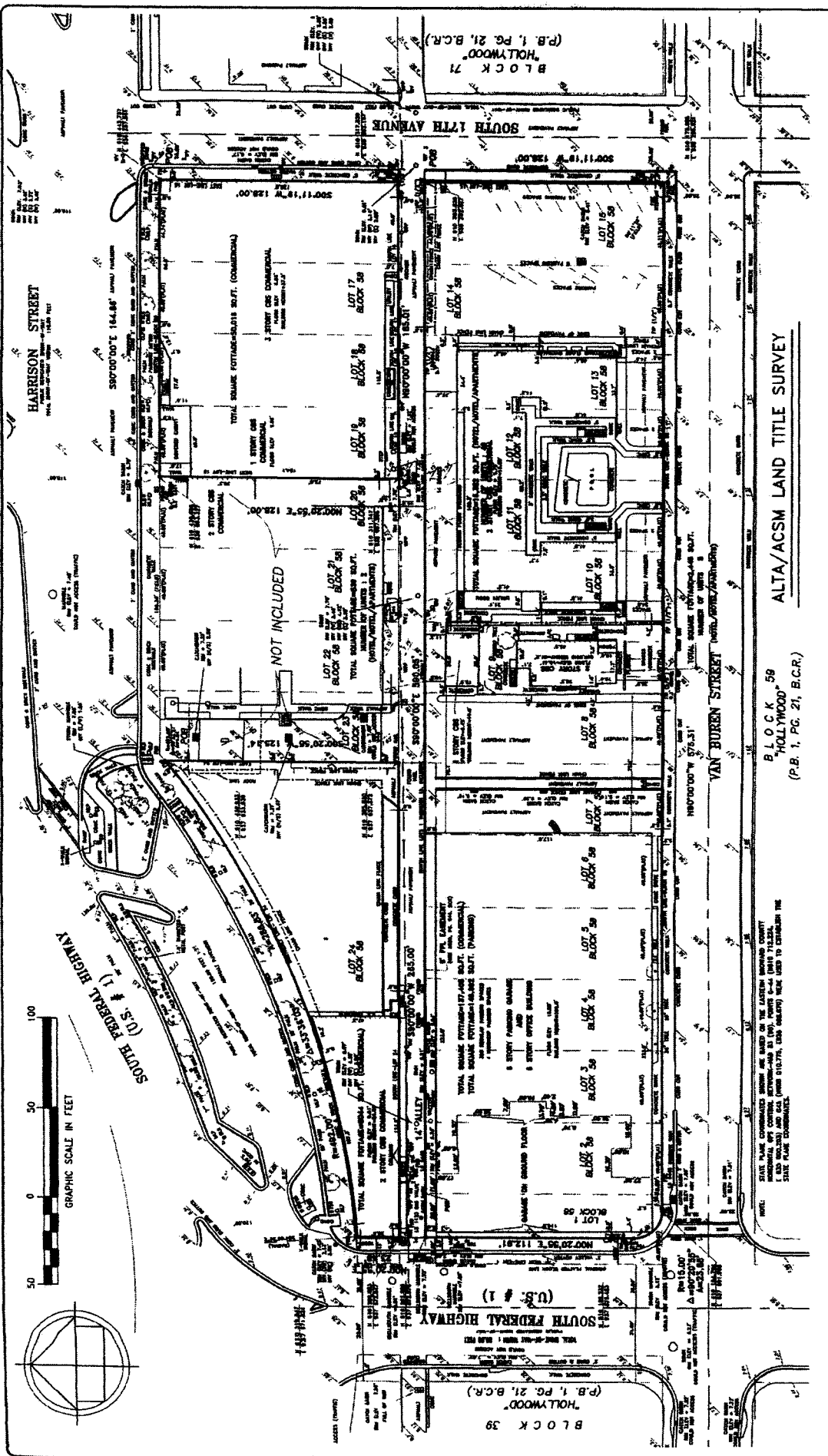
FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0317.6
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	10/02/97

PROPERTY ADDRESS  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314

SCALE: N/A

SHEET 2 OF 3





PROPERTY ADDRESS:  
 BLOCK 59, HOLLYWOOD  
 (P.B. 1, PG. 21, B.C.R.)

SCALE: 1" = 50'

SHEET 3 OF 3

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0317 G
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	10/02/99

REVISIONS PER CITY	DATE	FB/PG	DWN	CKD
	08/12/07	---	AV	REC
ADDED STATE PLANE COORDINATES	08/30/07	---	AV	REC
REVISED PER NEW O & E REPORT	11/07/07	---	AV	REC

PROJECT NUMBER 5418-04

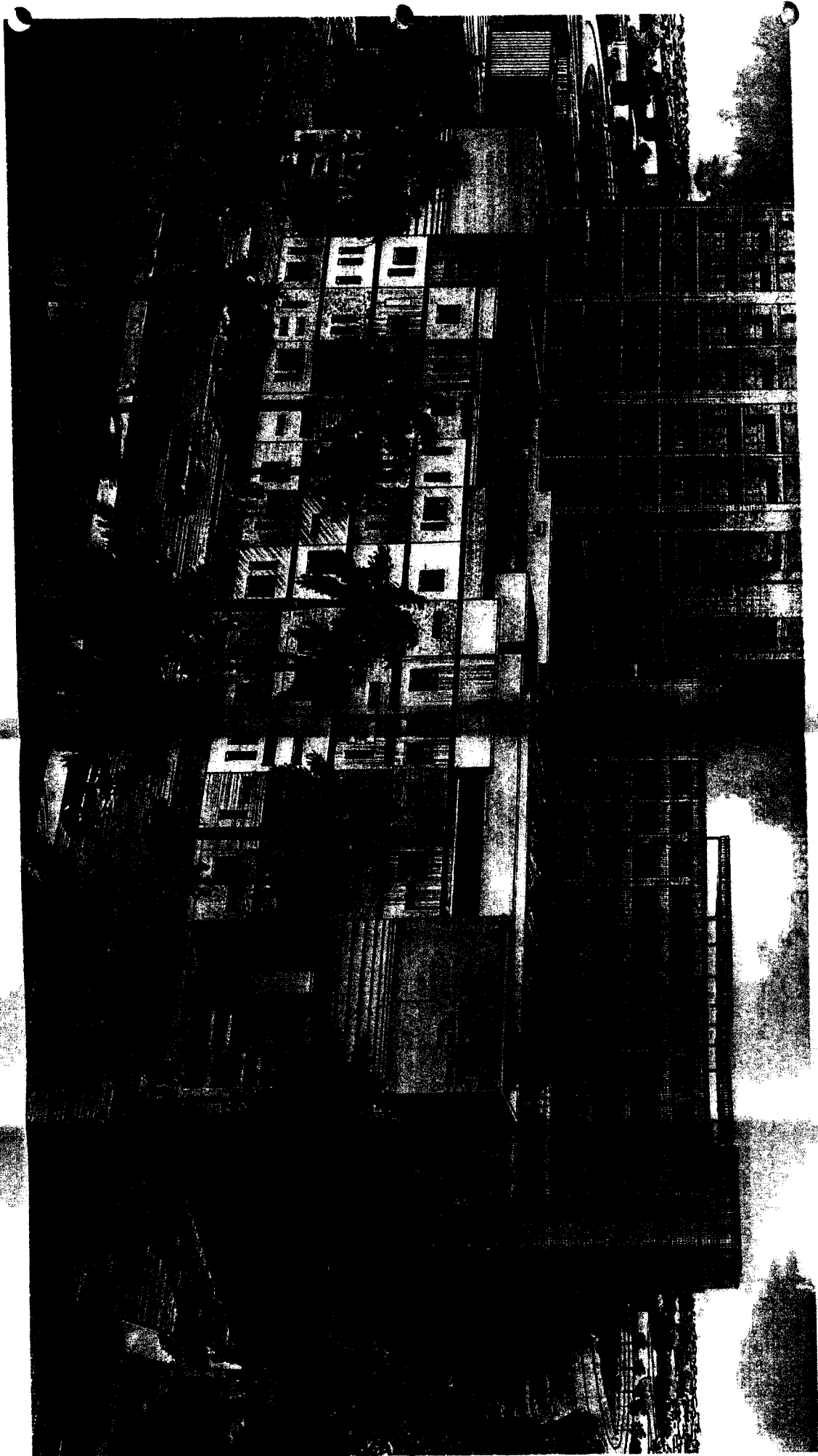
CLIENT  
 WSG DEVELOPMENT

**OUSINS SURVEYORS & ASSOCIATES, INC**  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
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 PHONE (954)680-9885 FAX (954)680-0213

**ALTA/ACSM LAND TITLE SURVEY**

BLOCK 59  
 "HOLLYWOOD"  
 (P.B. 1, PG. 21, B.C.R.)

NOTE: STATE PLANE COORDINATES SHOWN ARE BASED ON THE LAKERSHORE COUNTY  
 NATIONAL EXT. CONTROL NETWORK-100 (NAD 83) POINT 6-44 (1912 T.1222).  
 (SEE SHEET 2 OF 3) AND GCS (NAD 83) STATE PLANE COORDINATES.  
 STATE PLANE COORDINATES.



# PROJECT DATA

## ARTS PARK VILLAGE at YOUNG CIRCLE

### ZONING INFORMATION

COC-1  
 CURRENT ZONING: PLANNED DEVELOPMENT (PD)  
 PROPOSED ZONING: MIXED USE  
 TYPE OF OCCUPANCY: 112,067 SF / 2.27 ACRES  
 NET LOT AREA: 178,143 SF / 4.06 ACRES  
 GROSS LOT AREA:

### FLOOR AREA CHARTER SCHOOL (Phase 1a)

CHARTER SCHOOL 107,696  
 GROSS FLOOR AREA 107,696

### FLOOR AREA-OFFICE BUILDING (Phase 2)

OFFICE 62,500 SF  
 RETAIL 9,000 SF  
 PARKING 79,944 SF  
 CIRCULATION/SERVICE: 8,798 SF

### FLOOR AREA RESIDENTIAL BUILDING (Phase 1b)

GROSS FLOOR AREA 150,000 SF  
 RESIDENTIAL FLOOR AREA 97,430 SF  
 RETAIL/COMMERCIAL 25,640 SF  
 GROSS LEASABLE/SALVAGEABLE AREA 383,679 SF

### OPEN SPACE

TOTAL LOT COVERAGE 94.6%  
 PERVIOUS SPACE 1% (544 sf)  
 LANDSCAPE ON ROOF I.M. 3% (181 sf)  
 (RESIDENTIAL)

### PARKING DATA

TOWER 390 X 1,500 FT = 885  
 RESIDENTIAL 1 PER 5 UNITS (390 / 5) = 78  
 VISITOR (Total Sq) 25,640 SF / 250 103  
 RETAIL

### OFFICE BUILDING

OFFICE (Level 1) 9,000 SF / 250 = 36  
 RETAIL (Levels 6-8) 62,500 SF / 250 = 250  
 SCHOOL BUILDING 90 Classrooms 10 employees = 100

### PARKING PROVIDED

RESIDENTIAL TOWER 638 SPACES  
 OFFICE BUILDING 802 SPACES  
 TOTAL PROVIDED 1,440 SPACES  
 PARKING COUNT DOES NOT INCLUDE THE 45 TANGENT SPACES THAT ARE PROVIDED PER SHARED PARKING ANALYSIS

### PARKING SPACE DIMENSIONS

TYPICAL PARKING STALL 8'-0" X 19'-0" WITH A 24'-0" BACKUP  
 PARKING STALL NEXT TO WALL 10'-0" X 19'-0" WITH A 24'-0" BACKUP  
 DRIVE ISLES DIMENSIONS 24'-0"  
 DRIVE ISLES 24'-0"

### LESS THAN 3'-0" SPACING BETWEEN DRIVEWAY AND COLUMN ON SOME PARKING STALLS

### SCHOOL BUILDING SETBACKS (Phase 1a)

NORTH VALLEY 6'-0" REQUIRED  
 17TH AVENUE 25'-0" PROVIDED  
 VAN BUREN STREET 22'-0" PROVIDED  
 WEST (Huber Blvd) 0'-0" PROVIDED  
 RECOMMENDATIONS BY ZYSOVICH

### OFFICE BUILDING SETBACKS (Phase 2)

HARRISON STREET 25'-0" PROVIDED  
 17TH AVENUE 25'-0" PROVIDED  
 SOUTH ALLEY 8'-0" PROVIDED  
 WEST (Huber Blvd) 0'-0" PROVIDED

### RESIDENTIAL BUILDING SETBACKS (Phase 1b)

RESIDENTIAL BUILDING S. FEDERAL HWY. 10'-0" PROVIDED  
 S. YOUNG CIRCLE 10'-0" PROVIDED  
 SOUTH FEDERAL HWY (AHS) 10'-0" PROVIDED  
 VAN BUREN 10'-0" PROVIDED  
 EAST (INTERIOR SPACES) 10'-0" PROVIDED  
 LOADING SPACES 10'-0" PROVIDED  
 RESIDENTIAL 10'-0" PROVIDED  
 OFFICE 10'-0" PROVIDED  
 SCHOOL 10'-0" PROVIDED

### BUILDING HEIGHT

RESIDENTIAL BUILDING: TOWER 22'-0" 4-6 STORIES  
 OFFICE BUILDING: 22'-0" 4-6 STORIES  
 CHARTER SCHOOL: 6'-0" TO THE TOP OF THE HIGHEST PARAPET FROM THE FIRST FLOOR DECK  
 RESIDENTIAL UNIT TYPE COUNT 4 TOWERS WITH A ROOF TOP PLAYGROUND

### RESIDENTIAL UNIT TYPE COUNT

TOTAL: 390 RESIDENTIAL UNITS  
 DENSITY/A/CORE 96 UNITS/A/CORE

### UNIT TYPES

UNIT TYPES	TOTAL	AVG. UNIT SIZE
8% STUDIO	30	518 sf
46% 1BD	180	807 sf
36% 2BD	153	1102 sf
5% 3BD	21	1438 sf
<b>TOTAL UNITS</b>	<b>390</b>	

REVISION / DRAWING	DATE	BY	CHK
1	07/15/09	WGS	WGS
2	07/15/09	WGS	WGS
3	07/15/09	WGS	WGS
4	07/15/09	WGS	WGS
5	07/15/09	WGS	WGS
6	07/15/09	WGS	WGS
7	07/15/09	WGS	WGS
8	07/15/09	WGS	WGS
9	07/15/09	WGS	WGS
10	07/15/09	WGS	WGS
11	07/15/09	WGS	WGS
12	07/15/09	WGS	WGS
13	07/15/09	WGS	WGS
14	07/15/09	WGS	WGS
15	07/15/09	WGS	WGS
16	07/15/09	WGS	WGS
17	07/15/09	WGS	WGS
18	07/15/09	WGS	WGS
19	07/15/09	WGS	WGS
20	07/15/09	WGS	WGS
21	07/15/09	WGS	WGS
22	07/15/09	WGS	WGS
23	07/15/09	WGS	WGS
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43	07/15/09	WGS	WGS
44	07/15/09	WGS	WGS
45	07/15/09	WGS	WGS
46	07/15/09	WGS	WGS
47	07/15/09	WGS	WGS
48	07/15/09	WGS	WGS
49	07/15/09	WGS	WGS
50	07/15/09	WGS	WGS

**0715**

**DATA SHEET**

**WGS DEVELOPMENT**

400 ARTHUR GODFREY RD  
 MIAMI BEACH, FL 33140

**ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING**

AAA ASID INCARB

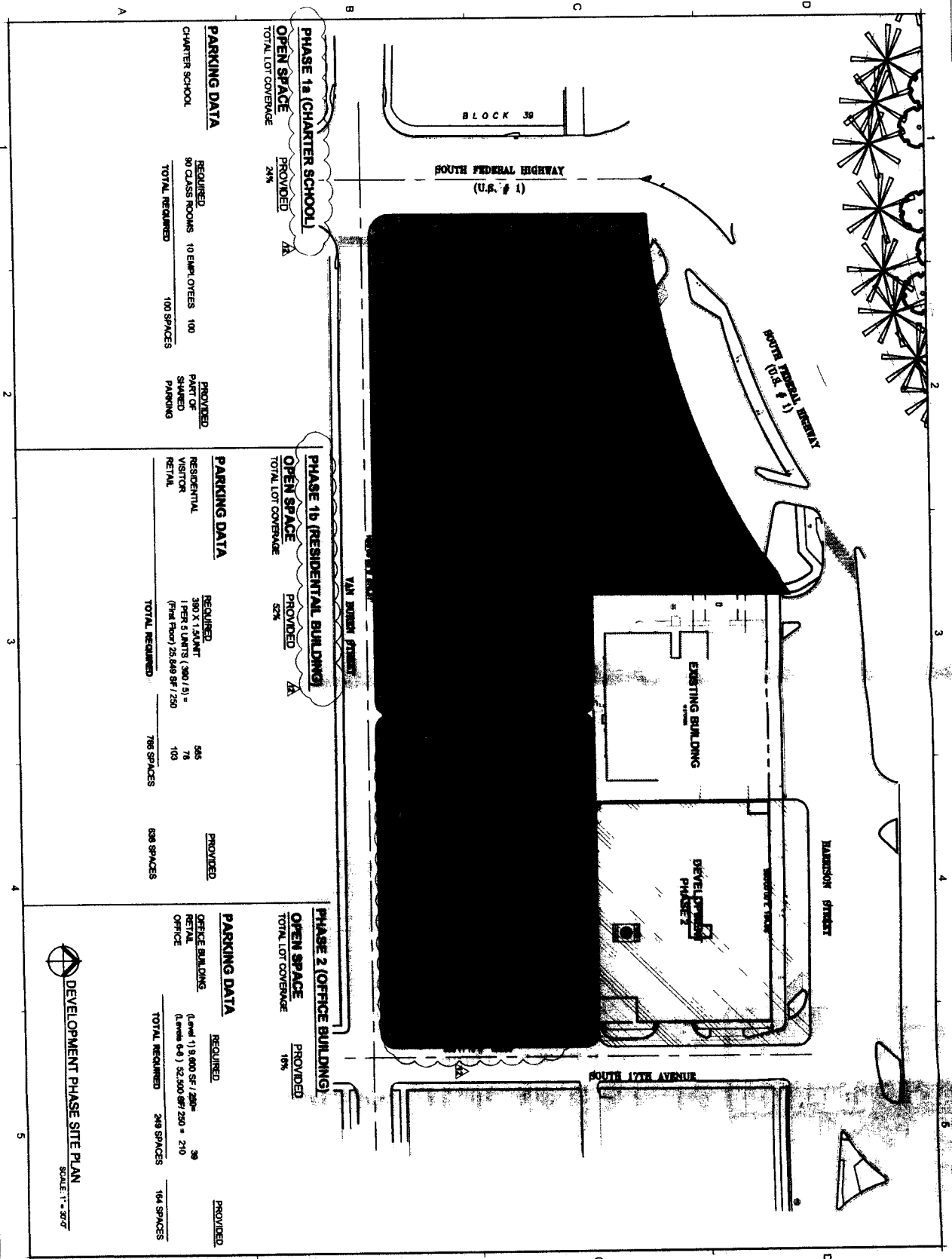
3700 Biscayne Blvd  
 Suite 100  
 Miami, FL 33137  
 Tel: 305.555.1111  
 Fax: 305.555.1112  
 www.koshamp.com

Lic. # AR0012878

**WGS**

DATE: 07/15/09

SCALE: A1.00



**PHASE 1a (CHARTER SCHOOL)**  
**OPEN SPACE** PROVIDED 24%  
 TOTAL LOT COVERAGE 24%

**PARKING DATA**  
 CHARTER SCHOOL  
 REQUIRED: 90 CLASS ROOMS 10 EMPLOYEES 100  
 TOTAL REQUIRED 100 SPACES  
 PROVIDED: PART OF SHARED PARKING

**PHASE 1b (RESIDENTIAL BUILDING)**  
**OPEN SPACE** PROVIDED 52%  
 TOTAL LOT COVERAGE 52%

**PARKING DATA**  
 RESIDENTIAL VISITOR RETAIL  
 REQUIRED: 380 X 1.5 UNITS 1 PER 3 UNITS (380/3) = 127 (Final Floor) 25,848 SF / 250  
 TOTAL REQUIRED 786 SPACES  
 PROVIDED: 565 78 103 638 SPACES

**PHASE 2 (OFFICE BUILDING)**  
**OPEN SPACE** PROVIDED 19%  
 TOTAL LOT COVERAGE 19%

**PARKING DATA**  
 OFFICE BUILDING RETAIL OFFICE  
 REQUIRED: (Level 1) 3,600 SF / 250 (Level 6-8) 52,500 SF / 250 = 210  
 TOTAL REQUIRED 248 SPACES  
 PROVIDED: 164 SPACES

DEVELOPMENT PHASE SITE PLAN  
 SCALE: 1" = 30'

**REVISIONS / SUBMISSIONS**

NO.	DATE	DESCRIPTION
1	06/24/05	CONCEPTUAL SITE PLAN
2	06/24/05	CONCEPTUAL SITE PLAN
3	06/24/05	CONCEPTUAL SITE PLAN
4	06/24/05	CONCEPTUAL SITE PLAN
5	06/24/05	CONCEPTUAL SITE PLAN
6	06/24/05	CONCEPTUAL SITE PLAN
7	06/24/05	CONCEPTUAL SITE PLAN
8	06/24/05	CONCEPTUAL SITE PLAN
9	06/24/05	CONCEPTUAL SITE PLAN
10	06/24/05	CONCEPTUAL SITE PLAN

0715

**Arts Park Village At Young Circle**  
 1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA  
**DEVELOPMENT PHASE**  
 SITE PLAN

WSG DEVELOPMENT  
 400 ARTHUR GODFREY RD  
 MIAMI BEACH, FL 33140

Lic. # AN0012578

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING  
 AIA ASID NCARB  
 2018 Robinson Parkway  
 Suite 200  
 Miami Beach, FL 33139  
 Tel: 305.371.1111  
 Fax: 305.371.1112  
 WWW.KOSKAMP.COM



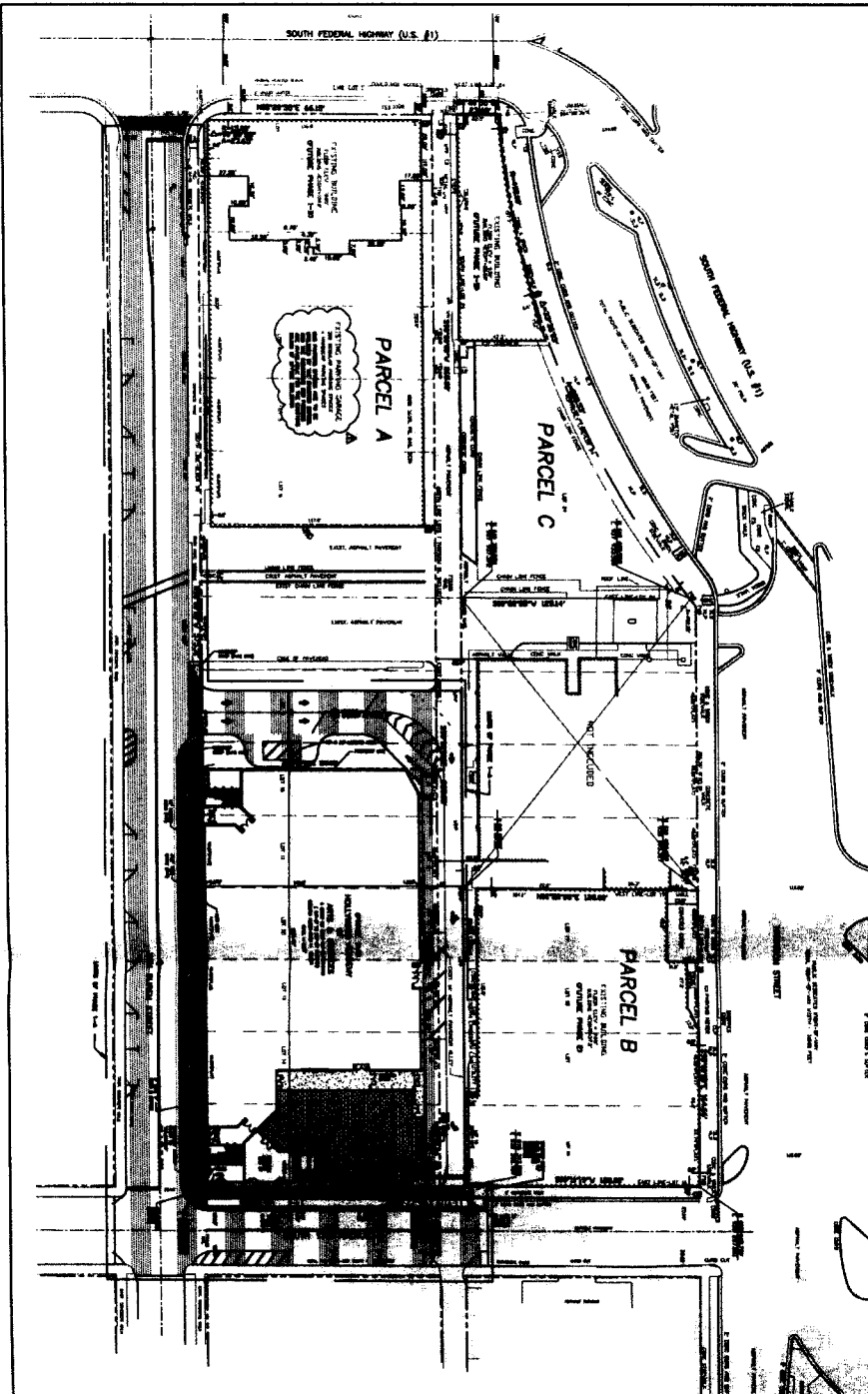
DATE: 06/24/05  
 SCALE: 1" = 30'  
**A1.04**

48 HOURS BEFORE COMMENCEMENT OF WORK  
 1-800-428-4779  
 1-800-428-4779  
 1-800-428-4779

SCALE: 1" = 30'-0"



- 1. EXISTING BUILDING FOOTPRINT
- 2. EXISTING CONCRETE FOUNDATION
- 3. EXISTING CONCRETE SLAB
- 4. EXISTING CONCRETE WALL
- 5. EXISTING CONCRETE COLUMN
- 6. EXISTING CONCRETE BEAM
- 7. EXISTING CONCRETE GIRDER
- 8. EXISTING CONCRETE JOIST
- 9. EXISTING CONCRETE DECK
- 10. EXISTING CONCRETE CURB
- 11. EXISTING CONCRETE CURB AND GUTTER
- 12. EXISTING CONCRETE DRIVE
- 13. EXISTING CONCRETE DRIVE CURB
- 14. EXISTING CONCRETE DRIVE GUTTER
- 15. EXISTING CONCRETE DRIVE PAVEMENT
- 16. EXISTING CONCRETE DRIVE SIDEWALK
- 17. EXISTING CONCRETE DRIVE SIDEWALK CURB
- 18. EXISTING CONCRETE DRIVE SIDEWALK GUTTER
- 19. EXISTING CONCRETE DRIVE SIDEWALK PAVEMENT
- 20. EXISTING CONCRETE DRIVE SIDEWALK CURB AND GUTTER
- 21. EXISTING CONCRETE DRIVE SIDEWALK DRIVE
- 22. EXISTING CONCRETE DRIVE SIDEWALK DRIVE CURB
- 23. EXISTING CONCRETE DRIVE SIDEWALK DRIVE GUTTER
- 24. EXISTING CONCRETE DRIVE SIDEWALK DRIVE PAVEMENT
- 25. EXISTING CONCRETE DRIVE SIDEWALK DRIVE CURB AND GUTTER
- 26. EXISTING CONCRETE DRIVE SIDEWALK DRIVE DRIVE
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- 29. EXISTING CONCRETE DRIVE SIDEWALK DRIVE DRIVE PAVEMENT
- 30. EXISTING CONCRETE DRIVE SIDEWALK DRIVE DRIVE CURB AND GUTTER

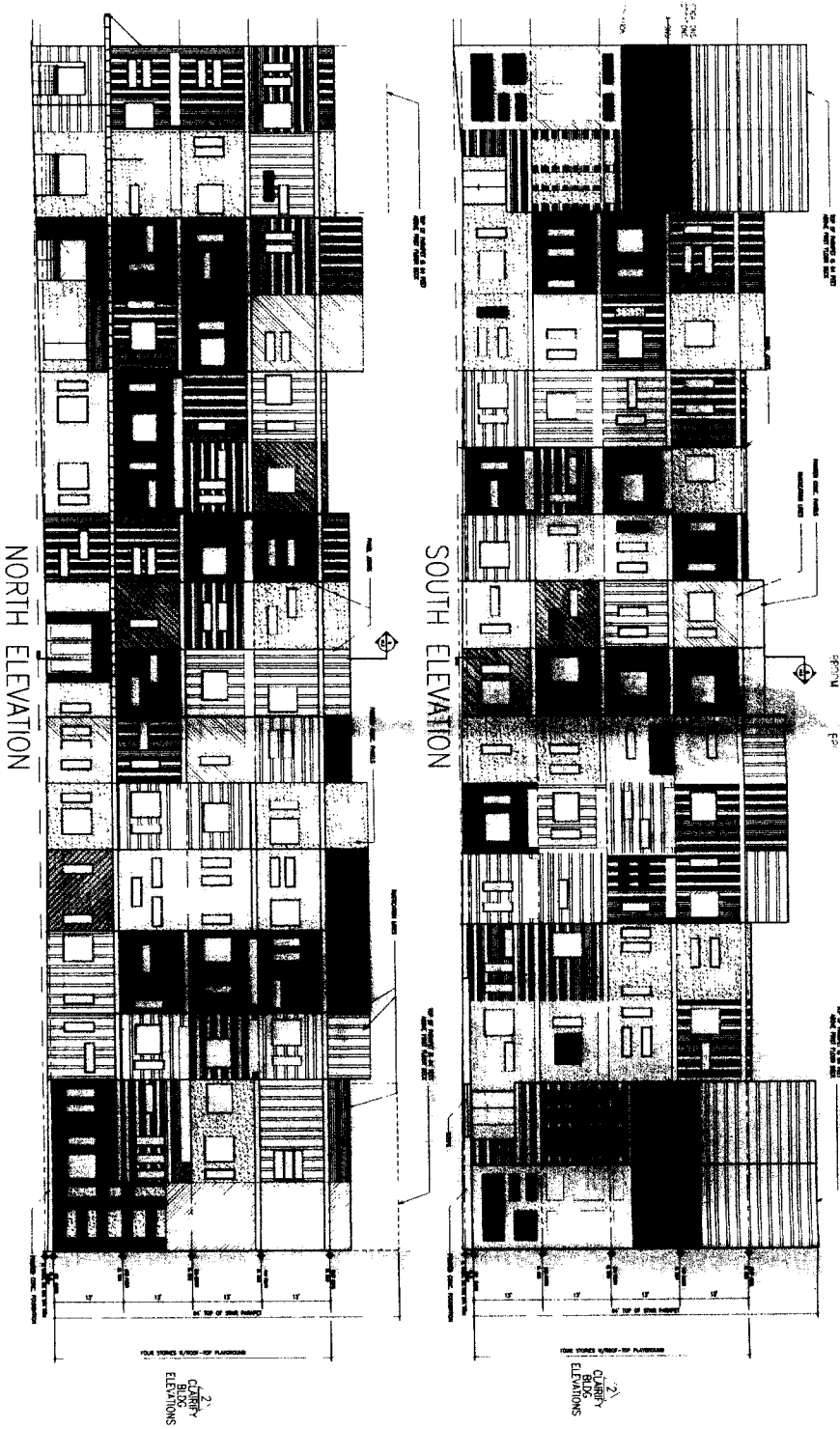


LOCATION MAP  
 1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA  
 15' NORTH  
 15' WEST

DATE: 10/15/10  
 DRAWN BY: J. L. J.  
 CHECKED BY: J. L. J.  
 PROJECT NO.: 101010  
 SHEET NO.: 1 OF 1  
 PROJECT TITLE: INTERIM SITE PLAN  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA  
 OWNER: WSG DEVELOPMENT AND RED APPLE DEVELOPMENT LLC.

PROJECT NO.: 101010  
 DRAWN BY: J. L. J.  
 CHECKED BY: J. L. J.  
 DATE: 10/15/10  
 SHEET NO.: 1 OF 1  
 PROJECT TITLE: INTERIM SITE PLAN  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 1740 SOUTH YOUNG CIRCLE, HOLLYWOOD, FLORIDA  
 OWNER: WSG DEVELOPMENT AND RED APPLE DEVELOPMENT LLC.

**ENGINEERING AND PLANNING**  
 2000 BAYVIEW BLVD.  
 SUITE 1000  
 MIAMI BEACH, FLORIDA 33139  
 TEL: 305-671-1111 FAX: 305-671-1112  
 WWW.WSP-EP.COM



ELEVATIONS

1/8 = 1'-0"

1. CHANGED  
ORIGINAL  
ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

2. CHARTER  
BUS  
ELEVATIONS

2. CHARTER  
BUS  
ELEVATIONS

A4 1  
NORTH &  
SOUTH  
ELEVATIONS

CHARTER SCHOOLS USA  
HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
1705 VAN BUREN STREET  
HOLLYWOOD, FLORIDA

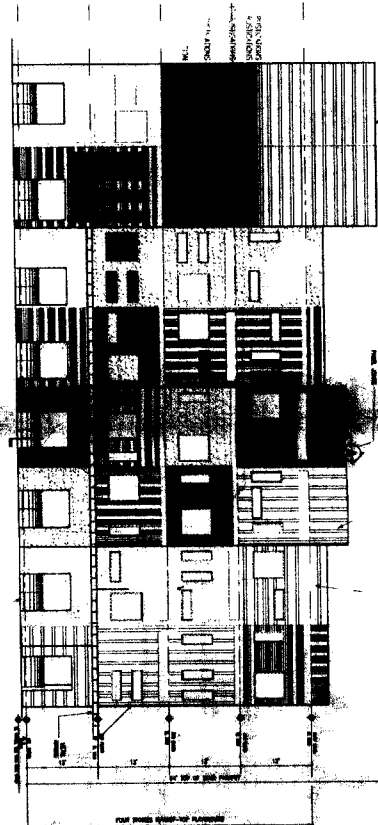
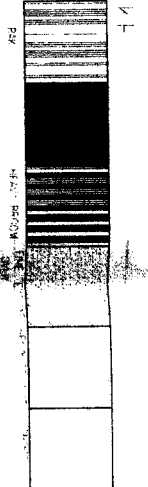
REVISED

NO.	DATE	BY	DESCRIPTION
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**McGARVEY**  
DEVELOPMENT COMPANY  
COMMERCIAL INDUSTRIAL DESIGN/BUILD  
ONE HUNTERCREEK ROAD, FT. LAUDERDALE, FL 33411  
800-762-7622

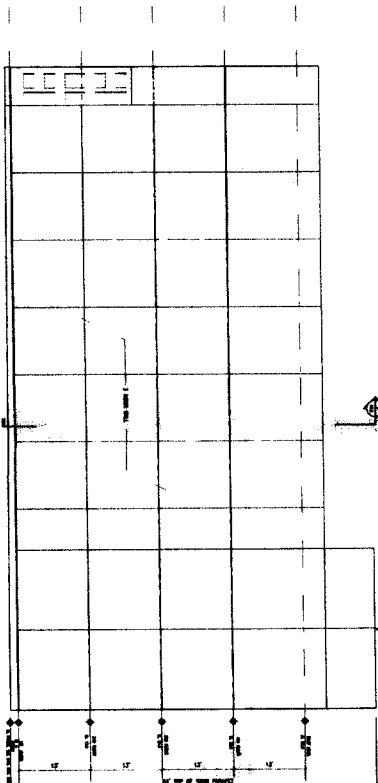


DATE: 08/14/08  
BY: J. GARDNER



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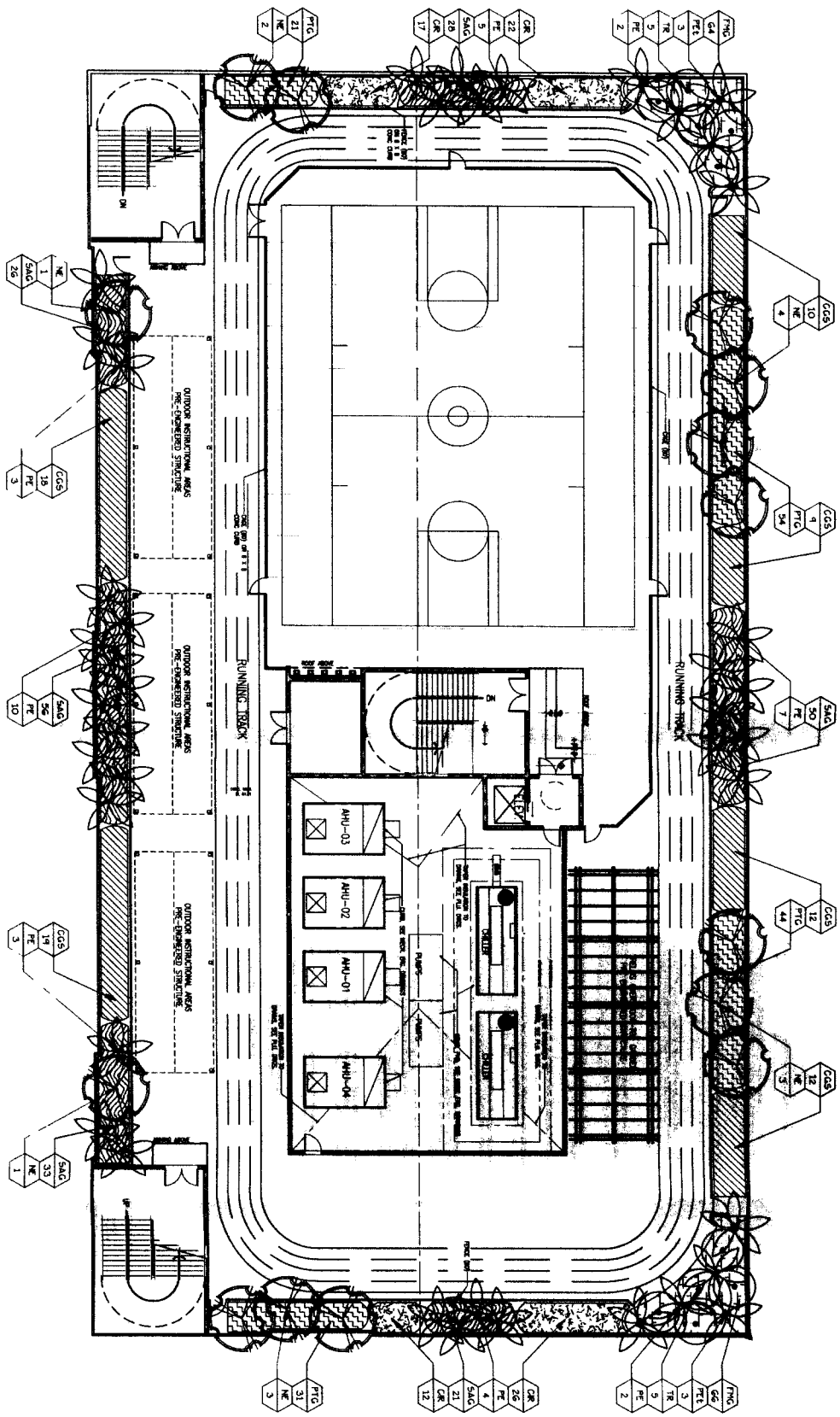
A4 2

EAST & WEST ELEVATIONS

CHARTER SCHOOLS USA  
HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
1705 VAN BLIEN STREET  
HOLLYWOOD, FLORIDA

REVISIONS	
1	DATE: 08/14/08
2	BY: J. GARDNER
3	DESCRIPTION: CHANGED BUILDING ELEVATIONS

**McGARVEY**  
DEVELOPMENT COMPANY  
COMMERCIAL INDUSTRIAL DESIGN/BUILD  
100 HANCOCK ROAD, FT. LAUDERDALE, FL 33304  
www.mcgarvey.com



NORTH

SCALE: 1/8" = 1'-0"

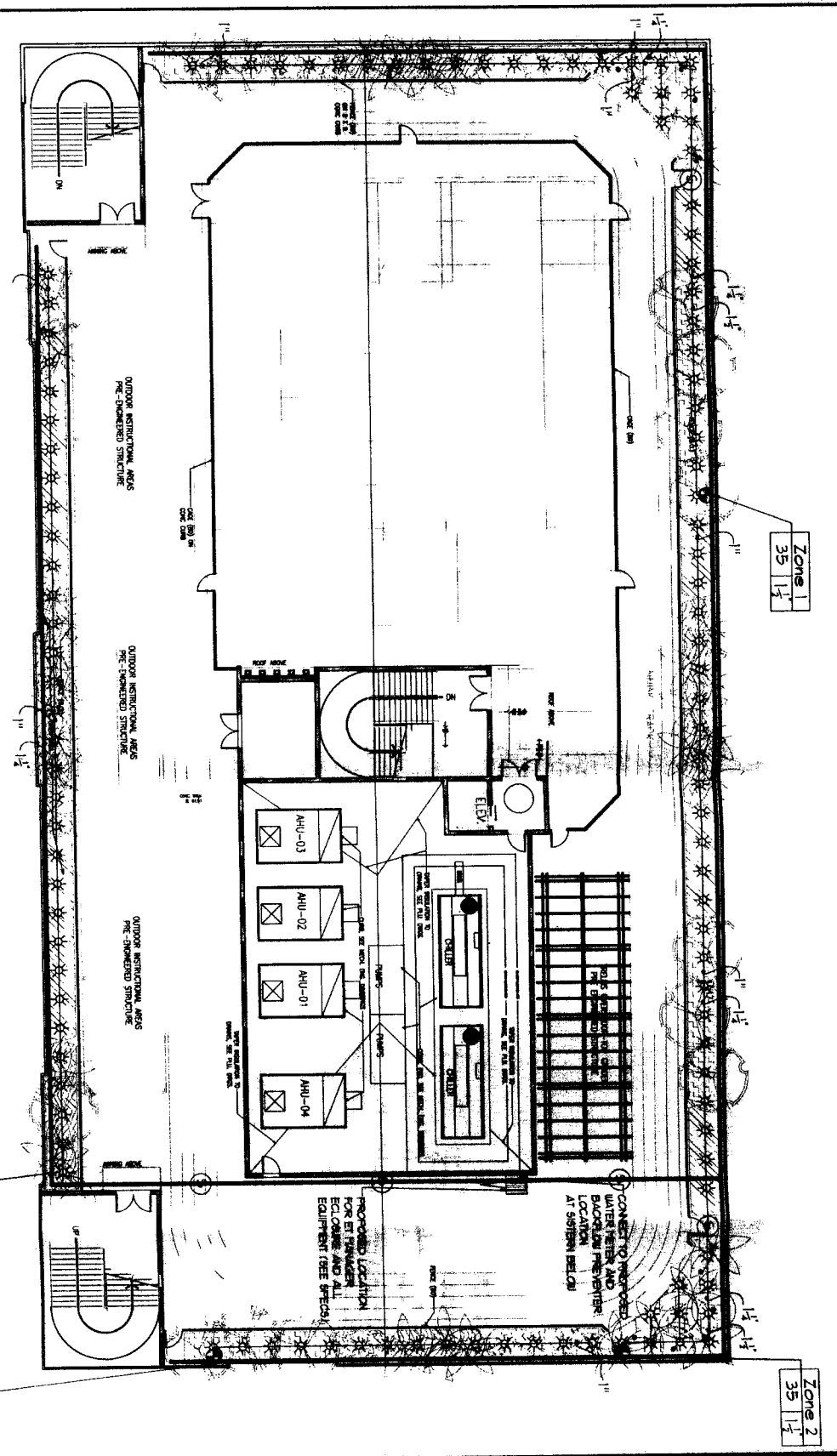


PROJECT NO. 282.03  
 DRAWN BY J.S.  
 CHECKED BY J.S.  
 DESIGNED BY J.S.  
 DATE 07/20/09  
 SHEET NO. UP-1  
 OF 2

DRWG. TITLE **ROOFTOP LANDSCAPE PLAN**  
 PROJECT **HOLLYWOOD ACADEMY OF ARTS & SCIENCES**  
 OWNER **RED APPLE DEVELOPMENT LLC.**

**CDI ENGINEERING AND PLANNING**  
 ONE STATE STREET  
 FORT LAUDERDALE, FLORIDA 33301  
 (954) 584-7000 FAX (954) 584-8888  
 www.cdi-engineering.com Certificate of Accreditation #000-000-0001





SCALE: 1/8" = 1'-0"  
 NORTH

48 HOURS BEFORE DIGGING  
 1-800-438-4770  
 NORTH-CROWN CONCRETE

ASSOCIATED ARCHITECTS  
 ARCHITECTURAL ALLIANCE

PROJECT NO.	282.0
DRAWN BY	J.S.
DESIGNED BY	J.S.
CHECKED BY	N.J.
DATE	8/22/09
DWG. NO.	L-1
SHT. NO.	1 of 2
REVISIONS	

DWG. TITLE **ROOFTOP IRRIGATION PLAN**  
 PROJECT **HOLLYWOOD ACADEMY OF ARTS & SCIENCES**  
 VAN BUREN ST & 17th AVE  
 OWNER **RED APPLE DEVELOPMENT, LLC.**

**CDI ENGINEERING AND PLANNING**  
 880 DATE ROUTE  
 WEST PALM BEACH, FLORIDA 33416  
 (561) 861-2222 FAX (561) 862-0605  
 940 International Court, Suite 200, West Palm Beach, FL 33411



RESOLUTION NO. R-2011-107

(11-P-13)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING MODIFICATIONS TO A PREVIOUSLY APPROVED SITE PLAN FOR ARTSPARK VILLAGE (WSG) PLANNED DEVELOPMENT (APPROVED BY RESOLUTION NO. R-2008-253 AND AMENDED BY RESOLUTION R-2009-211).

WHEREAS, the City of Hollywood Zoning and Land Development Regulations require that all development projects that are located in a Planned Development District (PD) must receive Site Plan approval from the City Commission prior to the issuance of any Building Permits; and

WHEREAS, on July 22, 2008, the City Commission passed and adopted Resolution R-2008-253 approving a Site Plan for the property generally bounded by S. 17th Avenue to the east, Federal Highway to the west, Harrison Street to the north and Van Buren Street to the south (1740 South Young Circle) with approximately 2.57 net acres/4.08 gross acres as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, on July 1, 2009, the City Commission passed and adopted Resolution R-2009-211 approving modifications to the Site Plan including changes to the elevations and roof landscaping materials, incorporation of a first floor semi-enclosed playground, and amending the Phasing Plan to construct the Charter School in Phase 1a, the residential building in Phase 1b and the office building in Phase 2; and

WHEREAS, an application was filed with the Department of Planning and Development Services requesting Site Plan Modifications to the modified Site Plan approved for construction of a mixed use development consisting of 390 residential units, 35,449 sq. ft. ground-floor retail, 52,500 sq. ft office, and 107,845 sq. ft. Charter School; and

WHEREAS, Red Apple Hollywood LLC, herein as (the "Applicant") has submitted modifications to Site Plan to include changes to the elevations and Phasing Plan to show the bifurcation of the PD as shown on Exhibit "B", and

WHEREAS, the Applicant has indicated that the proposed modifications will not change the approved height, number of residential units or traffic flow in and out of the site; and

WHEREAS, Staff has reviewed the proposed modifications to the Site Plan for the ArtsPark Village development and is recommending approval; and



WHEREAS, the City Commission has reviewed the proposed modifications to the Site Plan for the development and has determined that the Site Plan should be approved;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That it hereby approves the ArtsPark Village (WSG) Site Plan modifications attached hereto and incorporated herein by reference as Exhibit "B" and Resolution Nos. 2008-253 and 2009-211 are hereby amended to reflect such modifications.

Section 2: Upon approval of a site plan, the applicant shall have up to 24 months from the date of this Resolution to apply for a valid construction permit. Failure to submit an application within the require time period shall render all approvals null and void. However, if site plan approval involves phasing, the site plan for any structure or phase that has been issued a certificate of occupancy shall remain in full force and effect.

Section 3: That this resolution shall be in full force and effective immediately upon its passage and adoption.

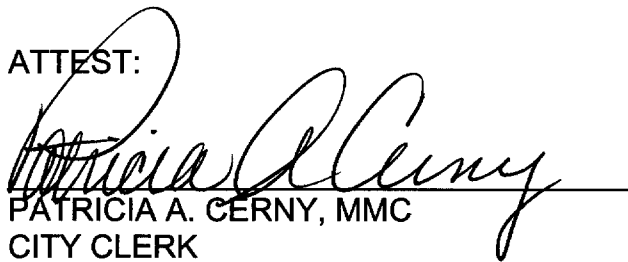
PASSED AND ADOPTED this 4 day of May, 2011.

RENDERED this 11 day of May, 2011.



PETER BOBER, MAYOR

ATTEST:



PATRICIA A. CERNY, MMC  
CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only.

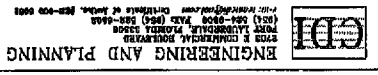


JEFFREY P. SHEFFEL  
CITY ATTORNEY



**PROJECT DATA**

**ARTS PARK VILLAGE at YOUNG CIRCLE**



OWNER: RED APPLE HOLLYWOOD, LLC AND WSG HOLLYWOOD DEVELOPMENT, LLC  
 PROJECT: ARTS PARK VILLAGE AT YOUNG CIRCLE  
 DRAWING TITLE: DATA SHEET

DATE: 03-16-11  
 DRAWN BY: D.A.F.  
 CHECKED BY: D.A.F.  
 SCALE: 1/4" = 1'-0"  
 SHEET NO: 1 OF 1  
 PROJECT NO: A1.00

**ZONING INFORMATION**

CURRENT ZONING: PLANNED DEVELOPMENT (PD)  
 PROPOSED ZONING: PHASED PLANNED DEVELOPMENT (PD-A and PD-B)  
 TYPE OF OCCUPANCY: MIXED USE  
 NET LOT AREA: 112,087 SF/2.57 ACRES  
 GROSS LOT AREA: 178,143 SF/4.08 ACRES

**FLOOR AREA CHARTER SCHOOL (PHASE PD-A)**

CHARTER SCHOOL: 107,636 SF

**FLOOR AREA RESIDENTIAL BUILDING (PHASE PD-B1)**

GROSS FLOOR AREA: 107,636 SF

RESIDENTIAL FLOOR AREA: 376,830 SF

RETAIL/COMMERCIAL: 23,849 SF

**FLOOR AREA OFFICE BUILDING (PHASE PD-B2)**

OFFICE: 32,500 SF  
 RETAIL: 78,500 SF  
 PARKING: 78,500 SF  
 CIRCULATION/SERVICE: 8,758 SF  
 GROSS FLOOR AREA: 190,802 SF

**OPEN SPACE**

PROVIDED: 94.8%  
 TOTAL LOT COVERAGE: 1% (534 sf)  
 LAWNSPACE ON 8th FLOOR: 2% (5161 sf)  
 (RESIDENTIAL)

**PARKING DATA**

**PARKING REQUIRED**  
 TOWER: 585  
 RESIDENTIAL: 78  
 RETAIL: 103  
 OFFICE BUILDING: 39  
 RETAIL: 39  
 OFFICE: 210  
 SCHOOL BUILDING: 100  
 TOTAL REQUIRED = 1,115 SPACES

**PARKING PROVIDED**

RESIDENTIAL TOWER: 638 SPACES  
 OFFICE BUILDING: 184 SPACES  
 TOTAL PROVIDED = 822 SPACES  
 \*PARKING COUNT DOES NOT INCLUDE THE 45 TANDEM SPACES THAT ARE PROVIDED  
 773 SPACES \*NUMBER OF SPACES RECOMMENDED PER SHARED PARKING ANALYSIS  
 29 \*SURPLUS  
 TOTAL PROVIDED IN R.O.W. = 86 SPACES  
 TOTAL HANDICAP SPACES = 17 SPACES PROVIDED (2% of total: 802 x .02 = 16 SPACES REQUIRED)

**PARKING SPACE DIMENSIONS**

**PARKING REQUIRED**  
 TYPICAL PARKING STALL: 8'-6"x19'-0" WITH A 24'-0" BACKUP  
 8'-6"x19'-0" WITH A 24'-0" BACKUP  
 10'-6"x19'-0" WITH A 24'-0" BACKUP  
 NEXT TO WALL: 10'-6"x19'-0" WITH A 24'-0" BACKUP  
 LESS THAN 3'-0" SPACING BETWEEN DRIVEWAY AND COLUMN ON SOME PARKING STALLS

**DRIVE ISLE DIMENSIONS**

DRIVE ISLES: PROVIDED 24'-0"

**SCHOOL BUILDING SETBACKS (PHASE PD-A)**

REQUIRED	PROVIDED	RECOMMENDATIONS BY ZYSKOVICH
0'-0"	10'-0"	5'-0"
25'-0"	1'-8.5"	0'-0"
25'-0"	0'-0"	0'-0"
0'-0"	0'-0"	0'-0"

**RESIDENTIAL BUILDING SETBACKS (PHASE PD-B1)**

REQUIRED	PROVIDED	RECOMMENDATIONS BY ZYSKOVICH
PEDESTAL = 25'-0"	10'-0"	5'-0"
TOWER = 25'-0"	10'-0"	5'-0"
PEDESTAL = 25'-0"	18'-8"	10'-0"
TOWER = 25'-0"	18'-8"	10'-0"
PEDESTAL = 25'-0"	18'-8"	10'-0"
TOWER = 25'-0"	18'-8"	10'-0"
PEDESTAL = 25'-0"	18'-8"	10'-0"
TOWER = 25'-0"	18'-8"	10'-0"

**OFFICE BUILDING SETBACKS (PHASE PD-B2)**

REQUIRED	PROVIDED	RECOMMENDATIONS BY ZYSKOVICH
25'-0"	0'-0"	0'-0"
25'-0"	0'-0"	0'-0"
0'-0"	0'-0"	0'-0"

**LOADING SPACES**

REQUIRED	PROVIDED	REQUIRED
RESIDENTIAL: 6	6	7
OFFICE: 1	1	3
SCHOOL: 1	1	3

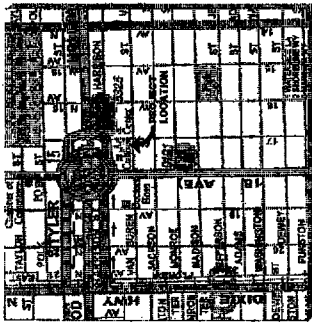
**BUILDING HEIGHT**

RESIDENTIAL BUILDING:	PEDESTAL =	82'-0"	6.5 STORIES
OFFICE BUILDING:	TOWER =	226'-4"	22 STORIES
CHARTER SCHOOL:		87'-8"	8 STORIES
		52'-0"	5 STORIES

**RESIDENTIAL UNIT TYPE COUNT**

TOTAL:	390 RESIDENTIAL UNITS	96 UNITS/ACRE
8% STUDIO	30	AVG. UNIT SIZE 518 SF
48% 1 BD	186	807 SF
39% 2 BD	153	1102 SF
5% 3 BD	21	1,434 SF
TOTAL UNITS	390	





**LOCATION MAP**  
 SECTION 15, TOWNSHIP 31 S, RANGE 42 E NORTH

**GENERAL PLANTING REQUIREMENTS**

No plant materials shall be placed where they will obstruct views to roadway signage or be placed within sight lines.

All sizes shown for plant materials on the plans are to be confirmed. Minimum height and spread. Any other requirements for specific shapes or effects on road on the plan(s) will also be required for final approval.

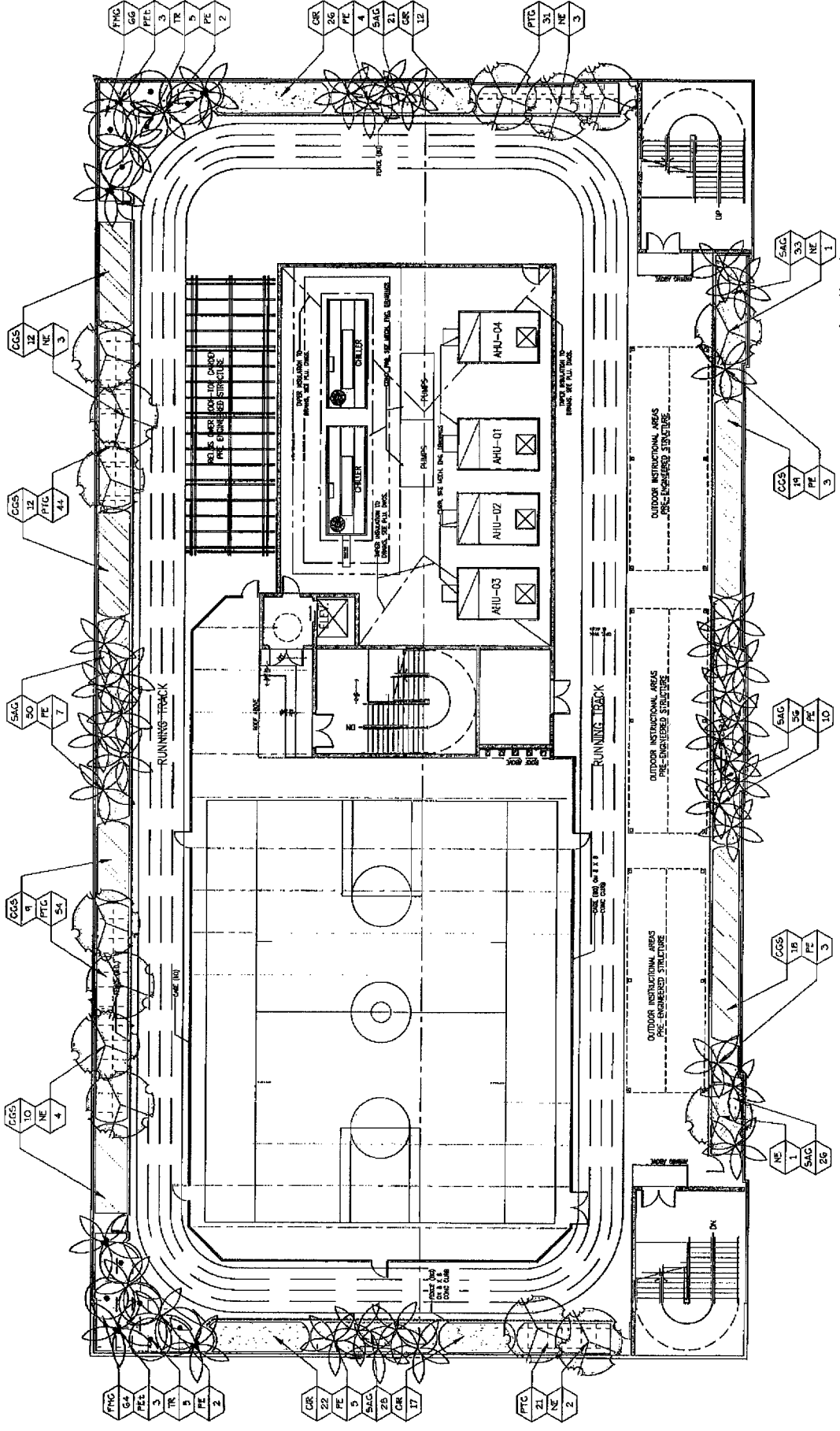
All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plant" and shall be certified by the Florida Nursery Trade. All materials shall be installed as per CSI specifications.

All plant material to be installed shall be inspected by the landscape contractor for a minimum period of 14 days prior to installation. All plants, all shrubs, vines, groundcovers and other landscape planting materials, for all uses, shall be inspected for 14 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in a hole that is 2 to 3 times the diameter of the root ball. All soil must be free of all rocks, sticks, and objectionable material. Weeds and tree roots (12" of planting and 24" and 36" and 48" and 60" and 72" and 84" and 96" and 108" and 120" and 132" and 144" and 156" and 168" and 180" and 192" and 204" and 216" and 228" and 240" and 252" and 264" and 276" and 288" and 300" and 312" and 324" and 336" and 348" and 360" and 372" and 384" and 396" and 408" and 420" and 432" and 444" and 456" and 468" and 480" and 492" and 504" and 516" and 528" and 540" and 552" and 564" and 576" and 588" and 600" and 612" and 624" and 636" and 648" and 660" and 672" and 684" and 696" and 708" and 720" and 732" and 744" and 756" and 768" and 780" and 792" and 804" and 816" and 828" and 840" and 852" and 864" and 876" and 888" and 900" and 912" and 924" and 936" and 948" and 960" and 972" and 984" and 996" and 1008" and 1020" and 1032" and 1044" and 1056" and 1068" and 1080" and 1092" and 1104" and 1116" and 1128" and 1140" and 1152" and 1164" and 1176" and 1188" and 1200" and 1212" and 1224" and 1236" and 1248" and 1260" and 1272" 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SEAL

PROJECT NO.	28263
DRAWN BY	J.S.
DESIGNED BY	J.S.
CHECKED BY	J.L.
DATE	6/02/09
DWG. NO.	RL-1
SHEET NO.	1 of 2
REVISONS	
	11-06-09



ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 INTERIORS  
 ENVIRONMENTAL PROCESSING

**ARCHITECTURAL ALLIANCE**  
 288 DAVIS BOULEVARD, FORT LINDSEY, KANSAS 66111  
 (913) 244-8100 FAX: (913) 244-8082

NORTH  
 SCALE: 1/8" = 1'-0"







ENGINEERING AND PLANNING  
 325 N. W. 11th St.  
 Fort Lauderdale, Florida 33304  
 (954) 575-1100 FAX (954) 575-1102  
 www.cedip.com



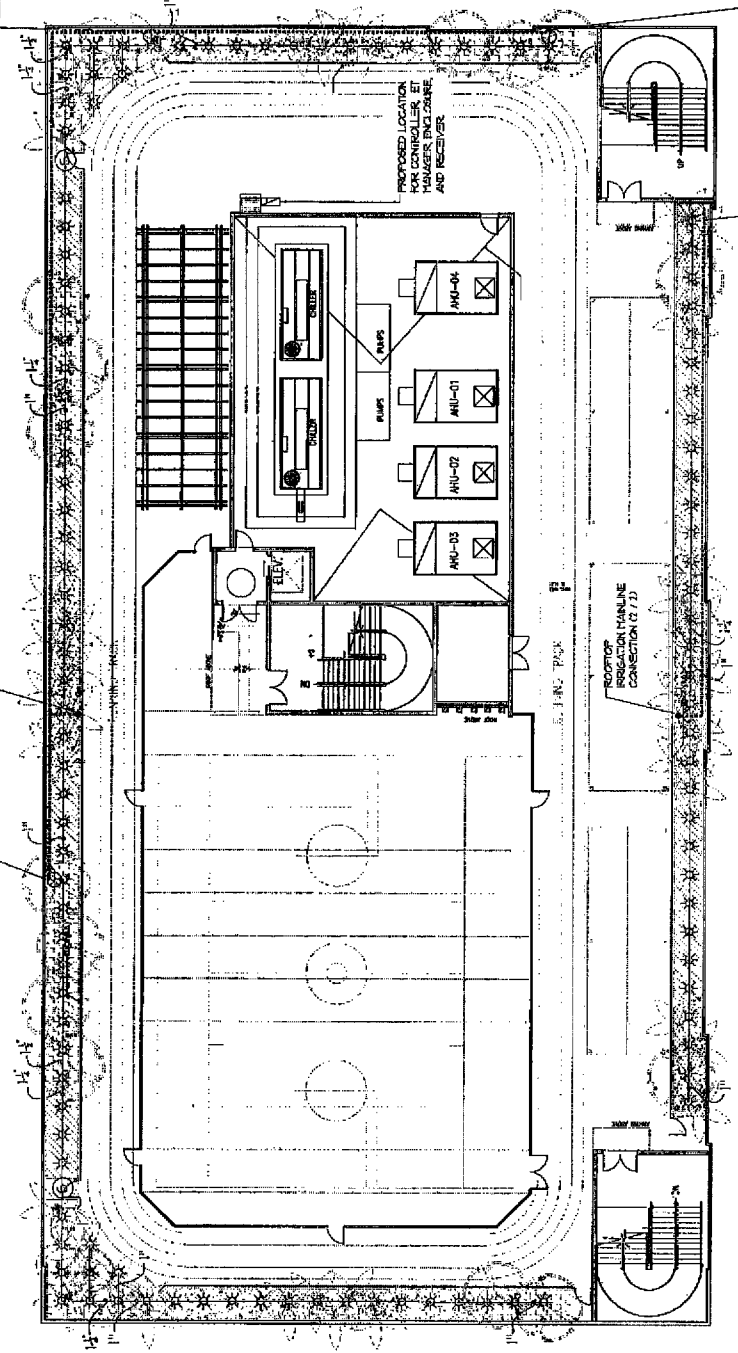
DRWG. TITLE: ROOFTOP IRRIGATION PLAN  
 PROJECT: HOLLYWOOD ACADEMY OF ARTS & SCIENCES  
 ORDER: W-0028 5/17/06  
 ORDER: RED APPLE DEVELOPMENT, LLC.

PROJECT NO. 282-03  
 DRAWN BY J.S.  
 DESIGNED BY J.S.  
 CHECKED BY J.L.  
 DATE: 6/22/06  
 DWG. NO. L1-2  
 SET NO. 2 of 2  
 REVISIONS: 10-13-06  
 11-06-06

SCALE

Zone 2  
35 14

Zone 1  
35 14



Zone 3  
15 1

Zone 4  
32 1



NORTH  
 SCALE: 1" = 10'-0"

ARCHITECTIVE  
 INTERIOR DESIGN  
 LAND PLANNING  
 ARCHITECTURAL RENDERING  
**ARCHITECTURAL ALLIANCE**  
 1000 N. W. 11th St., Fort Lauderdale, FL 33304  
 (954) 575-1100 FAX (954) 575-1102

L&P Design Associates, LLC  
 10000 West 10th Avenue, Suite 100  
 Denver, CO 80202  
 Phone: (303) 751-1100  
 Fax: (303) 751-1101  
 www.lampdesign.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/10
2	ISSUED FOR PERMIT	10/15/10
3	ISSUED FOR PERMIT	10/15/10
4	ISSUED FOR PERMIT	10/15/10
5	ISSUED FOR PERMIT	10/15/10
6	ISSUED FOR PERMIT	10/15/10
7	ISSUED FOR PERMIT	10/15/10
8	ISSUED FOR PERMIT	10/15/10
9	ISSUED FOR PERMIT	10/15/10
10	ISSUED FOR PERMIT	10/15/10

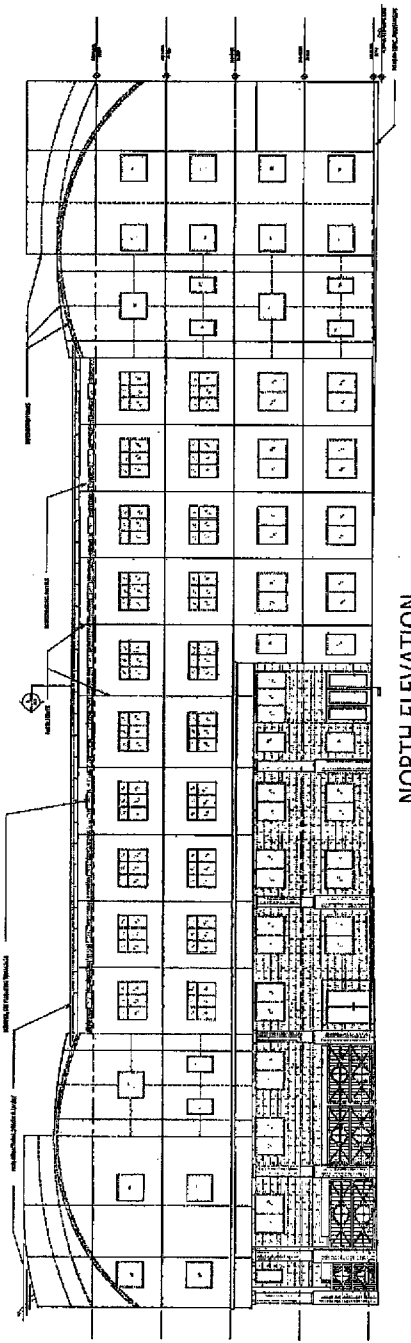
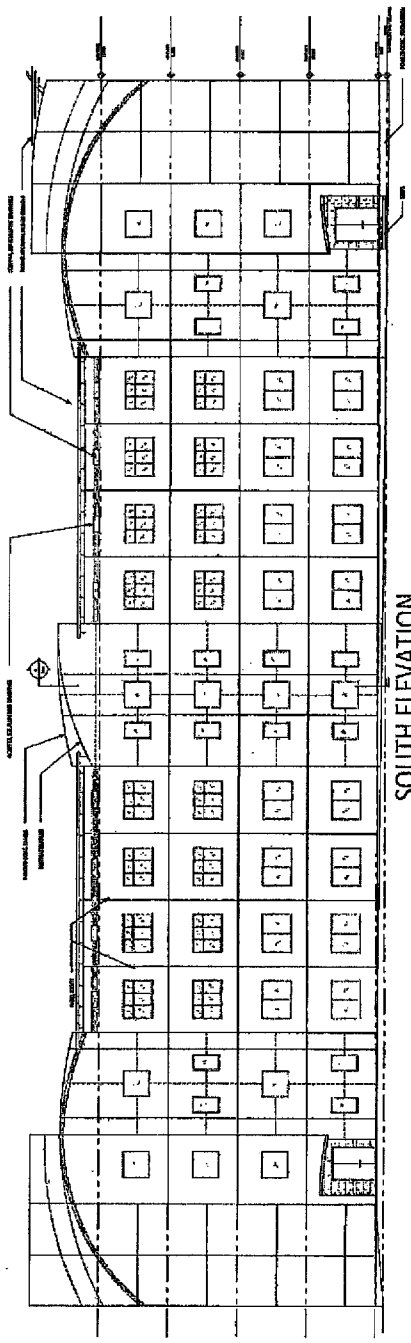
CHARTER SCHOOL USA & RED APPLE DEVELOPMENT  
 RED APPLE DEVELOPMENT, LLC  
 10000 West 10th Avenue, Suite 100  
 Denver, CO 80202  
 Phone: (303) 751-1100  
 Fax: (303) 751-1101  
 www.lampdesign.com

CHARTER SCHOOLS USA  
 10000 West 10th Avenue, Suite 100  
 Denver, CO 80202  
 Phone: (303) 751-1100  
 Fax: (303) 751-1101  
 www.lampdesign.com

NORTH & SOUTH  
 ELEVATIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/10
2	ISSUED FOR PERMIT	10/15/10
3	ISSUED FOR PERMIT	10/15/10
4	ISSUED FOR PERMIT	10/15/10
5	ISSUED FOR PERMIT	10/15/10
6	ISSUED FOR PERMIT	10/15/10
7	ISSUED FOR PERMIT	10/15/10
8	ISSUED FOR PERMIT	10/15/10
9	ISSUED FOR PERMIT	10/15/10
10	ISSUED FOR PERMIT	10/15/10

A4.1



ELEVATIONS 1/8" = 1'-0"

LM Design Associates, LLC  
 ARCHITECTS  
 10000 HOLLYWOOD BLVD., SUITE 1000  
 HOLLYWOOD, FL 33025  
 TEL: 305-975-1100  
 FAX: 305-975-1101  
 WWW.LMDESIGN.COM

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	08/14/13
2	ISSUE FOR CONSTRUCTION	08/14/13
3	ISSUE FOR CONSTRUCTION	08/14/13
4	ISSUE FOR CONSTRUCTION	08/14/13
5	ISSUE FOR CONSTRUCTION	08/14/13
6	ISSUE FOR CONSTRUCTION	08/14/13
7	ISSUE FOR CONSTRUCTION	08/14/13
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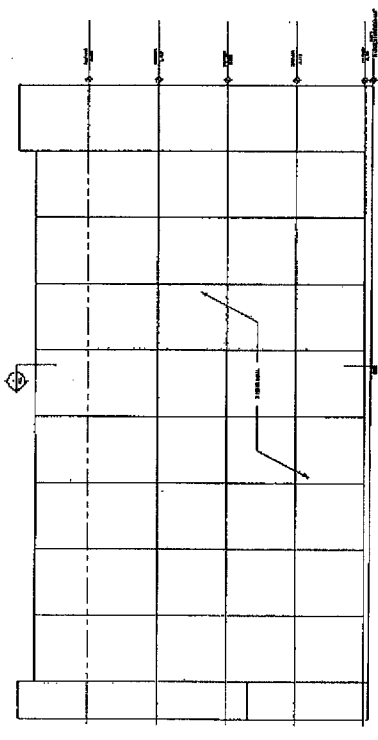
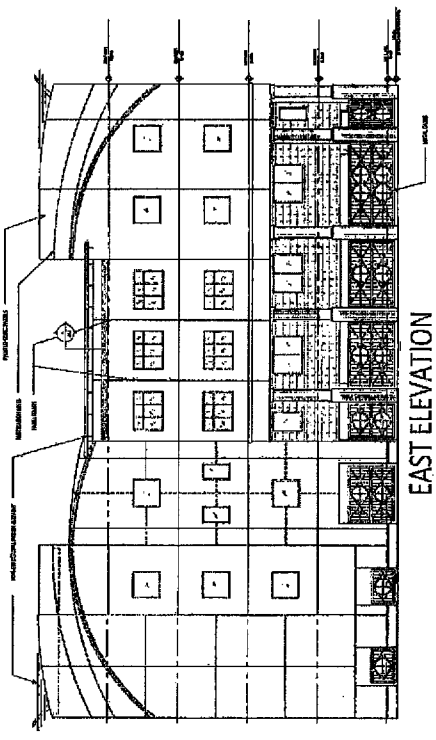
RED APPLE DEVELOPMENT, LLC  
 CHARTER SCHOOL USA & RED APPLE DEVELOPMENT  
 10000 HOLLYWOOD BLVD., SUITE 1000  
 HOLLYWOOD, FL 33025  
 TEL: 305-975-1100  
 FAX: 305-975-1101  
 WWW.CHARTERSCHOOLUSA.COM

CHARTER SCHOOLS USA  
 HOLLYWOOD MODERN OF ARTS & SCIENCES  
 10000 HOLLYWOOD BLVD., SUITE 1000  
 HOLLYWOOD, FL 33025  
 TEL: 305-975-1100  
 FAX: 305-975-1101  
 WWW.CHARTERSCHOOLUSA.COM

EAST & WEST ELEVATIONS

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	08/14/13
2	ISSUE FOR CONSTRUCTION	08/14/13
3	ISSUE FOR CONSTRUCTION	08/14/13
4	ISSUE FOR CONSTRUCTION	08/14/13
5	ISSUE FOR CONSTRUCTION	08/14/13
6	ISSUE FOR CONSTRUCTION	08/14/13
7	ISSUE FOR CONSTRUCTION	08/14/13
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9	ISSUE FOR CONSTRUCTION	08/14/13
10	ISSUE FOR CONSTRUCTION	08/14/13

A4.2

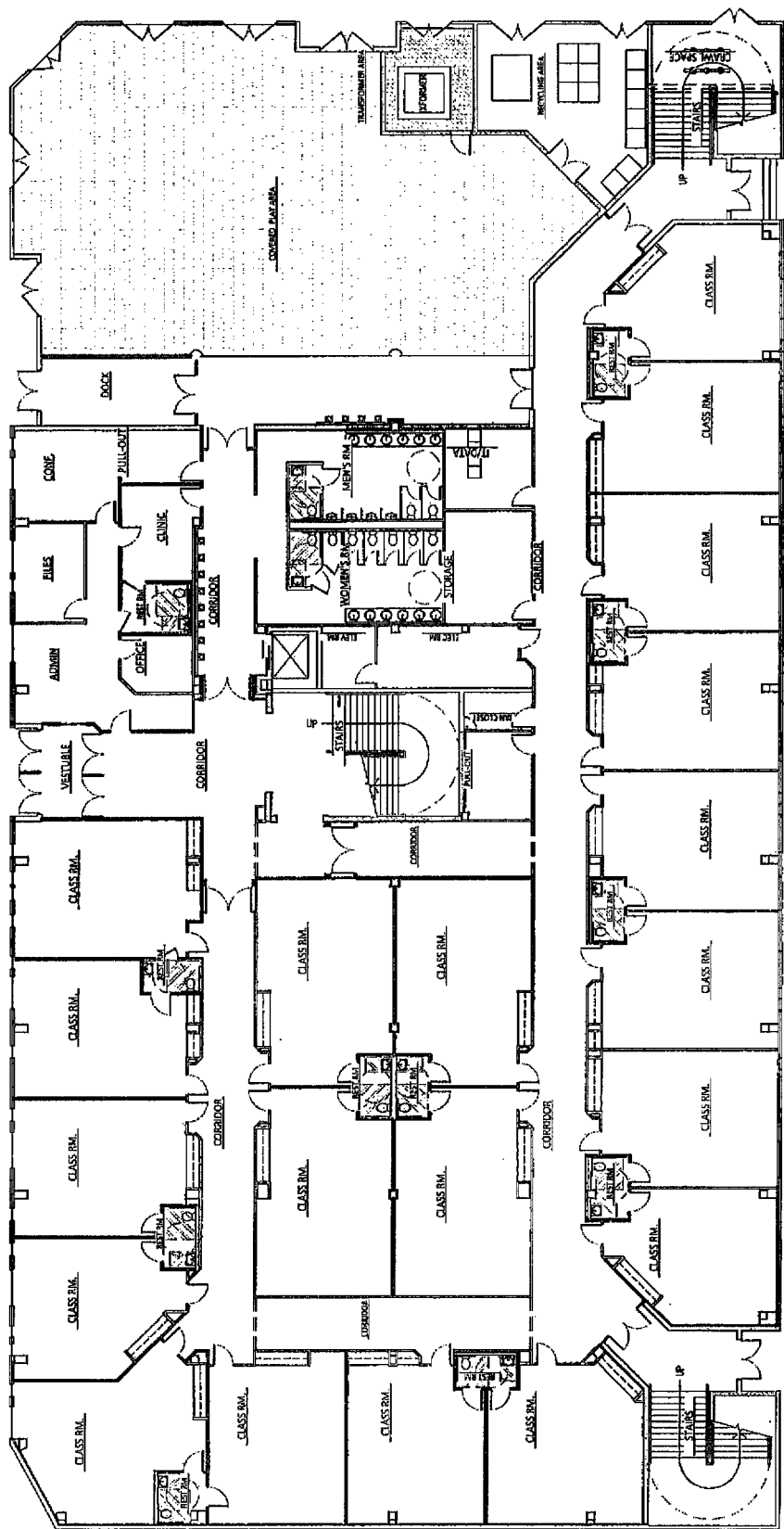


ELEVATIONS  
 APP - 104

LAI Design Associates, LLC  
 DESIGN & ENGINEERING & PLANNING  
 1200 W. BIRKEN SWEEP  
 HOLLYWOOD, FLORIDA 33020  
 PHONE: (954) 966-1111  
 FAX: (954) 966-1112  
 WWW.LAIDesign.com

CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 1200 W. BIRKEN SWEEP  
 HOLLYWOOD, FLORIDA 33020  
 FORWARD COUNT 1

1ST FLOOR PLAN  
 SK01





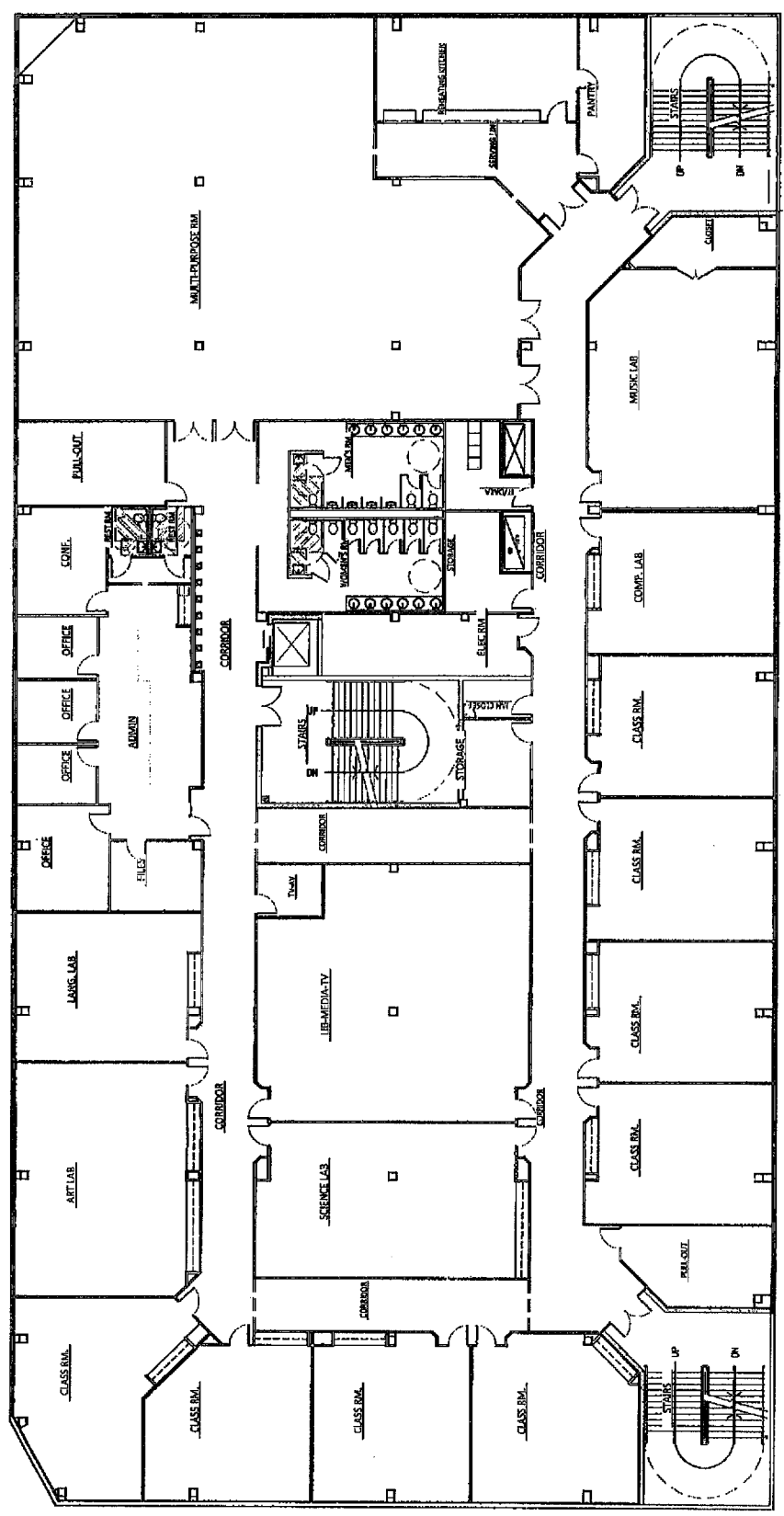
LAI Design Associates, LLC  
 DESIGN & ENGINEERING & PLANNING  
 1700 CHANDLER WAY, SUITE 200, CHANDLER, AZ 85226  
 (480) 948-1000  
 www.laidesign.com

ARCHITECT  
 PROJECT NO. 2010-001  
 DATE: 08/14/10

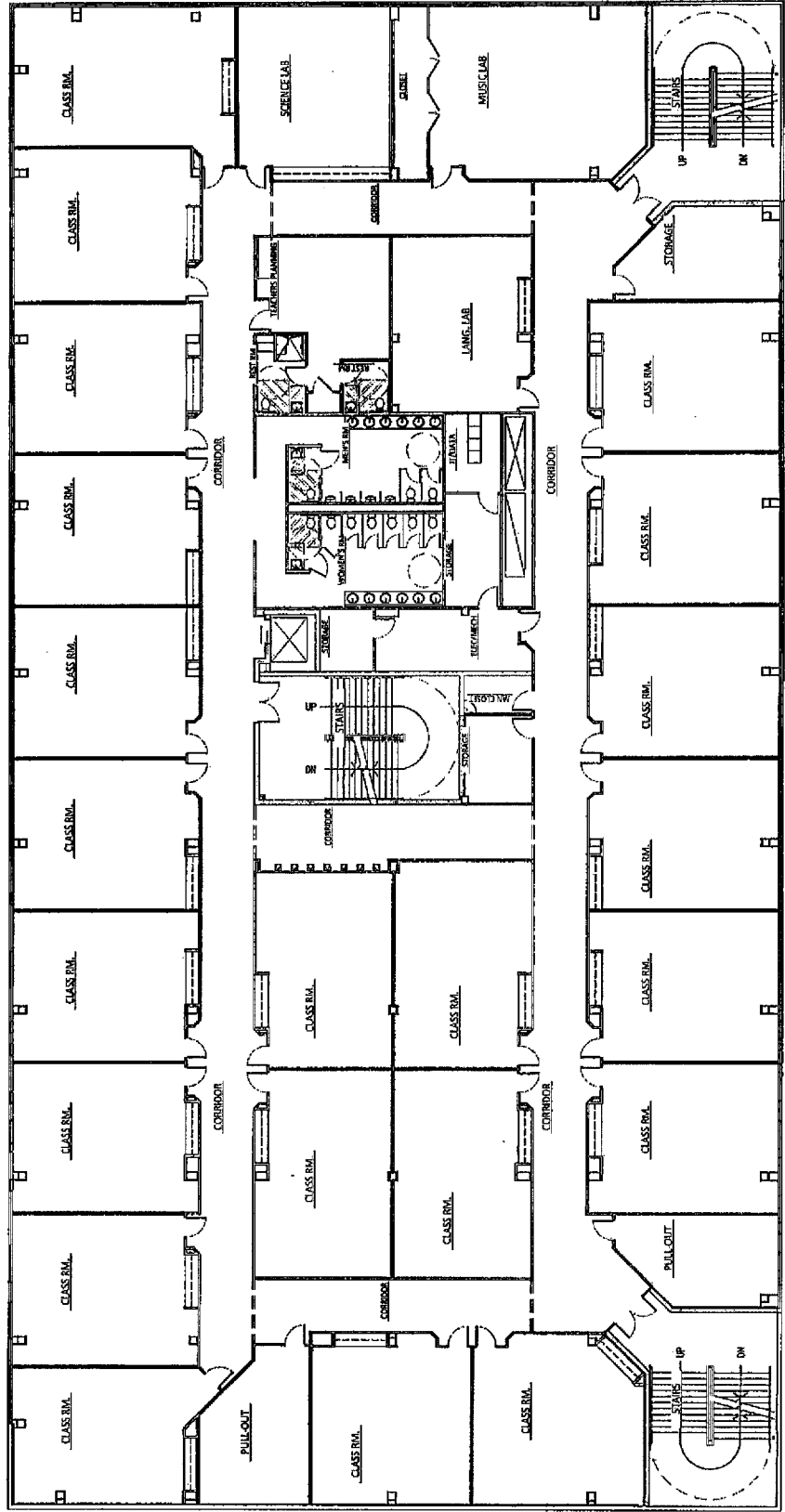
CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 1305 NW 86TH STREET  
 HOLLYWOOD, FLORIDA  
 BOARD ROOM

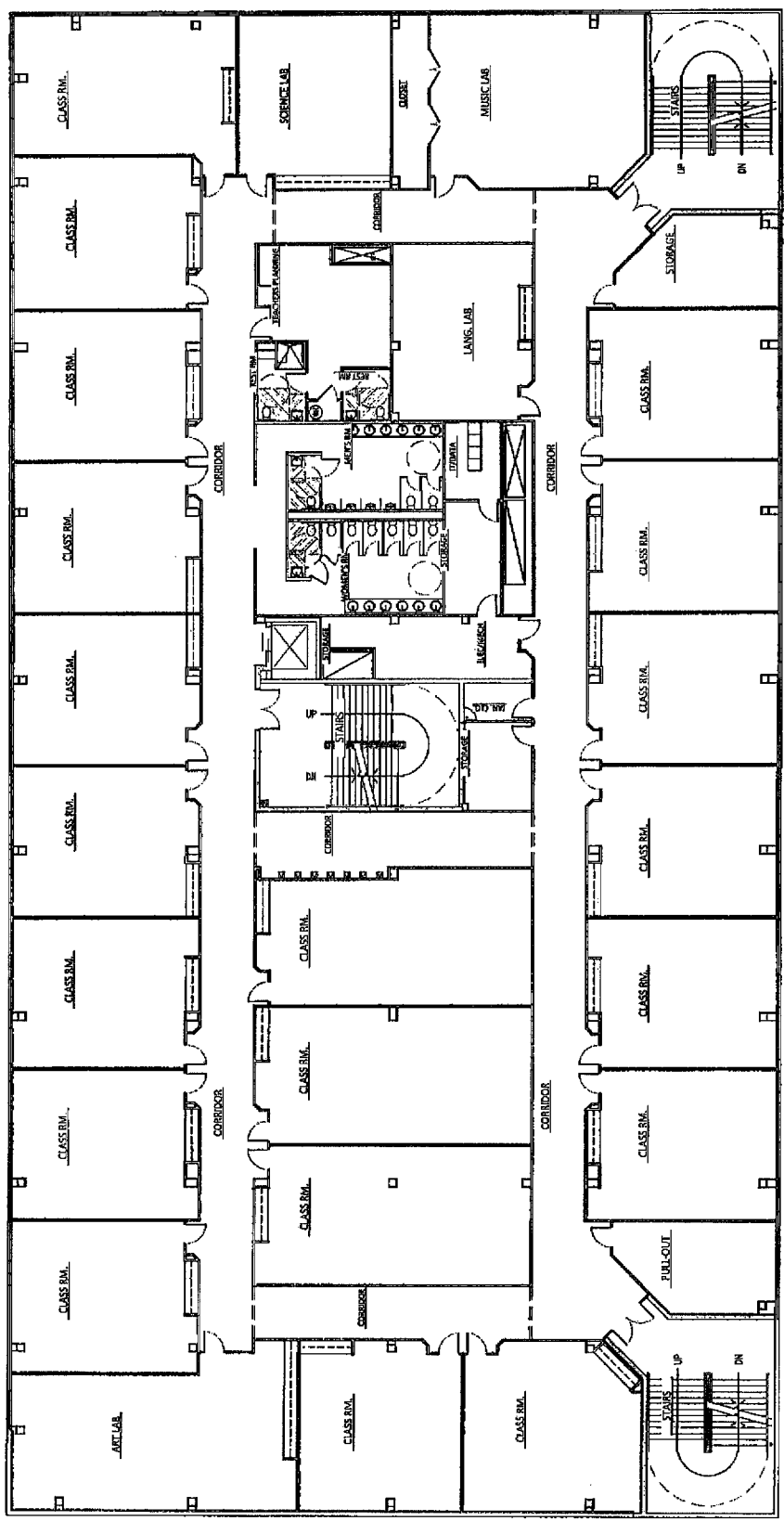
2nd  
 FLOOR  
 PLAN

SK02



CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 1305 NW 86TH STREET  
 HOLLYWOOD, FLORIDA  
 BOARD ROOM





LAI Design Associates, LLC  
 DESIGN & ENGINEERING IN PLANNING  
 40 LAKE CREEK BLVD  
 SUITE 200  
 HOUSTON, TEXAS 77057  
 TEL: 281.465.1234  
 WWW.LAIDESIGNASSOCIATES.COM

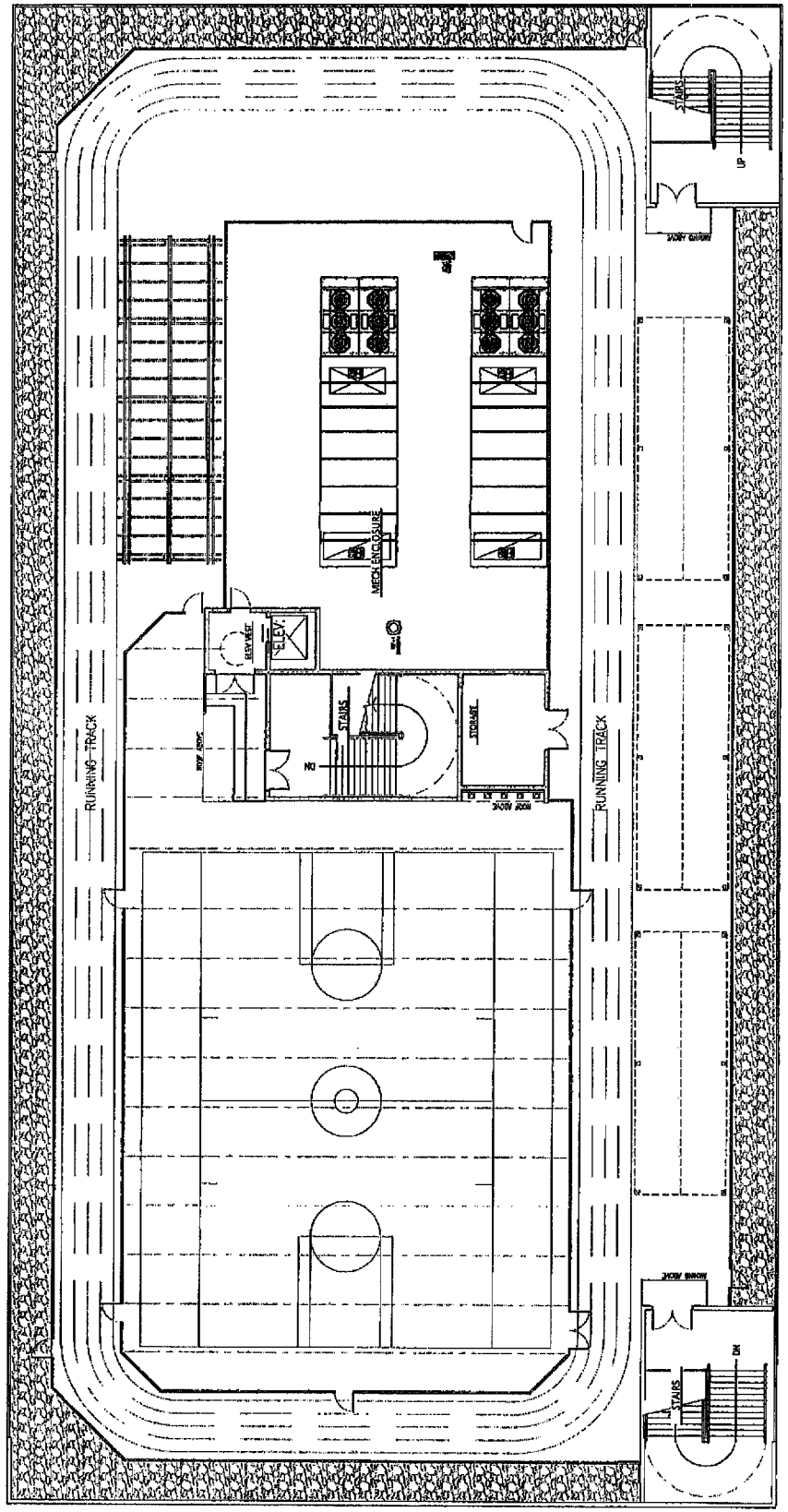
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 SHEET NO. SK05  
 DATE: 08/15/15

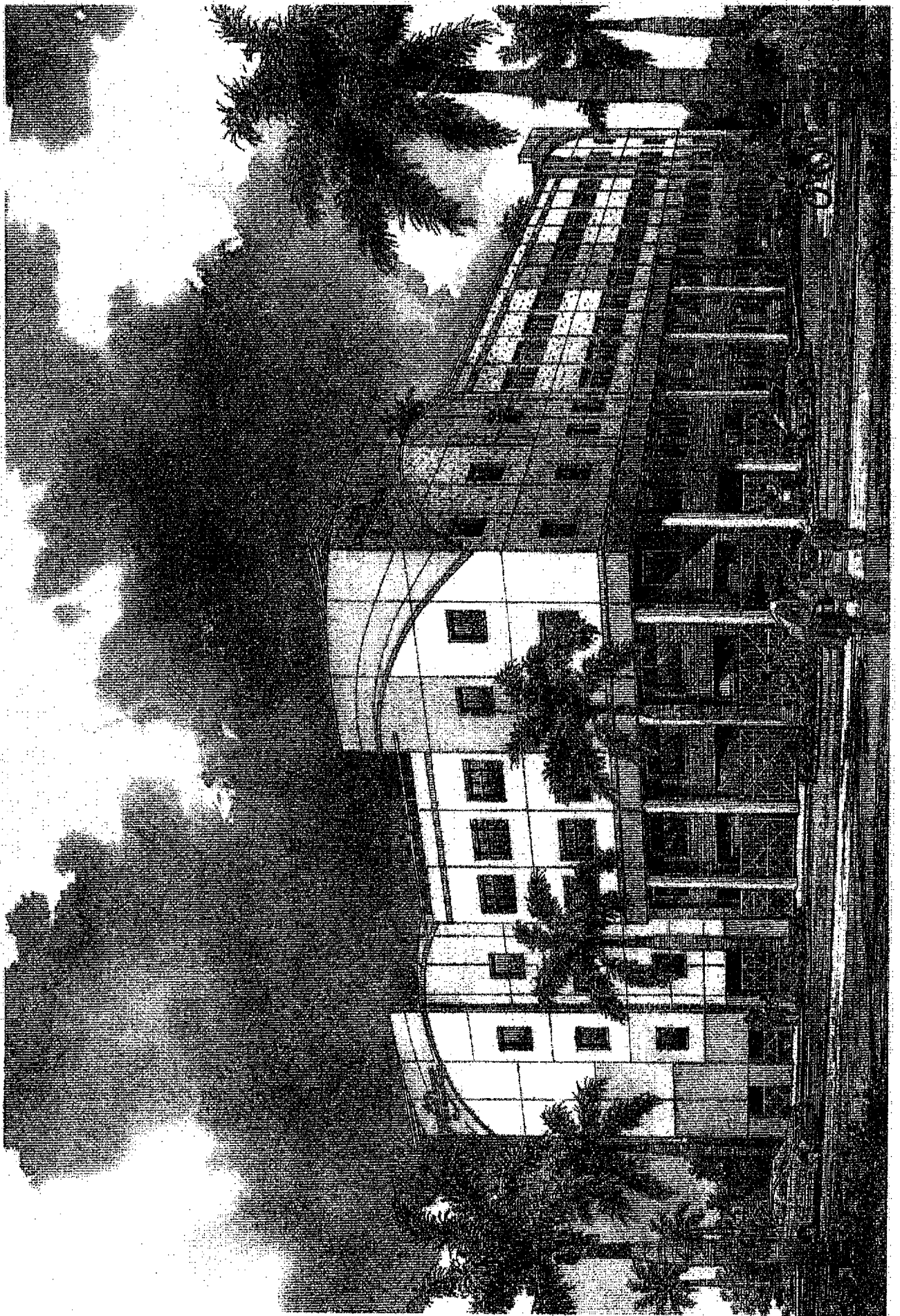
CHARTER SCHOOLS USA  
 HOLLYWOOD ACADEMY OF ARTS AND SCIENCES  
 1705 WILSON STREET  
 HOLLYWOOD, FLORIDA 33021  
 PROJECT NO. 15-0001

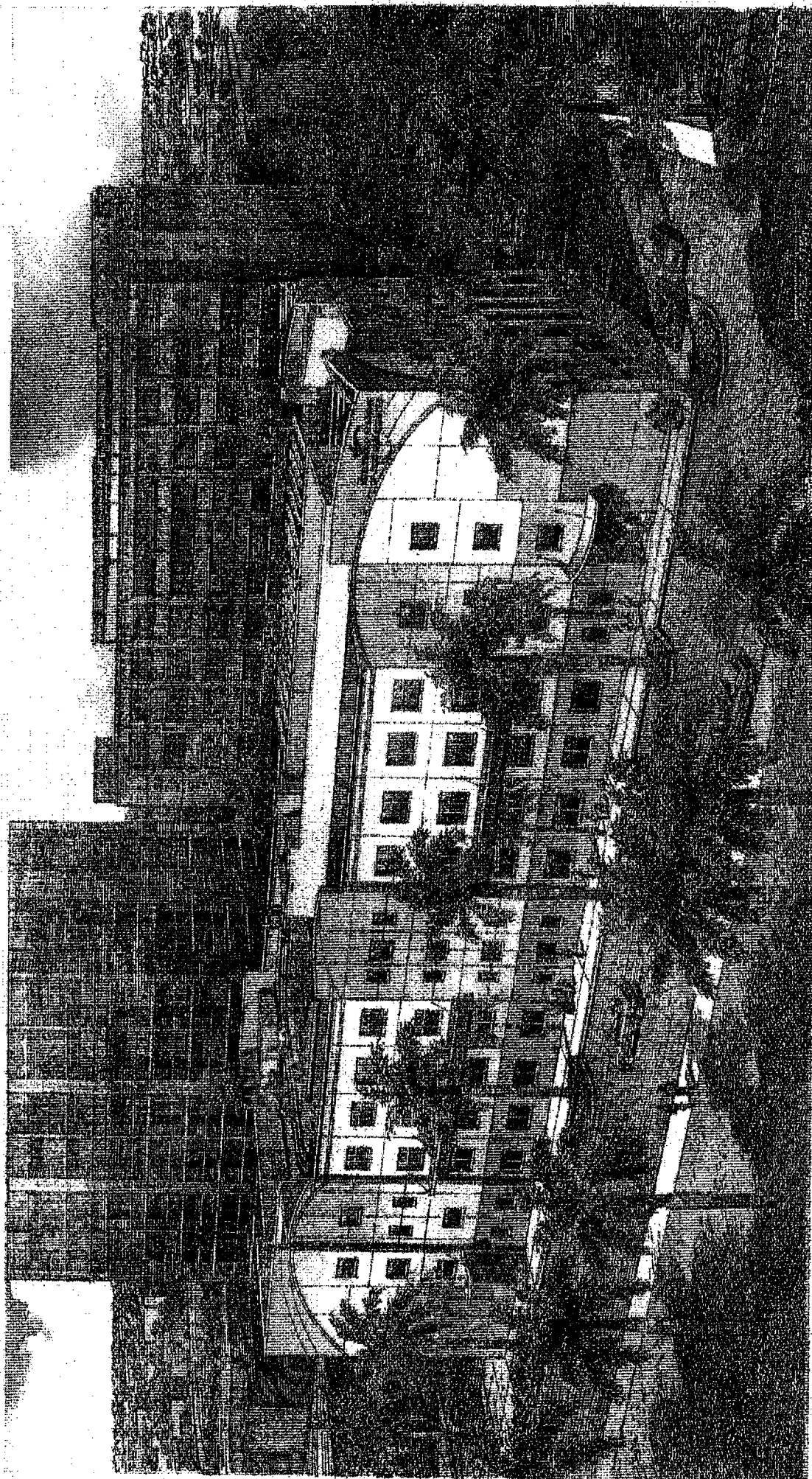
ROOF TOP  
 PLAY AREA  
 PLAN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/15
2	ISSUED FOR CONSTRUCTION	08/15/15
3	ISSUED FOR AS-BUILT	08/15/15

SK05









RESOLUTION NO. R-2012-312

(12-D-72)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING MODIFICATIONS TO A PREVIOUSLY APPROVED DESIGN FOR ARTSPARK VILLAGE- A PLANNED DEVELOPMENT (RED APPLE CHARTER SCHOOL), (APPROVED BY RESOLUTION NO. R-2008-253 AND AMENDED BY RESOLUTIONS R-2009-211 AND R-2011-107).

WHEREAS, on April 20, 2011, the City Commission passed and adopted Ordinance No. O-2011-12, which bifurcated the ArtsPark Village Planned Development into ArtsPark Village – A and ArtsPark Village – B; and

WHEREAS, on May 4, 2011, the City Commission passed and adopted Resolution No. R-2011-107 which approved modifications to the previously approved site plan for ArtsPark Village which included changes to the elevations and Phasing Plan to show the bifurcation of the Planned Development; and

WHEREAS, the City of Hollywood Zoning and Land Development Regulations require that all development projects that are located in a Planned Development District (PD) must receive Design approval from the City Commission prior to the issuance of any Building Permits; and

WHEREAS, an application was filed with the Department of Planning and Development Services requesting Design Modifications to the approved development consisting of a 107,845 sq. ft. Charter School, as more particularly described in Exhibit "A"; and

WHEREAS, Red Apple Hollywood LLC, herein as (the "Applicant") has submitted modifications to the Design to eliminate rooftop landscaping materials while incorporating a new decorative perimeter railing, as shown on Exhibit "B", and

WHEREAS, the Applicant has indicated that the proposed modifications will not change the approved height, number of residential units or traffic flow in and out of the site; and

WHEREAS, Staff has reviewed the proposed modifications to the Design which is a part of the Site Plan for the ArtsPark Village development and are recommending approval; and

WHEREAS, the City Commission has reviewed the proposed modifications to the Design portion of the Site Plan for the development and has determined that the Design portion of the Site Plan should be approved;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

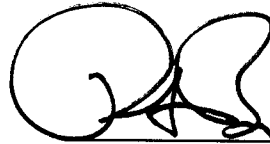
Section 1: That it hereby approves the ArtsPark Village (WSG) Design Modifications to the Site Plan attached hereto and incorporated herein by reference as Exhibit "B" and Resolution Nos. R-2008-253, R-2009-211, and R-2011-107 are hereby amended to reflect such modifications.

Section 2: Upon approval of the Design modifications, the Applicant shall have up to 24 months from the date of the resolution to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the required time period shall render all approvals null and void.

Section 3: That this resolution shall be in full force and effective immediately upon its passage and adoption.

PASSED AND ADOPTED this 3 day of Oct, 2012.

RENDERED this 11 day of Oct, 2012.



PETER BOBER, MAYOR

ATTEST.



PATRICIA A. CERNY, MMC  
CITY CLERK

APPROVED AS TO FORM & LEGALITY  
for the use and reliance of the  
City of Hollywood, Florida only.

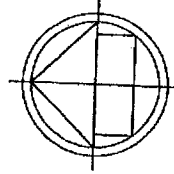
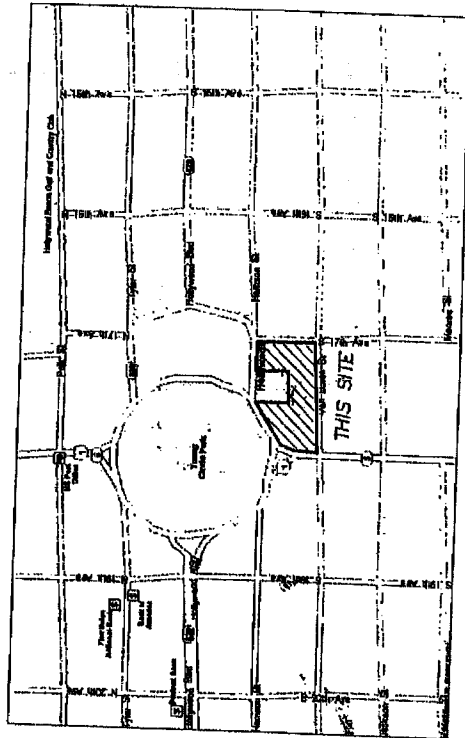


JEFFREY P. SHEFFEL, CITY ATTORNEY

EXHIBIT A

ALTA/ACSM LAND TITLE SURVEY

NET AREA = 112,291 SQ.FT. / 2.5781 ACRES  
 GROSS AREA = 178,143 SQ.FT. / 4.0896 ACRES



ZONING : CDD - CENTRAL CITY COMMERCIAL LOW INTENSITY DISTRICT

PARCEL	AREA	USE	REMARKS	REQUIREMENTS	REMARKS	REQUIREMENTS	REMARKS	REQUIREMENTS
ALL PARCELS	9 FEET	MINIMUM SETBACK	MINIMUM SETBACK	MINIMUM SETBACK	MINIMUM SETBACK	MINIMUM SETBACK	MINIMUM SETBACK	MINIMUM SETBACK
PARCEL 1	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 2	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 3	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 4	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 5	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 6	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 7	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 8	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 9	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 10	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 11	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 12	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 13	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 14	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 15	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 16	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 17	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 18	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 19	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE
PARCEL 20	5.2 FEET CLEAR	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE	MINIMUM CLEARANCE

COUSINS SURVEYORS & ASSOCIATES, INC.  
 3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 8448  
 PHONE (954)680-9885 FAX (954)680-0213

PROJECT NUMBER : 5418-04  
 CLIENT :  
 WSG DEVELOPMENT

REVISIONS	DATE	BY	PC	DWN	CKD
REVISIONS PER CITY	10/12/07	AV			REC
REVISED PER NEW O & E REPORT	11/07/07	AV			REC

FLOOD ZONE INFORMATION  
 COMMUNITY NUMBER 125113  
 PANEL NUMBER 0317 G  
 ZONE N/A  
 BASE FLOOD ELEVATION N/A  
 EFFECTIVE DATE 10/02/07

PROPERTY ADDRESS :  
 1000 S. HOLLYWOOD  
 LOS ANGELES, CALIF. 90015

SCALE: N/A

SHEET 1 OF 3

**NOTES:**

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED FROM BEGINNING TO OCTOBER 26, 2007, FILE NO. 1062-1677305
3. THIS SURVEY WAS DONE SOLELY TO SHOW BOUNDARY INFORMATION AND DOES NOT DEPEND ON THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE INITIAL LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT AND THE SUBSEQUENT METES AND BOUNDS DESCRIPTION WAS PREPARED BY THE SURVEYOR.
5. UNDERGROUND IMPROVEMENTS ARE NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988.
7. BENCHMARK DESCRIPTION: CITY OF HOLLYWOOD BENCHMARK @ JEFFERSON STREET AND 16TH AVENUE. ELEVATION = 5.70'
8. BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N90°00'00" E.
9. SETBACK REGULATIONS: 2 STORY OR LESS NO SETBACKS FRONT 10 FEET SIDE FACING A STREET 10 FEET REAR 20 FEET 0 FEET

10. PROPERTY IS ZONED: CCC1 - CENTRAL CITY COMMERCIAL LOW INTENSITY

11. PARKING COUNT: REGULAR SPACES = 402  
HANDICAP SPACES = 4  
TOTAL SPACES = 408

12. OWNERSHIP AND ENCUMBRANCE REPORT TITLE COMMITMENT REVIEW RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS PER PLAT BOOK 1, PAGE 21, B.C.A. (AFFECTS / PLOTTED)

EASEMENT PER ORB 3439, PG. 648, AS AFFECTED BY SUBORDINATION OF UTILITY INTEREST PER ORB 18262, PG. 848. (PARCELS 1, 2 AND 7) (AFFECTS / PLOTTED)

DECLARATION OF EASEMENTS AND RIGHTS PER ORB 10828, PG. 354, AS MODIFIED BY CORRECTIVE JOINDER TO DECLARATION OF EASEMENTS AND RIGHTS PER ORB 10781, PG. 662, AS MODIFIED BY MODIFICATION OF DECLARATION OF EASEMENTS AND RIGHTS PER ORB 15139, PG. 11. (PARCELS 1, 2 AND 7) (AFFECTS / NOT PLOTTABLE)

GRANT OF EASEMENT PER ORB 25394, PG. 56. (PARCELS 2 AND 7) (AFFECTS / NOT PLOTTABLE)

LICENSE AGREEMENT PER ORB 25364, PG. 56. (PARCELS 2 AND 7) (AFFECTS / NOT PLOTTABLE)

COVENANT RUNNING WITH THE LAND AS CONTAINED IN QUIT CLAIM DEED, PER ORB 28645, PG. 660. (PARCEL 8) (AFFECTS / NOT PLOTTABLE)

ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**COUSINS SURVEYORS & ASSOCIATES, INC.**  
 5821 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION: LB # 6448  
 PHONE (954)680-8885 FAX (954)680-0213

PROJECT NUMBER : 5418-04  
 CLIENT : WSG DEVELOPMENT

REVISED PER NEW O & E REPORT	DATE	BY/PG.	DWN	CRD
111/07/07	108/12/07	AV	REC	
		AV	REC	

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120813
PANEL NUMBER	0817 G
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	10/02/97

PROPERTY ADDRESS:  
USE THIS IN A "WALLTOP" REPORT (P.A. 1, PG. 11, B.C.A.)

SCALE: N/A

SHEET 2 OF 3

**LAND DESCRIPTION:**

LOT 1, LESS THE WEST 15 FEET, FURTHER LESS AND EXCEPT: THAT PART OF LOT 1, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 15, TOWNSHIP 31, SOUTH 84° 42' EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY 15' WIDE PARALLEL ARCS WHICH ARE TANGENT TO THE SOUTH LINE OF LOT 1 AND TANGENT TO A LINE WHICH IS PARALLEL EAST OF AND PARALLEL TO THE WEST LINE OF LOT 1. THIS PROPERTY WAS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 5082, PAGE 444, AND ALL AS LOTS 2 THROUGH 18, INCLUSIVE, AND LOT 24 LESS THE WEST 15 FEET, THEREOF, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

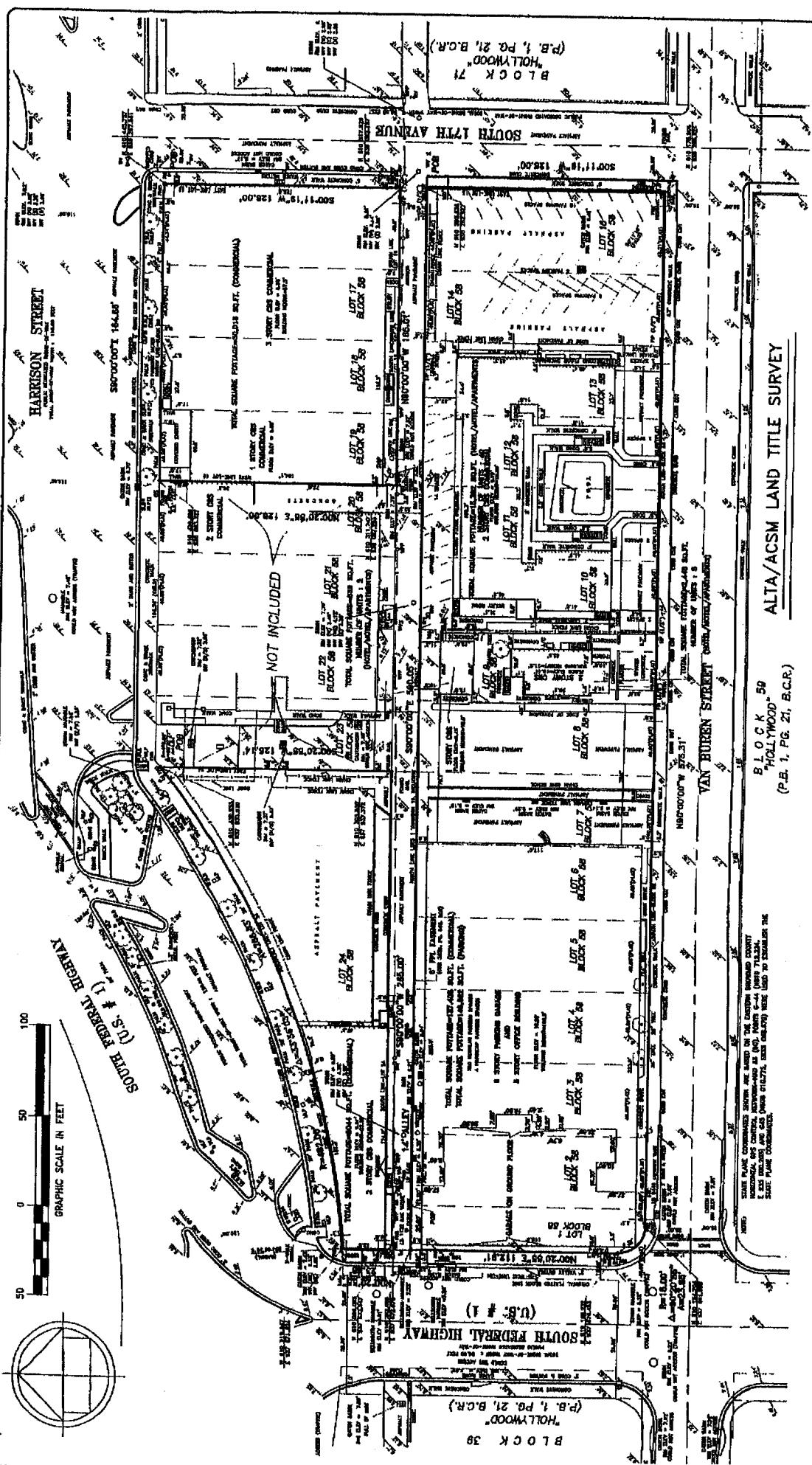
**SURVEYOR'S CERTIFICATION**

THE UNDERSIGNED HEREBY CERTIFIES TO LEHMAN BROTHERS HOLDINGS INC., A DELAWARE CORPORATION, INDIVIDUALLY AND AS LEAD ARRANGER AND ADMINISTRATIVE AGENT FOR ITSELF AND CERTAIN LIMITED LIABILITY COMPANY, AND ITS AND THEIR SUCCESSORS AND ASSIGNS, WSG HOLLYWOOD LLC, A FLORIDA LIMITED LIABILITY COMPANY, BERMAN, BENNETT, YOGEL & MANIQUER, P.A. AND FIRST AMERICAN TITLE INSURANCE COMPANY, ON MAY 17, 2007, THAT THE ATTACHED PRINT OF SURVEY CORRECTLY SHOWS THE SIZE, LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED IN THE PREMISES SHOWN ON SAID ATTACHED PRINT; THAT THE TITLE LINES AND LINES OF ACTUAL VISIBLE POSSESSION ARE THE SAME (EXCEPT ONLY WHERE EXPRESSLY STATED OTHERWISE); THAT SHOWING OR ATTACHED TO SUCH PRINT OF SURVEY IS AN ACCURATE METES AND BOUNDS DESCRIPTION OF SAID PROPERTY; THAT ALL UTILITY SERVICES REQUIRED FOR THE OPERATION OF THE PROPERTY EITHER ENTER THE PROPERTY THROUGH ADJOINING PUBLIC STREETS, OR THE SURVEY SHOWS THE POINT OF ENTRY AND LOCATION OF ANY UTILITIES WHICH PASS THROUGH OR ARE LOCATED ON ADJOINING PREMISES; THAT ALL RECORDED EASEMENTS AND OTHER EXCEPTIONS AS NOTED IN THE FIRST AMERICAN TITLE INSURANCE COMPANY'S OWNERSHIP AND ENCUMBRANCE REPORT, FILE NO. : 1062-1677305, DATED FROM BEGINNING TO AUGUST 21, 2007, HAVE BEEN CORRECTLY PLOTTED ON THE SURVEY (EXCEPT ONLY WHERE EXPRESSLY STATED OTHERWISE); AND, EXCEPT AS SHOWN, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY, NO PARTY WALLS, NO ENCROACHMENTS ON ADJOINING PREMISES, STREETS OR ALLEYS OR ANY OF SAID BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, AND NO ENCROACHMENTS ON SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS STRAIGHT ON ADJOINING PREMISES; THAT THE SURVEY SHOWS THE SHORTEST ACTUAL DISTANCES (SETBACKS) FROM EACH BUILDING TO THE NEAREST PROPERTY BOUNDARY (AND TO ANY OTHER PROPERTY BOUNDARIES FOR WHICH THERE ARE RELEVANT SETBACK RESTRICTIONS IN APPLICABLE ZONING OR BUILDING CODES) AND BETWEEN BUILDINGS; THAT THE SURVEY SHOWS THE LOCATION AND DIRECTION OF ALL STORM DRAINAGE SYSTEMS FOR THE COLLECTION AND DISPOSAL OF ALL ROOF AND SURFACE DRAINAGE, AND THAT ANY DISCHARGE INTO STREAMS, RIVERS OR OTHER CONVEYANCE SYSTEM IS SHOWN ON THE SURVEY. THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), 7(B)(1), 7(C), 8, 9, 10, 11(A) AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 06/17/07 FOR THE FIRM BY:

*Richard E. Cousins*  
 RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4186.



**OUSINS SURVEYORS & ASSOCIATES, INC.**  
3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)880-9885 FAX (954)880-0213

**PROJECT NUMBER : 5418-04**

**CLIENT :**  
WSG DEVELOPMENT

**REVISIONS**

REVISIONS PER CITY	DATE	FB/PG	DWN	CKD
08/12/07	08/12/07	AV	REC	
09/30/07	09/30/07	AV	REC	
11/07/07	11/07/07	AV	REC	

**ADDED STATE PLANE COORDINATES**  
09/30/07

**REVISED PER NEW O & E REPORT**  
11/07/07

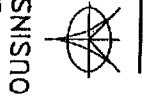
**PROPERTY ADDRESS**  
BLOCK 50, "HOLLYWOOD"  
(P.B. 1, Pg. 21, B.C.R.)

**FLOOD ZONE INFORMATION**  
COMMUNITY NUMBER 12513  
PANEL NUMBER 0317 G  
ZONE X

**SCALE: 1" = 50'**

**EFFECTIVE DATE** 10/02/07

**SHEET 3 OF 3**

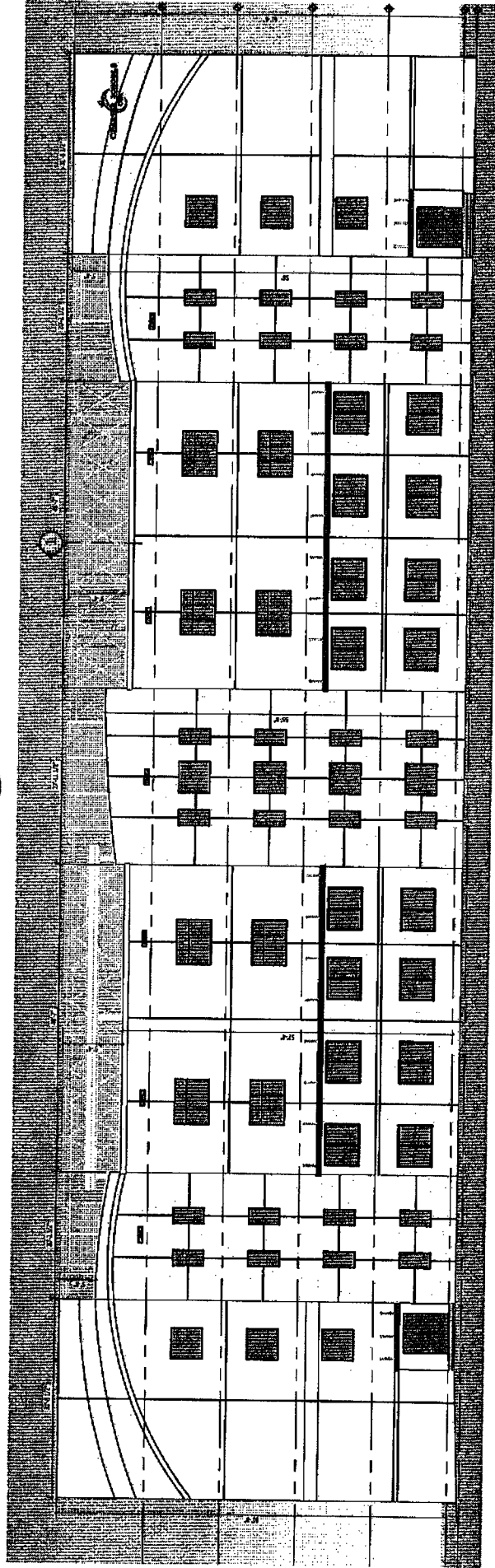






**EXHIBIT B**

**HOLLYWOOD ACADEMY  
OF ARTS & SCIENCE**

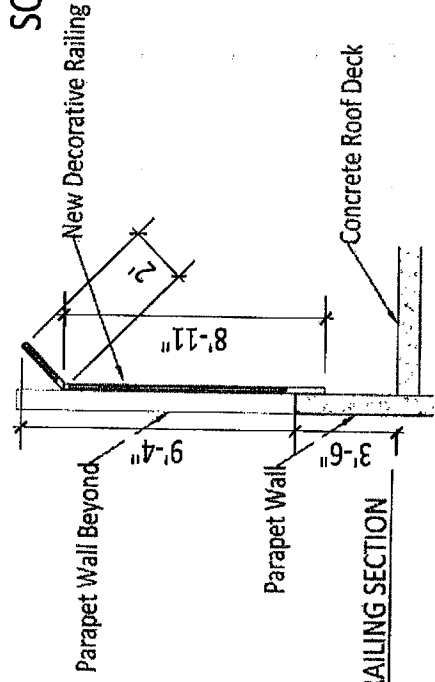


**SOUTH ELEVATION**

Note: Straight Picket to be used in lieu of "X" detail as shown on plan

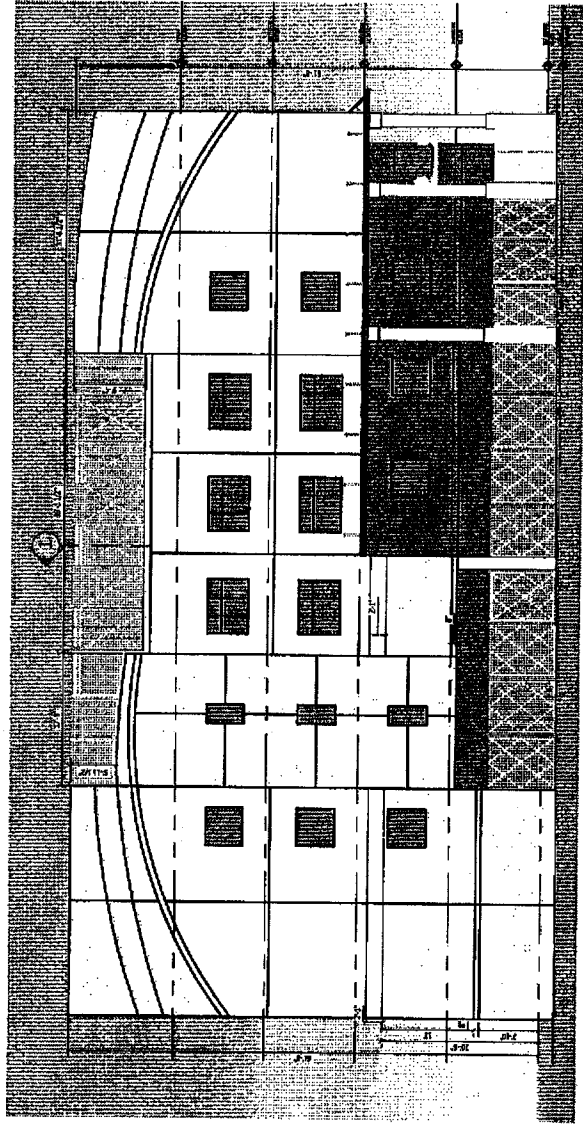
**Color Key:**

	Dryvit-Systems - Quartzputz Finish - Wellbread Brown
	Dryvit-Systems - Quartzputz Finish - China White
	Dryvit-Systems - Quartzputz Finish - Jersey Cream
	RAL Reztach-Series - Terrabrunn - RAL 8028



**HOLLYWOOD ACADEMY OF ARTS AND SCIENCES**  
1705 VAN BUREN STREET, HOLLYWOOD, FL 33020

**HOLLYWOOD ACADEMY  
OF ARTS & SCIENCE**

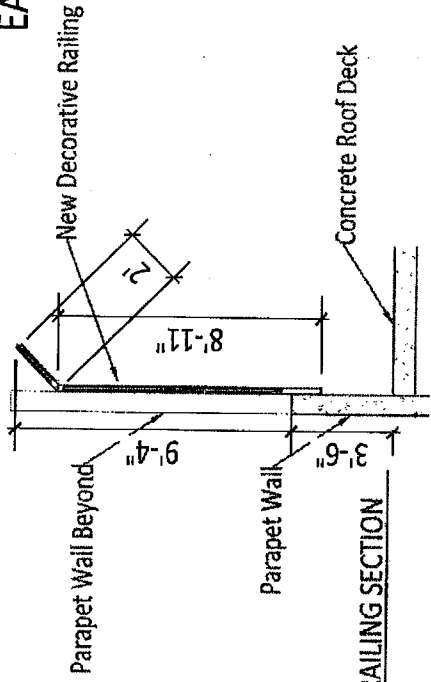


Note: Straight Picket to be used in lieu of "X" detail as shown on plan

**EAST ELEVATION**

Color Key:

	Dryvit Systems - Quartzputz Finish - Wallbread Brown
	Dryvit Systems - Quartzputz Finish - China White
	Dryvit Systems - Quartzputz Finish - Jersey Cream
	RAL Textect Series - Terra Braun - RAL 8028

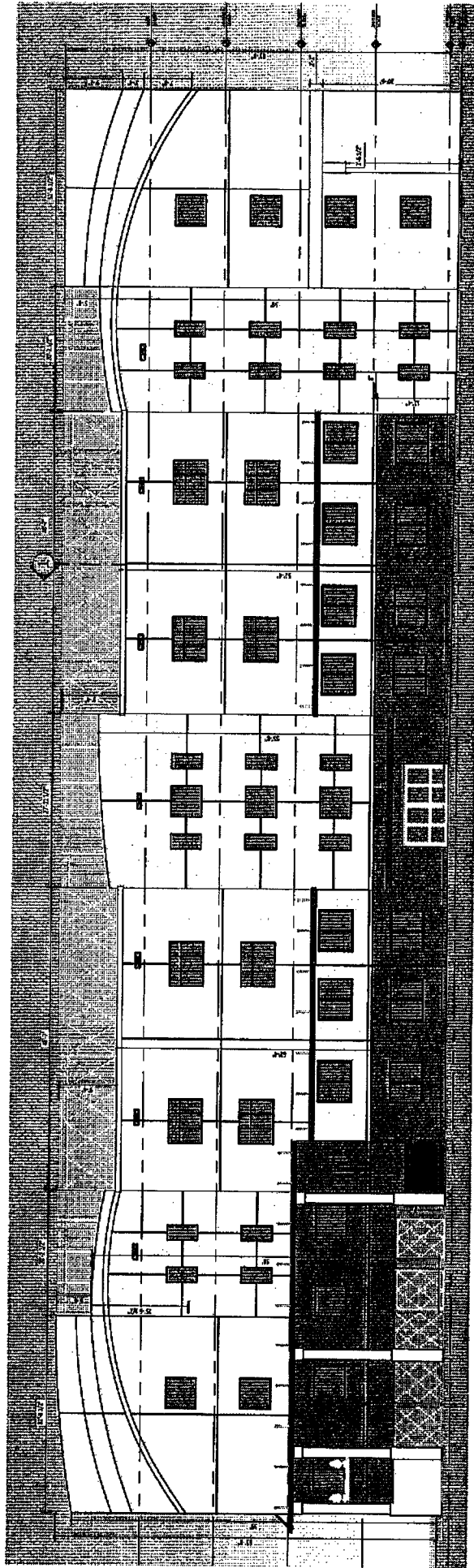


**1**

**RAILING SECTION**

**HOLLYWOOD ACADEMY OF ARTS AND SCIENCES**  
1705 VAN BUREN STREET, HOLLYWOOD, FL 33020

**HOLLYWOOD ACADEMY  
OF ARTS & SCIENCE**

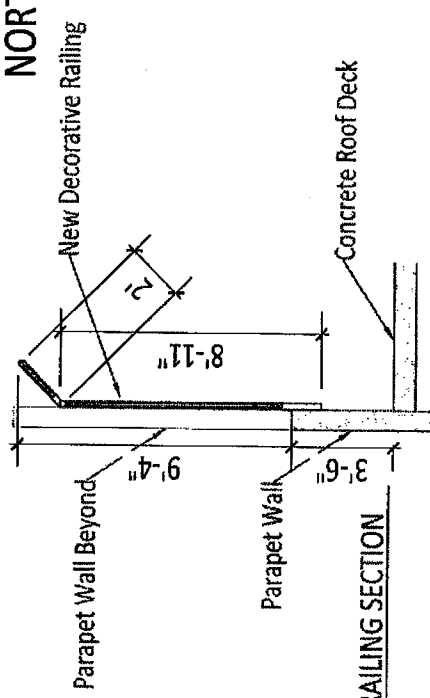


**NORTH ELEVATION**

Note: Straight Picket to be used in lieu of "X" detail as shown on plan

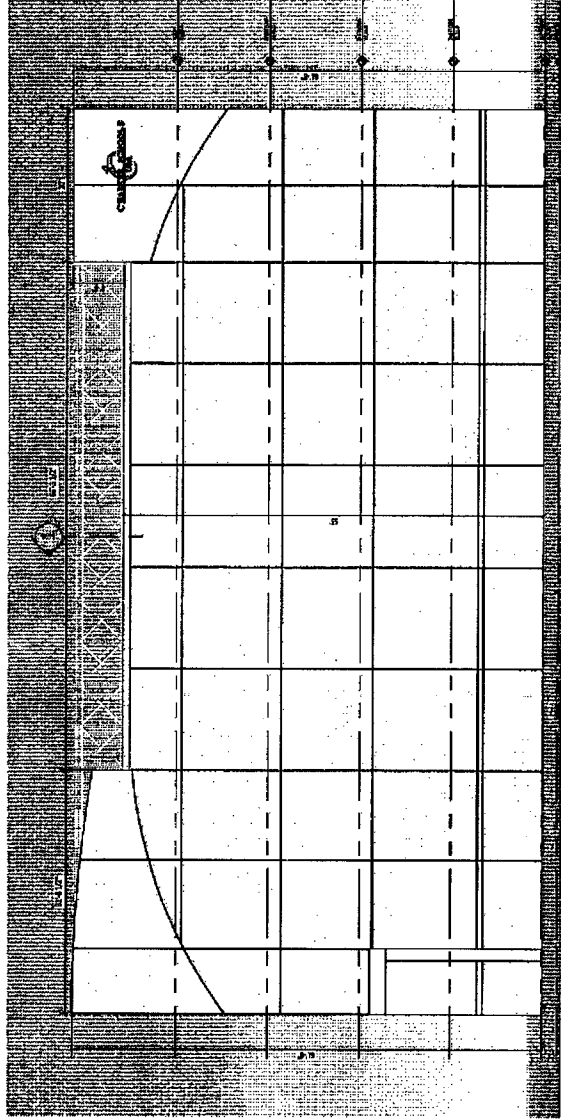
**Color Key:**

	Dryvit Systems - Quartzputz Finish - Wellbread Brown
	Dryvit Systems - Quartzputz Finish - China White
	Dryvit Systems - Quartzputz Finish - Jersey Cream
	RAL Ralcolor Series - Terra Braun - RAL 8028



**HOLLYWOOD ACADEMY OF ARTS AND SCIENCES**  
1705 VAN BUREN STREET, HOLLYWOOD, FL 33020

**HOLLYWOOD ACADEMY  
OF ARTS & SCIENCE**

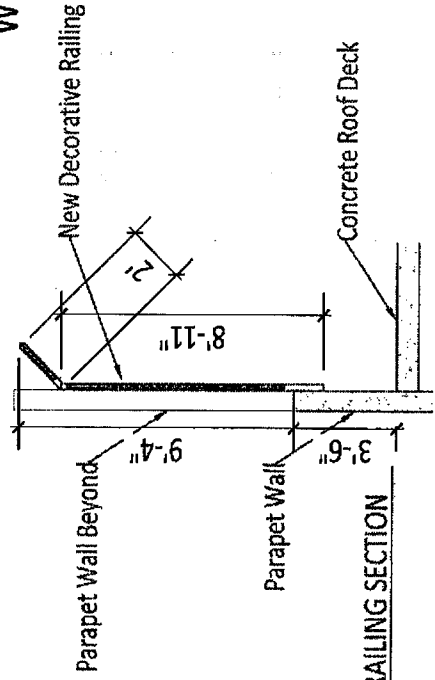


Note: Straight Picket to be used in lieu of "X" detail as shown on plan

**WEST ELEVATION**

**Color Key:**

	Dryvit-Systems - Quartzputz Finish - Wellbread Brown
	Dryvit-Systems - Quartzputz Finish - Clinga White
	Dryvit-Systems - Quartzputz Finish - Jersey Cream
	RAL Renssch Series - Terrabrunn - RAL 8028



**HOLLYWOOD ACADEMY OF ARTS AND SCIENCES**  
1705 VAN BUREN STREET, HOLLYWOOD, FL 33020

CITY OF HOLLYWOOD  
PLANNING AND DEVELOPMENT BOARD

RESOLUTION NO. 12-V-03

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD CONSIDERING THE REQUEST FOR A VARIANCE WITH A CONDITION TO INCREASE THE HEIGHT OF A FENCE FROM THE REQUIRED 4' TO 5' WITHIN THE WEST SIDE OF THE FRONT YARD OF THE PROPERTY LOCATED AT 1351 S. 14TH AVENUE, HOLLYWOOD, FLORIDA, PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Planning and Development Board (the "Board") is charged with among other things, the responsibility of considering requests for variances; and

WHEREAS, the Board is duly empowered to grant variances in accordance with the guidelines and procedures set forth in Section 5.3.F. of the City's Zoning and Land Development Regulations; and

WHEREAS, Temple Beth El, as applicant/owner for the property located at 1351 S. 14<sup>th</sup> Avenue, Hollywood, Florida, by and through its representative Manuel Synalovski Associates, LLC, applied for a Variance to increase the height of a fence within the west side of the front yard of the subject property, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Planning Manager and Associate Planner of the Department of Planning and Development Services, following an analysis of the application and its associated documents have determined that the proposed request for to increase the height of a fence from 4' to 5' within the west side of the front yard of the property, does meet the criteria set forth in Section 5.3 F.1.a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved with the following condition:

The fence design (location, materials, etc.) shall be consistent with plans dated January 3, 2012 by Manuel Synalovski Associates, LLC, (sheet AS-101) attached hereto as Exhibit "B".

; and



WHEREAS, on February 9, 2012, the Planning and Development Board met and held an advertised public hearing to consider the applicant's request for a Variance; and

WHEREAS, the Board reviewed the application for the Variance to increase the height of the fence from 4' to 5' within the west side of the front yard, and have reviewed the evidence and testimony received at the public hearing, and the Board applied the applicable criteria for approving the Variance as set forth in Section 5.3.F.1. of the City's Zoning and Land Development Regulations and made the following findings:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as its affect the stability and appearance of the City; and
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and
- c. That the requested Variance is consistent with, and in furtherance of, the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City; and
- d. That the need for the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.

; and

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein, the Board finds that the necessary criteria have been met, and the Variance to increase the fence height from 4' to 5' within the west side of the front yard for the property located at 1351 S. 14th Avenue, Hollywood, Florida, is hereby **approved** subject to the following condition:

The fence design (location, materials, etc.) shall be consistent with plans dated January 3, 2012 by Manuel Synalovski Associates, LLC, (sheet AS-101) attached hereto as Exhibit "B".



PLANNING AND DEVELOPMENT BOARD RESOLUTION 12-V-03 (TEMPLE BETH EL FENCE VARIANCE)

Section 2: That, the Variance shall become null and void unless the Applicant has applied for all applicable building or other permits(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.

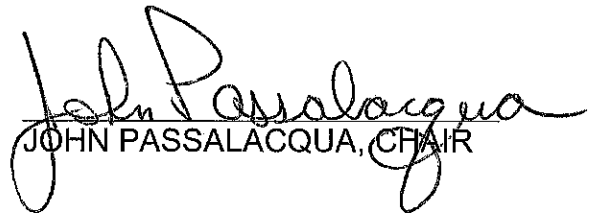
Section 3: That the Department of Planning and Development Services is hereby directed to forward a copy of this resolution to the applicant and the owner of the property upon which the request was made and a copy shall be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations.

PASSED AND ADOPTED THIS 9th DAY OF February, 2012.

RENDERED this 13 day of February, 2012.

ATTEST:

  
\_\_\_\_\_  
JOSEPH KALLER, SECRETARY

  
\_\_\_\_\_  
JOHN PASSALACQUA, CHAIR

APPROVED AS TO FORM & LEGALITY  
for the use reliance of the Planning and  
Development Board of the City of Hollywood,  
Florida, only.

  
\_\_\_\_\_  
JEFFREY B. SHEFFEL, BOARD COUNSEL

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

A PORTION OF "ELSINOR BEACH", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 15,  
PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.

**EXHIBIT "B"**  
**SITE PLAN**