

DEPARTMENT OF PLANNING



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at <http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: JUN 6, 2017

Location Address: 1000 N. SURF ROAD

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142-13-01-0710

Zoning Classification: BWK-25HD-C Land Use Classification: COMPLEX

Existing Property Use: HOTEL + RETAIL Sq Ft/Number of Units: 39 + 5,650 sqft RETAIL

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): (P.A.C.O 03.08.17)

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: _____

Number of units/rooms: N/A Sq Ft: 6,559 SQFT

Value of Improvement: 1.5 MIL Estimated Date of Completion: JUN 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: S3 GLOBAL MULTI STRATEGY H LLC

Address of Property Owner: 1000 N. SURF ROAD HOLLYWOOD FL

Telephone: 305.932.6010 Fax: 305.932.6020 Email Address: SZOLADZ@NUVERSE.COM

Name of Consultant/Representative/Tenant (circle one): JOSEPH B. KALLER

Address: 2417 HOLLYWOOD BLVD Telephone: 954.920.5746

Fax: 954.926.2841 Email Address: JOSEPH@KALLERARCHITECTS.COM

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

N/A Address: N/A

N/A Email Address: N/A

N/A

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 6/2/17

PRINT NAME: SEBASTIAN ZOLADZ Date: 6/2/17

Signature of Consultant/Representative: [Signature] Date: 6-2-17

PRINT NAME: JOSEPH B. KAUFER Date: 6-2-17

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) technical Advisory Renewal to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Joseph B. Kauffer to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 3rd day of June 2017

[Signature]

[Signature]

SIGNATURE OF CURRENT OWNER

SEBASTIAN ZOLADZ

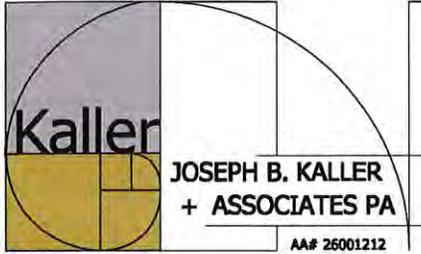
PRINT NAME

Notary Public State of Florida



My Commission Expires

Personally known to me; OR _____



architecture - interiors - planning

City of Hollywood
Project: **Sheldon Roof Top Addition**
File No.: **17-DP-18**
T.A.C Report Date: **April 24th, 2017**
Responses Date: **May 16th, 2017**

RESPONSES TO T.A.C. COMMENTS (UNDER DELTA # 1)

A. APPLICATION SUBMITTAL

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. Provide a box on the Cover Sheet for meeting dates (i.e., Preliminary TAC 4/24/2017; Final TAC TBD; Joint Board Meeting TBD). **Response: Revised. See T-1**
2. Provide an illustration or rendering of the proposed restaurant addition on the Cover Sheet. **Response: Revised.**
3. Certified ALTA Survey:
 - a. Provide spot grades for the hotel property. **Response: Revised.**
 - b. Provide the existing curb-cuts/driveways to surrounding properties within 100 feet. **Response: See SP-2 for curb cut diagram as requested.**
 - c. Provide the net and gross area for the hotel property. **Response: Revised, see SP-1**
4. Site Plan:
 - a. Illustrate the proposed restaurant addition. **Response: Revised. See SP-1**
 - b. Provide a box for Site Data and include tabular information such as:
 - c. Current Land Use & Zoning designations. **Response: Revised. See SP-1**
 - d. Required and provided building setbacks. **Response: Revised. See SP-1**
 - i. Required and provided amounts for pervious and impervious in square footage, acreage and percentage (i.e., buffer areas, landscape areas, building footprint, vehicular use area, etc.). **Response: See landscape responses attached.**
 - ii. Existing and proposed height of structure. **Response: Revised. See SP-1**
 - iii. Required and provided parking stalls (even if parking is not required for proposed addition). **Response: The required and provided parking of**

"0" (Zero) is shown on SP-1

- iv. Required and provided loading spaces. **Response: Revised. The required and provided loading zone is shown on SP-1. Per conversation had with Alex Carcamo We would like to propose to use the existing loading zone on Indiana St located one block south of the subject property considering the upcoming regulation changes.**
 - v. Provide a note stating the maximum foot-candle level at all property lines (maximum 0.5 f.c. if adjacent to residential). **Response: Revised. See SP-1**
 - vi. Net and gross property size in square feet and acres. **Response: Revised. See SP-1**
 - vii. Provide the total existing and proposed floor area of the hotel. **Response: Revised. See SP-1**
 - viii. Provide the total existing rooms and density calculation. **Response: Revised. See SP-1**
5. If parking is not being altered on the off-site lots, provide a note stating the at-grade parking lot is to remain as existing. **Response: The parking lot is currently owned by the same owner; but it is not part of the hotel property. Hotel is grandfathered in with no parking spaces.**
6. List any requested variances (include provided and required amounts). **Response: Revised, Variance box provided. See SP-1.**
7. Illustrate location of dumpster for proposed restaurant and bar. **Response: Revised. See A-1**
8. Work with the Engineering to ensure proper easements, agreements or dedications exist on and off the hotel property (including architectural elements that encroach into the public right-of-way) and any supporting documentation relating to said easements, agreements or dedications. **Response: Revised, see Survey and O&E.**
9. Identify the locations of existing and proposed fire-hydrants on-site or the closest off-site locations. **Response: Revised. See SP-1.**
10. Provide method of mail delivery. **Response: Mail is delivered at front desk trough entry on Surf Road.**
11. Provide elevations from and labeled to the north, east, south and west for existing and proposed, so that the variations in design can be compared. **Response: Revised. See A5, A6, A7 & A8.**
12. For the 0'-0" marker, provide the vertical datum value in NAVD 88 and provide a note stating the 0'-0" is based on the Median Established Grade **Response: Revised. See A5, A6, A7 & A8.**

13. List all existing and proposed building materials and treatments. **Response: Attached, See elevation sheets : A5, A6, A7 & A8.**
14. Provide a Street Profile drawing. **Response: Revised. See SP-3.**
15. Provide one set of original color chips (even if matching existing building color). **Response: Attached.**
16. Provide written responses to all comments contained within this report with next submittal. **Response: OK, noted.**
17. Verify with local, county, state and national agencies whether the hotel bears any historical merit **Response: Per CRA Historic Survey Update dated July 12,2016 The property does NOT.**
18. Provide elevation marker for the highest portion of the hotel. **Response: Revised. See elevation sheets : A5, A6, A7 & A8.**
19. Confirm with local, county, state and national historic preservation agencies that this property is not listed on any registries. **Response: Confirmed, it is not listed on any state or National registry.**
20. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal. **Response: Drawings has been submitted to Hollywood Beach Civic association, waiting on meeting date.**
21. Provide a copy of the Unity of Title for the off-site parking lot. If one does not exist, a Unity of Title shall be a condition of approval for the development order. **Response: The hotel was originally built and sold without providing parking spaces and therefore is grandfather-in, per sale recorded on 1977. After 1996 the Hotel got sold with the separate parking lot but there has never been a unity of tittle recorded and they were sold as separate parcels. The owner is not interested in doing a unity of tittle on both properties. The Hotel was built without a parking lot and the new proposed restaurant does not require any parking.**
22. Provide written responses to all comments with next submittal. **Response: Ok. Noted.**

A. ZONING

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. Provide the setback dimensions of the at-grade parking lot from the north and south plot lines. **Response: Revised. At grade parking lot is nor a part of this project, See response #9.**
2. Location of all utilities shall be coordinated with appropriate departments. **Response: Noted**
3. Demonstrate the required Broadwalk, Surf Road and Cross Street tower setbacks are being met. **Response: The Hotel is legal non-conforming or grandfather-in, refer to the setback box on SP-1.**

4. Reduce the maximum height of the proposed restaurant addition to the maximum allowed 40-feet from the Median Established Grade. **Response: A height variance from 40'-0" to 48'-0" is being applied for. See variance box on SP-1.**
5. Provide the proposed Green Building practices. **Response: Revised, See SP-1.**
6. Illustrate the method of mail delivery. **Response: Mail is delivered at front desk trough entry at Surf Road**
7. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016-02. **Response: The parking requirement for the Hotel is 0- (grandfathered-in) and the parking requirement for the proposed restaurant is also 0- therefore, Not Applicable.**

B. ARCHITECTURE AND URBAN DESIGN

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. Determine whether the addition is to be consistent with or different from the existing hotels architectural style. Allow that determination to lead the design process moving forward. **Response: We are looking for contrast between the historic and the new addition, Clean modern "floating glass box".**
2. Utilize the southeast area of the site denoted as "existing asphalt" to create courtyard or active space that engages the Broadwalk. **Response : The asphalt will be replaced for pavers that match the adjacent pavers, see rendering on A-9.**
3. Below are examples of contemporary additions to existing historic structures: **Response : Its about contrast in every way in order to preserve the specialness of the existing building.**
4. The proposed design disrupts the datum or existing form which ties all other elements together for the existing building. If not following existing datum, a new datum should be established : **Response : Noted.**
5. Fenestration for the addition is not proportionate with the existing hotel. **Response : Noted.**
6. The roof element is very massive and heavy. **Response : Noted.**
7. The proposed entrance feature does not add to the historical value of the existing building. Provide existing elevations of the entrance feature, so Staff may make a clear determination of the modifications being proposed. **Response : Revised, see A5, A6, A7, A8 & A9.**
8. Consider stepping the restaurant addition back so as not to affect the pedestrian scale of the existing structure from the abutting Broadwalk. **Response : We decided to highlight the contrast between the "old" and the "new" making a cantilever instead, the curtainwall style will make the addition look more modern and lighter creating a more impactful statement. See A5, A6, A7, A8 & A9. The contrast also includes orientation, the Hotel north to south and the addition east to west.**
9. Updating existing architectural language of the hotel is highly recommended. **Response : Noted.**

Terrence Comiskey, Architect, 954-921-3930

10. Exterior Elevations: No materials are called out on the elevations. I cannot tell what work is being done on the existing elevations of the hotel. Are the windows being replaced? **Response : All windows on the hotel are existing to remain. Materials called now on sheets A5, A6, A7, A8 & A9 for further information.**

1. Sheet A-1: How will trash pick-up and trash storage be accommodated for the restaurant refuse? **Response: New dumpster added next to existing one at ground level. See A1.**

2. What type of roof top equipment is anticipated and how will it be screened?
Response: A/C Units will be located behind the south stair screened by planters.

3. Awning colors should be looked at both at ground level and on the roof.
Response: No awnings are being proposed for the addition.

C. LANDSCAPING

Dale Bryant, Landscape Architect 954-921-3997

1. In proposed at-grade planters adjacent to the Broadwalk, include the following in the plans:

a. Two (2) Coconut Palms in each 24' length planter spaced approximately 15' on center. Consider more unique and attractive cultivars such as Golden Malayan Dwarf or Red Spicata Dwarf, both available at nurseries at the time of this review comment.

Response : See landscape response sheet attached

b. A continuous single-row (inline) planting of *Clusia guttifera* 'Compacta' (Dwarf Littleleaf Clusia) spaced at 30" on center with a minimum planted dimension of 24" x 24".

Response : See landscape response sheet attached

c. An approximately 2" layer of medium washed seashell mulch over fabric weed barrier secured in place.

Response : See landscape response sheet attached

d. Provisions for automatic irrigation via a low-flow, dripline type system. Determine with MEP consultant if the source for this can be a tap from an existing potable service line or interior lateral with backflow preventer/etc. per Code.

Response : See landscape response sheet attached

2. Ground level area shown on sheet LP-1 as 'existing asphalt area' (between the existing structure and the broadwalk) may be a great opportunity to add some whimsical appeal to both patrons and passersby with unit concrete pavers and/or integrally-colored concrete and/or outdoor tile, etc.. There are many ornamental pedestrian paving options available and an iconic design, an integrated design motif, or just a simple arrangement of available pedestrian outdoor surface materials to accentuate the area could be an improvement to the overall aesthetic within this relatively small but highly-visible area.

Response : See landscape response sheet attached

3. Additional comments may be forthcoming. **Response : See landscape response sheet attached**

D. SIGNAGE

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc. **Response : Revised, see sheet SP-3**
2. Elevation drawings should include dimensions for wall signage proposed. **Response : Revised**
3. Maximum of one (1) wall sign is permitted per street frontage with a maximum of 15 square feet allowed for sign area. **Response : Noted**
4. Building identification signs are not permitted in the Broadwalk Districts. **Response : Noted**
5. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign. **Response : Noted**

E. LIGHTING

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. Proposed improvements shall comply with Chapter 108 of the City's Code of Ordinances, entitled "Lighting Requirements for Marine Turtle Protection," and applicable local, regional or state regulations for lighting standards for nesting sea turtles. **Response : Revised, see SP-1**

F. GREEN BUILDING

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. Work with Building Department to ensure compliance with Green Building Ordinance; list practices to be achieved on Site Plan. **Response : Revised see SP-1 for list of green practices.**

Response :

G. ENVIRONMENTAL SUSTAINABILITY

Lindsey Nieratka, Environmental Sustainability Coordinator, 954 -921-3201

1. Make sure that external lights meet the turtle lighting standards. **Response : Noted, note added on SP-1**
2. External lights should also meet Dark Skies standards. **Response : Noted, note added on SP-1**

3. Make sure the additions meet the requirements of the Green Building code. **Response : Noted, note added on SP-1**
4. Consider adding dune plantings on the beach to increase the resiliency of your property **Response : Noted.**

H. UTILITIES

James Rusnak, Engineer
 954-921-3302 Wilford
 Zephyr, Engineer 954-924-
 2985

1. Applicant is substantially compliant. (TAC plans dated March 18

2017) **Response : Noted**

Courtesy comments regarding FEMA 44 CFR.

As proposed, the scope of work for a roof top restaurant to the existing Sheldon Hotel does not trigger a substantial improvement review. That is where the cost of improvements to a building exceeds 50% of the value of the building. Under the substantial improvement review the City tracks all cost of improvements made to the building over a FIVE year period and the owner and architect need to be made aware of this tracking period in the event they had additional renovation plans for the building during this 5 year period. **Response : Noted**

I. BUILDING

Philip Sauer, Chief Building Official 954-921-3025

1. Application is substantially compliant. **Response : Noted**

J. ENGINEERING

Luis Lopez, City Engineer 954-921-3251
 Clarissa Ip, Engineering Support Services Manager 954-921-3915

1. Provide overall site data with information such as site area, existing and proposed project area, proposed restaurant square footage, parking data, etc. **Response : Revised, see SP-1**
2. Provide scope of work and intent of the existing parking lot shown on plan **Response : There are currently no plans for the parking lot, if you wish I can have the surveyor remove this portion of the survey and show the Hotel only.**
3. Provide building's existing uses and area information. **Response : Revised, see SP-1**

On the Proposed Floor Plan, indicate area of the existing building such as the kitchen and the restrooms.

4. Show dumpster location. **Response : Revised, see A1**
5. All outside agency permits must be obtained prior to issuance of building permit. **Response : Noted**
6. More comments will follow upon receipt and review of the requested information. **Response : Noted**

K. FIRE

Janet A. Washburn, Fire Prevention Officer III 954-921-3263

1. Please conduct a hydrant flow test through underground utilities at 954-921-3046. Once the test is completed, the fire flow must meet the requirements of NFPA 1, 18.4.5.2 and table 18.4.5.1.2. Show on the plan the results of the test. **Response : Test requested and paid for, see attachment of test request. will provide to you directly when received.**
2. Provide civil drawings showing any new fire hydrants, existing hydrants and the location of the existing Fire Department connection. Are you connecting to the existing riser in the building to feed the new rooftop restaurant that needs fire sprinklers? **Response : Existing fire-hydrants shown on sheet SP-1. No Civil work to be done. Existing fire sprinkler riser will be extended to roof addition. Drawings will be provided at Building permit.**

L. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager 954-921-3271

1. What will become of the existing stairwell on the southwest side? **Response : The stair will be existing to remain to be used as 1 out of the 2 required means of egress. No chairs or tables will be located in this area and a clear wide path will be maintained for access.**
2. Is the fourth floor accessible via stairs? **Response : Yes, from both existing stairs and elevators.**

M. PARKS, RECREATION AND CULTURAL ARTS

Eric Brown,
Recreation Supervisor 954-921-3404
David Vazquez, Assistant Director 954-921-3404

1. Application is substantially compliant. **Response : Noted**

N. POLICE DEPARTMENT

Steven Bolger, Police 954-967-4500
Doreen Avitabile,
Police 954-967-4371

1. No comments received. **Response : Noted**

O. PUBLIC WORKS

Karen Arndt, Assistant Director 954-967-4264
Charles Lassiter, Environmental Services Supervisor 954-967-4207

1. No comments received. **Response : Noted**

P. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager 954-924-2922

1. No comments received. **Response : Noted**

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director
954-924-2980 Susan Goldberg,
Deputy Director 954-924-2980

1. The CRA understands signage in rendering is not indicative of the final design; however, please ensure all future signage will be sensitive to the historic nature of the building and the existing building signage. **Response: Revised rendering and elevations showing signage not to exceed 15sqft.**

R. PARKING AND INTERGOVERNMENTAL

AFFAIRS Tamikia Bacon, Parking
Operations Manager 954-921-3548
Hal King, Parking Administrator
954-921-3549

1. No comments received. **Response : Noted**

S. ADDITIONAL COMMENTS

Jean-Paul W. Perez, Planning Administrator 954-921-3471

1. No additional comments at this time. **Response : Noted**
-



June 15, 2017

Sheldon Hotel
Address: 1000 North Surf Road, Hollywood, Florida
Owner: S3 Global Multi-Strategy H, LLC

RESPONSE COMMENTS TO TECHNICAL ADVISORY COMMITTEE REPORT

FILE NUMBER: 17-DP-18

LANDSCAPING

Dale Bryant, Landscape Architect 954-921-3997

1. In proposed at-grade planters adjacent to the Boardwalk, include the following in the plans:

a. Two (2) Coconut Palms in each 24' length planter spaced approximately 15' on center. Consider more unique and attractive cultivars such as Golden Malayan Dwarf or Red Spicata Dwarf, both available at nurseries at the time of this review comment.

RESPONSE: See Sheet LP-1. Golden Malayan Coconut palms are proposed.

b. A continuous single-row (inline) planting of *Clusia guttifera* 'Compacta' (Dwarf Littleleaf Clusia) spaced at 30" on center with a minimum planted dimension of 24" x 24".

RESPONSE: See Sheet LP-1. Dwarf Little Leaf Clusia added along boardwalk.

c. An approximately 2" layer of medium washed seashell mulch over fabric weed barrier secured in place.

RESPONSE: See Sheet LP-1. Note added.

d. Provisions for automatic irrigation via a low-flow, dripline type system. Determine with MEP consultant if the source for this can be a tap from an existing potable service line or interior lateral with backflow preventer/etc. per Code.

RESPONSE: See Sheet LP-1. Note added to be provided at time of permit drawings.

2. Ground level area shown on sheet LP-1 as 'existing asphalt area' (between the existing structure and the boardwalk) may be a great opportunity to add some whimsical appeal to both patrons and passersby with unit concrete pavers and/or integrally-colored concrete and/or outdoor tile, etc.. There are many ornamental pedestrian paving options available and an iconic design, an integrated design motif, or just a simple arrangement of available pedestrian outdoor surface materials to accentuate the area could be an improvement to the overall aesthetic within this relatively small but highly-visible area.

RESPONSE: See architectural set.. Opportunity exists for permeable pavers with design.

3. Additional comments may be forthcoming.

RESPONSE: Landscape Architect acknowledges.

The site is an existing non conforming site. Opportunity has been taken to provide as much as possible pervious square footage and tree canopy.

Beach Community Redevelopment Districts Landscape Standards

Required Tree Canopy: The total tree canopy on a site shall be equal to a minimum 30% of the gross lot area. Tree canopy shall be in addition to the required planting area defined above. Tree canopy coverage is calculated upon code determined mature spread of tree.

Ground Floor

Pervious Space Ground Floor: 835 SF Planters
1055 SF pervious Pavers East Side of structure

Provided Tree Canopy: 4 small/medium palm trees with canopy spread of 20' at 100 SF/tree = 400 SF
14 small palm trees at with canopy spread not greater than 15 feet at 50 SF/tree = 700 SF

TOTAL Canopy SF Ground Floor = 1100 SF

Rooftop Planters

Pervious Space Rooftop Floor: 149.4 SF

Provided Tree Canopy: 22 small palm trees at with canopy spread not greater than 15 feet at 50 SF/tree = 1100 SF

TOTAL Canopy SF Ground Floor = 1100 SF

If you have any questions, or need further supportive information, I may be reached at 561-414-8269 or at wtonning@tonningandassociates.com .

Regards,

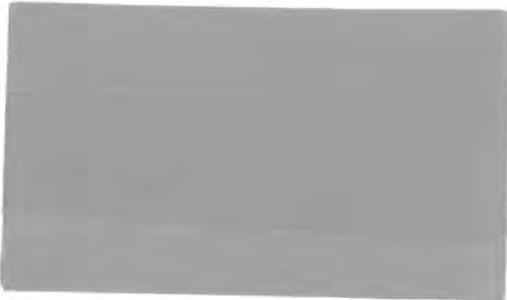
Wayne Toning, RLA
FL Reg LA6666709

1000 N. Broadwalk
Sheldon Hotel,
Hollywood, 33019

PROPOSED PAINT CHIPS AND MATERIALS

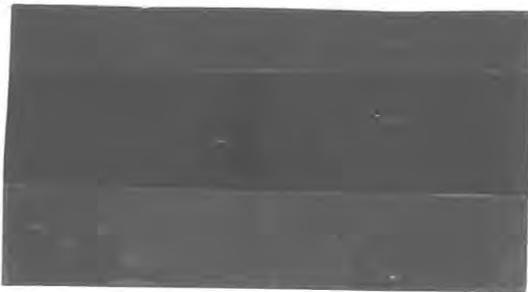
Benjamin Moore

White winged dove 1457



Benjamin Moore

Graystone 1475



Benjamin Moore

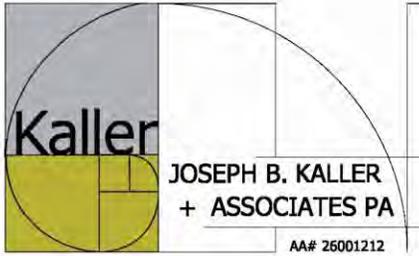
Westcott navy 1624

Curtain wall system at “floating box” with white frame



Retractable roof cabanas





architecture - interiors - planning

Jun 19, 2016

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:

1000 N. Broadwalk
Hollywood, Florida
Architect's Project #16094
City Project # 17-DP-18

DESIGN REVIEW

GENERAL CRITERIA: All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

CRITERION 1: Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed restaurant addition proposes a contrast in shape and style but using the same glazing tone and frame used in the hotel (frame finish white) to blend in the modern with the new. Due to the importance of the pedestrian experience on the broadwalk and the beach we decided to have out door cabanas open al fresco to bring some of the beach experience to the roof top itself.

CRITERION 2: Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: The proposed restaurant addition follows the intent of the Broadwalk district. The restaurant design also provides a terrace or deck open to sky with cabanas. Additionally the proposed new pavers and palms along the broadwalk will enhance the

pedestrian movement in front of the hotel. The colors palate selected and use of glazing bring a more modern look to the addition highlighting the specialness of the existing building.

CRITERION 3: Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: The proposed restaurant height is 8'-0" above the permitted 40'-0". But the overall scale of the building is still in-line with the surrounding buildings to the north and south of the property. The massing of the proposed restaurant addition is a "glass box" that projects out making a stronger statement of the addition itself.

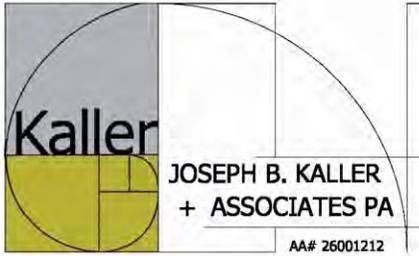
CRITERION 4: Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The proposed landscape to be used are native plants selected specifically for use at this area with careful consideration of insects and diseases common to the area. The proposed planting also create variations of color and texture in the roof which are integrated with the ground public broadwalk.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

Giovanni Munoz
Associate



Jun 19, 2016

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:

1000 N. Broadwalk
Hollywood, Florida
Architect's Project #16094
City Project # 17-DP-18

HEIGHT VARIANCE REVIEW

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: The proposed height variance from 40'-0" allowed to 48'-0" still maintains the intent of the scale for the North and South streets following the patterns for the newly approved and built developments.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The proposed height is compatible with the proposed land uses projected for the BWK-25-C and will not be detrimental to the community.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS: The proposed height variance is consistent with the Neighborhood plan for the BWK-25-C.

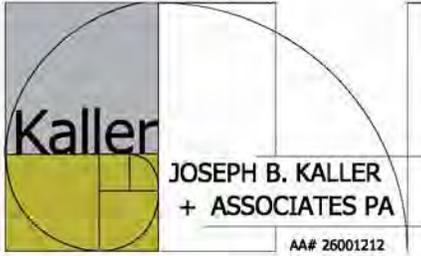
CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS: The requested height variance request is not economically based or self imposed but it is intended to provide a comfortable height for the proposed restaurant that will enhance the restaurant experience in the area by bringing new franchises to the area.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

Giovanni Munoz
Associate



architecture - interiors - planning

Jun 19, 2016

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:

1000 N. Broadwalk
Hollywood, Florida
Architect's Project #16094
City Project # 17-DP-18

SETBACK VARIANCE REVIEW

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: The proposed setback variance maintains the existing look of the building in a sense that the existing tower setback is grandfather in so we are proposing to match the proposed restaurant addition to be at the same plane of the existing façade. n

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The proposed setback variance is to match the existing tower setback with the existing to be compatible with existing building setback since the existing tower setback is legal non-confirming or grandfathered-in and will not be detrimental to the community.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS: The proposed setback variance is consistent with the neighborhood comprehensive plan.

CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

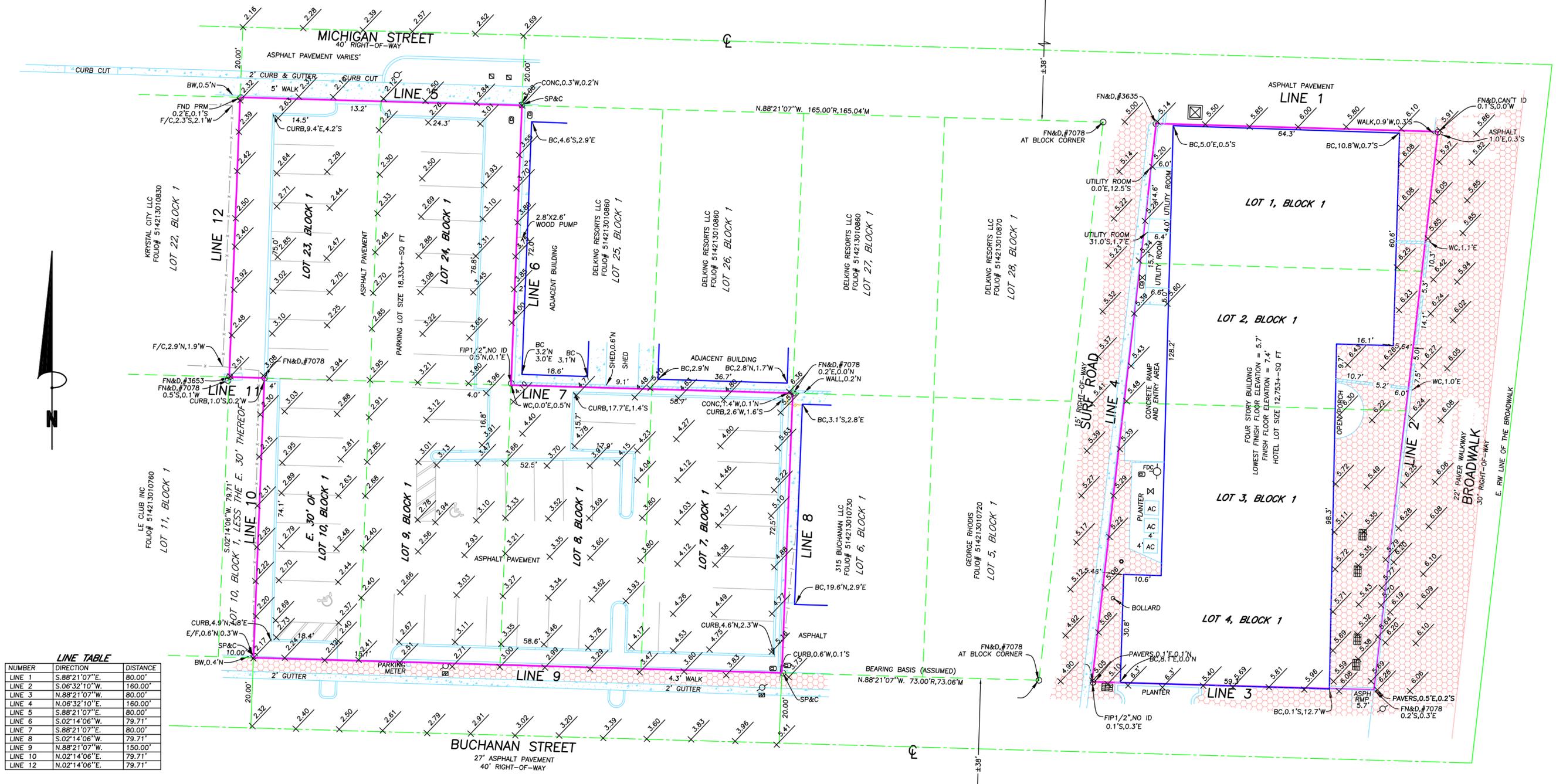
ANALYSIS: The requested setback variance request is not economically based or self imposed but it is intended to provide a comfortable square footage area for a future tenant.

Should you have any questions, please feel free to contact this office.

Sincerely,
Joseph B Kaller & Associates, P.A.

Giovanni Munoz
Associate

MARGARITAVILLE HOLLYWOOD BCH RES
LP(BLDG)&CITY OF HOLLYWOOD(LAND)
FOLIO# 514213080010



LINE TABLE

NUMBER	DIRECTION	DISTANCE
LINE 1	S.88°21'07"E.	80.00'
LINE 2	S.06°32'10"W.	160.00'
LINE 3	N.88°21'07"W.	80.00'
LINE 4	N.06°32'10"E.	160.00'
LINE 5	S.88°21'07"E.	80.00'
LINE 6	S.02°14'06"W.	79.71'
LINE 7	S.88°21'07"E.	80.00'
LINE 8	S.02°14'06"W.	79.71'
LINE 9	N.88°21'07"W.	150.00'
LINE 10	N.02°14'06"E.	79.71'
LINE 12	N.02°14'06"E.	79.71'

LEGAL DESCRIPTION

LOTS 1, 2, 3, 4, 7, 8, 9, AND THE EAST 30 FEET OF LOT 10, AND ALL OF LOTS 23 AND 24, IN BLOCK 1, OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

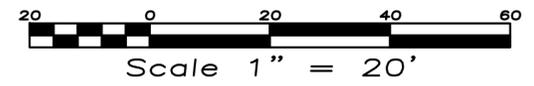
CERTIFIED TO:

S3 GLOBAL MULTI STRATEGY H, LLC, A DELAWARE LIMITED LIABILITY COMPANY
FIDELITY NATIONAL TITLE INSURANCE COMPANY
FROMBERG, PERLOW & KORNIK, P.A.



ALTA/NSPS LAND TITLE SURVEY

PROPERTY ADDRESS
1000 BROADWALK
HOLLYWOOD, FL 33019



SURVEYOR'S NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7" WIDE UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

ABBREVIATIONS

BC BUILDING CORNER
BW BACK OF WALK
CAL CALCULATED
M MEASURED
N.T.S. NOT TO SCALE
OP OPEN PORCH
ORB OFFICIAL RECORDS BOOK
P.C. POINT OF BEGINNING
P.O.B. POINT OF BEGINNING
P.O.C. POINT OF COMMENCEMENT
PAGE PAGE
P.R.C. POINT OF REVERSE CURVE
P.R.M. PERMANENT REFERENCE MONUMENT
P.T. POINT OF TANGENCY
E/F/F. EDGE OF FENCE
E/P. EDGE OF PAVEMENT
F/L. FENCE LINE
F/C. FENCE CORNER
F.I. FOUND IRON PIPE
F.I.R. FOUND IRON ROD
F.N. FOUND NAIL
F.N.D. FOUND NAIL & DISC
F.P.&L. FLORIDA POWER AND LIGHT RECORD
RAD. RADIAL
S.N.&D. SET NAIL & DISC # 5495
S.P. SCREENED PORCH
S.P.&C. SET 1/2" PIN & CAP # 5495

LEGEND

☒ CABLE JUNCTION BOX
☐ CATCH BASIN
○ CLEAN OUT
☒ CONTROL VALVE
⊕ ELECTRIC SERVICE
⊕ FIRE HYDRANT
☐ FP&L PAD
⊕ GUY ANCHOR
⊕ MANHOLE
☐ POOL EQUIPMENT
⊕ POWER/LIGHT POLE
⊕ SPRINKLER SYSTEM
⊕ WATER METER
⊕ WATER VALVE
⊕ WELL

BRICK PAVERS
CENTERLINE
CONCRETE/CHAT
CONCRETE WALL
ELEVATION
METAL FENCE
OVERHEAD WIRES
WOOD DECK/DOCK
WOOD FENCE

SURVEYOR'S CERTIFICATE
To S3 Global Multi Strategy H, LLC, a Delaware limited liability company, Fidelity National Title Insurance Company:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7A, 8, 9, 11, 16, 17, 20 of Table A thereof. The field work was completed on MAY 22, 2017.
Date of Plat or Map: JUNE 14, 2017.

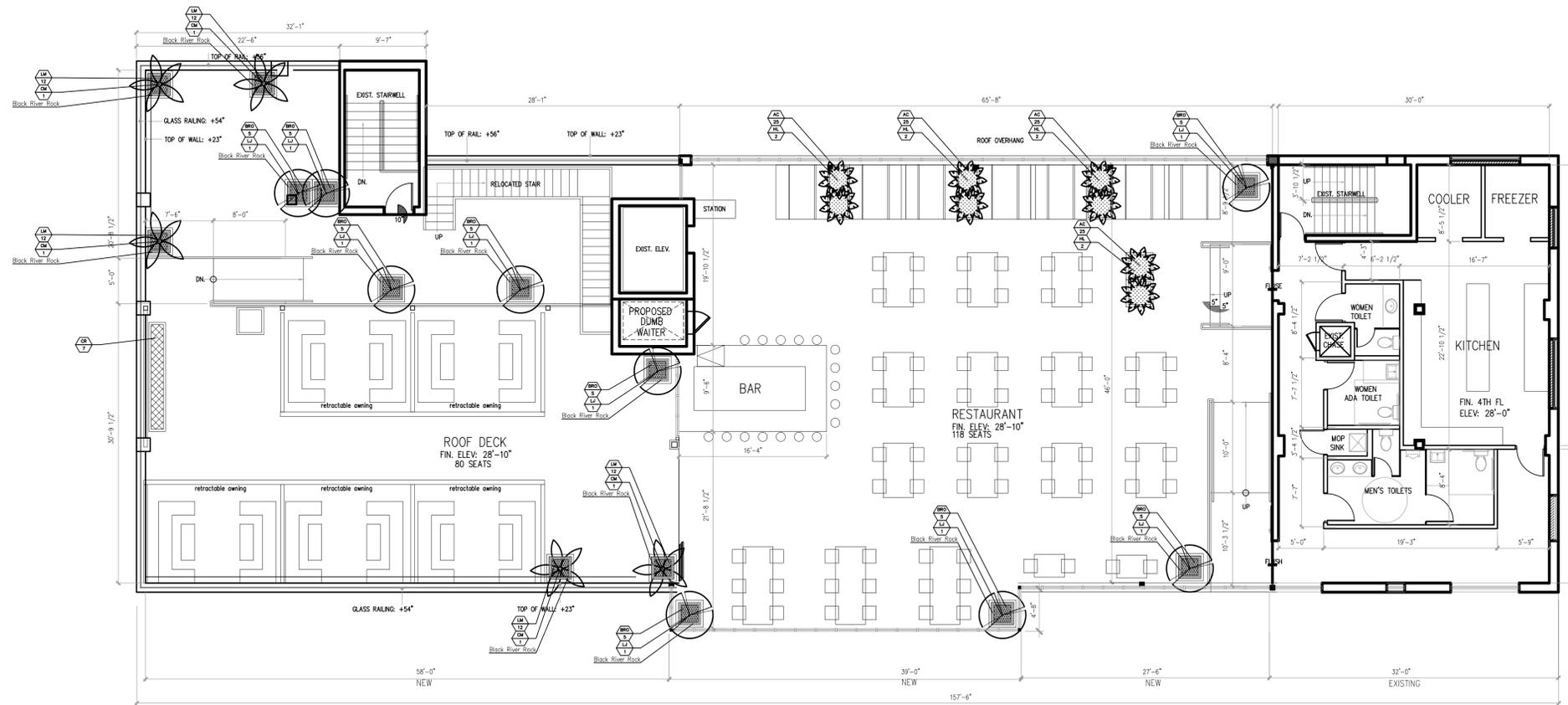
Paul J. Stowell
PAUL J. STOWELL
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
ATLANTIC COAST SURVEYING, INC.
6129 STIRLING RD SUITE 2 DAVE, FLORIDA 33314
OFFICE: 954.587.2100 FAX: 954.587.5418

ALTA/NSPS LAND TITLE SURVEY
PROJECT NUMBER: 34532U
SURVEY DATE 09/09/09
SURVEY DATE 05/26/10
SURVEY DATE 03/21/17
SITE ELEVATIONS 05/22/17
O&E ADDED 6/14/17

FLOOD ZONE
ZONE: AE-7.0'/AE-8.0'/AE-9.0'
MAP DATE: 08/18/14
MAP NUMBER: 125113 0588H

O&E REPORT
FIDELITY NATIONAL TITLE INSURANCE COMPANY
FILE NUMBER: 6269667
DATED: JUNE 1, 2017 AT 6:00AM

ITEM A: PLAT BOOK 1, PAGE 27, AS SHOWN ON SURVEY
ITEM B: ORB 33693/107, NOT PLOTTABLE
ITEM D: ORB 44133/158, NOT PLOTTABLE
ITEM E: ORB 34145/1891, NOT PLOTTABLE
ITEM I: INSTR# 113272616, NOT PLOTTABLE
ITEM M: INSTR# 114384695, NOT PLOTTABLE



PROPOSED 4TH FLOOR / RESTAURANT



LANDSCAPE PLAN

PROPOSED PLANT LIST

TREES / PALMS

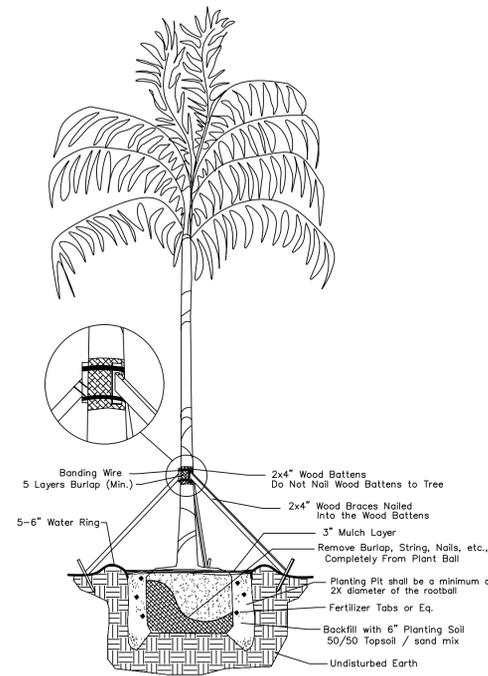
Code	Drought	QTY.	Botanical Name / Common Name	Specifications
CM	V	5	Coccothrinax Miraguama / Miraguama Palm	B&B Field Grown, 6-8' OA
HL	V	8	Hyophorbe lagenicaulis / Bottle Palm	B&B Field Grown, 6-8' OA
LJ	V	9	Ligustrum japonicum / Japanese Tree Ligustrum	B&B Field Grown, 6-8' OA

ACCENTS / SHRUBS / GROUND COVERS

AC	V	100	Aptenia cordifolia / Baby Sunrose	1 gal., 12" OA, 12" OC
BRO	V	45	Neoregelia "fireball" / Fireball Bromeliad	1 gal., 12" OA, 12" OC
CR (N)	V	7	Clusia guttifera compacta / Dwarf Little Leaf Clusia	3 gal., 24" OA, 30" OC
LM	V	60	Liriope muscari / Liriope	1 Gal., 12" OA, 12" OC

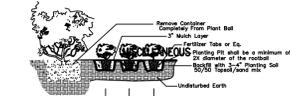
MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant



Palm Planting Detail

Not to Scale



Shrub & Ground Cover Planting Detail

NTS

NOTES:
GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tanning, RLA.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Floratum' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.



TONNING & ASSOCIATES, INC.
Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
4855 NW 92 Terrace, Coral Springs, Florida 33067
Tel: 561-414-8269 Email: w.tanning@tonningandassociates.com

DRWG. TITLE : LANDSCAPE PLAN 4th FLOOR

PROJECT : SHELDON HOTEL
1000 NORTH SURF ROAD
HOLLYWOOD, FLORIDA 33129
CLIENT : KALLER ARCHITECTS

SEAL

PROJECT NO. 17-122
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 06-15-17
DWG. NO. LP-2
SHT. NO. 1 of 1
REVISIONS :

WAYNE K. TONNING, RLA
FLA #6666709

GREEN BUILDING PRACTICES

FROM CITY OF HOLLYWOOD ORDINANCE 10-2011-06

1. WINDOWS AND GLAZING
LOW E, TINTED DOUBLE GLAZING - U FACTOR 0.56, SHGC 0.25
2. DOORS
INSULATED AND FIRE RATED
3. ENERGY STAR ROOFING
SEALOFLEX COOL ROOF - REFLECTO WHITE.
4. PROGRAMMABLE THERMOSTATS
5. DUAL FLUSH TOILETS
6. OCCUPANCY / VACANCY SENSORS
7. PERVIOUS PAVEMENT / PAVERS

TURTLE LIGHTING ORDINANCE

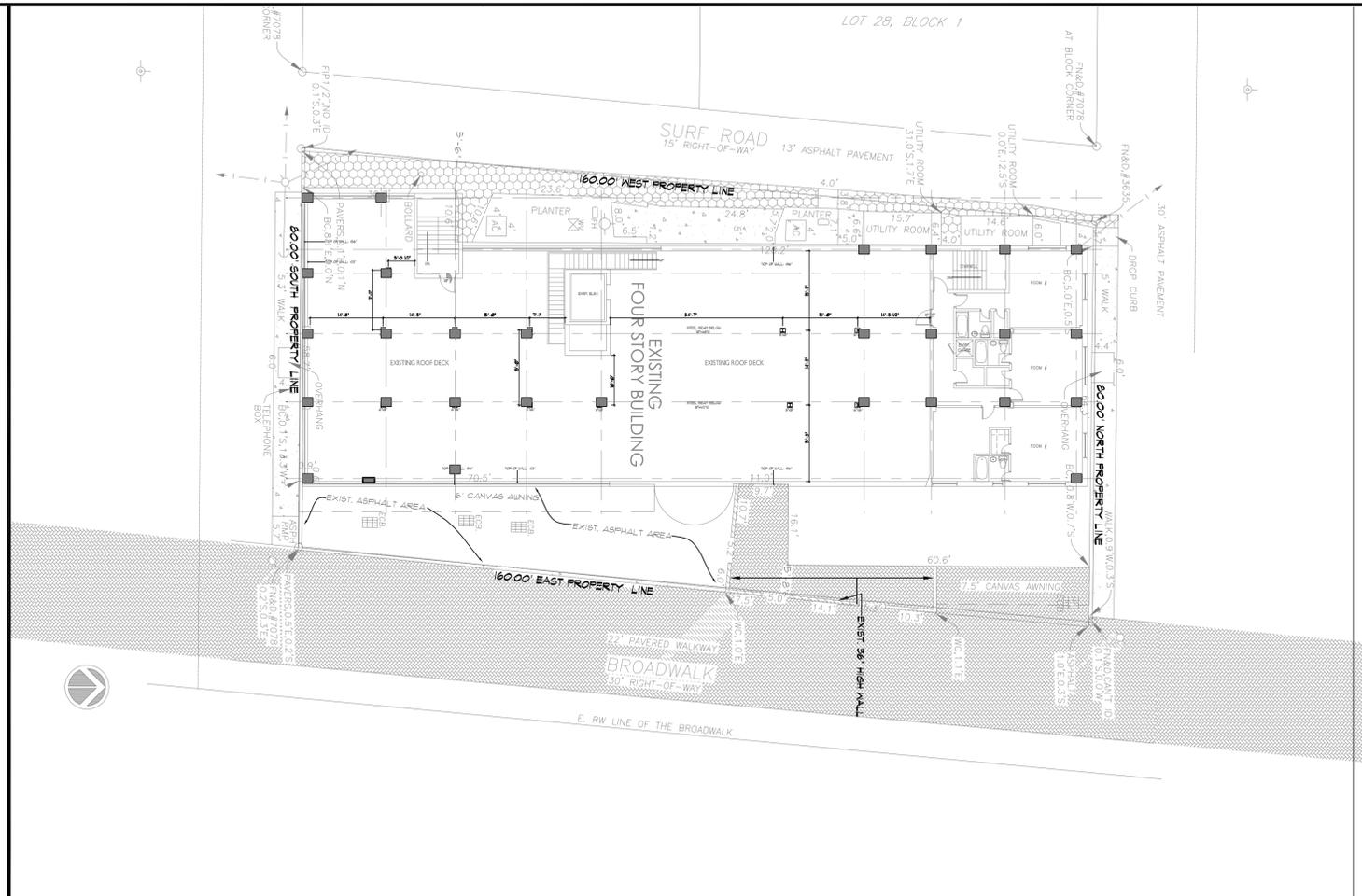
ROOF TOP ADDITION SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD ORDINANCE

SITE LIGHTING NOTE:

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL ZONE OR RESIDENTIALLY USED AREAS

DARK SKY NOTE:

ALL EXTERNAL LIGHT FIXTURE WILL BE SHIELDED IN ORDER TO PREVENT DARK SKY LIGHT POLLUTION

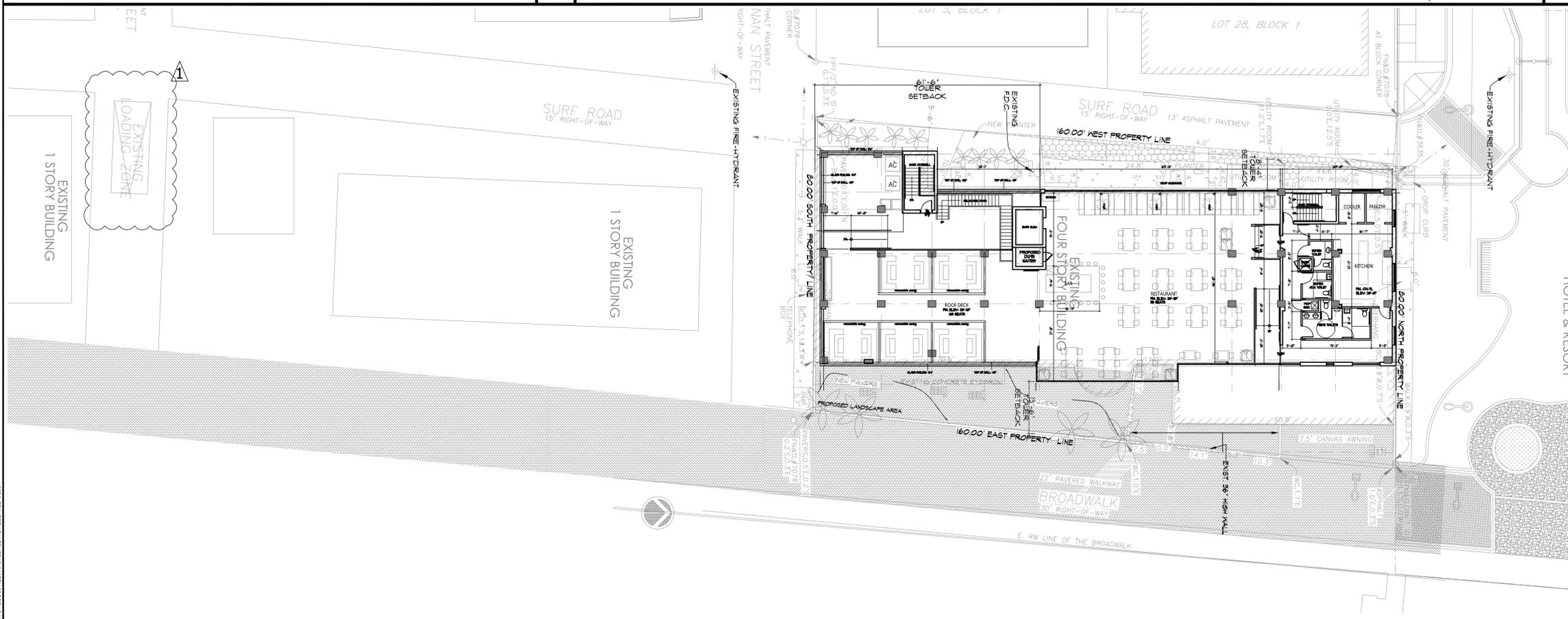


NOTES

1 EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"

1



PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"

2

SITE DATA

PROJECT INFORMATION:

SCOPE OF WORK:
NEW ROOF TOP ADDITION ON FOURTH FLOOR

PROPERTY ADDRESS:
1000 N. SURF ROAD, HOLLYWOOD
FLORIDA 33019

LAND DESCRIPTION:
HOLLYWOOD BEACH 1-21 B LOT 1 LOT 4 BLK 1

BUILDING CODES:
FLORIDA BUILDING CODE, 2014 ED
FLORIDA FIRE PREVENTION CODE, 5th ED.
NFPA 101, LIFE SAFETY CODE, 2012

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

BUILDING CRITERIA:

USE GROUP:
BUSINESS 'B' MOTOR VEHICLE SHOWROOMS.
REFERENCE: FBC 2014, CHAPTER 3, SECTION 304.1

TYPE OF CONSTRUCTION:
V-B

REFERENCE:
CHAPTER 5, TABLE 501, F.B.C. 2014

ZONING:
BUK-25HD-C

LAND USE:
OFFICE

FLOOD DATA:

NEW FLOOD ZONE: AE
NEW NAVD ELEVATION: 9'-0"
NEW FLOOD PANEL: 1201C0588H
OLD FLOOD ZONE: AE
OLD NAVD. ELEVATION: 10'-0"
OLD FLOOD PANEL: 1201C0311F

SITE DATA:

EASTERN PARCEL: 12,156 SQFT (0.29 ACRE)
EXISTING NET: 11,432 SQFT (0.41 ACRE)
EXISTING GROSS: 11,432 SQFT (0.41 ACRE)
WESTERN PARCEL: 18,325 SQFT (0.42 ACRE)
EXISTING NET: 18,325 SQFT (0.42 ACRE)
EXISTING GROSS: 22,951 SQFT (0.52 ACRE)

BUILDING AREA GROSS:

EXISTING: 24,435 SQFT
NEW PROPOSED: 29,415 SQFT

BUILDING AREA NET:

HOTEL: 18,185 SQFT
RETAIL RESTAURANT (A/C SPACE): 5,650 SQFT
RESTAURANT (A/C SPACE): 4,760 SQFT
TOTAL: 29,195 SQFT

(RESTAURANT EXCLUDES OUTDOOR SEATING AREA)

BUILDING HEIGHT:

MAX ALLOWED: 40'-0"
EXISTING: 31'-0"
NEW PROPOSED: 48'-0" (VARIANCE REQUEST)

BUILDING SETBACKS:

	REQUIRED	PROVIDED
WEST		
BASE TOWER	N/A	EXISTING 8'-4" (VARIANCE REQUEST)
NORTH		
BASE TOWER	N/A	EXISTING 0'-0" (EXISTING)
EAST		
BASE TOWER	N/A	EXISTING 13'-6" (VARIANCE REQUEST)
SOUTH		
BASE TOWER	N/A	EXISTING 61'-6"

PARKING DATA:

EXISTING HOTEL	41 SPACES	0 SPACES PROVIDED
NEW RESTAURANT	0 SPACES	0 SPACES
HOTEL	1 SPACE PER ROOM	
RESTAURANT / RETAIL	0 SPACE/6F	
LOADING ZONE	1 SPACES	0 SPACES
LANDSCAPE AREA	6,318 SQFT	REFER TO LANDSCAPE DRAWINGS

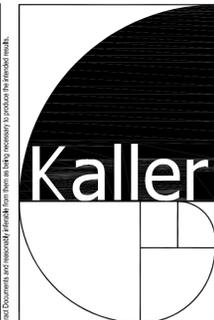
DENSITY CALCULATION:

DENSITY: ALLOWED 50 ROOMS PER ACRE

NUMBER OF ROOMS	N/A	39 ROOMS EXISTING
FIRE ALARM SYSTEM:	NOT REQUIRED	EXISTING
SPRINKLER SYSTEM:	N/A	EXISTING

VARIANCE BOX:

	REQUIRED	PROVIDED
TOWER SETBACK EAST	15'-0"	13'-6"
TOWER SETBACK WEST	15'-0"	0



JOSEPH B. KALLER & ASSOCIATES, P.A.
AA# 26001212
2417 Hollywood Blvd., Hollywood, Florida 33020
P 954.920.5746 F 954.926.2841
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
PROPOSED ROOF TOP RESTAURANT
THE SHELDON HOTEL
1000 N. BROADWALK
HOLLYWOOD, FL. 33019

SHEET TITLE
SITE PLAN

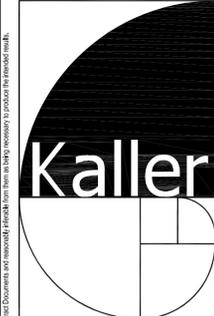
REVISIONS

No.	DATE	DESCRIPTION
1	05.23.17	T.A.C. COMMENTS

PROJECT NO.: 16094
DATE: MARCH 08, 2017
DRAWN BY: RG
CHECKED BY: JBK

SHEET

SP-1



JOSEPH B. KALLER & ASSOCIATES, P.A.
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 joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

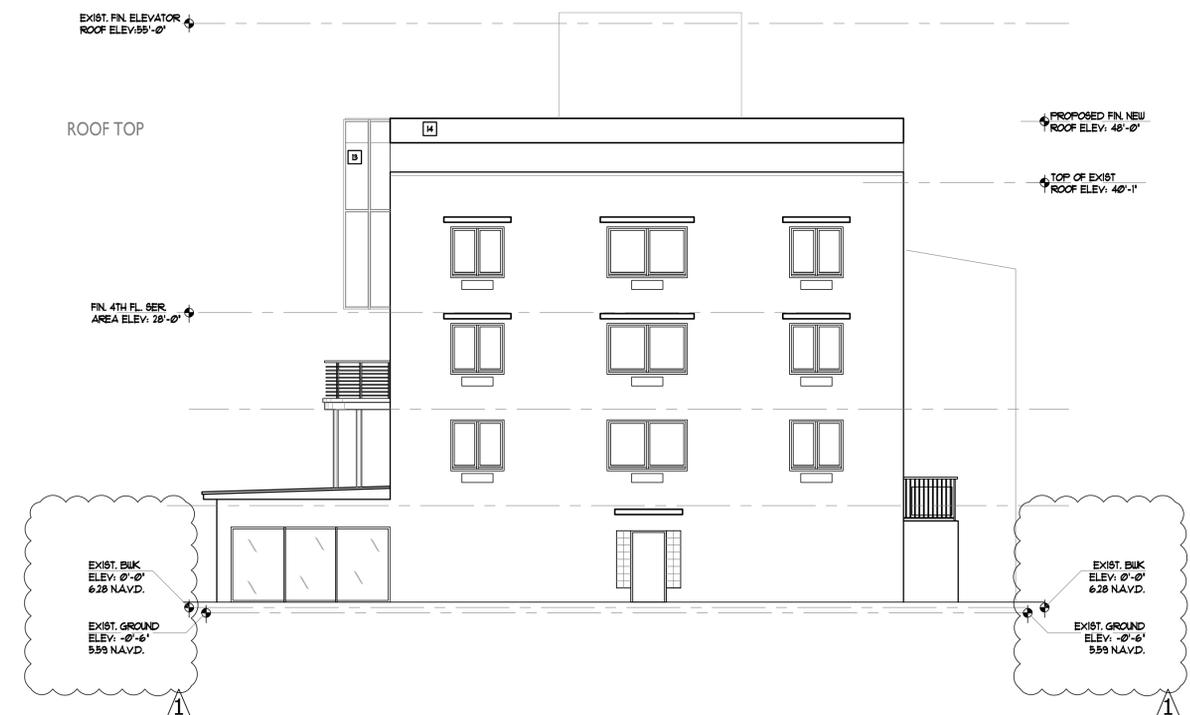
PROJECT TITLE
 PROPOSED ROOF TOP RESTAURANT
 THE SHELDON HOTEL
 1000 N. BROADWALK
 HOLLYWOOD, FL. 33019

SHEET TITLE
 NORTH ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 16094
 DATE: MARCH 08, 2017
 DRAWN BY: RG
 CHECKED BY: JBK

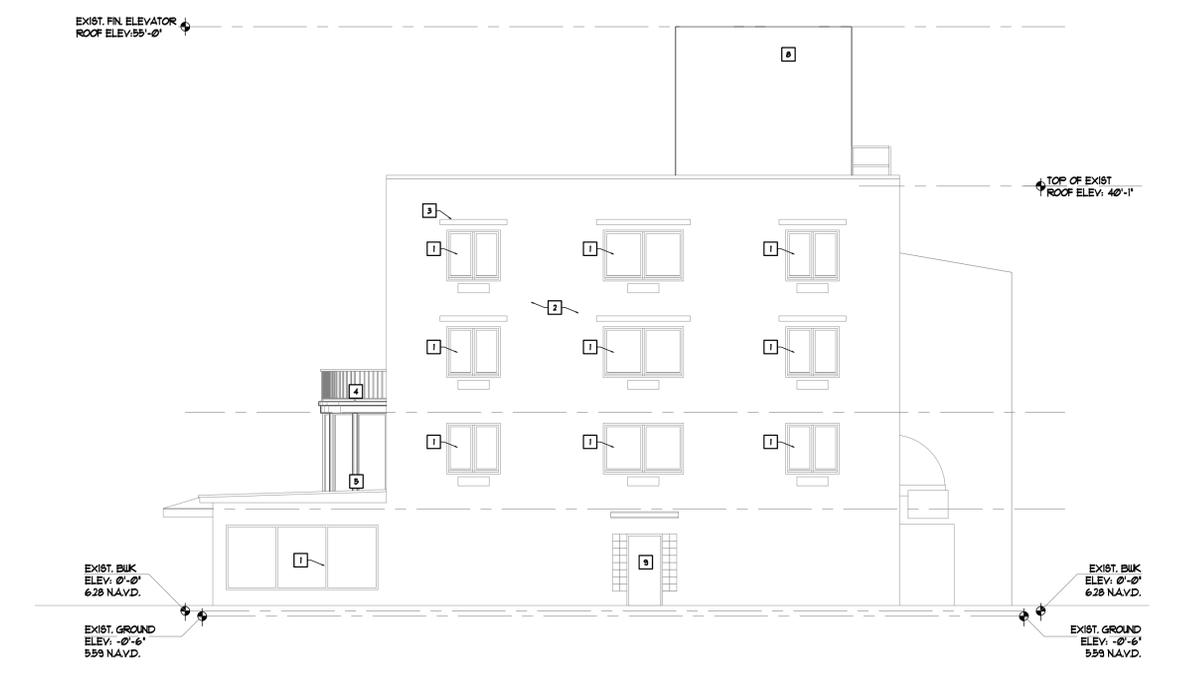
SHEET
A-7



- PROPOSED NOTES
- 12 NEW SIGNAGE (15 SQFT MAX)
 - 13 NEW CURTAIN WALL GLASS
 - 14 NEW ROOF
 - 15 NEW STAIRS
 - 16 NEW CABANA WITH RETRACTABLE ROOF
 - 17 NEW GLASS RAILING

PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0" 1



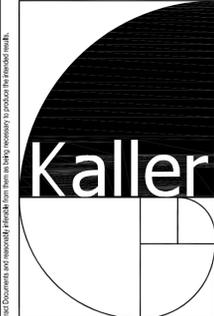
- EXISTING NOTES
- 1 EXISTING IMPACT RESISTANT GLASS TO REMAIN
 - 2 EXISTING SMOOTH STUCCO FINISH TO REMAIN (TYP)
 - 3 EXISTING CONCRETE EYEBROW TO REMAIN
 - 4 EXISTING BALCONY TO REMAIN
 - 5 EXISTING COLUMNS TO REMAIN
 - 6 EXISTING SIGN TO BE REMOVED
 - 7 EXISTING RAILING TO BE REMOVED
 - 8 EXISTING ELEVATOR SHAFT TO REMAIN
 - 9 EXISTING DOORS TO REMAIN
 - 10 EXISTING STAIRS TO REMAIN
 - 11 EXISTING STAIRS TO BE REMOVED

EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0" 2



PERSPECTIVES



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
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joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
PROPOSED ROOF TOP RESTAURANT
THE SHELDON HOTEL
1000 N. BROADWALK
HOLLYWOOD, FL. 33019

SHEET TITLE
PERSPECTIVES / RENDERS

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 16094
DATE: MARCH 08, 2017
DRAWN BY: RG
CHECKED BY: JBK

SHEET
A-9

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CRYSTAL TOWER

SHELDON roof top