

K:\PROJECTS\24-xxx\24-4233.dwg, SP-0, 2/20/2025 11:53 AM, 11, Sun-Tech Engineering, Inc. (NAS), Sun-Tech Engineering, Inc. (NAS)

FILE: K:\PROJECTS\24-xxx\24-4233.dwg, 4233sp-ov.dwg
PLOT DATE: 2/20/2025 11:53 AM BY: Miguel A. Sosa
LAYOUT: [SP-0]

NOTES:

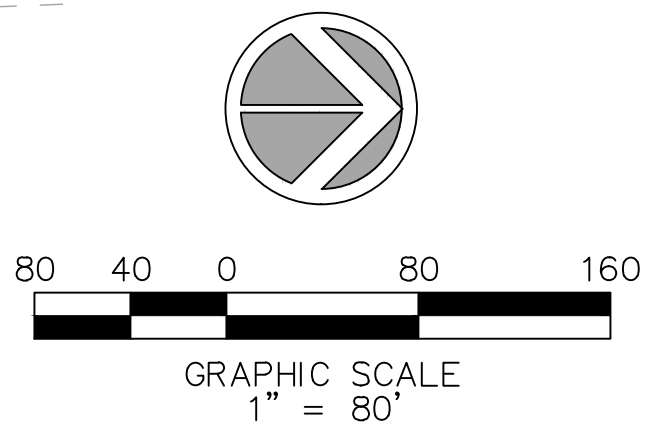
- ALL UTILITIES AND STORM WATER REQUIREMENTS WILL BE APPLICABLE GOVERNMENTAL REGULATIONS IS REQUIRED.
- WATER AND SEWER PROVIDED BY CITY OF HOLLYWOOD.
- ALL RESIDENTIAL DEVELOPMENTS THAT ANTICIPATE PHASED DEVELOPMENT SHALL INCLUDE ALL PROPOSED AMENITIES IN TOTAL.
- ANY UP FORM 1/2", BUT NOT GREATER THAN 1/2" WILL BEVELED TO MEET ADA REQUIREMENTS.
- ALL SIGNAGE SHALL BE IN COMPLIANCE W/THE ZONING AND LAND DEVELOPMENT REGULATIONS
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 ALLOWANCE)
- ALL SIGNS WHICH ARE ELECTRONICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH PLAN.
- ALL RESIDENTIAL DEVELOPMENTS THAT ANTICIPATE PHASED DEVELOPMENT SHALL INCLUDE PROPOSED AMENITIES IN TOTAL.

SETBACKS		
	REQUIRED PER PD MASTER PLAN	PROVIDED
NORTH (REAR)	15'	27.26'
SOUTH (FRONT)	15'	62.98'
EAST (SIDE)	15'	24.75'
WEST (SIDE)	15'	53.69'
INTERNAL STREET TO R/W	25'	28.43'

APPLICABLE CODE REFERENCES	
ADDRESS	1600 S. PARK ROAD HOLLYWOOD, FL 33021
JURISDICTION	CITY OF HOLLYWOOD
EXISTING ZONING	GU (GOVERNMENT USE)
PROPOSED ZONING	PD
EXISTING LAND USE	UTILITY/OPEN SPACE RECREATION
PROPOSED LAND USE	COMMERCIAL/HIGH (50 RESIDENTIAL)
BUILDING HEIGHT ALLOW	100' MAX. ALLOWED
BUILDING HEIGHT PROVIDED	CONVENIENCE STORE 26' OFFICE BUILDING 39' RESTAURANT 24' RESIDENTIAL BLDG. 59'-1"(BLDG 4)
GROSS SITE AREA	943,588 S.F. = 21.66 AC.
NET SITE AREA	943,588 S.F. = 21.66 AC.

SITE DATA								
	REQUIRED PER PD MASTER PLAN		PROVIDED (COMMERCIAL)		PROVIDED (RESIDENTIAL)		TOTAL PROVIDED	
	AREA (S.F.)	PERCENTAGE	AREA (S.F.)	AREA (ACRES)	AREA (S.F.)	AREA (ACRES)	AREA (S.F.)	PERCENTAGE
ASPHALT AREA	N/A	N/A	113,227.00	2.60 AC.	211,972.00	4.87 AC.	325,199.00	33.0%
CONCRETE AREA	N/A	N/A	1,706.00	0.04 AC.	0.00	0.00 AC.	1,706.00	0.04 AC.
BUILDINGS	344,863	35%	17,249.00	0.40 AC.	186,044.00	4.27 AC.	203,293.00	20.6%
SIDEWALK	N/A	N/A	12,073.00	0.28 AC.	67,036.00	1.54 AC.	79,109.00	8.0%
POOL DECK	N/A	N/A	0.00	0.00 AC.	17,019.00	0.39 AC.	17,019.00	1.7%
LAKE	N/A	N/A	22,149.00	0.51 AC.	0.00	0.00 AC.	22,149.00	2.2%
LANDSCAPE AREA	67,682	25%	91,704.00	2.11 AC.	245,144.00	5.63 AC.	336,848.00	34.2%
TOTAL NET AREA			258,108.00	5.93 AC.	727,215.00	16.69 AC.	985,323.00	100.0%
OPEN SPACE (LANDSCAPE & LAKE AREA)	246,331	25%	113,853.00	2.61 AC.	262,163.00	6.02 AC.	376,016.00	38.2%
VEHICULAR USE AREA (LANDSCAPING (VIA)) = VIA X 0.25	N/A	25%	56,087.00	1.29 AC.	202,533.00	4.65 AC.	258,620.00	25.3%

PERVIOUS CALCULATIONS						
	PERVIOUS	AREA (S.F.)	AREA (ACRES)	AREA (S.F.)	AREA (ACRES)	PERCENTAGE
		91,704.00	2.11 AC.	245,144.00	5.6 AC.	336,848.00
	IMPERVIOUS	166,404.00	3.82 AC.	482,071.00	11.07 AC.	648,475.00



PARKING TABULATION	
REQUIRED PARKING PER PD MASTER PLAN	
CONVENIENCE STORE 6,118 S.F. @ 1 SPACES PER 250 S.F.	25
OFFICE 16,796 S.F. @ 1 SPACE PER 300 S.F.	56
FAST FOOD BUILDING 2,800 S.F. @ 1 SPACE PER 150 S.F.	19
1.5 SPACES PER UNIT x 618 UNITS	927
GUEST PARKING (1 SPACE PER 5 UNITS = 618 UNITS/5)	124
TOTAL PARKING REQUIRED	1,151
LOADING REQUIRED	
ONE SPACE PER BUILDING (10'x25')	5
LOADING PROVIDED (10'x25')	
TOTAL PROVIDED	5
TOTAL BIKE PARKING REQUIRED 1 SPACE PER 20 REQUIRED SPACES	
TOTAL BIKE PARKING PROVIDED	68
TOTAL PARKING PROVIDED (SURFACE)	
9'x19' - 90 DEGREE PARKING (COMM.)	79
9'x19' - 90 DEGREE PARKING (RESID.)	406
9'x19' - 90 DEGREE PARKING (RESID. GUEST)	65
10'x25' - PARALLEL PARKING (COMM.)	12
10'x25' - PARALLEL PARKING (RESID.)	3
9'x19' - EV PARKING (EV READY) (COMM.)	6
9'x19' - EV PARKING (EV READY) (RESID.)	8
12'x19' - HANDICAP PARKING (COMM.)	7
12'x19' - HANDICAP PARKING (RESID.)	6
9'x30' HC PARALLEL PARKING (RESID.)	1
12'x19' - HANDICAP PARKING (VAN ACCESSIBLE) (COMM.)	1
12'x19' - HANDICAP PARKING (VAN ACCESSIBLE) (RESID.)	2
TOTAL SURFACE PARKING	596
TOTAL PARKING PROVIDED (PARKING GARAGE)	
9'x19' - 90 DEGREE PARKING	467
9'x19' - 90 DEGREE PARKING (GUEST)	59
10'6"x19' - STANDARD PARKING	38
12'x19' - HANDICAP PARKING	12
12'x19' - HANDICAP PARKING (VAN ACCESSIBLE)	3
9'x19' - EV PARKING (READY)	4
TOTAL PARKING GARAGE	583
GRAND TOTAL PARKING PROVIDED	1179
TOTAL HANDICAP SPACES REQUIRED	
FOR PARKING PROVIDED OVER 1,000 SPACES 20 SPACES	23
20 SPACES 1 FOR EVERY 100 SPACES OVER 1,000 SPACES	
TOTAL HANDICAP SPACES PROVIDED (SURFACE)	
12'x19' HANDICAP PARKING (COMM.)	7
12'x19' HANDICAP PARKING (RESID.)	6
9'x30' HANDICAP PARALLEL PARKING (RESID.)	1
9'x19' HANDICAP PARKING (COMM.) (VAN ACCESSIBLE)	1
9'x19' HANDICAP PARKING (RESID.) (VAN ACCESSIBLE)	2
TOTAL HANDICAP SPACES PROVIDED PARKING GARAGE	
12'x19' HANDICAP PARKING	14
12'x19' HANDICAP PARKING (VAN ACCESSIBLE)	3
TOTAL HANDICAP PARKING PROVIDED	34
LOADING REQUIRED	
1 SPACES PER BUILDING 10'x25' (RESID.)	5
1 SPACES 10'x40' FOR BUILDINGS BETWEEN 10,000 S.F. & 24,999 S.F.	1
TOTAL REQUIRED	6
LOADING PROVIDED	
5 SPACES 10'x25' (RESID.)	5
1 SPACES AT CONVENIENCE STORE 10'x40'	1
1 SPACES AT OFFICE BUILDING 10'x40'	1
TOTAL PROVIDED	7
TOTAL BIKE PARKING REQUIRED 1 SPACE PER 20 REQUIRED SPACES	
TOTAL BIKE PARKING PROVIDED (COMM.)	8
TOTAL BIKE PARKING PROVIDED (RESID.)	60
TOTAL BIKE PARKING PROVIDED	68

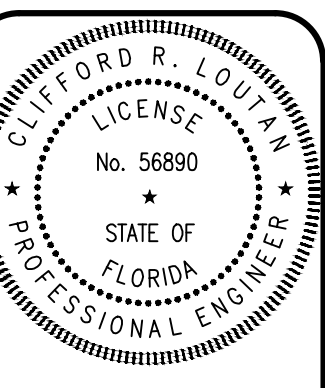
4577 Nob Hill Road, Suite 102
Sunrise, FL 33351
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Fax (954) 777-3114



REVISIONS

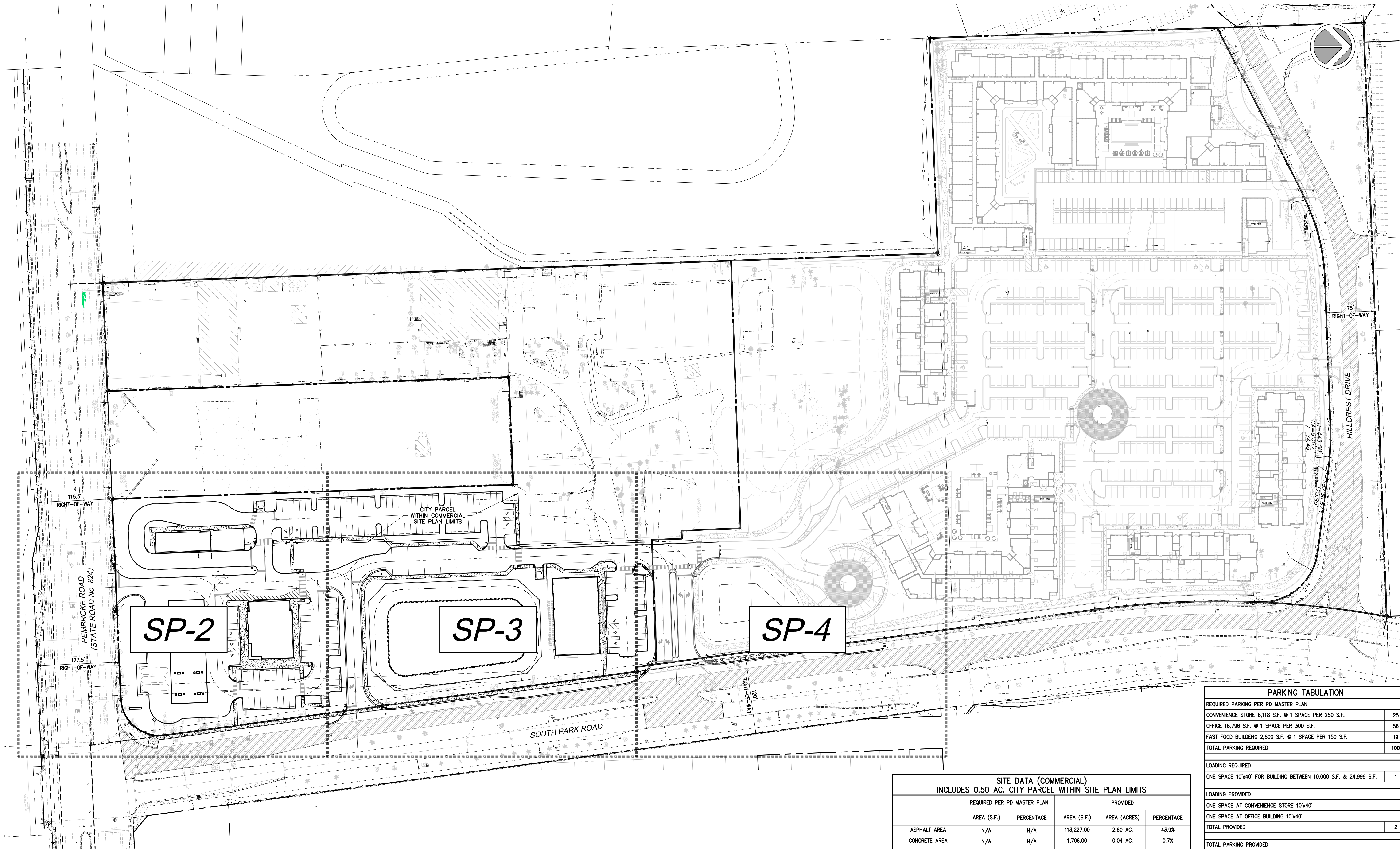
FLORIDA
CITY OF HOLLYWOOD
PARK ROAD RESIDENTIAL
SITE PLAN
OVERALL PLAN

DATE: 9/18/24
SCALE: 1"=80'
DESIGNED BY: M.G.
DRAWN BY: A.V.
JOB #: 24-4233



Date: February 17, 2025
This item has been digitally signed and sealed by CLIFFORD R. LOUTAN, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SHEET No.
SP-0



- NOTES:**
- ALL UTILITIES AND STORM WATER REQUIREMENTS WILL BE APPLICABLE GOVERNMENTAL REGULATIONS IS REQUIRED.
 - WATER AND SEWER PROVIDED BY CITY OF HOLLYWOOD.
 - ALL RESIDENTIAL DEVELOPMENTS THAT ANTICIPATE PHASED DEVELOPMENT SHALL INCLUDE ALL PROPOSED AMENITIES IN TOTAL. ANY UP FORM 1/2", BUT NOT GREATER THAN 1/2" WILL BEVELED TO MEET ADA REQUIREMENTS.
 - ALL SIGNAGE SHALL BE IN COMPLIANCE W/THE ZONING AND LAND DEVELOPMENT REGULATIONS
 - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 ALLOWANCE)
 - ALL SIGNS WHICH ARE ELECTRONICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH PLAN.
 - ALL RESIDENTIAL DEVELOPMENTS THAT ANTICIPATE PHASED DEVELOPMENT SHALL INCLUDE PROPOSED AMENITIES IN TOTAL.

APPLICABLE CODE REFERENCES	
ADDRESS	1600 S. PARK ROAD HOLLYWOOD, FL 33021
JURISDICTION	CITY OF HOLLYWOOD
EXISTING ZONING	GU (GOVERNMENT USE)
PROPOSED ZONING	PD
EXISTING LAND USE	UTL (UTILITIES)
PROPOSED LAND USE	GENERAL BUSINESS HIGH (50) RESIDENTIAL
BUILDING HEIGHT	100' MAX. ALLOWED CONVENIENCE STORE: 26' OFFICE BUILDING: 39' RESTAURANT: 24'
GROSS SITE AREA	270,769 S.F. = 6.22 AC.
NET SITE AREA	270,769 S.F. = 6.22 AC.

SETBACKS		
	REQUIRED PER PD MASTER PLAN	PROVIDED
NORTH (REAR)	15'	149.78'
SOUTH (FRONT)	15'	62.98'
EAST (SIDE)	15'	34.53'
WEST (SIDE)	15'	53.69'
INTERNAL STREET TO R/W	25'	28.43'

PER PD MASTER PLAN SHOULD SETBACKS ON THE PROPOSED SITE PLAN BE LESS, THE LESS RESTRICTIVE SETBACK WILL APPLY.

SITE DATA (COMMERCIAL) INCLUDES 0.50 AC. CITY PARCEL WITHIN SITE PLAN LIMITS					
	REQUIRED PER PD MASTER PLAN		PROVIDED		
	AREA (S.F.)	PERCENTAGE	AREA (S.F.)	AREA (ACRES)	PERCENTAGE
ASPHALT AREA	N/A	N/A	113,227.00	2.60 AC.	43.9%
CONCRETE AREA	N/A	N/A	1,706.00	0.04 AC.	0.7%
BUILDINGS	64,527	25%	17,249.00	0.40 AC.	6.7%
SIDEWALK	N/A	N/A	12,073.00	0.28 AC.	4.7%
LAKE	N/A	N/A	22,149.00	0.51 AC.	8.6%
LANDSCAPE AREA	64,527	25%	91,704.00	2.11 AC.	35.5%
TOTAL NET AREA			258,108.00	5.93 AC.	100.0%
OPEN SPACE (LANDSCAPE & LAKE AREA)	64,527	25%	113,853.00	2.61 AC.	44.1%
VEHICULAR USE AREA (LANDSCAPING (N/A) = 113,227 X 0.25	28,307	25%	56,086.22		39.10%

PERMOUS CALCULATIONS			
	AREA (S.F.)	AREA (ACRES)	PERCENTAGE
PERMOUS		2.11 AC.	35.5%
IMPERMOUS		3.82 AC.	64.5%

PARKING TABULATION	
REQUIRED PARKING PER PD MASTER PLAN	
CONVENIENCE STORE 6,118 S.F. @ 1 SPACE PER 250 S.F.	25
OFFICE 16,796 S.F. @ 1 SPACE PER 300 S.F.	56
FAST FOOD BUILDING 2,800 S.F. @ 1 SPACE PER 150 S.F.	19
TOTAL PARKING REQUIRED	100
LOADING REQUIRED	
ONE SPACE 10'x40' FOR BUILDING BETWEEN 10,000 S.F. & 24,999 S.F.	1
LOADING PROVIDED	
ONE SPACE AT CONVENIENCE STORE 10'x40'	
ONE SPACE AT OFFICE BUILDING 10'x40'	
TOTAL PROVIDED	2
TOTAL PARKING PROVIDED	
9'x19' - 90 DEGREE PARKING (DOES NOT INCLUDE CITY PARCEL)	79
10'x25' - PARALLEL PARKING	12
9'x19' - EV PARKING (EV READY)	6
12'x19' - HANDICAP PARKING (DOES NOT INCLUDE CITY PARCEL)	7
9'x19' - HANDICAP PARKING (VAN ACCESSIBLE)	1
TOTAL PARKING PROVIDED	105
TOTAL PARKING THIS SITE PLAN	105
TOTAL HANDICAP SPACES REQUIRED	
FOR PARKING PROVIDED BETWEEN 101 - 150 SPACES	5
TOTAL VAN ACCESSIBLE SPACES REQUIRED	
FOR PARKING PROVIDED BETWEEN 101 - 150 SPACES	1
TOTAL BIKE PARKING REQ.: 1 SPACE PER 20 REQ. PARKING SPACES	
TOTAL BIKE PARKING PROVIDED:	8

DATE: 8/22/24
SCALE: N.T.S.
DESIGNED BY: M.G.
DRAWN BY: I.A.B.
JOB #: 20-4027

CLIFFORD R. LOUTAN
PROFESSIONAL ENGINEER
No. 56890
STATE OF FLORIDA
Date: January 7, 2025
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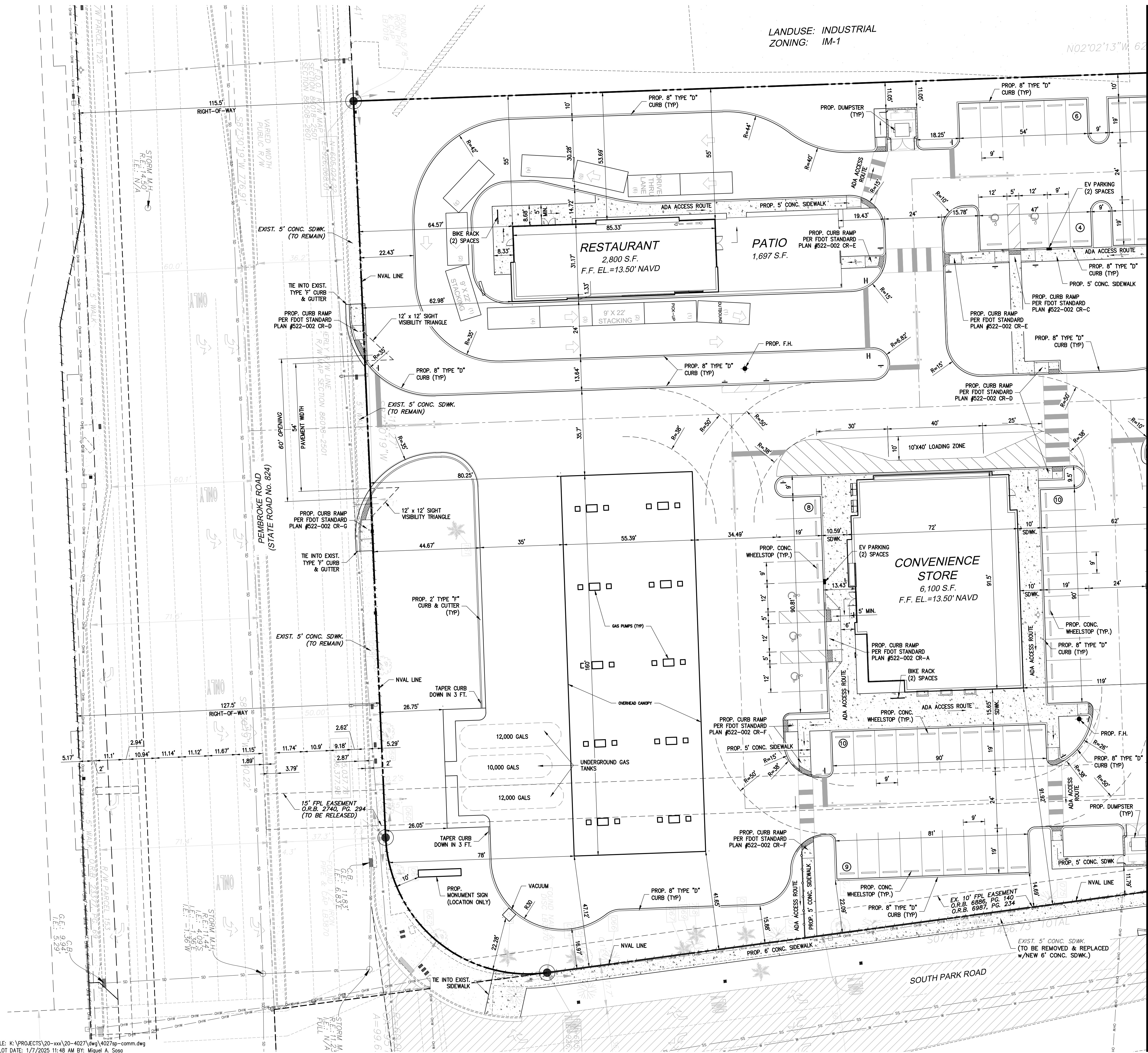
SHEET No.
SP-1

REVISIONS	
NO.	DESCRIPTION

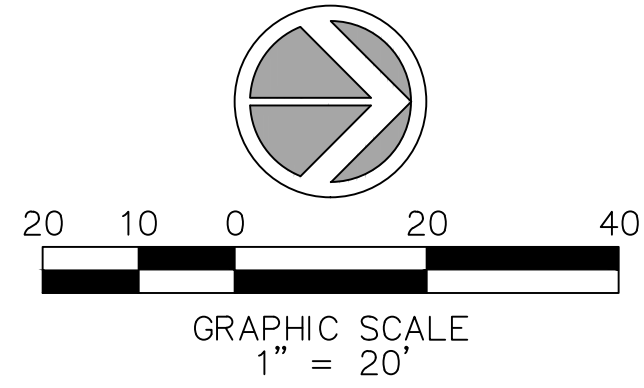
PARK ROAD COMMERCIAL
CITY OF HOLLYWOOD
FLORIDA
SITE PLAN KEY MAP

K:\PROJECTS\20-xxx\20-4027\dwg\20-4027sp-comm.dwg SP-2, 1/7/2025 11:48:46 AM, L1, Sun-Tech Engineering, Inc. (IAS), Sun-Tech Engineering, Inc. (IAS)

FILE: K:\PROJECTS\20-xxx\20-4027\dwg\20-4027sp-comm.dwg
PLOT DATE: 1/7/2025 11:48 AM BY: Miguel A. Sosa
LAYOUT: [SP-2]



MATCH LINE FOR CONTINUATION SEE SHEET SP-3



4577 Nob Hill Road, Suite 102
Sunrise, FL 33351
www.suntecheng.com
Certificate of Auth. #7057LB 7019
Phone (954) 777-3123
Fax (954) 777-3114

STE Sun-Tech Engineering, Inc.
Engineers - Planners - Surveyors

REVISIONS	
NO.	DESCRIPTION

PARK ROAD COMMERCIAL
FLORIDA
CITY OF HOLLYWOOD

SITE PLAN

DATE: 8/22/24
SCALE: 1" = 20'
DESIGNED BY: M.G.
DRAWN BY: I.A.B.
JOB #: 20-4027

CLIFFORD R. LOUTAN
LICENSE
No. 56890
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Date: January 7, 2025
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SHEET No.
SP-2

ELEVATIONS FINISHES SCHEDULE

- 1

" WARM" OFF-WHITE STUCCO
- 2

LIGHT GRAY STUCCO
- 3

DARK GRAY STUCCO
- 4

LIGHT STONE CLADDING
- 5

DARK STONE CLADDING
- 6

COMPOSITE "WOOD" CLADDING
- 7

COMPOSITE "WOOD" VERTICAL FINS
- 8

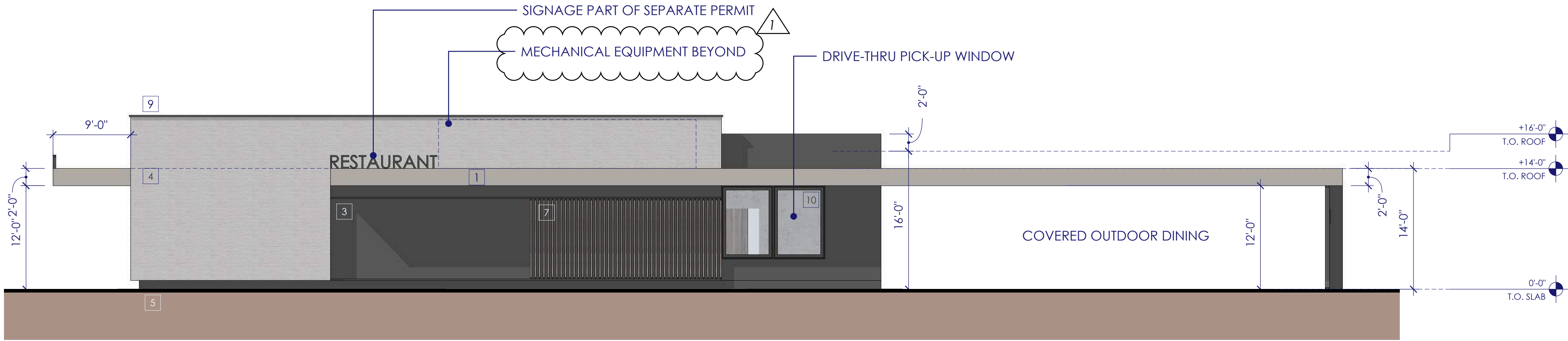
LIGHT GRAY METAL CLADDING
- 9

DARK GRAY METAL TO MATCH COLOR OF GLAZING FRAMES
- 10

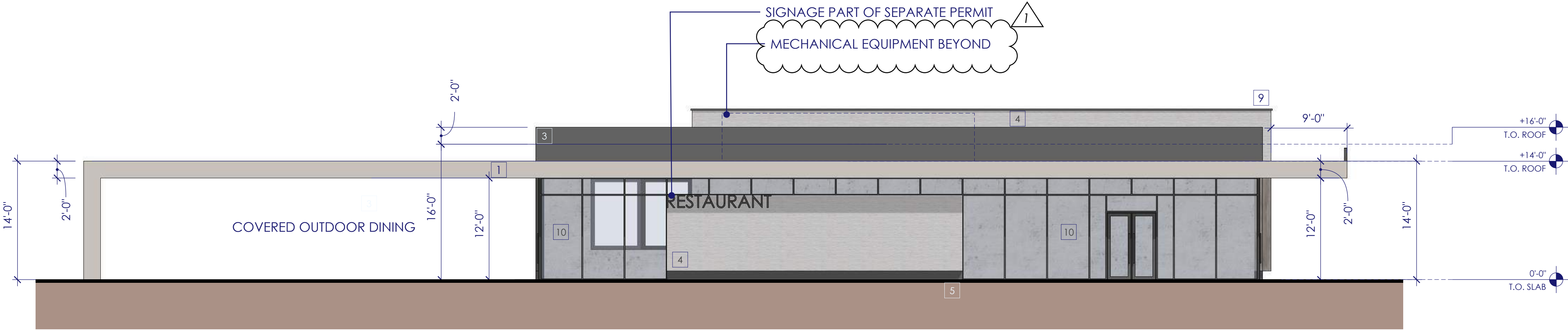
GRAY TINT GLAZING WITH DARK GRAY ALUMINUM FRAMES
- 11

DARK GRAY METAL LOUVERS TO MATCH COLOR OF GLAZING FRAMES
- 12

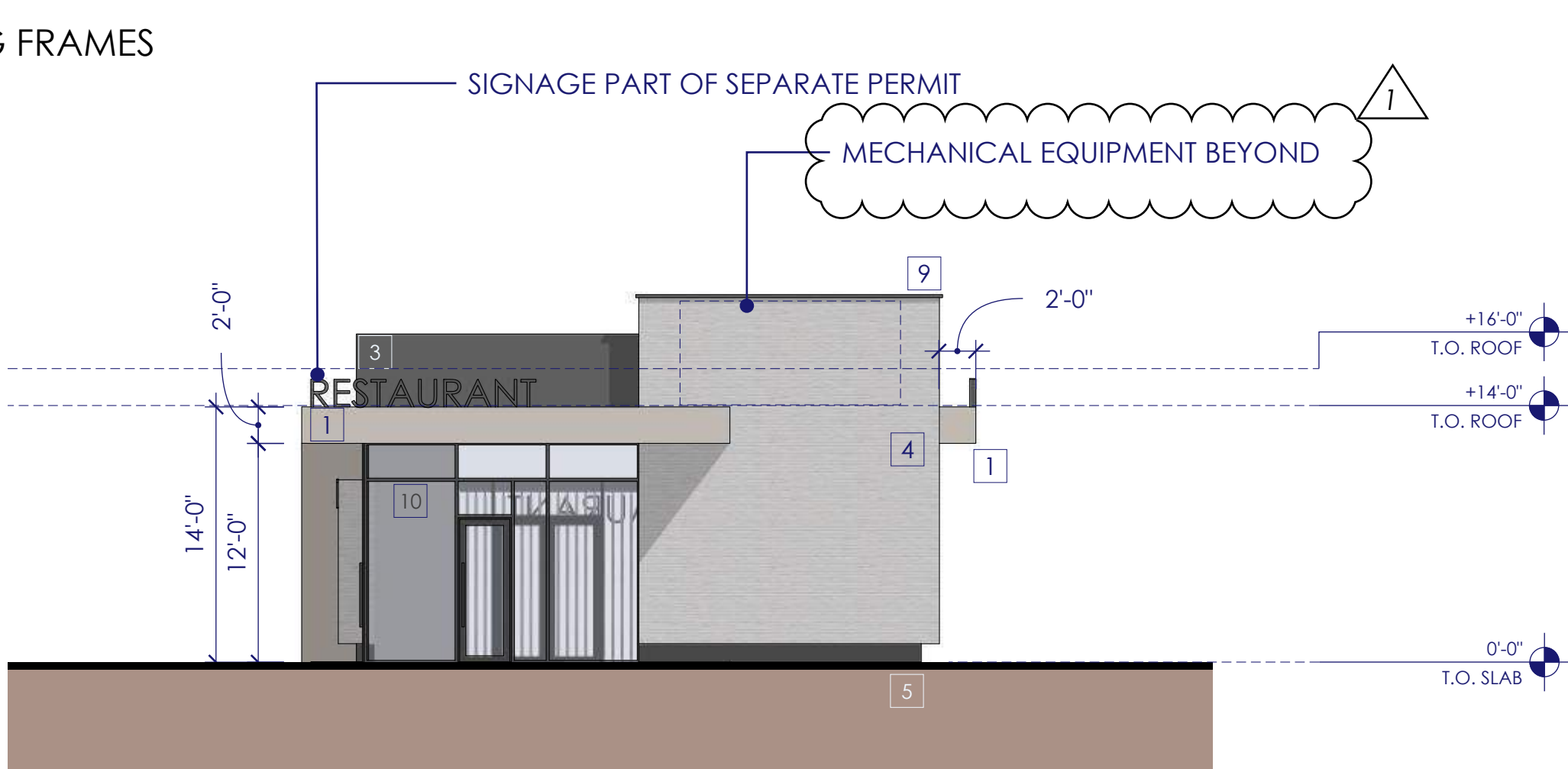
DARK GRAY SPANDREL GLAZING



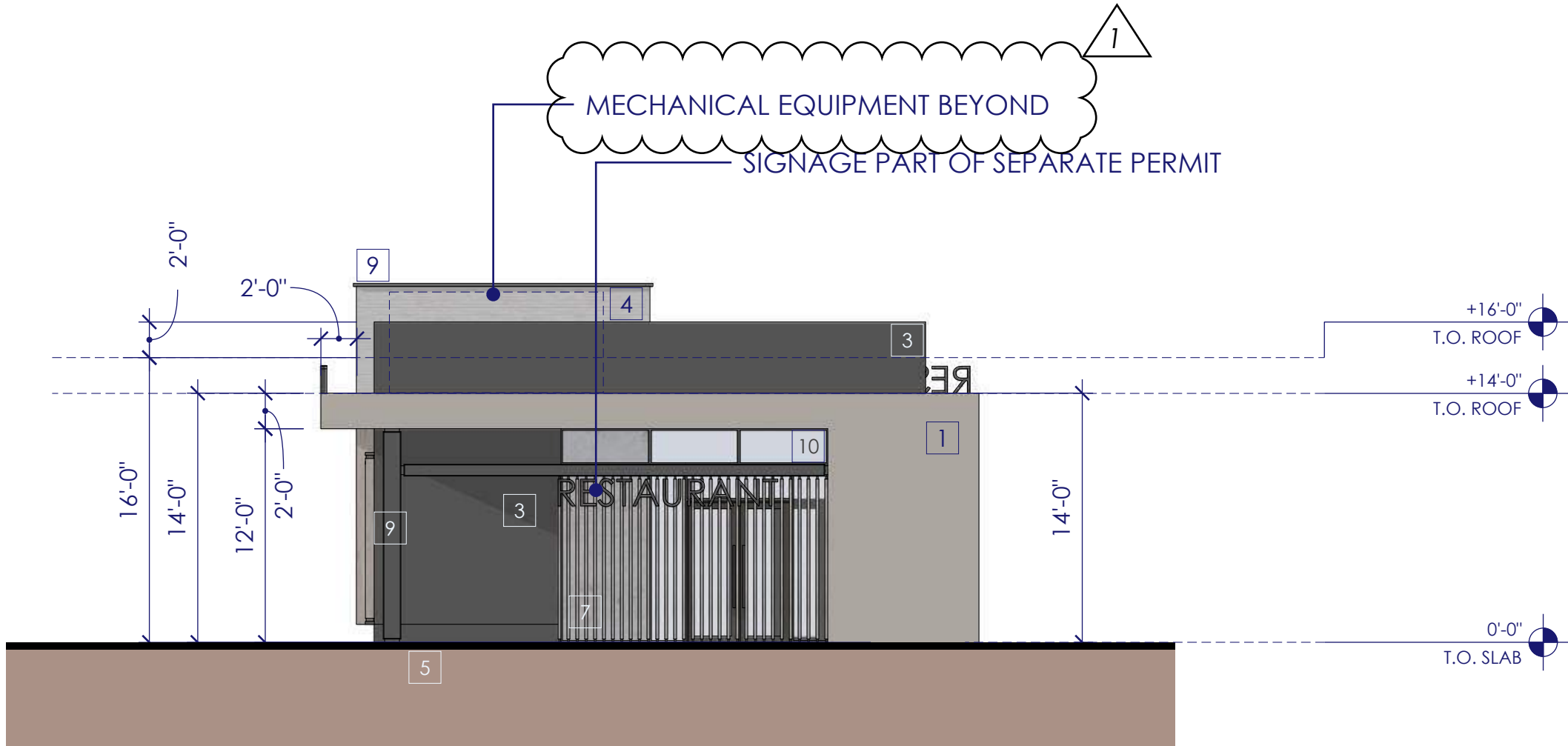
A - RESTAURANT EAST ELEVATION
SCALE: 1/8"=1'-0"



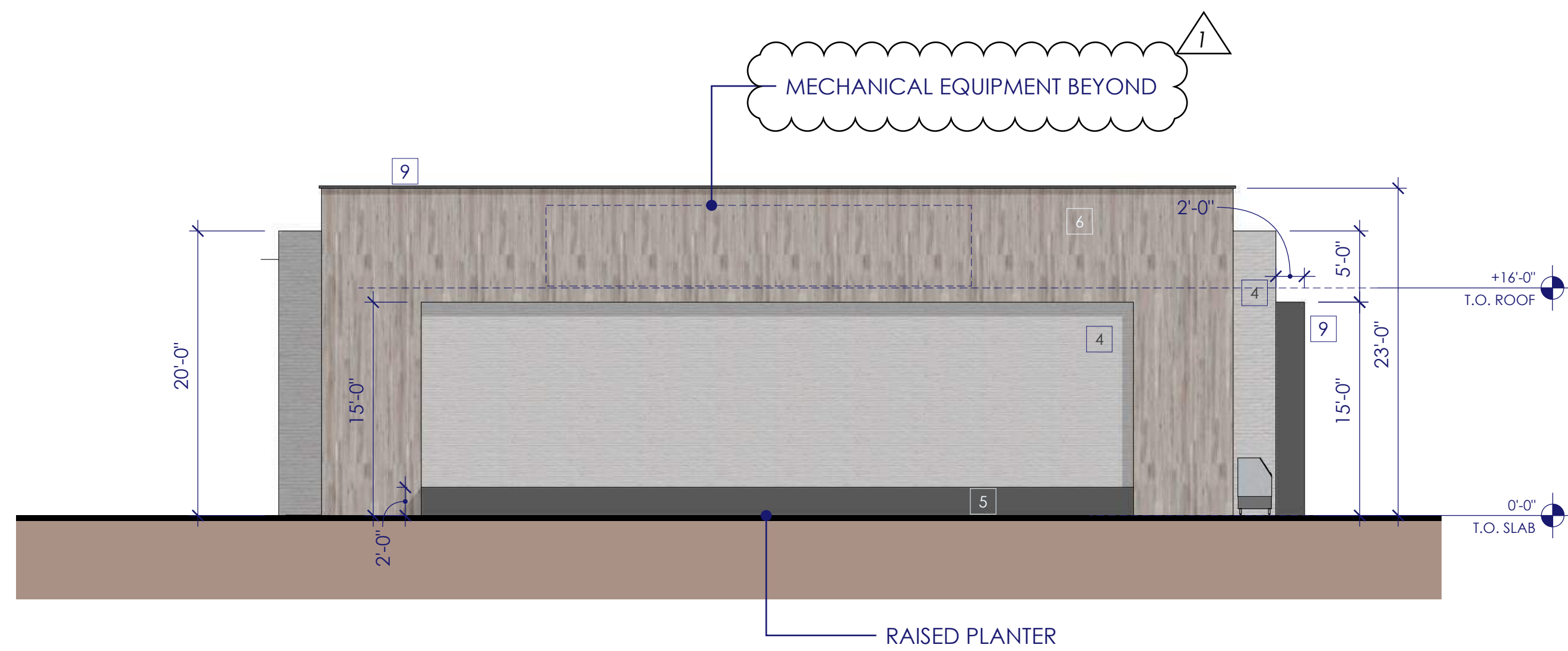
A - RESTAURANT WEST ELEVATION
SCALE: 1/8"=1'-0"



A - RESTAURANT SOUTH ELEVATION
SCALE: 1/8"=1'-0"

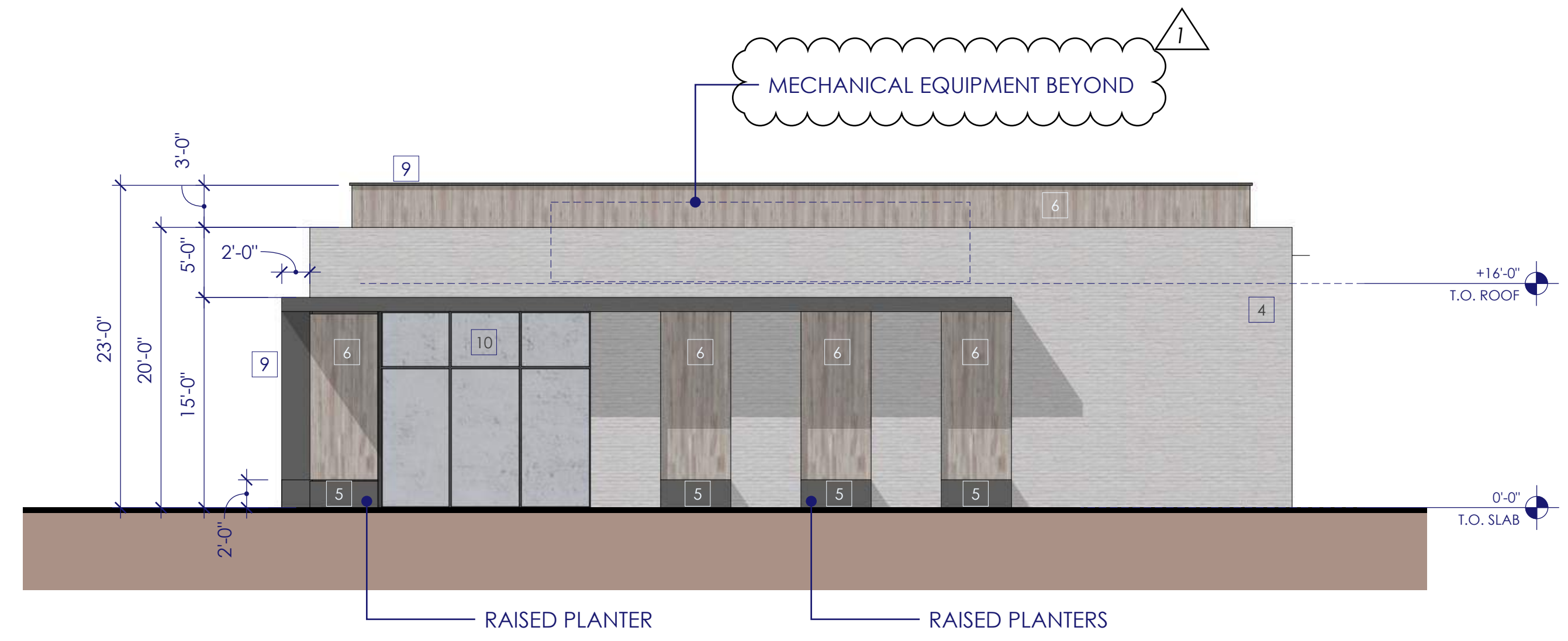


A - RESTAURANT NORTH ELEVATION
SCALE: 1/8"=1'-0"



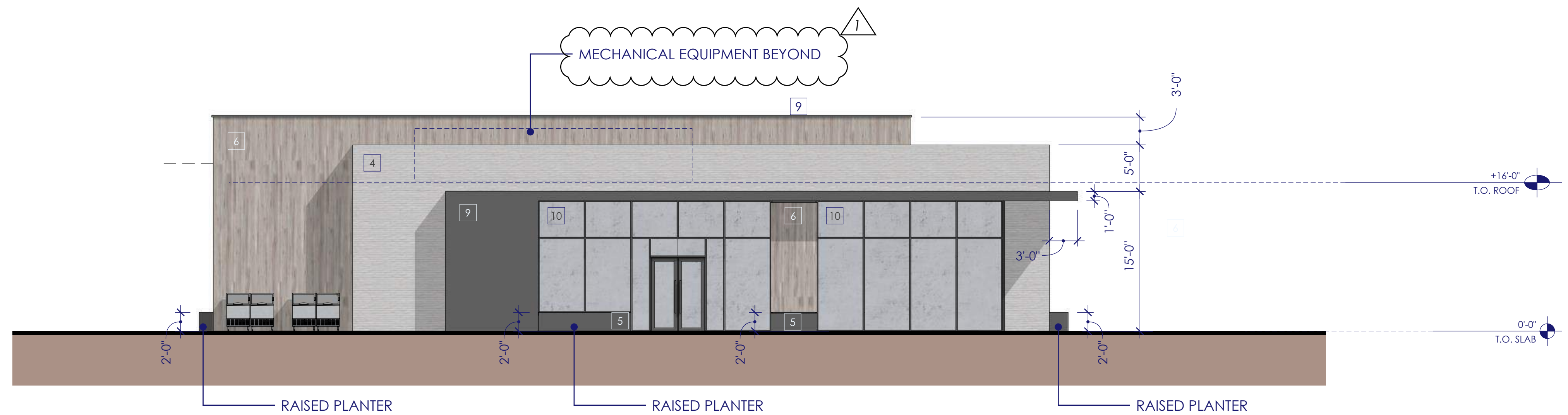
B - CONVENIENCE STORE WEST ELEVATION

SCALE: 1/8"=1'-0"



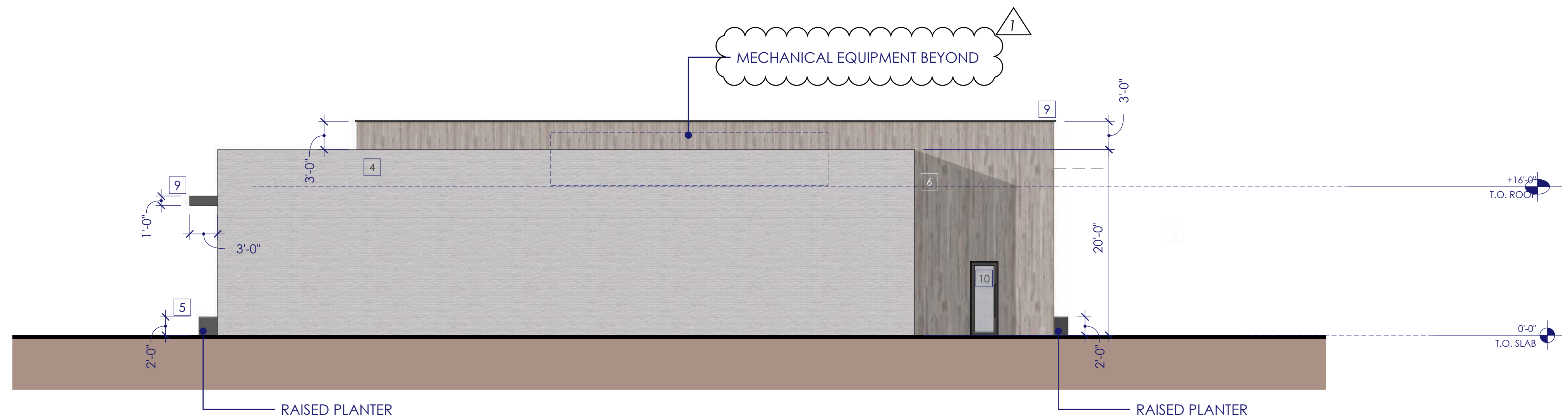
B - CONVENIENCE STORE EAST ELEVATION

SCALE: 1/8"=1'-0"



B - CONVENIENCE STORE SOUTH ELEVATION

SCALE: 1/8"=1'-0"

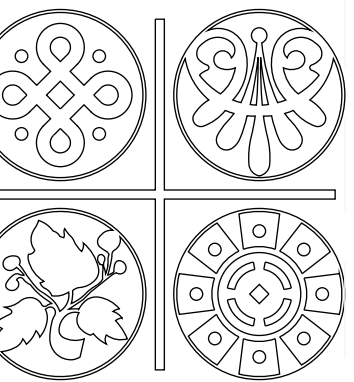


B - CONVENIENCE STORE NORTH ELEVATION

SCALE: 1/8"=1'-0"

ELEVATIONS FINISHES SCHEDULE

- 1 " WARM" OFF-WHITE STUCCO
- 2 LIGHT GRAY STUCCO
- 3 DARK GRAY STUCCO
- 4 LIGHT STONE CLADDING
- 5 DARK STONE CLADDING
- 6 COMPOSITE "WOOD" CLADDING
- 7 COMPOSITE "WOOD" VERTICAL FINIS
- 8 LIGHT GRAY METAL CLADDING
- 9 DARK GRAY METAL TO MATCH COLOR OF GLAZING FRAMES
- 10 GRAY TINT GLAZING WITH DARK GRAY ALUMINUM FRAMES
- 11 DARK GRAY METAL LOUVERS TO MATCH COLOR OF GLAZING FRAMES
- 12 DARK GRAY SPANDREL GLAZING



ARCHITECTURAL
ALLIANCE
ARCHITECTURE
612 SW 4th AVENUE FORT LAUDERDA
FLORIDA 33315 - PH: 954.76
OFFICE
Pete Meador Ebersole
Seal AA26001246

Pete Meador Ebersole
A R 0 0 1 1 6 3 6
Revision Dates
8.9.2024

Project Name

New Project for:
PARK ROAD - COMMERCIAL
Address:
1600 S Park Rd, Hollywood, FL 33021

Sheet Description

B - CONVENIENCE
STORE ELEVATIONS

Release Date
5/26/2023

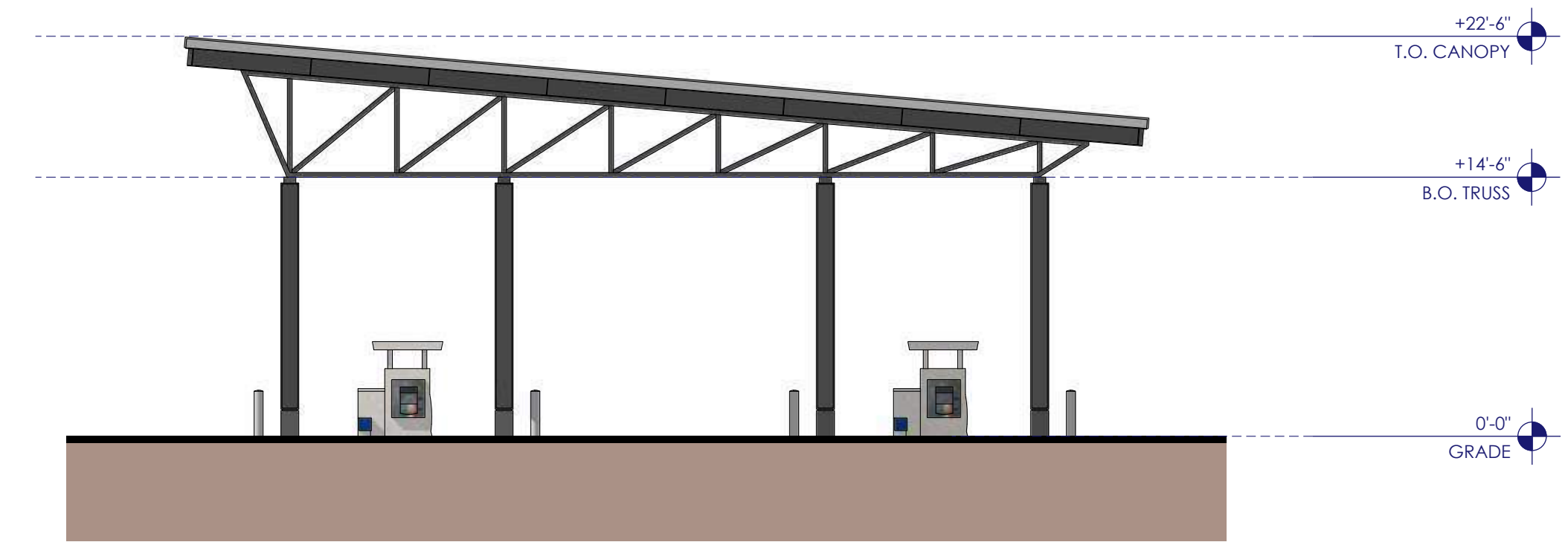
Project Number
20121B

Sheet Number

A.08

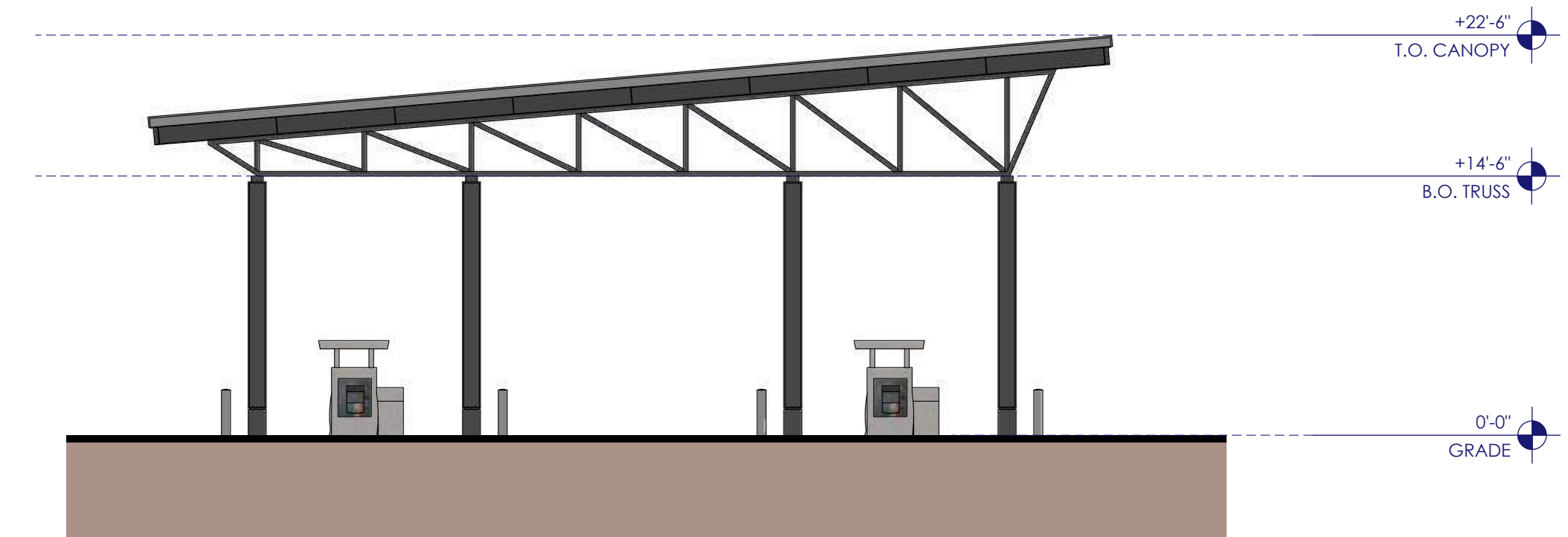


CANOPY SKEMATIC PERSPECTIVE



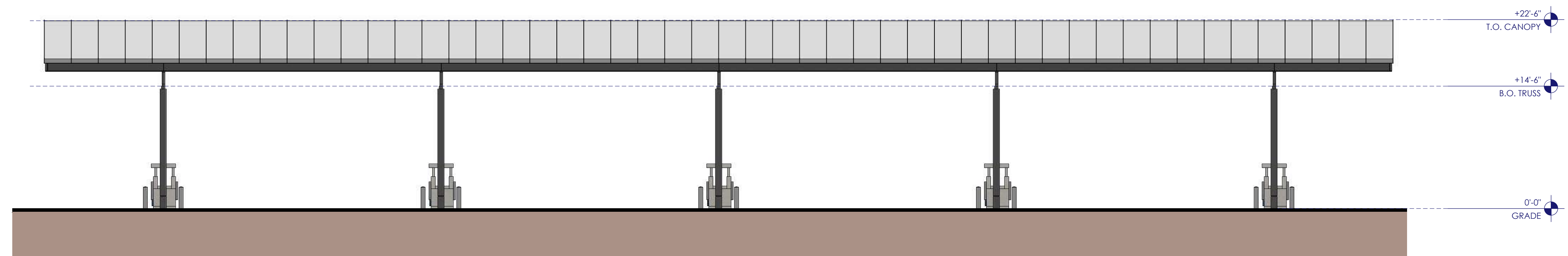
CANOPY EAST ELEVATION

SCALE: 1/8"=1'-0"



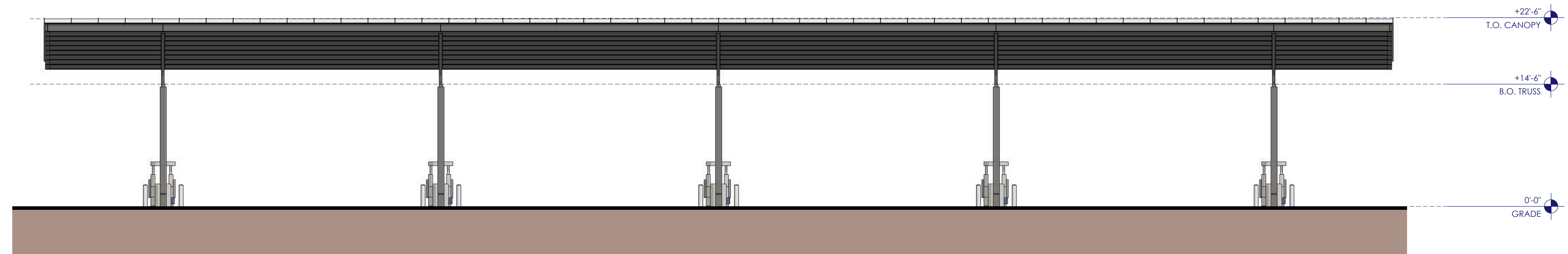
CANOPY WEST ELEVATION

SCALE: 1/8"=1'-0"



CANOPY NORTH ELEVATION

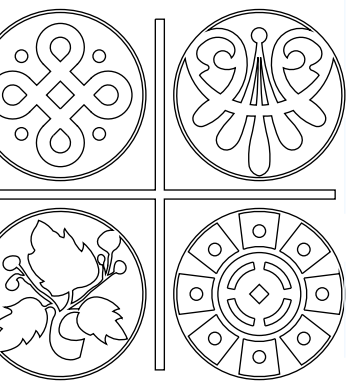
SCALE: 1/8"=1'-0"



CANOPY SOUTH ELEVATION

SCALE: 1/8"=1'-0"

FINAL DESIGN OF THE CANOPY WILL BE DETERMINED BY THE FUTURE TENANT BASED ON SPECIFIC BRAND STANDARDS. ALL PLANS AND ELEVATIONS OF THE CANOPY ARE PRELIMINARY AND SUBJECT TO FINAL APPROVAL OF THE SHOP DRAWINGS AND BUILDING PERMIT DRAWINGS.



ARCHITECTURAL
ALLIANCE
ARCHITECTURE
612 SW 4th AVENUE FORT LAUDERDA
FLORIDA 33315 - PH: 954.76
OFFICE: 954.760.1222
SEAL AA26001246

Pete Meador Ebersole
A R 0 0 1 1 6 3 6

Revision Dates
8.9.2024

Project Name

New Project for:
PARK ROAD - COMMERCIAL
Address:
1600 S Park Rd, Hollywood, FL 33021

Sheet Description

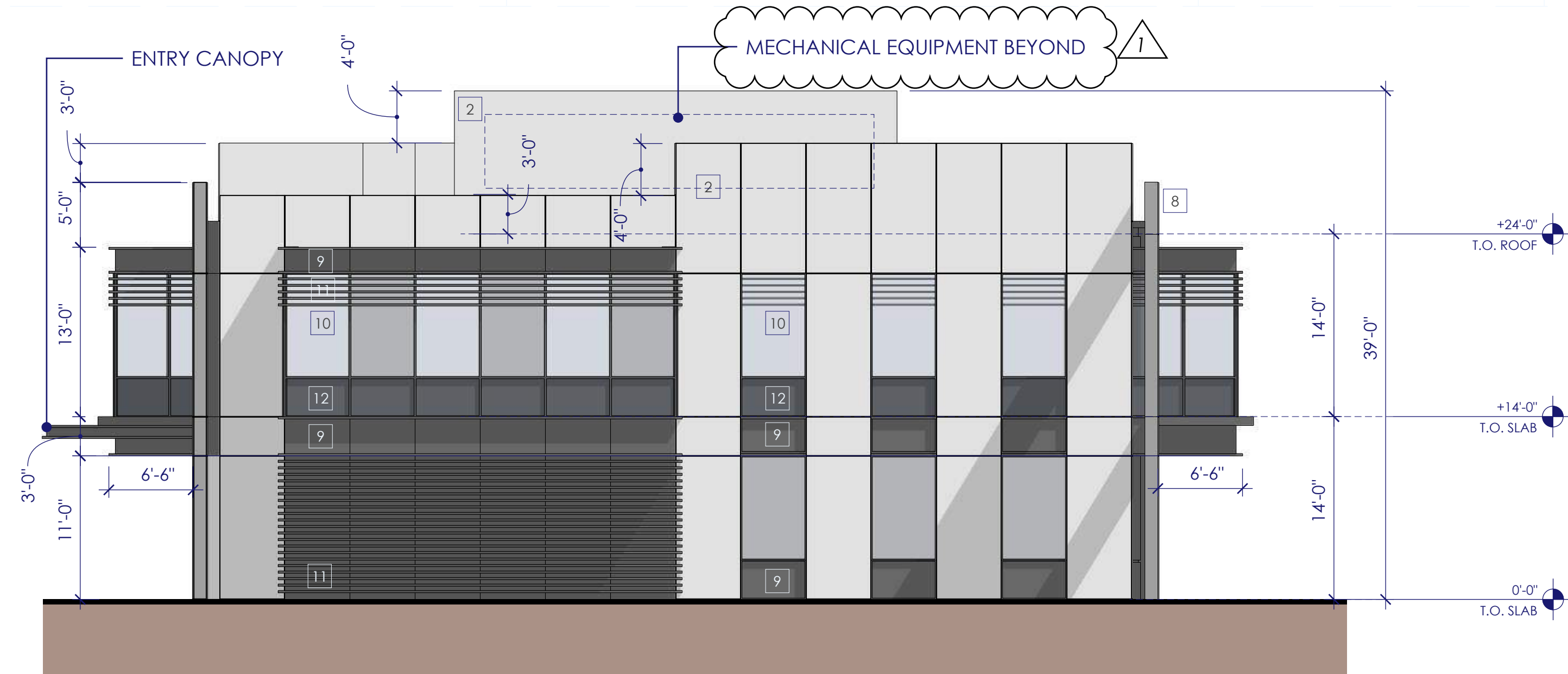
D - GAS STATION
CANOPY ELEVATIONS

Release Date
5/26/2023

Project Number
20121B

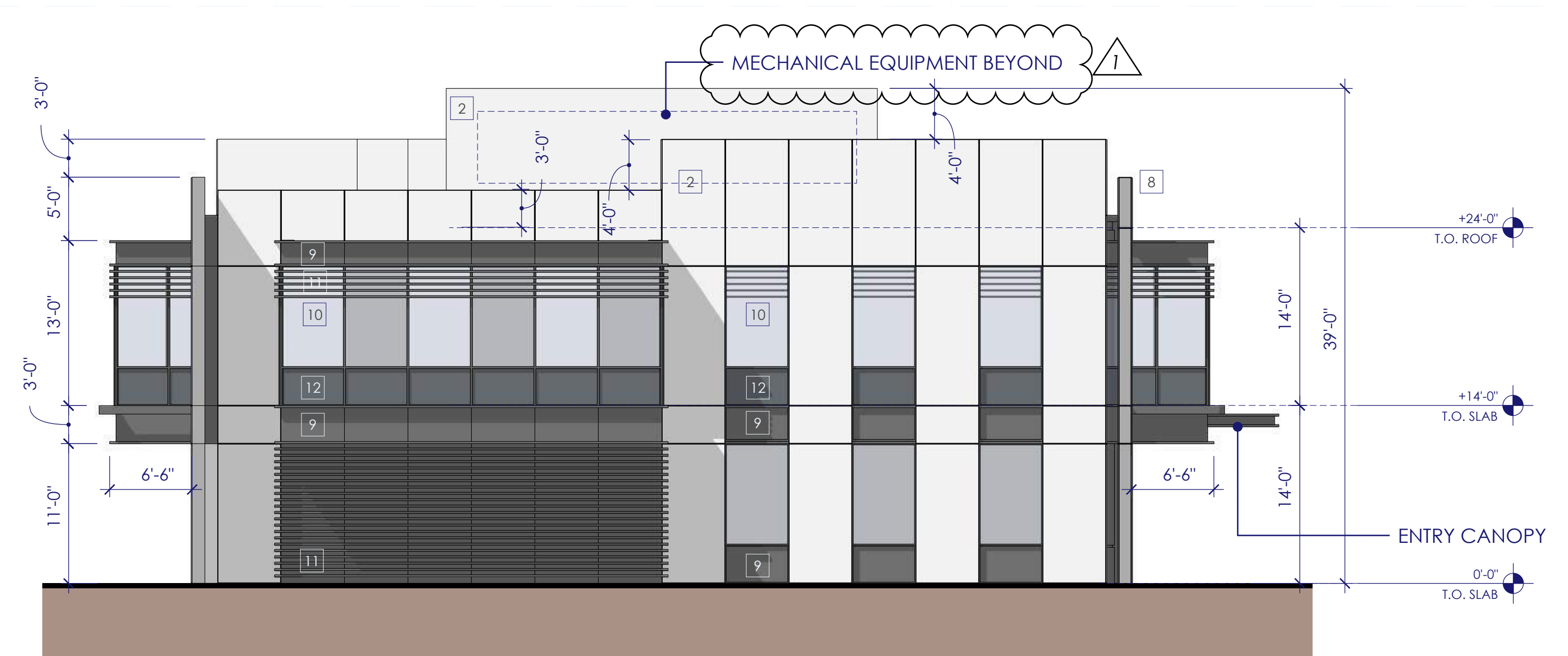
Sheet Number

A.08.2



C - OFFICE BUILDING WEST ELEVATION

SCALE: 1/8"=1'-0"

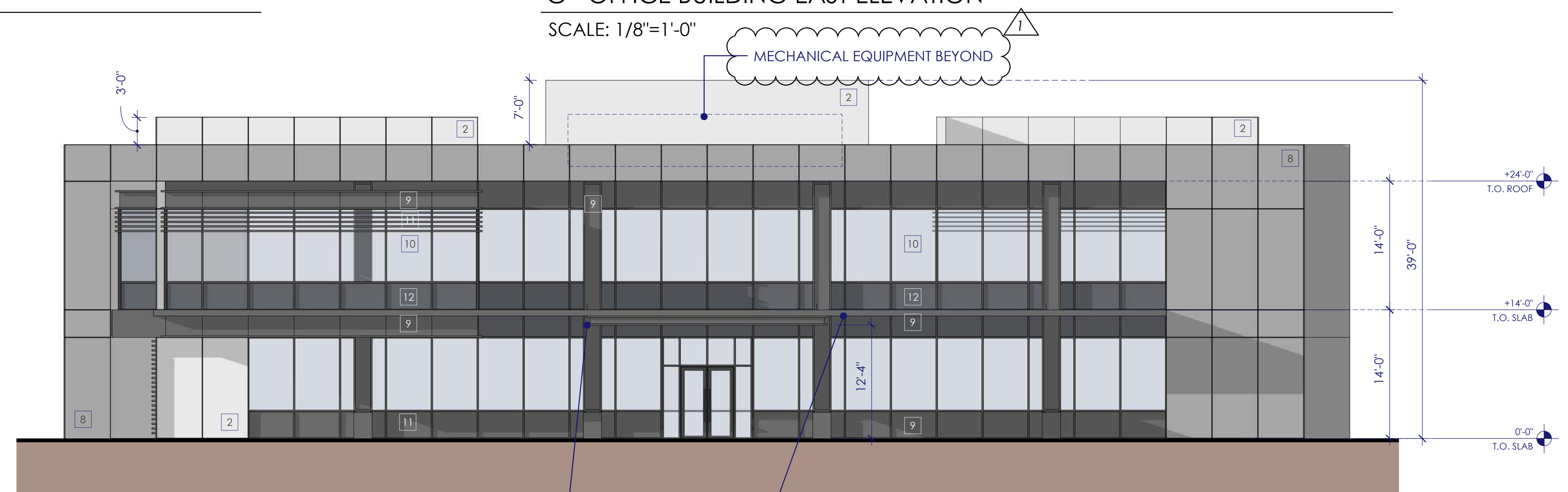


C - OFFICE BUILDING EAST ELEVATION

SCALE: 1/8"=1'-0"

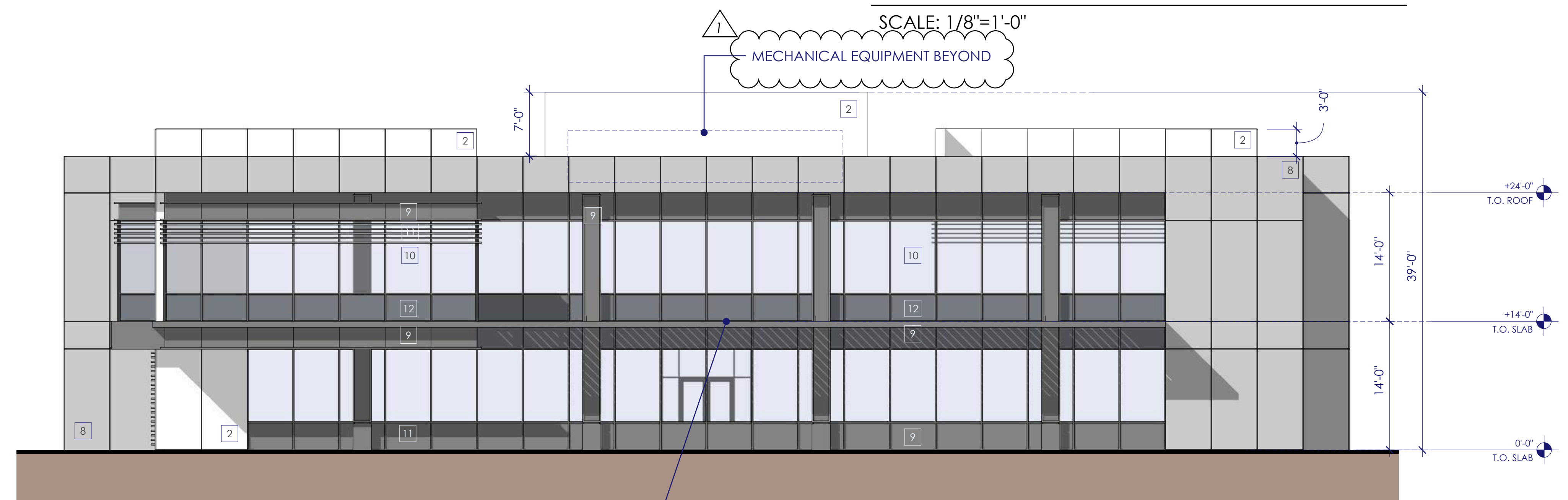
ELEVATIONS FINISHES SCHEDULE

- 1 " WARM" OFF-WHITE STUCCO
- 2 LIGHT GRAY STUCCO
- 3 DARK GRAY STUCCO
- 4 LIGHT STONE CLADDING
- 5 DARK STONE CLADDING
- 6 COMPOSITE "WOOD" CLADDING
- 7 COMPOSITE "WOOD" VERTICAL FINS
- 8 LIGHT GRAY METAL CLADDING
- 9 DARK GRAY METAL TO MATCH COLOR OF GLAZING FRAMES
- 10 GRAY TINT GLAZING WITH DARK GRAY ALUMINUM FRAMES
- 11 DARK GRAY METAL LOUVERS TO MATCH COLOR OF GLAZING FRAMES
- 12 DARK GRAY SPANDREL GLAZING



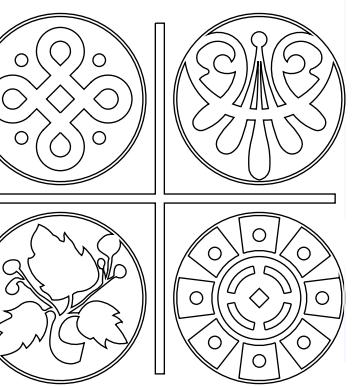
C - OFFICE BUILDING NORTH ELEVATION

SCALE: 1/8"=1'-0"



C - OFFICE BUILDING SOUTH ELEVATION

SCALE: 1/8"=1'-0"



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AA26601246

Pete Meador Ebersole
A R 0 0 1 1 6 3 6
Revision Dates
8.9.2024

Project Name

New Project for:
PARK ROAD - COMMERCIAL
Address:
1600 S Park Rd, Hollywood, FL 33021

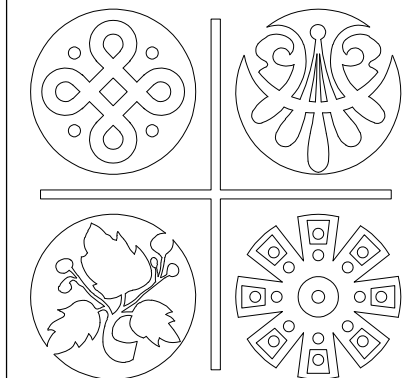
Sheet Description
C - OFFICE BUILDING
ELEVATIONS

Release Date
5/26/2023

Project Number
20121B

Sheet Number

A.13



**ARCHITECTURAL
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architecture@archall.net
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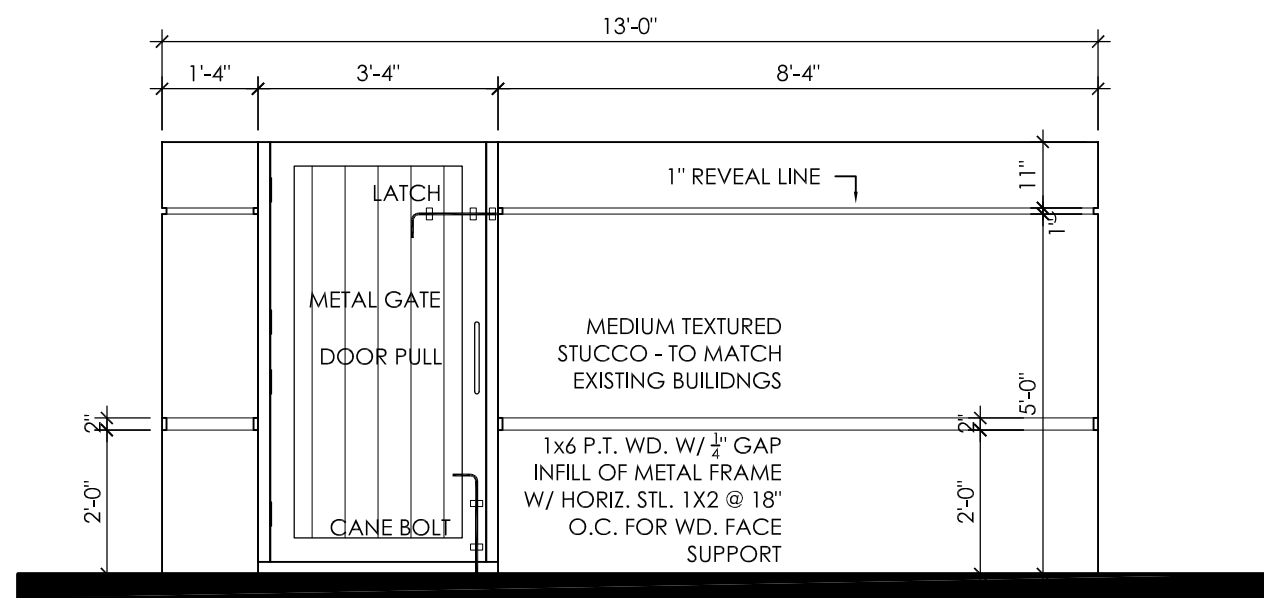
Pete Meador Ebersole
A R 0 0 1 1 6 3 6
revision dates

project name

New Project for:
PARK ROAD - COMMERCIAL
Address:
1600 S Park Rd, Hollywood, FL 33021

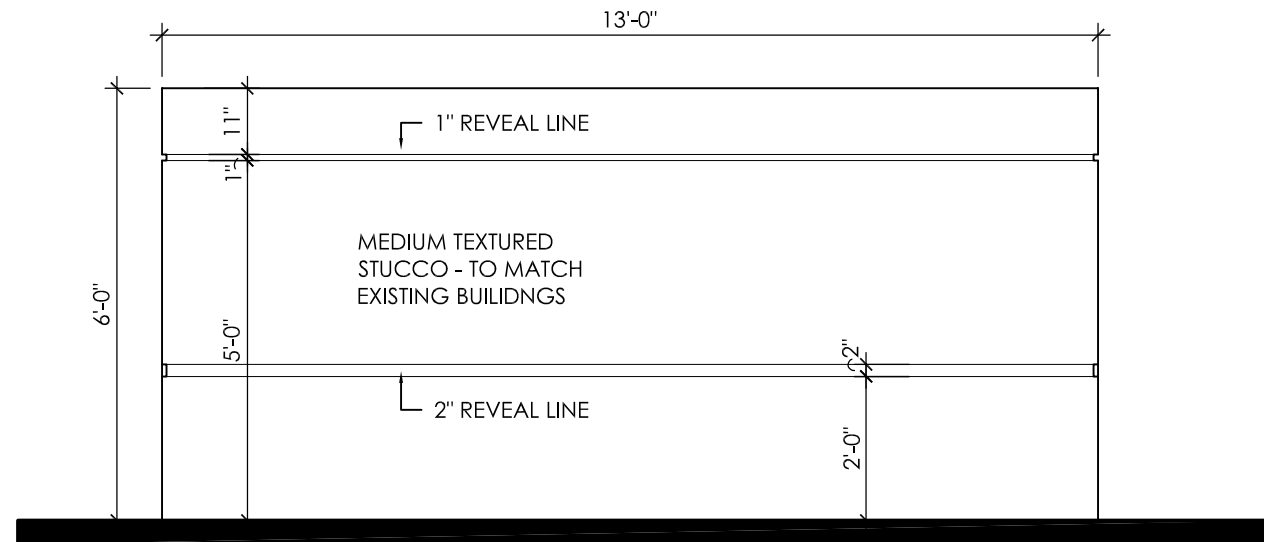
sheet description
**TYPICAL DUMPSTER
ENCLOSURE**
release date
5/26/2023
project number
201218
drawing number

A.14



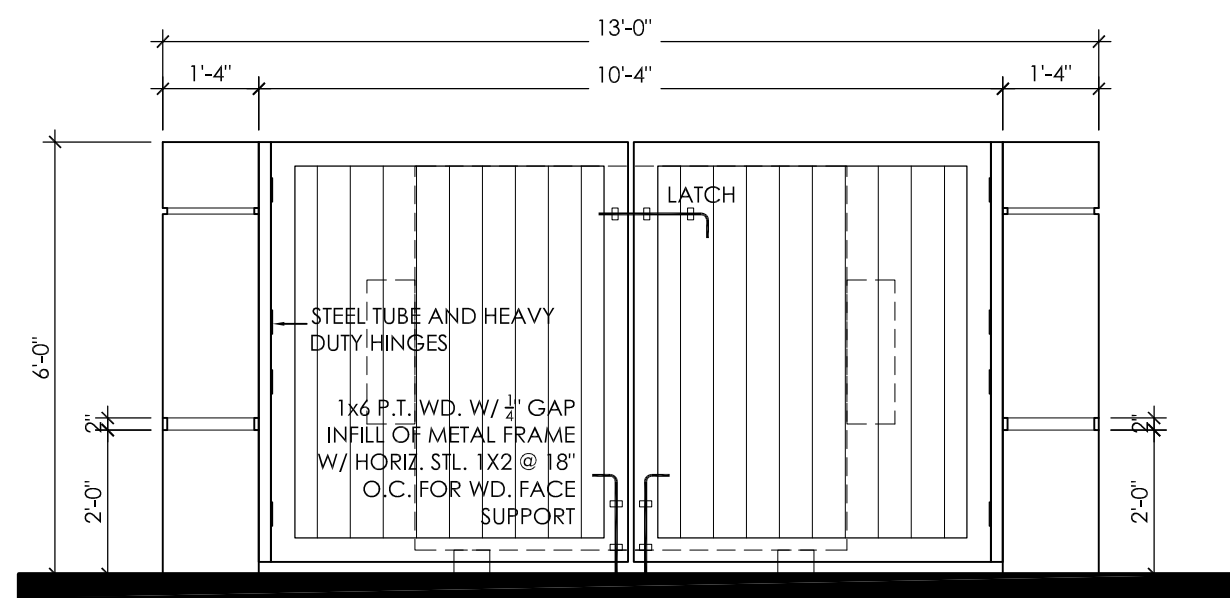
WEST ELEVATION

SCALE : 3/8" = 1'-0"



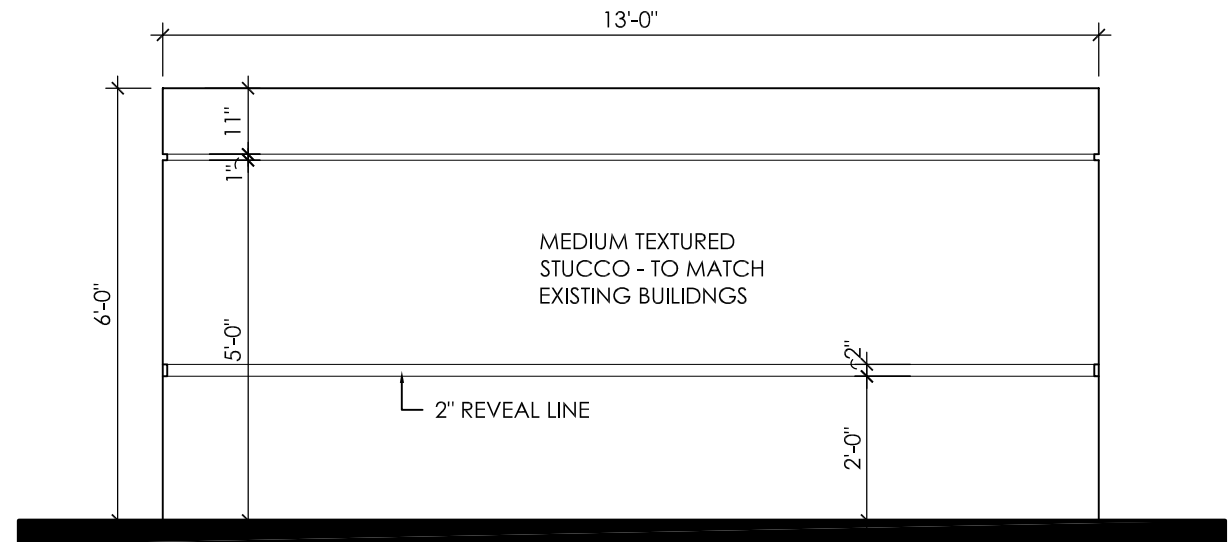
EAST ELEVATION

SCALE : 3/8" = 1'-0"



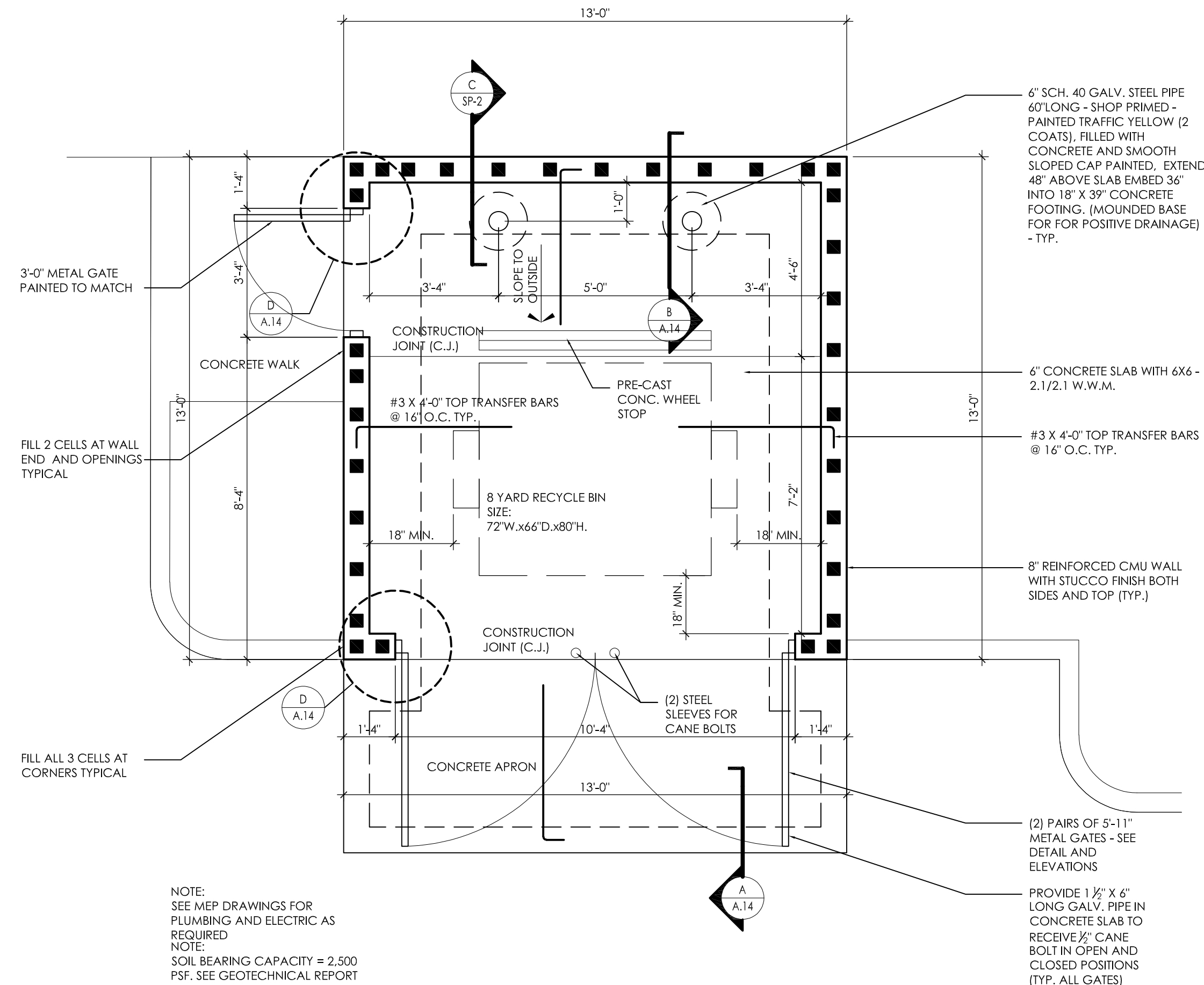
SOUTH ELEVATION

SCALE : 3/8" = 1'-0"



NORTH ELEVATION

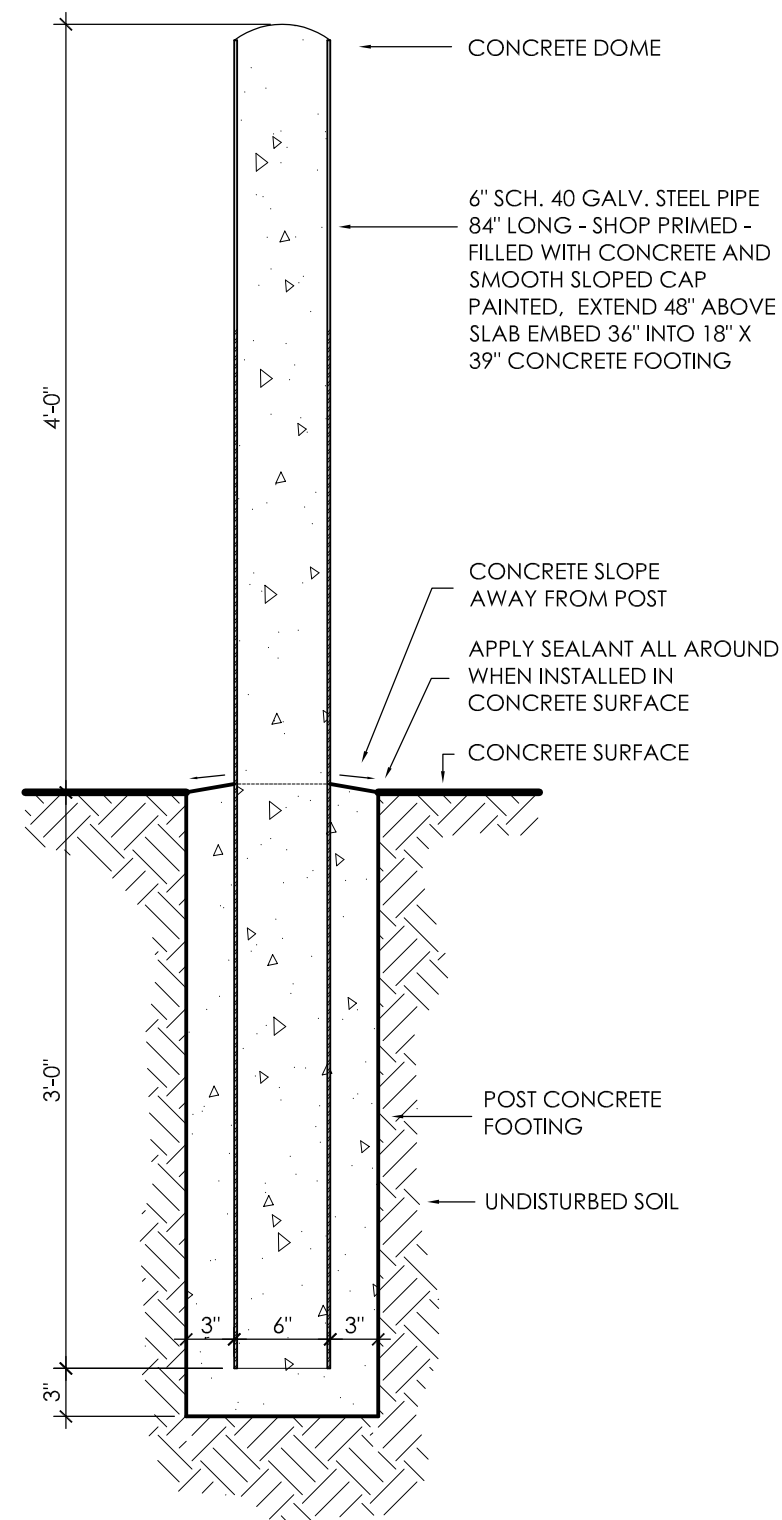
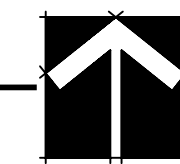
SCALE : 3/8" = 1'-0"



NOTE:
SEE MEP DRAWINGS FOR
PLUMBING AND ELECTRIC AS
REQUIRED
NOTE:
SOIL BEARING CAPACITY = 2,500
PSF. SEE GEOTECHNICAL REPORT

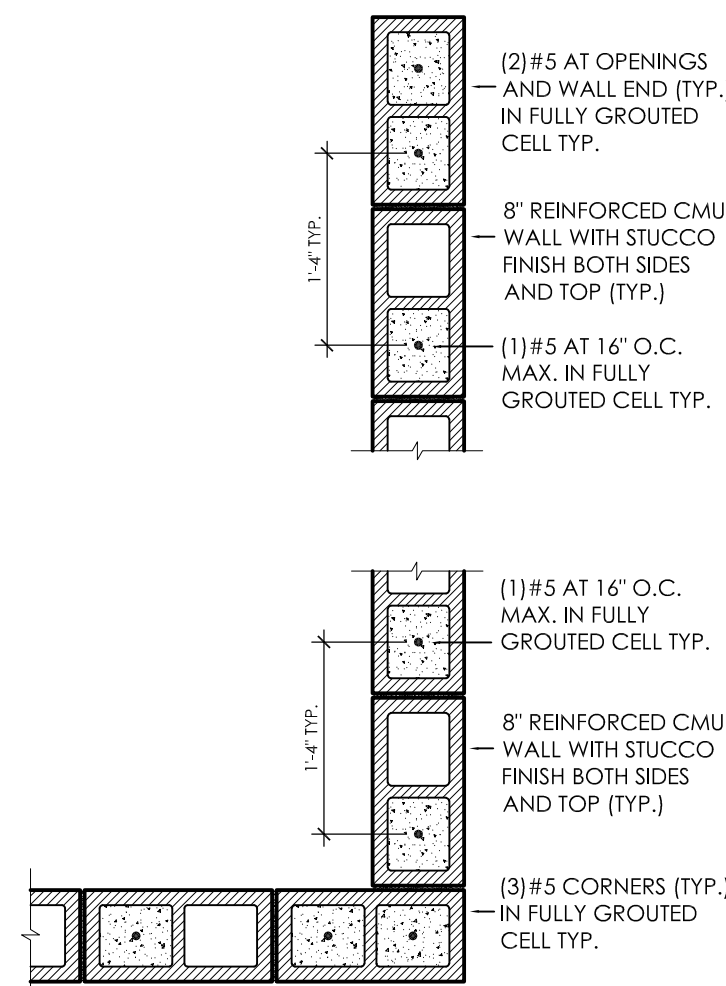
CONSTRUCTION PLAN

SCALE : 3/8" = 1'-0"



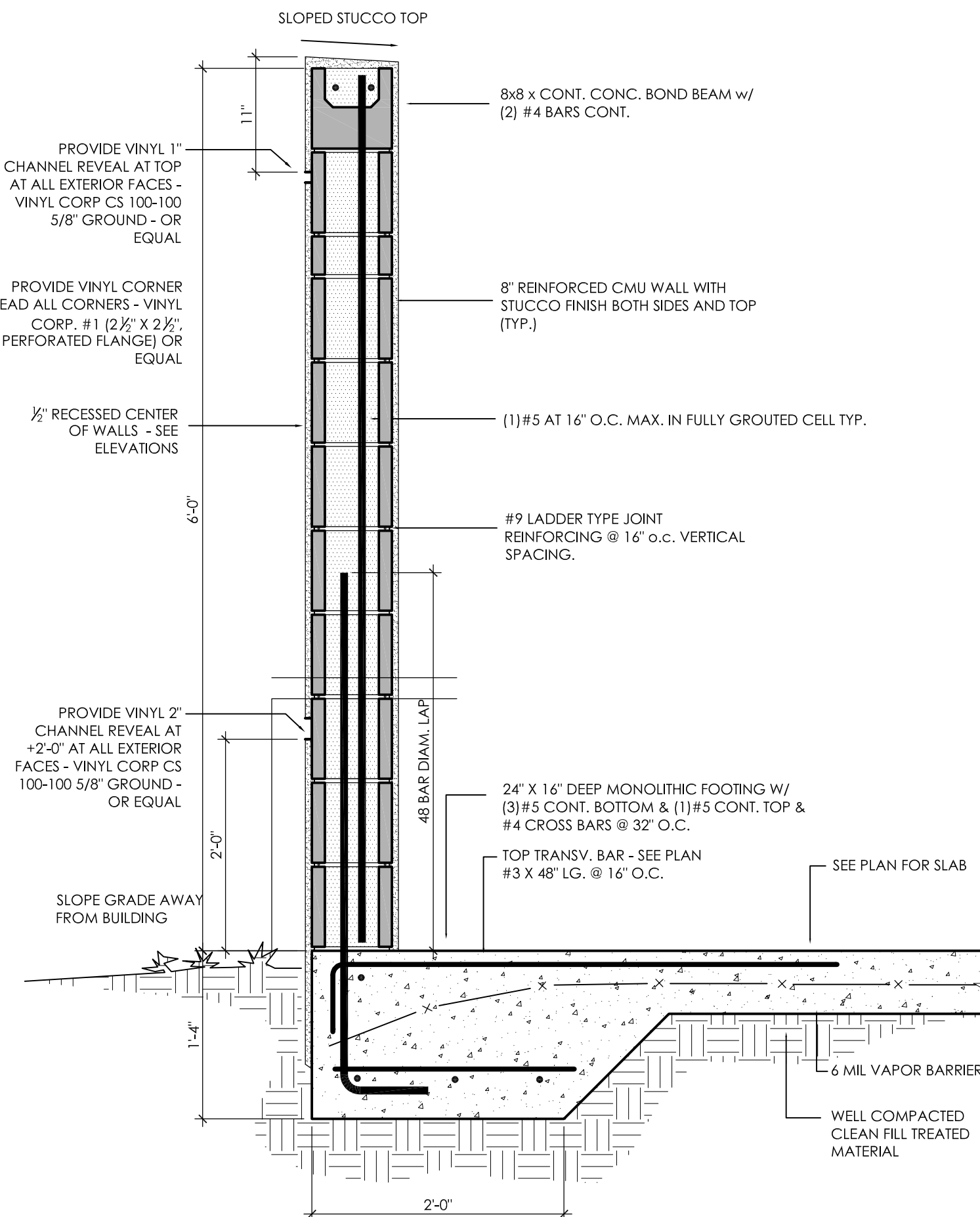
BOLLARD DET. B/A.14

SCALE : 1" = 1'-0"



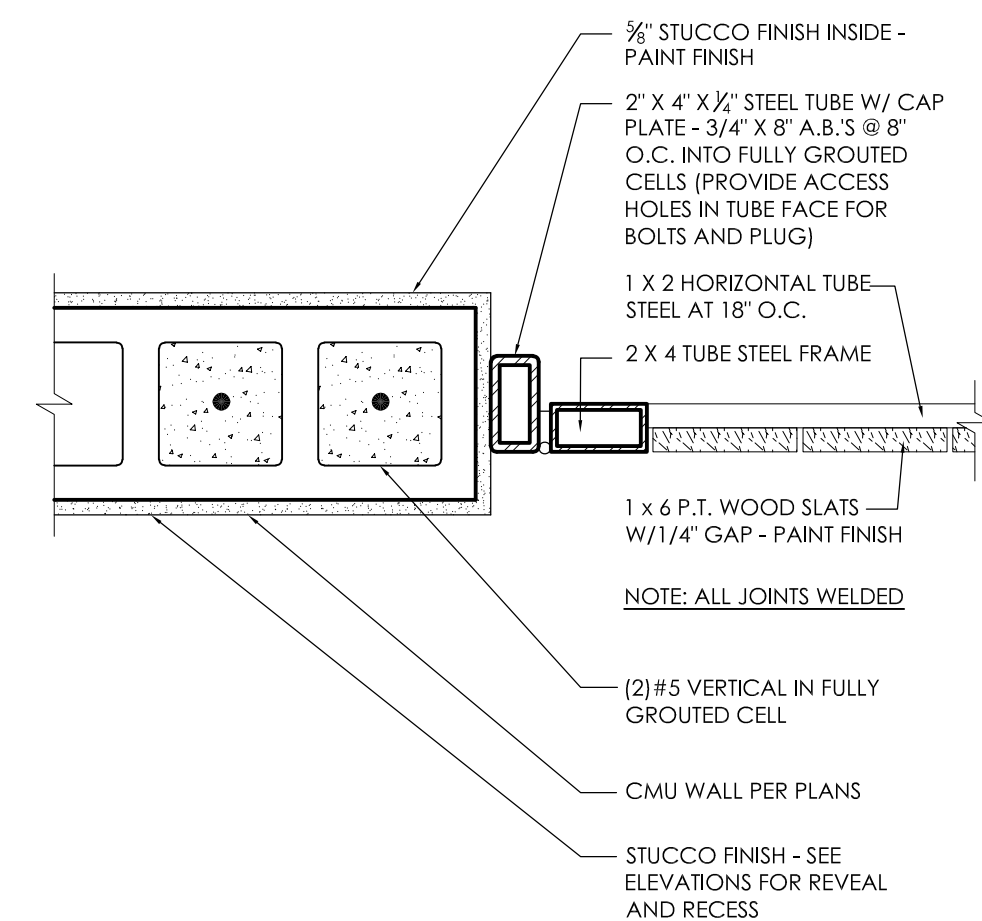
BLOCK CORNER / END DET.

SCALE : 3/4" = 1'-0"



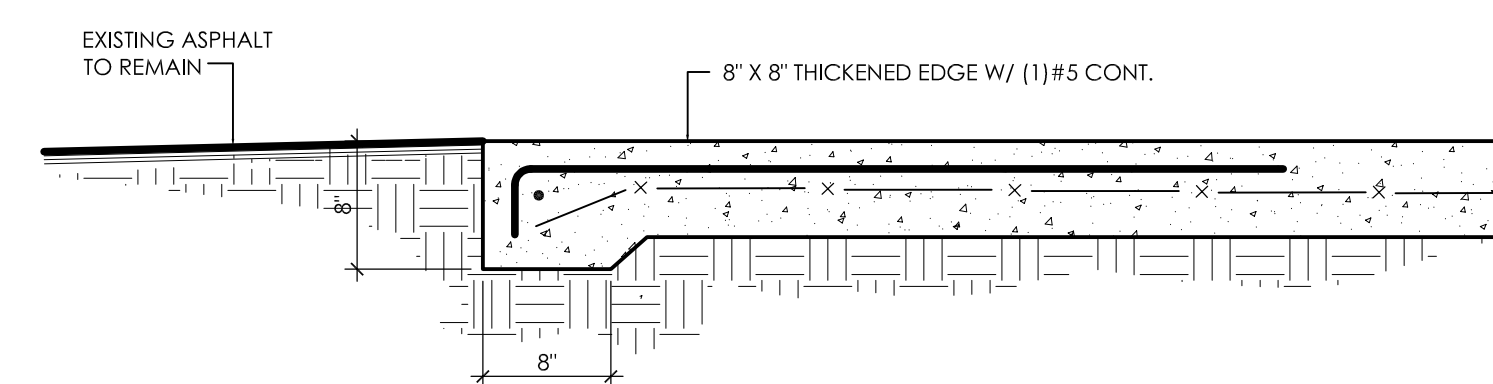
TYP. WALL SECTION C/A.14

SCALE : 1" = 1'-0"



DETAIL D/A.14

SCALE : 1 1/2" = 1'-0"



THICKENED EDGE DET. A.14

SCALE : 1" = 1'-0"