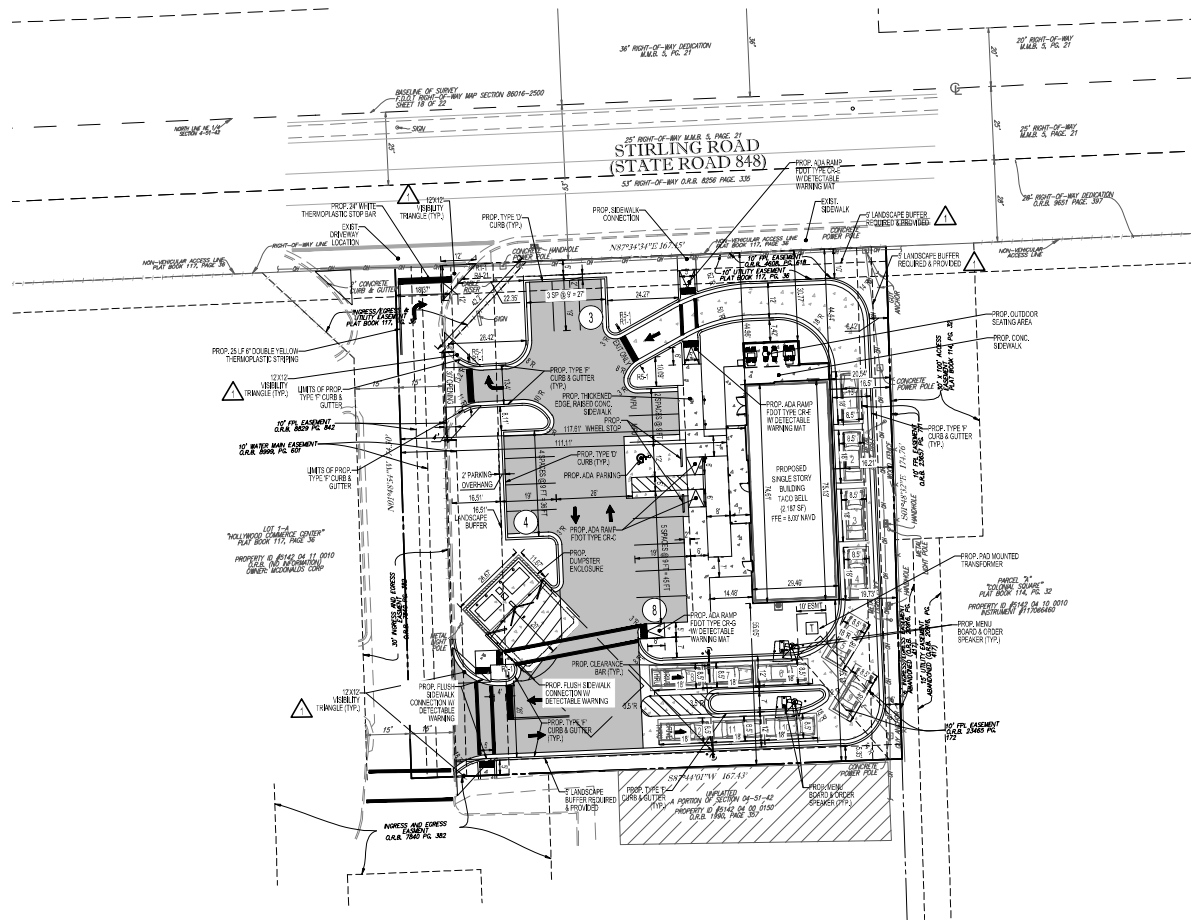


# Exhibit B



- NOTES:**
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
  2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
  3. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
  4. ACCORDING TO 8.3.4 SIGNS SHALL NOT EXTEND ABOVE OR BEYOND THE ROOF LINE OR PARAPET WALL.
  5. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
  6. ANY LIP FROM 2' BUT NOT GREATER THAN 2' WILL BE VEILED TO MEET ADA REQUIREMENTS.

## DISTRICT REQUIREMENTS

THIS PLAN REFERENCES AN ALTA SURVEY BY:  
**PULICE LAND SURVEYORS, INC.**  
 5301 HOB HILL ROAD  
 SUITE 100  
 SUNRISE, FL 33061

**SITE ADDRESS:** 2700 STIRLING RD, HOLLYWOOD, FL  
**PCN:** 14-04-04-14-020  
**CURRENT FEMA FLOOD ZONE:** ZONE X  
**PRELIMINARY FEMA FLOOD ZONE:** ZONE AE (BASE 6' NAVD)

**LAND USE INFORMATION:**  
**CURRENT USE:** RESTAURANT W/ DRIVE-THRU  
**PROPOSED USE:** RESTAURANT W/ DRIVE-THRU  
**FUTURE LAND USE DESIGNATION:** COMMERCIAL  
**ZONING DESIGNATION:** PD (DANWOOD PLAZA)

DEVELOPMENT STANDARDS:	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.)	NONE	20,224 S.F.
MIN. LOT WIDTH:		
FRONT - NORTH (FEET)	25'	44.44' (BUILDING)
SIDE - EAST (FEET)	0'	30.79' (CANOPY)
SIDE - WEST (FEET)	0'	16.79' (BUILDING)
REAR - SOUTH (FEET)	0'	16.21' (CANOPY)
MAX. HEIGHT (FEET)	300'	25.0'
MAX. IMPERVIOUS COVERAGE (%)	90%	73.8%

BUILDING HEIGHT	ALLOWED	PROPOSED
BUILDING TO ARCH:	300'	28.5'
BUILDING TO PARAPET:	300'	22.0'

LANDSCAPE BUFFERS:	REQUIRED	PROPOSED
FRONT - NORTH:	0'	VARIABLE 5'-10'
SIDE - EAST:	0'	VARIABLE 5'-14.42'
SIDE - WEST:	0'	16.31'
REAR - SOUTH:	0'	VARIABLE 5'-14.30'

LAND USE BREAKDOWN:	EXISTING	PROPOSED
IMPERVIOUS	S.F. ACRES %	S.F. ACRES %
BUILDING	2,834 0.06 9.7%	2,187 0.06 7.5%
VIA	18,264 0.42 62.5%	16,192 0.37 56.4%
PERVIOUS CURB	2,260 0.05 7.7%	3,184 0.07 10.9%
TOTAL	23,358 0.53 78.9%	21,563 0.49 73.8%
PERVIOUS	5,888 0.14 20.1%	7,661 0.18 26.2%
TOTAL	29,224 0.67 100.0%	29,224 0.67 100.0%

PARKING DATA:	REQUIRED	USE	GFA	RATIO	AMOUNT
RESTAURANT - DRIVE THRU	2,187 SF	3.0 SPACES/1,000 SF			8 SPACES
STANDARD SPACES (9' X 19')					14
ACCESSIBLE SPACES (7' X 19')					1
TOTAL SPACES PROVIDED:					15

DRIVE-THRU STAGING:	REQUIRED	PROPOSED
PER DRIVE-THRU DESIGN (CARLINES) (SEC 7 PARKING):		
VEHICLE STAGING SPACES SHALL MEASURE 16.5 FEET WIDE BY 18 FEET LONG AND SHALL BE PROVIDED IN A NUMBER SUFFICIENT FOR THE USE OF THE TENANT. A BYPASS LANE IS NOT REQUIRED.		
PROVIDED:		
AFTER THE MENU BOARDS		SPACES 6

## HATCH LEGEND



## LEGEND

R1-1	STOP SIGN (30" x 30")
R5-1	DO NOT ENTER (30" x 30")
R4-21	RIGHT TURN ONLY
FTP 21 06	ADA PARKING SIGN
D.Y.	DOUBLE YELLOW
W.Y.	WHITE
Y	YELLOW
	THERMOPLASTIC

## LEGAL DESCRIPTION:

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



REV.	DATE	COMMENT	BY
1	7/12/2024	TAC COMMENTS	CLM



PROJECT NO.:	F230118
DRAWN BY:	RKD
CHECKED BY:	10/26/2024
DATE:	F230118.01/18

PROJECT:

**TACO BELL REDEVELOPMENT**

FOR

**GPD GROUP**

2700 STIRLING ROAD  
 HOLLYWOOD, FLORIDA



8300 NW 31ST AVENUE  
 FORT LAUDERDALE, FL 33309  
 PH: (954) 252-7000  
 FX: (954) 252-7070  
 WWW.THOMASENGINEERINGGROUP.COM



SHEET TITLE:

**SITE PLAN**

SHEET NUMBER:

**C-05**

"This submittal is for general informational purposes only and is preliminary in nature. As such, it is not for construction or for any other use and its use is strictly prohibited."

Exhibit B

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



COORDINATION NOTE  
EGRESS LIGHTING REQUIRED AT ALL DOORS. REFER TO ELECTRICAL LIGHTING PLAN FOR EXTERIOR LIGHTING LOCATIONS.

### WALK-UP ELEVATION 1/4"=1'-0" A

SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
<b>CLADDING</b>						
1	SIDING, LOWER HALF OF BUILDING	X	CMU STACK BOND	GRAY	X	X
2	SIDING, UPPER HALF OF BUILDING	PAC CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	SLATE GRAY	1-3/8" DEEP PANELS	X
<b>TRIM</b>						
3a	WALL TRIM: VERTICAL	-	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT		X
3c	WALL TRIM: HORIZONTAL	-	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT	X	X
<b>METAL</b>						
4	PARAPET CAP	X		SW7674 PEPPERCORN	X	X
5	OVERFLOW SCUPPERS	X		SW7674 PEPPERCORN	X	X
6	SERVICE DOOR AND FRAME	X		SW7674 PEPPERCORN	X	X
7	METAL TUBE FRAME - REAR OF BUILDING (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW7674 PEPPERCORN (PREFERRED POWDER COATED)	SEE DETAIL 14/A6.2	X
10	EQUIPMENT SCREEN	LAWRENCE METAL STRUCTURES	ARCHITECTURAL PERFORATED METAL SCREEN SET IN FRAME	PAINTED OR POWDERCOATED TO MATCH PANTONE 2305C	CUSTOM 13 X 14 3/4 SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE SHOP DRAWINGS. APPROVAL REQUIRED BY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.	X
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLUMNS (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW7674 PEPPERCORN	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
<b>PAINT</b>						
13	CO2 ENCLOSURE	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINISHED TO MATCH)	SW7674 (PEPPERCORN)	X	X
<b>COORDINATION NOTE</b> CONTACT YOUR ALIGNED BRAND DESIGNER FOR ALTERNATIVE FINISHES						

### EXTERIOR FINISH SCHEDULE E

### MISCELLANEOUS

- A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.  
SEALANTS (REFER TO SPECS.)  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SPILL SEALANT INTO WINDOWS.  
THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGN WITH THE FINISH.  
VENDOR SUPPLIED / INSTALLED ELEMENTS  
GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

### GENERAL NOTES C

QTY	ITEM DESCRIPTION	ELEC
V-1	20" WHITE CHANNEL LETTERS VERTICAL	YES
V-04.42	42" SWINGING BELL PURPLE LOGO FACE LIT	YES
V-2	13'-0" X 53" WALK-UP WINDOW ARCH ELEMENT	NO
V-3	60"W X 36"D X 6"H WALK-UP WINDOW CANOPY	YES
V-4	1 TB CORNER WRAP ELEMENT WITH BELL LOGO	YES
V-5	2 90" X 90" SWINGING BELL LOGO WITH FINISHES	YES
V-6	1 ENTRY ARCH ELEMENT	YES
V-7	1 DIRECTIONAL BLADE SIGN	NO

NOTE: REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION

### EXTERIOR SIGNAGE D

1. BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.  
2. DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.  
3. METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.  
4. ARCHITECTURAL METAL PANELS.  
5. HORIZONTAL WALL PLANKS.  
6. WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.  
7. INDICATES TOP OF ROOF DECK.  
8. ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.  
9. BOLLARDS PER CIVIL.  
10. ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.  
11. WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.  
12. CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.  
13. ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.  
14. EXTERIOR RAILINGS AT SEATING / WALK-UP WINDOW. SEE DETAIL 14/A6.2. SEE SITE PLAN FOR LOCATION.  
15. METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK).  
16. ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.  
17. HOSE BIB. REFER TO PLUMBING DRAWINGS AND DETAIL 12/A6.1.  
18. CO2 ENCLOSURE, FILLER VALVE BEYOND.  
19. NOT USED.  
20. SWITCH GEAR IF ALLOWED BY JURISDICTION, PAINT TO MATCH WALL SURFACE.  
21. CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.  
22. OVERFLOW SCUPPER.  
23. GAS METER. DO NOT PAINT METER.  
24. EMERGENCY LIGHTS. SEE ELECTRICAL SHEETS.  
25. HANDICAP SIGNAGE. MOUNT AT 5'-0" A.F.F.  
26. SECURITY DOOR. OWNER SUPPLIED / GC INSTALL.  
27. WALK-UP WINDOW.  
28. PATIO CANOPY BY VENDOR.  
29. PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BY VENDOR.  
30. NOT USED.  
31. ASSUME DIT LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.

THIS DRAWING IS A PRELIMINARY COPY. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

### KEY NOTES B

Mark S. Salopek, LLC

101 W. LINDEN AVE. #205  
CHANDLER, AZ 85024  
Phone 360.72.1112



06/28/24  
PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24

BLDG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 296861

STORE NUMBER: 461022

PA/PM: Dowling

DRAWN BY: RS

JOB NO.: 2023086.52

KITCHEN-X MED20

2700 Sterling Rd.  
Hollywood, FL 32665



EXTERIOR  
ELEVATIONS

A4.0

PLOT DATE:

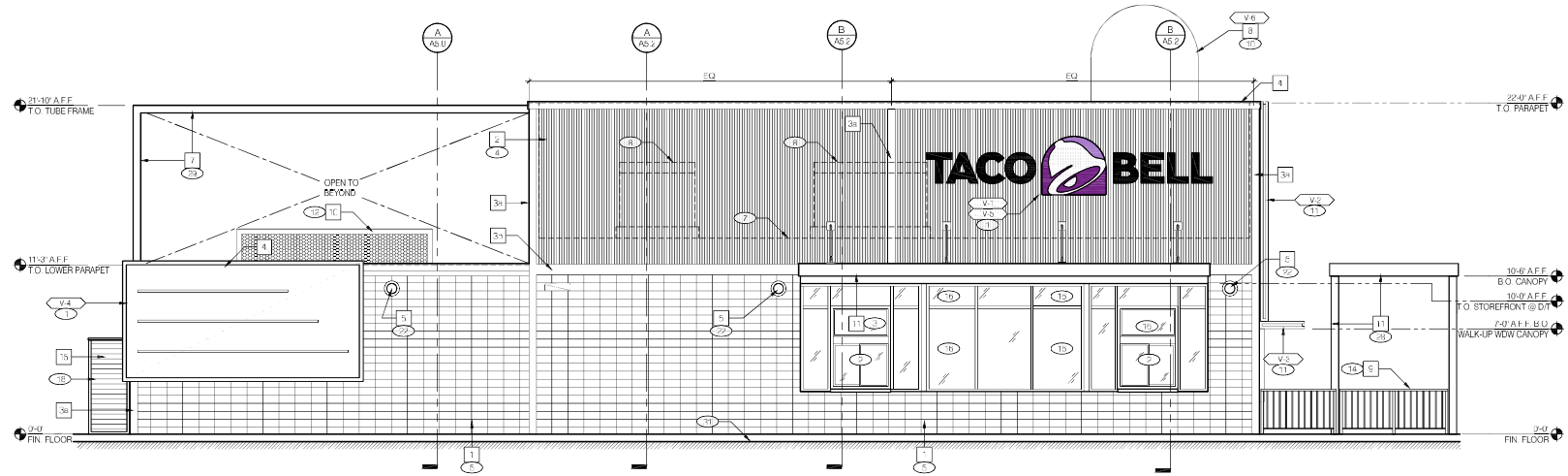
"This submittal is for general informational purposes only and is preliminary in nature. As such, any reliance on or use of this submittal is strictly prohibited."

## Exhibit B

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

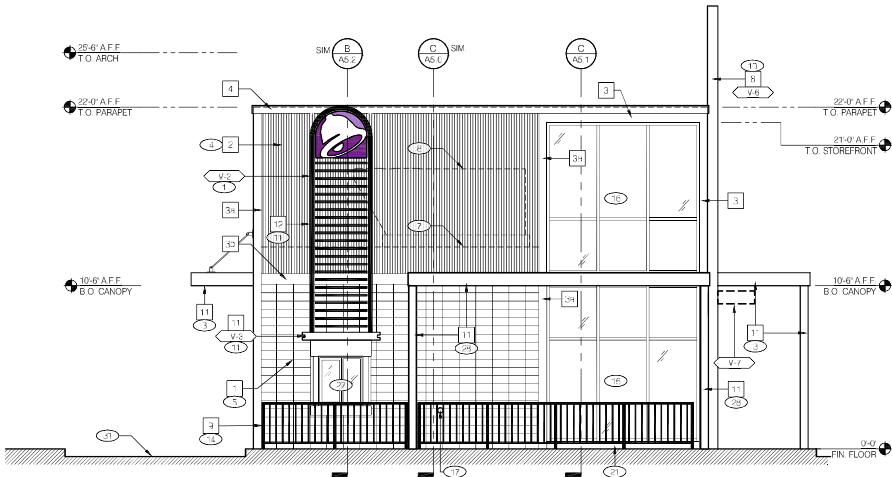
Mark S. Salopek, LLC

101 W. LINDSEY AVE. #200  
CHICAGO, IL 60611  
PHONE 312.721.1110

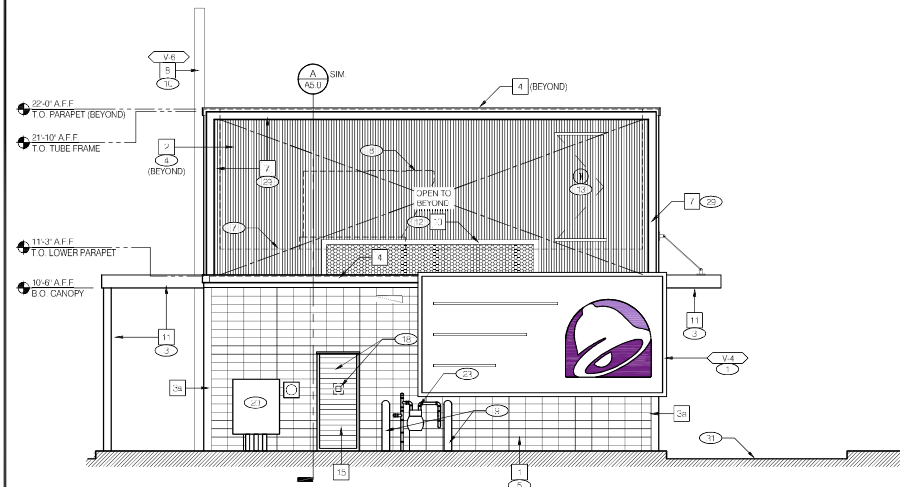


SEE SHEET A4.0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

DRIVE-THRU ELEVATION 1/4"=1'-0" B



FRONT ELEVATION 1/4"=1'-0" D



"This file was signed electronically by M. Salopek on the date and/or time stamp shown using a digital signature. Printed copies of this are not considered signed and sealed and the signature must be verified on any electronic copy."

REAR ELEVATION 1/4"=1'-0" C



06/28/24

PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24

BLDG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 296861

STORE NUMBER: 461022

PAP/PM: Dawling

DRAWN BY: RS

JOB NO: 2023086.52

KITCHEN-X MED20

2700 Sterling Rd.

Hollywood, FL 33020



EXTERIOR  
ELEVATIONS

A4.1

PLOT DATE: