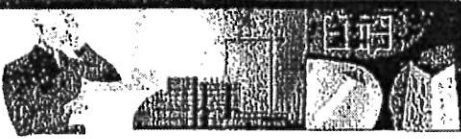


ATTACHMENT A

Application Package

PLANNING & DEVELOPMENT SERVICES



File No. (Internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

*Documents and forms can be accessed on the City's website at
http://www.hollywoodfl.org/comm_planning/appforms.htm*



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee
 ☐ Historic Preservation Board
☐ City Commission
 ☒ Planning and Development Board

Date of Application: 2/10/15

Location Address: 2900 Davie Road, Hollywood, FL

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 514102000044

Zoning Classification: O-2/RM-16 Land Use Classification: R-16

Existing Property Use: Vacant Sq Ft/Number of Units: 84 (2 Bedroom)

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes, land use plan amendment

- ☐ Economic Roundtable
 ☐ Technical Advisory Committee
 ☐ Historic Preservation Board
☐ City Commission
 ☐ Planning and Development

Explanation of Request: We are requesting the change from O-2 zoning to RM-16 to conform to the future land use designation of Medium Residential R-16, 16 Units per acre, to allow construction of 84, 2 bedroom 2 bath apts., similar to the project to the south.

Number of units/rooms: 84 apts Sq Ft: _____

Value of Improvement: 8 million Estimated Date of Completion: 2016

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Stirling Davie, LLC

Address of Property Owner: 3350 Riverwood Parkway, Atlanta, GA

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/ ~~XXXXXX~~ Samuel Shapiro & Assoc. Architects

Address: 6115 Stirling Road, Ste#101, Davie, FL 33314 Telephone: 954-316-8626

Fax: _____ Email Address: sharpshap@aol.com

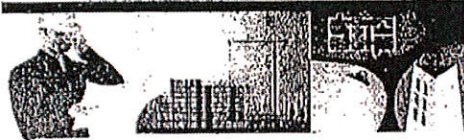
Date of Purchase: 4/1/92 Is there an option to purchase the Property? Yes (X) No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Marcie Nolan

Address: 1 E. Broward Blvd, 18th Fl, Ft. Lauderdale Florida 33301 Email Address: mnolan@bplegal.com

PLANNING & DEVELOPMENT SERVICES



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 1/28/15

PRINT NAME: Harvey Taylor, President Benjamin M. Lefkowitz, Manager Date: 9/28/14

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: Samuel Shapiro Date: _____

PRINT NAME: Samuel Shapiro Date: _____

CURRENT OWNER POWER OF ATTORNEY

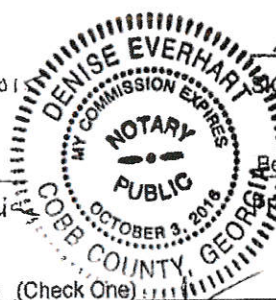
I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Rezoning to R-16 to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Samuel Shapiro/Marcie Nolan to be my legal representative before the Board and/or Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 29 day of January, 2015

[Signature]

Notary Public State of Florida Georgia



[Signature]
SIGNATURE OF CURRENT OWNER

Ben Lefkowitz

PRINT NAME

My Commission Expires: 10/3/2016 (Check One) ☒ Personally known to me; OR _____

February 10, 2015

Mrs. Andria Wingett
Assistant Director
City of Hollywood
2600 Hollywood Blvd. Room 315
Hollywood, FL. 33022

Re: Stirling Village - Rezoning Application

Dear Andria 

Please allow this letter to serve as the justification for the rezoning application for the parcel of land generally located at 2900 Davie Road and known as Stirling residential. This is being submitted for the March 12th Planning and Development agenda.

The general request is to allow for the construction of an 83 unit multi-family development. The parcel is currently zoned O-2 with an underlying land use of Residential 16 dwelling unit per acre (R-16). The rezoning request is to change the zoning from O-2 to be consistent with the underlying land use of multi-family residential.

The request meets the criteria stated in Article 5 of the Zoning and Land Development Regulations as follows:

- a. The petition for a change will not result in spot zoning. The residential development to the east and south of the site has a zoning of RM-25. This requested rezoning is less dense than the adjacent properties and consistent with the existing development pattern.
- b. The proposed change is consistent with, and in furtherance of the Goals, Objectives and Policies of the City's Comprehensive Plan. The requested rezoning is necessary due to the change in land use and as such, is consistent with the Goals, Objectives and Policies of the City's Comprehensive Plan.
- c. The conditions have substantially changed from the date the present zoning district classification was placed on the property. In fact, the land use was changed from commercial to residential. This condition requires the rezoning to a residential category consistent with the land use category.

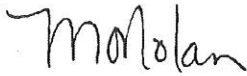
Ms. Wingett
February 10, 2015
Page 2

d. The proposed change will not adversely influence living conditions in the neighborhood. The proposed rezoning to RM-16 will be compatible with the existing residential communities to the east and west.

e. The proposed change is compatible with the developments within the same district/neighborhood. To the east and south are residential developments denser than our proposed development, yet compatible is density.

If there are any additional questions or comments, please feel free to contact me.

Sincerely,



Marcie Oppenheimer Nolan
Shareholder
For the Firm

MON

ACTIVE: 6703848_1



DESCRIPTION.

PARCELS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

[illegible]

CONVERT NOTES:

1. SUBJECT PROPERTY WAS NOT ABSTRACTED BY THIS SYSTEM. FOR RECORDS OF ABSTRACTS, RECORDS OF RESERVATIONS OR OTHER MATTERS OF RECORD, AND FOR RECORDS OF RECORDS, SEE THE RECORDS OF RECORDS.
2. BURNED FOUNDATIONS AND UNDERGROUND UTILITIES.
3. THERE ARE NO VISIBLE ABOVE GROUND DISCHARGES.
4. SCALE OF SOME FEATURES MAY BE ENLARGED FOR CLARITY.

5. BEARINGS SHOWN HEREON ARE BASED ON PLAT NORTH LINE OF SECTION 2 TOWNSHIP 51 SOUTH, RANGE BANK OF AMERICA, WEST STRUNG (P.B. 179, PG. 20, B

BANK OF AMERICA, WEST STIRLING (P.B. 179, PG. 20, B

—

154

2

STIRLING ROAD.



N 33RD ST. CHARLESTON ST.

N.W. 1/4 SECTION 2-31-41E
LOCATION MAP
N.T.S.

AM:

BUILDING, CORP.
31, DAVIE, FL 33314
L GROVE CGC# 081520
PHONE: 954-682-6651 FAX: 954-316-6626

CIVIL ENGINEERS

CARL G. FORBES, P.E.
555 SOUTH POMPADOUR PARKWAY, STE 3
POMPADOUR BEACH FL 33069
PHONE: 954-682-6651 FAX: 954-316-6626

PHOTOMETRICS ENGINEERS

TECHLIGHT
2707 SATSUMA
DALLAS, TX
75229

LEGAL DESCRIPTION:

THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4), LESS THE NORTH 53.00 FEET, LYING IN SECTION 2, TOWNSHIP 31 SOUTH, RANGE 41 EAST.

LESS AND EXCEPT:

ALL OF BANK OF AMERICA, WEST STIRLING, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 179, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE ABOVE MORE PARTICULARLY DESCRIBES AS FOLLOWS:

COMMENCE AT NORTHWEST CORNER OF SAID PARCEL "A" THENCE ALONG THE WEST LINE OF SAID PARCEL "A", ALSO BEING THE WEST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, S01°28'42"E 253.04 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A" ALSO BEING THE POINT OF BEGINNING; THENCE ALONG SOUTH LINE OF SAID PARCEL "A" N87°45'12"E 660.35 FEET TO THE EAST LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4); THENCE ALONG SAID EAST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, S01°29'42"E 344.61 FEET; THENCE ALONG SOUTH LINE OF NORTHEAST ONE-QUARTER (NE 1/4) S87°44'45"W 560.23 FEET ALONG WEST LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4); N01°30'58"W 344.69 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 227550 SQUARE FEET (5.224 ACRES) MORE OR LESS

STATEMENT OF CHARACTER OF DEVELOPMENT:

This project will be constructed & owned, by Triangle Professional Building Corp. a Florida Corporation. It will be a family affordable Rental project with a Total of 84 two bedrooms in three (3) & (2) story buildings. Residents will be Families, Teachers, Policemen, Elderly & Young professionals. A Pool, Recreation Room & Rental Office will be part of the facilities for benefits of the tenants.

Rent will be approximately \$1,300.00 per month for a 2 two (2) bedrooms, two (2) bathrooms Apartments
Adequate landscaping and parking facilities will be provided.

ATTACHMENT B

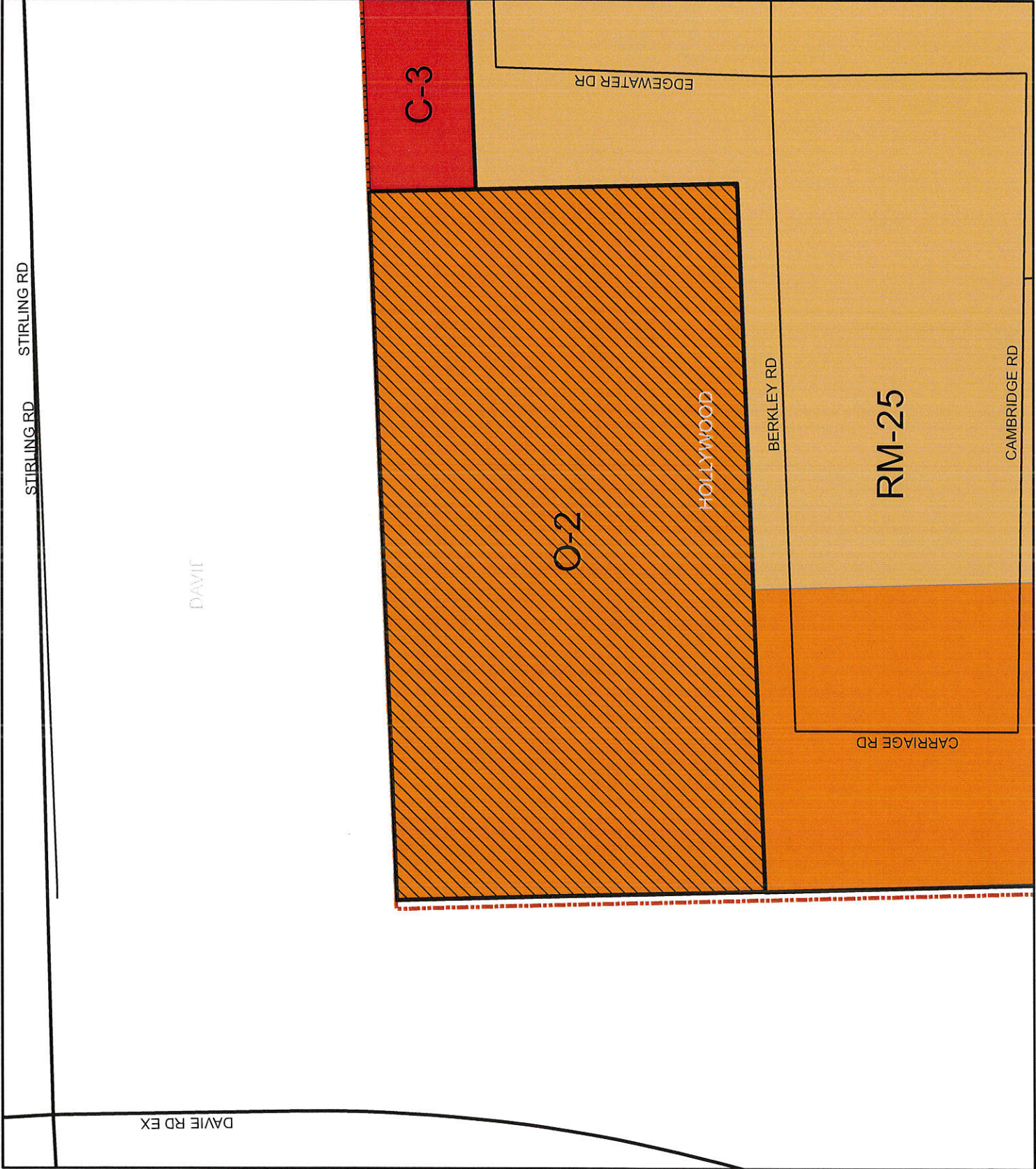
Land Use and Zoning Map



DEPARTMENT OF
PLANNING

Legend

- Subject Property
 - City Boundary
 - Major Roads
 - Streets
- LAND USE**
- MRES
 - MHRES
 - GBUS
- ZONING**
- C-3
 - O-2
 - RM-25



ATTACHMENT C
Zoning and Land Development Regulations for
Medium Intensity Office (O-2)

Schedule of District, Use and Setback Regulations

G. O-2 Medium Intensity Office District.

1. Purpose and uses:

District Purposes	Main Permitted Uses	Special Exception	Accessory Uses	Prohibited Uses
This district is intended to provide standards for the development and maintenance of medium intensity administrative, professional and/or financial office uses.	Offices. Single Family.	Day care facilities. Funeral Home. Places of worship, meeting halls & fraternal lodges. Schools, bus. & commercial. Adult Educational Facilities (See Article 2 "Definitions").	Any Use that is customarily associated with the Main Permitted Use or Special Exception. (See § 4.21).	Any use not listed as a permitted use or Special Exception.

2. Development regulations:

Min. lot size (sq. ft.)	Max. lot coverage	Setbacks	Max. height
1 Platted lot	60%	20 ft. from any lot line for 1-2 floors + 5 ft. for each additional floor. When abutting a residential district, A 5 ft. landscaped buffer must be included within the setback area with one tree for every 40 linear ft. of required buffer area. See Performance Standards in § 4.3.J.	4 stories or 50 ft.

Setbacks are measured from the Base Building Line pursuant to Article 3.

ATTACHMENT D

**Zoning and Land Development Regulations for
Medium High Density Multiple Family (RM-18)**

Schedule of District, Use and Setback Regulations

	Single-Family Homes Facing Ely Boulevard	Townhouses Must Face Ely Boulevard
<i>Setback requirements</i>		
Front	25 feet (for garage) 15 feet (principal structure)	25 feet (for garage) 15 feet (principal structure)
Side	7.5 feet (adjacent to alley) 5 feet (interior)	10 feet (adjacent to alley) 10 feet (building separation)
Side (street)	15 feet	15 feet
Rear	15 feet	15 feet
<i>Density</i>	1 dwelling unit per platted lot	As permitted by the land use plan.

* All other requirements of the RS-1 Zoning District continue to apply.
(Ord. O-94-14, passed 4-16-94; Am. Ord. O-2001-16, passed 5-16-2001; Am. Ord. O-2003-39, passed 11-19-2003; Am. Ord. O-2011-14, passed 5-4-11; Am. Ord. O-2012-05, passed 3-7-12)

§ 4.2 Multiple Family Districts.

A. Purpose and uses.

District Purpose	Main Permitted Uses	Special Exceptions	Accessory Uses
These districts are designed to provide standards for the development and maintenance of multiple family residential buildings and hotels, where such uses are permitted (See no. 2 below).	See chart on next page.	Places of worship, meeting halls, social halls, institutional uses, day care facilities, commercial and non-commercial parking lots, and educational facilities. (See chart below)	Those uses which are customarily associated with one of the main permitted uses (See § 4.20).

Hollywood — Zoning and Land Development Regulations

District (Multiple Family MF)	Main Permitted Uses						
	Maximum Density, units per acre*	Single Family	Duplex	Town house	Apt. Bldg.	Hotel	Commercial
(1) RM-9 (Low -Med MF)	9	Yes	Yes	Yes	Yes	No	No
(2) RM-12 (Med MF)	12	Yes	Yes	Yes	Yes	No	No
(3) RM-18 (Med-High MF)	18	Yes	Yes	Yes	Yes	No, except east of I-95 permitted.	No
(4) RM-25 (High MF)	25 for Apt. Bldg.; 50 for Hotel, except if Comprehensive Plan land Use designation is Commercial**	Yes	Yes	Yes	Yes	Yes	No
(5) BRT-25 (Beach Resort MF)	25 for Apt. Bldg. 50 for Hotel, except if Comprehensive Plan land Use designation is Commercial **	Yes	Yes	Yes	Yes	Yes	Special Exception for eating and drinking uses if east of AIA, otherwise they are a Permitted Use; pawn, thrift, consignment shops, psychic help uses, tattoo shops and office are prohibited; all other commercial uses are permitted.

Schedule of District, Use and Setback Regulations

District (Multiple Family MF)	Main Permitted Uses					
	Maximum Density, units per acre*	Single Family	Duplex	Town house	Apt. Bldg.	Hotel
						Commercial
(6) See § 4.2.D for RM-WET Multiple Family Wetlands District Regulations.						
(7) See § 4.2.E for NBDD North Beach Development District Regulations.						
* When residential uses are permitted, at least two units per platted lot are permitted regardless of the maximum permitted density. **Maximum density for parcels with Comprehensive Plan designation of General Business is outlined under "Permitted Uses in Areas Designated General Business" in Future Land Use Element of the Comprehensive Plan. MF = Multiple Family						

Hollywood — Zoning and Land Development Regulations

B. Development regulations.

District	Min. Lot Area (sq. ft.)*	Min. Lot Width* (ft.)	Max. Height (ft.)	Land-scape, open space**	Minimum Unit Size (Sq. Ft.)				
					Single Family (SF)	Duplex (Dup)	Townhse.	Apt.	Hotel
(1) RM-9	6000	60	2 stories not to exceed 30 ft.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(2) RM-12	6000	60	3 stories not to exceed 35 ft.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(3) RM-18	6000	60	4 stories not to exceed 45 ft., except if adjacent to sing. fam. district, then height 30 ft for first 100 ft of lot.	40%	1000	500	800	500 Min 750 Avg	Not Allowed
(4) RM-25	6000	60	Oceanfront - 80% of the distance from Erosion Control Line. Non-Oceanfront 65 ft or 6 stories. Development east of A-1-A, south of Harrison Street: no greater than 50 feet where there is already an existing high density multi-family residential project developed east of A-1-A and whose oceanfront views would otherwise be severely restricted and/or blocked by any such proposed development to be located east of the existing building and on the same block.	40%	1000	500	800	500 Min 750 Avg	15% of units 300-335; 85% of units 335+

Schedule of District, Use and Setback Regulations

District	Min. Lot Area (sq. ft.)*	Min. Lot Width* (ft.)	Max. Height (ft.)	Land- scape, open space**	Minimum Unit Size (Sq. Ft.)				
					Single Family (SF)	Duplex (Dup)	Townhse.	Apt.	Hotel
(5)BRT-25	6000	60	North of Tyler to Sherman Street - 50 feet. South of Harrison St. - 65 ft. and North of Balboa Street - 150 ft.	40%	1000	500	800	500 Min 750 Avg	15% of units 300-335; 85% of units 335 +
(6) See Section 4.2.D for RM-WET Wetlands District Regulations.									
(7) See Section 4.2.E for NBDD North Beach Development District Regulations.									
* Platted lots or lots of record which contain less than the minimums are considered as legal non-conforming and may be developed consistent with these regulations.									
** Includes landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks and similar uses.									

Hollywood — Zoning and Land Development Regulations

C. (1) Setback requirements main structure: RM-9, RM-12 and RM-18.

Front	Side/Interior	Side/Street	Rear
20 ft. for structures; 5 ft. for at-grade parking lots.	The sum of the side yard setbacks shall be at least 20% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback. When an existing Building has a 5 ft. side yard setback, the setback of new construction may also be 5 ft. This applies to the linear or vertical extension of a single story building.	15 ft.; except at-grade lot 5 ft.	1 story bldg. - 20 ft. 2 story bldg. or higher - 15% of the lot depth; 20 ft. min.

Cross-reference:

For parking lots, see § 4.22

(2) Setback requirements main structure: RM-25, BRT-25.

	Front	Side/Interior	Side/Street	Rear
(1) Pedestal	25 ft.; except Retail uses shall provide 0 ft. setback.	The sum of the side yard setbacks shall be at least 25% of the lot width, but not to exceed 50 ft. with no side yard less than 10 ft., whichever is greater. Retail uses shall provide 0 ft. setback.	15 ft. minimum; except retail uses shall provide 0 ft. setback.	1 story bldg. - 20 ft. 2 story bldg. or higher - 15% of the lot depth; 20 ft. min. 50 ft. maximum.
(2) Tower	25 ft. + 1 ft. increase for each ft. of height above 50 ft. Setback not to exceed 50 ft.	The required pedestal setback plus 20% of the height of the tower portion of the bldg. The total required tower setback shall not exceed 50 ft.	The required pedestal setback plus 15% of the height of the tower portion of the bldg. The total required tower setback shall not exceed 50 ft.	Oceanfront lots* - 25% of lot depth. Non-oceanfront lots - 15% of lot depth. No setback less than pedestal setback.
(3) Setbacks are measured from the base building line pursuant to Article 3.				
(4) See § 4.2.D for RM-WET Multiple Family Wetlands District Regulations.				
(5) See § 4.2.E for NBDD North Beach Development District Regulations.				
* Oceanfront Lots are properties that have the erosion control line as a property line.				

ATTACHMENT E

Schematic Plans

STIRLING VILLAGE APARTMENTS

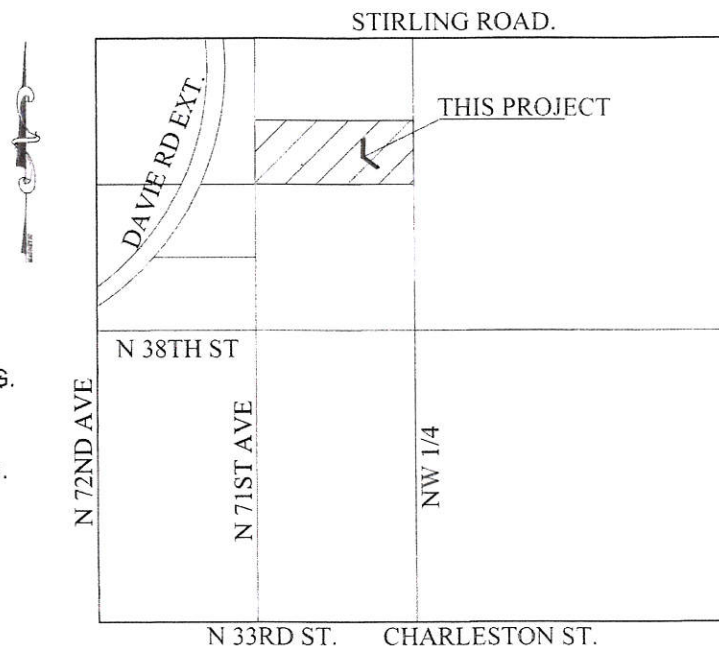
2900 DAVIE ROAD EXTENSION

HUD PROJECT NUMBER: 066-35322

INDEX: For Planning and Development Board Submittal

SHEET: DESCRIPTION:

- 1-1 ALTA SURVEY
- SP-1 SITE DIMENSION PLAN
- ~~Q-1 ENGINEERING PAVING AND DRAINAGE PLAN~~
- ~~Q-2 ENGINEERING WATER AND SEWER SYSTEM~~
- ~~Q-3 ENGINEERING R&D DETAILS~~
- ~~Q-4 ENGINEERING WATER AND SEWER DETAILS~~
- L-1 LANDSCAPE PLAN / DETAILS
- L-2 LANDSCAPE TREE DISPOSITION PLAN / DETAILS
- A-1 TYPICAL 1/8" FIRST FLOOR FOOTPRINT & ELEVATIONS 3 STORY BLDG.
- ~~A-2 TYPICAL 1/8" SECOND, THIRD FLOOR AND ROOF FOOTPRINT & 3 STORY BLDG.~~
- ~~A-3 TYPICAL 1/8" FLOOR PLAN FIRST FLOOR RIGHT SIDE 3 AND 2 STORY BLDG.~~
- ~~A-4 TYPICAL 1/8" FLOOR PLAN FIRST FLOOR LEFT SIDE 3 AND 2 STORY BLDG.~~
- ~~A-5 TYPICAL 1/8" FLOOR PLAN SECOND FLOOR RIGHT SIDE 3 AND 2 STORY BLDG.~~
- ~~A-6 TYPICAL 1/8" FLOOR PLAN SECOND FLOOR LEFT SIDE 3 AND 2 STORY BLDG.~~
- ~~A-7 TYPICAL 1/8" FLOOR PLAN THIRD FLOOR RIGHT SIDE 3 STORY BLDG.~~
- ~~A-8 TYPICAL 1/8" FLOOR PLAN THIRD FLOOR LEFT SIDE 3 STORY BLDG.~~
- ~~A-9 TYPICAL 1/8" FIRST AND SECOND FLOOR 2 STORY BLDG.~~
- A-10 ELEVATIONS 2 STORY BLDG.
- A-11 SECTIONS AND DETAILS
- A-12 CLUBHOUSE FLOOR PLAN, ELEVATIONS AND POOL
- ~~A-13 PHOTOMETRIC PLAN~~



N.W. 1/4 SECTION 2-51-41E
LOCATION MAP
N.T.S.

DEVELOPMENT TEAM:
TRIANGLE PROFESSIONAL BUILDING, CORP.
6115 STIRLING ROAD, SUITE 101, DAVIE, FL 33314
GENERAL CONTRACTOR: CRYSTAL GROVE CGC# 061520
PHONE: 954-316-6626 FAX: 954-316-6626

CIVIL ENGINEERS
CARL G. FORBES, P.E.
555 SOUTH POMPANO PARKWAY, STE 3
POMPANO BEACH FL 33069
PHONE: 954-682-6651 FAX: 954-903-4284

PHOTOMETRICS ENGINEERS
TECHLIGHT
2707 SATSUMA
DALLAS, TX
75229

LEGAL DESCRIPTION:

THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4), LESS THE NORTH 53.00 FEET, LYING IN SECTION 2, TOWNSHIP 51 SOUTH, RANGE 41 EAST.

LESS AND EXCEPT:
ALL OF BANK OF AMERICA, WEST STIRLING, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 179, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE ABOVE MORE PARTICULARLY DESCRIBES AS FOLLOWS:

COMMENCE AT NORTHWEST CORNER OF SAID PARCEL "A" THENCE ALONG THE WEST LINE OF SAID PARCEL "A", ALSO BEING THE WEST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, S01°28'42"E 253.04 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A" ALSO BEING THE POINT OF BEGINNING; THENCE ALONG SOUTH LINE OF SAID PARCEL "A" N87°45'12"E 660.35 FEET TO THE EAST LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4); THENCE ALONG SAID EAST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, S01°29'42"E 344.61 FEET; THENCE ALONG SOUTH LINE OF NORTHEAST ONE-QUARTER (NE 1/4) S87°44'45"W 660.23 FEET ALONG WEST LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4) N01°30'58"W 344.69 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 227550 SQUARE FEET (5.224 ACRES) MORE OR LESS.

STATEMENT OF CHARACTER OF DEVELOPMENT:

This project will be constructed & owned, by Triangle Professional Building Corp. a Florida Corporation. It will be a family affordable Rental project with a Total of 84 two bedrooms in three (3) & (2) story buildings. Residents will be Families, Teachers, Policemen, Elderly & Young professionals. A Pool, Recreation Room & Rental Office will be part of the facilities for benefits of the tenants. Rent will be approximately \$1,300.00 per month for a 2 two (2) bedrooms, two (2) bathrooms Apartments. Adequate landscaping and parking facilities will be provided.

MEETING DATE

ROUND TABLE: JUNE 26, 2014

TAC 1ST MEETING: NOVEMBER 1, 2014

TAC 2ND MEETING: 11/17/14

PLANNING AND DEVELOPMENT BOARD: 5/12/15

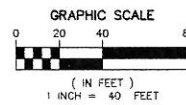
CITY COMMISSION:



SAMUEL SHAPIRO & ASSOCIATES
ARCHITECTS & PLANNERS
6115 STIRLING ROAD, SUITE 101, DAVIE, FL 33314
P.O. BOX 116-0628 FAX: (954) 316-6626
CERTIFICATE OF AUTHORIZATION NO. AAP000355

RENDERING

Samuel Shapiro
1/29/15



OPINION OF TITLE & OWNERSHIP AND ENCUMBRANCE REPORT					
INFORMATION PROVIDED BY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY					
COMMITMENT TO INSURE TITLE EFFECTIVE AUGUST 1, 2014 AT 11:PM					
ITEM NO.	INSTRUMENT	DESCRIPTION	RECORDING DATA	AFFECTS	PLOTTED
1-6	GENERAL EXCEPTIONS	NOT SURVEY PERTINENT	-	-	-
7	T.I.L.F. DEED	RIGHTS IN RESERVATION	D.B. 7, PG. 576, B.C.R.	NO	NO
	T.I.L.F. QUIT CLAIM DEED	RELEASE OF PETROLEUM, PHOSPHATE, MINERALS AND METALS RESERVATIONS	O.R.B. 4440, PG. 817, B.C.R.	YES	YES
	T.I.L.F. QUIT CLAIM DEED	RELEASE OF PETROLEUM, PHOSPHATE, MINERALS AND METALS RESERVATIONS	O.R.B. 4716, PG. 878, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
8	T.I.L.F. QUIT CLAIM DEED	RELEASE OF CANAL AND RECLAMATION RESERVATIONS	O.R.B. 1681, PG. 56, B.C.R. O.R.B. 3333, PG. 802, B.C.R.	NO	YES
			O.R.B. 33250, PG. 347, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
9	AGREEMENT	COVENANTS AND RESTRICTIONS	O.R.B. 3379, PG. 322, B.C.R.	YES	NO (SUBJECT PROPERTY)
10	AGREEMENT	RESOLUTION OF THE CENTRAL BROWARD DRAINAGE DISTRICT	O.R.B. 3438, PG. 60, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
11	LEASE	UNRECORDED LEASES	-	-	-
12	DEED	SPECIAL WARRANTY DEED	O.R.B. 51268, PG. 1298, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
13	AGREEMENT	EASEMENT AGREEMENT	O.R.B. 51268, PG. 1305, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
14	AGREEMENT	MORTGAGE, SECURITY AGREEMENT	O.R.B. 51268, PG. 1324, B.C.R.	YES	NO (COVERS THE WHOLE SITE)
	AGREEMENT	ASSIGNMENT OF LEASES AND RENTS	O.R.B. 51268, PG. 1354, B.C.R.	YES	NO (COVERS THE WHOLE SITE)

DESCRIPTION:

THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4), LESS THE NORTH 53.00 FEET, LYING IN SECTION 2, TOWNSHIP 51 SOUTH, RANGE 41 EAST.

LESS AND EXCEPT:
ALL OF BANK OF AMERICA, WEST STIRLING, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK
179, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE ABOVE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

SOURCE AT THE NORTHWEST CORNER OF SAID PARCEL A-1, THENCE ALONG WEST LINE OF SAID PARCEL A-1, ALSO BEING THE WEST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, SOUTH 01°28'42" EAST, 153.04 FEET, TO THE SOUTHWEST CORNER OF SAID PARCEL A-1, ALSO BEING THE POINT OF BEGINNING, THENCE SOUTHWEST ALONG THE WEST LINE OF SAID NORTH 87°51'52" EAST, 153.04 FEET, TO THE SOUTHWEST CORNER OF SAID NORTHWEST ONE-QUARTER (NE 1/4), THENCE ALONG SAID EAST LINE OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, SOUTH 01°28'42" EAST, 344.63 FEET, THENCE ALONG SOUTH LINE OF SAID NORTHWEST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, SOUTH 01°28'42" EAST, 344.63 FEET, TO THE POINT OF BEGINNING.

SAD LANDS SITUATE, LYING, AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 227550 SQUARE FEET (5.224 GROSS ACRES) MORE OR LESS.

ELEVATION NOTES:

ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, SHOWN
THUS: $x \pm y^z$ AND ARE BASED ON BROWARD COUNTY BENCHMARK #3580 DESCRIBED AS
FOLLOWS:

NAIL AND DISC NO. 2936 IN TOP OF CURB AT NORTH EDGE OF PAVEMENT OF STIRLING ROAD, 480' +/- WEST OF CENTERLINE DAVIE ROAD.
ELEVATION = 7.872' NGVD29 - 1.60' = 6.272' NAVD88

ELEVATIONS AS SHOWN WERE CONVERTED FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, (N.G.V.D. '29) TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, (N.A.V.D. '88) TO USING THE FOLLOWING CONVERSION: N.G.V.D. '29 VERTICAL DATUM, (IN FEET) -1.60' = N.A.V.D. '88 VERTICAL DATUM, THE CONVERSION FACTOR WAS OBTAINED FROM THE NATIONAL GEODETIC SURVEY WEBSITE ORTHOMETRIC HEIGHT CONVERSION PROGRAM USING THE LATITUDE AND LONGITUDE OF THE PROJECT LOCATION TO DETERMINE A CONVERSION FACTOR FOR THIS SPECIFIC LOCATION.

ABBREVIATIONS:
O.R.B. - OFFICIAL RECORD BOOK
P.C. - PAGE
P.B. - PLAT BOOK
B.C.R. - BROWARD COUNTY RECORDS
INV. - INVERT
F.F.LEL. - FINISHED FLOOR ELEVATION
N.V.E. - NEVER
R.C.P. - REINFORCED CONCRETE PIPE
R. - ARC RADIUS
C. - CENTRAL ANGLE
L. - ARC LENGTH
I.N.T.F. - TRUSTEES OF THE INTERNAL
IMPROVEMENT FUND
F.P. & L. - FLORIDA POWER & LIGHT COMPANY
U.E. - UTILITY EASEMENT

SURVEY NOTES:

1. SUBJECT PROPERTY WAS NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS, RIGHT OF WAY, RESERVATIONS OR OTHER MATTERS OF RECORD, AND OWNERSHIP WAS NOT DETERMINED.
2. BURIED FOUNDATIONS AND UNDERGROUND UTILITIES WERE NOT LOCATED
3. THERE ARE NO VISIBLE ABOVE GROUND ENCROACHMENTS EXCEPT AS NOTED.
4. SCALE OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY
5. BEARINGS SHOWN HEREIN ARE ARE BASED ON PLAT BEARING OF N 87°45'12" E ALONG THE WEST LINE OF SECTION 14, TOWNSHIP 51 S, RANGE 11 E, AS SHOWN ON THE PLAT OF BANK OF AMERICA, WEST STIRLING (P.B. 19, PG. 20, B.C.R.)

FLOOD INSURANCE NOTES:

SUBJECT PROPERTY LIES WITHIN ZONE X

BASE FLOOD ELEVATION: N/A

MAP PANEL NUMBER: 125113 0561

DATE OF FIRM INDEX: 08/18/2014

SYMBOL LEGEND:

-  CALL BOX
-  CATV SERVICE BOX
-  PUMP STATION
-  FLAG POLE
-  GUY ANCHOR
-  POWER POLE
-  METAL LIGHT POLE
-  TRANSFORMER
-  ELECTRIC METER
-  SANITARY SEWER MANHOLE
-  FIRE HYDRANT
-  WATER VALVE

 MONITORING WELL
 SEWER VALVE
 WATER METER
 ELECTRIC SERVICE BOX
 STORM DRAINAGE MANHOLE
 CATCH BASIN
 STREET SIGN
 TRASH CAN
 SIGNAL MAST ARM
 PEDESTRIAN SIGNAL UNIT
 WIRE PULL BOX
 SOLLARD
 NON-VEHICULAR ACCESS LINE PER PLAN

CERTIFIED TO:

STIRLING DAVE, LLC,
CITY OF HOLLYWOOD, BROWARD COUNTY, FL

THIS SURVEY WAS MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD TITLE REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, THE UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTY RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

THE FIELD WORK WAS COMPLETED ON APRIL 16th, 2014.

ALSO:

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 55-17, F.A.C. AND ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.02, FLORIDA STATUTES.

DATED

Martin P. Rossi
MARTIN P. ROSSI
 PROFESSIONAL SURVEYOR AND MAPPER
 STATE OF FLORIDA REGISTRATION No. 5857
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL
 RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

ALTA/ACSM LAND TITLE SURVEY

MILLER LEGG

CERTIFICATE OF AUTHORIZATION		
EB7318 LB6680 LC0337		
	LP	MR
DES	PAK	PKG
PROJECT / NO. NO		
14-00042		
(BUILDING NO.)		
SH-1		
DATE DRAWN	1	
04/16/14	1	

NOTES:

1. Typical building set back dimensions (minimum) will be as required by City of Hollywood Code.
2. Fire hydrants will be located in accordance with City of Hollywood Code.
3. All landscaping trees and shrubs shall meet or exceed the min. landscape standards as set forth by the City of Hollywood.
4. All signage to be submitted for review and approval at a later day.
5. Water and Sewer services will be provided by Town of Davie.
6. Solid waste disposal & Recycling will be provided by Waste Management Company.
7. The proposed sidewalk connection from public sidewalk to on-site sidewalk shall be in conformance with Americans with Disabilities Act (ADA).
8. The existing sidewalk along the northern property line is part of the Driftwood Park recreational trail.

SITE DATA:

REZONE: To RM-18 from D-2 to Conform to the Future Land Use Plan Designation. Rental Units 5,224 acres x 16 = 84 Units.

Gross Area:	522 Acres or 227,383.2 s.f.	
Net Land Area:	522 Acres or 227,550.00 s.f.	100%
Building Area (Footprint):	0.91 Acres or 39,807.33 s.f.	17.50%
Total paved and Concrete Areas and Dumpsters:	2.17 Acres or 94,706.86 s.f.	41.62%
Open space provided (landscaped & Retention Area):	2.12 Acres or 92,271.30 s.f.	40.55%
Pool Area:	0.02 Acres or 764.51 s.f.	0.33%

PARKING REQUIRED:

80 2 BR, 28TH / 4 3BR, 2 8TH	= 84 UNITS (TOTAL)
84 UNITS @ 1.5 SPACES PER UNIT	= 126 SPACES
1 PER 5 UNITS (MARKED FOR GUEST)	17 SPACES
Total pkg required	= 143 SPACES

PARKING PROVIDED:

HANDICAPPED	8 SPACES
COMPACT	35 SPACES
STANDARD	109 SPACES
TOTAL PARKING PROVIDED	152 SPACES

SETBACKS	PROVIDED	REQUIRED
FRONT	85'	30'
SOUTH SIDE	94'	15'
BACK	85'	15'
NORTH SIDE	76'	20'

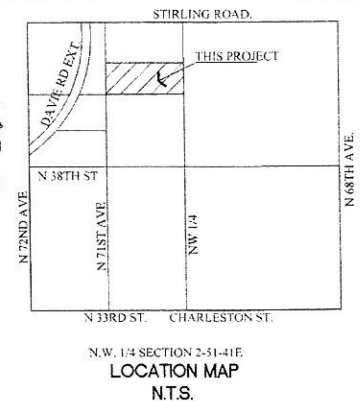
TABULAR INFORMATION FOR THE PROPOSED RESIDENTIAL BUILDING:

Future Landuse Plan Classification: RM-18
Total Square Footage of each Building: 27,900 S.F. per building.
AC 25,200 @, NON AC C 27,000 @

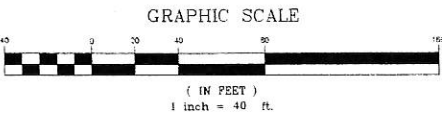
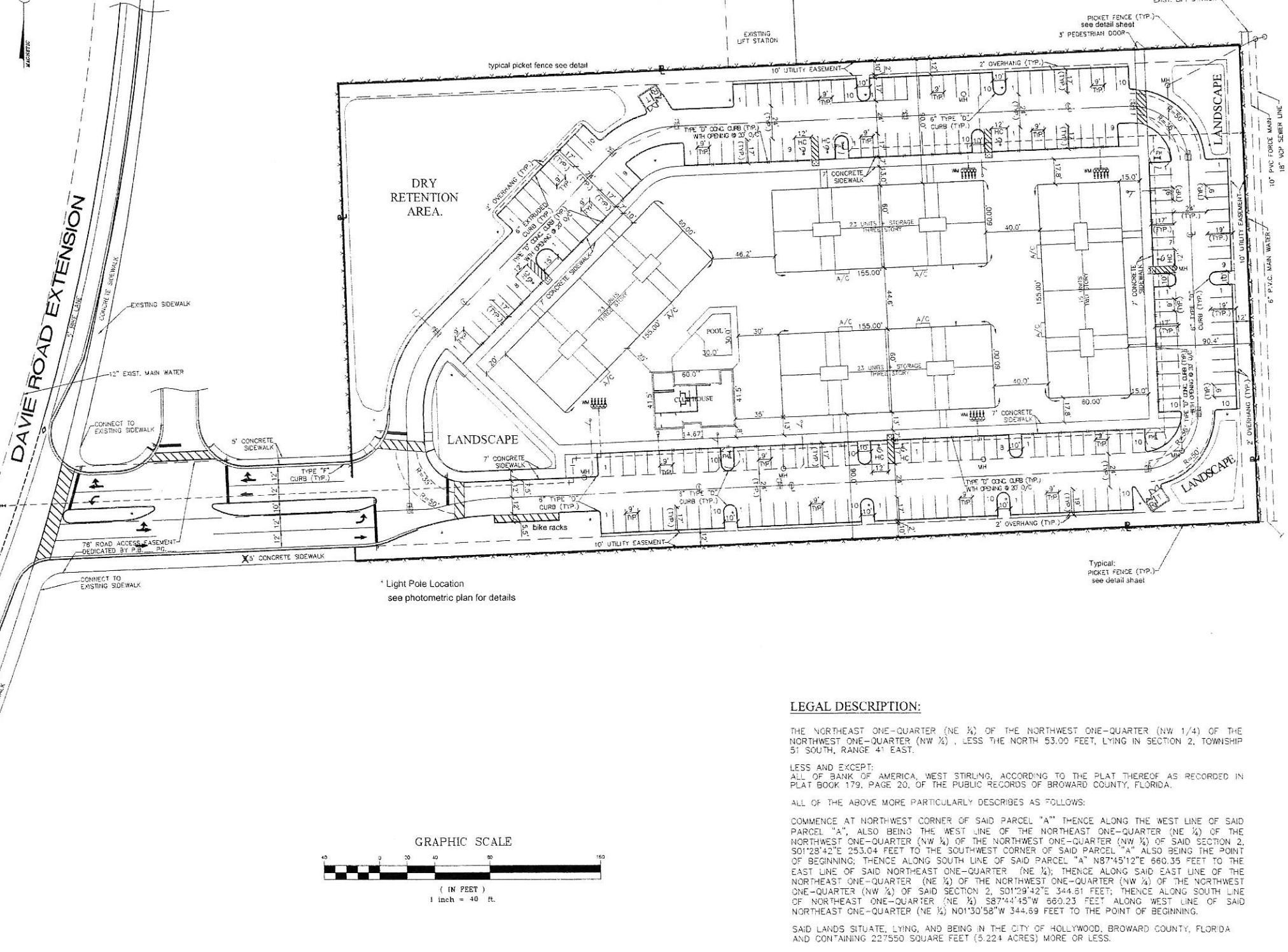
NOTE:
WILL ACHIEVE BRONZE GREEN BLDG. CERTIFICATION SEE REPORT BY: "RUNBROCK"

LEGEND:

- = INDICATES PROPOSED CATCH BASIN AND DRAINAGE PIPE
- = INDICATES PROPOSED DRAINAGE MANHOLE
- = INDICATES PROPERTY LINE
- = INDICATES CENTER LINE
- = INDICATE EXIST'G CATCH BASIN
- = INDICATE EXIST'G FIRE HYDRANT
- = INDICATE PROPOSED FIRE HYDRANT
- = INDICATE PROPOSED LIGHT POLE
- = INDICATE PROPOSED CATCH BASING



DAVIE ROAD EXTENSION



LEGAL DESCRIPTION:

THE NORTHWEST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, TOWNSHIP 51 SOUTH, RANGE 41 EAST.

LESS AND EXCEPT:
ALL OF BANK OF AMERICA, WEST STIRLING, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 179, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE ABOVE MORE PARTICULARLY DESCRIBES AS FOLLOWS:

COMMENCE AT NORTHWEST CORNER OF SAID PARCEL "A" THENCE ALONG THE WEST LINE OF SAID PARCEL "A", ALSO BEING THE WEST LINE OF THE NORTHWEST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, 501'28'42"E 253.04 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A" ALSO BEING THE POINT OF BEGINNING; THENCE ALONG SOUTH LINE OF SAID PARCEL "A" N87°45'12"E 660.35 FEET TO THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NE 1/4); THENCE ALONG SAID EAST LINE OF THE NORTHWEST ONE-QUARTER (NE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 2, 501'29'42"E 344.81 FEET; THENCE ALONG SOUTH LINE OF NORTHWEST ONE-QUARTER (NE 1/4) S87°44'45"W 660.23 FEET; THENCE ALONG WEST LINE OF SAID NORTHWEST ONE-QUARTER (NE 1/4) N01°30'58"W 344.69 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 227550 SQUARE FEET (5.224 ACRES) MORE OR LESS.

SAMUEL SHAPIRO R.A.
ARCHITECTS AND PLANNERS
615 STIRLING ROAD, SUITE 101, DAVIE, FLORIDA 33314
PHONE: 954-316-6626

SITE PLAN
STIRLING VILLAGE APARTMENTS
2900 DAVIE ROAD EXTENSION
DAVIE, FLORIDA 33024

CLIENT
SAMUEL SHAPIRO

DESIGNED BY:
SAMUEL SHAPIRO

DRWN
C.S.

DATE
05-27-14

CHKD
S.P.

DATE
05-27-14

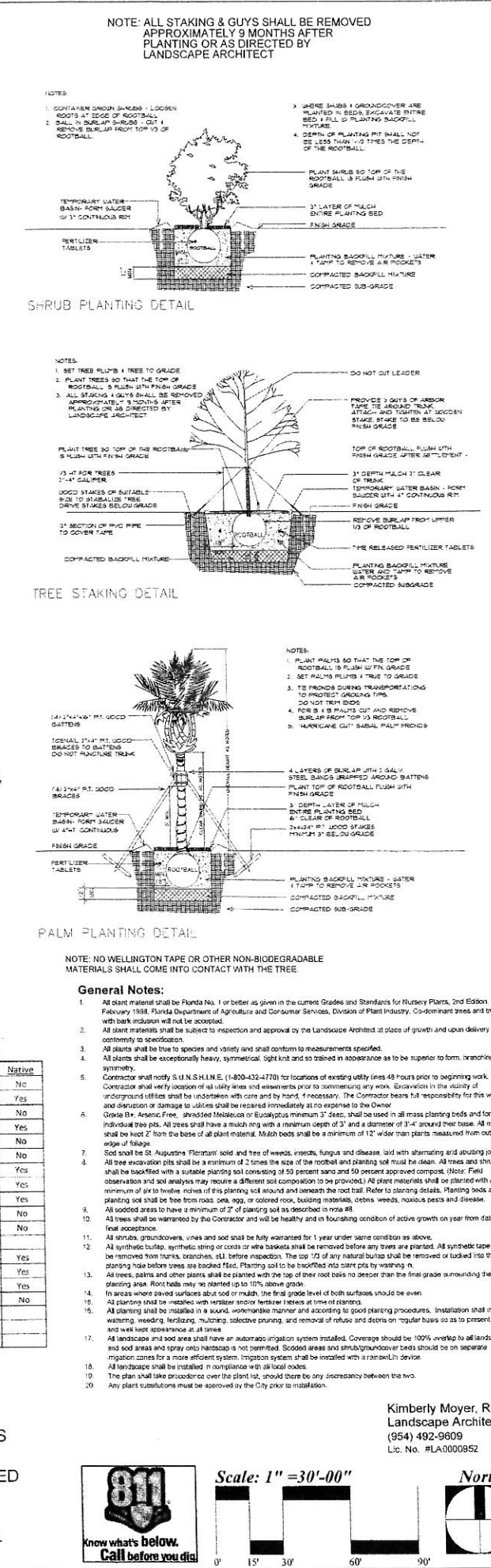
SIGN & SEAL

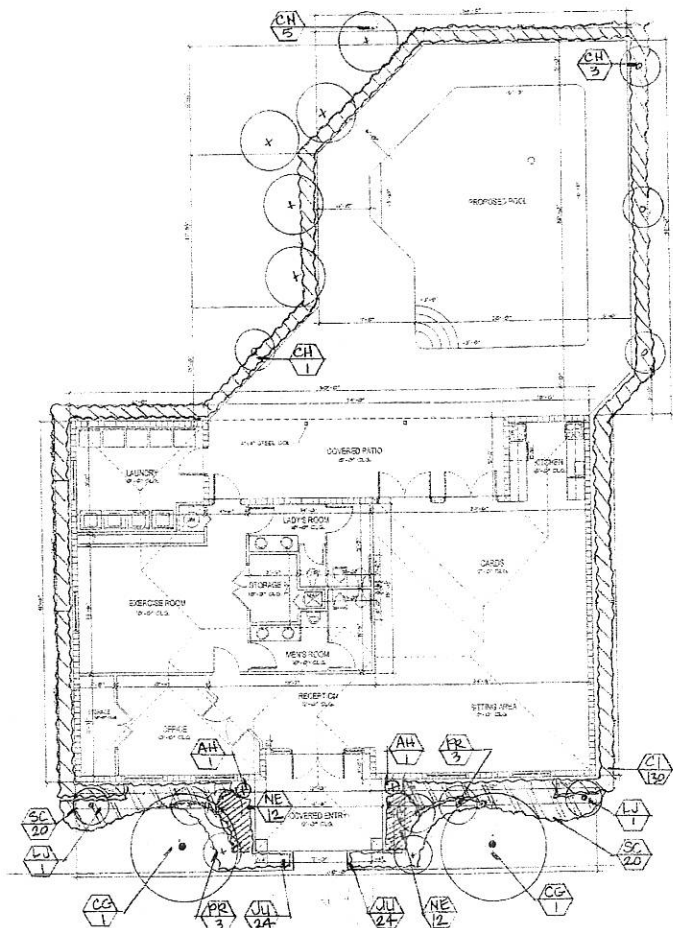
DATE:
SAMUEL SHAPIRO, R.A.
FL LIC. # 9208

DWG FOLDER:
SERVER:
P./

PROJ NO.:
14-100

SHEET
SP-1

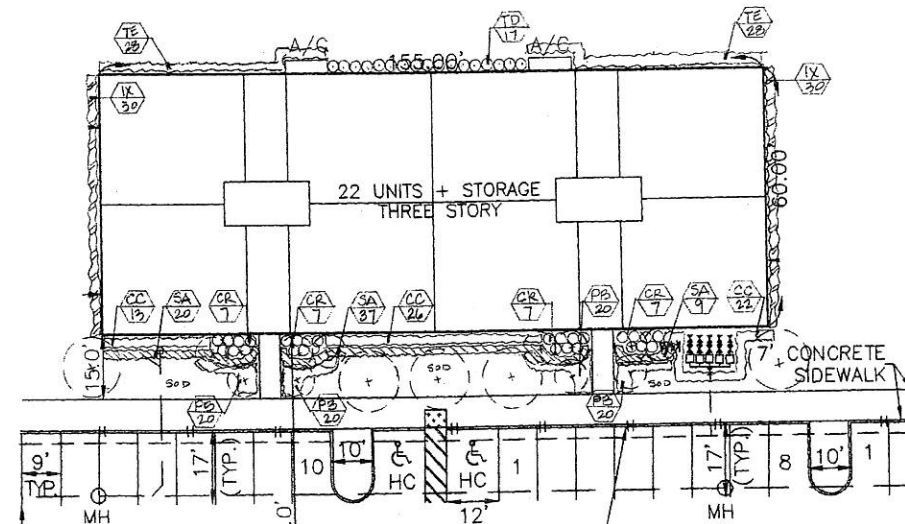
[illegible]



Plant List for Pool/ Clubhouse

Sym	Qty	Botanical/ Common Name	Size
CN	5	Cocon nucifera / Green Malayan/ Coconut Palm	5'-7' CT stagger hts
CG	2	Caesalpinia granadillo/ Bridalveil	12' Ht x 4' Spr. 2' Cal
LJ	2	Ligustrum japonicum/ Ligustrum	10' Ht x 5' Spr. multi trunk
PR	6	Phoenix roebelanii/ Pygmy Date Palm	6' HL double trunks
CH	4	Calliandra haematocephala/ Powder Puff	6' HL standard
NE	24	Neoregelia Bossa Nova/ Bromeliad	9" x 9", 12" O.C.
SC	40	Schefflera arboricola / Green Arboricola	20" x 20", 24" O.C.
JU	48	Juniperus conferta / Blue Pacific/ Shore Juniper	8" x 12", 18" O.C.
CI	130	Chrysobaenus icaco/ Cocoplum	24" x 24", 24" O.C.
AH	2	Acalypha hispida/ Chenille Plant	24" x 24"
Sod		St. Augustine	
Mulch		Shredded Eucalyptus, Melaleuca or recycled mulch	

TYPICAL BUILDING
POOL/ CLUBHOUSE
Scale 1"= 10'-0"



Plant List for Typical Building

Sym	Qty	Botanical/ Common Name	Size
PB	80	Philodendron 'Burle Marx'/ Burle Marx	16" x 16", 24" O.C.
CR	28	Crinum augustum / Queen Emma/ Crinum Lily	30" x 24"
TD	17	Tripsacum dactyloides/ Fakahatchee Grass	24" x 24", 36" O.C.
SA	66	Schefflera arboricola 'Trinetta'/ Variegated Arboricola	20" x 20", 24" O.C.
TE	56	Thunbergia erecta/ King's Mantle	24" x 24", 24" O.C.
IX	60	Ixora 'Nora Grant'/ Ixora	24" x 24", 24" O.C.
CC	61	Capparis cynophallophora/ Jamaica Caper	20" x 20", 24" O.C.
Sod		St. Augustine	
Mulch		Shredded Eucalyptus, Melaleuca or recycled mulch	

TYPICAL BUILDING
LANDSCAPE PLAN
Scale 1"= 20'-0"

REVISIONS

NO. DATE DESCRIPTION

SAMUEL SHAPIRO R.A.
ARCHITECTS AND PLANNERS
615 STIRLING ROAD, SUITE 101 DAVIE, FLORIDA 33314
PHONE: 954-316-6626

LANDSCAPE PLAN

STIRLING VILLAGE APARTMENTS
DAVE ROAD EXTENSION & STIRLING ROAD
DAVIE, FLORIDA 33024

CLIENT
SAMUEL SHAPIRO

DESIGNED BY:

DRWN DATE
01-24-15

CHKD DATE

SIGN & SEAL

DWG FOLDER: PROJ NO:
14-100

SHEET
L-2

LEVEL SHOWN AND LOCATIONS SHOWN HEREIN ARE FOR INFORMATION ONLY. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE PLANS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE PLANS.

NO.	DATE	REVISIONS	DESCRIPTION

SAMUEL SHAPIRO & ASSOCIATES
ARCHITECTS AND PLANNERS
6715 STIRLING ROAD SUITE 101
DAVIE FLORIDA 33314
TEL (954) 316-6626

PROPOSED CB6 3-STORY BLDG.
STIRLING VILLAGE APARTMENT
2900 DAVE ROAD EXTENSION
DAVIE FLORIDA 33024

CLIENT
SHAPIRO &
ASSOCIATES

DESIGNED BY:
SAM SHAPIRO

DRWN:
DATE
11-30-14

CHKD:
DATE
11-30-14

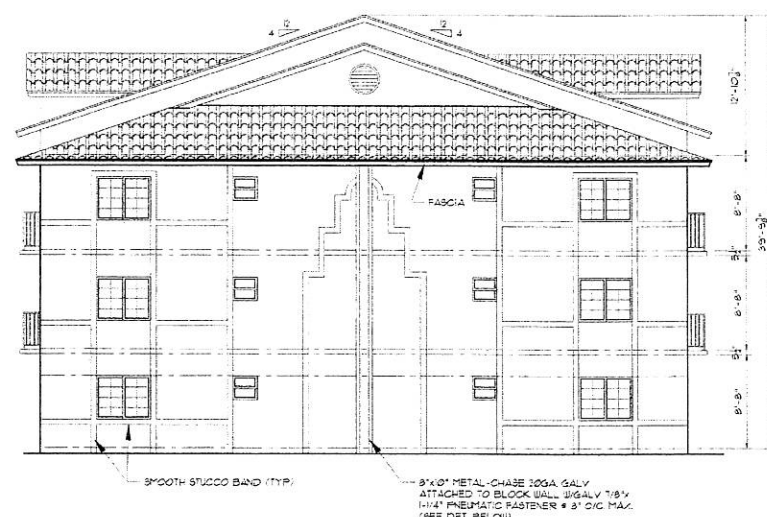
SIGN & SEAL

DATE

ACAD DWG
SHAPIRO

PROJ NO.
4-3011

SHEET
OF



RIGHT & LEFT ELEVATION
SCALE: 1/8" = 1'-0"

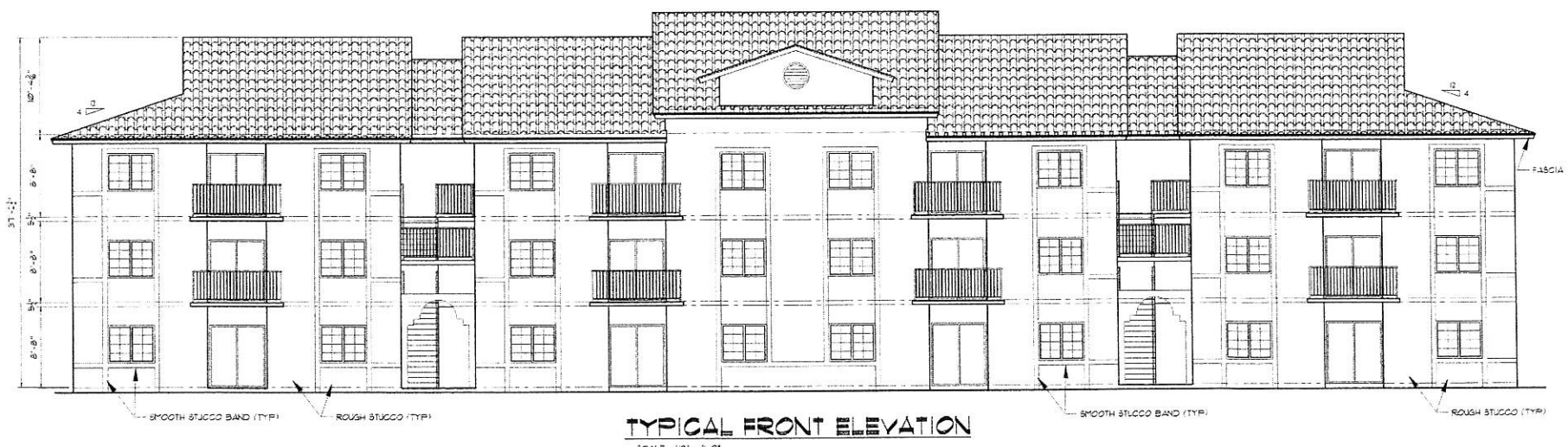
BUILDING COLORS
SEMI-GLOSS BEHR
(FASCIA, SMOOTH STUCCO & BANDING)
PEARL DROP # 700 - C - #1
ROUGH STUCCO # 700 - 3M
PECAN SANDIE

GREEN BUILDING CERTIFICATION

We will achieve "Bronze" Green Building Certification, (FGBC).

We will exceed the Energy efficiency requirements by:

1. Energy efficient hard wired lighting fixtures.
2. High performing HVAC Systems.
3. Tight Envelope Design.
4. Energy Star Rated Appliances.
5. Low Flow faucets and showerheads and low flush water closets.
6. Water conservation for Landscape Areas using native plants.
7. Highly Efficient Irrigation System.
8. Controlled waste well management by using locally sourced MTLS.
9. Enhanced filtration media and Low-Voc Adhesives and compounds inside building.
10. Finally "Runbrook" will inspect and document all phases to certify that planned green building measures are put in place.



TYPICAL FRONT ELEVATION
SCALE: 1/8" = 1'-0"

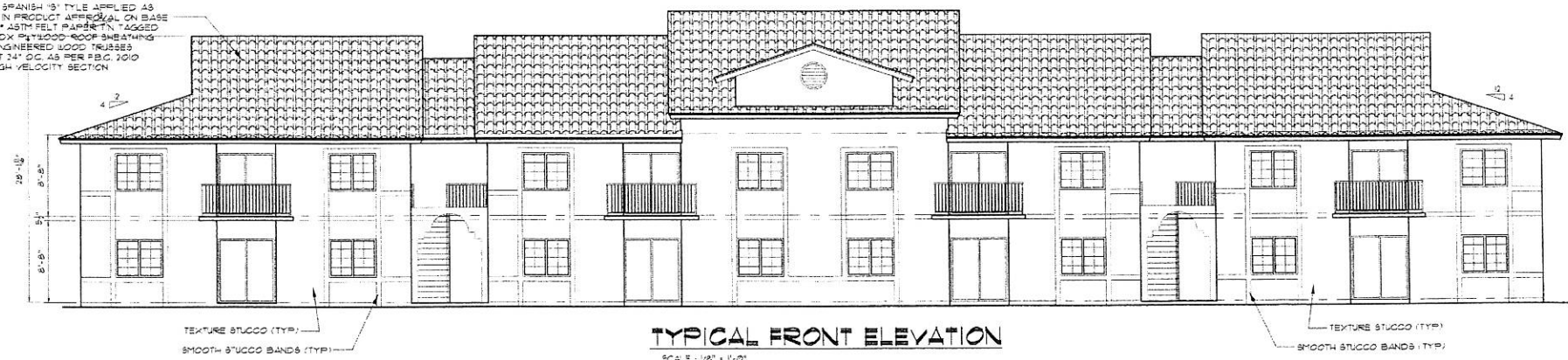


TYPICAL REAR ELEVATION
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN (TYP BLDG. #1, #2 & #4)
SCALE: 1/8" = 1'-0"

CONCRETE SPANISH 19" TILE APPLIED AS INDICATED IN PRODUCT APPROVAL ON BASE CAP OF 30" ASTM FELT PAPER IN TAGGED TO 19/32" CDX PLYWOOD ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES SPACED AT 24" O.C. AS PER F.B.C. 2010 EDITION, HIGH VELOCITY SECTION



TYPICAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"

CONCRETE SPANISH 19" TILE APPLIED AS INDICATED IN PRODUCT APPROVAL ON BASE CAP OF 30" ASTM FELT PAPER IN TAGGED TO 19/32" CDX PLYWOOD ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES SPACED AT 24" O.C. AS PER F.B.C. 2010 EDITION, HIGH VELOCITY SECTION



TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING COLORS
SEMI-GLOSS BEHR
(FASCIA, SMOOTH STUCCO & BANDING)
PEARL DROP # 700 - C - #1
ROUGH STUCCO # 700 - 3M
PECAN SANDIE

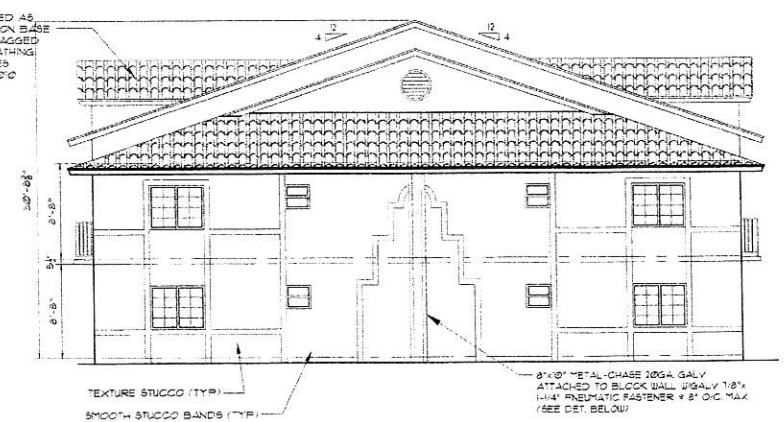
GREEN BUILDING CERTIFICATION

We will achieve "Bronze" Green Building Certification, (FGBC).

We will exceed the Energy efficiency requirements by:

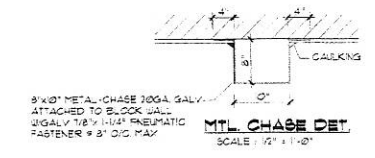
1. Energy efficient hard wired lighting fixtures.
2. High performing HVAC Systems.
3. Tight Envelope Design.
4. Energy Star Rated Appliances.
5. Low Flow faucets and showerheads and low flush water closets.
6. Water conservation for Landscape Areas using nature plants.
7. Highly Efficient Irrigation System.
8. Controlled waste well management by using locally sourced MTLs.
9. Enhanced filtration media and Low-Voc Adhesives and compounds inside building.
10. Finally "Runbrook" will inspect and document all phases to certify that planned green building measures are put in place.

CONCRETE SPANISH 19" TILE APPLIED AS INDICATED IN PRODUCT APPROVAL ON BASE CAP OF 30" ASTM FELT PAPER IN TAGGED TO 19/32" CDX PLYWOOD ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES SPACED AT 24" O.C. AS PER F.B.C. 2010 EDITION, HIGH VELOCITY SECTION



RIGHT & LEFT ELEVATION

SCALE: 1/8" = 1'-0"



MTL CHASE DET

SCALE: 1/2" = 1'-0"

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE PROPERTY OF SAMUEL SHAPIRO & ASSOCIATES. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SAMUEL SHAPIRO & ASSOCIATES. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LITIGATION IN THE STATE OF FLORIDA.

REVISIONS	
NO.	DESCRIPTION

SAMUEL SHAPIRO & ASSOCIATES
ARCHITECTS AND PLANNERS
6715 STIRLING ROAD SUITE 101
DAVIE, FLORIDA 33314
TEL (954) 316-6626

PROPOSED CBS 2-STORY BLDG.
STIRLING VILLAGE APARTMENT
2900 DAVIE ROAD EXTENSION
DAVIE, FLORIDA 33024

CLIENT
SHAPIRO & ASSOCIATES

DESIGNED BY:
SAM SHAPIRO

DRWN: **SHAPIRO** DATE: **11-30-14**

CHKD: DATE: **11-30-14**

SIGN & SEAL
DATE:

ACAD DWG: **SHAPIRO** PROJ NO: **14-301**

SHEET: **1** OF:

[illegible]

SAMUEL SHAPIRO & ASSOCIATES
ARCHITECTS AND PLANNERS
6715 STIRLING ROAD SUITE 101
FLORIDA 33314
DAVE
TEL (954) 316-6626

PROPOSED CBS 2-STORY BLDG.
STIRLING VILLAGE APARTMENT
2900 DAVIE ROAD EXTENSION

CLIENT
SHAPIRO &
ASSOCIATES

DESIGNED BY:
SAM SHAPIRO

DRWN:  V vector
DATE 11-30-11

CHKD :	DATE
--------	------

SIGN & SEAL

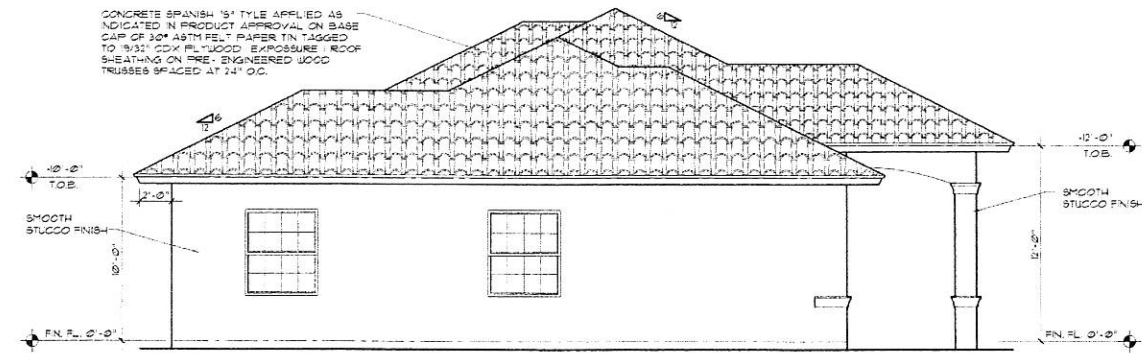
DATE: _____

SHAPRO 14-30

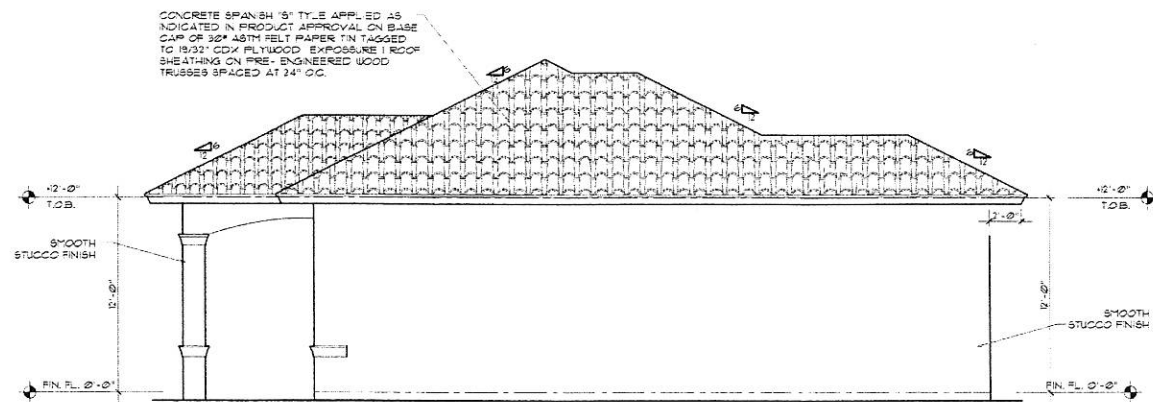
FREE



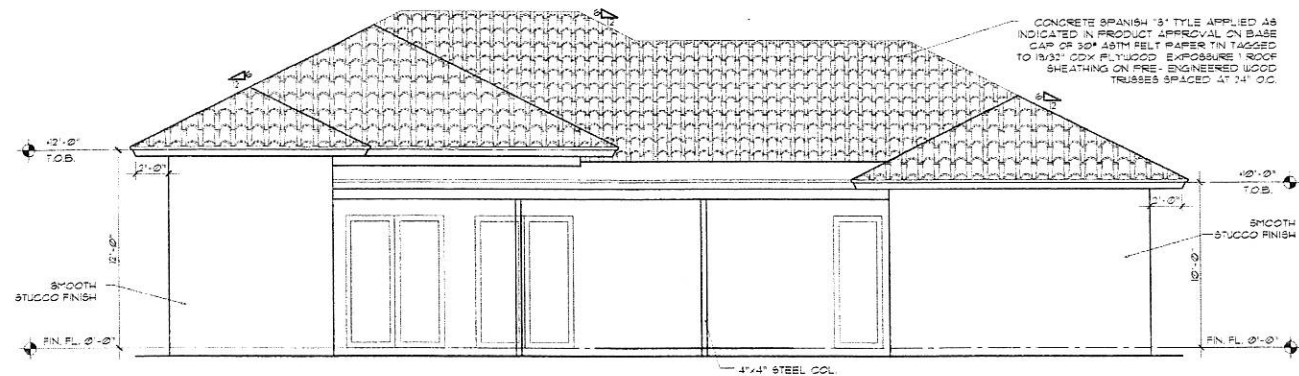
SHEET OF



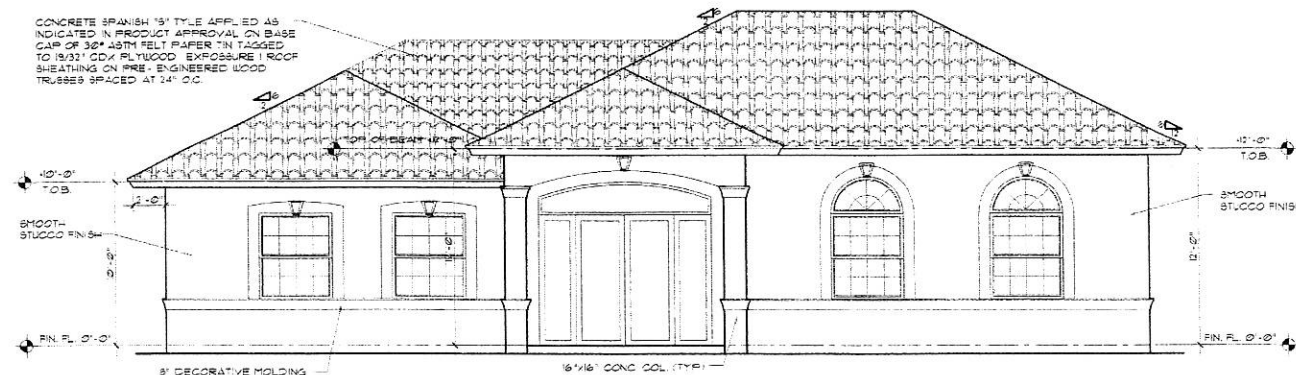
LEFT ELEVATION
SCALE 3/8" = 1'-0"



RIGHT ELEVATION
SCALE 3/8" = 1'-0"



REAR ELEVATION
SCALE 3/8" = 1'-0"

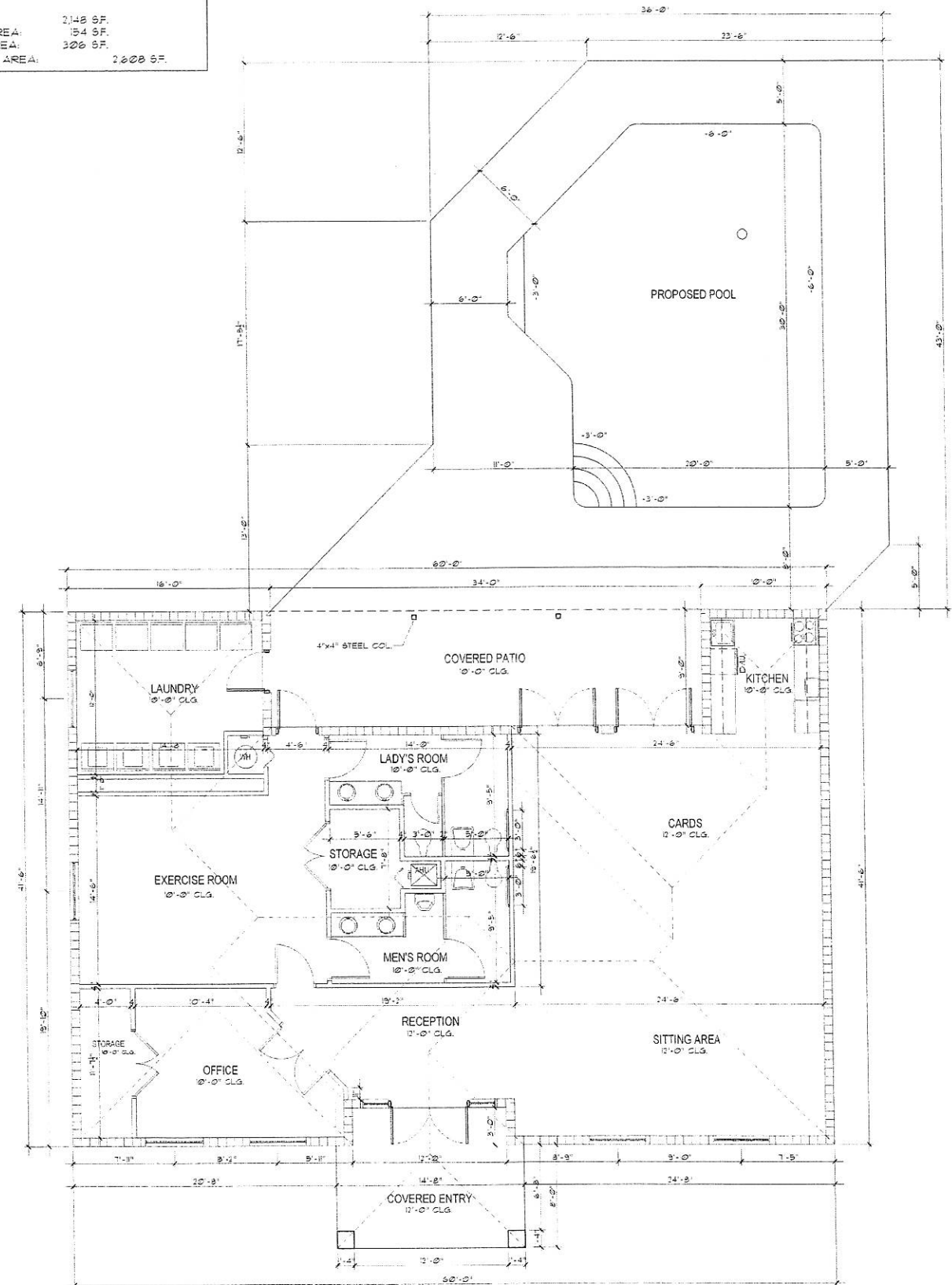


FRONT ELEVATION
SCALE 3/8" = 1'-0"

CODE COMPLIANCE

FLORIDA BUILDING CODE RESIDENTIAL 2010 EDITION
EXISTING FLORIDA BUILDING CODE 2010 EDITION
CONSTRUCTION TYPE AND OCCUPANCY:

OCCUPANCY USE: RECREATION CLUB
OCCUPANCY GROUP: RESIDENTIAL
TYPE OF CONSTRUCTION: TYPE III-B
A.S.C.E. 1-10
A/C AREA: 2148 SF.
COVERED ENTRY AREA: 154 SF.
COVERED PATIO AREA: 306 SF.
TOTAL UNDER ROOF AREA: 2608 SF.



FLOOR PLAN
SCALE 3/8" = 1'-0"

ALL RIGHTS ARE RESERVED BY THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT.

NO.	DATE	REVISIONS	DESCRIPTION

SAMUEL SHAPIRO & ASSOCIATES
ARCHITECTS AND PLANNERS
6515 STIRLING ROAD SUITE 101
DAVIE, FLORIDA 33314
TEL (954) 316-6626

PROPOSED CLUB HOUSE
STIRLING VILLAGE APARTMENT
2900 DAVE ROAD EXTENSION
DAVIE, FLORIDA 33024

CLIENT: SHAPIRO & ASSOCIATES

DESIGNED BY: SAM SHAPIRO

DRWN: DATE 11-30-14

CHKD: DATE 11-30-14

SIGN & SEAL

DATE

ACAD DWG: SHAPIRO PROJ NO: 14-3011

SHEET 12 OF