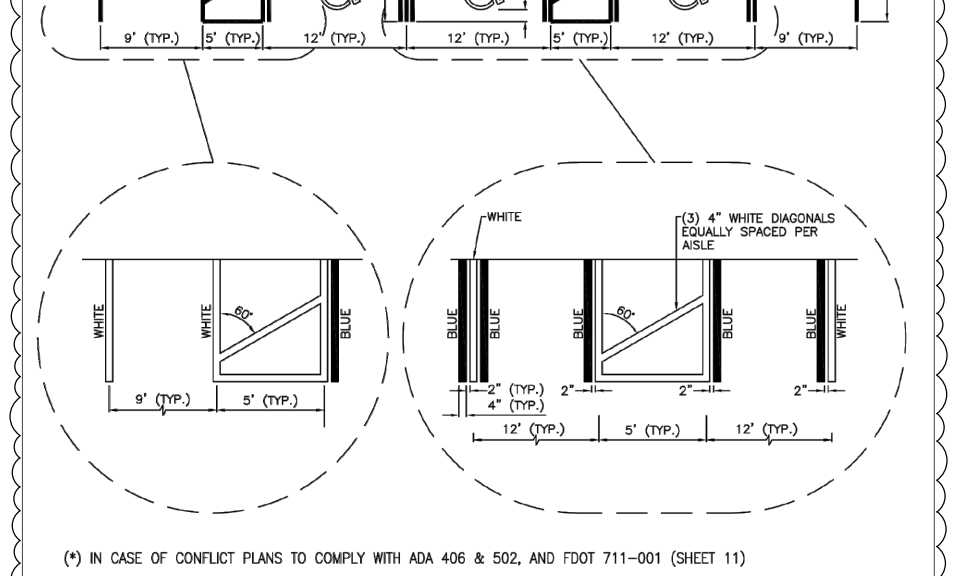
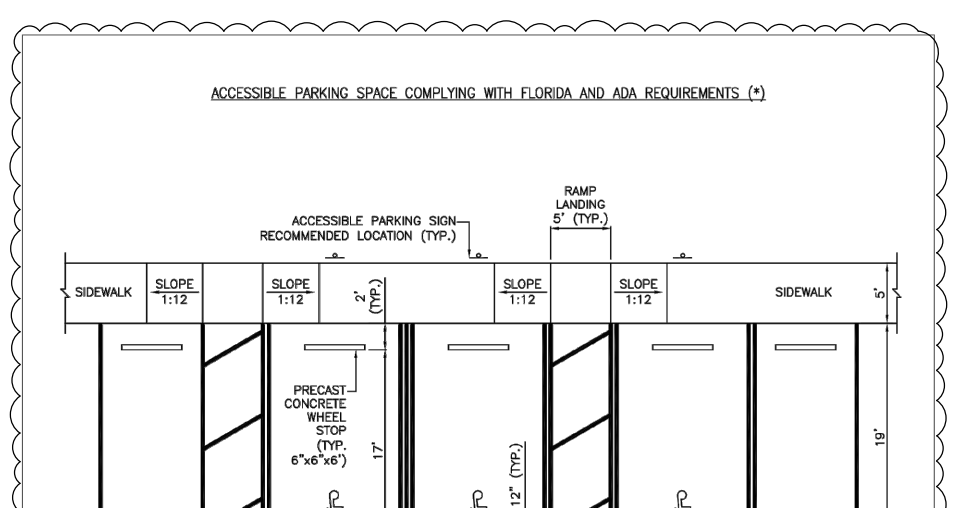
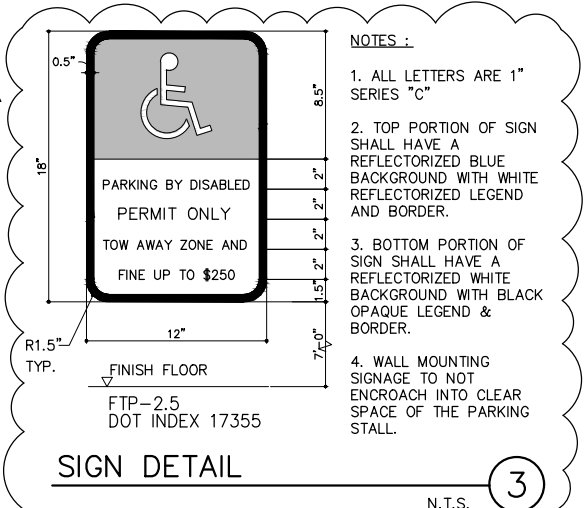
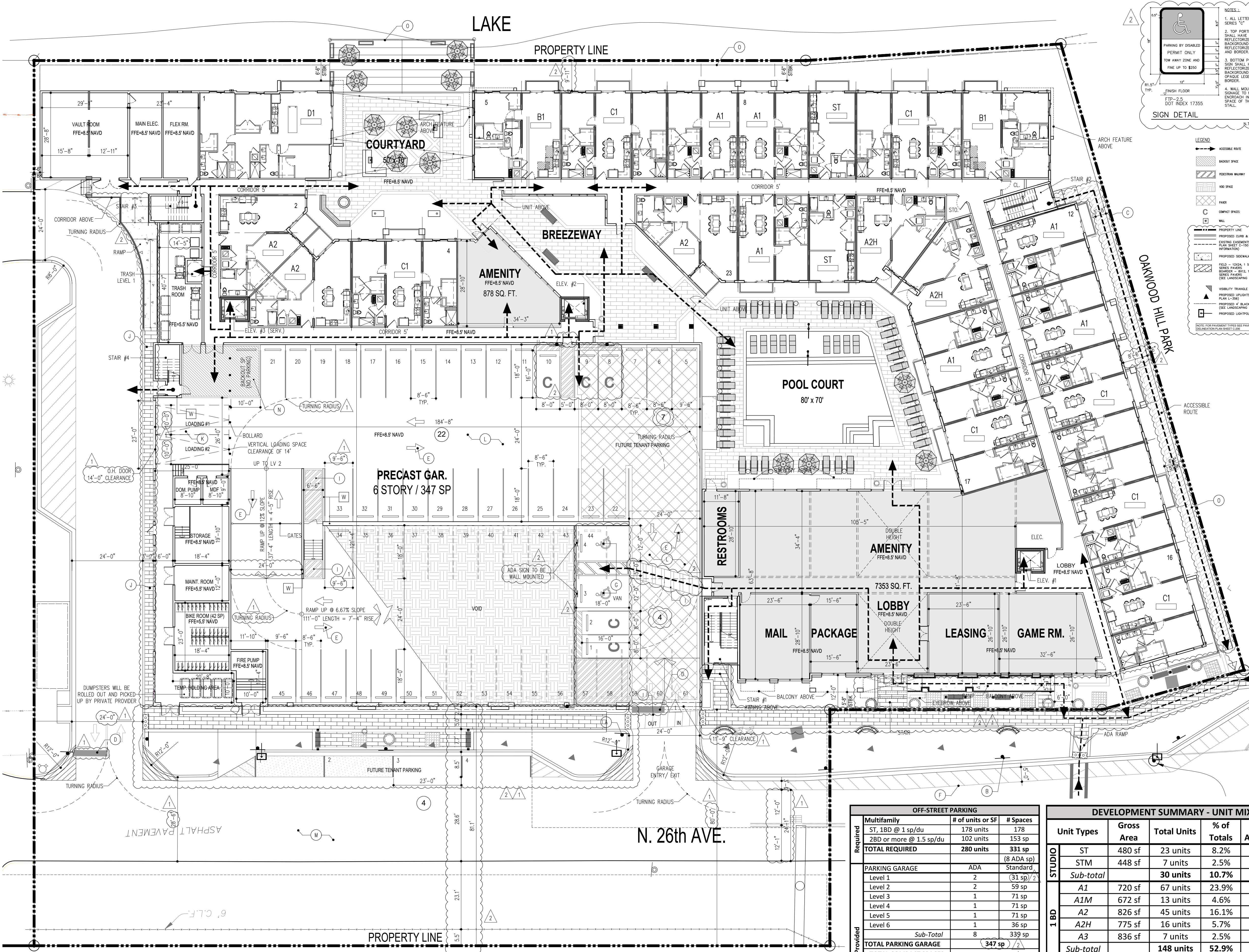


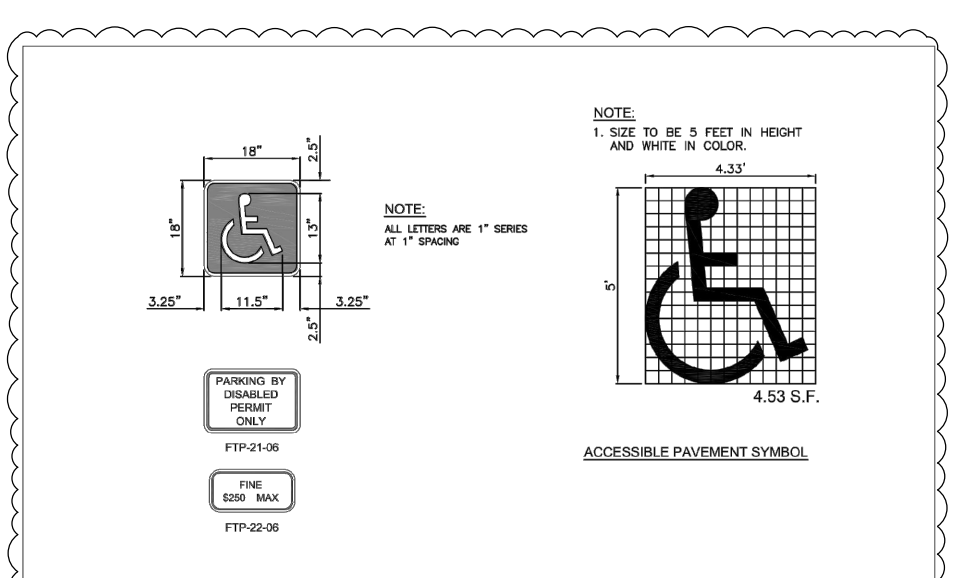


DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

ACCESSIBLE PARKING SPACE DETAILS
(1 OF 2)

REVISD: -
DRAWING NO.: C-21A



DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

ACCESSIBLE PARKING SPACE DETAILS
(2 OF 2)

REVISD: -
DRAWING NO.: C-21B

PAVEMENT MARKING AND SIGNAGE

- (A) STOP SIGN
- (B) NO PARKING FIRE LANE
- (C) PROPERTY LINE
- (D) STOP BAR
- (E) PAINTED DIRECTIONAL ARROW (TYP.)
- (F) FIRE LANE STRIPPING 5' WIDE
- (G) ACCESSIBLE PARKING SPACE (TYP.)
- (H) PARKING SPACE STRIPPING
- (I) INTERNAL PEDESTRIAN CROSSWALK WITH 12" WIDE WHITE STRIPPING PERPENDICULAR TO DIRECTION OF TRAFFIC
- (J) FLUSH SIDEWALK
- (K) LOADING AREA (6"YELLOW 45°STRIPPING)
- (L) CONCRETE PARKING DECK (REFER TO ARCH. PLANS)
- (M) MILL AND RESURFACE
- (N) BACKOUT SPACE STRIPPING
- (O) PROPOSED 4" BLACK ALUMINUM FENCE

OFF-STREET PARKING			
Required	Multifamily	# of units or SF	# Spaces
	ST, 1BD @ 1 sp/du	178 units	178
	2BD or more @ 1.5 sp/du	102 units	153 sp
	TOTAL REQUIRED	280 units	331 sp
			(8 ADA sp)
Provided	PARKING GARAGE	ADA	Standard.
	Level 1	2	(31 sp)/2
	Level 2	2	59 sp
	Level 3	1	71 sp
	Level 4	1	71 sp
	Level 5	1	71 sp
	Level 6	1	36 sp
	Sub-Total	8	339 sp
	TOTAL PARKING GARAGE	347 sp	2
	TOTAL COMPACT SPACES	16 sp	1
	(Included in Total Pkg. Garage)		
	SURFACE PARKING	0	4
	TOTAL SURFACE PARKING	0	4 sp
	TOTAL PKG. PROVIDED	351 sp	2
	LOADING SPACES	2 sp	2
	BICYCLE PARKING	42 sp	1

DEVELOPMENT SUMMARY - UNIT MIX					
Unit Types	Gross Area	Total Units	% of Totals	LEASABLE AREA (NRSF)	
STUDIO	ST	480 sf	23 units	8.2%	11,040 sf
	STM	448 sf	7 units	2.5%	3,136 sf
	Sub-total	30 units	10.7%	14,176 sf	
	A1	720 sf	67 units	23.9%	48,240 sf
	A1M	672 sf	13 units	4.6%	8,736 sf
1 BD	A2	826 sf	45 units	16.1%	37,170 sf
	A2H	775 sf	16 units	5.7%	12,400 sf
	A3	836 sf	7 units	2.5%	5,852 sf
	Sub-total	148 units	52.9%	112,398 sf	
2 BD	B1	900 sf	23 units	8.2%	20,700 sf
	C1	1,080 sf	63 units	22.5%	68,040 sf
	C2	1,012 sf	7 units	2.5%	7,084 sf
	D1M	1,006 sf	1 units	0.4%	1,006 sf
	Sub-total	94 units	33.2%	95,824 sf	
3 BD	D1	1,350 sf	8 units	2.9%	10,800 sf
	Sub-total	8 units	2.9%	10,800 sf	
TOTAL UNITS		280 units	100%	233,198 sf	
		Gross Average Unit Area		833 sf	

NOTES:
1- REFER TO CIVIL SHEETS FOR SITE PLAN AND SITE INFORMATION.
2- ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY ARE TO BE MILLED AND RESURFACED.
3- ANY LIP FROM 3" BUT NOT GREATER THAN 1" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
4-BUILDING SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE(S), 8th EDITION AND THE 2020 NEC.

C-10 CANAL
130' R/W

PRELIM. TAC SUBMITTAL
07.01.2024

TAC SUBMITTAL 12.12.2024

TAC RE-SUBMITTAL 05.23.2025

TAC RE-SUBMITTAL 07.30.2025

TAC RE-SUBMITTAL 08.22.2025

OAKWOOD PLAZA
LOCATED AT:
HOLLYWOOD
FOR:
KIMCO REALTY

STATE OF FLORIDA
GEORGE L. MOURIZ
REGISTERED ARCHITECT
AR0007806

MSA ARCHITECTS, INC
AAC000895
8950 SW 74th COURT
MIAMI, FLORIDA 33156
(305) 273-9911

MSA ARCHITECTS
ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE EIGHTH EDITION (2023) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

DRAWN
CONTRACT DATE 11/06/23
SCALE AS SHOWN
JOB NO. 2242.PRJ
SHEET TITLE:
LEVEL 1
SHEET NUMBER:
A-2.1

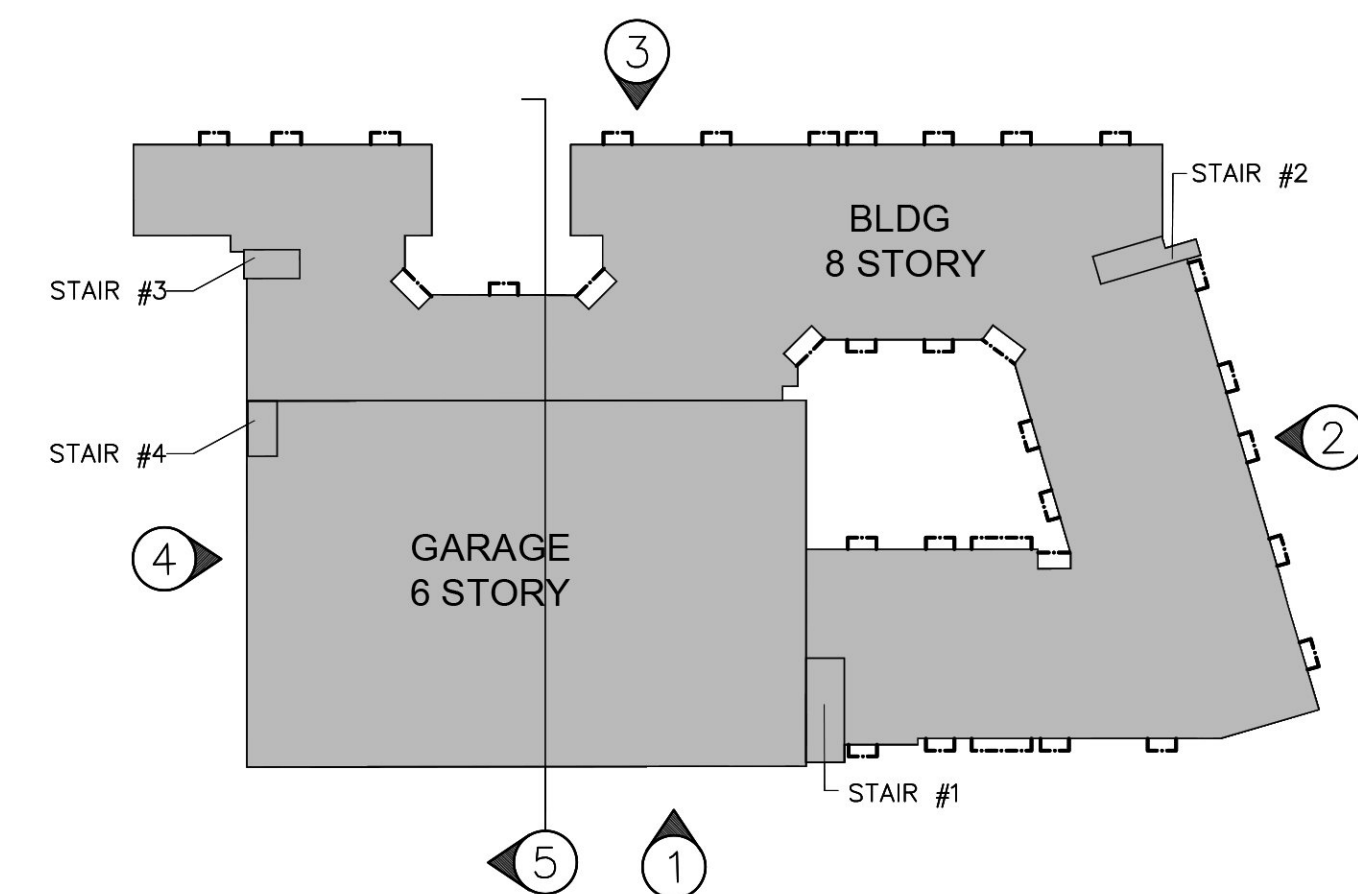
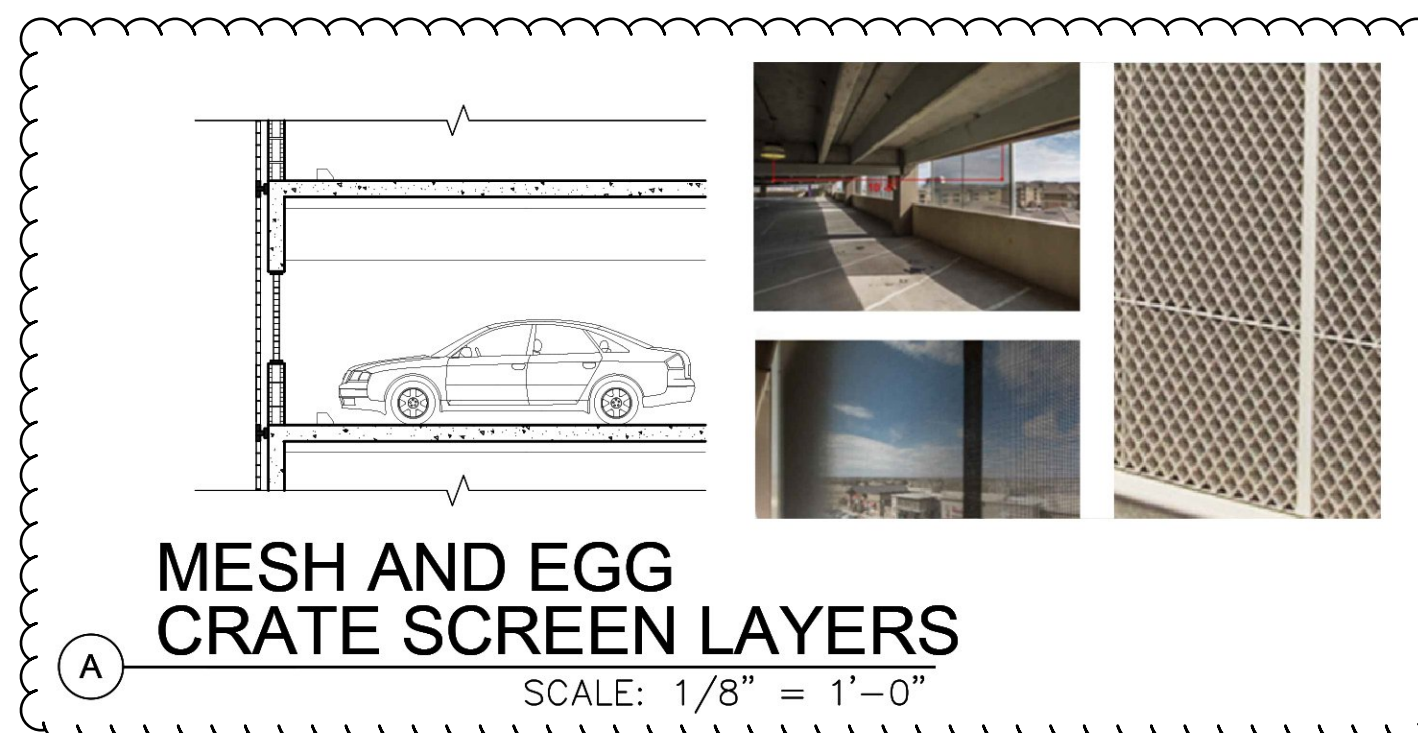
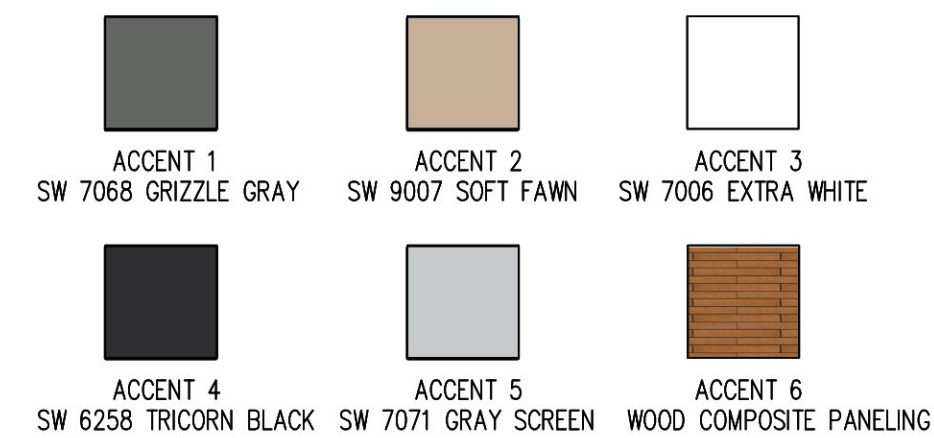


1 FRONT ELEVATION (WEST)
SCALE: 1/16" = 1'-0"



2 RIGHT ELEVATION (SOUTH)
SCALE: 1/16" = 1'-0"

COLOR SCHEME



ELEVATIONS

SCALE: 1/16"=1'-0"

TAC RE-SUBMITTAL 08/22/2025

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AAC0000895
8850 SW 74th COURT
SUITE 150
MIAMI, FLORIDA 33156
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CONTRACT DATE 11/06/23
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SHEET TITLE:
ELEVATIONS

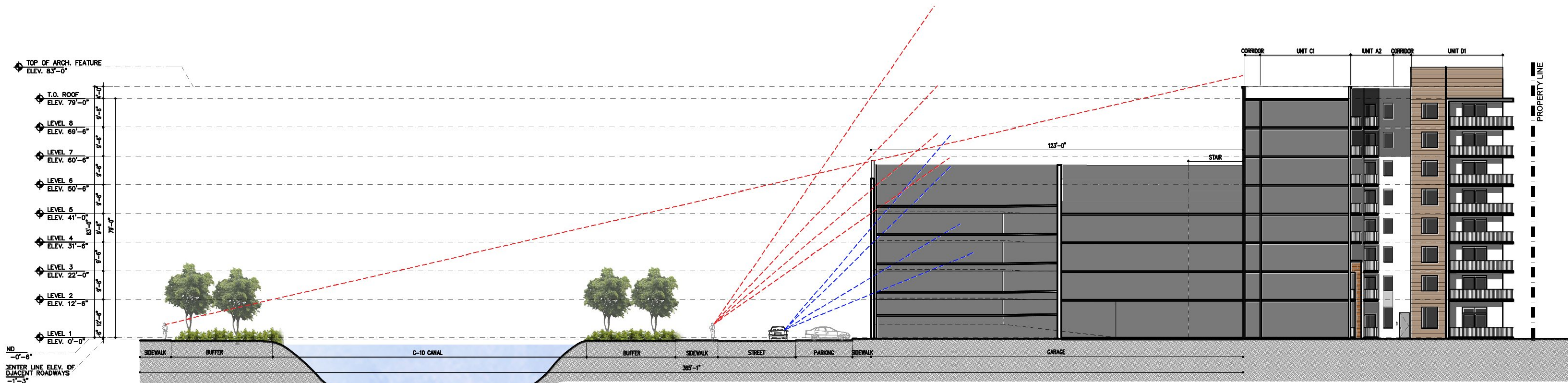
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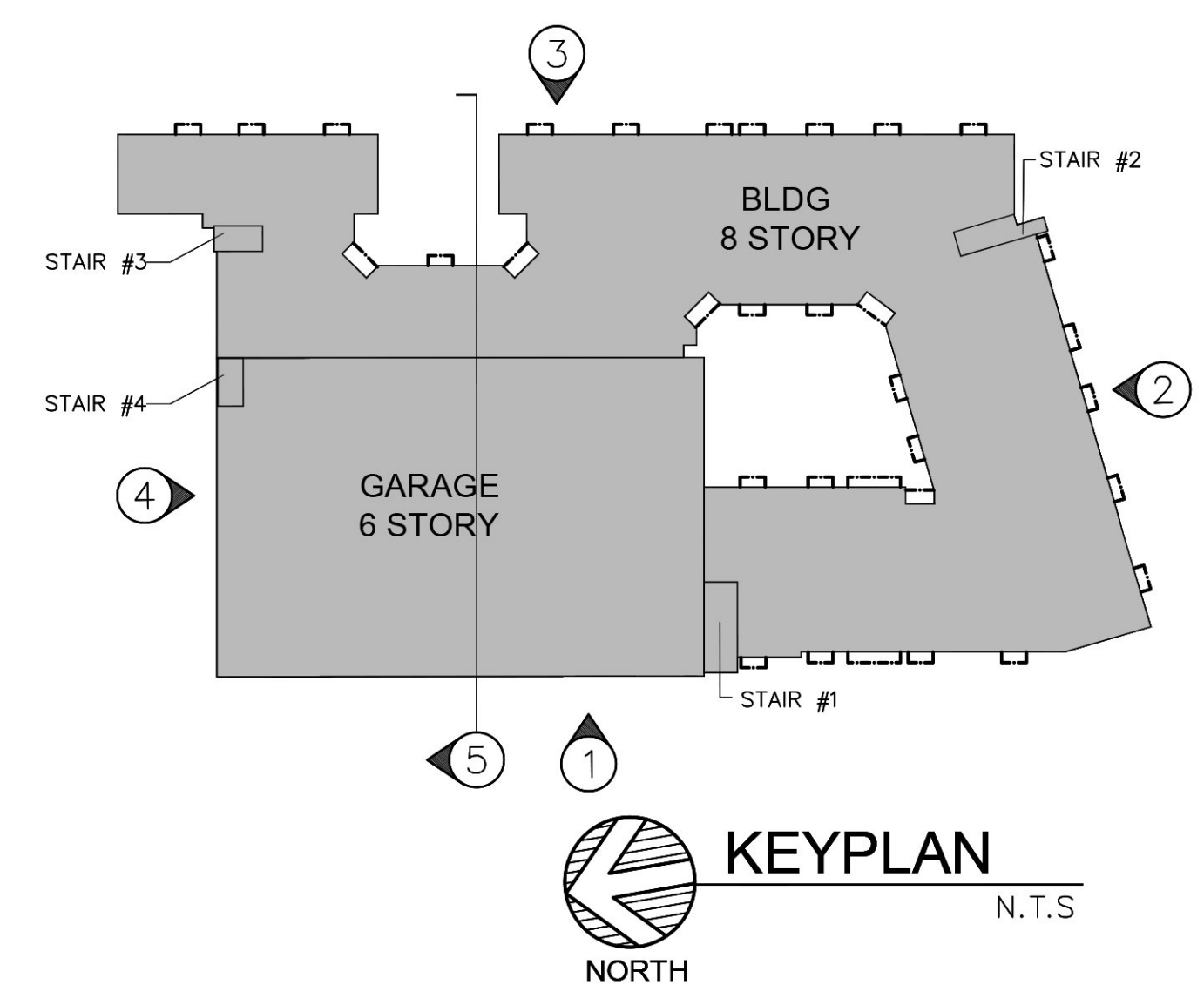
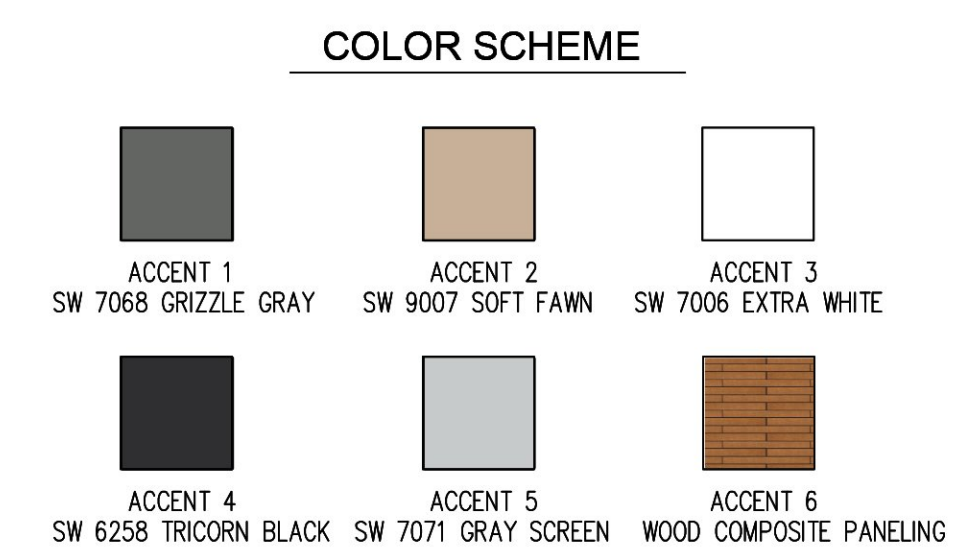
3 REAR ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



4 LEFT ELEVATION (NORTH)
SCALE: 1/16" = 1'-0"



5 PEDESTRIAN SIGHT LINE
SCALE: 1/32" = 1'-0"



ELEVATIONS
SCALE: 1/16"=1'-0"
TAC RE-SUBMITTAL 08/22/2025

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ELEVATIONS
SHEET NUMBER:
A-3.2